



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input checked="" type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
The purpose of this replat is to consolidate 22 lots/tracts into 2 tracts, to dedicate additional public right-of-way and to grant easements as shown of the submitted plat.		

APPLICATION INFORMATION		
Applicant:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any): Tim Solinski		Phone: 5052424848
Address: 7420 Reading Ave SE		Email: TimS@aiiinc.net
City: Albuquerque	State: New Mexico	Zip: 87105
Proprietary Interest in Site:		List all owners: City of Albuquerque & Bernalillo County
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: See Attached		Block:
Subdivision/Addition:		Unit:
MRGCD Map No.: 40		UPC Code: See Attached
Zone Atlas Page(s): J-14-Z	Existing Zoning: MX-FB-UD	Proposed Zoning
# of Existing Lots: 22	# of Proposed Lots: 2	Total Area of Site (Acres): 2.2273
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: One Civic Plaza/400 Marquette	Between: Marquette	and: Tijeras
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
Current Project No. PR-2020-004748 and Application No. PS-2020-00124		

Signature:		Date: 2-12-2021	
Printed Name: Tim Solinski		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY			
Case Numbers	Action	Fees	
Meeting Date:		Fee Total:	
Staff Signature:		Date:	Project #

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND WITHIN SECTIONS 17 AND 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN (N.M.P.M.), THE TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, ALSO BEING ALL OF TRACT A-2, AS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1 & A-2, 415 TIJERAS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 26, 2020 IN BOOK 2020C, PAGE 22 AS DOCUMENT NUMBER 2020018241; AND ALL OF LOTS 62, 62, 64, R, S, T, ALL OF AN ALLEY (16' PUBLIC RIGHT-OF-WAY), THE REMAINING PORTION OF LOTS P & Q, BLOCK 4, AS SHOWN AND DESIGNATED ON THE PLAT SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON APRIL 26, 1884 IN BOOK C3, PAGE 49; AND ALL OF LOTS 1, 2, 3, 4, 5 & 6 AND THE REMAINDER OF LOTS 7 & 8, BLOCK C, AS SHOWN AND DESIGNATED ON THE PLAT OF THE MANDELL BUSINESS AND RESIDENCE ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 3, 1886 IN BOOK C, PAGE 142; AND ALL OF PARCEL 47-2a AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JULY 26, 1972 IN DEED BOOK D922, PAGE 537; AND A PORTION OF TRACTS A & B AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON AUGUST 27, 1930 IN BOOK 112, PAGE 479; AND A PORTION OF LAND AS DESCRIBED IN A SPECIAL WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 5, 1963 IN BOOK D679, PAGE 205 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531" AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW, WHENCE AN ALBUQUERQUE BRASS DISK STAMPED "4-J14 ACS" BEARS N19°52'56"W A DISTANCE OF 754.38 FEET;

THENCE ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED AND THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW THE FOLLOWING SEVEN (7) COURSES:

1. N08°38'32"E A DISTANCE OF 78.97 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. 3.97 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 34.76 FEET, A CENTRAL ANGLE OF 6°33'05" AND A CHORD BEARING S35°38'52"W A DISTANCE OF 3.97 FEET TO A POINT OF NON-TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. N08°38'32"E A DISTANCE OF 53.54 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. 22.80 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 45.90 FEET, A CENTRAL ANGLE OF 28°27'38" AND A CHORD BEARING N22°52'21"E A DISTANCE OF 22.56 FEET TO A POINT OF TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. N08°38'32"E A DISTANCE OF 20.12 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'34"W A DISTANCE OF 8.32 FEET TO A POINT;
7. N08°38'32"E A DISTANCE OF 158.00 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A INTERSECTING POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW AND THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW;

THENCE LEAVING THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW ALONG THE SOUTHERLY RIGHT-OF-WAY OF MARQUETTE AVENUE NW S80°50'34"E A DISTANCE OF 303.84 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED S09°05'26"W A DISTANCE OF 523.65 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW;

THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW N72°20'19W A DISTANCE OF 43.70 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";

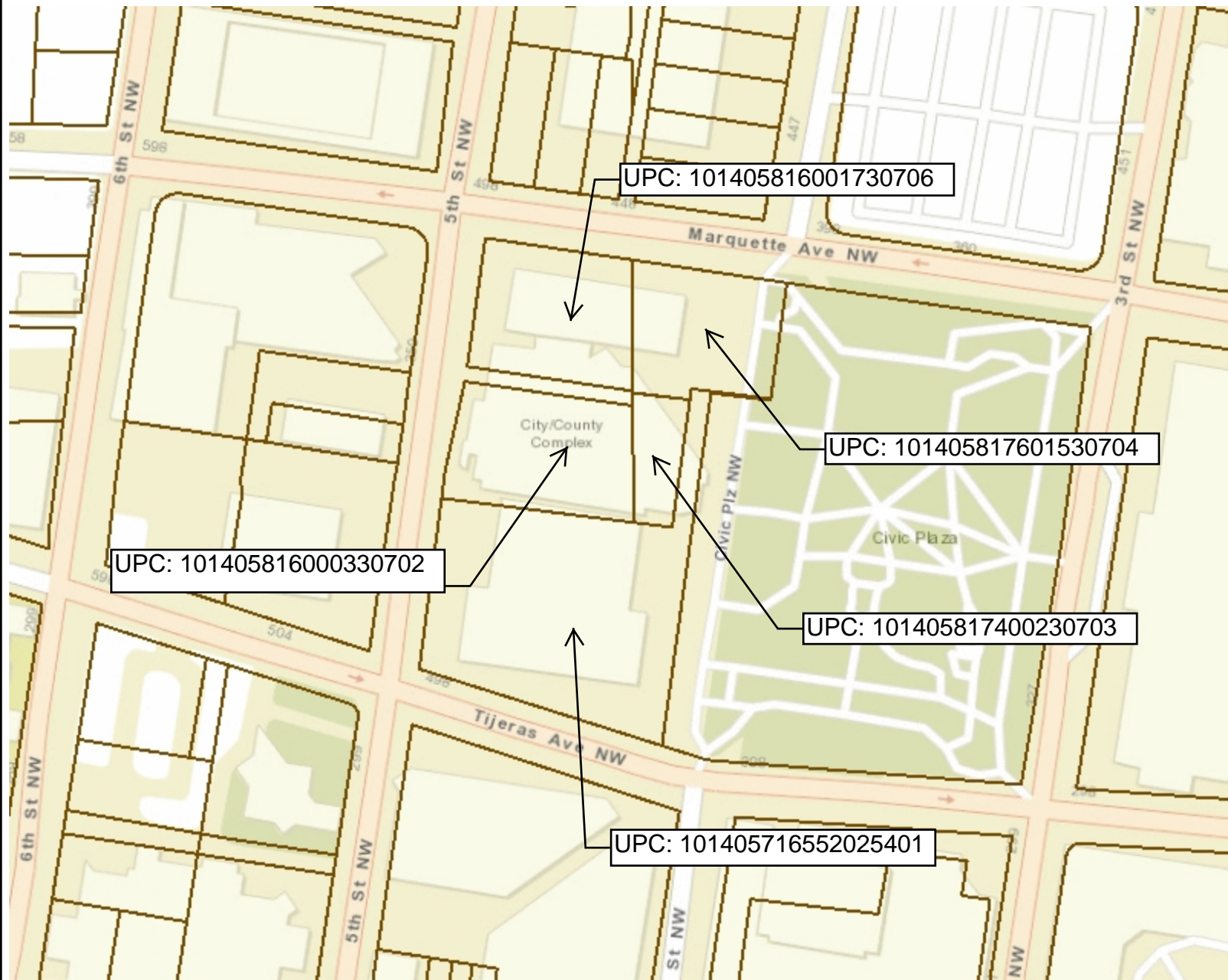
THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW ALONG THE SOUTHERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED THE FOLLOWING SIX (6) COURSES:

1. N09°05'23"E A DISTANCE OF 241.07 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. N80°43'36"W A DISTANCE OF 192.47 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. S09°14'07"W A DISTANCE OF 23.30 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. N81°26'23W A DISTANCE OF 5.21 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. S09°12'15"W A DISTANCE OF 30.66 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'11"W A DISTANCE OF 60.25 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 2.2273 ACRES (97,021 SQ. FEET), MORE OR LESS.



City of Albuquerque



Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

318 0 159 318 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
11/19/2020 © City of Albuquerque

1: 1,911

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

FORM V: Vacations of Easements or Right-of-way- DRB

Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

☒ **VACATION OF RIGHT-OF-WAY – DRB**☐ **VACATION OF RIGHT-OF-WAY – COUNCIL**

___ Interpreter Needed for Meeting? ___ if yes, indicate language: _____

X A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.

X Zone Atlas map with the entire site clearly outlined and labeled

X Letter of authorization from the property owner if application is submitted by an agent

X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)

N/A Copy of the complete document which created the easement(s) (7 copies, folded)

Not required for City owned public right-of-way.

X Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")

___ If easements, list number to be vacated _____

X Square footage to be vacated (see IDO Section 14-16-6-6(M)) _____

X Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K) and DPM 2-9-(E)(3)

X Office of Neighborhood Coordination neighborhood meeting inquiry response

X Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

N/A If a meeting was requested/held, copy of sign-in sheet and meeting notes

Required notices with content per IDO Section 14-16-6-4(K)(6)

X Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing

X Proof of emailed notice to affected Neighborhood Association representatives

N/A Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

___ Sign Posting Agreement - IDO Section 14-16-6-6(K)(4) is satisfied

☐ **VACATION OF PRIVATE EASEMENT**☐ **VACATION OF PUBLIC EASEMENT**

___ Interpreter Needed for Meeting? ___ if yes, indicate language: _____

___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.

___ Zone Atlas map with the entire site clearly outlined and labeled

___ Letter of authorization from the property owner if application is submitted by an agent

___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)

___ Copy of the complete document which created the easement(s) (7 copies, folded)

___ Drawing showing the easement to be vacated (7 copies, not to exceed 8.5" by 11")

___ List number to be vacated _____

___ Proof of Pre-Application meeting

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: Not able to sign affidavit at this time. Sign Posting Agreement, as I understand, will be giving at the

Date: 2-12-2021

Printed Name: TIM SOLINSKI

DRB meeting for the City Council Hearing

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

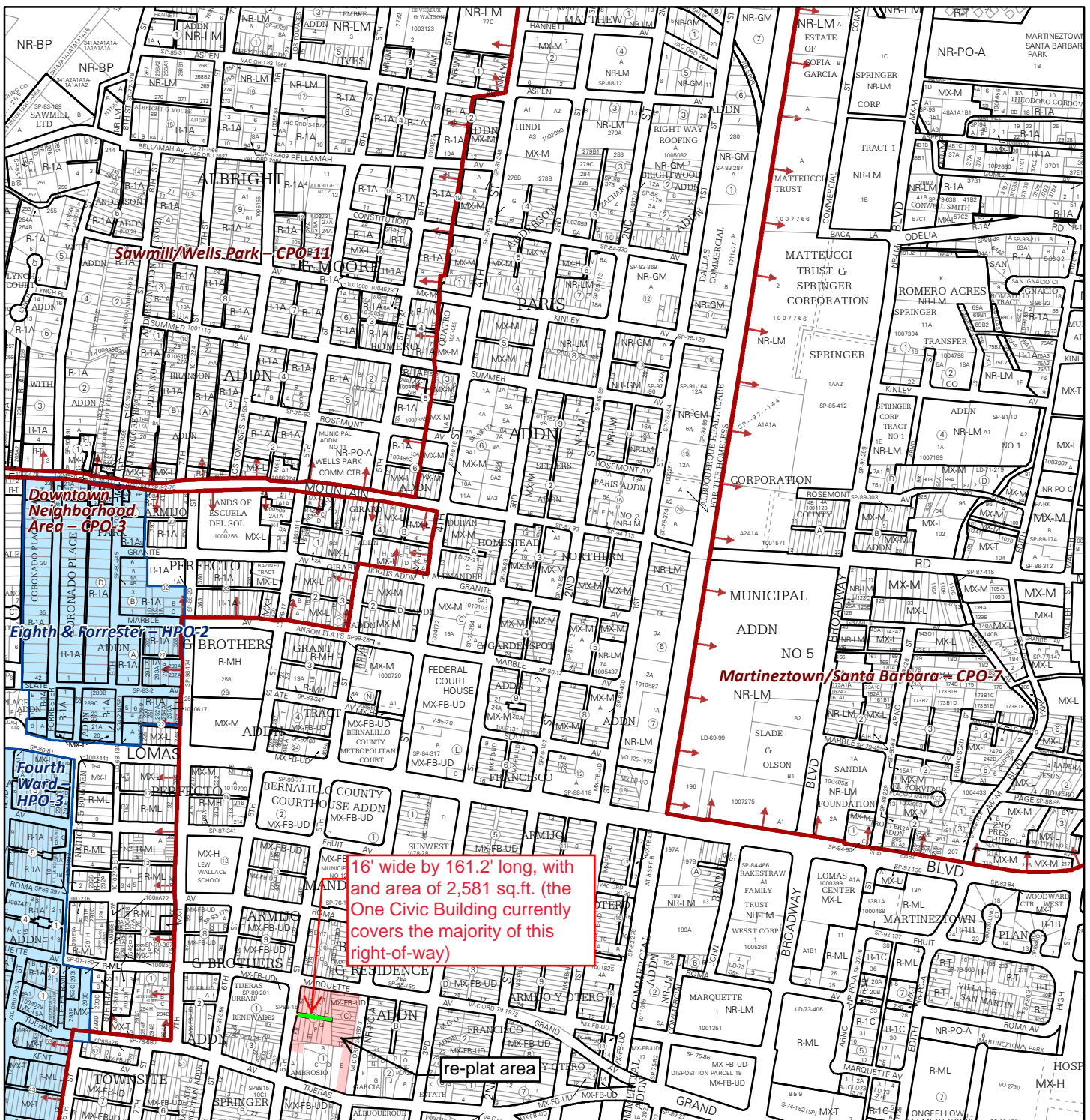
Case Numbers:

Project Number:

Staff Signature:

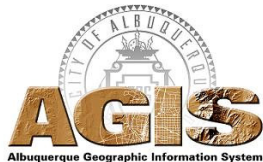
Date:



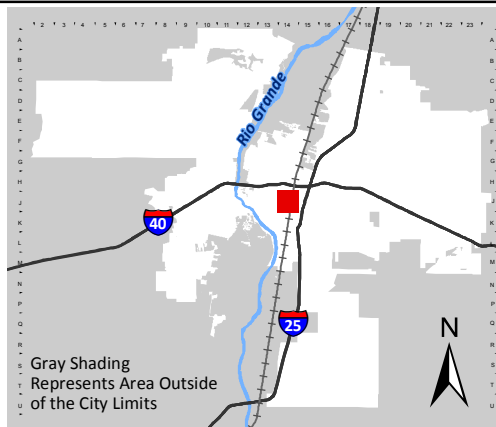


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



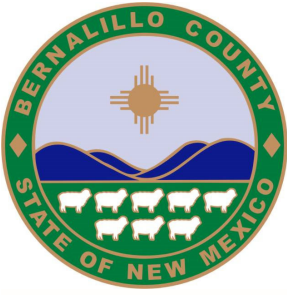
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
J-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



County of Bernalillo

State of New Mexico

Real Estate Section

2400 Broadway SE, Building A
Albuquerque, New Mexico 87102

Office: (505) 848-1500

www.bernco.gov

November 19, 2020

Ms. Jolene Wolfley
Development Review Board Chair
City of Albuquerque
Plaza del Sol, 600 2nd NW
Albuquerque, NW 87102

Re: Preliminary Plat Review of Plat of Tracts A-2-A & A-2-B, Civic Plaza (a replat)

Dear Ms. Wolfley,

The County of Bernalillo is requesting the Development Review Board review the plat of parcels located at 400 Marquette and One Civic Plaza. Some of the original platted lots included in the replat date back to 1884 and the existing buildings overlap these lots. There is also an existing alley with a 16' public right-of-way covered by an existing building.

The County would like to consolidate the individual parcels and vacate the alley's public right-of-way to establish new boundary lines relative to the existing buildings. It is also the intent of this platting action to dedicate additional rights-of-way for public sidewalk access and to include the curb return at the northwest corner of Tract A-2-A.

Tim Solinski, of AUI Inc., is the surveyor of record and has authorization to preform this platting action on the County's behalf.

Should you have any additional questions or require any further information, please contact me at 505-206-0456 or dmiglio@bernco.gov.

Sincerely,

Deanna Miglio
Real Estate Manager

COMMISSIONERS

Lonnie C. Talbert, Chair, District 4 Charlene E. Pyskotsy, Vice-Chair, District 5
Debbie O'Malley, Member, District 1 Steven Michael Quezada, Member, District 2 James M. Collie, Member, District 3

ELECTED OFFICIALS

Tanya R. Giddings, Assessor Linda Stover, Clerk Cristy J. Carbón-Gaul, Probate Judge Manuel Gonzales III, Sheriff Nancy M. Bearce, Treasurer

COUNTY MANAGER

Julie Morgas Baca

November 19, 2020

Ms. Jolene Wolfley
Development Review Board Chair
City of Albuquerque
Plaza del Sol, 600 2nd NW
Albuquerque, NW 87102

Re: Preliminary Plat Review of Plat of Tracts A-2-A & A-2-B, Civic Plaza (a replat)

Dear Ms. Wolfley,

The City of Albuquerque is requesting the Development Review Board review the plat of parcels located at 400 Marquette and One Civic Plaza. Some of the original platted lots included in the replat date back to 1884 and the existing buildings overlap these lots. There is also an existing alley with a 16' public right-of-way covered by an existing building.

The City would like to consolidate the individual parcels and vacate the alley's public right-of-way to establish new boundary lines relative to the existing buildings. It is also the intent of this platting action to dedicate additional rights-of-way for public sidewalk access and to include the curb return at the northwest corner of Tract A-2-A.

Tim Solinski, of AUI Inc., is the surveyor of record and has authorization to perform this platting action on City's behalf.

Should you have any additional questions or require any further information, please contact me by phone 505-768-3830 or by email frgarcia@cabq.gov.

Sincerely,

A handwritten signature in cursive script that reads "Reylene Garcia".

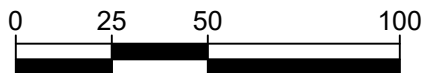
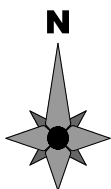
Reylene Garcia
Assistant Property Manager



VICINITY MAP
NOT TO SCALE

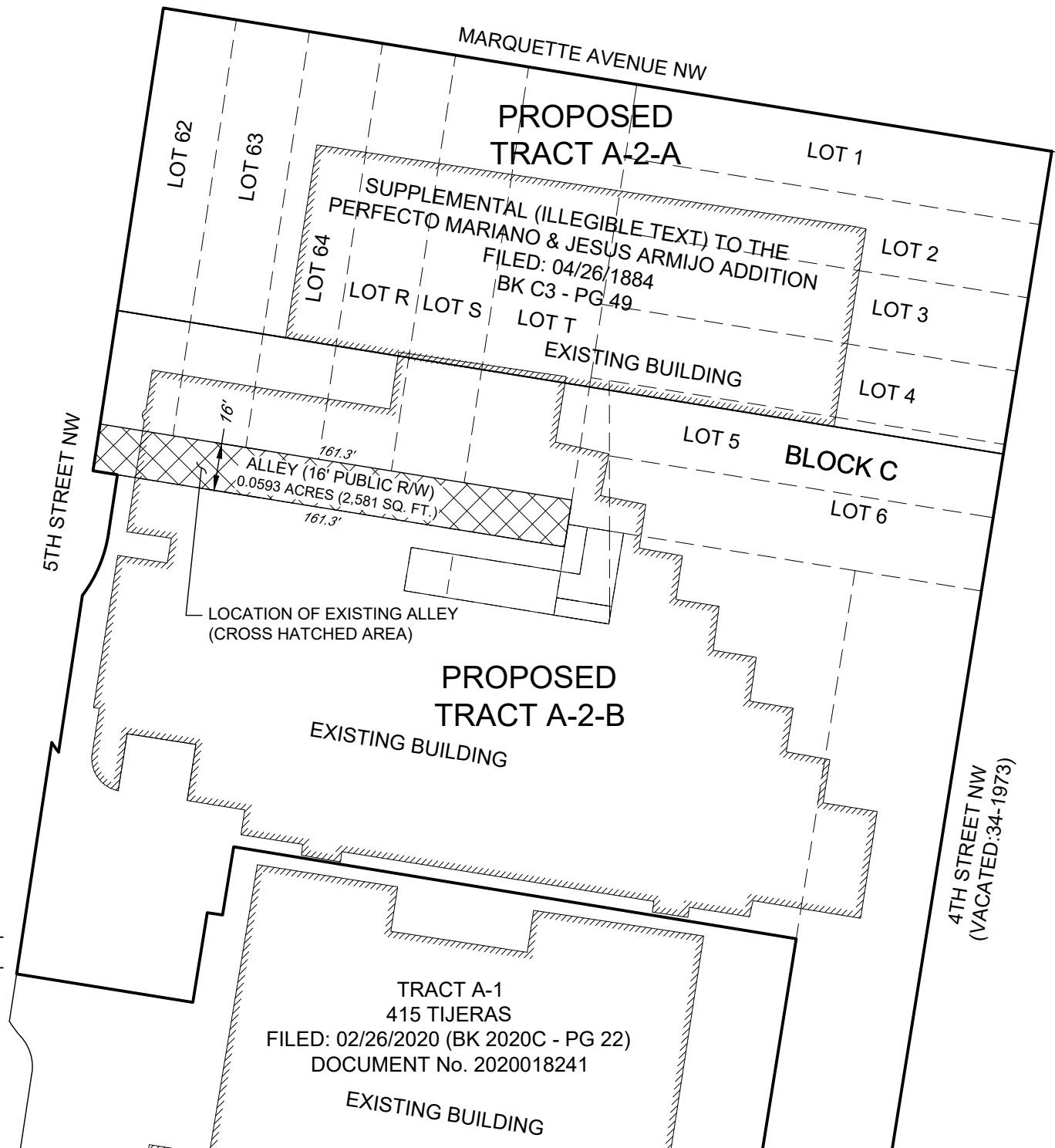
RIGHT-OF-WAY VACATION EXHIBIT OF
TRACTS A-2-A AND A-2-B, CIVIC PLAZA
 AN ALLEY (16' R/W), BLOCK 4, SUPPLEMENTAL TO THE
 PERFECTO MARIANO JESUS ARMIJO ADDITION;
 WITHIN SECTIONS 17 AND 20, TOWNSHIP 10 NORTH,
 RANGE 3 EAST, N.M.P.M.,
 TOWN OF ALBUQUERQUE GRANT,
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JANUARY 2021



SCALE: 1" = 50'

DRB PROJECT NUMBER: PR-2020-004748
 DRB APPLICATION NUMBER: PS-2020-00124



From: Tim Solinski
To: Terri Kimball
Subject: Fwd: 7420 Reading Ave SE Neighborhood Meeting Inquiry
Date: Friday, January 22, 2021 6:19:15 PM
Attachments: image001.png
image002.png
image003.png
image004.png
image005.png

Get Outlook for iOS

From: Carmona, Dalaina L. <dlcarmona@cabq.gov>
Sent: Friday, January 22, 2021 4:30:32 PM
To: Tim Solinski <TimS@aiuinc.net>
Subject: 7420 Reading Ave SE Neighborhood Meeting Inquiry

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
Barelas NA	Lisa	Padilla	lisa@swop.net	904 3rd Street SW		Albuquerque	NM	87102		5054537154
Barelas NA	Courtney	Bell	liberty.c.bell@icloud.com	500 2nd Street SW	#9	Albuquerque	NM	87102		5059299397
Citizens Information Committee of Martineztown	Kristi	Houde	kris042898@live.com	617 Edith Boulevard NE	#8	Albuquerque	NM	87102		5053661439
Citizens Information Committee of Martineztown	Frank	Martinez		501 Edith Boulevard NE		Albuquerque	NM	87102		5052435267
Downtown Neighborhoods Association	Holly	Siebert	chair@abqdna.com	408 11th Street NW		Albuquerque	NM	87102		
Downtown Neighborhoods Association	Jim	Clark	treasurer@abqdna.com	516 11th Street NW		Albuquerque	NM	87102		
EDo NA Incorporated	John	Freisinger	john@innovateabq.com	101 Broadway Boulevard NE		Albuquerque	NM	87102	5053011113	5053011113
EDo NA Incorporated	David	Tanner	david@contextabq.com	124 Edith Boulevard SE		Albuquerque	NM	87102		5052059229
Huning Highland Historic District Association	Bonnie	Anderson	andersonbonnie505@gmail.com	321 High St. SE		Albuquerque	NM	87102		5052428848
Huning Highland Historic District Association	Ann	Carson	a.louisa.carson@gmail.com	416 Walter SE		Albuquerque	NM	87102		5052421143
Martineztown Work Group	Loretta	Naranjo Lopez	lnjalopez@msn.com	1127 Walter NE		Albuquerque	NM	87102		5052707716
Martineztown Work Group	Rosalie	Martinez	rosalimartinez06@gmail.com	507 Rosemont NE		Albuquerque	NM	87102	5054174004	
Raynolds Addition NA	Margaret	Lopez	raynoldsneighborhood@gmail.com	1315 Gold Avenue SW		Albuquerque	NM	87102	5052899857	
Raynolds Addition NA	Stephanie	Elliot	okieot@gmail.com	324 14th Street SW		Albuquerque	NM	87102	4053067362	
Santa Barbara Martineztown NA	Ian	Colburn	colburn.ian@gmail.com	1002 Arno NE		Albuquerque	NM	87102	5055804953	
Santa Barbara Martineztown NA	Loretta	Naranjo Lopez	lnjalopez@msn.com	1127 Walter NE		Albuquerque	NM	87102		5052707716
Silver Platinum Downtown NA	Ronald	Casias	rc@silverplatinumdowntown.org	205 Silver Avenue SW	#428	Albuquerque	NM	87102	5053190958	
Silver Platinum Downtown NA	Leon	Garcia	leon@silverplatinumdowntown.org	205 Silver Avenue SW	#419	Albuquerque	NM	87102		5057029335
South Broadway NA	Frances	Armijo	fparmijo@gmail.com	915 William SE		Albuquerque	NM	87102	5054003473	5052478798
South Broadway NA	Tiffany	Broadous	tiffany.hb10@gmail.com	215 Trumbull SE		Albuquerque	NM	87102		5055074250
The Lofts @ 610 Central SW Owners Association Incorporated	Gary	Illingworth	gillingworth@hoamco.com	8700A Education Place NW		Albuquerque	NM	87114		5058884479
The Lofts @ 610 Central SW Owners Association Incorporated	Terri	Krantz	teravintage@hotmail.com	610 Central Avenue SW	Unit 3B	Albuquerque	NM	87102	3605102961	

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. Please use this online link to find the required template language.

<https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <https://do.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona
Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334
dlcarmona@cabq.gov or QNC@cabq.gov
Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] On Behalf Of webmaster@cabq.gov
Sent: Friday, January 22, 2021 3:39 PM
To: Office of Neighborhood Coordination <TimS@aiuinc.net>
Cc: Office of Neighborhood Coordination <nc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Tim Solinski, Agent

Telephone Number

505242-4848

Email Address

TimS@auinc.net

Company Name

AUI Inc.

Company Address

7420 Reading Ave SE

City

Albuquerque

State

NM

ZIP

87105

Legal description of the subject site for this project:

A CERTAIN TRACT OF LAND WITHIN SECTIONS 17 AND 20, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN (N.M.P.M.), THE TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, ALSO BEING ALL OF TRACT A-2, AS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-1 & A-2, 415 TIJERAS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 26, 2020 IN BOOK 2020C, PAGE 22 AS DOCUMENT NUMBER 2020018241; AND ALL OF LOTS 62, 62, 64, R, S, T, ALL OF AN ALLEY (16' PUBLIC RIGHT-OF-WAY), THE REMAINING PORTION OF LOTS P & Q, BLOCK 4, AS SHOWN AND DESIGNATED ON THE PLAT SUPPLEMENTAL TO THE PERFECTO MARIANO JESUS ARMIJO ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON APRIL 26, 1884 IN BOOK C3, PAGE 49; AND ALL OF LOTS 1, 2, 3, 4, 5 & 6 AND THE REMAINDER OF LOTS 7 & 8, BLOCK C, AS SHOWN AND DESIGNATED ON THE PLAT OF THE MANDELL BUSINESS AND RESIDENCE ADDITION FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 3, 1886 IN BOOK C, PAGE 142; AND ALL OF PARCEL 47-2a AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JULY 26, 1972 IN DEED BOOK D922, PAGE 537; AND A PORTION OF TRACTS A & B AS DESCRIBED IN A WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON AUGUST 27, 1930 IN BOOK 112, PAGE 479; AND A PORTION OF LAND AS DESCRIBED IN A SPECIAL WARRANTY DEED FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON FEBRUARY 5, 1963 IN BOOK D679, PAGE 205 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531" AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW, WHENCE AN ALBUQUERQUE BRASS DISK STAMPED "4-J14 ACS" BEARS N19°52'56"W A DISTANCE OF 754.38 FEET;

THENCE ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED AND THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW THE FOLLOWING SEVEN (7) COURSES:

1. N08°38'32"E A DISTANCE OF 78.97 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. 3.97 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 34.76 FEET, A CENTRAL ANGLE OF 6°33'05" AND A CHORD BEARING S35°38'52"W A DISTANCE OF 3.97 FEET TO A POINT OF NON-TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. N08°38'32"E A DISTANCE OF 53.54 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. 22.80 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 45.90 FEET, A CENTRAL ANGLE OF 28°27'38" AND A CHORD BEARING N22°52'21"E A DISTANCE OF 22.56 FEET TO A POINT OF TANGENCY, ALSO BEING A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. N08°38'32"E A DISTANCE OF 20.12 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'34"W A DISTANCE OF 8.32 FEET TO A POINT;
7. N08°38'32"E A DISTANCE OF 158.00 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, ALSO BEING A INTERSECTING POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW AND THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW;

THENCE LEAVING THE EASTERLY RIGHT-OF-WAY LINE OF 5TH STREET NW ALONG THE SOUTHERLY RIGHT-OF-WAY OF MARQUETTE AVENUE NW S80°50'34"E A DISTANCE OF 303.84 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF MARQUETTE AVENUE NW ALONG THE WESTERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED S09°05'26"W A DISTANCE OF 523.65 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW;

THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW N72°20'19W A DISTANCE OF 43.70 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";

THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF TIJERAS AVENUE NW ALONG THE SOUTHERLY BOUNDARY OF THE TRACT HEREIN DESCRIBED THE FOLLOWING SIX (6) COURSES:

1. N09°05'23"E A DISTANCE OF 241.07 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
2. N80°43'36"W A DISTANCE OF 192.47 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
3. S09°14'07"W A DISTANCE OF 23.30 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
4. N81°26'23W A DISTANCE OF 5.21 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
5. S09°12'15"W A DISTANCE OF 30.66 FEET TO A FOUND NAIL WITH WASHER STAMPED "SOLINSKI PS 17531";
6. N80°50'11"W A DISTANCE OF 60.25 FEET TO THE POINT OF BEGINNING.

TRACT CONTAINS 2.2273 ACRES (97,021 SQ. FEET), MORE OR LESS.

Physical address of subject site:

7420 Reading Ave SE

Subject site cross streets:

5th & Marquette Ave

Other subject site identifiers:

Current DRB Project No. PR-2020-004748

This site is located on the following zone atlas page:

J-14-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: teravintage@hotmail.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Terri Krantz,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: lisa@swop.net
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Lisa Padilla,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: 'gillingworth@hoamco.com'
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Gary Illingworth,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: 'tiffany.hb10@gmail.com'
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Tiffany Broadous,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: fparmijo@gmail.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Frances Armijo,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: leon@silverplatinumdowntown.org
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Leon Garcia,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: rc@silverplatinumdowntown.org
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Ronald Casias,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: 'Injalopez@msn.com'
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Loretta Naranjo Lopez,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: 'colburn.ian@gmail.com'
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Ian Colburn,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: okieot@gmail.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Stephanie Elliot,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:43 PM
To: raynoldsneighborhood@gmail.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Margaret Lopez,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: rosalimartinez06@gmail.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Rosalie Martinez,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: 'Injalopez@msn.com'
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Loretta Naranjo Lopez,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: 'a.louisa.carson@gmail.com'
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Ann Carson,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: andersonbonnie505@gmail.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Bonnie Anderson,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: david@contextabq.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear David Tanner,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



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P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: john@innovateabq.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear John Freisinger,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: treasurer@abqdna.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Jim Clark,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: chair@abqdna.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Holly Siebert,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: kris042898@live.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Kristi Houde,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Phone (505) 242-4848
Email: TimS@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Monday, January 25, 2021 1:42 PM
To: liberty.c.bell@icloud.com
Subject: Neighborhood Meeting Request Proposed Right-of-way Vacation
Attachments: Neighborhood Meeting Request.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Dear Courtney Bell,

Please see attached Neighborhood Meeting Request document. Also attached are documents referenced in the request.

Let us know if you have any questions.

Thank you,

Terri Kimball
for and on behalf of
Tim Solinski, PS
Director of Survey



7420 Reading Ave. SE Albuquerque, NM 87105
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Phone (505) 242-4848
Email: TimS@auinc.net

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 5.05
Certified Fee	3.00
Return Receipt Fee (Endorsement Required)	2.70
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$10.75

Sent To

FRANK MARTINEZ

Street, Apt. No.,
or PO Box No.

501 EOTH BLVD NE

City, State, ZIP+4

ALBUQUE RQUE NM 87102

PS Form 3800, August 2006 See Reverse for Instructions

Postmark Here

JAN 26 2007

ALBUQUERQUE NM 87102

USPS FIVE POINT

7012 9500 0000 2000 8150 9560

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS

Use [Table 6-1-1](#) in the Integrated Development Ordinance (IDO) to answer the following:

Application Type: Vacation of Public Right-of-way - City Council

Decision-making Body: DRB

Pre-Application meeting required: ☐ Yes ☒ No

Neighborhood meeting required: ☒ Yes ☐ No

Mailed Notice required: ☒ Yes ☐ No One NA representative requires mail notice. Certified Mail proof when received

Electronic Mail required: ☒ Yes ☐ No

Is this a Site Plan Application: ☐ Yes ☒ No **Note: if yes, see second page**

PART II – DETAILS OF REQUEST

Address of property listed in application: 400 Marquette Ave and One Civic Plaza

Name of property owner: City of Albuquerque / County of Bernalillo

Name of applicant: Tim Solinski

Date, time, and place of public meeting or hearing, if applicable:

February 24th at 9:00am

Address, phone number, or website for additional information: TimS@auinc.net or TerriK@auinc.net

PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE

☒ Zone Atlas page indicating subject property.

☒ Drawings, elevations, or other illustrations of this request.

☐ Summary of pre-submittal neighborhood meeting, if applicable. N/A

☒ Summary of request, including explanations of deviations, variances, or waivers.

**IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
[SUBSECTION 14-16-6-4\(K\)](#) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

T. Solinski (Applicant signature) February 12, 2021 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- ☐ a. Location of proposed buildings and landscape areas.
- ☐ b. Access and circulation for vehicles and pedestrians.
- ☐ c. Maximum height of any proposed structures, with building elevations.
- ☐ d. For residential development: Maximum number of proposed dwelling units.
- ☐ e. For non-residential development:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:07 PM
To: rc@silverplatinumdowntown.org
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Please see attached Public Notice pdf.

Thank you,

Terri Kimball

Survey Office Technician



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Cell (505) 322-5605
Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:07 PM
To: lnjalopez@msn.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

Please see attached Public Notice pdf.

Thank you,

Terri Kimball

Survey Office Technician



7420 Reading Ave. SE Albuquerque, NM 87105
P.O. Box 9825, Albuquerque, NM 87119-9825
Cell (505) 322-5605
Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:07 PM
To: colburn.ian@gmail.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:07 PM
To: okieot@gmail.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: raynoldsneighborhood@gmail.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: rosalimartinez06@gmail.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: lnjalopez@msn.com
Subject: Public Notice of Proposed Project
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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: a.louisa.carson@gmail.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: andersonbonnie505@gmail.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: david@contextabq.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: john@innovateabq.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: treasurer@abqdna.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: chair@abqdna.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: kris042898@live.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: liberty.c.bell@icloud.com
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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Email: terrik@auinc.net

Terri Kimball

From: Terri Kimball
Sent: Friday, February 12, 2021 12:06 PM
To: lisa@swop.net
Subject: Public Notice of Proposed Project
Attachments: Public_Notice_DRB-Meeting_Vacation_app.docx; 02_PR-2020-004748-VacationExhibit.pdf; 03_IDOZoneAtlasPage_J-14-Z.pdf; 04_NAList.pdf

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