



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR2020-004747

Application No. SI-2021-00484 (Site Plan)

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 5/19/2021 HEARING DATE OF DEFERRAL: 5/5/2021

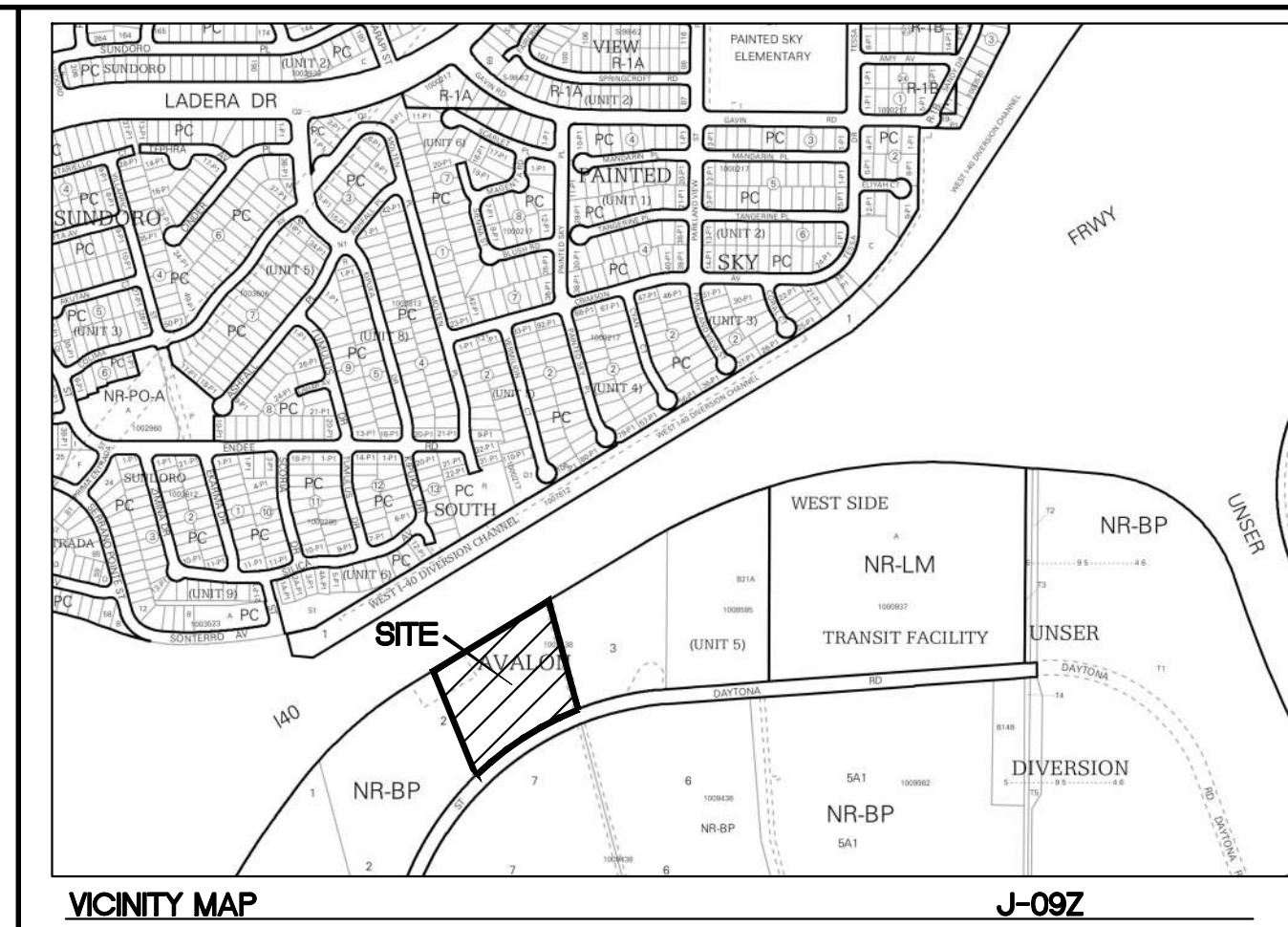
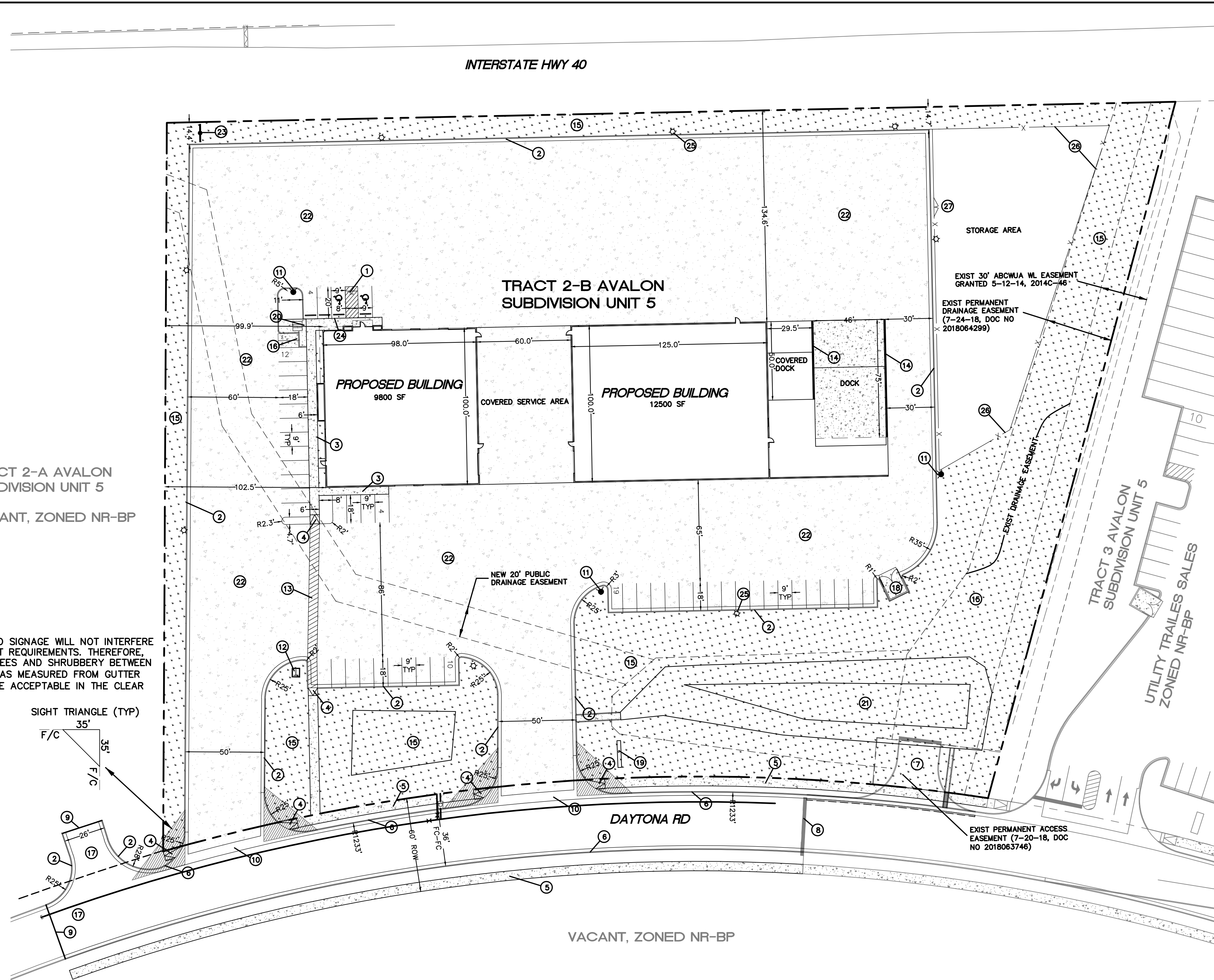
SUBMITTAL

DESCRIPTION: Landscape Plan, Grading Plan, Site Plan with comments addressed, Autoturn exhibit, Sensitive Lands

Analysis, Daytona Plan & Profile with cross sections

CONTACT NAME: Vince Carrica

TELEPHONE: 505-858-3100 EMAIL: vcarrica@tierrawestllc.com

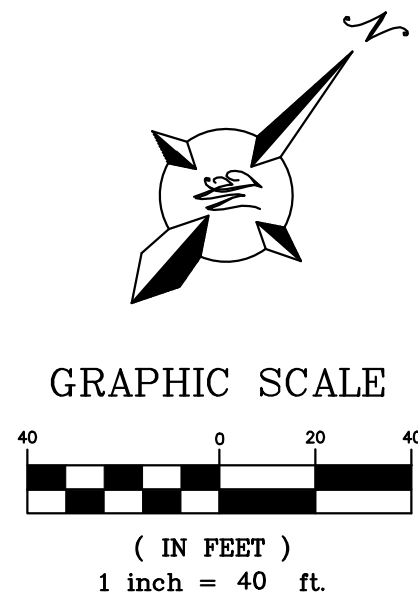
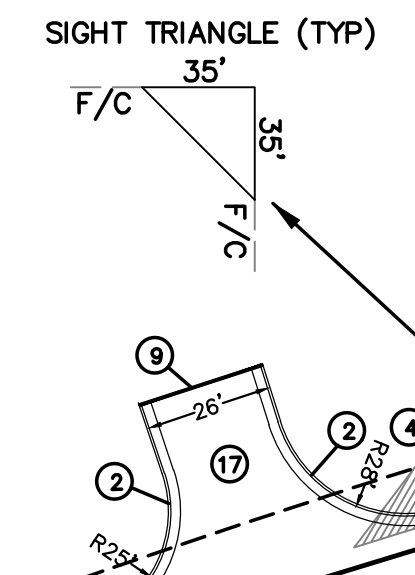


LEGAL DESCRIPTION
 TRACT NUMBERED 2-B OF AVALON SUBDIVISION UNIT 5, A SUBDIVISION OF A TRACT OF LAND LOCATED WITHIN PROJECTED SECTIONS 16 AND 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. TOWN OF ATRISCO GRANT

SITE DATA

ZONING	NR-BP
SITE AREA	253757 SF (5.83 AC)
PROPOSED USAGE	COMMERCIAL
BUILDING AREA	3173 SF OFFICE 6868 SF SERVICE AREA 7038 SF TRUCK BAYS 11223 SF WAREHOUSE 4100 SF COVERED DOCKS 32402 SF TOTAL
PARKING REQUIRED	18 SPACES (1 PER 1000 OFFICE, SERVICE AREA, TRUCK BAY)
PARKING PROVIDED	48 SPACES
HC PARKING REQUIRED	2 SPACES
HC PARKING PROVIDED	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	50 SPACES
BICYCLE PARKING REQUIRED	1 SPACES (GREATER OF 3 OR 10% OF REQUIRED PARKING)
BICYCLE SPACES PROVIDED	3 SPACES
MOTORCYCLE SPACES REQUIRED	1 SPACES (1 PER 1-25 VEHICLES PARKING REQUIRED)
MOTORCYCLE SPACES PROVIDED	2 SPACES
LANDSCAPE REQUIRED	38063 SF (15% OF LOT AREA)
LANDSCAPE PROVIDED	65330 SF
SETBACKS	
FRONT	20'
SIDE	10'
REAR	10'

NOTE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



KEYED NOTES

- ① ACCESSIBLE PARKING SEE DETAIL SHEET DET-1
- ② 6" CURB AND GUTTER PER COA STD DWG 2415A
- ③ 5' SIDEWALK PER COA STD DWG 2430
- ④ UNIDIRECTIONAL ACCESSIBLE RAMP, SEE SHEET DET-1
- ⑤ 6' SIDEWALK PER COA STD DWG 2430
2% MAX CROSS SLOPE
- ⑥ 8" CURB AND GUTTER PER COA STD DWG 2415A
- ⑦ REMOVE AND DISPOSE EXIST CURB, ASPHALT AND CUTOFF WALL
- ⑧ REMOVE AND DISPOSE CUTOFF WALL
- ⑨ NEW CUTOFF WALL PER COA STD DWG 2415B
- ⑩ 6' VALLEY GUTTER PER COA STD DWG 2420
- ⑪ PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- ⑫ TRANSFORMER W/BOLLARDS
- ⑬ 6' CROSSWALK (STRIPED) W/2% MAX CROSS SLOPE
- ⑭ CONCRETE RETAINING WALL
- ⑮ LANDSCAPE
- ⑯ MOTORCYCLE PARKING W/SIGN SEE DETAIL SHEET DET-1
- ⑰ EMERGENCY TURNAROUND
- ⑱ DUMPSTER, SEE SHEET DET-2
- ⑲ MONUMENT SIGN
- ⑳ BICYCLE RACK (3 SPACES), SEE SHEET DET-1
- ㉑ POND
- ㉒ CONCRETE PAVING
- ㉓ PYLON SIGN
- ㉔ ZERO CURB
- ㉕ AREA LIGHT, 40' FULLY SHIELDED (TYP)
- ㉖ 7' MIN HEIGHT, 8' MAX HEIGHT OPAQUE FENCE
COLOR TO MATCH BUILDING
- ㉗ 8' MAX HEIGHT OPAQUE 12' GATE
COLOR TO MATCH BUILDING

LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - PROPOSED SIDEWALK/CONCRETE
- - - EXISTING CURB & GUTTER
- TRANSFORMER
- FIRE HYDRANT
- ▨ LANDSCAPE AREA
- ▨ FENCE
- ▨ ASPHALT PAVING AREA

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLES @ ENTRANCE OFF DAYTONA. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN ADMINISTRATIVE	DATE 5-13-21
03/29/21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-SP
		SHEET # SP-1
		JOB # 2020031

INTERSTATE HWY 40

LEGEND

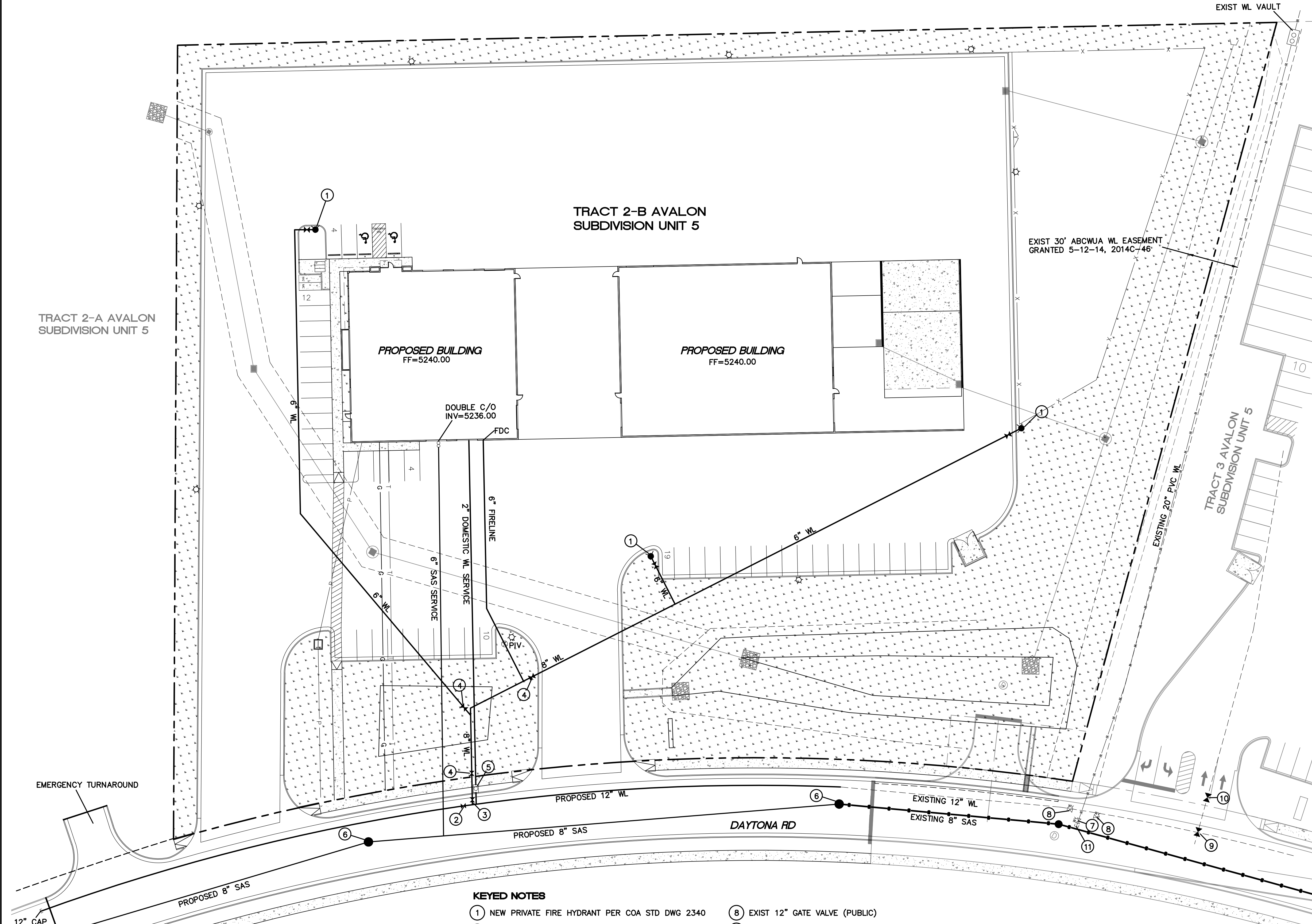
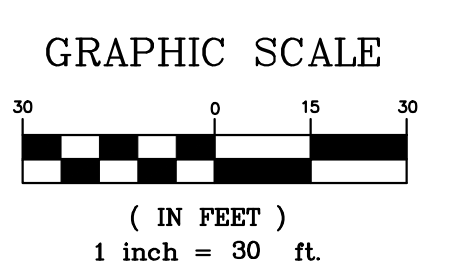
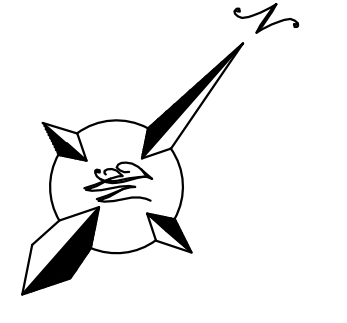
- CURB & GUTTER
- - - BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- 8" SAS
- 8" WL
- ∞ DOUBLE CLEAN OUT
- ⊙ PROPOSED HYDRANT
- P — PROPOSED POWER LINE
- T — PROPOSED TELEPHONE LINE
- G — PROPOSED GAS LINE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS



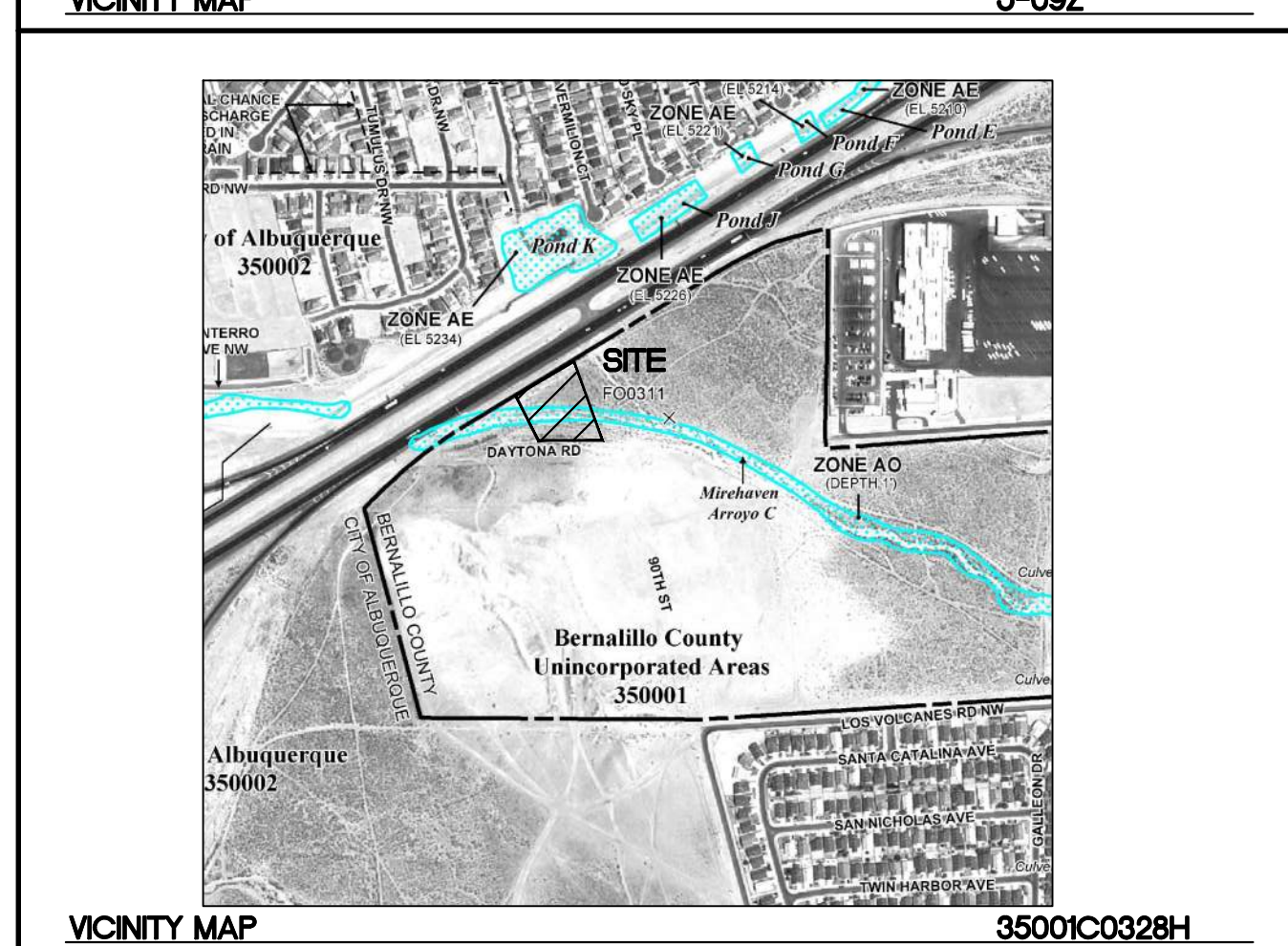
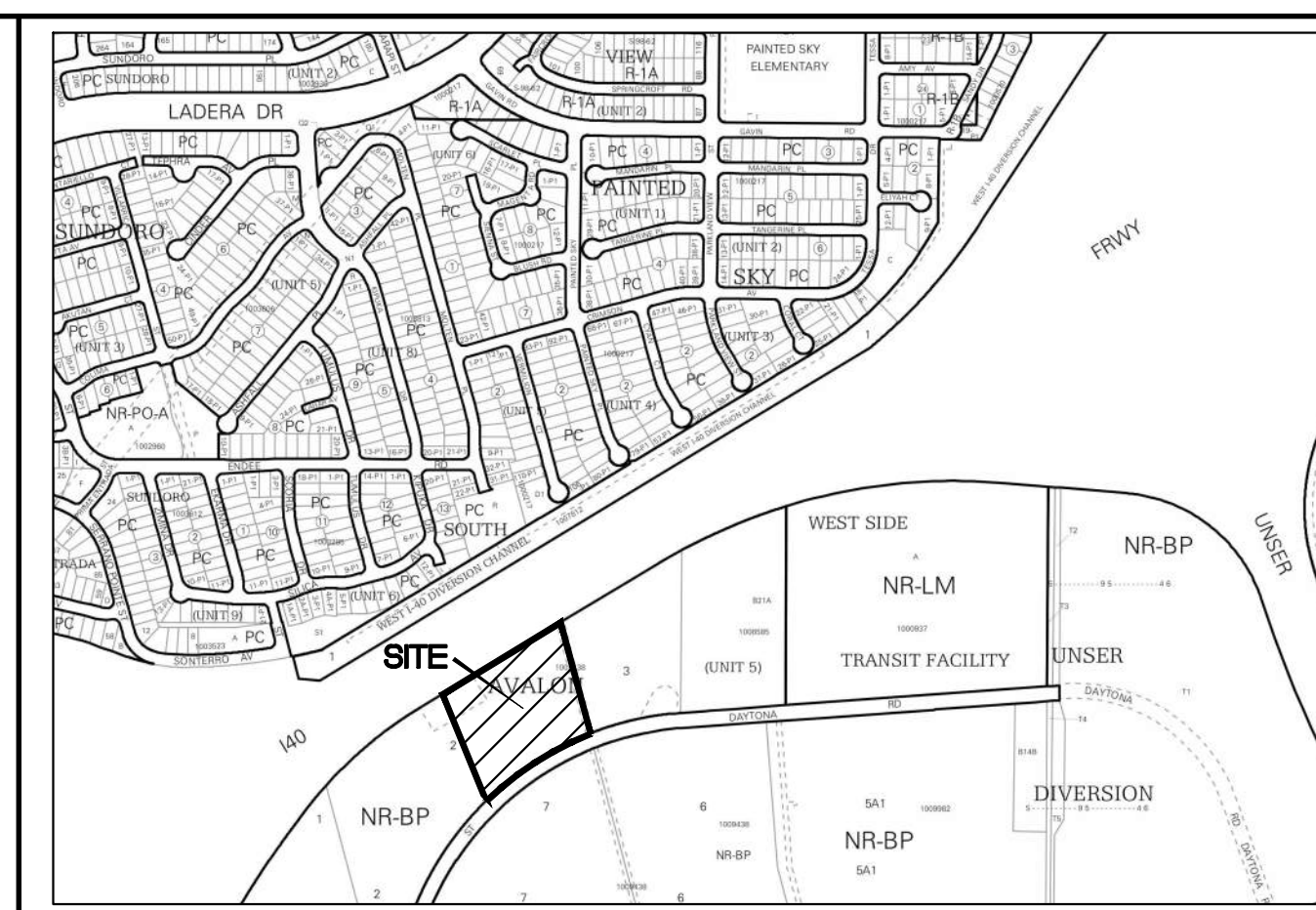
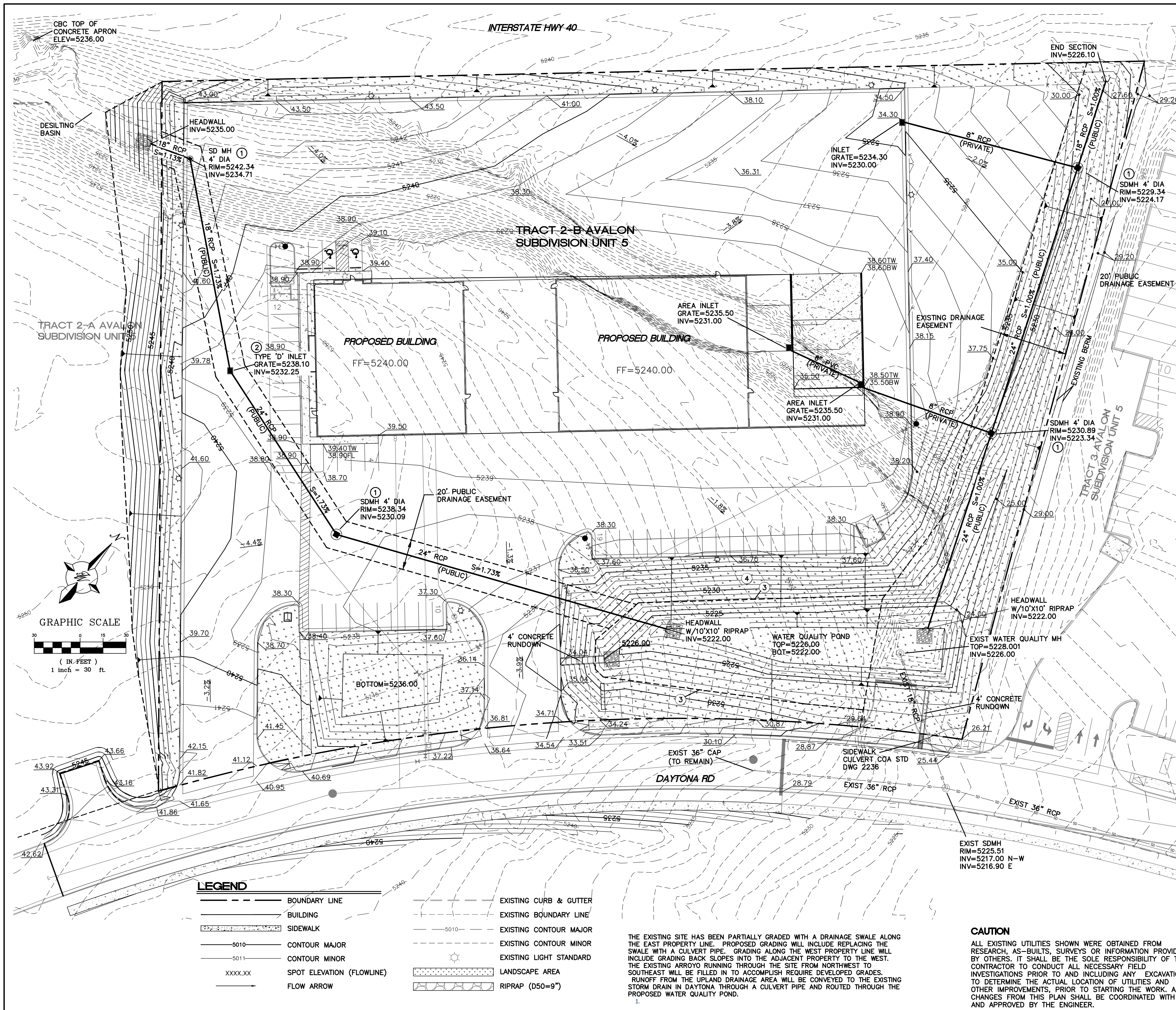
KEYED NOTES

- | | |
|---|---------------------------------|
| ① NEW PRIVATE FIRE HYDRANT PER COA STD DWG 2340 | ⑧ EXIST 12" GATE VALVE (PUBLIC) |
| ② 8" GATE VALVE (PUBLIC)
N=_____, E=_____ | ⑨ EXIST 6" GATE VALVE (PUBLIC) |
| ③ 8" GATE VALVE (PUBLIC)
N=_____, E=_____ | ⑩ EXIST 6" GATE VALVE (PRIVATE) |
| ④ 8" GATE VALVE (PRIVATE) | ⑪ EXIST 20" CAP |
| ⑤ 2" WATER METER | |
| ⑥ NEW 4' DIA MH PER COA STD DWG 2110 | |
| ⑦ EXIST 20" BUTTERFLY VALVE (PUBLIC) | |

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL UTILITY PLAN	DATE 5-13-21
03/29/21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-MU
		SHEET # MU-1
		JOB # 2020031



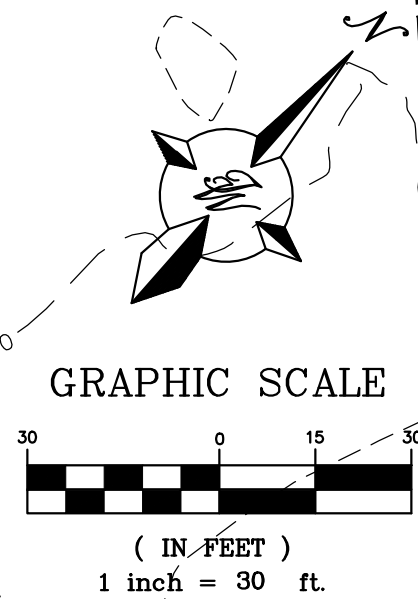
- KEYED NOTES**
- ① SD MH 4' DIA PER COA STD DWG 2101
 - ② SINGLE TYPE 'D' STORM INLET PER COA STD DWG 2206
 - ③ DRAINAGE EASEMENT
 - ④ OERSIZE GRAVEL MULCH W/SEEDING

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 3-29-21
		DRAWING 2020031-GR
03/29/21 RONALD R. BOHANNAN P.E. #7868		SHEET # GR-1
		JOB # 2020031

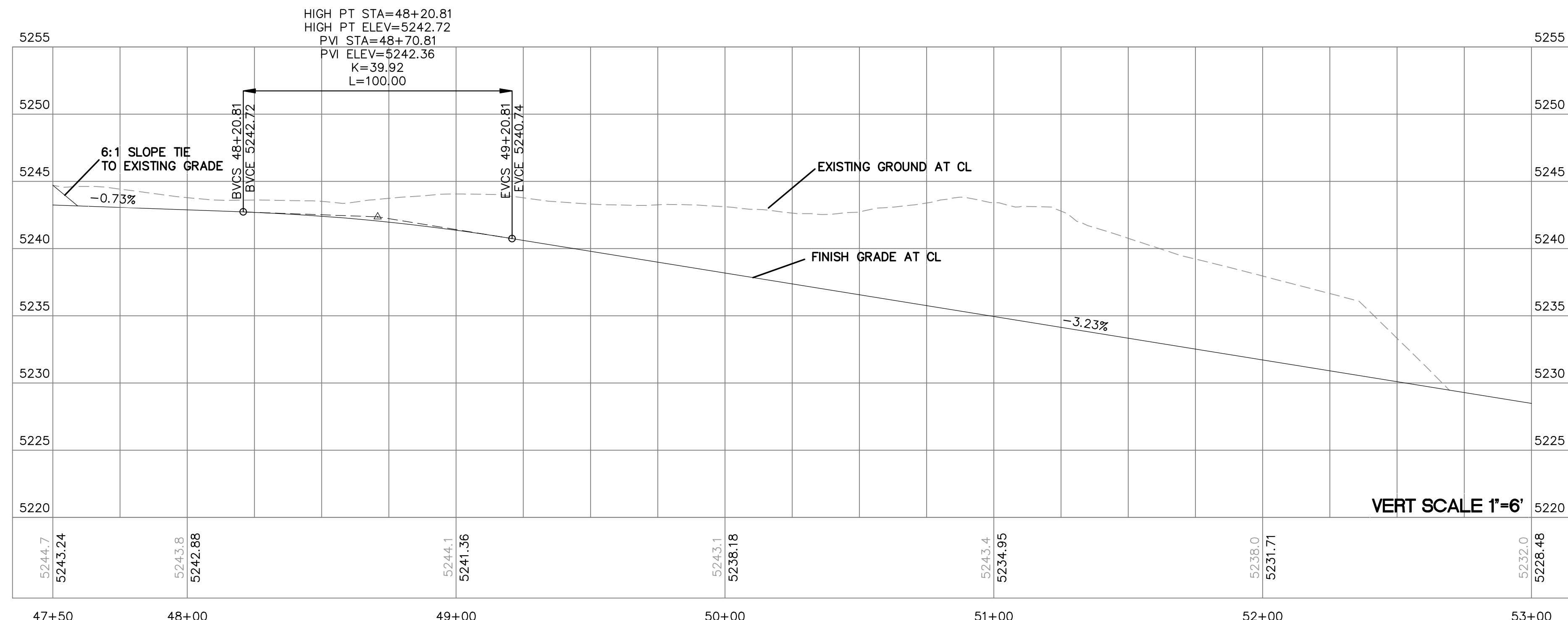
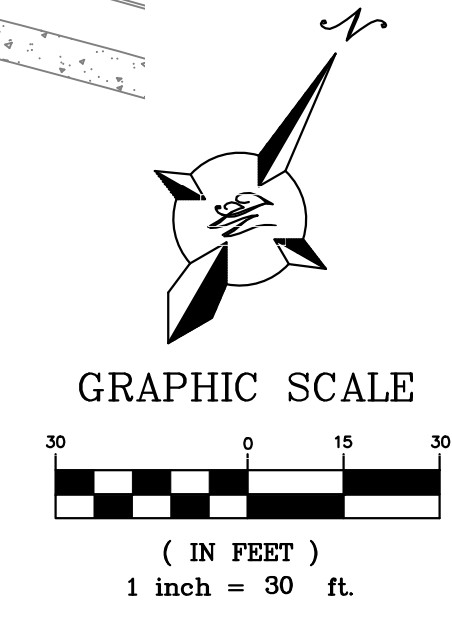
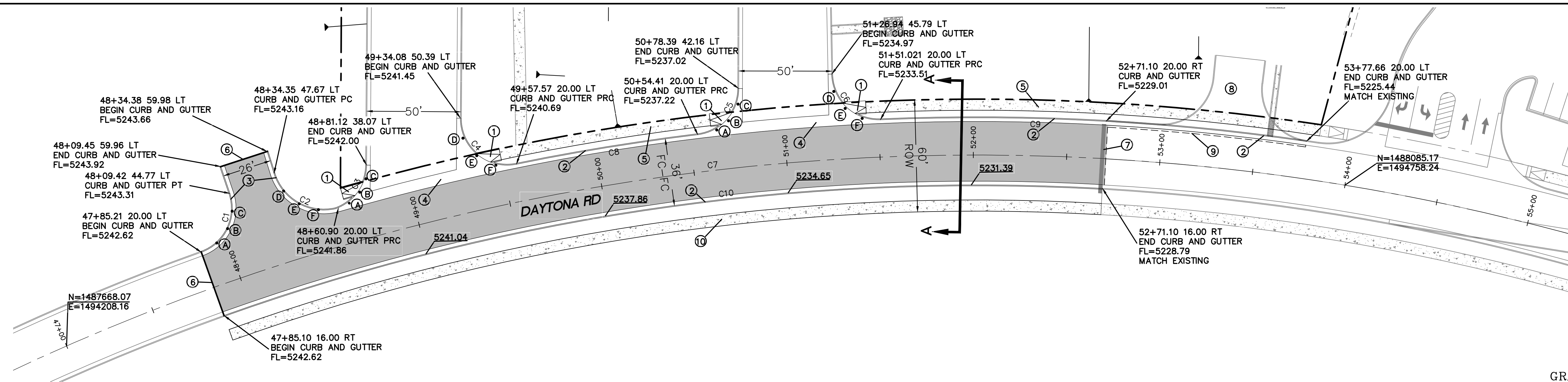
THE EXISTING SITE HAS BEEN PARTIALLY GRADED WITH A DRAINAGE SWALE ALONG THE EAST PROPERTY LINE. PROPOSED GRADING WILL INCLUDE REPLACING THE SWALE WITH A CULVERT PIPE. GRADING ALONG THE WEST PROPERTY LINE WILL INCLUDE GRADING BACK SLOPES INTO THE ADJACENT PROPERTY TO THE WEST. THE EXISTING ARROYO RUNNING THROUGH THE SITE FROM NORTHWEST TO SOUTHEAST WILL BE FILLED IN TO ACCOMPLISH REQUIRED DEVELOPED GRADES. RUNOFF FROM THE UPLAND DRAINAGE AREA WILL BE CONVEYED TO THE EXISTING STORM DRAIN IN DAYTONA THROUGH A CULVERT PIPE AND ROUTED THROUGH THE PROPOSED WATER QUALITY POND.

CAUTION
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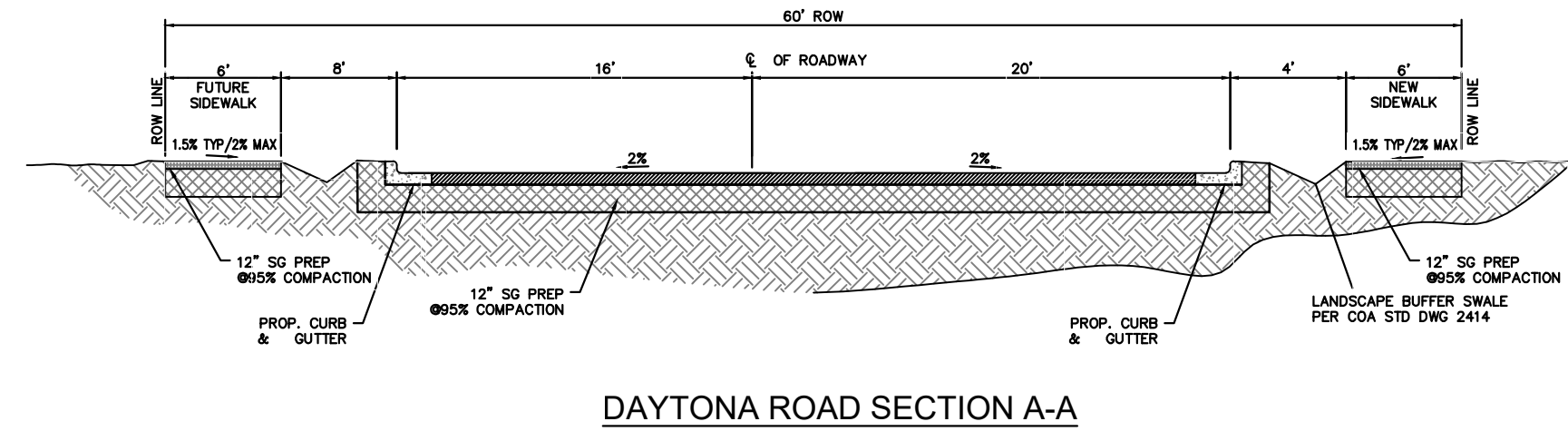


LEGEND

	BOUNDARY LINE		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	CONTOUR MAJOR		EXISTING CONTOUR MINOR
	CONTOUR MINOR		EXISTING LIGHT STANDARD
	SPOT ELEVATION (FLOWLINE)		LANDSCAPE AREA
	FLOW ARROW		RIPRAP (D50=9'')



- KEYED NOTES**
- ① UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET 7
 - ② NEW 8" CURB AND GUTTER PER COA STD DG 2415-B
 - ③ 6" CURB AND GUTTER PER COA STD DWG 2415-B
 - ④ 6" VALLEY GUTTER PER COA STD DWG 2420
 - ⑤ NEW 6" CONCRETE SIDEWALK PER COA STD DWG 2430
 - ⑥ CUTOFF WALL PER COA STD DWG 2415-B
 - ⑦ REMOVE AND DISPOSE EXISTING CUTOFF WALL
 - ⑧ REMOVE AND DISPOSE EXISTING ASPHALT, HEADER CURB CUTOFF WALL
 - ⑨ SAWCUT 1' FROM EXISTING GUTTER
 - ⑩ FUTURE 6" SIDEWALK



LEGEND

- ROW LINE
- EXISTING CURB & GUTTER
- EXISTING ASPHALT CURB
- ⊕ EXISTING SAS MANHOLE
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. WL --- EXISTING WATER LINE
- SAWCUT
- █ NEW PAVEMENT
- NEW CURB & GUTTER

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	88°55'10"	25.00	38.80
C2	85°28'47"	28.00	41.77
C3	69°58'02"	25.00	30.53
C4	101°55'03"	25.00	44.47
C5	82°55'11"	25.00	36.18
C6	91°14'54"	25.00	39.81
C7	29°02'37"	1213.31	615.04
C8	4°34'22"	1233.34	98.43
C9	10°37'55"	1233.34	228.86
C10	22°54'25"	1197.34	478.70

QUARTER POINTS

CURVE	FL	ELEV.	CURVE	FL	ELEV.
C1	A	5242.79	C2	D	5242.84
	B	5242.96		E	5242.51
	C	5243.14		F	5242.18
C3	A	5241.89	C4	D	5241.26
	B	5241.93		E	5241.07
	C	5241.96		F	5240.88
C5	A	5237.17	C6	D	5234.60
	B	5237.12		E	5234.24
	C	5237.07		F	5233.87

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	A.G.R.S. MONUMENT "REWARD"	DATE	FIELD NOTES	NO.	<p style="text-align: center; font-size: 2em; transform: rotate(-45deg);">NOT FOR CONSTRUCTION</p>	<p style="text-align: center;">DESIGN</p>
WORK BY	DATE	STANDARD A.G.R.S. BRASS TABLET	DATE	BY	REMARKS		
INSPECTOR'S ACCEPTANCE BY	DATE	NEW MEXICO STATE PLANE COORDINATES	DATE	NO.	REVISIONS		
VERIFICATION BY	DATE	(CENTRAL ZONE-N.A.D. 1983)	DATE	BY	DESIGN		
DRAWINGS BY	DATE	N=1,487,364.053	DATE	DESIGNED BY: VC	DATE: MAR, 2021	DRAWN BY: pm	DATE: MAR, 2021
CHECKED BY	DATE	E=1,491,190.819	DATE	DRAWN NO.: 2020058	JOB NO.: 2020058	CHECKED BY: RRB	DATE: MAR, 2021
		MICRO-FILM INFORMATION					
		RECORDED BY					
		NO.					
		PUBLISHED EL=5319.688 (NAVD 1988)					
		GROUND TO GRID FACTOR=0.999675005					
		DELTA ALPHA ANGLE=-07712.26"					

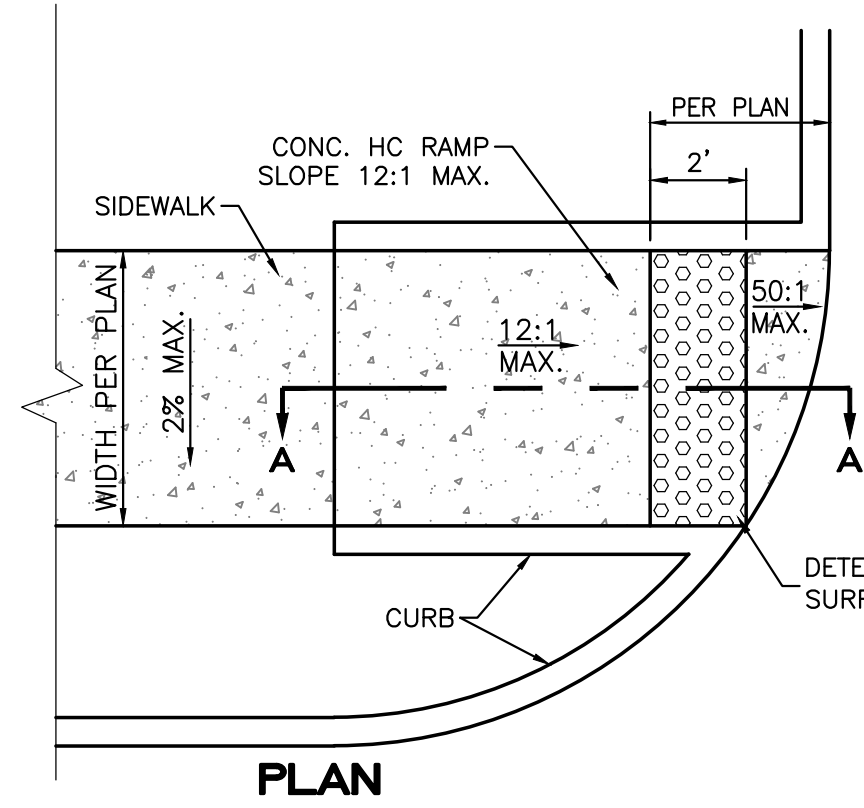
TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

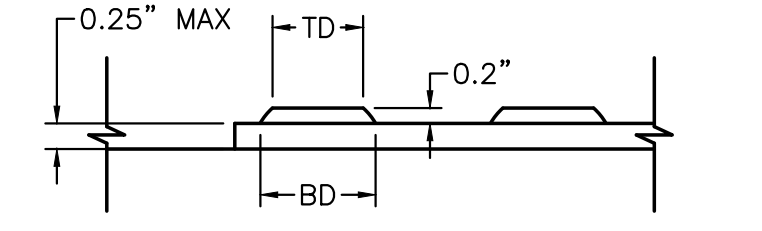
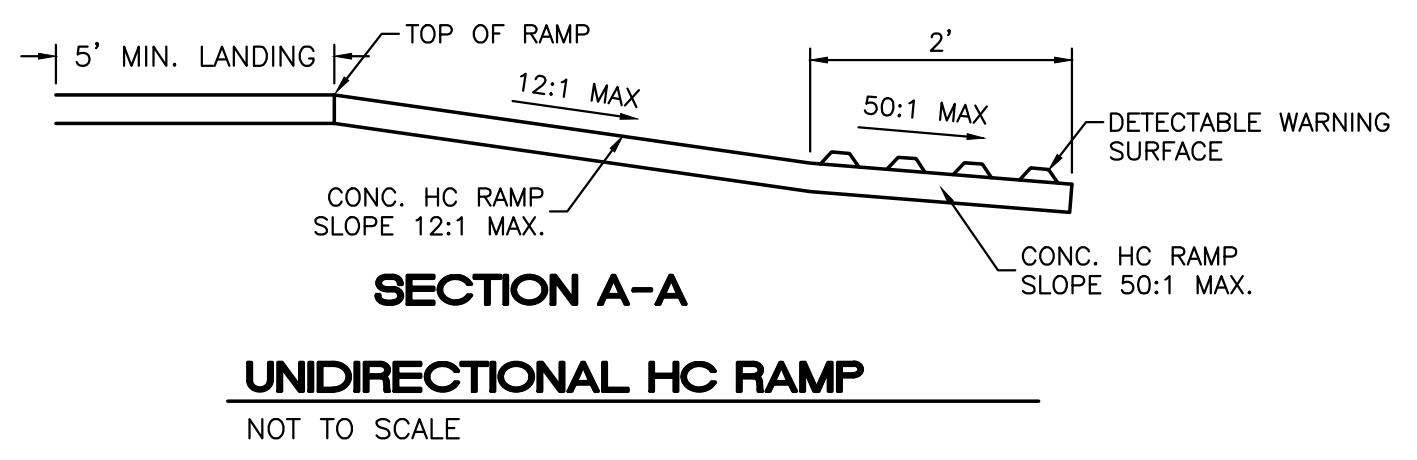
TITLE: DAYTONA ROADWAY IMPROVEMENTS
 DAYTONA RD IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

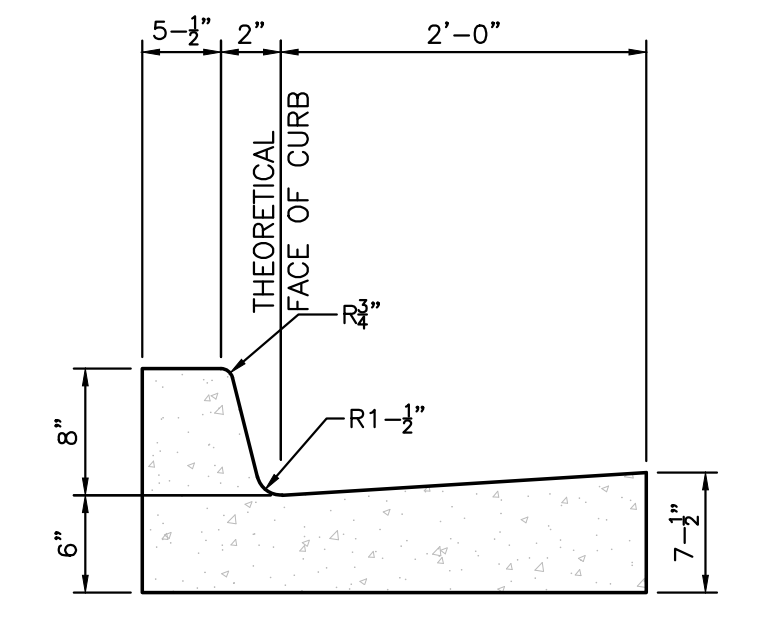
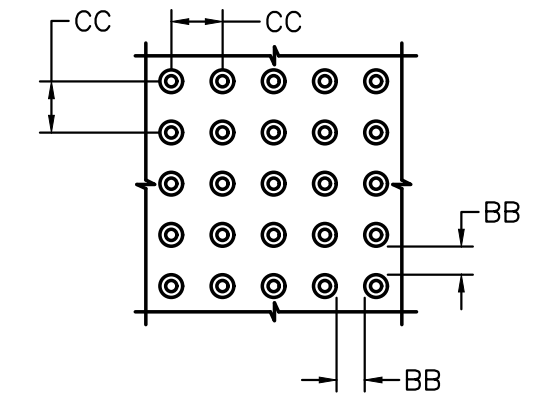
CITY PROJECT NO. 655788 ZONE MAP NO. J-9-Z SHEET 4 OF 9



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.

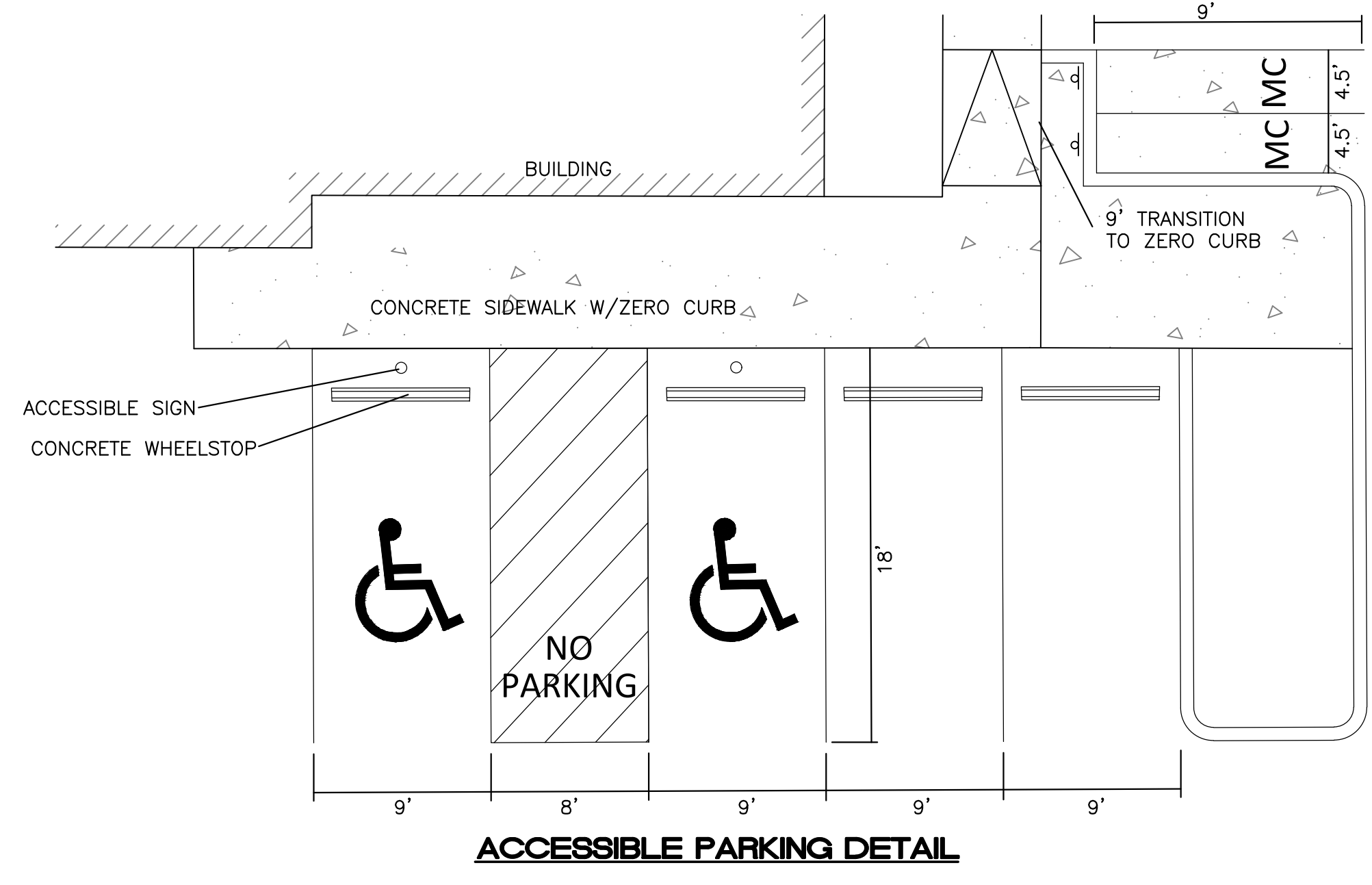
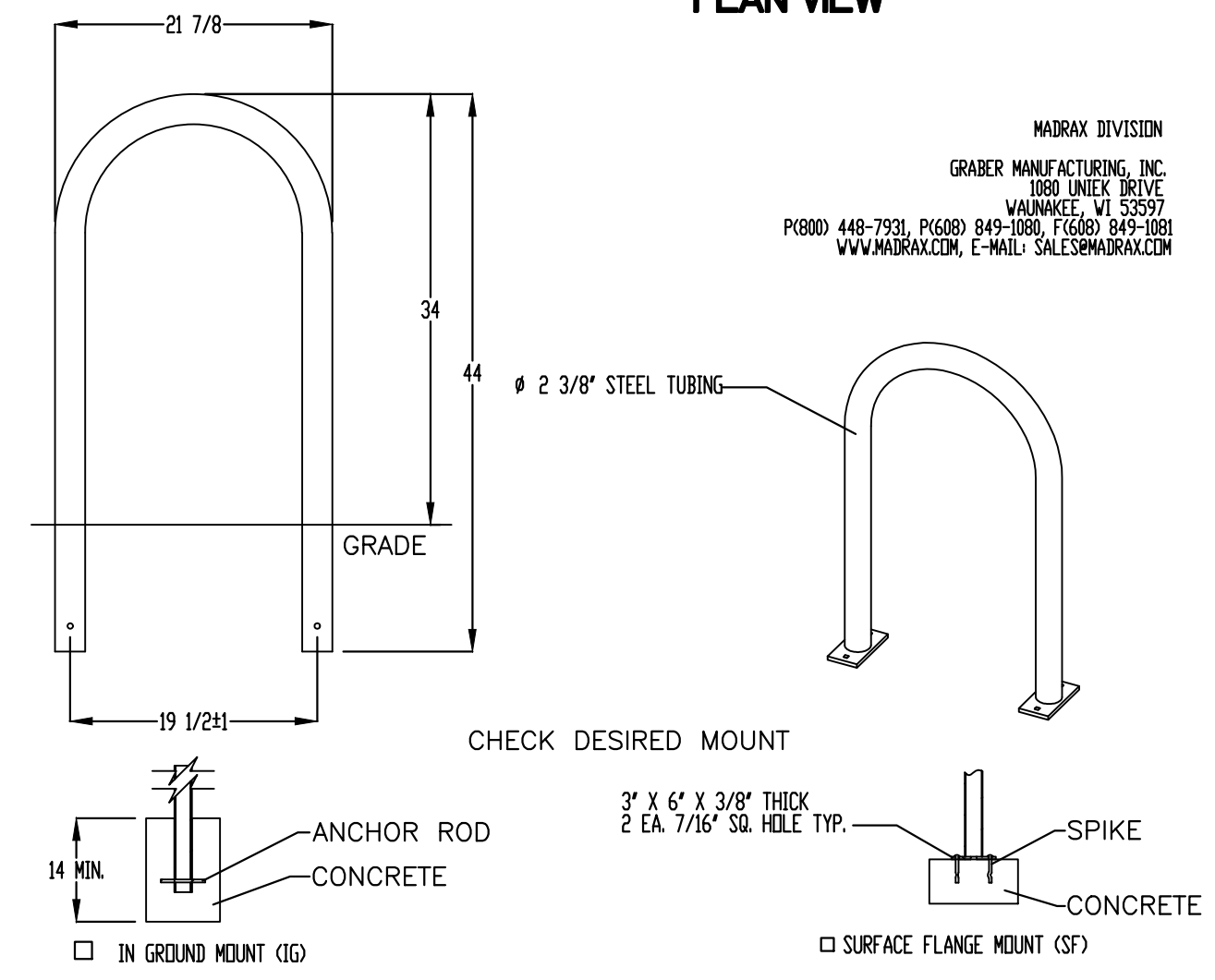
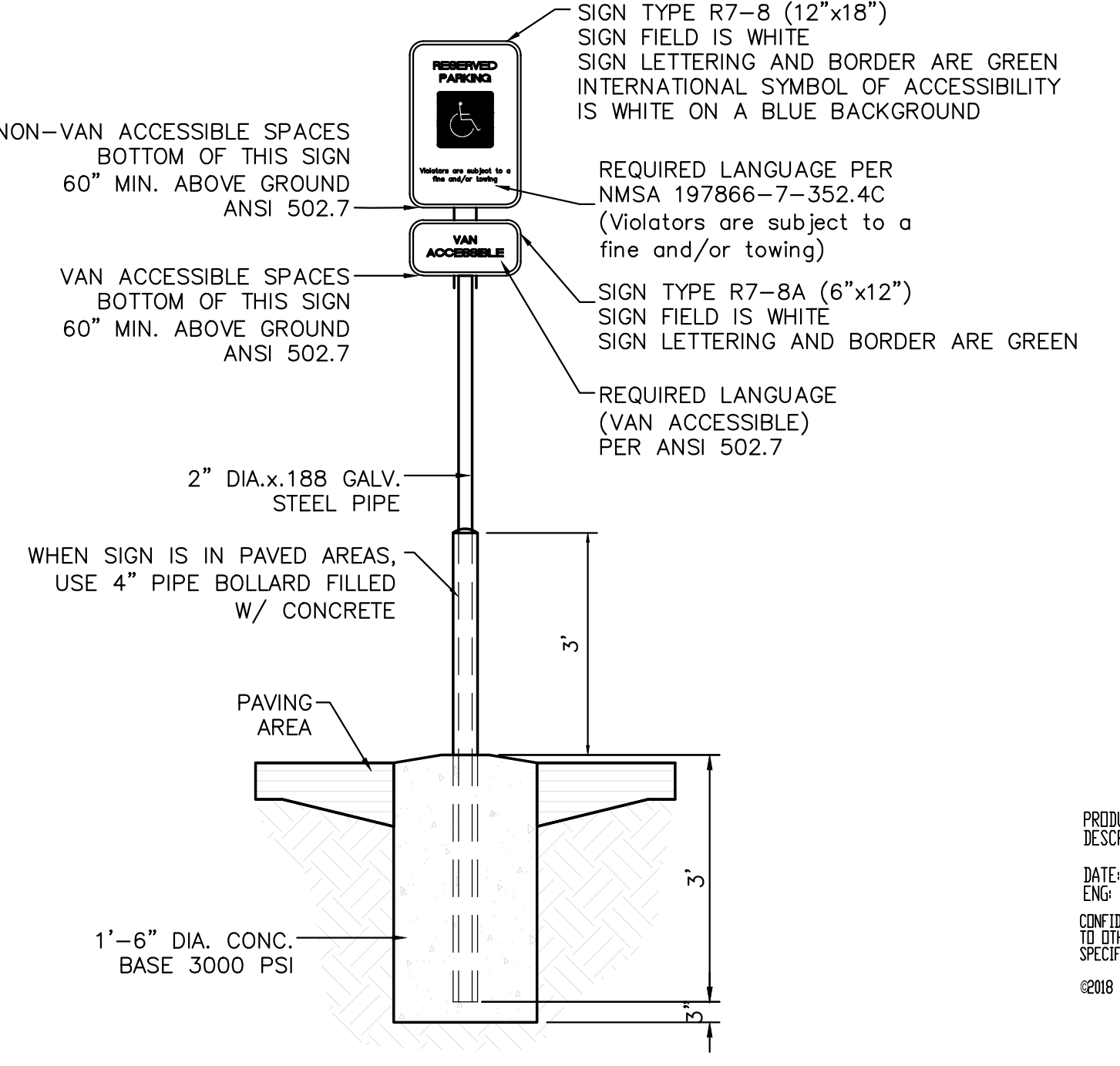
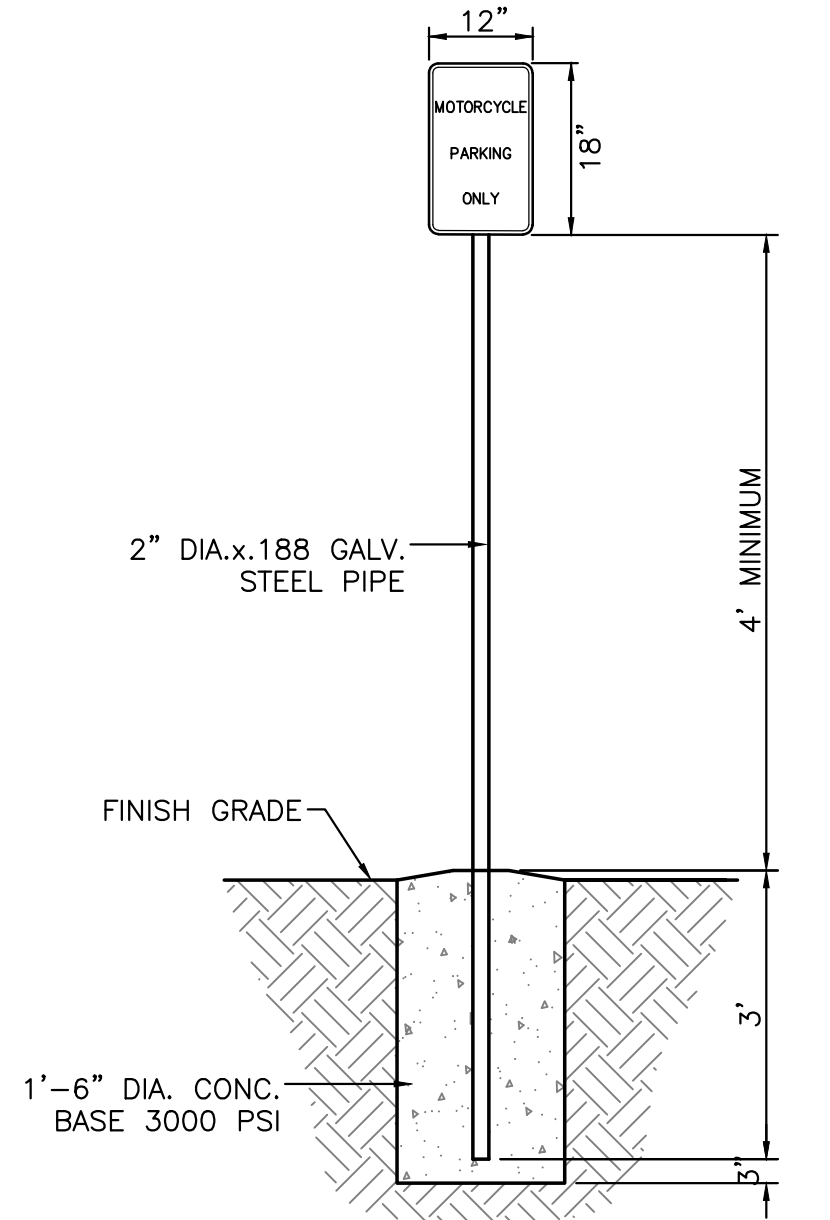
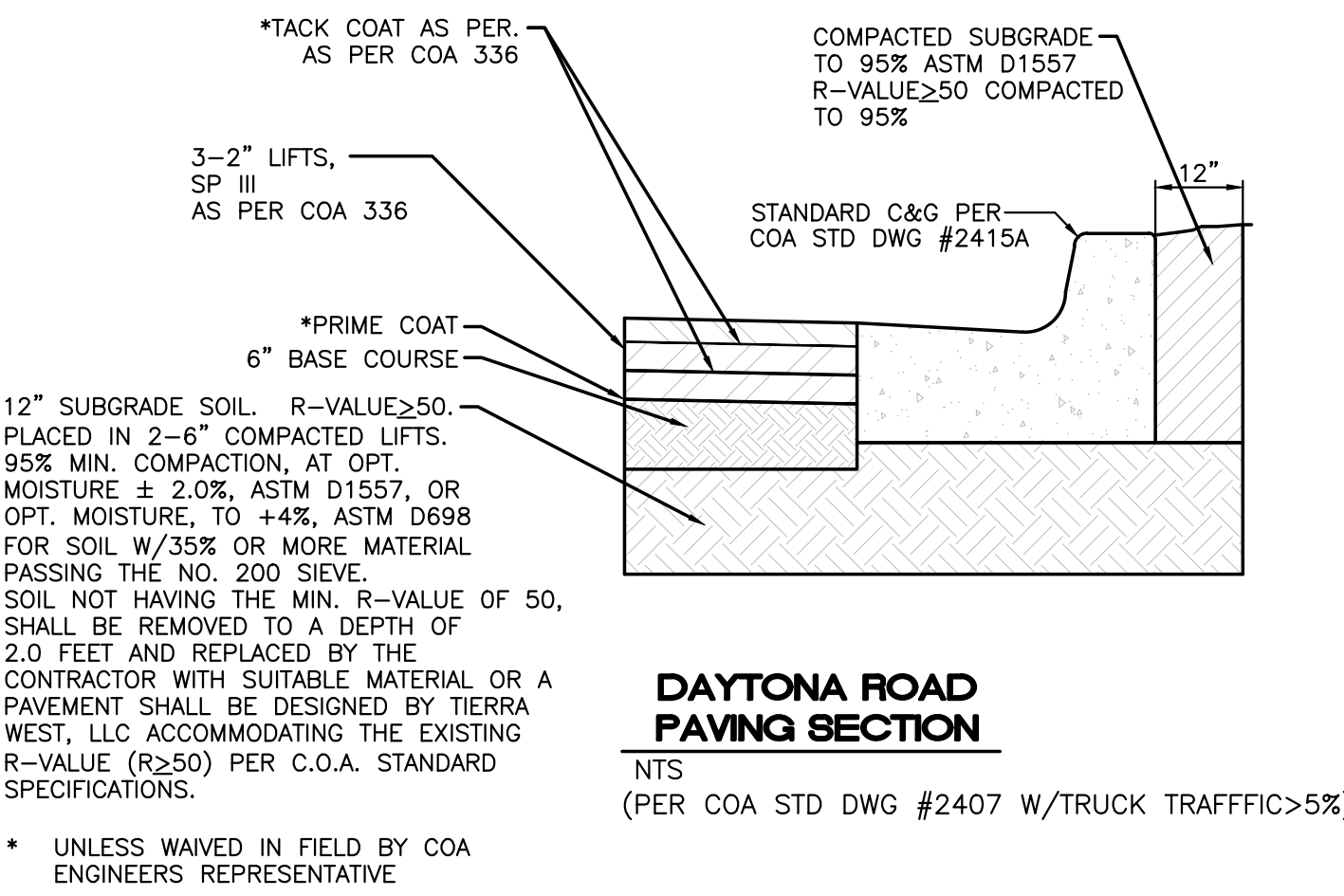
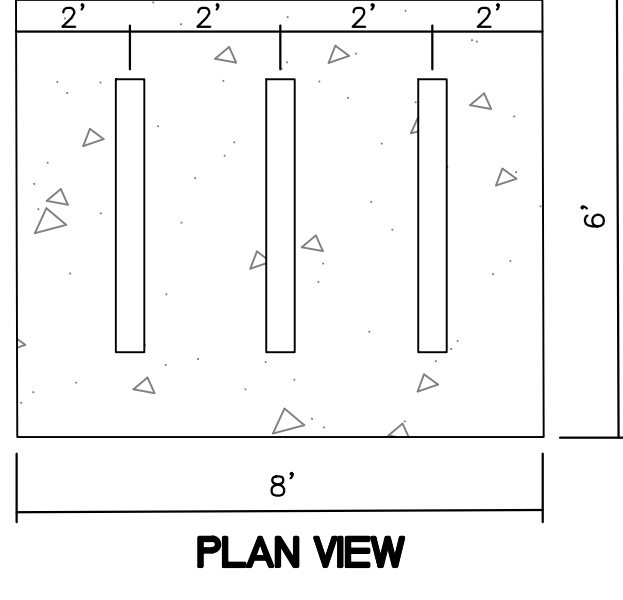
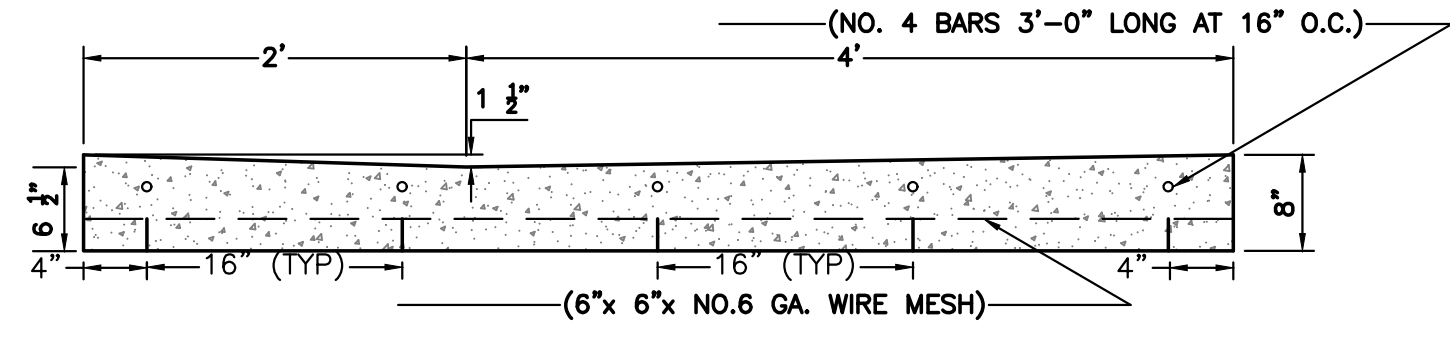


DOME SPACING
CC - CENTER TO CENTER SPACING 2.35\"/>



- CURB GENERAL NOTES:**
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING. 1/2\"/>

8\"/>

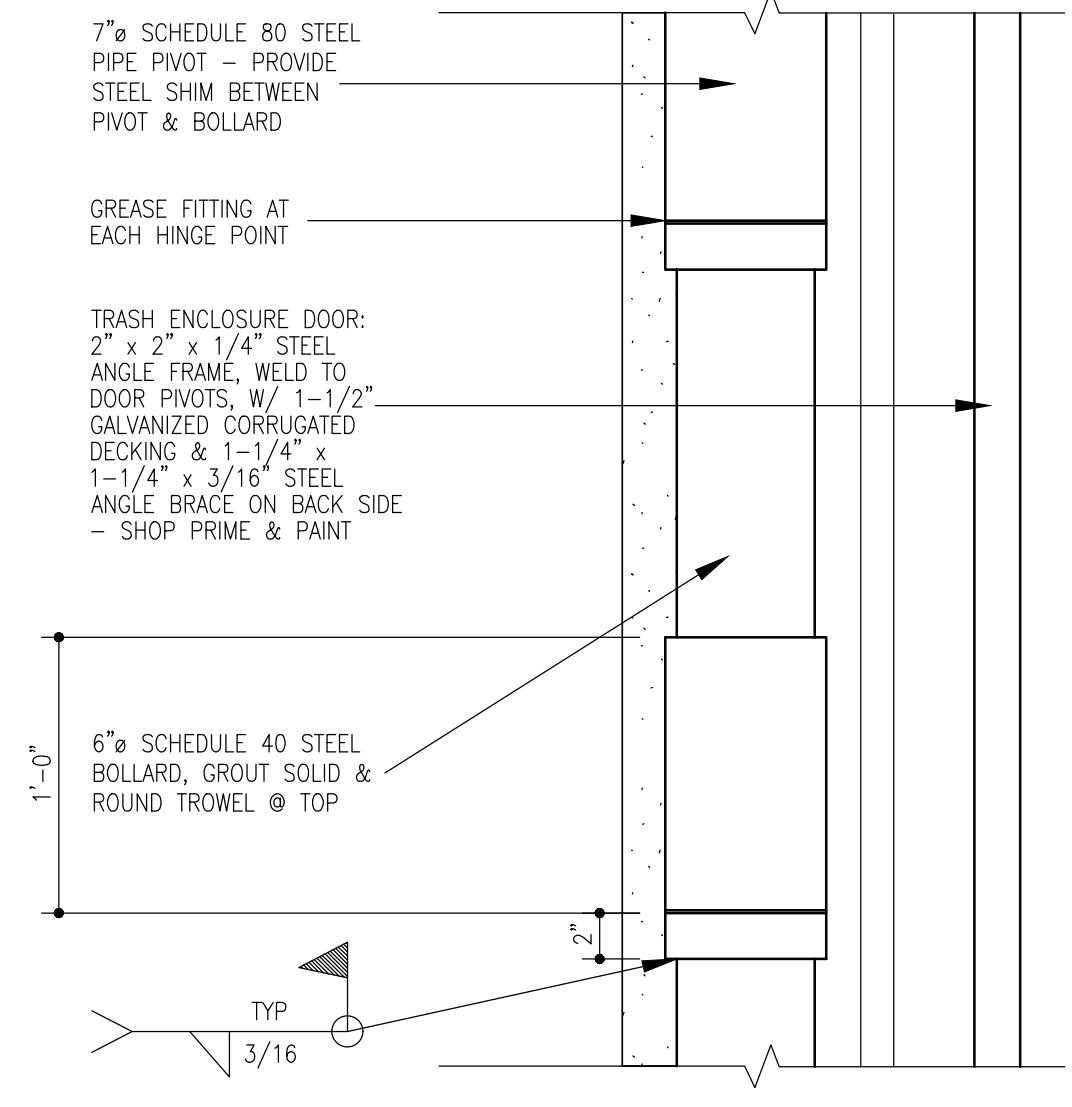


PRODUCT: L238-16(SF)
DESCRIPTION: "U" BIKE RACK
DATE: 10-4-10
ENG: SMC
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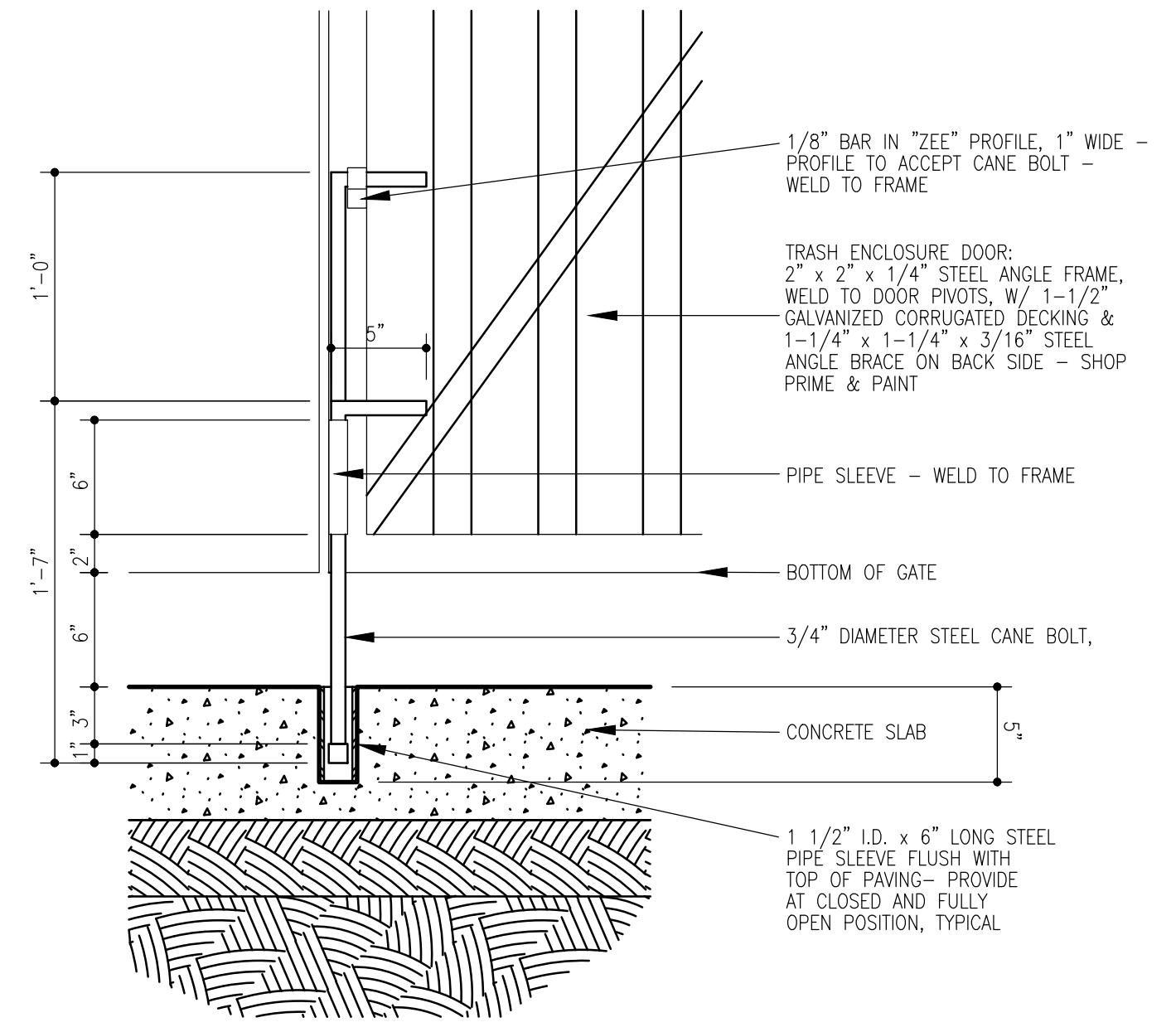
- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR & FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

MADRAK DIVISION
GRABER MANUFACTURING, INC.
1050 LINEX DRIVE
WALWAKE, WI 53097
P800 448-7931, P6680 849-3900, F6680 849-3900
WWW.MADRAK.COM, E-MAIL SALES@MADRAK.COM

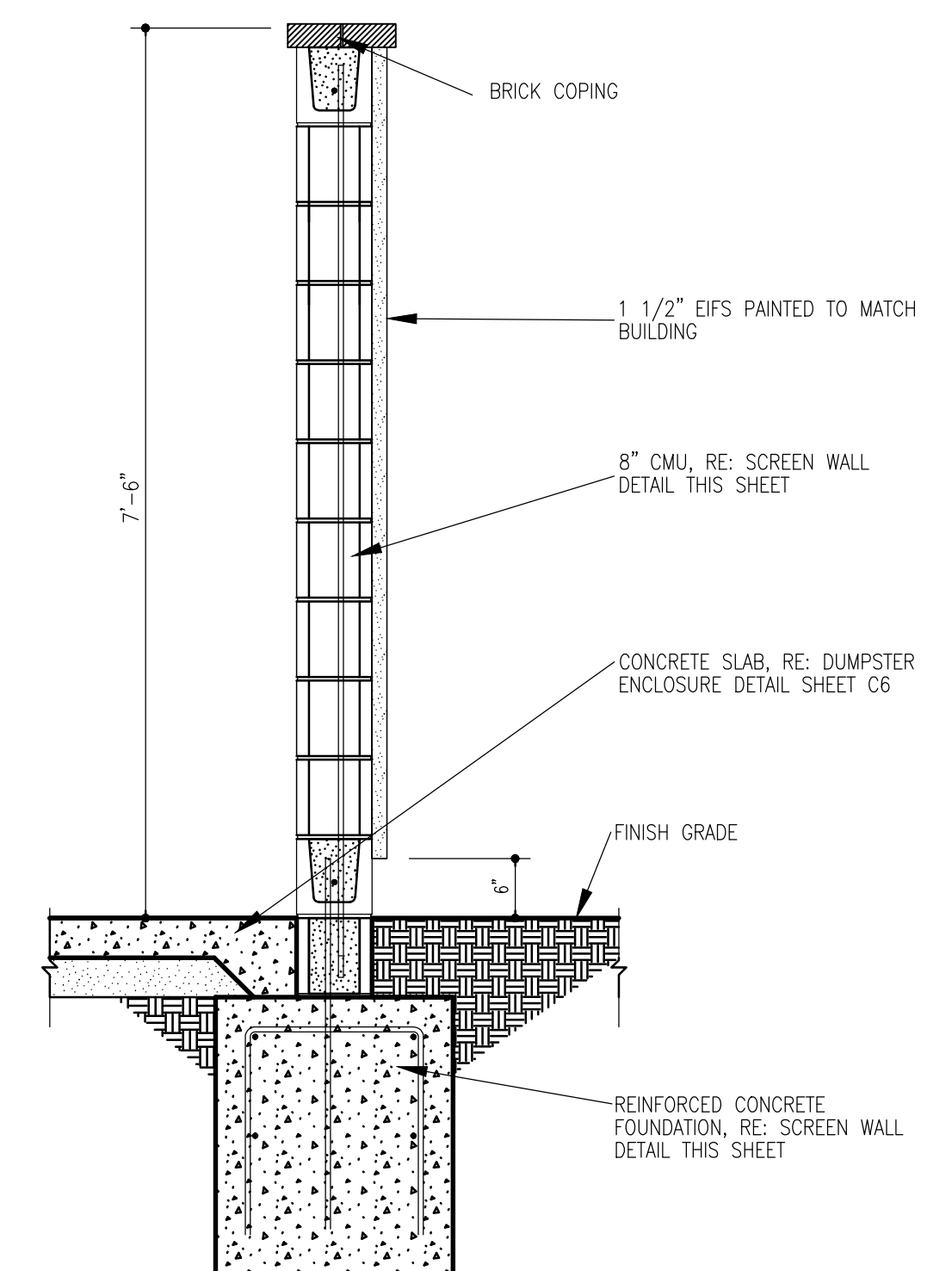
	SOUTHERN TIRE MART ALBUQUERQUE, NM CONSTRUCTION DETAILS	DRAWN BY pm DATE 5-13-21 DRAWING 2020031-DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-1 JOB # 2020031



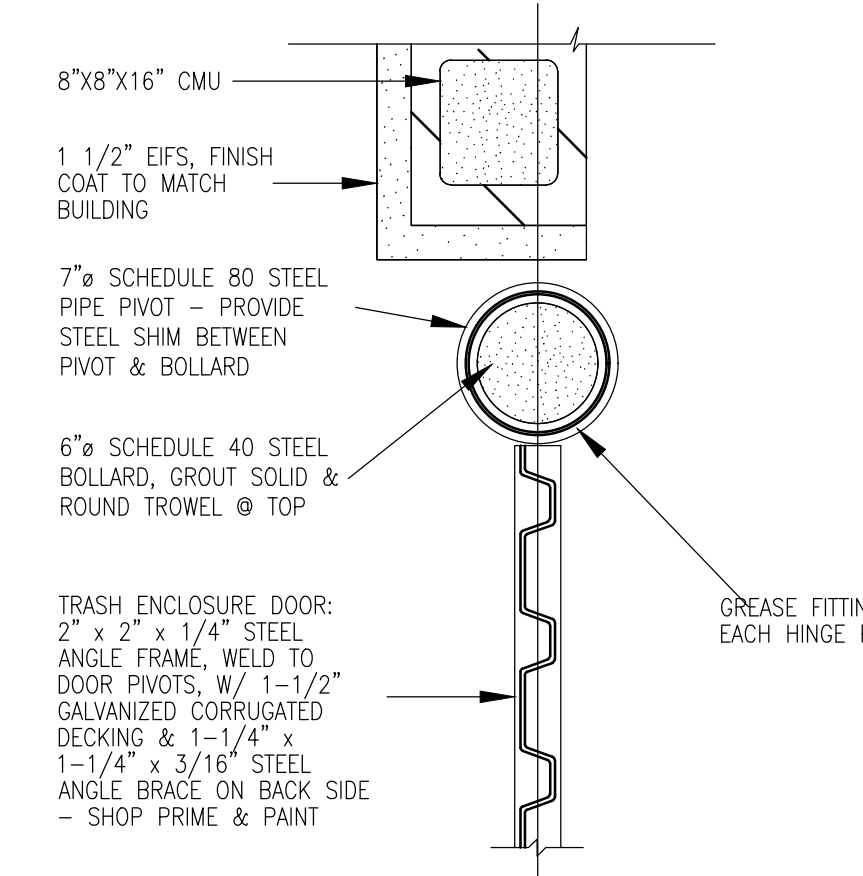
9 Dumpster Door Pivot
1/12" = 1'-0"



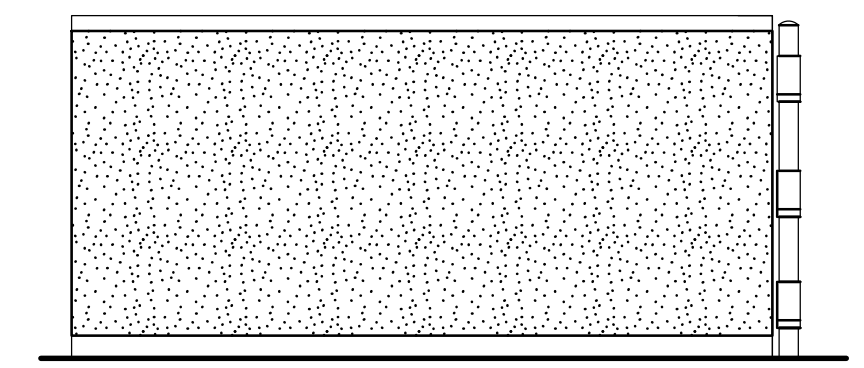
8 Cane Bolt Detail
1/12" = 1'-0"



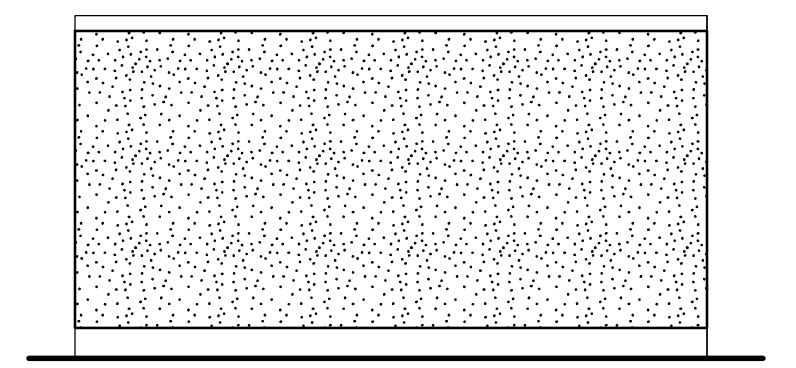
7 Wall Section
3/4" = 1'-0"



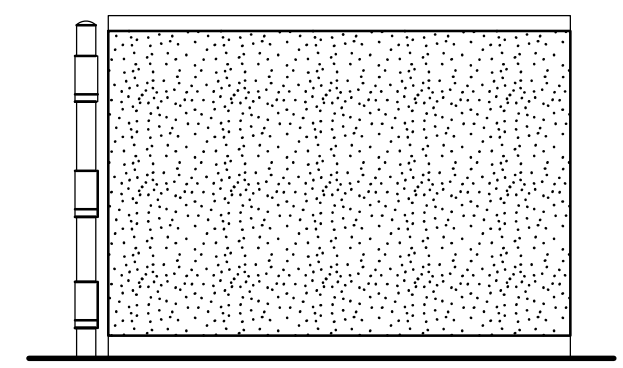
6 Plan Detail
1/12" = 1'-0"



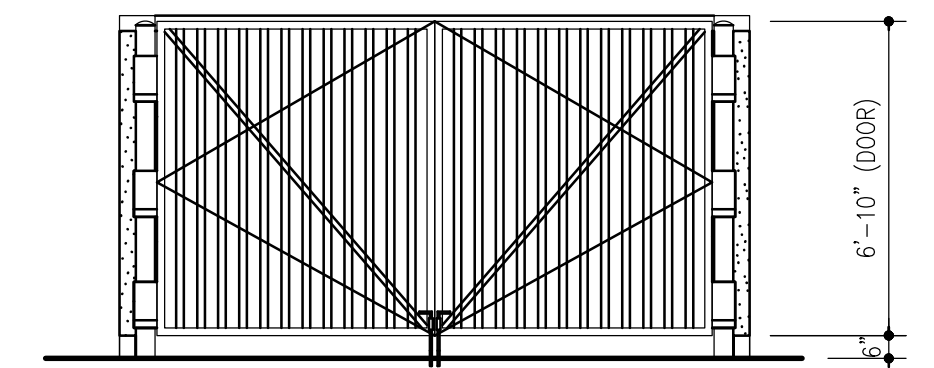
5 Side Elevation
NTS



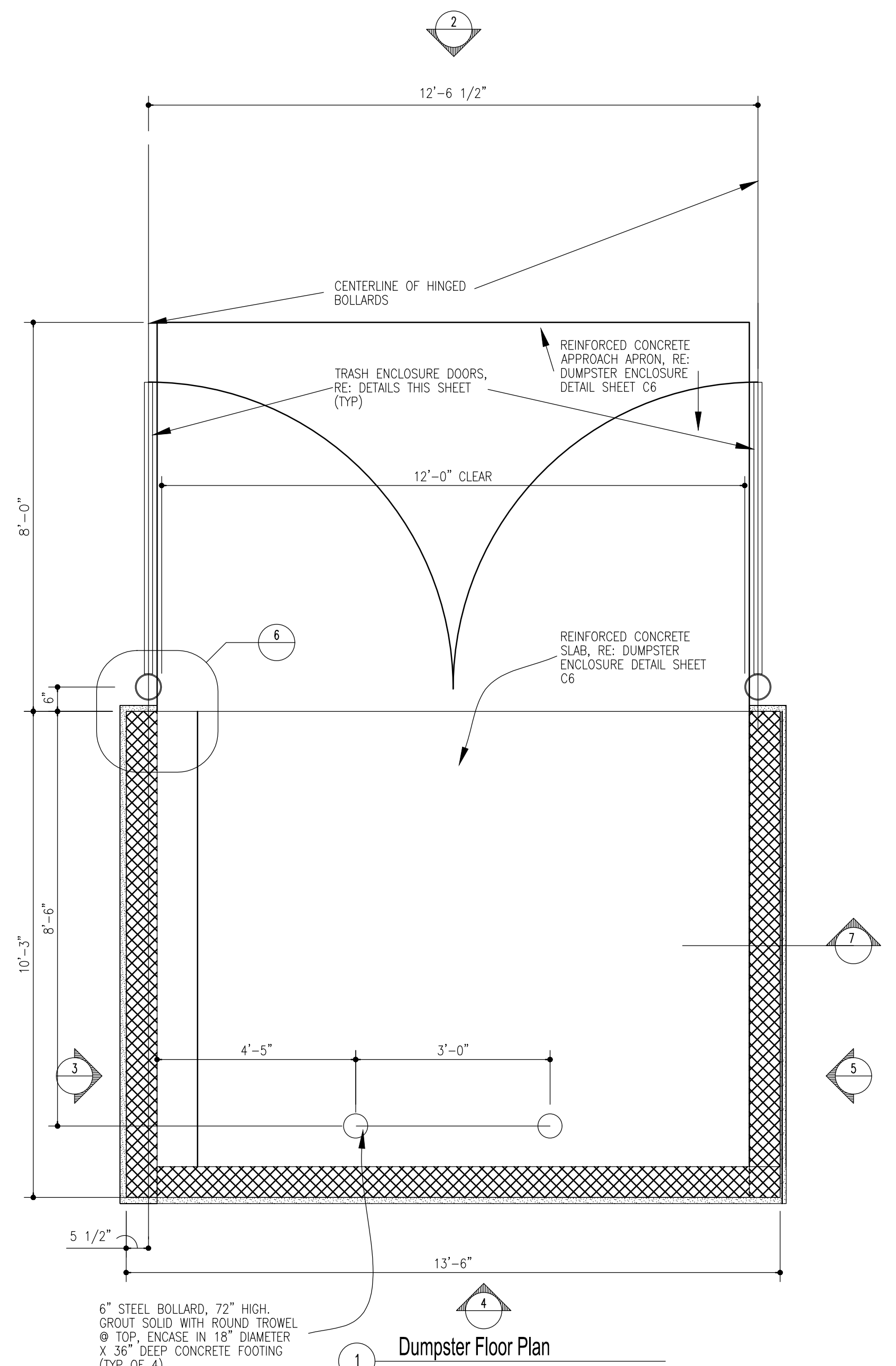
4 Back Elevation
NTS



3 Side Elevation
NTS



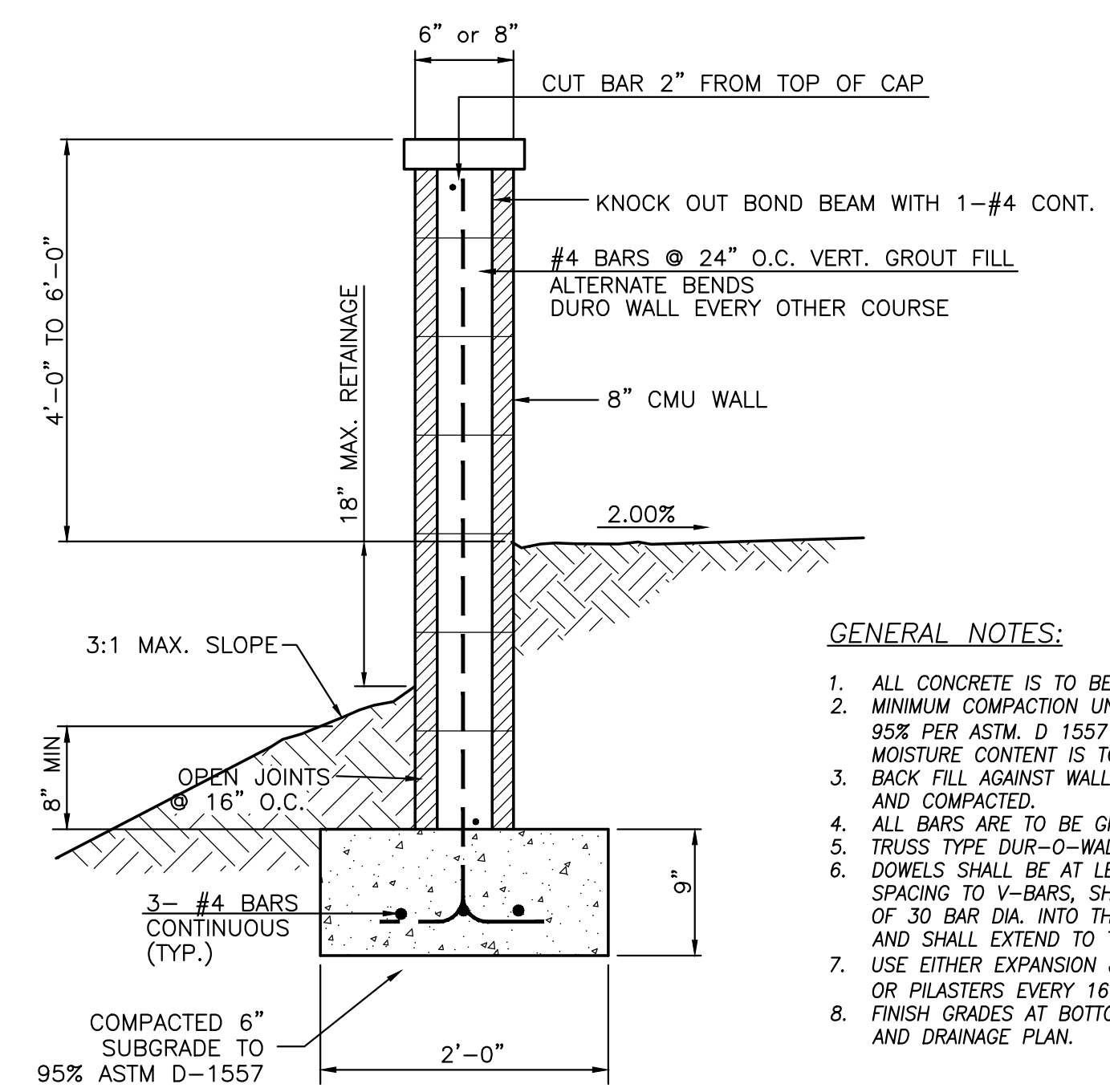
2 Front Elevation
NTS



1 Dumpster Floor Plan
1/2" = 1'-0"

General Notes

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT TO MATCH BUILDING

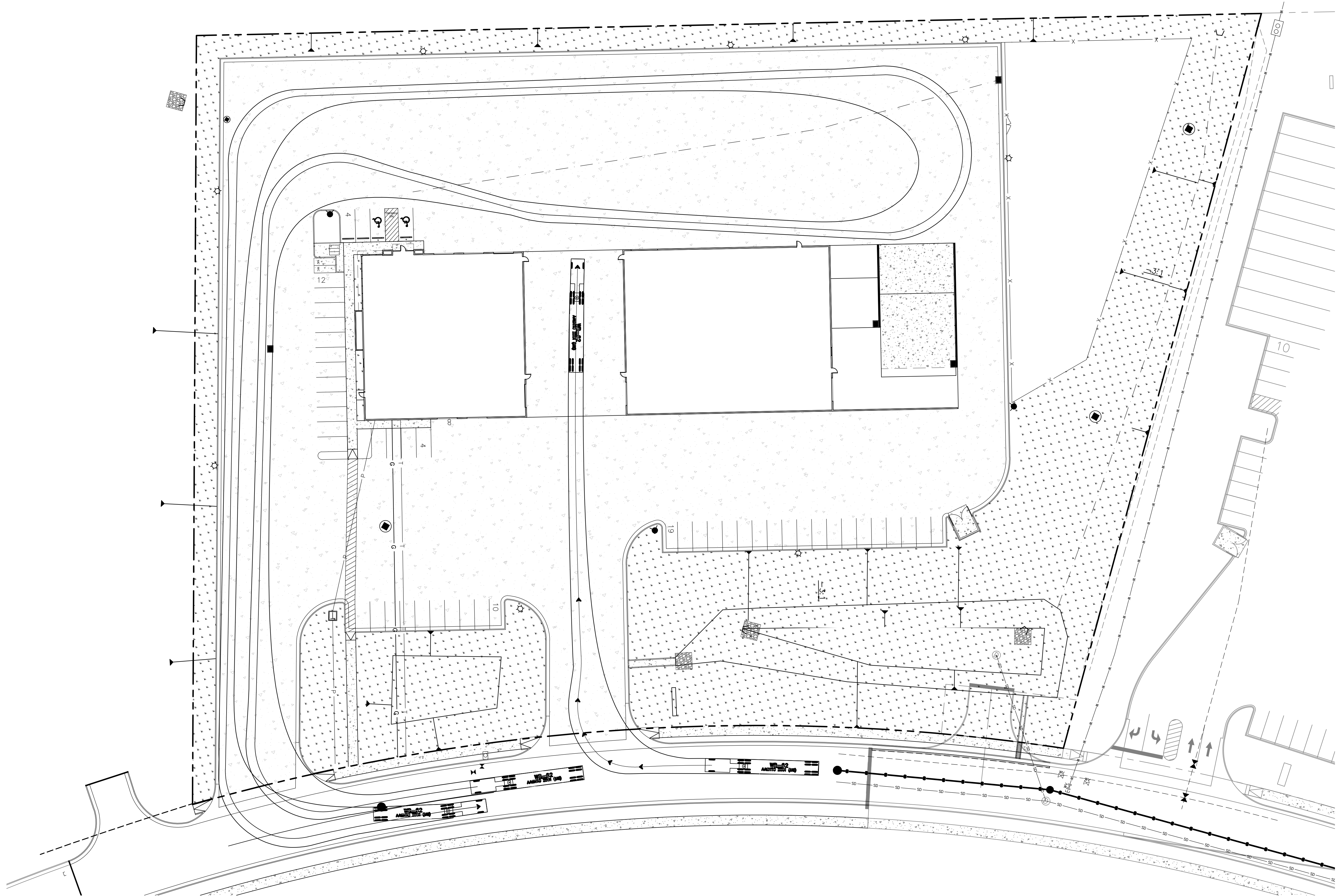


SCREEN WALL SECTION
NTS

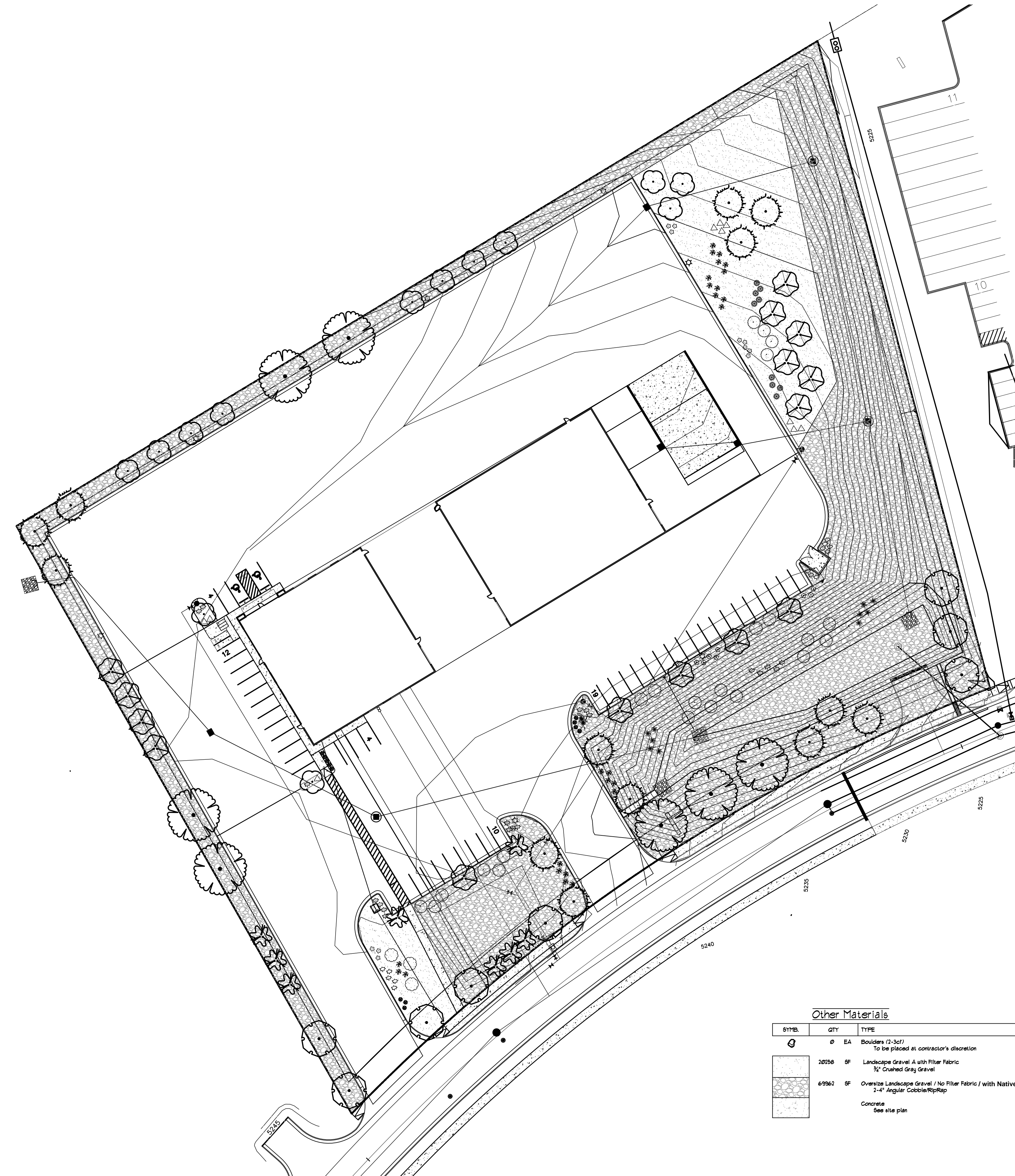
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.

	SOUTHERN TIRE MART ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 5-13-21
	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020031-DET
RONALD R. BOHANNAN P.E. #7868	03/29/21	SHEET # DET-2
		JOB # 2020031



JN 2020031
SOUTHERN TIRE MART
AUTO TURN ACCESS EXHIBIT
5/13/21



LANDSCAPE LEGEND

SYMBL	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE H/W	WATER USE	COVER (EA)	TOTAL
Trees							
15	2	Trunks w/ 2" Combined Cal.	Desert Willow <i>Quercus linearis</i>	30' x 25'	L	625	9375
13	2	Trunks w/ 2" Combined Cal.	Bradford Pear <i>Pyrus calleryana</i>	30' x 35'	M	225	2025
1	1	2" Cal	Honey Locust <i>Gleditsia triacanthos herms</i>	50' x 45'	M+	2025	1475
13	6	6" height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	8025
8	2	2" Cal	Chinese Pistache <i>Pistacia chinensis</i>	40' x 30'	M	500	7000
8	2	Trunks w/ 2" Combined Cal.	China Tree <i>Vitex agnus-castus</i>	30' x 20'	M	400	3200
							Total Tree Coverage: 45000
Shrubs & Groundcover							
8	5	Gal	Blue Mist Spruce <i>Carex sp. clandonensis</i>	3' x 3'	Low	5	72
1	5	Gal	Butterfly Bush <i>Buddleia davidii</i>	7' x 6'	M	36	252
10	5	Gal	Indian Hawthorn <i>Raphanocarpus indica</i>	3' x 5'	M	25	250
13	5	Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4' x 2'	M	144	1872
13	5	Gal	Apache Pine <i>Pinus ponderosa</i>	6' x 7'	L	49	931
10	5	Gal	Wintergreen Barberry <i>Barberry juliae</i>	5' x 5'	M	25	250
9	5	Gal	Ornamental <i>Chrysothamnus nauseosus</i>	5' x 7'	L	49	441
25	5	Gal	Feather Reed Grass <i>Calamagrostis canadensis</i>	2' x 2'	M	5	225
8	5	Gal	Trumpet Bush <i>Ericameria latifolia</i>	5' x 6'	L	36	288
18	5	Gal	Buffalo Juniper <i>Juniperus horizontalis</i>	4' x 2'	M	144	2932
11	5	Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low	5	108
2	5	Gal	Sagebrush <i>Yucca elata</i>	20' x 5'	RU	25	50
							Total Shrub Coverage: 4068

LANDSCAPE CALCULATIONS

ZONING	FD: PLANNED DEVELOPMENT
APPLICABLE REGULATION(S)	IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994
TOTAL LOT AREA (ACRES)	5.83
TOTAL LOT AREA (SF)	253751
BUILDING AREA (SF)	22300
NET LOT AREA (SF)	231451
REQUIRED LANDSCAPE (%)	15
REQUIRED LANDSCAPE (SF)	34719
LANDSCAPE PROVIDED (SF)	91220
VEGETATIVE COVER (% - REQ)	15.0
VEGETATIVE COVER (SF - REQ)	68415
VEGETATIVE COVER (SF - PROV.)	49068
REQ. TREES - PROVIDED UNIT TREES	28 / 64

Other Materials

SYMBL	QTY	TYPE
0	EA	Boulders (12-36") To be placed at contractor's discretion
20250	SF	Landscape Gravel A with Filter Fabric 3/4" Crained Gray Gravel
69562	SF	Oversize Landscape Gravel / No Filter Fabric / with Native Seeding 1-4" Angular Cobble/Repp

Concrete see site plan

PLANTING NOTES
ALL PLANTS TO CONTAIN BARK MULCH AROUND THE ROOTBALL, TO THE EXTENT TO COVER THE DRIP LINES.

GENERAL NOTES
IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCES. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION AND LANDSCAPE MAINTENANCE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED 5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

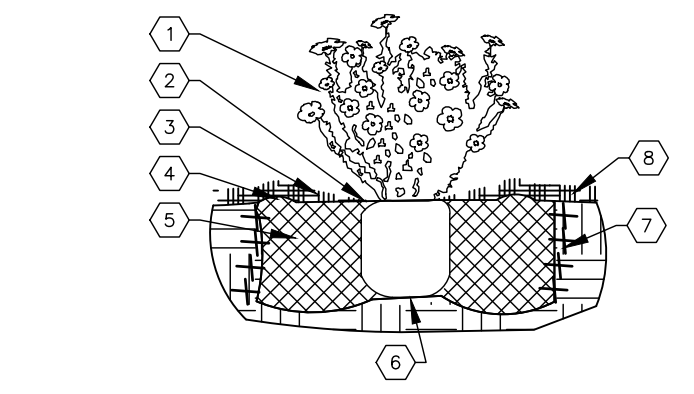
POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

IRRIGATION NOTES:
IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

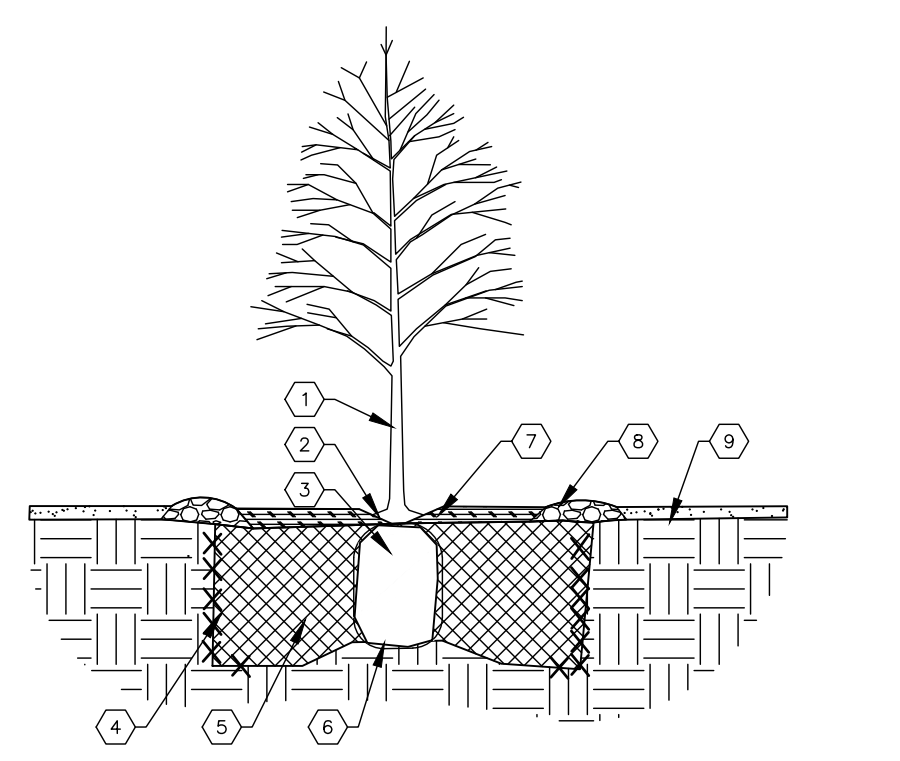
POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.
LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.
IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.



SHRUB PLANTING KEYED NOTES

- SHRUB LOCATION SPECIES AND CONDITION AS PER PLAN.
- INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- USE WOOD CHIP MULCH (AS NEEDED TO EXPOSE ROOT FLARE) HELD BACK 1" FROM TRUNK AND STEPS AND TO COVER DRIP LINE.
- BACKFILL PER SPECIFICATIONS LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL.
- SCARPY AND LOOSEN EDGES OF PLANTING PIT.
- MULCH - SEE PLANTING PLAN 3" DEPTH UNLESS OTHERWISE NOTED.

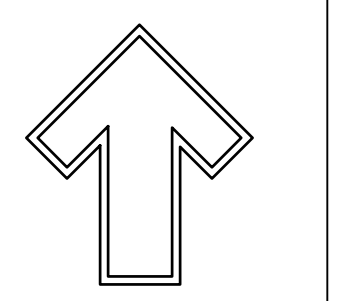
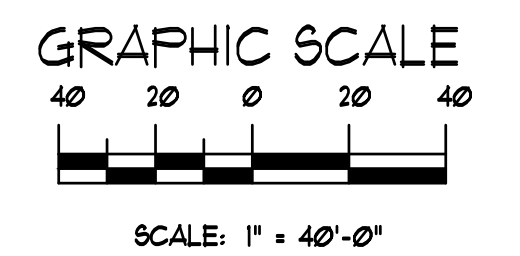
01 SHRUB PLANTING



TREE PLANTING KEYED NOTES

- TREE LOCATION SPECIES AND CONDITION AS PER PLAN.
- REMOVING EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
- INSTALL TREE PULPES REMOVE WIRE BASKET, WOOD BOX, PLASTIC TUNES, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BUSH AND EXCEPT FROM BOTTOM OF ROOT BALL.
- SCARPY AND LOOSEN EDGES OF PLANTING PIT.
- BACKFILL PER SPECIFICATIONS LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
- UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
- INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
- 4" HIGH X 6" WIDE COBBLE BERRY AT DRIP LINE.
- MULCH - SEE PLANTING PLAN.

02 TREE PLANTING



The Hilltop
13009 Edith NE
Albuquerque, NM 87113
Cell: 505-894-1454
Fax: 505-894-3690
Fax: 505-894-1131
thehilltoplandscape.com

Not for Construction

Southern Tire Mart
Albuquerque, NM
landscape Design Development

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: JH
REVISION:
DATE: 04/05/2021

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LP-101

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EXISTING DRAINAGE SWALE / SEDIMENT POND
ALONG EAST PROPERTY LINE



EXISTING ARROYO WITH ACCUMULATED TRASH/TUMBLE WEEDS



END OF EXISTING ARROYO @ EAST PROPERTY LINE
(BACKFILLED TO THE EAST)



LOOKING NORTH ACROSS INTERSTATE 40 & DRAINAGE EASEMENT
TO ADJACENT HOUSING



CONCRETE BOX CULVERT WITH DRAINAGE BASIN
DIVERTED NORTH OF I-40



LOOKING EAST ACROSS THE SITE



LOOKING NORTHWEST ACROSS THE SITE



LOOKING NORTHEAST ACROSS THE SITE



PROPERTY DIRECTLY SOUTH OF SITE

In conclusion, other than the onsite arroyo noted above which will be backfilled with engineered fill, as have the downstream portions with previous developments, none of the above features have been determined to be present on this site. The historic flows that contributed to this arroyo are now diverted on the north side of I-40 by improvements constructed along that side of the interstate. This diversion has removed the need to retain the arroyo. Any remaining miscellaneous flows will be diverted to the existing storm drain in Daytona Rd with the development of the subject site. Various attached documents support our findings of no remaining sensitive land issues.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E

JN: 2020031
RRB/vc/ye