



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input checked="" type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
<b>BRIEF DESCRIPTION OF REQUEST</b>		
The purpose of this replat is to consolidate 22 lots/tracts into 2 tracts, to dedicate additional public right-of-way and to grant easements as shown of the submitted plat.		

<b>APPLICATION INFORMATION</b>		
Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any): Tim Solinski		Phone: 5052424848
Address: 7420 Reading Ave SE		Email: TimS@auinc.net
City: Albuquerque	State: New Mexico	Zip: 87105
Proprietary Interest in Site:		List all owners: City of Albuquerque & Bernalillo County
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: See Attached		Block:
Subdivision/Addition:		Unit:
MRGCD Map No.: 40		UPC Code: See Attached
Zone Atlas Page(s): J-14-Z	Existing Zoning: MX-FB-UD	Proposed Zoning
# of Existing Lots: 22	# of Proposed Lots: 2	Total Area of Site (Acres): 2.2273
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: One Civic Plaza/400 Marquette	Between: Marquette	and: Tijeras
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		

<b>Signature:</b> <i>T. Solinski</i>		<b>Date:</b> 11/20/2020
<b>Printed Name:</b> Tim Solinski		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
PS-2020-00124	SK	\$50
Meeting Date: December 2, 2020		Fee Total: \$50
Staff Signature: <i>Vanessa A Segura</i>		Date: 11/20/2020
		Project # PR-2020-4748

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND WITHIN SECTIONS 17 AND 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN (N.M.P.M.), THE TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, ALSO BEING ALL OF TRACT A-2, AS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1 & A-2, 415 TIJERAS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 26, 2020 IN BOOK 2020C, PAGE 22 AS DOCUMENT NUMBER 2020018241; AND ALL OF LOTS 62, 62, 64, R, S, T, ALL OF AN ALLEY (16' PUBLIC RIGHT-OF-WAY), THE REMAINING PORTION OF LOTS P & Q, BLOCK 4, AS SHOWN AND DESIGNATED ON THE PLAT SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON APRIL 26, 1884 IN BOOK C3, PAGE 49; AND ALL OF LOTS 1, 2, 3, 4, 5 & 6 AND THE REMAINDER OF LOTS 7 & 8, BLOCK C, AS SHOWN AND DESIGNATED ON THE PLAT OF THE MANDELL BUSINESS AND RESIDENCE ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 3, 1886 IN BOOK C, PAGE 142; AND ALL OF PARCEL 47-2a AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JULY 26, 1972 IN DEED BOOK D922, PAGE 537; AND A PORTION OF TRACTS A & B AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON AUGUST 27, 1930 IN BOOK 112, PAGE 479; AND A PORTION OF LAND AS DESCRIBED IN A SPECIAL WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 5, 1963 IN BOOK D679, PAGE 205 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531" AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW, WHENCE AN ALBUQUERQUE BRASS DISK STAMPED "4-J14 ACS" BEARS N19°52'56"W A DISTANCE OF 754.38 FEET;

THENCE ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED AND THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW THE FOLLOWING SEVEN (7) COURSES:

1. N08°38'32"E A DISTANCE OF 78.97 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. 3.97 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 34.76 FEET, A CENTRAL ANGLE OF 6°33'05" AND A CHORD BEARING S35°38'52"W A DISTANCE OF 3.97 FEET TO A POINT OF NON-TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. N08°38'32"E A DISTANCE OF 53.54 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. 22.80 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 45.90 FEET, A CENTRAL ANGLE OF 28°27'38" AND A CHORD BEARING N22°52'21"E A DISTANCE OF 22.56 FEET TO A POINT OF TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. N08°38'32"E A DISTANCE OF 20.12 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'34"W A DISTANCE OF 8.32 FEET TO A POINT;
7. N08°38'32"E A DISTANCE OF 158.00 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A INTERSECTING POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW AND THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW;

THENCE LEAVING THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW ALONG THE SOUTHERLY RIGHT-OF-WAY OF MARQUETTE AVENUE NW S80°50'34"E A DISTANCE OF 303.84 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED S09°05'26"W A DISTANCE OF 523.65 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW;

THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW N72°20'19W A DISTANCE OF 43.70 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";

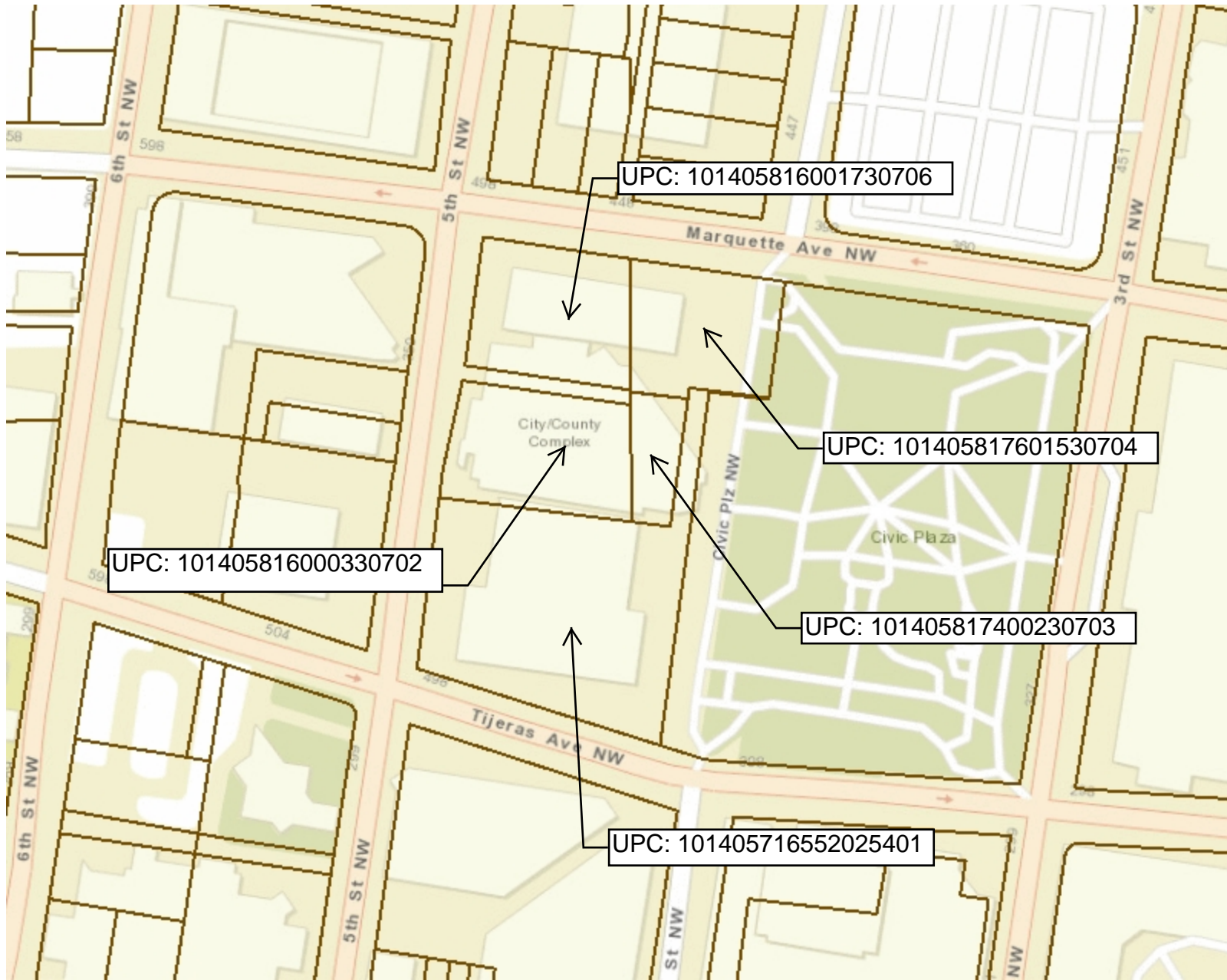
THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW ALONG THE SOUTHERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED THE FOLLOWING SIX (6) COURSES:

1. N09°05'23"E A DISTANCE OF 241.07 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. N80°43'36"W A DISTANCE OF 192.47 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. S09°14'07"W A DISTANCE OF 23.30 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. N81°26'23W A DISTANCE OF 5.21 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. S09°12'15"W A DISTANCE OF 30.66 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'11"W A DISTANCE OF 60.25 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 2.2273 ACRES (97,021 SQ. FEET), MORE OR LESS.



# City of Albuquerque



## Legend

- Bernalillo County Parcels
- Municipal Limits
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED
- World Street Map

## Notes

318 0 159 318 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
11/19/2020 © City of Albuquerque

1: 1,911

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

## FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

**Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.**

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

### >> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- ☐ Interpreter Needed for Hearing? ☐ if yes, indicate language: \_\_\_\_\_
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

### ☒ SKETCH PLAT REVIEW AND COMMENT

- ☒ Letter describing, explaining, and justifying the request
- ☒ Scale drawing of the proposed subdivision plat (7 copies, folded)
- ☒ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded) SEE SHEET 3 OF OF THE PROPOSED PLAT

### ☐ MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- ☐ Letter describing, explaining, and justifying the request
- ☐ Copy of recorded IIA
- ☐ Proposed Final Plat (7 copies, 24" x 36" folded)
- ☐ Design elevations & cross sections of perimeter walls (3 copies)
- ☐ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ☐ DXF file and hard copy of final plat data for AGIS submitted and approved


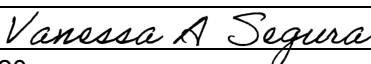

### ☐ MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- ☐ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☐ Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- ☐ Required notice with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination Public Notice Inquiry response
- ☐ Proof of emailed notice to applicable Neighborhood Association representatives
- ☐ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- ☐ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- ☐ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- ☐ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- ☐ Proposed Infrastructure List, if applicable
- ☐ DXF file and hard copy of final plat data for AGIS submitted and approved

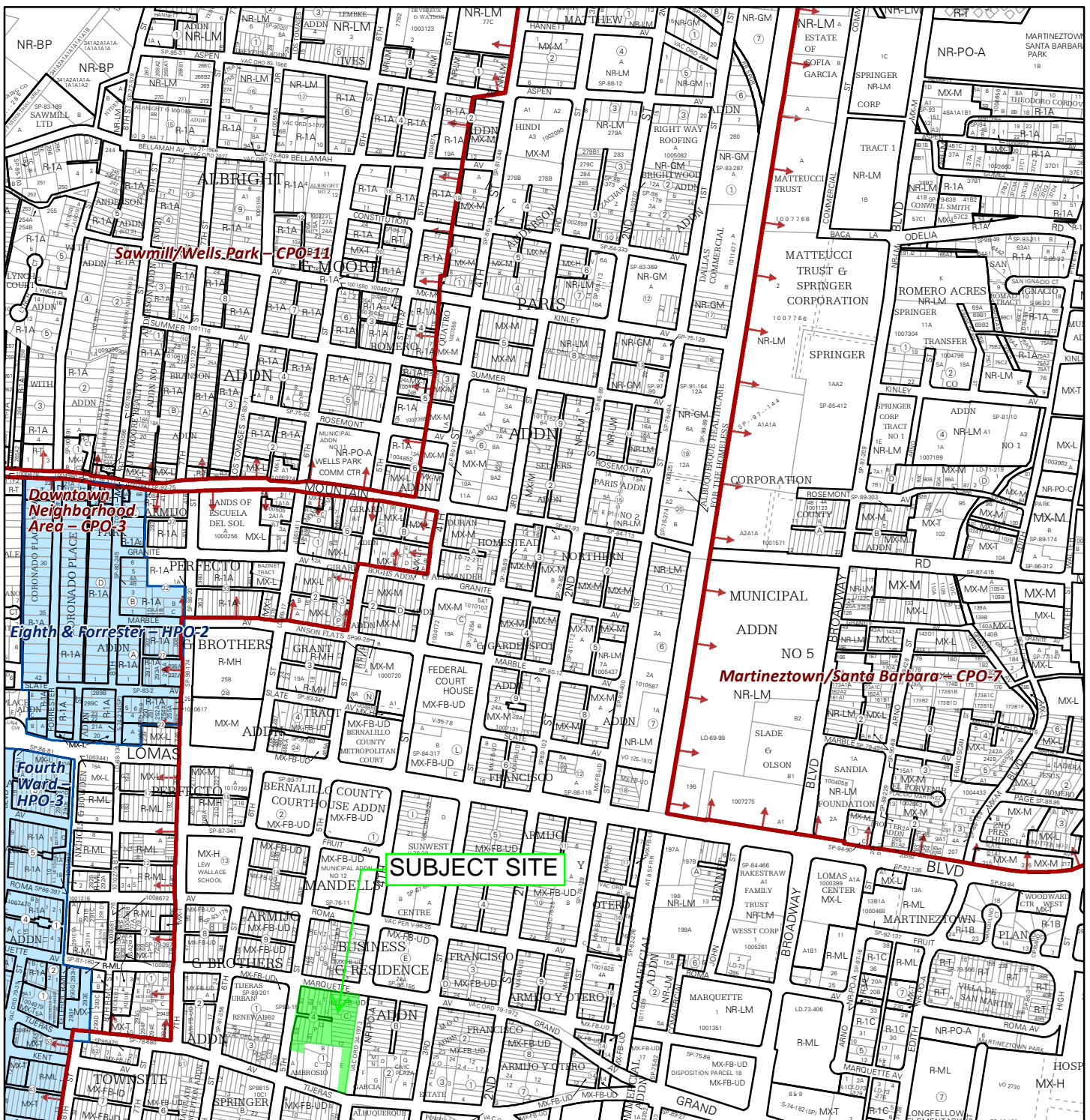
### ☐ MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ☐ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

**Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.**

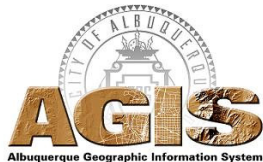
<b>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</b>	
Signature: 	Date: 11/20/2020
Printed Name: Tim Solinski	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Case Numbers:	Project Number
PS-2020-00124	PR-2020-004748
Staff Signature: 	
Date: 11/20/2020	



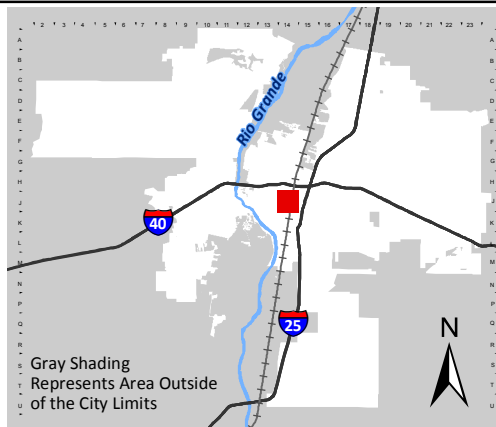


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



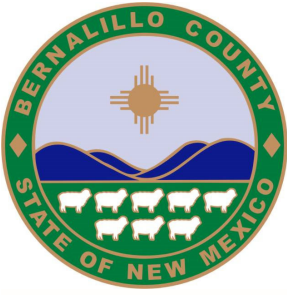
IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**J-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



# *County of Bernalillo*

*State of New Mexico*

## *Real Estate Section*

2400 Broadway SE, Building A  
Albuquerque, New Mexico 87102  
Office: (505) 848-1500  
[www.bernco.gov](http://www.bernco.gov)

November 19, 2020

Ms. Jolene Wolfley  
Development Review Board Chair  
City of Albuquerque  
Plaza del Sol, 600 2<sup>nd</sup> NW  
Albuquerque, NW 87102

Re: Preliminary Plat Review of Plat of Tracts A-2-A & A-2-B, Civic Plaza (a replat)

Dear Ms. Wolfley,

The County of Bernalillo is requesting the Development Review Board review the plat of parcels located at 400 Marquette and One Civic Plaza. Some of the original platted lots included in the replat date back to 1884 and the existing buildings overlap these lots. There is also an existing alley with a 16' public right-of-way covered by an existing building.

The County would like to consolidate the individual parcels and vacate the alley's public right-of-way to establish new boundary lines relative to the existing buildings. It is also the intent of this platting action to dedicate additional rights-of-way for public sidewalk access and to include the curb return at the northwest corner of Tract A-2-A.

Tim Solinski, of AUI Inc., is the surveyor of record and has authorization to preform this platting action on the County's behalf.

Should you have any additional questions or require any further information, please contact me at 505-206-0456 or [dmiglio@bernco.gov](mailto:dmiglio@bernco.gov).

Sincerely,

Deanna Miglio  
Real Estate Manager

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### COMMISSIONERS

Lonnie C. Talbert, Chair, District 4      Charlene E. Pyskotsy, Vice-Chair, District 5  
Debbie O'Malley, Member, District 1      Steven Michael Quezada, Member, District 2      James M. Collie, Member, District 3

### ELECTED OFFICIALS

Tanya R. Giddings, Assessor      Linda Stover, Clerk      Cristy J. Carbón-Gaul, Probate Judge      Manuel Gonzales III, Sheriff      Nancy M. Bearce, Treasurer

### COUNTY MANAGER

Julie Morgas Baca

November 19, 2020

Ms. Jolene Wolfley  
Development Review Board Chair  
City of Albuquerque  
Plaza del Sol, 600 2<sup>nd</sup> NW  
Albuquerque, NW 87102

Re: Preliminary Plat Review of Plat of Tracts A-2-A & A-2-B, Civic Plaza (a replat)

Dear Ms. Wolfley,

The City of Albuquerque is requesting the Development Review Board review the plat of parcels located at 400 Marquette and One Civic Plaza. Some of the original platted lots included in the replat date back to 1884 and the existing buildings overlap these lots. There is also an existing alley with a 16' public right-of-way covered by an existing building.

The City would like to consolidate the individual parcels and vacate the alley's public right-of-way to establish new boundary lines relative to the existing buildings. It is also the intent of this platting action to dedicate additional rights-of-way for public sidewalk access and to include the curb return at the northwest corner of Tract A-2-A.

Tim Solinski, of AUI Inc., is the surveyor of record and has authorization to perform this platting action on City's behalf.

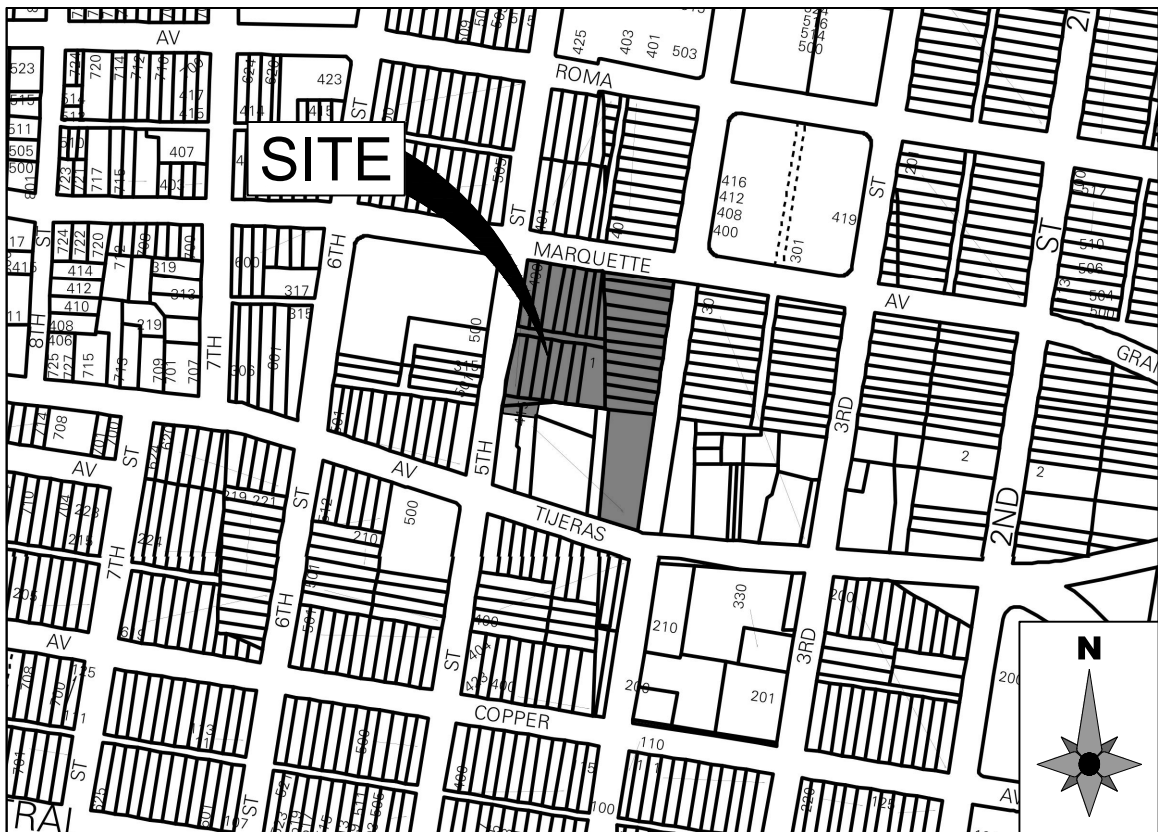
Should you have any additional questions or require any further information, please contact me by phone 505-768-3830 or by email [frgarcia@cabq.gov](mailto:frgarcia@cabq.gov).

Sincerely,

A handwritten signature in cursive script that reads "Reylene Garcia".

Reylene Garcia  
Assistant Property Manager





VICINITY MAP  
NOT TO SCALE

SUBDIVISION DATA:

DRB PROJECT NUMBER: 2020-XXXXXX  
DRB APPLICATION NUMBER:  
ZONE ATLAS INDEX NO: J-14-Z & K-14-Z  
DATE OF FIELD SURVEY: JUNE 2019 THRU OCTOBER 2020  
TOTAL EXISTING LOTS/TRACTS: 22  
TOTAL TRACTS CREATED: 2  
GROSS SUBDIVISION ACREAGE: 2.2273 ACRES  
GROSS RIGHTS-OF-WAY ACREAGE: 0.1357 ACRES

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE ALL OF EIGHTEEN (18) EXISTING LOTS AND FOUR (4) EXISTING TRACTS INTO TWO (2) TRACTS, TO VACATE & DEDICATE PUBLIC RIGHTS-OF-WAY AND TO GRANT EASEMENTS AS SHOWN HEREON.

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
- E. ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF WATER AND SANITARY INFRASTRUCTURE REASONABLY NECESSARY TO PROVIDE WATER AND SANITARY SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

LEGAL DESCRIPTION:

(SEE SHEET 2 OF 3)

FREE CONSENT:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT. SAID OWNER(S) AND/OR PROPRIETOR(S) GRANT ALL EASEMENTS SHOWN HEREON FOR PUBLIC USE AND DEDICATE ADDITIONAL PUBLIC RIGHTS-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

JULIE MORGAS BACA, BERNALILLO COUNTY MANAGER DATE

XXXXXXXXXX, CITY OF ALBUQUERQUE DATE

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
) SS.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS DAY OF  
, 20, BY

NOTARY PUBLIC:  
MY COMMISSION EXPIRES:

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
) SS.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS DAY OF  
, 20, BY

NOTARY PUBLIC:  
MY COMMISSION EXPIRES:

REFERENCE DOCUMENTS USED:

- PLAT OF SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON APRIL 26, 1884 IN BOOK C3, PAGE 49
- PLAT OF THE MANDELL BUSINESS AND RESIDENCE ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 3, 1886 IN BOOK C, PAGE 142
- PLAT OF CITY HALL SITE SURVEY FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON DECEMBER 15, 1965 IN BOOK C6, PAGE 98
- WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON AUGUST 27, 1930 IN BOOK 112, PAGE 479
- WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON MAY 2, 1958 IN BOOK D424, PAGE 9
- SPECIAL WARRANTY DEED FILE IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 5, 1963 IN BOOK D679, PAGE 205
- QUITCLAIM DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JANUARY 19, 1965 IN BOOK 765, PAGE 850
- WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JULY 26, 1972 IN BOOK D922, PAGE 537
- PLAT OF TRACTS A-1 & A-2, 415 TIJERAS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 26, 2020 IN BOOK 2020C, PAGE 22 AS DOCUMENT No. 2020018241

SURVEY NOTES:

- BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE A NAIL WITH WASHER STAMPED "SOLINSKI PS 17531"
- BEARINGS AND/OR DISTANCES SHOWN IN BRACKETS [ ] ARE FROM PARCEL 47-2a AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JULY 26, 1972 IN BOOK D922, PAGE 537.
- BEARINGS AND/OR DISTANCES SHOWN IN PARENTHESIS ( ) ARE FROM

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SURVEYOR'S CERTIFICATION:

I, TIMOTHY SOLINSKI, NEW MEXICO PROFESSIONAL SURVEYOR NO. 17531, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

TIMOTHY SOLINSKI, NMPLS NO. 17531 DATE

PLAT OF  
TRACTS A-2-A & A-2-B  
CIVIC PLAZA

(A RE-PLAT OF ALL OF TRACT A-2, 415 TIJERAS; ALL OF LOTS 62, 63, 64, R, S, T, AN ALLEY (16' R/W) AND THE REMAINING PORTIONS OF LOTS P & Q, BLOCK 4, SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION; ALL OF LOTS 1 THRU 6 AND THE REMAINING PORTIONS OF LOTS 7 & 8, BLOCK C, MANDELL BUSINESS AND RESIDENCE ADDITION), WITHIN SECTIONS 17 & 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., TOWN OF ALBUQUERQUE GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

DECEMBER 2020

DRB PROJECT NUMBER: 2020-XXXXXX

DRB APPLICATION NUMBER:

CITY APPROVALS:

CITY SURVEYOR DATE

REAL PROPERTY DIVISION DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

ABCWUA DATE

CITY ENGINEER DATE

CODE ENFORCEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

UTILITY APPROVALS:

PNM ELECTRIC SERVICES DATE

NEW MEXICO GAS DATE

QWEST CORPORATION D.B.A. CENTURY LINK QC DATE

COMCAST DATE

TAX CERTIFICATION:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#:

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE DATE

DRAFT



PLAT OF  
TRACTS A-2-A & A-2-B  
CIVIC PLAZA

(A RE-PLAT OF ALL OF TRACT A-2, 415 TIJERAS; ALL OF LOTS 62, 63, 64, R, S, T, AN ALLEY (16' R/W) AND THE REMAINING PORTIONS OF LOTS P & Q, BLOCK 4, SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION; ALL OF LOTS 1 THRU 6 AND THE REMAINING PORTIONS OF LOTS 7 & 8, BLOCK C, MANDELL BUSINESS AND RESIDENCE ADDITION), WITHIN SECTIONS 17 & 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., TOWN OF ALBUQUERQUE GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

DECEMBER 2020

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND WITHIN SECTIONS 17 AND 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN (N.M.P.M.), THE TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, ALSO BEING ALL OF TRACT A-2, AS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1 & A-2, 415 TIJERAS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 26, 2020 IN BOOK 2020C, PAGE 22 AS DOCUMENT NUMBER 2020018241; AND ALL OF LOTS 62, 62, 64, R, S, T, ALL OF AN ALLEY (16' PUBLIC RIGHT-OF-WAY), THE REMAINING PORTION OF LOTS P & Q, BLOCK 4, AS SHOWN AND DESIGNATED ON THE PLAT SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON APRIL 26, 1884 IN BOOK C3, PAGE 49; AND ALL OF LOTS 1, 2, 3, 4, 5 & 6 AND THE REMAINDER OF LOTS 7 & 8, BLOCK C, AS SHOWN AND DESIGNATED ON THE PLAT OF THE MANDELL BUSINESS AND RESIDENCE ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 3, 1886 IN BOOK C, PAGE 142; AND ALL OF PARCEL 47-2a AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JULY 26, 1972 IN DEED BOOK D922, PAGE 537; AND A PORTION OF TRACTS A & B AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON AUGUST 27, 1930 IN BOOK 112, PAGE 479; AND A PORTION OF LAND AS DESCRIBED IN A SPECIAL WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 5, 1963 IN BOOK D679, PAGE 205 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531" AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW, WHENCE AN ALBUQUERQUE BRASS DISK STAMPED "4-J14 ACS" BEARS N19°52'56"W A DISTANCE OF 754.38 FEET;

THENCE ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED AND THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW THE FOLLOWING SEVEN (7) COURSES:

1. N08°38'32"E A DISTANCE OF 78.97 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. 3.97 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 34.76 FEET, A CENTRAL ANGLE OF 6°33'05" AND A CHORD BEARING S35°38'52"W A DISTANCE OF 3.97 FEET TO A POINT OF NON-TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. N08°38'32"E A DISTANCE OF 53.54 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. 22.80 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 45.90 FEET, A CENTRAL ANGLE OF 28°27'38" AND A CHORD BEARING N22°52'21"E A DISTANCE OF 22.56 FEET TO A POINT OF TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. N08°38'32"E A DISTANCE OF 20.12 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'34"W A DISTANCE OF 8.32 FEET TO A POINT;
7. N08°38'32"E A DISTANCE OF 158.00 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A INTERSECTING POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW AND THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW;

THENCE LEAVING THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW ALONG THE SOUTHERLY RIGHT-OF-WAY OF MARQUETTE AVENUE NW S80°50'34"E A DISTANCE OF 303.84 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

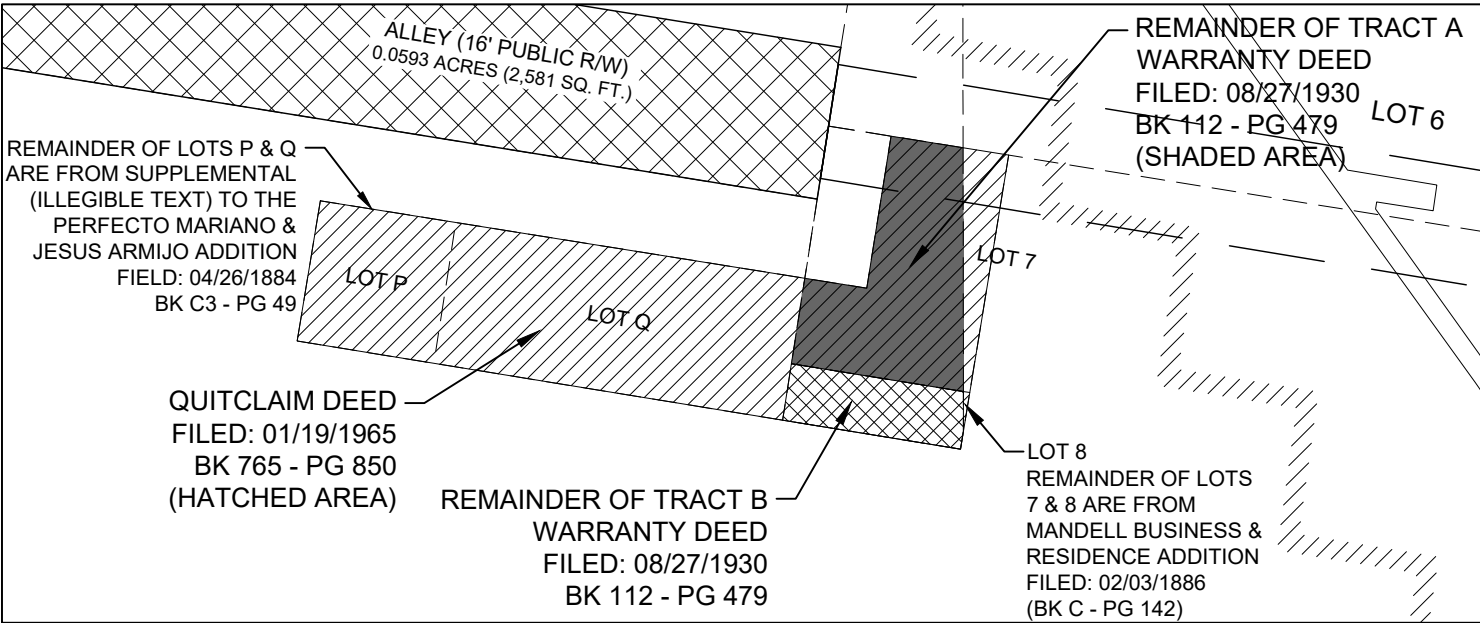
THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED S09°05'26"W A DISTANCE OF 523.65 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW;

THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW N72°20'19W A DISTANCE OF 43.70 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";

THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW ALONG THE SOUTHERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED THE FOLLOWING SIX (6) COURSES:

1. N09°05'23"E A DISTANCE OF 241.07 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. N80°43'36"W A DISTANCE OF 192.47 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. S09°14'07"W A DISTANCE OF 23.30 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. N81°26'23W A DISTANCE OF 5.21 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. S09°12'15"W A DISTANCE OF 30.66 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'11"W A DISTANCE OF 60.25 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 2.2273 ACRES (97,021 SQ. FEET), MORE OR LESS.



NOTE: THE REMAINDER TRACTS / LOTS SHOWN IN DETAIL "A" WILL BE INCORPORATED INTO TRACT A-2-B WITH THE FILING OF THIS PLAT

DETAIL "A"  
SCALE: 1" = 20'

LEGEND

- FOUND ALUMINUM CAP AS NOTED
- FOUND BRASS CAP AS NOTED
- FOUND NAIL W/ WASHER STAMPED "SOLINSKI PS 17531"
- SET NAIL W/ WASHER STAMPED "SOLINSKI PS 17531"
- SUBDIVISION BOUNDARY
- NEW LOT / TRACT LINE
- ADJOINING PROPERTY LINE
- EXISTING EASEMENT LINE
- PUBLIC RIGHT-OF-WAY
- ELIMINATED LOT LINE
- BUILDING OUTLINE

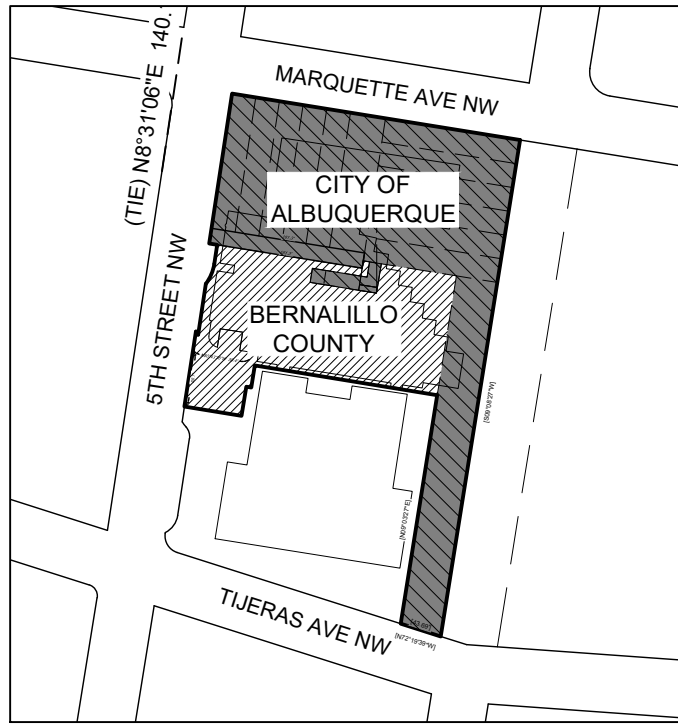
EXISTING ELEVATED PEDESTRIAN WALKWAY EASEMENT  
FILED: 09/24/1985  
(BK MISC 274A - PG 467)

"17-J14 ACS" ALUMINUM DISK  
NEW MEXICO STATE PLANE  
COORDINATES (NAD83 CENTRAL ZONE)  
NORTHING = 1488866.762 USFT,  
EASTING = 1519149.317 USFT  
GROUND TO GRID FACTOR: 0.999683611  
MAPPING ANGLE: -0°13'59.00"  
NAVD88 ELEVATION = 4957.484 USFT

"4-J14 ACS" BRASS DISK  
NEW MEXICO STATE PLANE  
COORDINATES (NAD83 CENTRAL ZONE)  
NORTHING = 1488041.353 USFT,  
EASTING = 1519843.85 USFT  
GROUND TO GRID FACTOR: 0.999683455  
MAPPING ANGLE: -0°13'54.12"

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	53.54	N08°38'32"E
L2	20.12	N08°38'32"E
L3	8.32	N80°50'34"W (N80°50'39.21"W)
L4	43.70	N72°20'19"W
L5	23.30	S09°14'07"W
L6	5.21	N81°26'23"W
L7	30.66	S09°12'15"W
L8	60.25	N80°50'11"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD DIRECTION
C1	3.97	34.76	6° 33' 05"	3.97	S35°38'52"E
C2	22.80	45.90	28° 27' 38"	22.56	N22°52'21"E

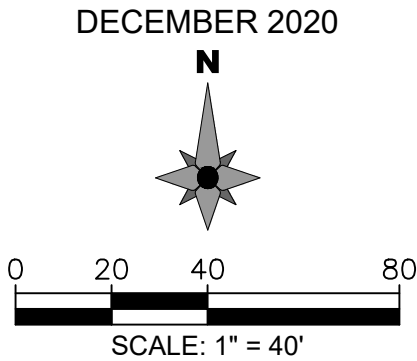


PRE-PLAT OWNERSHIP CONDITIONS  
SCALE: 1" = 200'

NOTE:  
SEE SHEET 3 OF 3 FOR ADDITIONAL  
RIGHTS-OF-WAY

PLAT OF  
TRACTS A-2-A & A-2-B  
CIVIC PLAZA

(A RE-PLAT OF ALL OF TRACT A-2, 415 TIJERAS; ALL OF LOTS 62, 63, 64, R, S, T, AN ALLEY (16' R/W) AND THE REMAINING PORTIONS OF LOTS P & Q, BLOCK 4, SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMJO ADDITION; ALL OF LOTS 1 THRU 6 AND THE REMAINING PORTIONS OF LOTS 7 & 8, BLOCK C, MANDELL BUSINESS AND RESIDENCE ADDITION),  
WITHIN SECTIONS 17 & 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.,  
TOWN OF ALBUQUERQUE GRANT,  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



LEGEND

- ◆ FOUND NAIL W/ WASHER STAMPED "SOLINSKI PS 17531"

● SET SURVEY MONUMENT STAMPED "SOLINSKI PS 17531"

○ BOLLARD

Ⓣ COMMUNICATION MANHOLE

Ⓜ COMMUNICATION PULLBOX

Ⓛ DROP/CURB INLET

Ⓢ ELECTRIC MANHOLE

Ⓜ ELECTRIC PULLBOX

○ FLAGPOLE

Ⓢ FIRE HYDRANT

Ⓢ GAS METER

Ⓢ SANITARY SEWER MANHOLE

Ⓢ STREET LIGHT

Ⓢ TRAFFIC SIGNAL

Ⓢ TRAFFIC PULLBOX
- TREE

Ⓢ WATER MANHOLE

Ⓢ WATER METER

Ⓢ WATER VALVE

— SUBDIVISION BOUNDARY

--- ADDITIONAL RIGHT-OF-WAY

--- NEW LOT / TRACT LINE

--- EXISTING EASEMENT LINE

--- ADJOINING PROPERTY

--- NEW EASEMENT LINE

--- PUBLIC RIGHT-OF-WAY

--- CHAINLINK FENCE

--- FIBER OPTIC LINE

--- GAS LINE

--- SANITARY SEWER LINE

--- UNDERGROUND ELECTRIC LINE

--- WATER LINE

TRACT A-2-A		
GROSS ACREAGE	0.7200 ACRES	
GROSS ADDITIONAL R/W	- 0.1252 ACRES	
NET ACREAGE	0.5948 ACRES	

TRACT A-2-B		
GROSS ACREAGE	1.5073 ACRES	
GROSS ADDITIONAL R/W	- 0.0105 ACRES	
NET ACREAGE	1.4968 ACRES	

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	53.54	N08°38'32"E
L2	20.12	N08°38'32"E
L3	8.32	N80°50'34"W
L4	43.70	N72°20'19"W
L5	23.30	S09°14'07"W
L6	5.21	N81°26'23"W
L7	30.66	S09°12'15"W
L8	60.25	N80°50'11"W
L9	8.32	N80°47'51"W
L10	54.75	S08°38'32"W
L11	8.37	S09°05'26"W
L12	44.96	N80°50'34"W
L13	22.28	S76°50'04"W
L14	209.62	N80°50'34"W
L15	66.23	S08°38'32"W
L16	14.01	S36°21'53"E
L17	18.00	S08°38'07"W
L18	27.91	N08°38'07"E
L19	12.00	S09°21'10"W
L20	12.00	N08°52'48"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD DIRECTION
C1	3.97	34.76	6° 33' 05"	3.97	S35°38'52"E
C2	22.80	45.90	28° 27' 38"	22.56	N22°52'21"E
C3	31.60	20.00	90° 30' 54"	28.41	S53°53'59"W