

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

LEGAL DESCRIPTION:

PARCEL 1:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST OF THE N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AS THE SOUTHWEST CORNER OF SAID TRACT, BEING A SET 5/8 REBAR WITH PLASTIC CAP STAMPED LS 8911, ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO NORTHWEST BEING THE TRUE PLACE OF POINT AND BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION S 64' 57' 12" W, A DISTANCE OF 1244.30 FEET;
 THENCE, N 15' 19' 45" W, A DISTANCE OF 1009.53 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING A POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION UNIT 2, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
 THENCE, S 83' 32' 41" E, A DISTANCE OF 228.21 FEET ALONG SOUTHERLY BOUNDARY OF THE SUNDANCE SUBDIVISION UNIT 2 TO THE NORTHEAST CORNER OF SAID TRACT, BEING A 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
 THENCE, N 14' 53' 31" W, A DISTANCE OF 1017.19 FEET DISTANCE TO THE SOUTHEAST CORNER OF SAID TRACT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
 THENCE, N 68' 43' 02" W, A DISTANCE OF 97.76 FEET DISTANCE ALONG SAID RIGHT OF WAY SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
 THENCE, S 89' 48' 54" W, A DISTANCE OF 130.19 DISTANCE ALONG SAID RIGHT OF WAY TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911"; BEING THE SOUTHWEST CORNER OF SAID TRACT AND BEING THE TRUE POINT OF BEGINNING.

PARCEL 2:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, OF THE N.M.P.M., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911" AND BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION "7-K9", BEARS S 64' 57' 12" W, A DISTANCE OF 1244.30 FEET DISTANCE;
 THENCE, N 89' 48' 54" W, A DISTANCE OF 211.54 FEET ALONG SAID RIGHT OF WAY TO THE SOUTHWEST CORNER OF SAID TRACT BEING A FOUND 5/8" REBAR SET ON CONCRETE "DISTURBED",
 THENCE, N 15' 19' 45" W, A DISTANCE OF 1035.88 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION, UNIT 2, FOUND A ALUMINUM CAP,
 THENCE, S 83' 32' 41" E, A DISTANCE OF 219.89 FEET ALONG SAID RIGHT SUBDIVISION TO THE NORTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
 THENCE, S 15' 19' 45" E, A DISTANCE OF 1009.53 FEET DISTANCE TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911", BEING THE SOUTHEAST CORNER OF SAID TRACT AND THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING.

PROJECT NUMBER: 2020-0004757

APPLICATION NUMBER: SI-2021-00307

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<u>Ernest Armijo</u>	Jul 21, 2022
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>Blaine Carter</u>	Jul 21, 2022
Blaine Carter (Jul 21, 2022 15:23 MDT) ABCWJA	DATE
<u>Cheryl Sommerfeldt</u>	Jul 21, 2022
Cheryl Sommerfeldt (Jul 21, 2022 15:59 MDT) PARKS AND RECREATION DEPARTMENT	DATE
<u>Shahab Biazar</u>	Jul 22, 2022
CITY ENGINEER/HYDROLOGY	DATE
<u>Jeff Palmer</u>	Jul 21, 2022
Jeff Palmer (Jul 21, 2022 15:31 MDT) CODE ENFORCEMENT	DATE
<u>Herman Gallegos</u>	05-13-22
SOLID WASTE MANAGEMENT	DATE
<u>J. Maffey</u>	Jul 26, 2022
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

*ENVIRONMENTAL HEALTH, IF NECESSARY

RV STORAGE - ALBUQUERQUE SITE PLAN

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
4582 S ULSTER STREET, UNIT 1500
DENVER COLORADO 80327
CONTACT: STEPHEN LITSAS, P.E.
LICENSE: NM 27565
PHONE: 303.228.2318
STEPHEN.LITSAS@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
4582 S ULSTER STREET, SUITE 1500
CONTACT: CHRISTOPHER HEPLER, P.L.A.
LICENSE: AZ 50732
PHONE: 303.228.2315
CHRISTOPHER.HEPLER@KIMLEY-HORN.COM

DEVELOPER

VOLCANO RV LP
142 HAWLEY ST., SUITE #5
GRAYSLAKE, IL 60030
PHONE: (403) 973-4882
CONTACT: BEN LOKHORST
BLOKHORST@MACRITCHIE.BIZ

LAND SURVEYOR

PRECISION SURVEYS, INC.
9200 SAN MATEO BOULEVARD, NE
ALBUQUERQUE, NM 871113
PHONE: 520.856.5700
LICENSED SURVEYOR:
LARRY W. MEDRANO R.L.S. #11993



VICINITY MAP
1"=1000'

LEGEND

	PROPERTY LINE
	EXISTING R.O.W. LINE
	EASEMENT/SETBACK (AS NOTED)
	PROPOSED FENCE
	PROPOSED SLOPE
	EXISTING SLOPE
	PROPOSED WATER LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD POWER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING SIGN
	PROPOSED SIGN
	EXISTING SS MANHOLE
	PROPOSED SS MANHOLE
	PROPOSED BEND
	PROPOSED SANITARY CLEANOUT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED DETENTION POND OUTLET STRUCTURE
	PROPOSED FLARED END SECTION
	PROPOSED LANDSCAPE
	PROPOSED PARKING BAYS
	PROPOSED DRIVE AISLE
	SIGHT TRIANGLES
	PROPOSED GATE
	PROPOSED MONUMENT SIGN

SITE DATA

SITE ADDRESS: 8301 VOLCANO ROAD N.W.
 SITE AREA: 9.59 AC (417,740.4 SF)
 NUMBER OF LOTS: 2
 EXISTING USE: VACANT
 PROPOSED USE: COVERED RV PARKING OF OPERABLE VEHICLES
 PARCEL #: 100905748517640611 & 100905746717740609
 LOCAL JURISDICTION: CITY OF ALBUQUERQUE
 ZONING: NON-RESIDENTIAL BUSINESS PARK (NR-BP)
 ZONINH: AIRPORT ENVIRONS ZONE OVERLAY
 OVERLAY ZONE: AIRPORT ENVIRONS ZONE OVERLAY
 BUILDING DATA: 1 STORY TEMPORARY REMANUFACTURED OFFICE
 PAD=5119.00
 FAR: LESS THAN 1%

VEHICULAR PARKING DATA

PARKING REQUIRED	
NO PARKING REQUIRED PER TABLE 5-5-1, PART 14-16-5 OF THE INTEGRATED DEVELOPMENT ORDINANCE FOR THE CITY OF ALBUQUERQUE, NEW MEXICO FOR THE USE OF OUTDOOR STORAGE	
PARKING PROVIDED	
STANDARD STALLS	2
MOTORCYCLE STALL	1
ACCESSIBLE STALLS (VAN)	1
TOTAL	4
RV STORAGE PROVIDED	
11' X 45' STALLS	337
11' X 40' STALLS	10
11' X 35' STALLS	4
11' X 30' STALLS	67
TOTAL	418

FLOODZONE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 4, 2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

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NO.	REVISION	BY	DATE

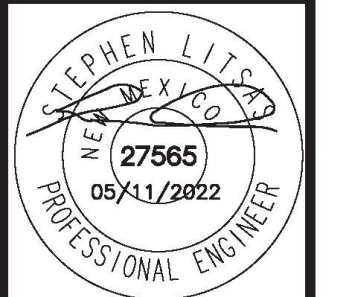
Kimley»Horn

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4652 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 05/11/2022

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, CITY OF ALBUQUERQUE, NEW MEXICO BERNALILLO COUNTY, NEW MEXICO TRACTS C46 AND C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
COVER SHEET



PROJECT NO.
096648005

DRAWING NAME
096648005_CV.dwg

SHEET
1

NOT FOR CONSTRUCTION

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CITY OF ALBUQUERQUE GENERAL NOTES

1. THE CONSTRUCTION SPECIFICATIONS FOR THIS PROJECT INCLUDE ALL PLANS AND SPECIFICATIONS INCLUDED IN THE CONTRACT DOCUMENTS. THOSE CRITERIA ARE TO BE UTILIZED AND APPLIED IN CONJUNCTION WITH THE NEW MEXICO STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION) PUBLISHED BY THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) NEW MEXICO CHAPTER
2. THE CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO BERNALILLO COUNTY.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811 (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY OF ALBUQUERQUE SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY OF ALBUQUERQUE SURVEYOR AND SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS—PUBLIC WORKS CONSTRUCTION— 1986—UPDATE NO. 7
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF THE EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE AND MAY NOT BE COMPLETE; THEREFORE, IT MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, AND RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
7. ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINAL GRADE AND WILL BE MEASURED AND PAID PER EACH.
8. SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER, ARE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
9. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P—EXCAVATIONS.
10. WHEN ABUTTING NEW PAVEMENT TO THE EXISTING INTERSECTING STREETS, THE EXISTING PAVEMENT SHALL BE SAW CUT PER BERNALILLO COUNTY STANDARD DRAWING 2465 TO A STRAIGHT LINE AT RIGHT ANGLES, AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO PAVING; THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS DIVISION (848-1502) TO REQUEST AN INSPECTOR TO VERIFY PAVEMENT THICKNESS.
11. TRENCHING, ASPHALT CUTTING AND PATCHING SHALL CONFORM TO BERNALILLO COUNTY STANDARD DRAWING 2465. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS DIVISION (848-1502) TO REQUEST AN INSPECTOR TO VERIFY PAVEMENT THICKNESS PRIOR TO PATCHING.
12. WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE AND AN EXCAVATION/CONSTRUCTION PERMIT FROM BERNALILLO COUNTY. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY.
3. ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT BEYOND THAT DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS:
 - A. IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED.
 - B. IF MORE THAN ONE-HALF OF ANY STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED

14. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY TRAFFIC ENGINEERING (848-1504) BEFORE REMOVING AND/OR INSTALLING ANY TRAFFIC SIGNS OR PERMANENT STRIPING AND MARKINGS. ALL STRIPING AND PAVEMENT MARKINGS, INCLUDING LANE LINES, CROSSWALKS, LEGENDS, AND SYMBOLS, ARE TO BE CONSTRUCTED OF HOT THERMOPLASTIC IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE LATEST EDITION. ANY PAVEMENT MARKINGS AND SIGNS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT EXISTING LOCATIONS. SUCH WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OF THE PROJECT.
15. INSTALL BLUE REFLECTIVE RAISED PAVEMENT MARKERS IN THE CENTER OF ROADWAY TO DELINEATE ALL HYDRANT LOCATIONS.
16. THE CONTRACTOR SHALL SUBMIT FIELD TEST REPORTS TO BCPWD (ATTN. DR INSPECTOR) FOR REVIEW. SAMPLING AND TESTING SCHEDULE SHALL COMPLY WITH PLAN SPECIFICATIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO RECORD ANY CHANGES ON THE PLANS AND SUBMIT DETAILED AS-CONSTRUCTED CONSTRUCTION PROJECT PLANS (AS-BUILTS) TO THE DESIGN AND/OR PROJECT ENGINEER.
17. BARRICADING AND CONSTRUCTION PERMITS MUST BE OBTAINED FROM BCPWD (848-1502) PRIOR TO BEGINNING OF ANY CONSTRUCTION EFFORTS.
18. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION
19. THE CONTRACTOR SHALL RESTORE ALL ACCESS ROADS TO THE PRE-CONSTRUCTION CONDITION. ANY DAMAGE TO ROADWAY AND/OR UNDERGROUND UTILITIES SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE.
20. ALL ROADWAY WORK DETAILED IN THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
21. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE AND AN EXCAVATION/CONSTRUCTION PERMIT FROM BERNALILLO COUNTY. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY
22. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE NATIONAL POLLUTANT ELIMINATION DISCHARGE SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, OBTAINING AN NPDES PERMIT DURING CONSTRUCTION, SUBMISSION OF A COMPLETED NOI APPLICATION, AND SUBMISSION OF A COMPLETED NOT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE SWPPP REVIEWED AND APPROVED BY THE BERNALILLO COUNTY PUBLIC WORKS DIVISION, AT NO ADDITIONAL COST TO BERNALILLO COUNTY, PRIOR TO IMPLEMENTATION OF THE SWPPP.
23. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING BUT NOT LIMITED TO THE HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
24. THE CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY. THIS GRAFFITI REMOVAL SHALL BE CONSIDERED INCIDENTAL; THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

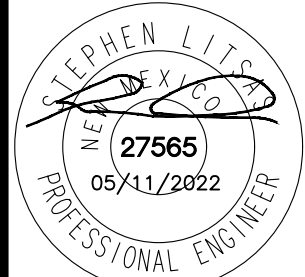
NO.	REVISION	BY	DATE

Kimley»Horn
 ©2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4652 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 05/11/2022

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO. TRACT'S C46 AND
 C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
GENERAL NOTES

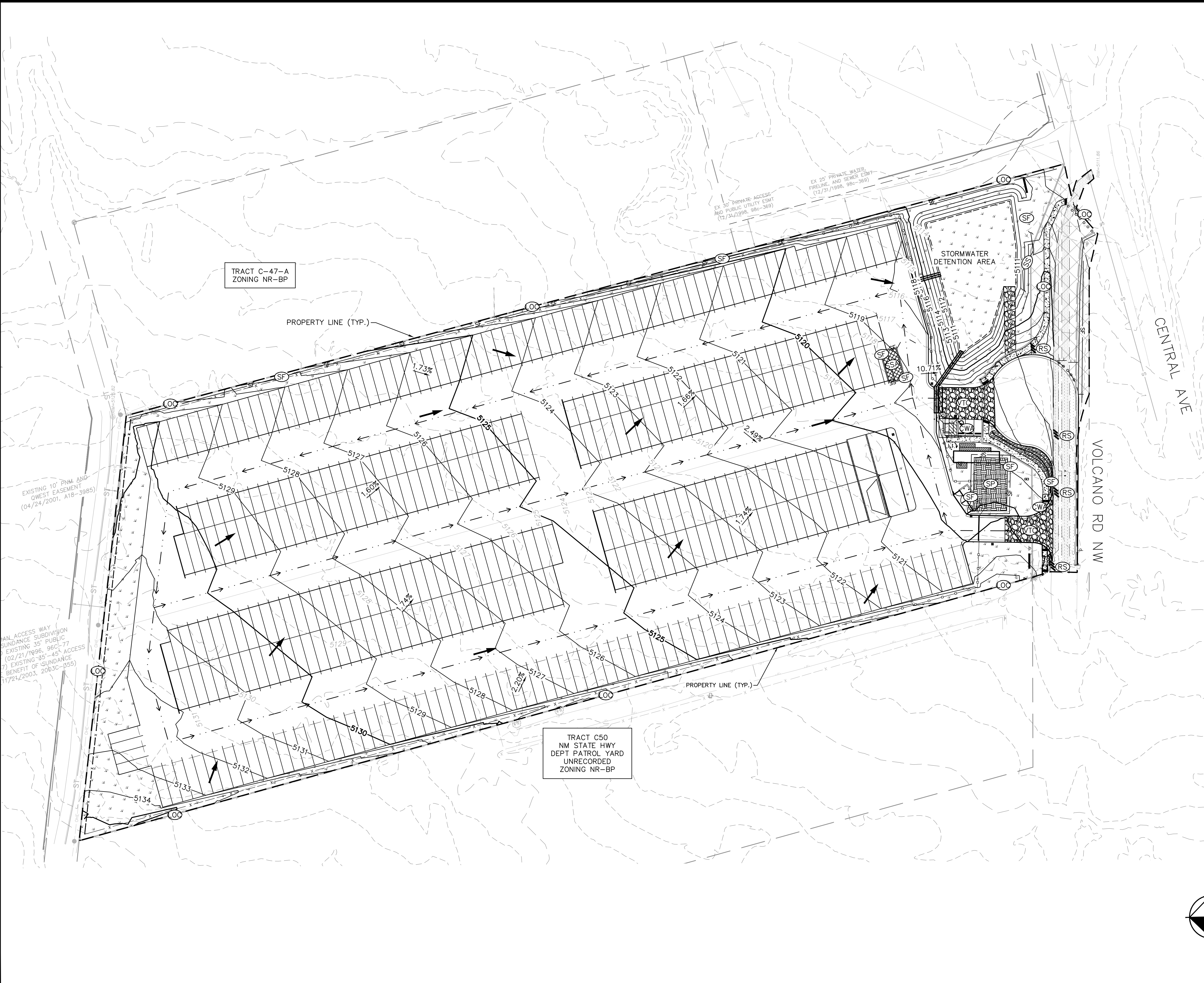


PROJECT NO.
096648005
 DRAWING NAME
096648005_CV.dwg

NOT FOR CONSTRUCTION

SHEET
2

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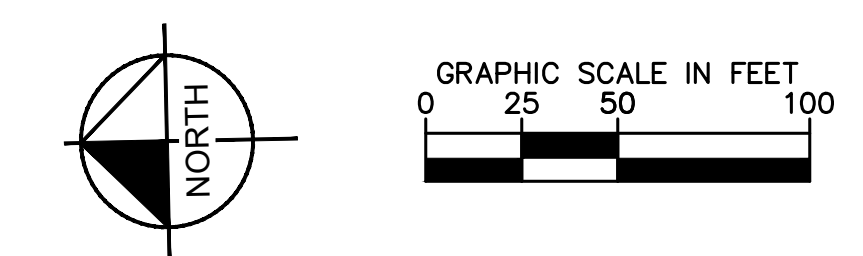


LEGEND

- PROPERTY LINE
- 50— PROPOSED MAJOR CONTOURS
- 49— PROPOSED MINOR CONTOURS
- - -50- - - EXISTING MAJOR CONTOURS
- - -49- - - EXISTING MINOR CONTOURS
- X.XX% DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LCC LIMITS OF CONSTRUCTION
- SF SILT FENCE
- SP STOCKPILE
- CWA CONCRETE WASHOUT
- VTIC VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- SS STREET SWEEPING
- SSA STABILIZED STAGING AREA
- RS ROCK SOCKS

GENERAL NOTES

1. TOTAL AREA OF DISTURBANCE = 10.06 AC



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
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 4652 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 05/11/2022

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO. TRACTS C48 AND
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 FINAL EROSION AND SEDIMENT CONTROL PLAN**



PROJECT NO.
096648005

DRAWING NAME
EC PLAN

SHEET
3

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Seeding – Temporary/Vegetation	Applications
<p>DESCRIPTION</p> <p>As a BMP, temporary seeding/vegetation is used to establish a temporary vegetative cover on disturbed areas by seeding with appropriate rapidly growing annual vegetation, annual grasses, small grains, or legumes. This short-term vegetative area will reduce erosion and sedimentation on disturbed areas that will not be permanently stabilized within an acceptable period of time. Temporary seeding will also reduce problems associated with mud and dust from construction activities on bare, unprotected soil surfaces.</p> <p>PRIMARY USE</p> <p>Temporary seeding should be considered for disturbed areas that will not be permanently stabilized or have work performed thereon for a period of 21 days or more. Such areas include denuded areas, soil stockpiles, dikes, berms, temporary embankments, excavation slopes, etc. As a temporary control, vegetation is used to stabilize stockpiles and barren areas that are inactive for long periods of time. As a permanent control, grasses and other vegetation provide good protection for the soil, along with some filtering for overland runoff. Subjected to acceptable runoff velocities, vegetation can provide a good method of permanent storm water management, as well as a visual amenity to the site.</p> <p>Other BMPs may be required to assist in the establishment of vegetation. These other techniques include erosion control matting, swales and dikes to direct flow around newly seeded areas, and proper grading to limit runoff velocities during construction.</p> <p>APPLICATIONS</p> <p>Planting should take place when conditions are most favorable for growth (as long as the planting does not interfere with the schedule of other activities and/or regulatory requirements). Before seeding, other erosion control practices such as dikes, basins, and surface runoff-control measures (e.g., interceptor dikes and swales, etc.) should be installed. Temporary bale barriers and silt fences may have to be placed/replaced after seeding operations, since they may get in the way of the machinery. However, use common sense to coordinate operations to maximize the effectiveness of the erosion control measures. Temporary seeding may not be an effective practice in arid and semi-arid regions where the climate prevents fast plant establishment. In those areas, or when seasonal planting restrictions prohibit, temporary mulching may be better for the short term.</p> <p>For further information, refer to Section 632 of <i>Standard Specifications for Highway and Bridge Construction</i> (New Mexico State Highway and Transportation Department [NMSHTD] 2000).</p>	<p>Perimeter Control</p> <ul style="list-style-type: none"> ✓ Slope Protection ✓ Sediment Trapping ✓ Channel Protection ✓ Temporary Stabilization ✓ Permanent Stabilization Waste Management Housekeeping Practices <p>Targeted Constituents</p> <ul style="list-style-type: none"> ✓ Sediment Nutrients Toxic Materials Oil and Grease Floatable Materials Construction Wastes <p>Impact</p> <ul style="list-style-type: none"> ✓ Significant Medium Low Unknown or Questionable <div style="text-align: center; border: 1px solid black; border-radius: 50%; width: 30px; margin: 0 auto; padding: 2px;">SEED</div>

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A2-3

Seeding – Temporary/Vegetation (continued)
<p>All seeded areas should be covered with mulch to provide protection from the weather. Frequent inspections are necessary to check that conditions for growth are good. If the plants do not grow quickly or thick enough to prevent erosion, the area should be reseeded as soon as possible.</p> <p>Temporary seed selection should take into account the season and location. Specific seed mixes can usually be found in the construction plans. The plans and specifications should reflect temporary seeding locations, quantities, and pay items. For suggested seed types, see Appendix D, <i>Guidance on Seed Selection and Seeding of Temporary Vegetation on Disturbed Areas</i>.</p> <p>Native grasses should not be used for temporary seeding. Irrigation or a temporary watering facility should be provided. Seed should be selected in accordance with local Natural Resources Conservation Service (NRCS) rules.</p> <p>Vegetative techniques can and should apply to every construction project, with few exceptions. Vegetation effectively reduces erosion in swales, stockpiles, berms, mild to medium slopes, and along roadways. Vegetative strips can provide some protection when used as a perimeter control for utility and site development construction.</p> <p>Surface Preparation</p> <ul style="list-style-type: none"> • Interim or final grading must be completed prior to seeding, minimizing all steep slopes. • Install all necessary erosion structures such as dikes, swales, diversions, etc., prior to seeding. • Groove or furrow slopes steeper than 3:1 on the contour line before seeding. • Provide 4-6 inches of topsoil over rock, gravel, or otherwise unsuitable soils. • Seedbed should be well pulverized, loose, and uniform. <p>Plant Selection, Fertilization and Seeding</p> <ul style="list-style-type: none"> • Use only high quality, U.S. Department of Agriculture (USDA)-certified seed. • Use an appropriate species or species mixture adapted to local climate, soil conditions, and season. Consult with the local NRCS office or local County Extension Service as necessary for selection of proper species and application techniques in the area. Seeding rate should be in accordance with recommendations by the NRCS or Engineering Extension Service. • Fertilizer shall be applied according to the manufacturer's recommendation with proper spreader equipment. Typical application rate for 10-10-10 grade fertilizer is 700-1000 lb/acre. DO NOT OVER APPLY FERTILIZER. • If hydro-seeding is used, do not mix seed and fertilizer more than 30 minutes before application. • Evenly apply seed using cyclone seeder, seed drill, cultipacker, or hydroseeder. • Provide adequate water to aid in establishment of vegetation. • Use appropriate mulching techniques where necessary.

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A2-4

Mulching	Applications
<p>DESCRIPTION</p> <p>Mulching is used to provide a stabilized surface for seeding or to prevent erosion using chemical soil stabilizers and a variety of organic or inorganic materials, netting, or mats.</p> <p>PRIMARY USE</p> <p>Mulching is used to prevent erosion by creating a permanent material to slow surface velocity, trap sediment, and protect surface areas around structures.</p> <p>APPLICATIONS</p> <p>Mulching is used in areas where permanent velocity control and sediment trapping will be required. Follow Section 632, pp. 684-685 of <i>Standard Specifications for Highway and Bridge Construction</i> (NMSHTD 2000).</p> <p>NOTES</p> <ul style="list-style-type: none"> • Hay should consist of native grasses free of noxious weed seeds (certified weed-free hay or straw may be required in designated areas of the state). • Straw should consist of clean cereal shafts. • Hay and straw mulch should be spread at a rate of 1.5 to 2 tons per acre. • At a minimum, 65% of the mulch, by weight, should be 10 inches or more in length. • Applied mulch depth should not be less than 1 inch and not more than 2 inches. The mulch should be uniformly applied so that no more than 10% of the soil surface is exposed. • Hay and straw mulch should be anchored to the soil surface using tackifiers, blankets, or nets, or with a mulch-cripping machine. Mechanical anchoring, or crimping, is preferred and recommended for slopes flatter than 2:1. Blankets or nets on slopes steeper than 2:1 should be anchored to the soil. • Tackifiers (for anchoring) should consist of a free-flowing non-corrosive powder. This material shall not contain any mineral filler, recycled cellulose fiber, clays, or other substances that may inhibit germination or growth of plants. • Tackifiers (for anchoring) shall be applied in a slurry with water and wood fiber (100 lbs of powder and 150 lbs of fiber per 700 gallons of water). Application rate of powder should be between 80 and 200 lbs per acre. 	<p>Perimeter Control</p> <ul style="list-style-type: none"> ✓ Slope Protection ✓ Sediment Trapping Channel Protection ✓ Temporary Stabilization Permanent Stabilization Waste Management Housekeeping Practices <p>Targeted Constituents</p> <ul style="list-style-type: none"> ✓ Sediment ✓ Nutrients Toxic Materials Oil and Grease Floatable Materials Construction Wastes <p>Impact</p> <ul style="list-style-type: none"> ✓ Significant ✓ Medium Low Unknown or Questionable <div style="text-align: center; border: 1px solid black; border-radius: 50%; width: 30px; margin: 0 auto; padding: 2px;">MU</div>

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A2-5

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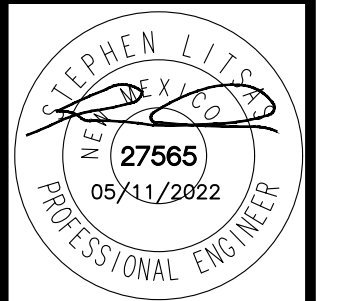
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Denver, Colorado 80237 (303) 228-2300

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DRAWN BY: AEM
CHECKED BY: SAL
DATE: 05/11/2022

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS**



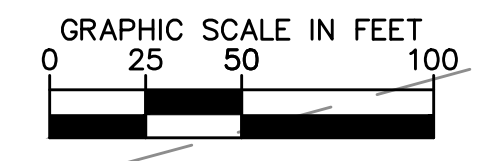
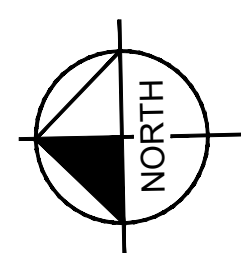
PROJECT NO.
096648005

DRAWING NAME
EC PLAN

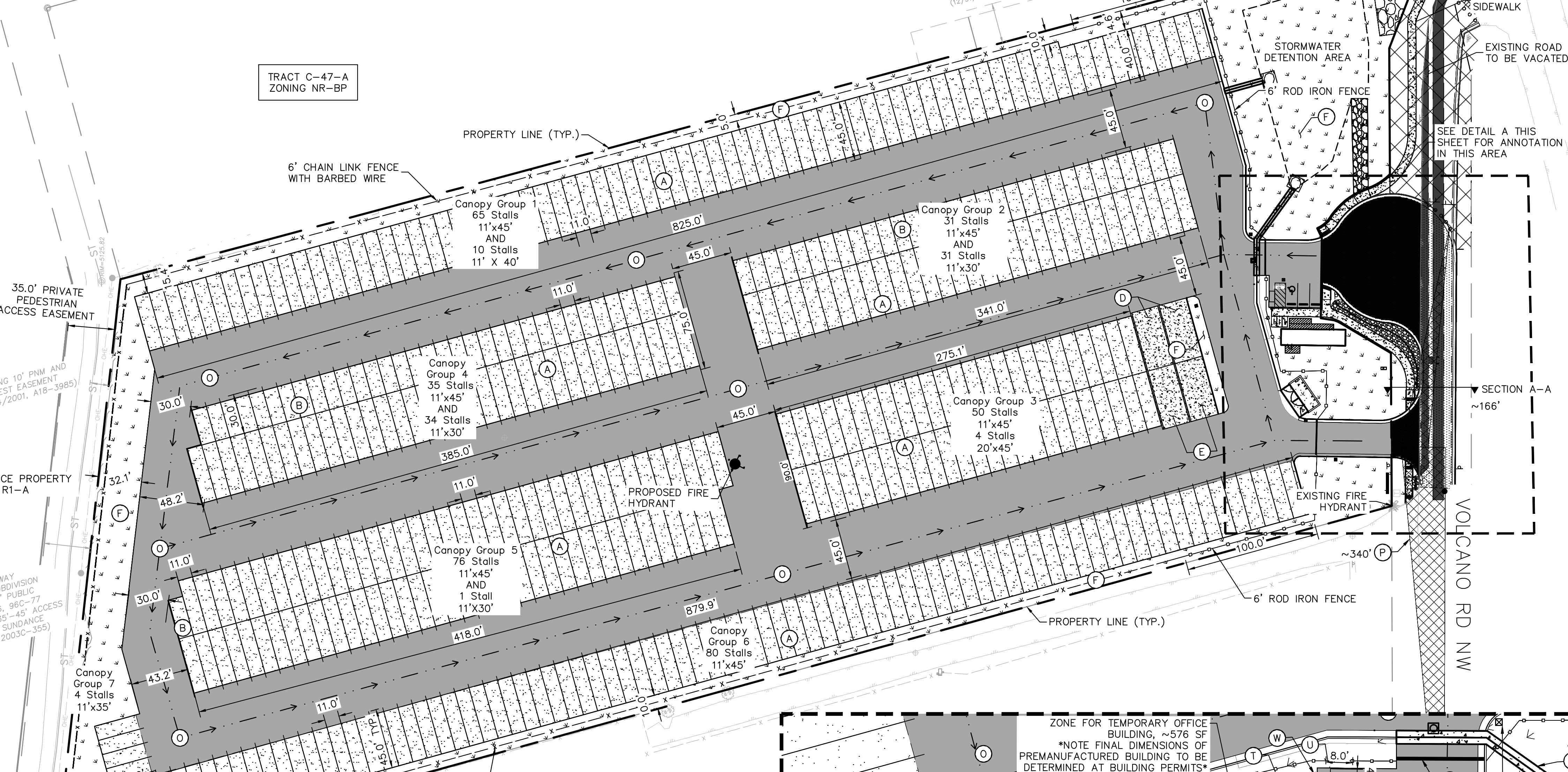
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TRACT C-47-A
ZONING NR-BP



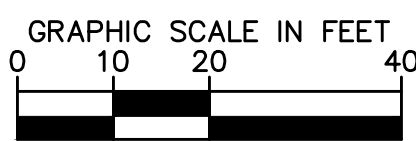
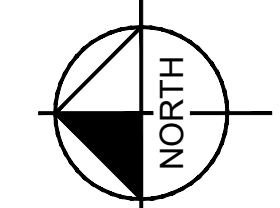
35.0' PRIVATE PEDESTRIAN ACCESS EASEMENT

SUNDANCE PROPERTY ZONING R1-A

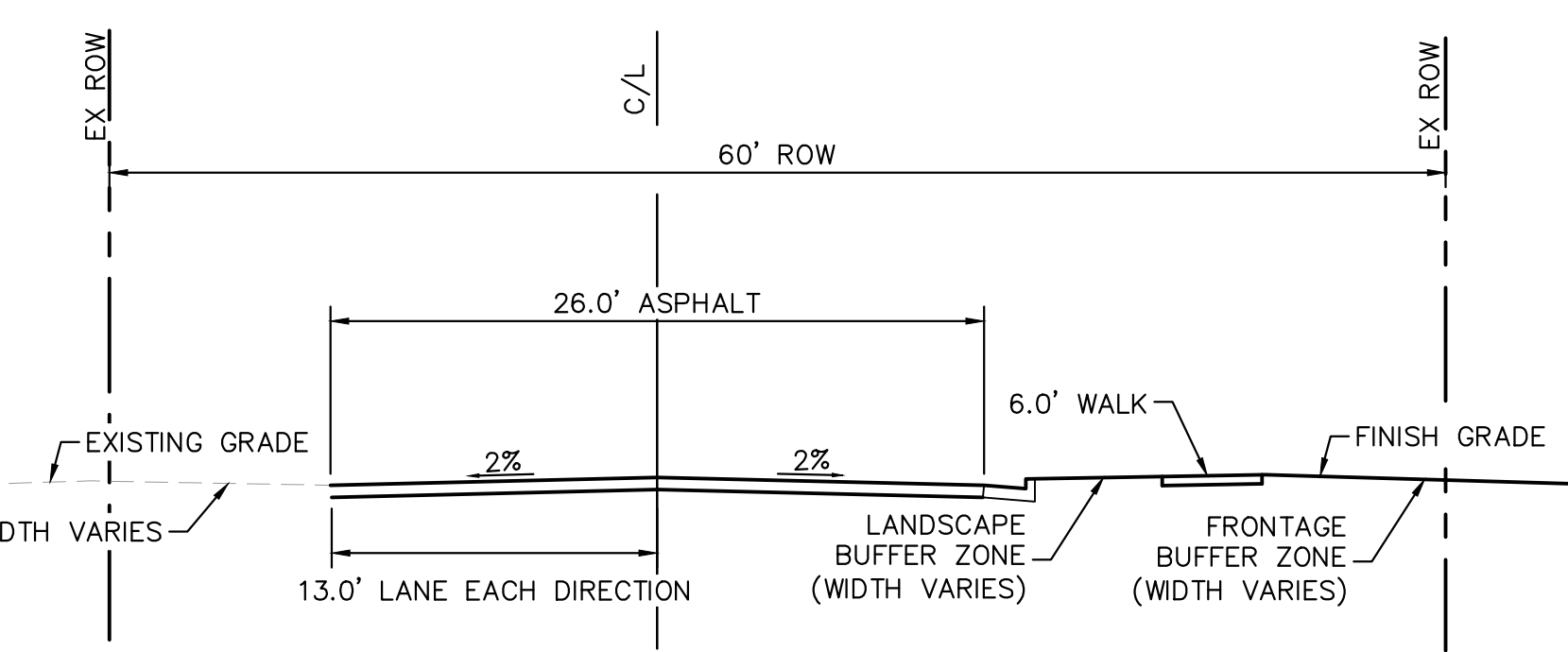
PEDESTRIAN ACCESS WAY OF SUNDANCE SUBDIVISION AND EXISTING 35' PUBLIC EASEMENT (02/21/1996, 866-77-157) EXISTING 35'-45' ACCESS EASEMENT (11/21/2003, 2003C-355)

6' SCREEN CHAIN LINK FENCE AND LANDSCAPE BUFFER PER. IDO 14-16-5-6

TRACT C50
NM STATE HWY DEPT PATROL YARD
UNRECORDED ZONING NR-BP



CROSS SECTION A-A
N.T.S.



LEGEND

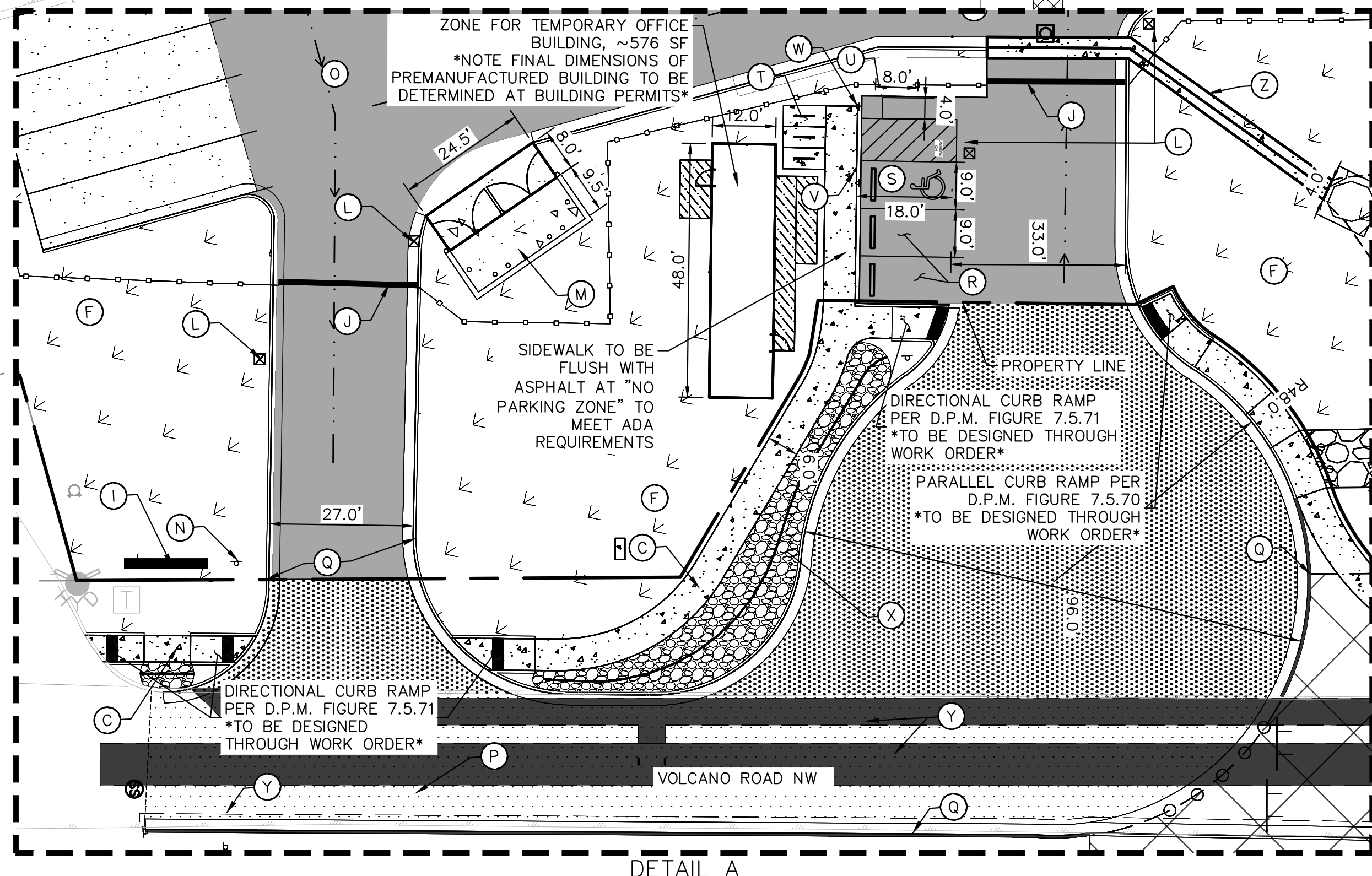
- PROPOSED SITE PROPERTY LINE
- SECTION LINE
- EASEMENT LINE
- 6' ROD IRON FENCE
- x-x- 6' CHAINLINK FENCE WITH BARBED WIRE
- x-x- 6' CHAINLINK FENCE WITH SCREENING
- PROPOSED PRIVATE FIRE HYDRANT
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- SAWCUT LINE
- CURB AND GUTTER
- ▨ PROPOSED LANDSCAPE
- ▨ RECYCLED ASPHALT BAYS
- ▨ PUBLIC ASPHALT PAVING
- ▨ PRIVATE ASPHALT PAVING
- △ SIGHT TRIANGLES
- PROPOSED GATE
- PROPOSED MONUMENT SIGN
- FIRE ROUTE

SITE KEYNOTES

- (A) RV CANOPY PARKING STALL (11' X 45') (TYP)
- (B) RV CANOPY PARKING STALL (11' X 30') (TYP)
- (C) PROPOSED 6.0' SIDEWALK
- (D) PROPOSED DUMP STATION (20' X 45') (TYP)
- (E) PROPOSED WASH STATION (20' X 45') (TYP)
- (F) LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
- (H) PROPOSED SANITARY SEWER MANHOLE
- (I) PROPOSED MONUMENT SIGN
- (J) 26' ELECTRIC SLIDING GATE
- (K) KNOX BOX
- (L) GATE CONTROL BOX
- (M) PROPOSED TRASH ENCLOSURE
- (N) PROPOSED STOP SIGN (36" X 36")
- (O) FIRE CIRCULATION
- (P) SIGHT TRIANGLE
- (Q) PROPOSED CURB & GUTTER PER PAG STD. DTL. 209
- (R) PROPOSED STANDARD 9' X 18' PARKING STALL (2)
- (S) PROPOSED ADA STALL (1)
- (T) PROPOSED BICYCLE PARKING (3)
- (U) PROPOSED MOTORCYCLE PARKING (1)
- (V) PROPOSED ACCESSIBLE PARKING SIGN
- (W) PROPOSED MOTORCYCLE PARKING SIGN
- (X) LANDSCAPE SWALE
- (Y) SAWCUT/TRENCHING
- (Z) CONCRETE VALLEY GUTTER

NOTES

1. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2. ACTUAL PUBLIC ROADWAY IMPROVEMENTS FOR VOLCANO ROAD SHALL BE REVIEWED AND APPROVED THROUGH THE CITY WORK ORDER PROCESS. PLATTING ACTION SHALL BE ALSO REQUIRED TO INCLUDE ALL PUBLIC ROADWAY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING THE 6-FOOT PUBLIC SIDEWALK.



DETAIL A

Kimley»Horn

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DRAWN BY: AEM
CHECKED BY: SAL
DATE: 05/11/2022

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNARDILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
SITE PLAN

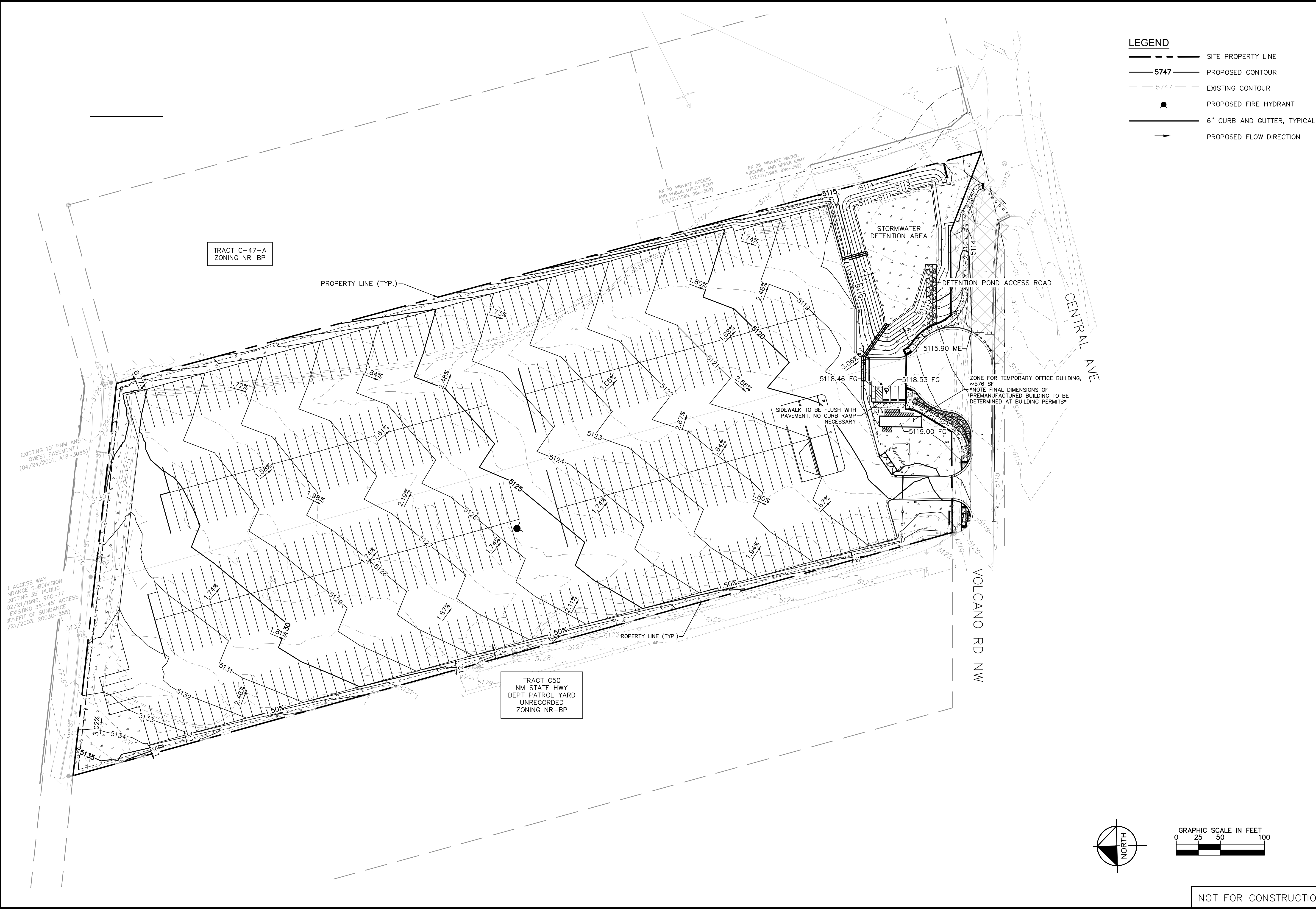


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LEGEND

	SITE PROPERTY LINE
	5747 PROPOSED CONTOUR
	5747 EXISTING CONTOUR
	PROPOSED FIRE HYDRANT
	6" CURB AND GUTTER, TYPICAL
	PROPOSED FLOW DIRECTION

NO.	REVISION	BY	DATE	APPR

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 NORTH RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO. TRACTS C48 AND
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 GRADING AND DRAINAGE PLAN**



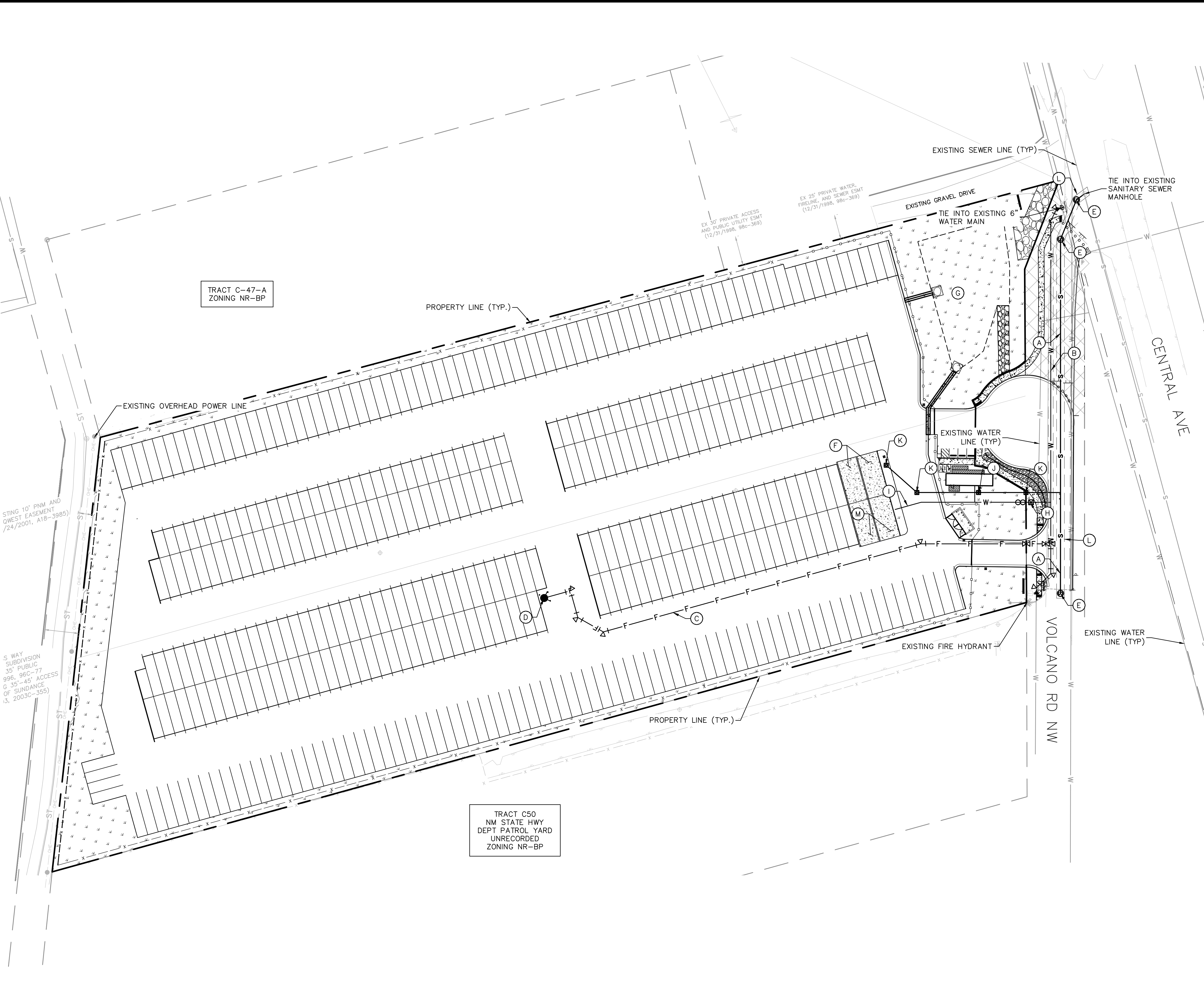
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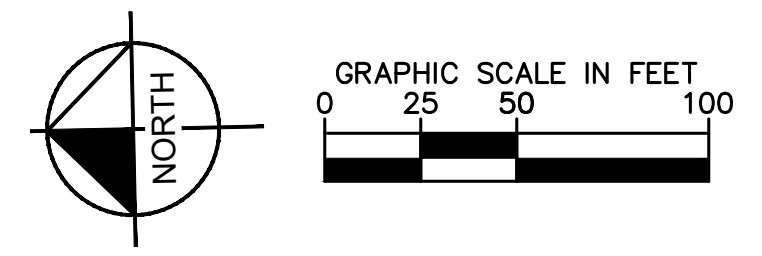
- SITE PROPERTY LINE
- W --- PROPOSED WATER LINE
- S --- PROPOSED SSWR LINE
- ⊕ --- PROPOSED SANITARY SEWER MANHOLE

SITE KEYNOTES

- (A) PROPOSED PUBLIC 8" PVC SANITARY SEWER SERVICE TO PER DEVELOPMENT PROCESS MANUAL OR AS APPROVED BY ABCWA
- (B) PROPOSED 8" PVC WATER MAIN
- (C) PROPOSED 8" FIRE MAIN
- (D) PROPOSED FIRE HYDRANT
- (E) PROPOSED SANITARY SEWER MANHOLE
- (F) PROPOSED RV DUMP STATION
- (G) PRIVATE DETENTION POND
- (H) PROPOSED 1-1/2" WATER METER
- (I) PROPOSED 1-1/2" WATER LINE
- (J) PROPOSED SANITARY WYE CLEANOUT
- (K) PROPOSED SANITARY SEWER CLEANOUT
- (L) UTILITY TRENCHING EXTENT
- (M) PROPOSED WASH STATION

GENERAL NOTES

1. THESE PLANS ARE NOT FOR CONSTRUCTION. REFER TO THE FINAL APPROVED CONSTRUCTION PLANS.



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**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 UTILITY PLAN**

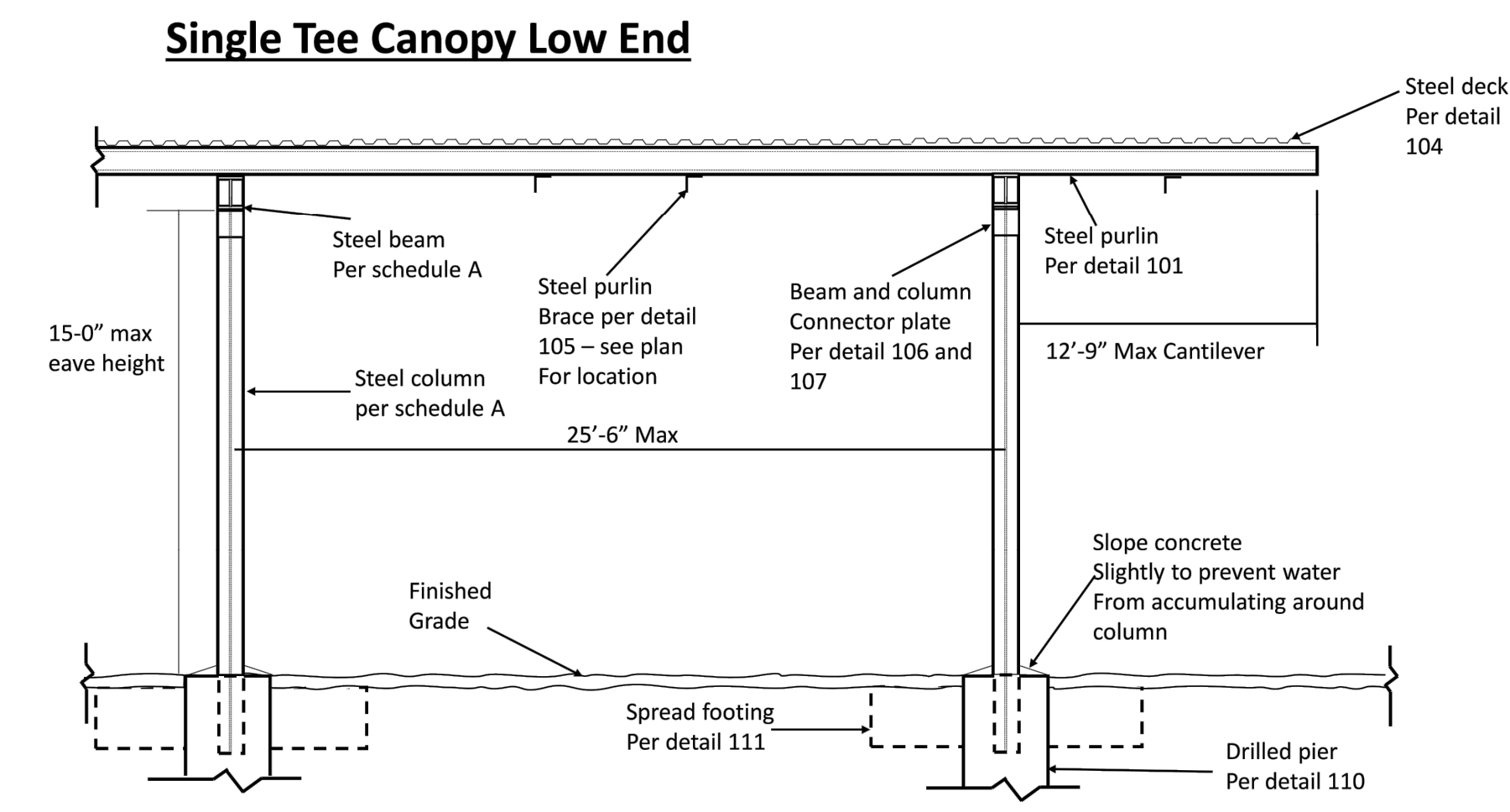
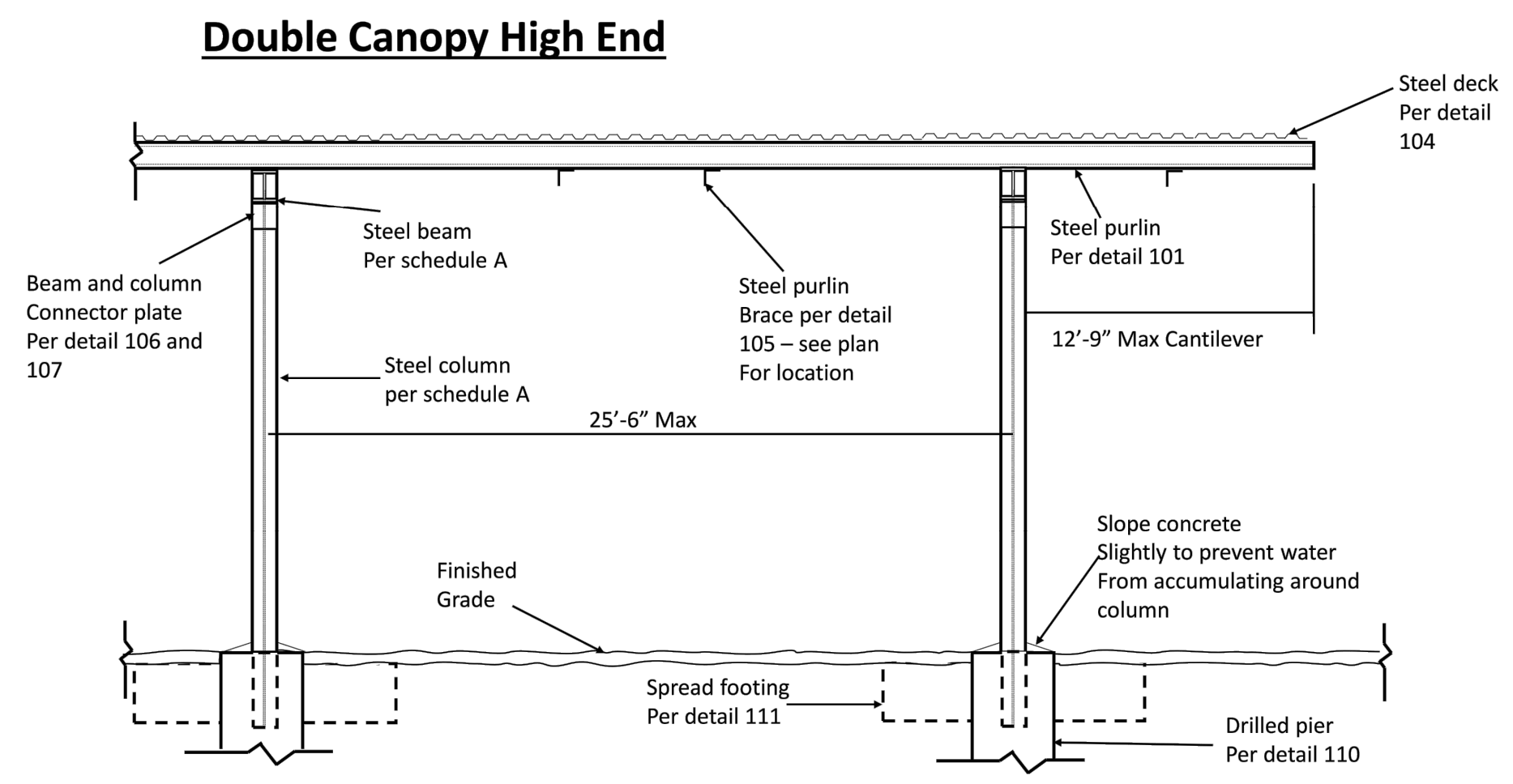
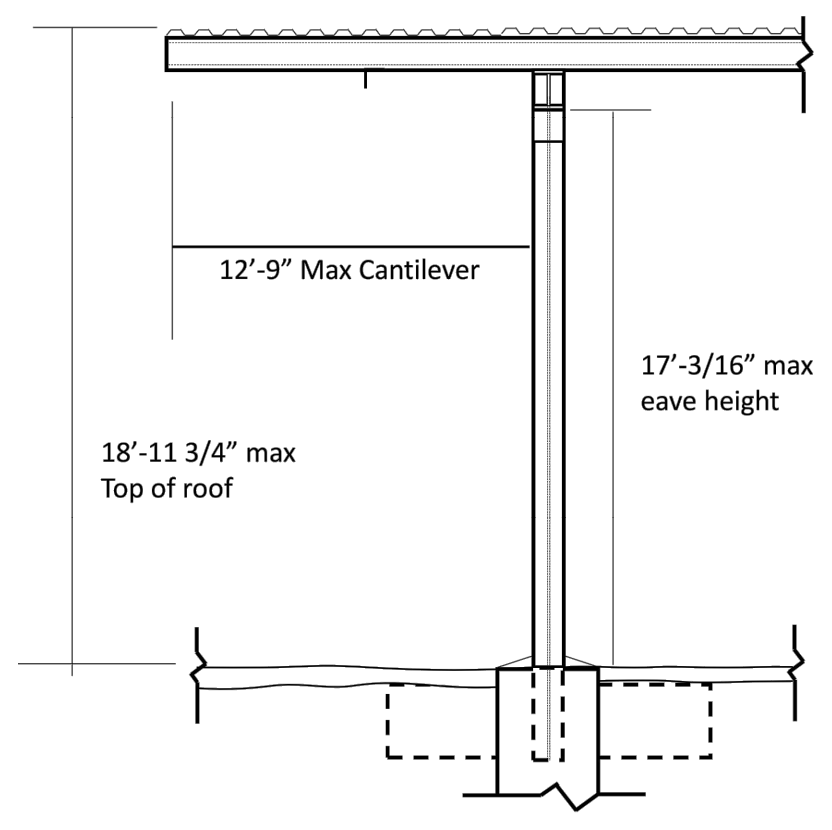
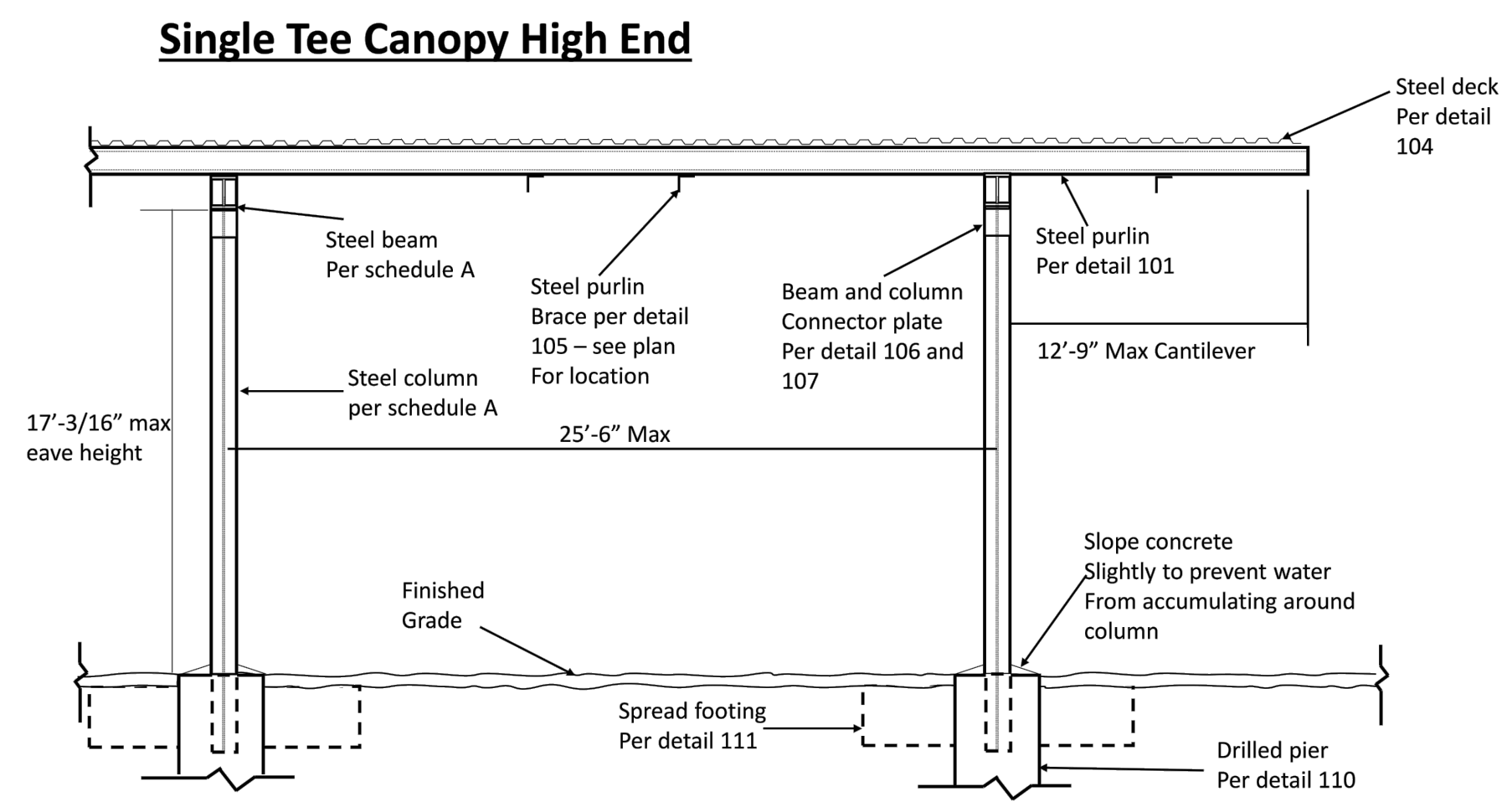
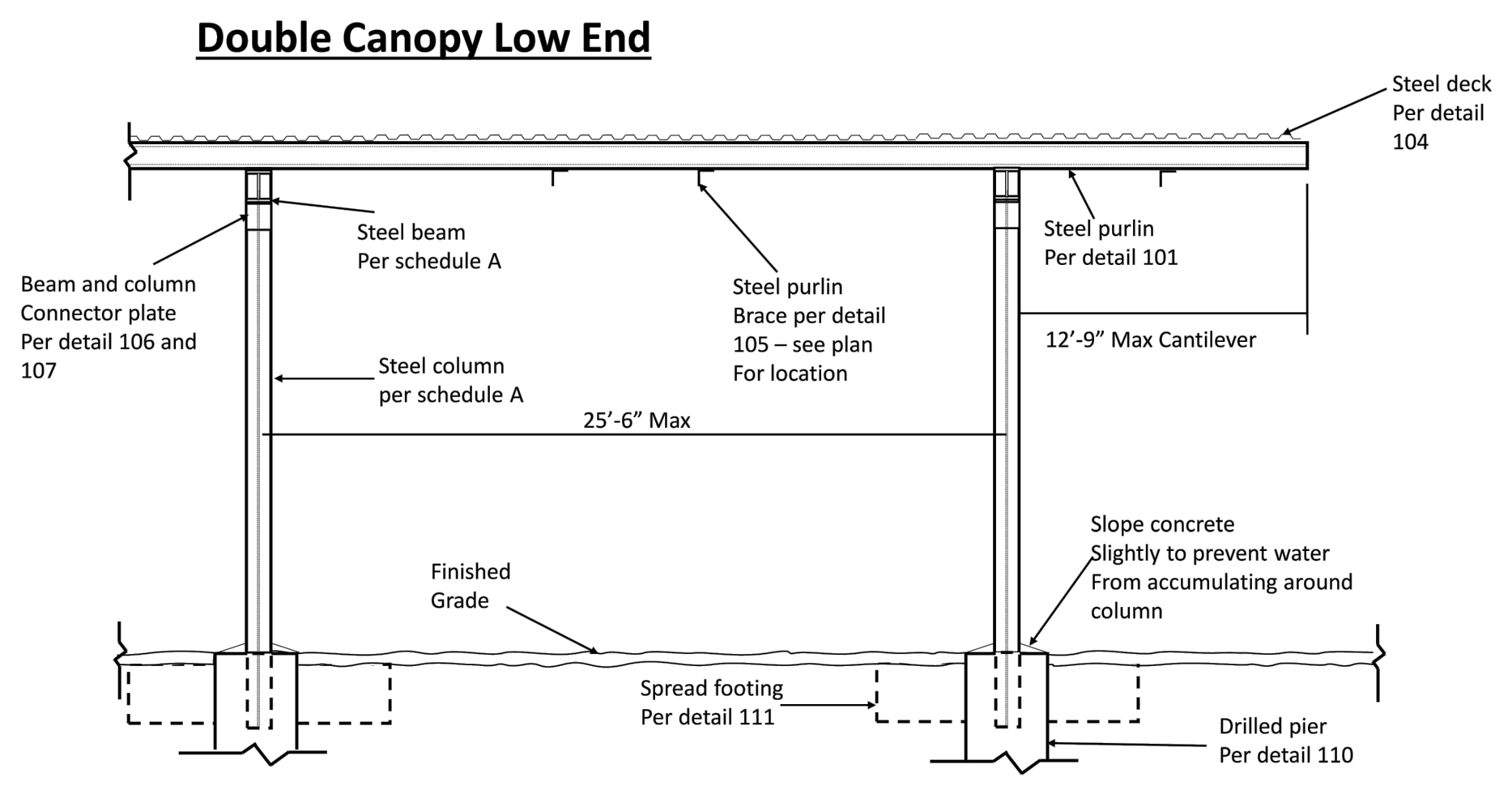
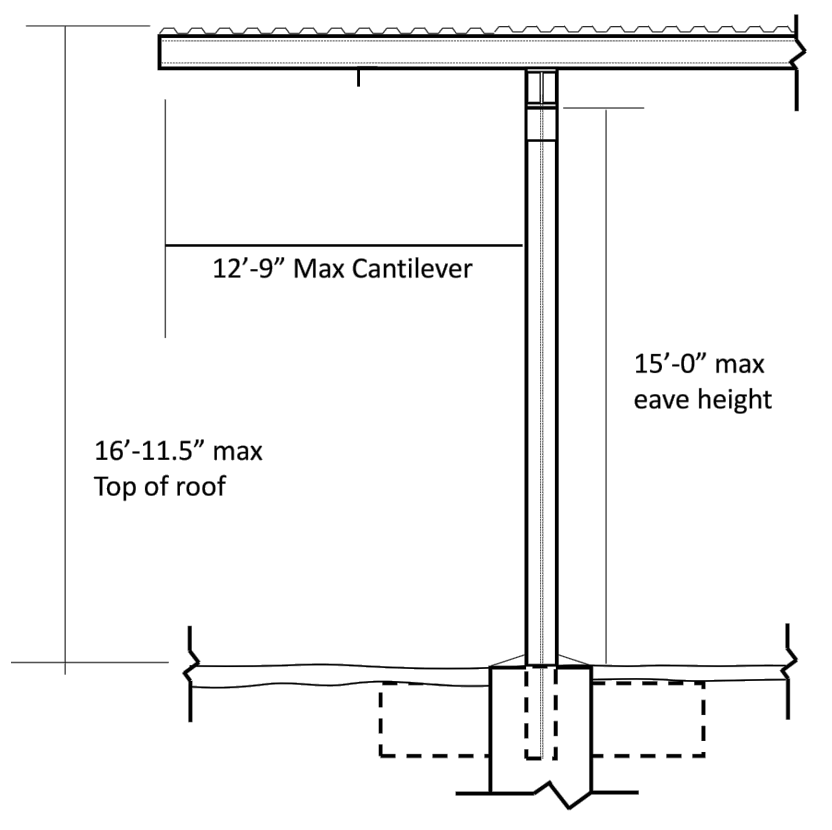


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 NORTH RANGE 2 EAST, CITY
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 BERNALILLO COUNTY, NEW
 MEXICO, TRACTS C48 AND
 C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
CANOPY ELEVATIONS

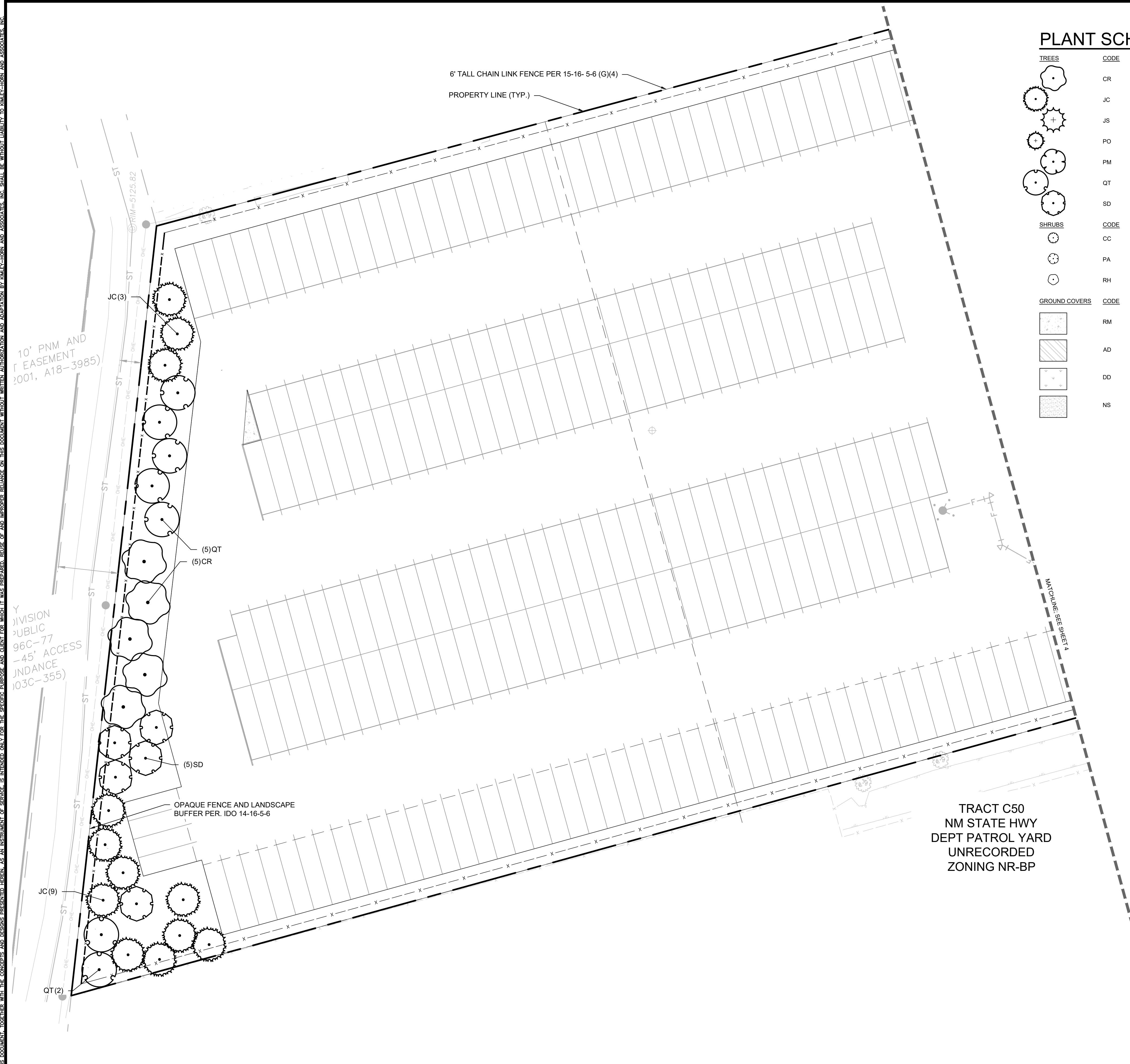


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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	CR	9	CELTIS RETICULATA	NETLEAF HACKBERRY	B & B	2" CAL MIN	12' HT MIN	
	JC	16	JUNIPERUS CHINENSIS	JUNIPER	B & B		6' HT MIN	
	JS	6	JUNIPERUS MONOSPERMA	ONE SEED JUNIPER	B & B		6' HT MIN	
	PO	11	PINUS NIGRA 'OREGON GREEN'	OREGON GREEN AUSTRIAN PINE	B & B		6' HT MIN	
	PM	5	PROSOPIS GLANDULOSA 'MAVERICK' TM	HONEY MESQUITE	B & B	2" CAL MIN	12' HT MIN	
	QT	11	QUERCUS TURBINELLA	SONORAN SCRUB OAK	B & B	2" CAL MIN	12' HT MIN	
	SD	8	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	12' HT MIN	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	
	CC	27	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN	
	PA	12	PENSTEMON AMBIGUUS	GLIA BEARDTONGUE	5 GAL	SEE PLAN	12" HT MIN	
	RH	17	RUDBECKIA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	SPACING
	RM	6,095 SF	1-1/2" - 2" RIVER ROCK MULCH		-			
	AD	170	ANACYCLUS DEPRESSUS	ALTAS DAISY	4" P.P.	4" POTS	12" OC	12" o.c.
	DD	9,174 SF	DETENTION SEED	DETENTION BASIN SEED MIX	SEED			
	NS	52,254 SF	NATIVE SEED MIX		SEED			

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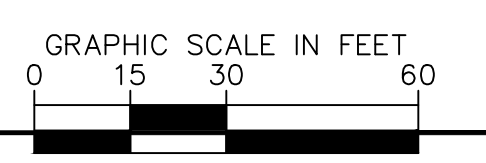
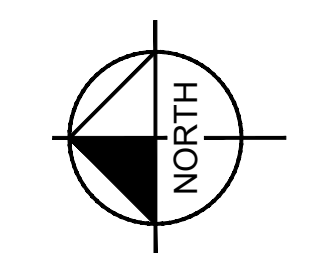
RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 LANDSCAPE PLAN



PROJECT NO.
096648005

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NOT FOR CONSTRUCTION

GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC., THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIPLINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS
 - a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
 2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER
1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC., IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
 - * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
 - * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S GROWN (BASE) OR AS SHOWN IN PLANTING DETAILS UNLESS OTHERWISE NOTED ON PLANS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (IF MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
3. B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

M. PLANTING PROCEDURES

1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO, ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

N. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING
 - a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNERS REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
6. LAWN MAINTENANCE
 - a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADEING IF NECESSARY.
 - b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"x6" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNERS REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

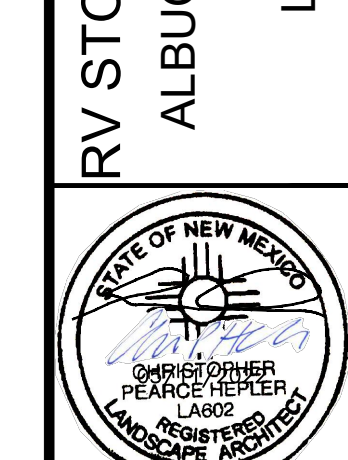
NO.	REVISION	BY	DATE

Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4652 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEG
 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 05/11/2022

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH, RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO, TRACTS C-48 AND
 C-49, UNIT 4.

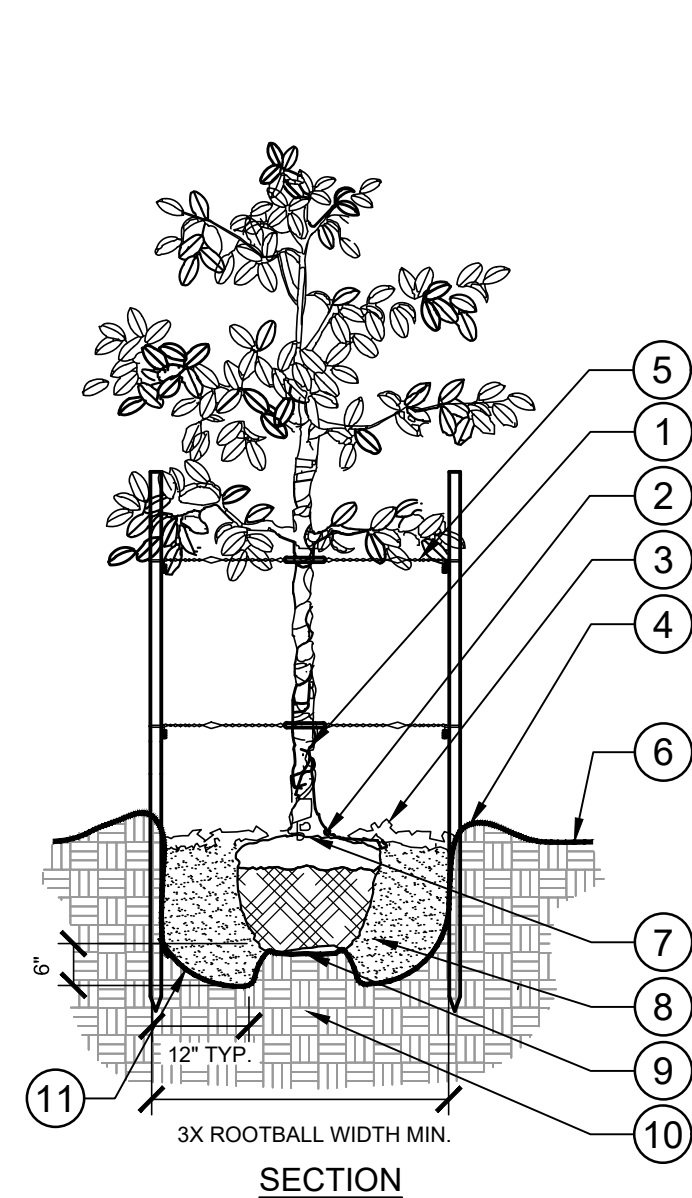
RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 LANDSCAPE NOTES



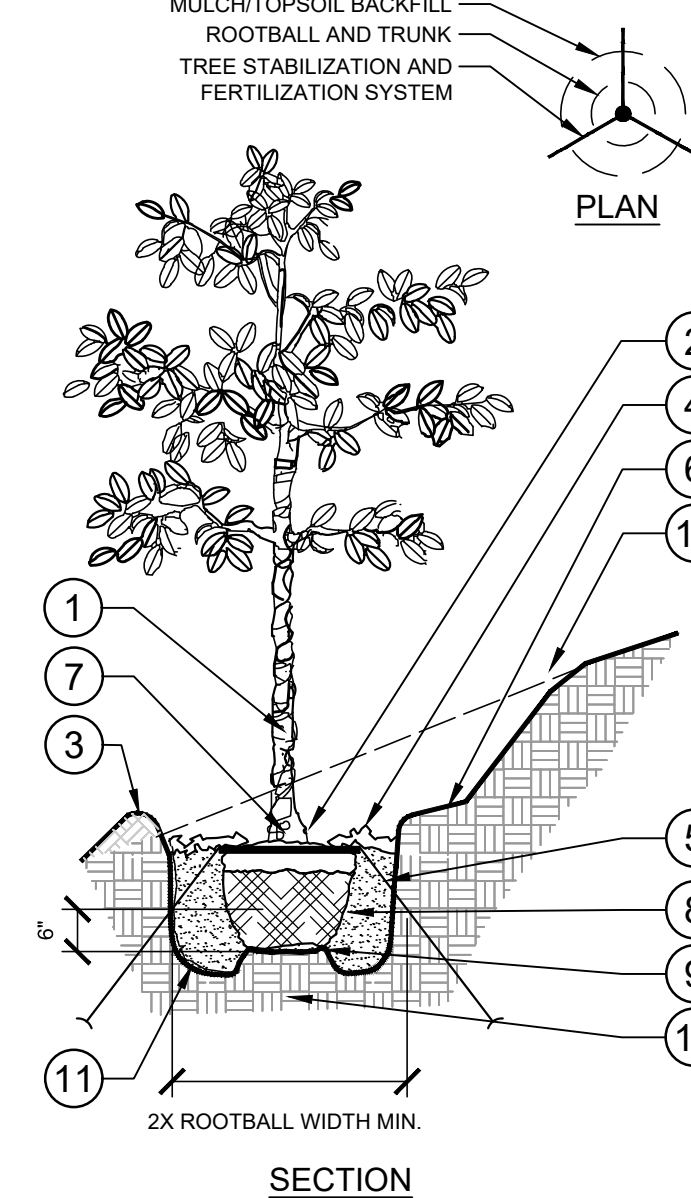
PROJECT NO.
 096648005
 DRAWING NAME
 096648005_LA.dwg

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

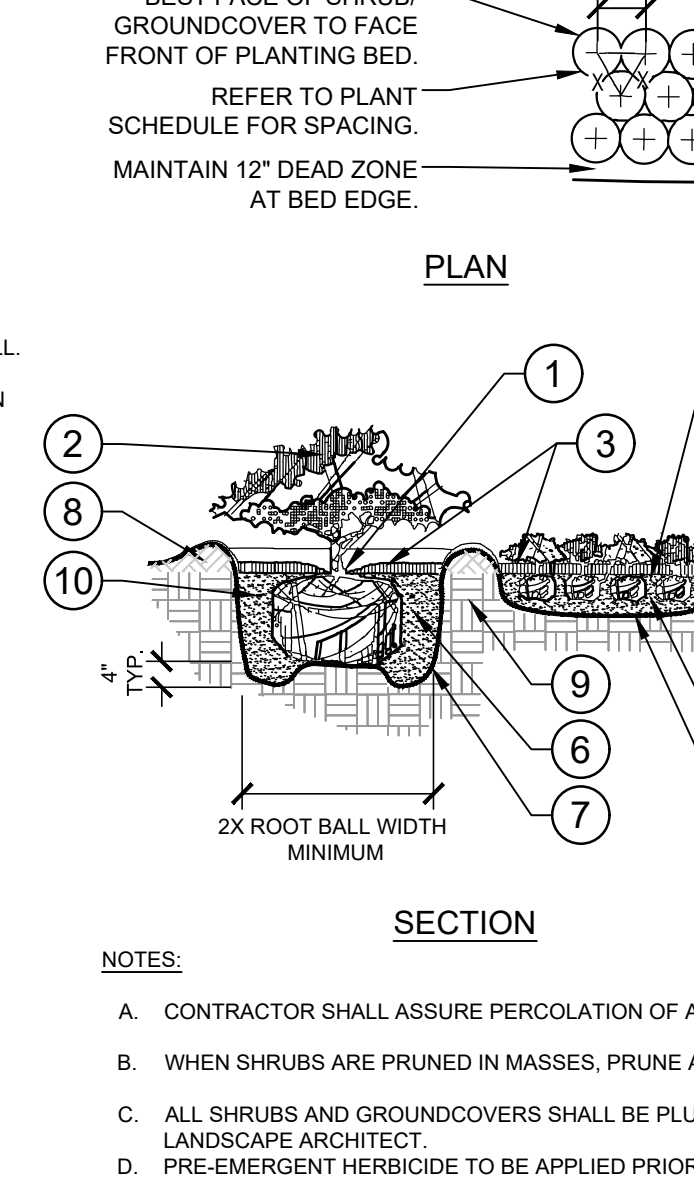
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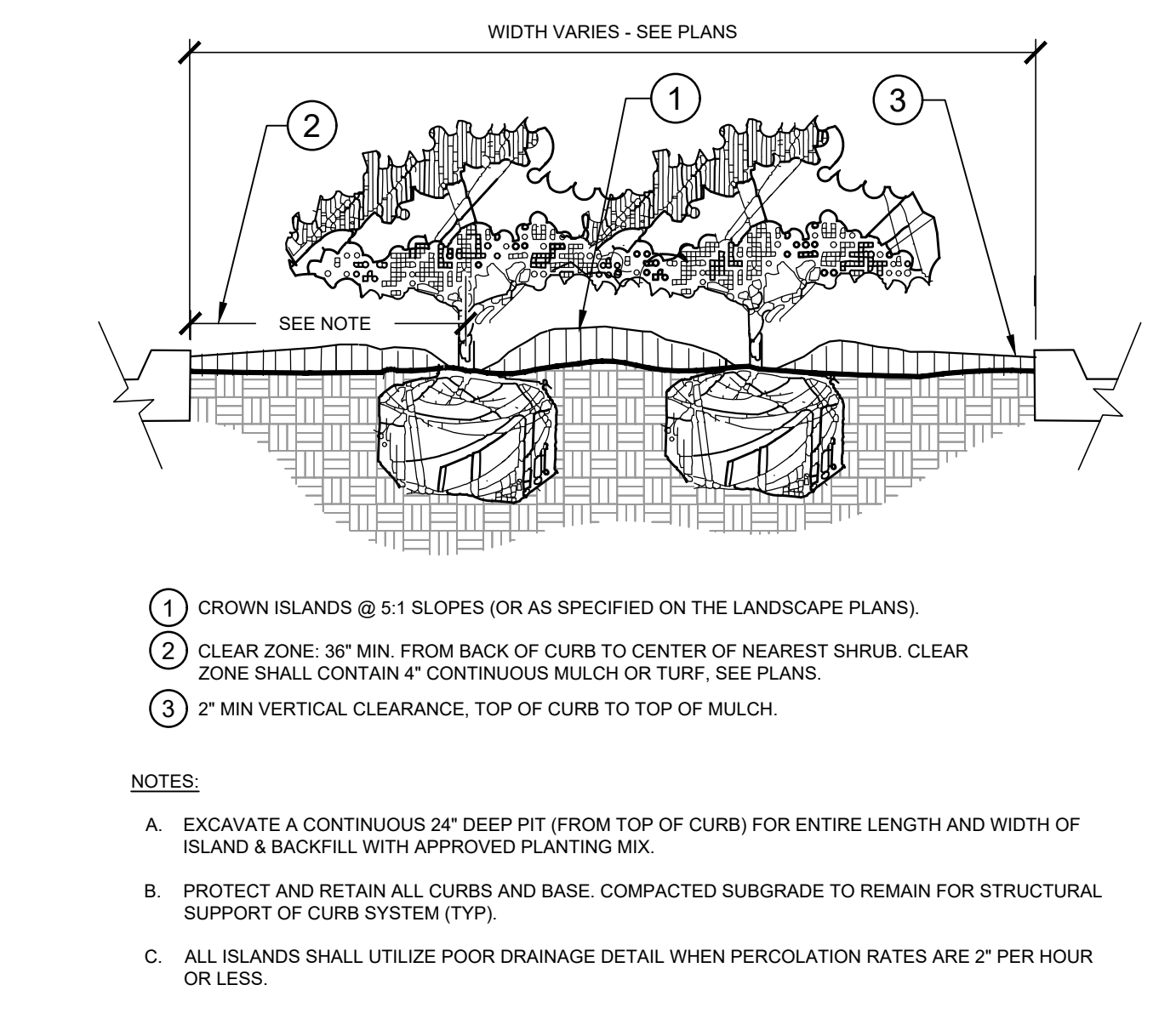
1 TREE PLANTING - STAKING
SECTION / PLAN
NTS



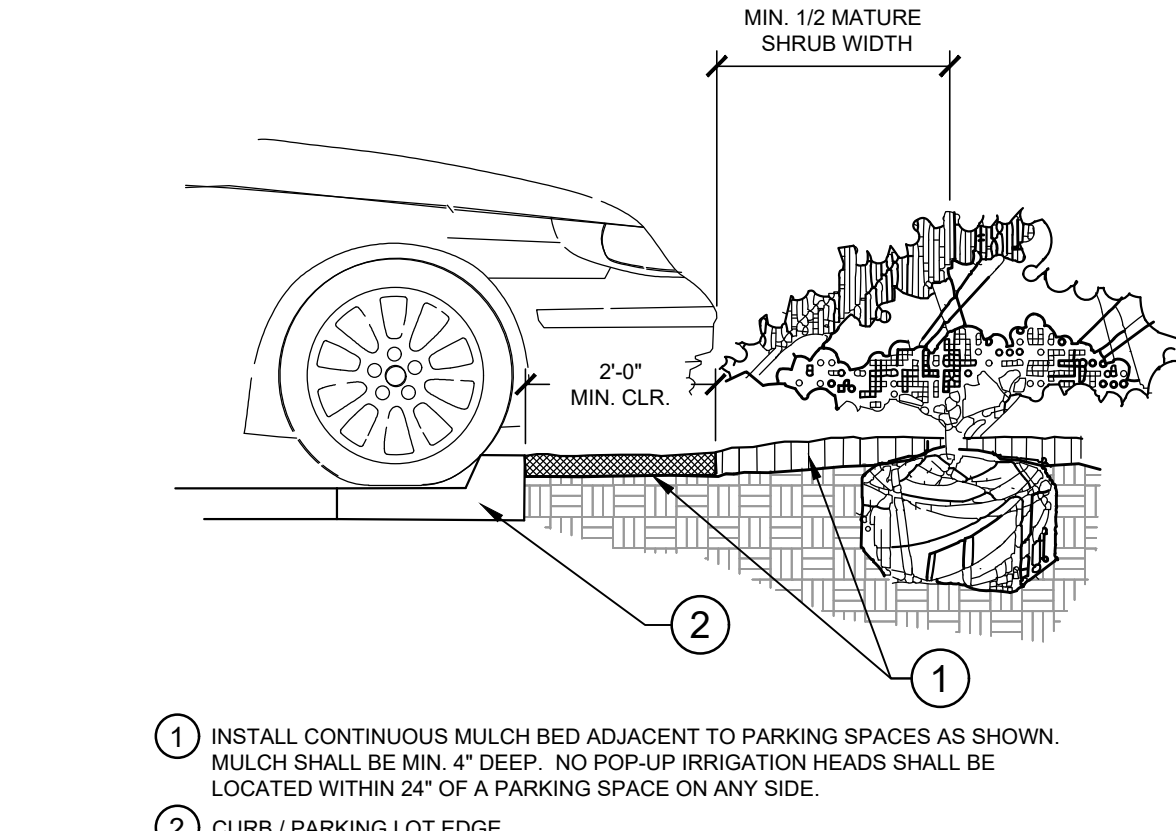
2 TREE PLANTING ON A SLOPE
SECTION / PLAN
NTS



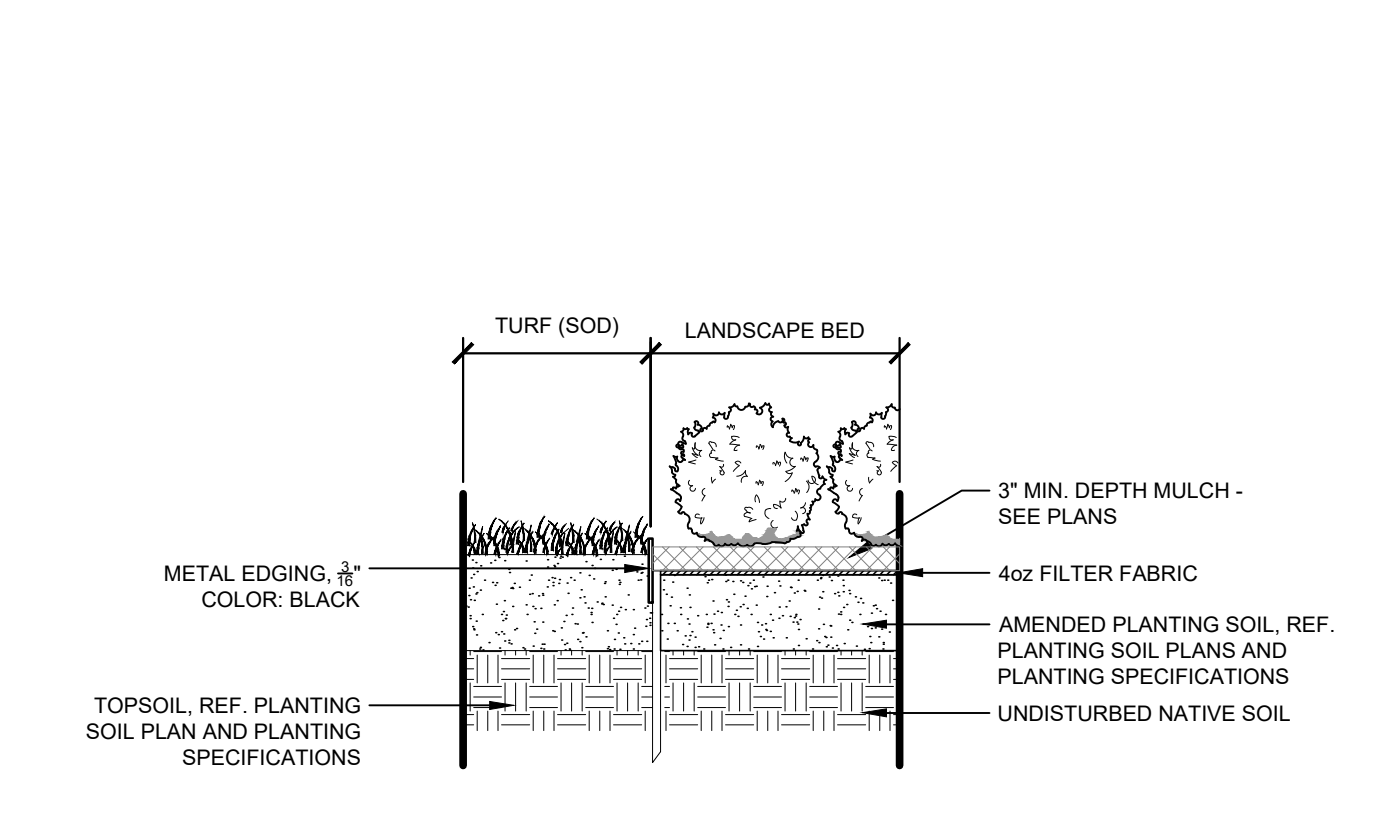
3 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS



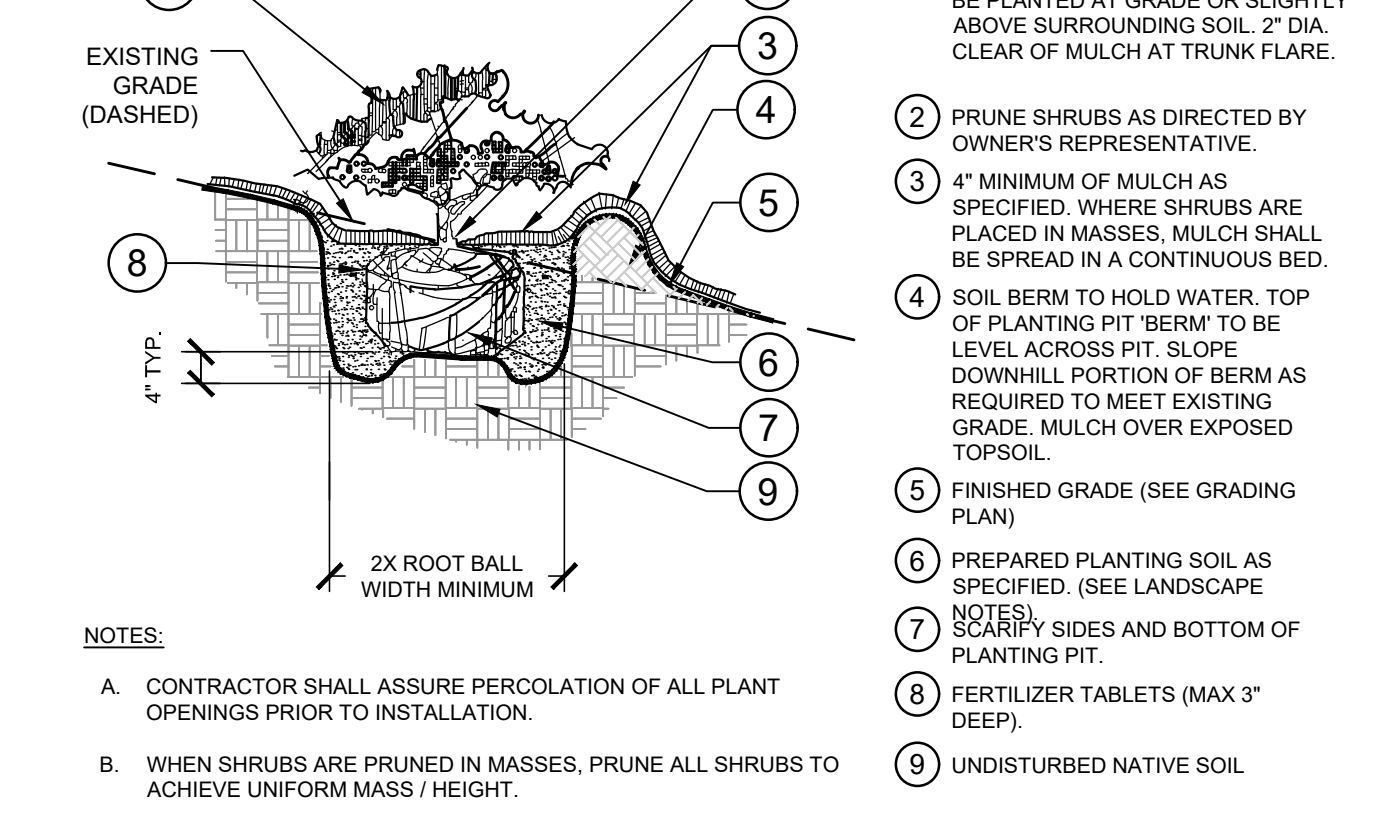
4 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



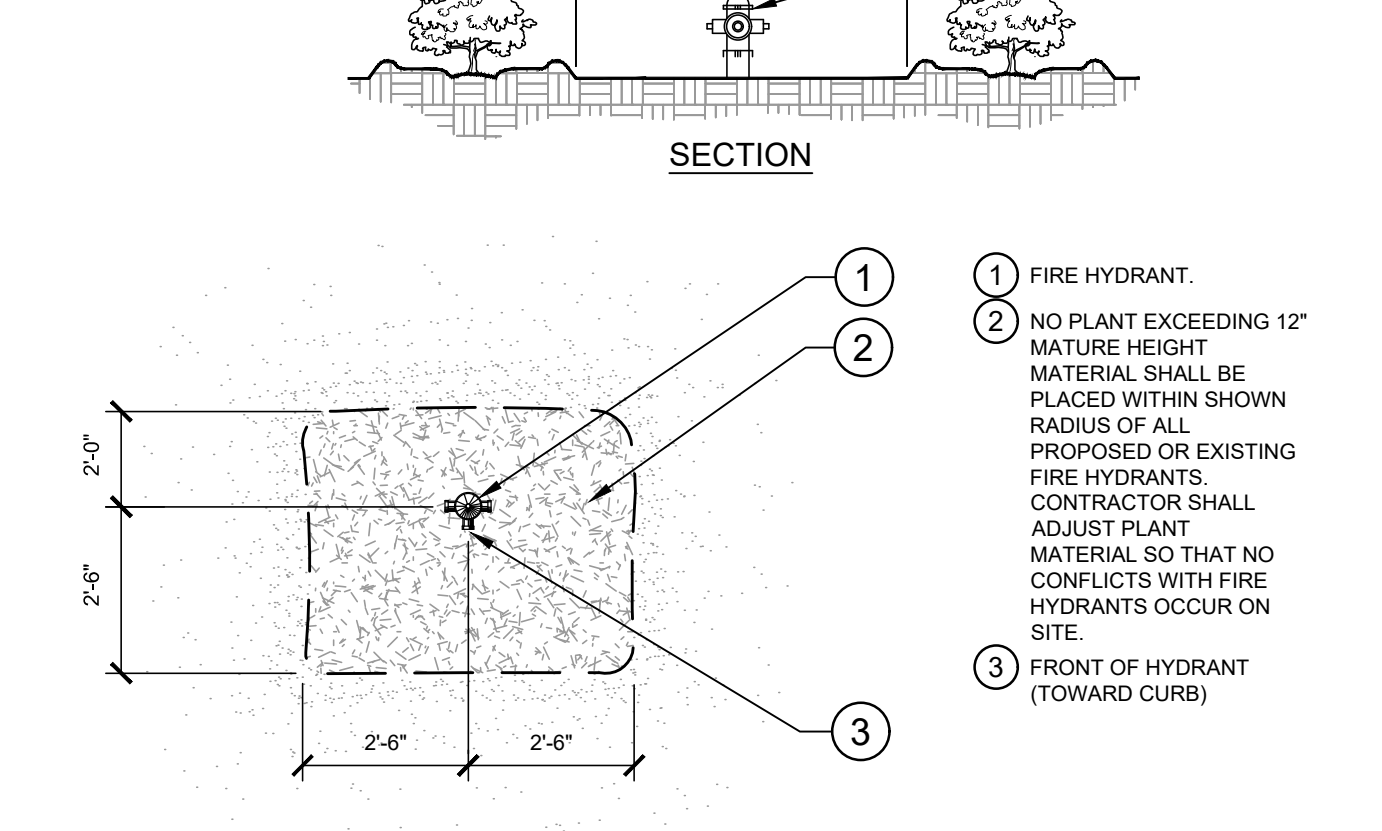
5 PARKING SPACE/CURB PLANTING
SECTION
NTS



6 METAL EDGER AT PLANTING BED
SECTION
1\"/>



7 SHRUB/GROUNDCOVER PLANTING ON A SLOPE
SECTION
NTS



8 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS

NATIVE SEED INFORMATION
SHORT GRASS MIX BY APPLEWOOD SEED COMPANY OR EQUAL
SEEDING RATE: 6 LBS/ACRE

SCIENTIFIC NAME	COMMON NAME
BOUTELOUA GRACILIS	BLUE GRAMA
BOUTELOUA CURTIPENDULA	SIDEOATS GRAMA
SPOROBOLUS CRYPTANDRUS	SAND DROPSSEED
KOELERIA MACRANTHA	PRARIE JUNEGRASS

DETENTION BASIN SEED MIX
• TO BE PER THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT DRAINAGE PONDS: SLOPE STABILIZATION AND SEEDING REQUIREMENTS (MARCH 25, 2022). POND STABILIZATION TO FOLLOW SECTION 1013

NO.	REVISION	BY	DATE	APPR.

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RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
LANDSCAPE DETAILS



PROJECT NO.
096648005
DRAWING NAME
096648005_LA.dwg

NOT FOR CONSTRUCTION SHEET 15











PR-2020-004757_SI-2021-00307_Site_Plan_Approved_5-5-21_Sheet_1

Final Audit Report

2022-07-26

Created:	2022-07-21
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAQvd-QGxBMm7oc0f13uIIIfSLCQtE0qzx

"PR-2020-004757_SI-2021-00307_Site_Plan_Approved_5-5-21_Sheet_1" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2022-07-21 - 8:59:47 PM GMT - IP address: 73.242.135.213
-  Document emailed to jwolfley@cabq.gov for signature
2022-07-21 - 9:22:13 PM GMT
-  Document emailed to Ernest Armijo (eamijo@cabq.gov) for signature
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-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature
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-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature
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-  Email viewed by Ernest Armijo (eamijo@cabq.gov)
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-  Signer bcarter@abcwua.org entered name at signing as Blaine Carter
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2022-07-26 - 9:45:47 PM GMT- IP address: 143.120.133.169

 Signer jwolfley@cabq.gov entered name at signing as Jolene Wolfley, CABQ Planning

2022-07-26 - 9:46:10 PM GMT- IP address: 143.120.133.169

 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

Signature Date: 2022-07-26 - 9:46:11 PM GMT - Time Source: server- IP address: 143.120.133.169

 Agreement completed.

2022-07-26 - 9:46:11 PM GMT