



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**_ ARCHAEOLOGICAL CERTIFICATE**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. *The PDF shall be organized in the number order below.*

- ___ 1) Development Review application form completed, signed, and dated
- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Archaeological Compliance Form with property information section completed
- ___ 6) Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

_ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

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- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ___ 6) The approved Site Plan being amended
- ___ 7) Copy of the Official Notice of Decision associated with the prior approval
- ___ 8) The proposed Site Plan, with changes circled and noted

Refer to the Site Plan Checklist for information need on the proposed Site Plan

Minor Amendments be within the thresholds established in IDO Table 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request

_ ACCELERATED EXPIRATION OF SITE PLAN

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- ___ 2) Form P3 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Letter of authorization from the property owner if application is submitted by an agent
- ___ 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ___ 6) Site Plan to be Expired

_ ALTERNATIVE SIGNAGE PLAN

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- 1) Development Review application form completed, signed, and dated
- 2) Form P3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- 6) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- 7) Sign Posting Agreement
- 8) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1)
 - Office of Neighborhood Coordination notice inquiry response
 - Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - Proof of emailed notice to affected Neighborhood Association representatives

_ ALTERNATIVE LANDSCAPING PLAN

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- 2) Form P3 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Letter of authorization from the property owner if application is submitted by an agent
- 5) Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- 6) Landscape Plan

February 5th , 2024

ATTN: Development Facilitation Team
Plaza del Sol, 600 2nd NW
Albuquerque, NM 87102

Subject: 8301 Volcano Rd NW, Accelerated Expiration of Site Plan Request

Dear Development Facilitation Team Staff,

Volcano RV LP is seeking to vacate the Infrastructure List (IL) through an Accelerated Expiration of Site Plan so that the \$296,518.71 Financial Guaranty that was a part of the IIA can be reimbursed. Our previously approved Site Plan – DRB (SI-2021-00307) is not set to expire until May 2028.

The RV storage project was originally envisioned in 2020, with the anticipation of securing capital from a lender to finance a portion of the build once through approvals. Unfortunately, the approval of the project's entitlements happened in conjunction with the Federal Reserve pushing historic increases in interest rates and the failure of several notable regional banks. As a result of these unforeseen economic difficulties, we are seeking the withdrawal of our site plan application and asking for the return of the Financial Guaranty accompanying it.

We greatly appreciate the Development Facilitation Team's consideration in this request. If you have any further questions, do not hesitate to contact us at jzahn@mlcoconstruction.com.

Kind Regards,

Ben Lokhorst
Authorized Signatory
Volcano RV LP

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

Macritchie
715 5th Ave SW, Suite 1700
Calgary, Alberta T2P 2X6

Project# PR-2020-004757
Application#
SI-2021-00307 SITE PLAN – DRB

LEGAL DESCRIPTION:

For all or a portion of: **TRACT C48 AND C49, TOWN OF ATRISCO GRANT**, zoned NR-BP, located on **VOLCANO RD between CENTRAL AVE and BRISTOL ST** containing approximately 9.59 acre(s). (K-9)

On May 5, 2021, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to Transportation and Planning, based on the following Findings:

1. This is a request to construct an RV storage facility consisting of 429 parking spaces with covered canopies having a range of sizes (11' x 45', 11' x 40', and 11' x 30'), and a 650-square foot temporary office building, two RV wash stations, and two RV dump stations on the subject property. The site plan is required to be reviewed by the Development Review Board (DRB) because the site is more than 5-acres in size.
 1. Pursuant to 6-6(l)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(l)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

There are no parking requirements for the proposed use. The landscaping meets the IDO requirements: 63,227 square feet of landscaping is proposed where 61,728 square feet is required. The height of the canopies meets the IDO requirements: the 18' 11 ¾ " maximum height of the canopies is lower than the 65-foot maximum building height in the NR-BP zone district.

- b. 6-6(1)(3)(b) *The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.*

The site has access to a full range of urban services including utilities, roads and emergency services. A traffic impact study is not required for this project because it does not meet the threshold for such a study per Transportation. Comments from Transportation state that public roadway improvements for Volcano Road reviewed and approved through the City work order process are required, and final sign-off from Transportation for this Site Plan is conditioned on the recording of a Plat featuring the dedication of right-of-way for roadway improvements.

- c. 6-6(1)(3)(c) *If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.*

The subject property is not located within an approved Master Development Plan, therefore this criterion does not apply.

2. An Infrastructure List was approved with this Site Plan. A recorded Infrastructure Improvements Agreement (IIA) must be submitted.
3. The proposed use is allowed within the NR-BP zone district with a Conditional Use. On December 15, 2020, the Zoning Hearing Examiner approved Conditional Uses for Outdoor Vehicle Storage on the site.

Conditions:

1. This Site Plan is valid 7 years from DRB approval (5/5/2021). An extension may be requested prior to the expiration date.
2. Final sign off is delegated to Transportation for correct reference for ramp details on Volcano Road with a note that these will be handled through work order, to adjust the project boundary line ensuring all public sidewalk on Volcano Road is within public right-of-way, and to specify that the sidewalk is flush with asphalt along front of the building to ensure ADA requirements.

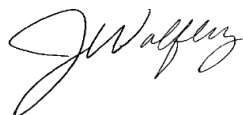
3. Final sign off is delegated to Planning for the Solid Waste signature, modification of seed mix as discussed by Parks and Recreation, the addition of DRB and Solid Waste signature blocks to the Site Plan, project and application numbers added to the Site Plan, the recorded IIA, and for the Plat for the site to be recorded prior to sign-off.
4. The applicant will obtain final sign off from Transportation and Planning by September 5, 2021 or the case may be scheduled for the next DRB hearing and could be denied her the DRB Rules of Procedure.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **MAY 20, 2021**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). Appeals should be submitted via email to PLNDRS@CABQ.GOV (if files are less than 9MB in size). Files larger than 9MB can be sent to PLNDRS@CABQ.GOV using <https://wettransfer.com>. A Non-Refundable filing fee will be calculated and you will receive instructions about paying the fee online.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,

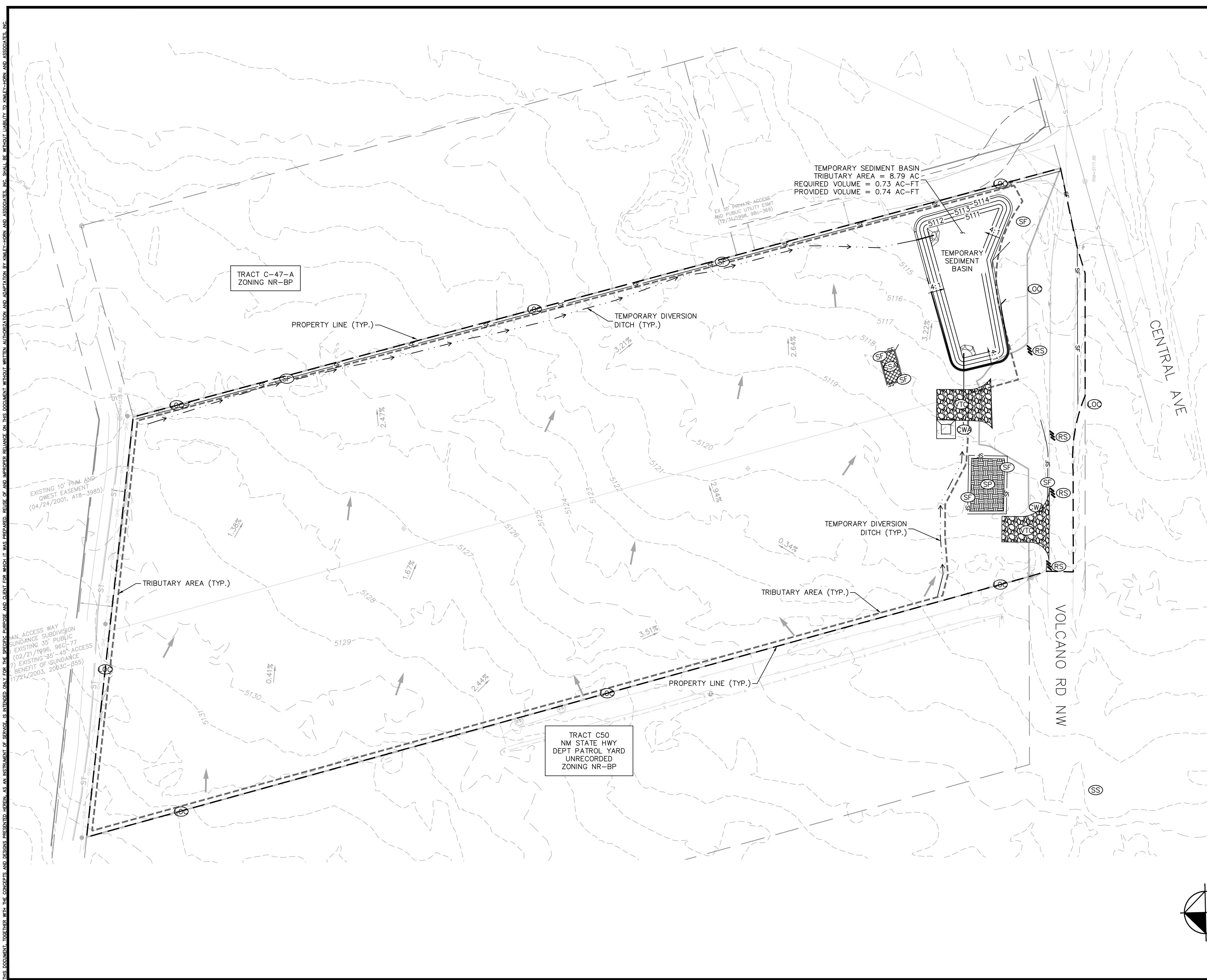


Jolene Wolfley
DRB Chair

JW/jr

Kimley-Horn, 4582 S Ulster St. Suite 1500, Denver, CO 80237

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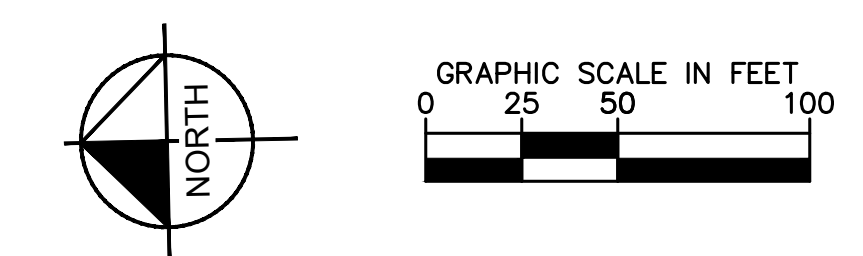


LEGEND

- PROPERTY LINE
- 50— PROPOSED MAJOR CONTOURS
- 49— PROPOSED MINOR CONTOURS
- - -50- - - EXISTING MAJOR CONTOURS
- - -49- - - EXISTING MINOR CONTOURS
- - - - - PROPOSED RISER PIPE
- - - - - PROPOSED DIVERSION DITCH
- - - - - PROPOSED TRIBUTARY AREA
- [Symbol] PROPOSED STORM RIPRAP
- X.XX% DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LOC LIMITS OF CONSTRUCTION
- SF SILT FENCE
- SP STOCKPILE
- CWA CONCRETE WASHOUT
- VTC VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- SS STREET SWEEPING
- SSA STABILIZED STAGING AREA
- RS ROCK SOCKS

GENERAL NOTES

1. TOTAL AREA OF DISTURBANCE = 10.06 AC



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 ©2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4652 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 05/11/2022

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH, RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO. TRACTS C48 AND
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 INITIAL EROSION AND SEDIMENT CONTROL PLAN**



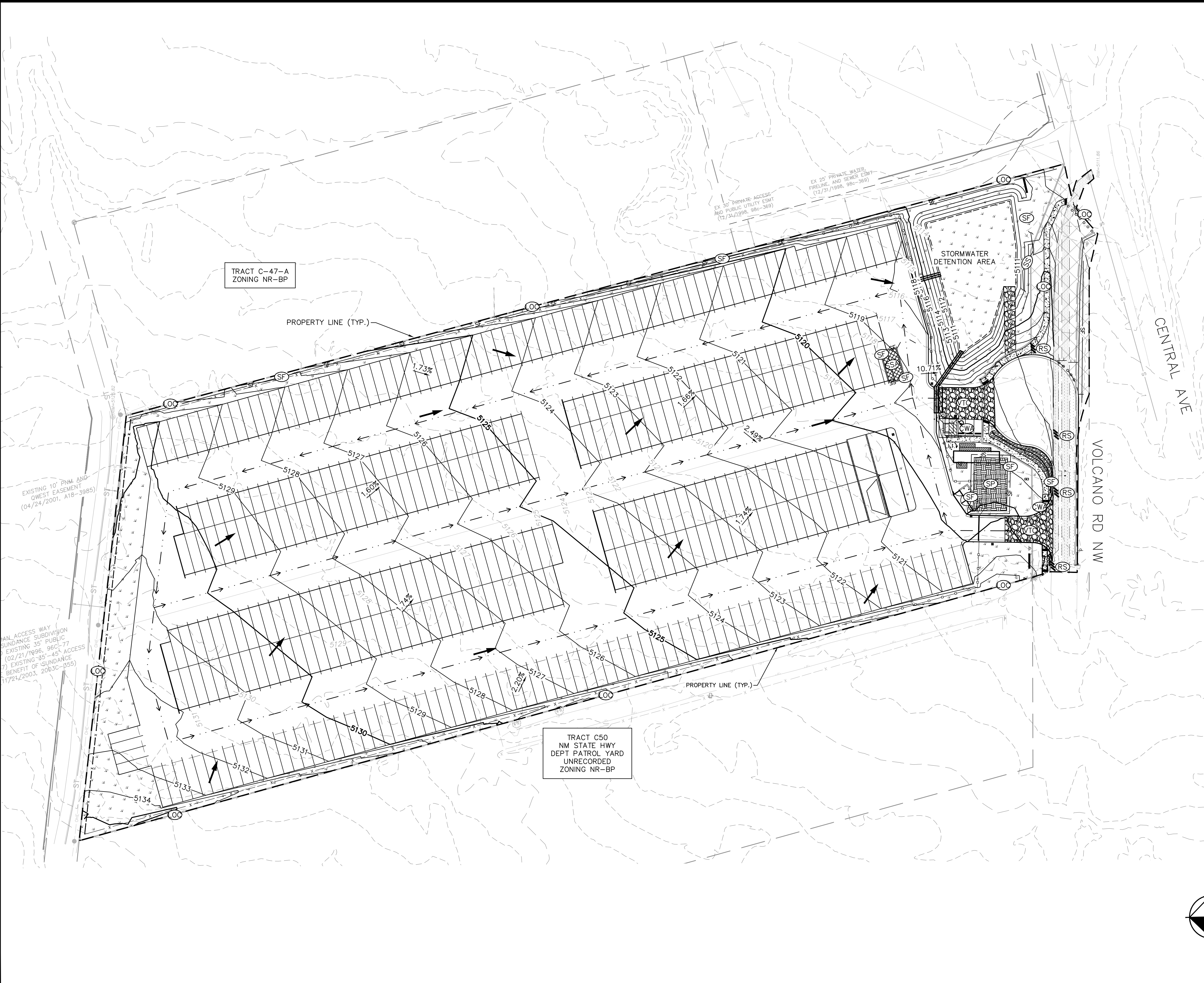
PROJECT NO.
096648005

DRAWING NAME
EC PLAN

SHEET
3

NOT FOR CONSTRUCTION

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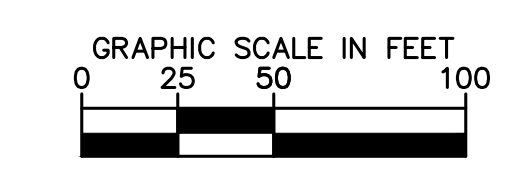
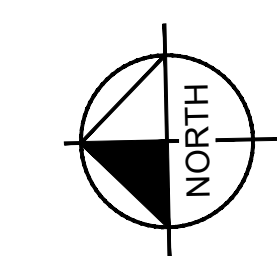


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**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 FINAL EROSION AND SEDIMENT CONTROL PLAN**



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Diversion Channel Dike and Swale (continued)

MAINTENANCE REQUIREMENTS

Earth Dike (Berm)

Dikes must be inspected on a weekly basis and after each significant (>0.5 inch) rainfall to determine if silt is building up behind the dike, or if erosion is occurring on the face of the dike. Silt shall be removed in a timely manner. If erosion is occurring on the face of the dike, the slopes of the face shall either be stabilized through mulch or seeding, or the slopes of the face shall be reduced.

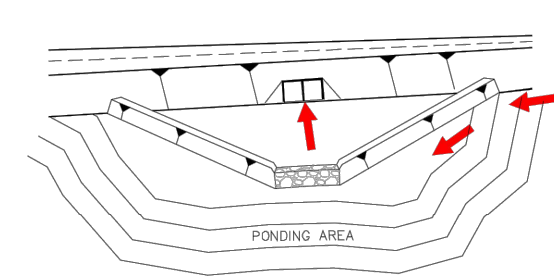
Diversion Channel (Swale)

Inspection must be made weekly and after each significant (>0.5 inch) rainfall to locate and repair any damage to the channel or to clear debris or other obstructions so as not to diminish flow capacity. Damage from storms or normal construction activities, such as tire ruts or disturbance of swale stabilization, shall be repaired as soon as practical.

NOTES

- Berms shall have a minimum height of 18 inches, side slopes of 2:1 or flatter, and a minimum base width of 2 feet.
- The minimum freeboard shall be 6 inches.
- Berms and diversions should be constructed of compacted soil or coarse aggregate.
- All berms shall have an uninterrupted positive grade to a stabilized outlet.
- Diversion channels shall be excavated or shaped to line, grade, and cross section as indicated in the plans and as required to meet the criteria specified.
- Berms and diversion channels should be stabilized within 14 days of their construction.
- Periodically, and after each rain event, berms and dikes should be inspected, and accumulated sediments against berms should be removed.

Sediment Basin



Applications

- Perimeter Control
- Slope Protection
- ✓ Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- Medium
- Low
- Unknown or Questionable

DESCRIPTION

A sediment basin is a pond area with a controlled outlet in which suspended sediment is allowed to settle. Provides treatment plus controlled outflow, minimizing flood problems down gradient.

PRIMARY USE

Sediment basins should be used where there is adequate open space to direct most of the site drainage into the basin. For sites with disturbed areas of more than 10 acres that are part or the same drainage area, sediment basins are required as either temporary or permanent controls, if there are no site limitations.

APPLICATIONS

A sediment basin is a treatment device, highly effective for removing sediment and other pollutants for the design storm event. Sediment basins shall be designed for two-year storm runoff. Maximum embankment height shall be 9 feet with a minimum top width of 8 feet. The side slopes shall be 2:1 or flatter.

LIMITATIONS

Sediment basins can be rather large, depending on site conditions, requiring the use of expensive development area and comprehensive planning for construction phasing prior to implementation.

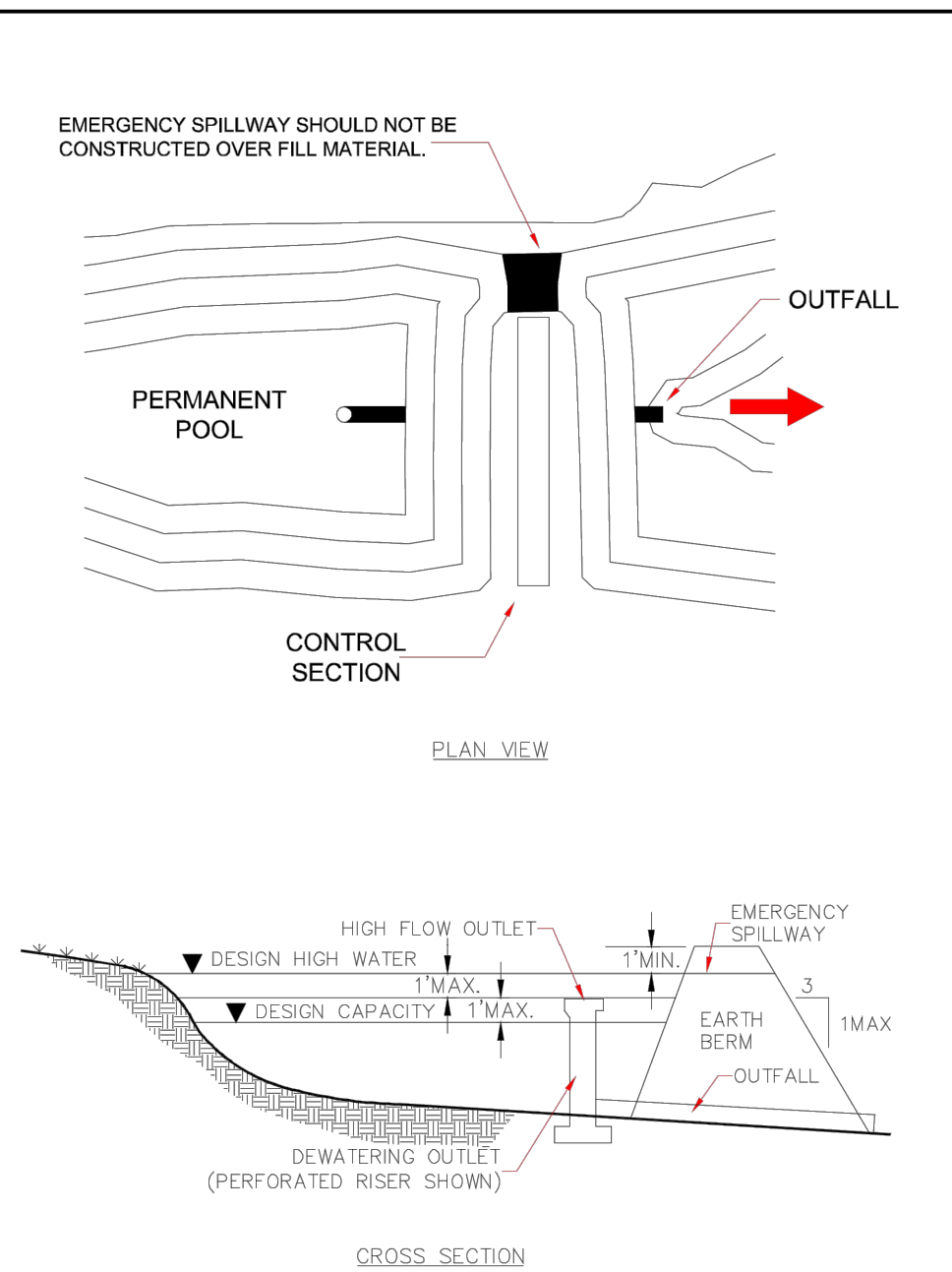
Storm events that exceed the design storm event can cause damage to the spillway structure of the basin and may impact downstream concerns.

MAINTENANCE REQUIREMENTS

Sediment shall be removed and the basin shall be re-graded to its original dimensions when the capacity of the impoundment has been reduced to 20% of its original storage capacity. The removed sediment shall be stockpiled or redistributed in areas that are protected from erosion.

The basin outlet structure and emergency spillway (if present) should be checked frequently and after each major rain event to inspect for damage and to insure that obstructions are not diminishing the effectiveness of the structures.

Sediment Basin (continued)



DESCRIPTION

EMERGENCY SPILLWAY SHOULD NOT BE CONSTRUCTED OVER FILL MATERIAL.

OUTFALL

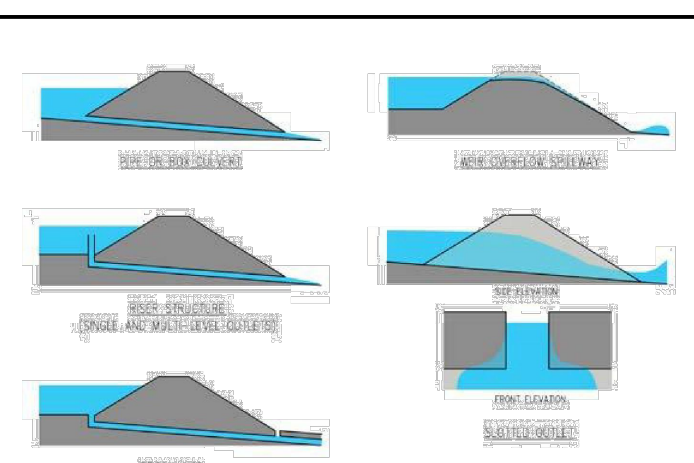
PERMANENT POOL

CONTROL SECTION

PLAN VIEW

CROSS SECTION

Outlet Structure



Applications

- Perimeter Control
- Slope Protection
- ✓ Sediment Trapping
- ✓ Channel Protection
- ✓ Temporary Stabilization
- ✓ Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- Medium
- Low Unknown or Questionable

DESCRIPTION

A flow restrictive device placed at the discharge point of a storm water detention basin or check structure. Outlet structures can provide mitigation for flow rates, velocities, floatables, and can provide sedimentation. Outlet structures include a wide range of designs, including orifice plates, baffle-boxes, mechanical screens, ported risers, trash racks, and weir configurations.

PRIMARY USE

Primarily utilized to be utilized in conjunction with detention basins. May be utilized as temporary BMP for construction phase activities. Out Structures provide mechanism for metering flow rates and reducing velocities to allow particles and associated pollutants to settle.

APPLICATIONS

If constructed with initial grading operations, an outlet structure can provide a site-wide BMP for sediment control. In post-construction applications, Outlet Structures can provide mitigation of a wide range of pollutants. Outlet Structures are also utilized for site storm water flow rate mitigation, and are typically designed to provide both storm water quality as well as flow rate mitigation.

LIMITATIONS

Construction phase Outlet Structure may require regular maintenance to remove accumulated sediment.

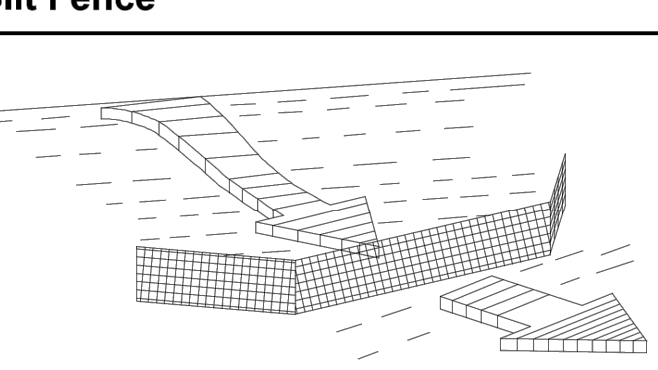
Outlet Structure requires an impoundment mechanism to convey flows into structure.

MAINTENANCE REQUIREMENTS

Inspections should be made on a monthly basis, especially after large storm events. If the Outlet Structure becomes inundated, debris and sediment removal are immediately required.

OS

Silt Fence



Applications

- ✓ Perimeter Control
- ✓ Slope Protection
- ✓ Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- Medium
- Low
- Unknown or Questionable

DESCRIPTION

A silt fence consists of geotextile fabric supported by backing stretched between posts, with the lower edge securely embedded in soil downstream of disturbed areas. Intercepts runoff in the form of sheet flow and provides filtration, sedimentation, and velocity reduction.

PRIMARY USE

Silt fences are used as perimeter control downstream of disturbed areas, and for non-concentrated sheet-flow conditions.

APPLICATIONS

Silt fences provide an economical way to mitigate overflow, non-concentrated flows, and as a perimeter control device. Best with coarse to silty soil types and to control wind erosion on sandy soils.

LIMITATIONS

Minor ponding will likely occur at the upstream side of the silt fence, resulting in minor localized flooding.

Fences that are constructed in swales or low areas subject to concentrated flow may be overtopped, resulting in failure of the filter fence. Silt fences subject to areas of concentrated flow (waterways with flows >1 cfs) are not acceptable.

Silt fence can interfere with construction operations; therefore, planning of access routes onto the site is critical.

Silt fence can fail structurally under heavy storm flows, creating maintenance problems and reducing the effectiveness of the system.

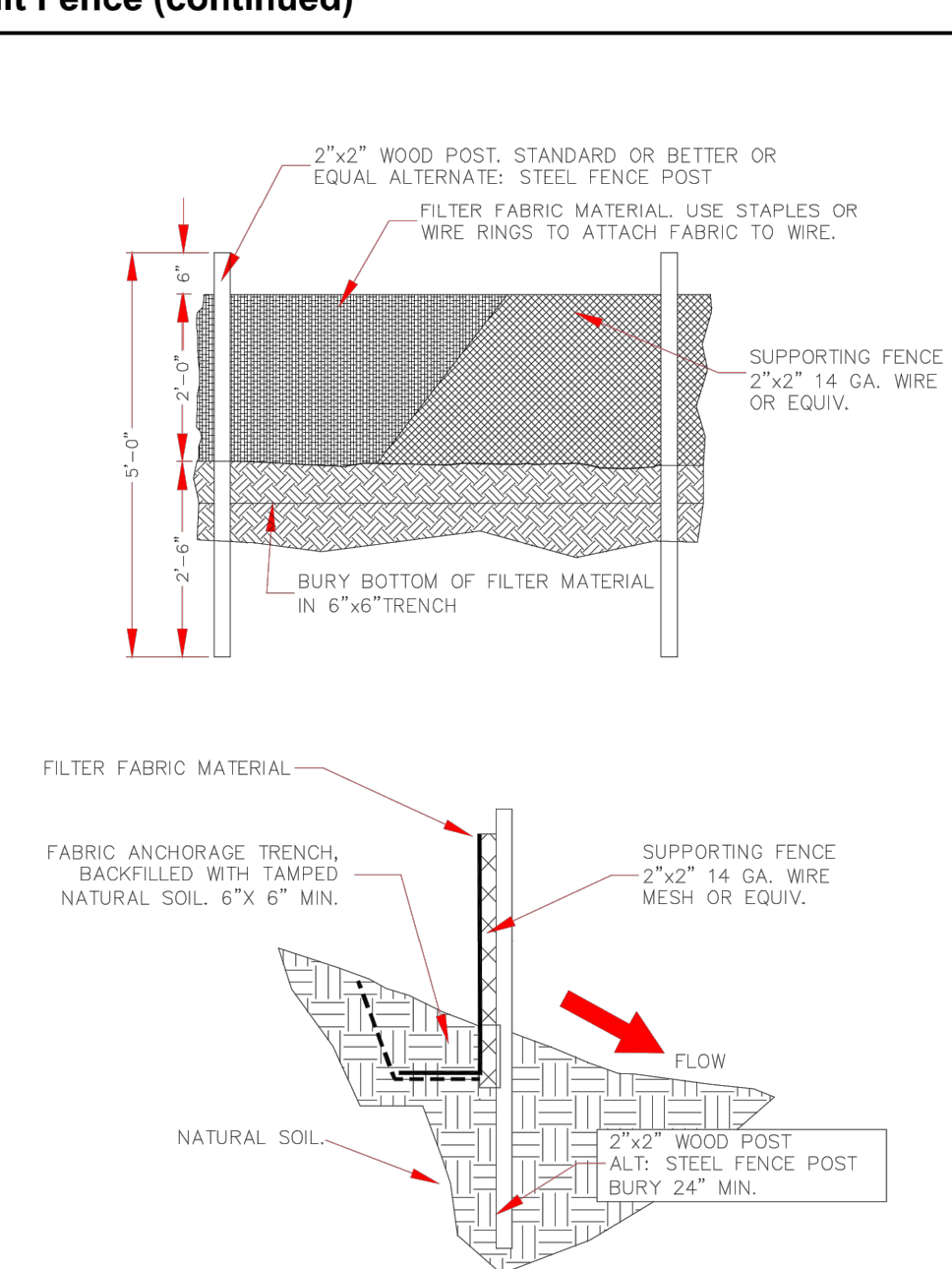
MAINTENANCE REQUIREMENTS

Inspections should be made on a weekly basis, especially after large storm events. If the fabric becomes clogged, it should be cleaned or, if necessary, replaced.

Sediment should be removed when it reaches approximately one-half the height of the fence.

SF

Silt Fence (continued)



DESCRIPTION

2"x2" WOOD POST, STANDARD OR BETTER OR EQUAL ALTERNATE: STEEL FENCE POST

FILTER FABRIC MATERIAL, USE STAPLES OR WIRE RINGS TO ATTACH FABRIC TO WIRE.

SUPPORTING FENCE 2"x2" 14 GA. WIRE OR EQUIV.

BURY BOTTOM OF FILTER MATERIAL IN 6"x6" TRENCH

FILTER FABRIC MATERIAL

FABRIC ANCHORAGE TRENCH, BACKFILLED WITH TAMPED NATURAL SOIL, 6"x6" MIN.

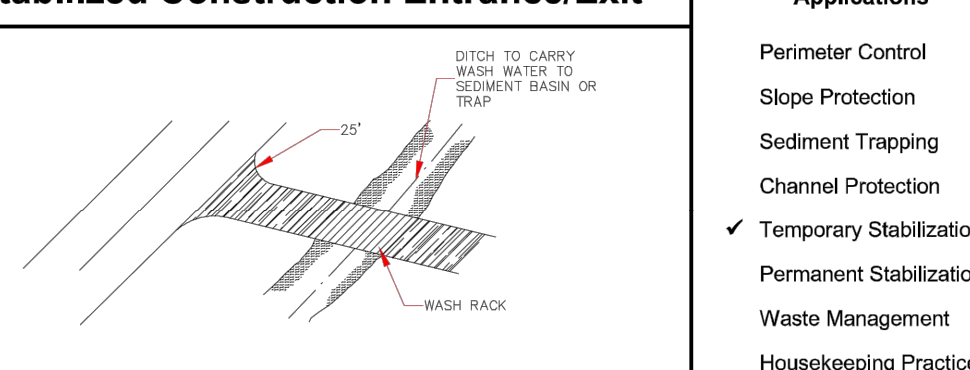
SUPPORTING FENCE 2"x2" 14 GA. WIRE MESH OR EQUIV.

2"x2" WOOD POST ALT.: STEEL FENCE POST BURY 24" MIN.

NATURAL SOIL

FLOW

Stabilized Construction Entrance/Exit



Applications

- Perimeter Control
- Slope Protection
- Sediment Trapping
- Channel Protection
- ✓ Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- Medium
- Low
- Unknown or Questionable

DESCRIPTION

A stabilized construction entrance consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter cloth, which is used to facilitate the washdown and removal of sediment and other debris from construction equipment prior to exiting the site. During the construction phase of a project, regular street sweeping should be performed to remove debris carried from the site.

PRIMARY USE

Stabilized construction entrances are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point.

APPLICATIONS

As a part of the erosion-control plan required for sites larger than five acres, and recommended for all construction sites.

LIMITATIONS

Selection of the construction entrance location is critical. To be effective, it must be used exclusively.

Stabilized entrances are rather expensive, considering that they must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.

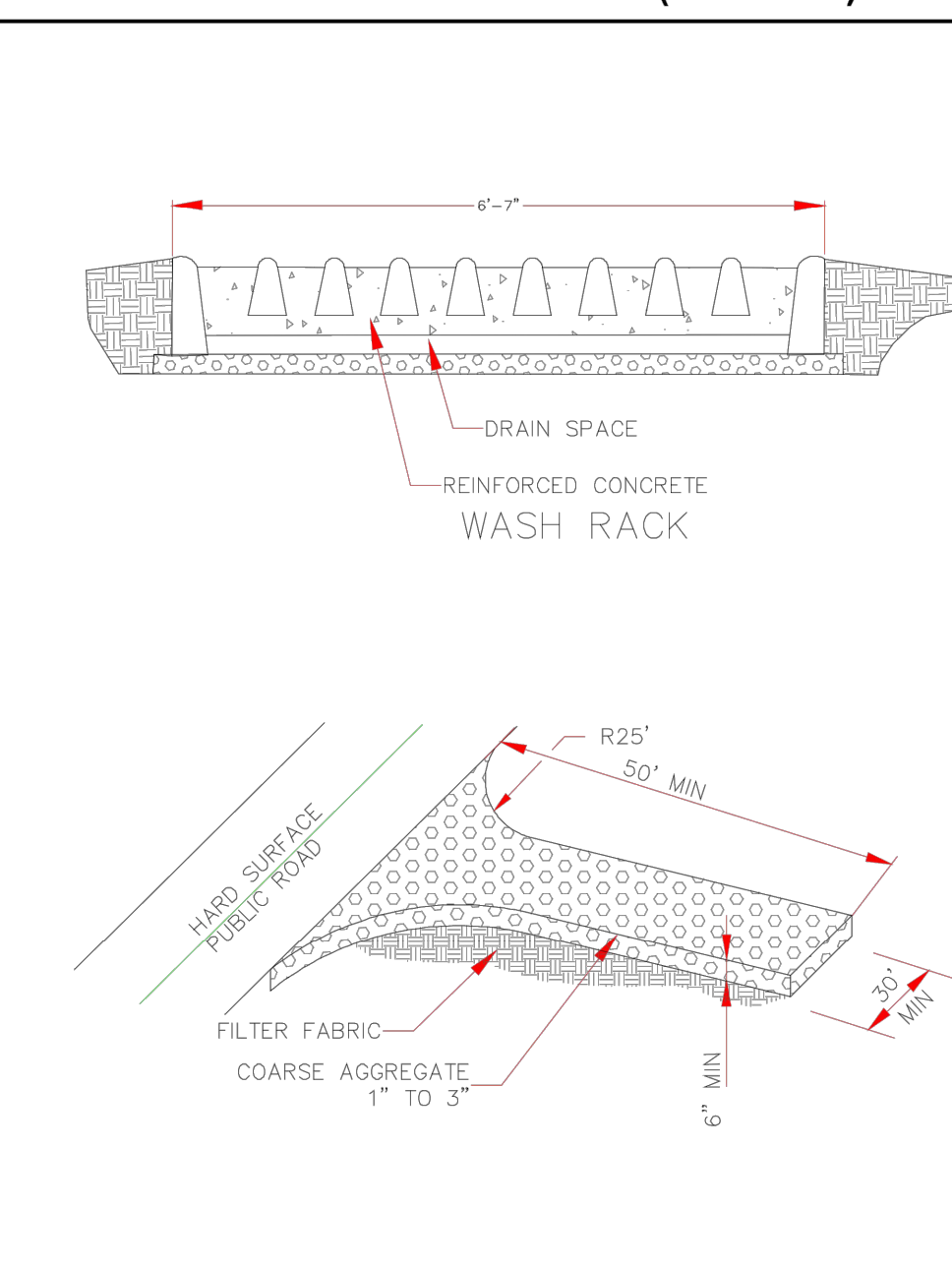
MAINTENANCE REQUIREMENTS

Inspections should be made on a regular basis and after large storm events in order to ascertain whether or not sediment and pollution are being effectively detained on site.

When sediment has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.

Periodic re-grading and top dressing with additional stone must be done to keep the efficiency of the entrance from diminishing.

Stabilized Construction Entrance/Exit (continued)



DESCRIPTION

6'-7"

DRAIN SPACE

REINFORCED CONCRETE

WASH RACK

R25'

50' MIN

6" MIN

30' MIN

FILTER FABRIC

COARSE AGGREGATE 1" TO 3"

HARD SURFACE PUBLIC ROAD

Concrete Waste Management

DESCRIPTION

Concrete waste management prevents or reduces the discharge of pollutants to storm water by conducting washout onsite, performing onsite washout in a designated area, and training employees and subcontractors.

APPLICATIONS

The following low-cost measures will help reduce storm water pollution from concrete wastes:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement onsite.
- Perform washout of concrete trucks offsite or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite except in designated areas.
- For onsite washout:
 - Locate washout area at least 50 feet from storm drains, open ditches, or water bodies. Prevent runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste.
 - Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed of properly.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water to a bermed or level area.
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stock pile, or dispose in the trash.
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS

Offsite washout of concrete wastes may not always be possible.

MAINTENANCE REQUIREMENTS

Inspect subcontractors to ensure that concrete wastes are being properly managed.

If using a temporary pit, dispose of hardened concrete on a regular basis.

Applications

- Perimeter Control
- Slope Protection
- Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- ✓ Waste Management
- ✓ Housekeeping Practices

Targeted Constituents

- Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- Floatable Materials
- ✓ Construction Wastes

Impact

- Significant
- ✓ Medium
- Low
- Unknown or Questionable

NOT FOR CONSTRUCTION

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Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 05/11/2022

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACT'S C46 AND
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS**




PROJECT NO.
096648005

DRAWING NAME
EC PLAN

SHEET
3

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Seeding – Temporary/Vegetation	Applications
<p>DESCRIPTION</p> <p>As a BMP, temporary seeding/vegetation is used to establish a temporary vegetative cover on disturbed areas by seeding with appropriate rapidly growing annual vegetation, annual grasses, small grains, or legumes. This short-term vegetative area will reduce erosion and sedimentation on disturbed areas that will not be permanently stabilized within an acceptable period of time. Temporary seeding will also reduce problems associated with mud and dust from construction activities on bare, unprotected soil surfaces.</p> <p>PRIMARY USE</p> <p>Temporary seeding should be considered for disturbed areas that will not be permanently stabilized or have work performed thereon for a period of 21 days or more. Such areas include denuded areas, soil stockpiles, dikes, berms, temporary embankments, excavation slopes, etc. As a temporary control, vegetation is used to stabilize stockpiles and barren areas that are inactive for long periods of time. As a permanent control, grasses and other vegetation provide good protection for the soil, along with some filtering for overland runoff. Subjected to acceptable runoff velocities, vegetation can provide a good method of permanent storm water management, as well as a visual amenity to the site.</p> <p>Other BMPs may be required to assist in the establishment of vegetation. These other techniques include erosion control matting, swales and dikes to direct flow around newly seeded areas, and proper grading to limit runoff velocities during construction.</p> <p>APPLICATIONS</p> <p>Planting should take place when conditions are most favorable for growth (as long as the planting does not interfere with the schedule of other activities and/or regulatory requirements). Before seeding, other erosion control practices such as dikes, basins, and surface runoff-control measures (e.g., interceptor dikes and swales, etc.) should be installed. Temporary bale barriers and silt fences may have to be placed/replaced after seeding operations, since they may get in the way of the machinery. However, use common sense to coordinate operations to maximize the effectiveness of the erosion control measures. Temporary seeding may not be an effective practice in arid and semi-arid regions where the climate prevents fast plant establishment. In those areas, or when seasonal planting restrictions prohibit, temporary mulching may be better for the short term.</p> <p>For further information, refer to Section 632 of <i>Standard Specifications for Highway and Bridge Construction</i> (New Mexico State Highway and Transportation Department [NMSHTD] 2000).</p>	<p>Perimeter Control</p> <p>✓ Slope Protection</p> <p>✓ Sediment Trapping</p> <p>✓ Channel Protection</p> <p>✓ Temporary Stabilization</p> <p>✓ Permanent Stabilization</p> <p>Waste Management</p> <p>Housekeeping Practices</p>
	<p>Targeted Constituents</p> <p>✓ Sediment</p> <p>Nutrients</p> <p>Toxic Materials</p> <p>Oil and Grease</p> <p>Floatable Materials</p> <p>Construction Wastes</p>
	<p>Impact</p> <p>✓ Significant</p> <p>Medium</p> <p>Low</p> <p>Unknown or Questionable</p>
	


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A2-3

Seeding – Temporary/Vegetation (continued)
<p>All seeded areas should be covered with mulch to provide protection from the weather. Frequent inspections are necessary to check that conditions for growth are good. If the plants do not grow quickly or thick enough to prevent erosion, the area should be reseeded as soon as possible.</p> <p>Temporary seed selection should take into account the season and location. Specific seed mixes can usually be found in the construction plans. The plans and specifications should reflect temporary seeding locations, quantities, and pay items. For suggested seed types, see Appendix D, <i>Guidance on Seed Selection and Seeding of Temporary Vegetation on Disturbed Areas</i>.</p> <p>Native grasses should not be used for temporary seeding. Irrigation or a temporary watering facility should be provided. Seed should be selected in accordance with local Natural Resources Conservation Service (NRCS) rules.</p> <p>Vegetative techniques can and should apply to every construction project, with few exceptions. Vegetation effectively reduces erosion in swales, stockpiles, berms, mild to medium slopes, and along roadways. Vegetative strips can provide some protection when used as a perimeter control for utility and site development construction.</p> <p>Surface Preparation</p> <ul style="list-style-type: none"> Interim or final grading must be completed prior to seeding, minimizing all steep slopes. Install all necessary erosion structures such as dikes, swales, diversions, etc., prior to seeding. Groove or furrow slopes steeper than 3:1 on the contour line before seeding. Provide 4-6 inches of topsoil over rock, gravel, or otherwise unsuitable soils. Seedbed should be well pulverized, loose, and uniform. <p>Plant Selection, Fertilization and Seeding</p> <ul style="list-style-type: none"> Use only high quality, U.S. Department of Agriculture (USDA)-certified seed. Use an appropriate species or species mixture adapted to local climate, soil conditions, and season. Consult with the local NRCS office or local County Extension Service as necessary for selection of proper species and application techniques in the area. Seeding rate should be in accordance with recommendations by the NRCS or Engineering Extension Service. Fertilizer shall be applied according to the manufacturer's recommendation with proper spreader equipment. Typical application rate for 10-10-10 grade fertilizer is 700-1000 lb/acre. DO NOT OVER APPLY FERTILIZER. If hydro-seeding is used, do not mix seed and fertilizer more than 30 minutes before application. Evenly apply seed using cyclone seeder, seed drill, cultipacker, or hydroseeder. Provide adequate water to aid in establishment of vegetation. Use appropriate mulching techniques where necessary.

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A2-4

Mulching	Applications
<p>DESCRIPTION</p> <p>Mulching is used to provide a stabilized surface for seeding or to prevent erosion using chemical soil stabilizers and a variety of organic or inorganic materials, netting, or mats.</p> <p>PRIMARY USE</p> <p>Mulching is used to prevent erosion by creating a permanent material to slow surface velocity, trap sediment, and protect surface areas around structures.</p> <p>APPLICATIONS</p> <p>Mulching is used in areas where permanent velocity control and sediment trapping will be required. Follow Section 632, pp. 684-685 of <i>Standard Specifications for Highway and Bridge Construction</i> (NMSHTD 2000).</p> <p>NOTES</p> <ul style="list-style-type: none"> Hay should consist of native grasses free of noxious weed seeds (certified weed-free hay or straw may be required in designated areas of the state). Straw should consist of clean cereal shafts. Hay and straw mulch should be spread at a rate of 1.5 to 2 tons per acre. At a minimum, 65% of the mulch, by weight, should be 10 inches or more in length. Applied mulch depth should not be less than 1 inch and not more than 2 inches. The mulch should be uniformly applied so that no more than 10% of the soil surface is exposed. Hay and straw mulch should be anchored to the soil surface using tackifiers, blankets, or nets, or with a mulch-cripping machine. Mechanical anchoring, or crimping, is preferred and recommended for slopes flatter than 2:1. Blankets or nets on slopes steeper than 2:1 should be anchored to the soil. Tackifiers (for anchoring) should consist of a free-flowing non-corrosive powder. This material shall not contain any mineral filler, recycled cellulose fiber, clays, or other substances that may inhibit germination or growth of plants. Tackifiers (for anchoring) shall be applied in a slurry with water and wood fiber (100 lbs of powder and 150 lbs of fiber per 700 gallons of water). Application rate of powder should be between 80 and 200 lbs per acre. 	<p>Perimeter Control</p> <p>✓ Slope Protection</p> <p>✓ Sediment Trapping</p> <p>Channel Protection</p> <p>✓ Temporary Stabilization</p> <p>Permanent Stabilization</p> <p>Waste Management</p> <p>Housekeeping Practices</p>
	<p>Targeted Constituents</p> <p>✓ Sediment</p> <p>✓ Nutrients</p> <p>Toxic Materials</p> <p>Oil and Grease</p> <p>Floatable Materials</p> <p>Construction Wastes</p>
	<p>Impact</p> <p>✓ Significant</p> <p>✓ Medium</p> <p>Low</p> <p>Unknown or Questionable</p>
	

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A2-5

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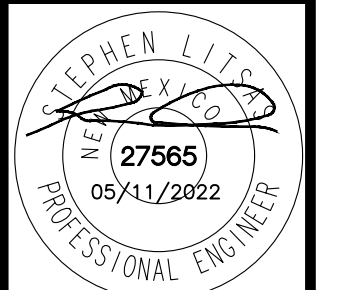
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DATE: 05/11/2022

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MEXICO. TRACTS C46 AND
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**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS**



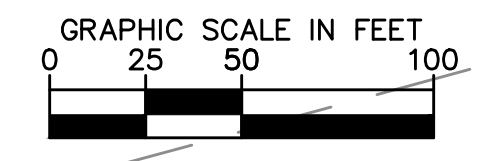
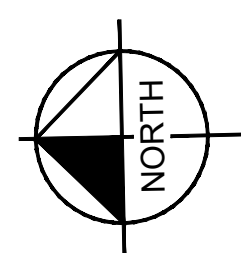
PROJECT NO.
096648005

DRAWING NAME
EC PLAN

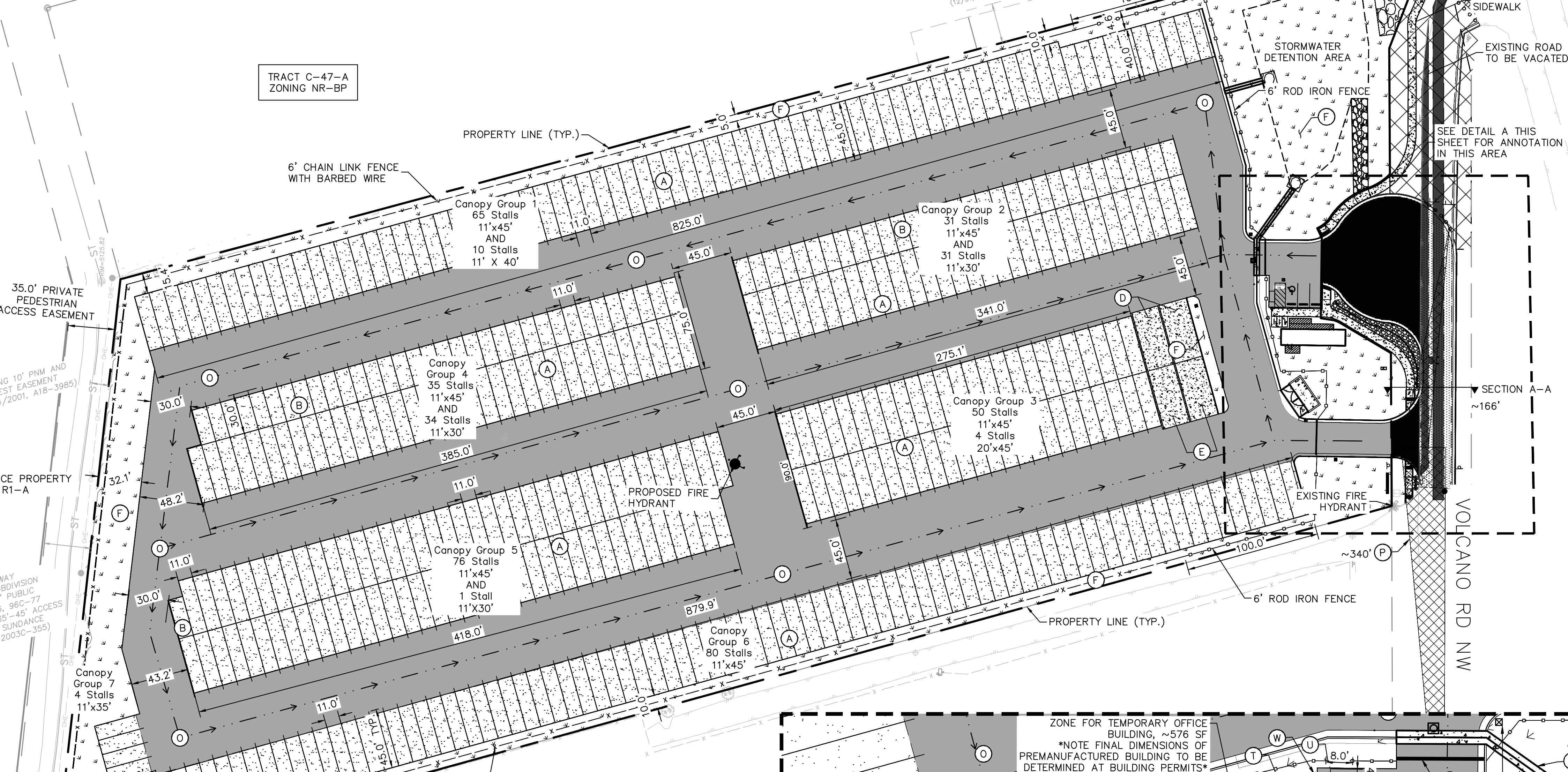
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TRACT C-47-A
ZONING NR-BP

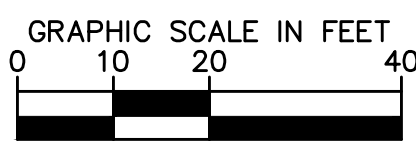
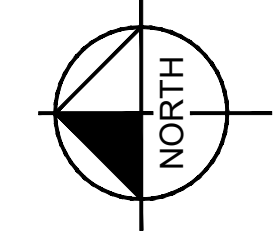


SUNDANCE PROPERTY ZONING R1-A

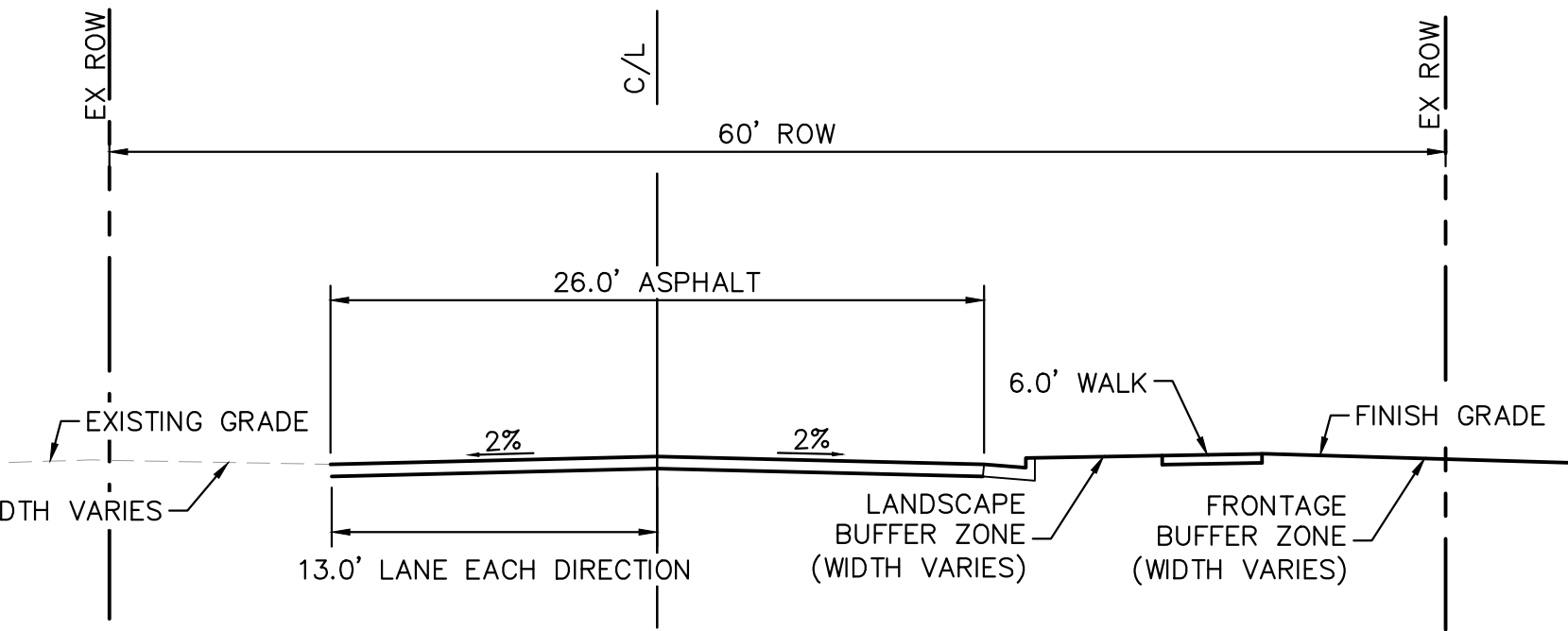
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6' SCREEN CHAIN LINK FENCE AND LANDSCAPE BUFFER PER. IDO 14-16-5-6

TRACT C50
NM STATE HWY DEPT PATROL YARD
UNRECORDED ZONING NR-BP



CROSS SECTION A-A
N.T.S.



LEGEND

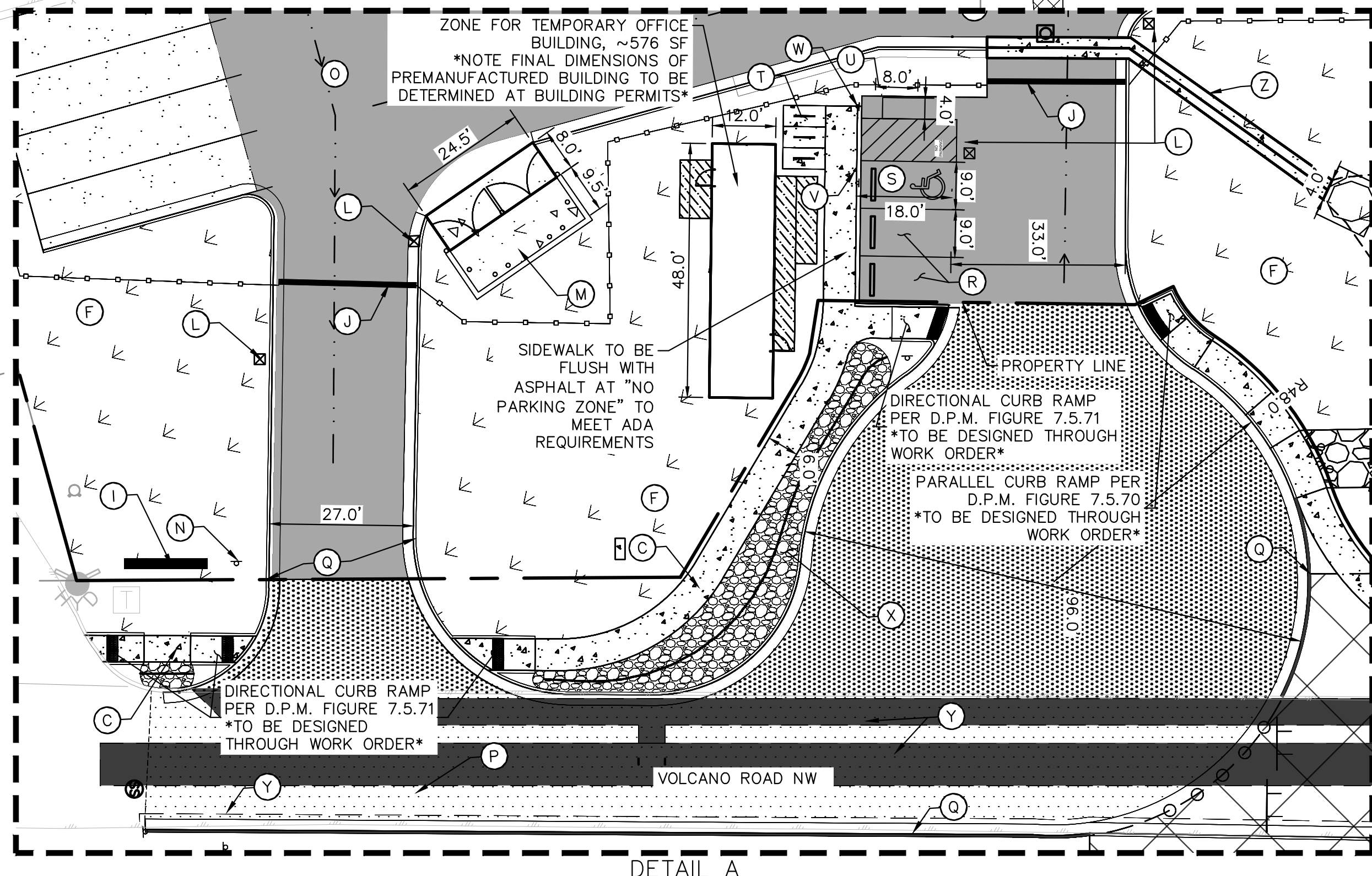
- PROPOSED SITE PROPERTY LINE
- - - SECTION LINE
- - - EASEMENT LINE
- □ 6' ROD IRON FENCE
- x - 6' CHAINLINK FENCE WITH BARBED WIRE
- x - x 6' CHAINLINK FENCE WITH SCREENING
- PROPOSED PRIVATE FIRE HYDRANT
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- - - SAWCUT LINE
- == CURB AND GUTTER
- ▨ PROPOSED LANDSCAPE
- ▨ RECYCLED ASPHALT BAYS
- ▨ PUBLIC ASPHALT PAVING
- ▨ PRIVATE ASPHALT PAVING
- △ SIGHT TRIANGLES
- PROPOSED GATE
- PROPOSED MONUMENT SIGN
- FIRE ROUTE

SITE KEYNOTES

- (A) RV CANOPY PARKING STALL (11' X 45') (TYP)
- (B) RV CANOPY PARKING STALL (11' X 30') (TYP)
- (C) PROPOSED 6.0' SIDEWALK
- (D) PROPOSED DUMP STATION (20' X 45') (TYP)
- (E) PROPOSED WASH STATION (20' X 45') (TYP)
- (F) LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
- (H) PROPOSED SANITARY SEWER MANHOLE
- (I) PROPOSED MONUMENT SIGN
- (J) 26' ELECTRIC SLIDING GATE
- (K) KNOX BOX
- (L) GATE CONTROL BOX
- (M) PROPOSED TRASH ENCLOSURE
- (N) PROPOSED STOP SIGN (36" X 36")
- (O) FIRE CIRCULATION
- (P) SIGHT TRIANGLE
- (Q) PROPOSED CURB & GUTTER PER PAG STD. DTL. 209
- (R) PROPOSED STANDARD 9' X 18' PARKING STALL (2)
- (S) PROPOSED ADA STALL (1)
- (T) PROPOSED BICYCLE PARKING (3)
- (U) PROPOSED MOTORCYCLE PARKING (1)
- (V) PROPOSED ACCESSIBLE PARKING SIGN
- (W) PROPOSED MOTORCYCLE PARKING SIGN
- (X) LANDSCAPE SWALE
- (Y) SAWCUT/TRENCHING
- (Z) CONCRETE VALLEY GUTTER

NOTES

1. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2. ACTUAL PUBLIC ROADWAY IMPROVEMENTS FOR VOLCANO ROAD SHALL BE REVIEWED AND APPROVED THROUGH THE CITY WORK ORDER PROCESS. PLATTING ACTION SHALL BE ALSO REQUIRED TO INCLUDE ALL PUBLIC ROADWAY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING THE 6-FOOT PUBLIC SIDEWALK.



DETAIL A

Kimley»Horn

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Denver, Colorado 80237 (303) 228-2300

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RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
SITE PLAN

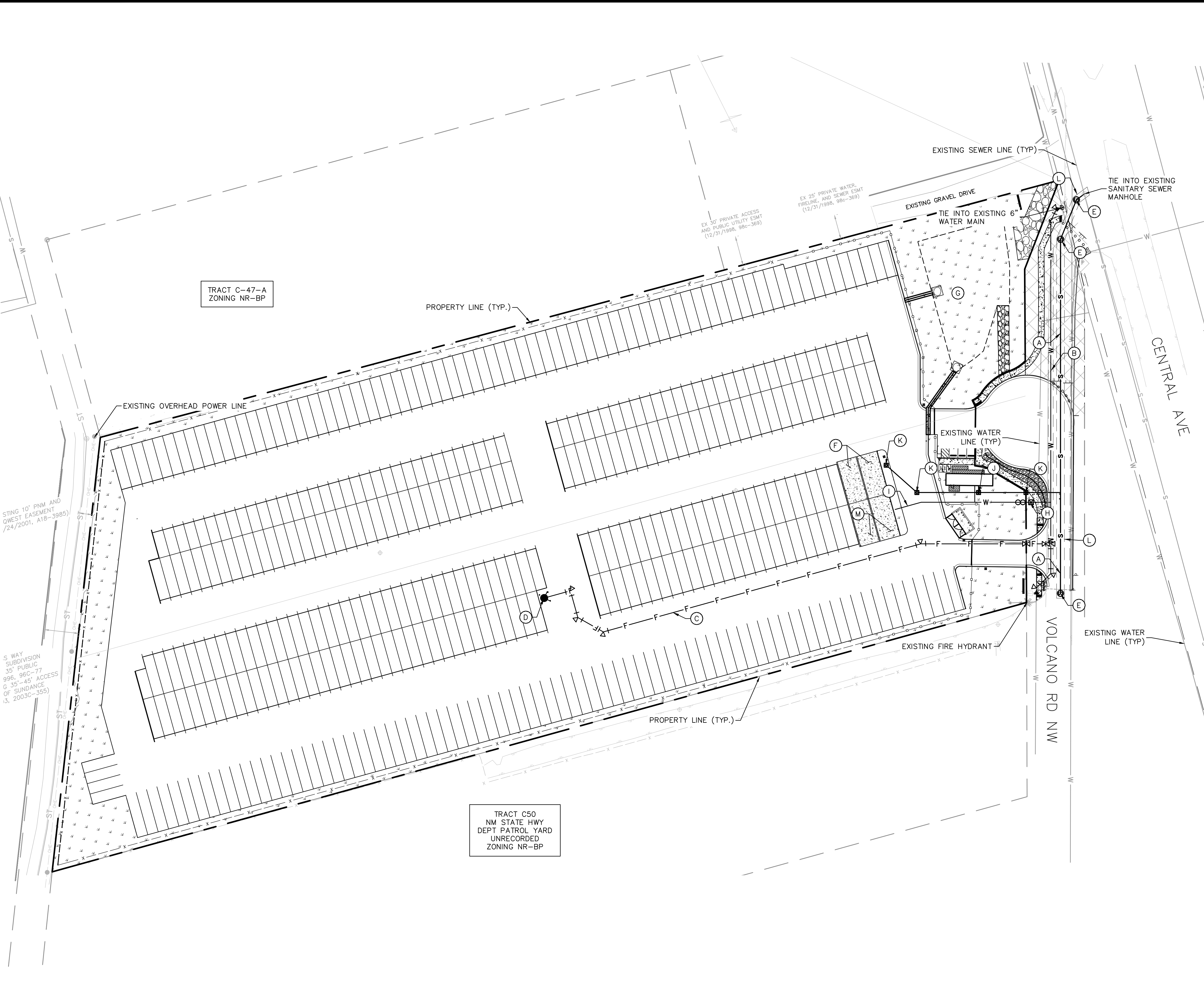


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SHEET
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LEGEND

- SITE PROPERTY LINE
- W --- PROPOSED WATER LINE
- S --- PROPOSED SSWR LINE
- ⊕ --- PROPOSED SANITARY SEWER MANHOLE

SITE KEYNOTES

- (A) PROPOSED PUBLIC 8" PVC SANITARY SEWER SERVICE TO PER DEVELOPMENT PROCESS MANUAL OR AS APPROVED BY ABCWA
- (B) PROPOSED 8" PVC WATER MAIN
- (C) PROPOSED 8" FIRE MAIN
- (D) PROPOSED FIRE HYDRANT
- (E) PROPOSED SANITARY SEWER MANHOLE
- (F) PROPOSED RV DUMP STATION
- (G) PRIVATE DETENTION POND
- (H) PROPOSED 1-1/2" WATER METER
- (I) PROPOSED 1-1/2" WATER LINE
- (J) PROPOSED SANITARY WYE CLEANOUT
- (K) PROPOSED SANITARY SEWER CLEANOUT
- (L) UTILITY TRENCHING EXTENT
- (M) PROPOSED WASH STATION

GENERAL NOTES

1. THESE PLANS ARE NOT FOR CONSTRUCTION. REFER TO THE FINAL APPROVED CONSTRUCTION PLANS.

TRACT C-47-A
ZONING NR-BP

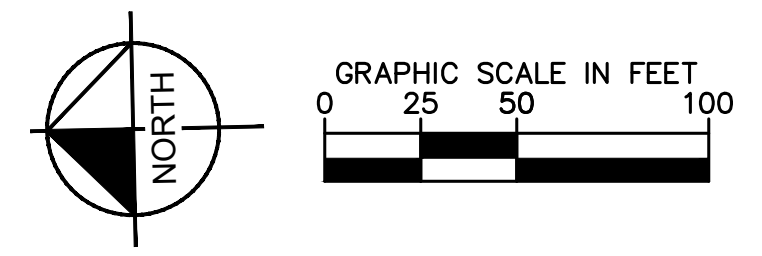
TRACT C50
NM STATE HWY
DEPT PATROL YARD
UNRECORDED
ZONING NR-BP

STING 10' PNM AND
QWEST EASEMENT
(24/2001, A1B-3985)

S. WAY
SUBDIVISION
35' PUBLIC
996, 96C-77
G 35'-45' ACCESS
OF SUNDANCE
(3, 2003C-355)

EX 30' PRIVATE ACCESS
AND PUBLIC UTILITY ESMIT
(12/31/1996, 98C-369)

EX 25' PRIVATE WATER,
FIRELINE, AND SEWER ESMIT
(12/31/1996, 98C-369)



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 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 UTILITY PLAN



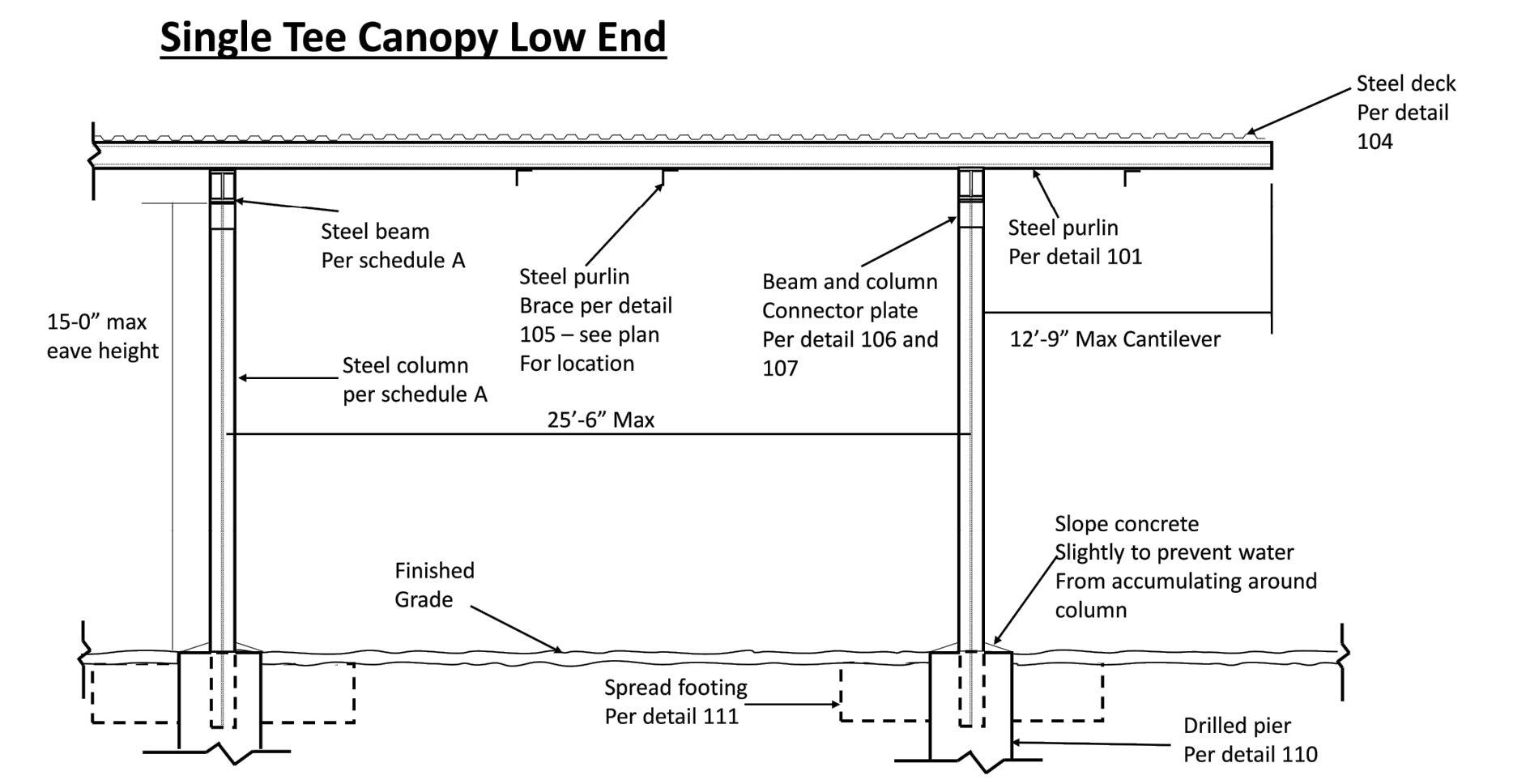
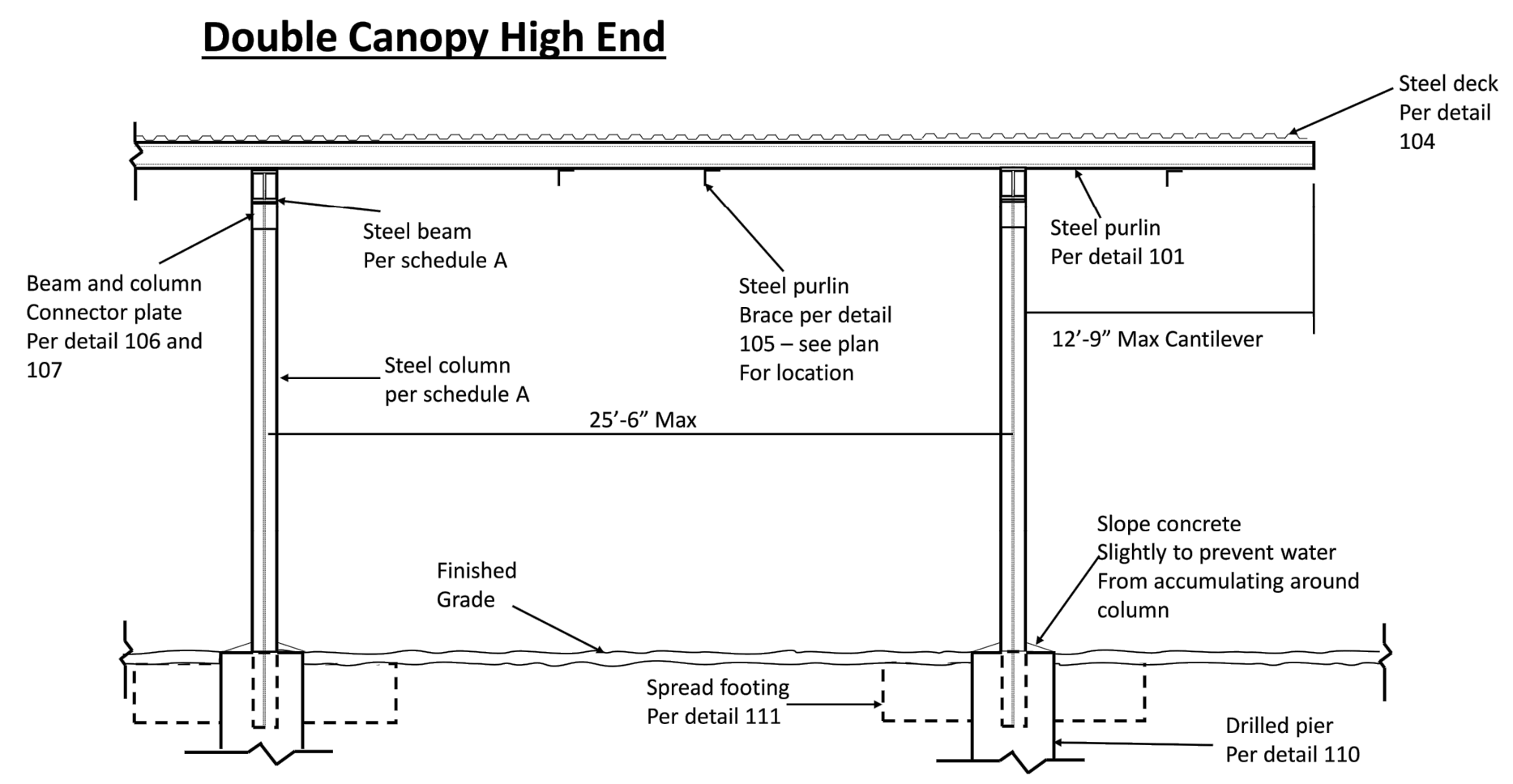
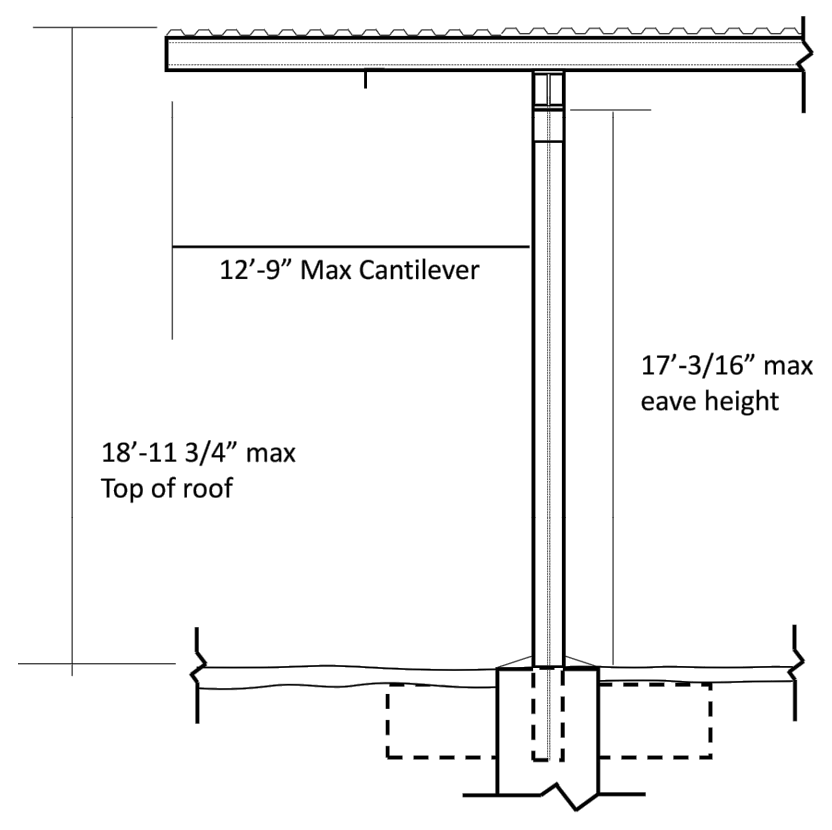
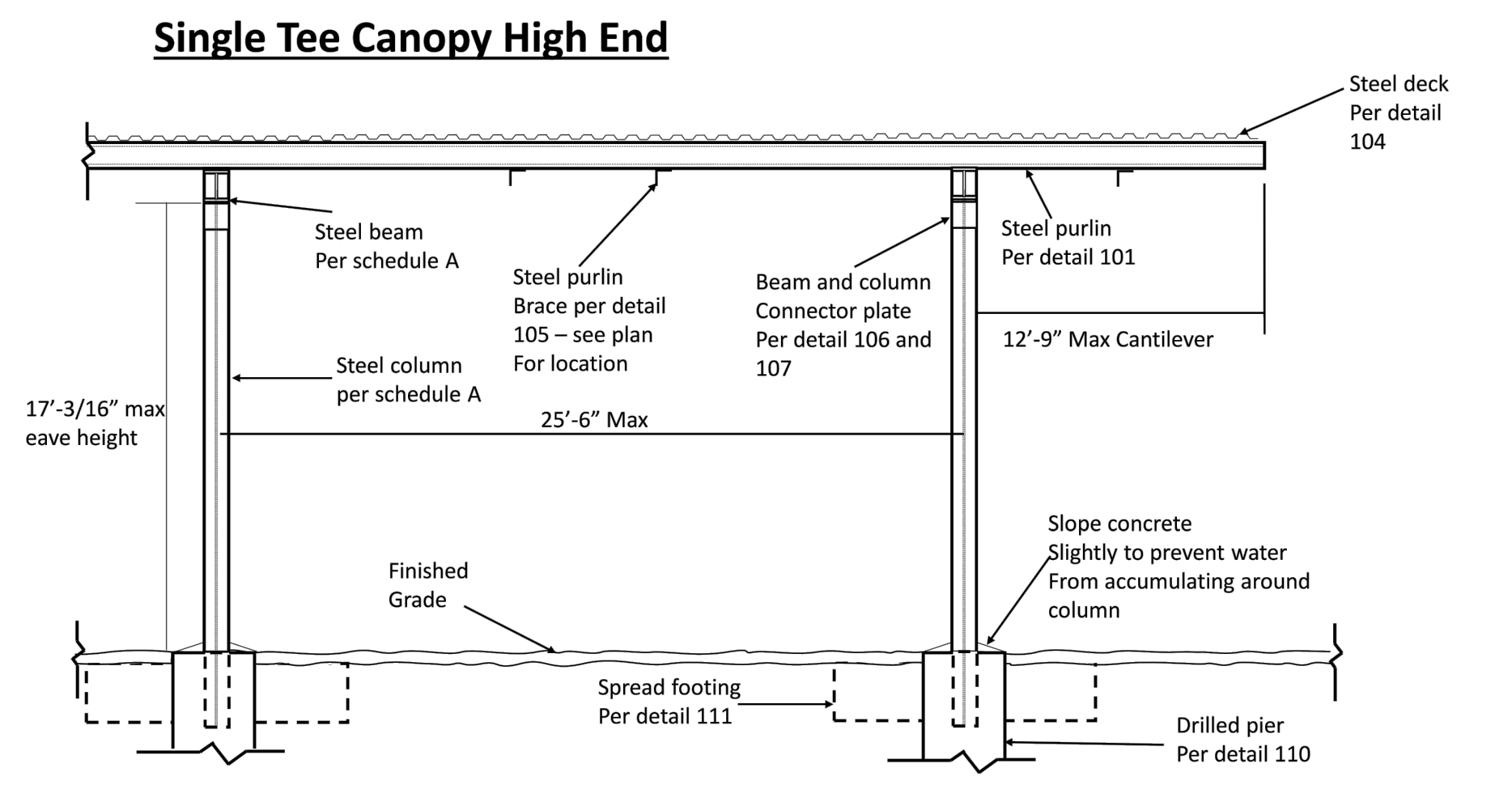
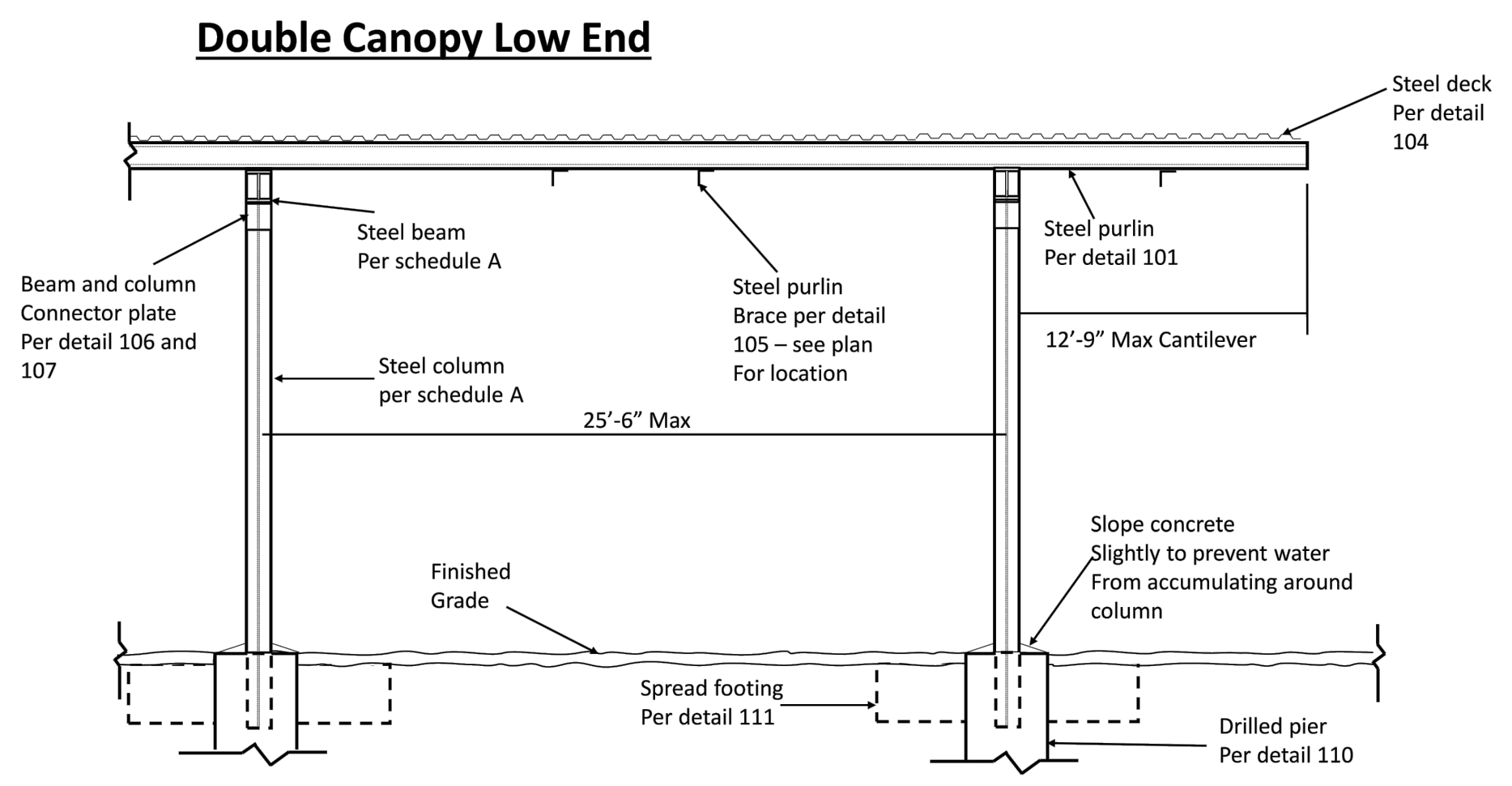
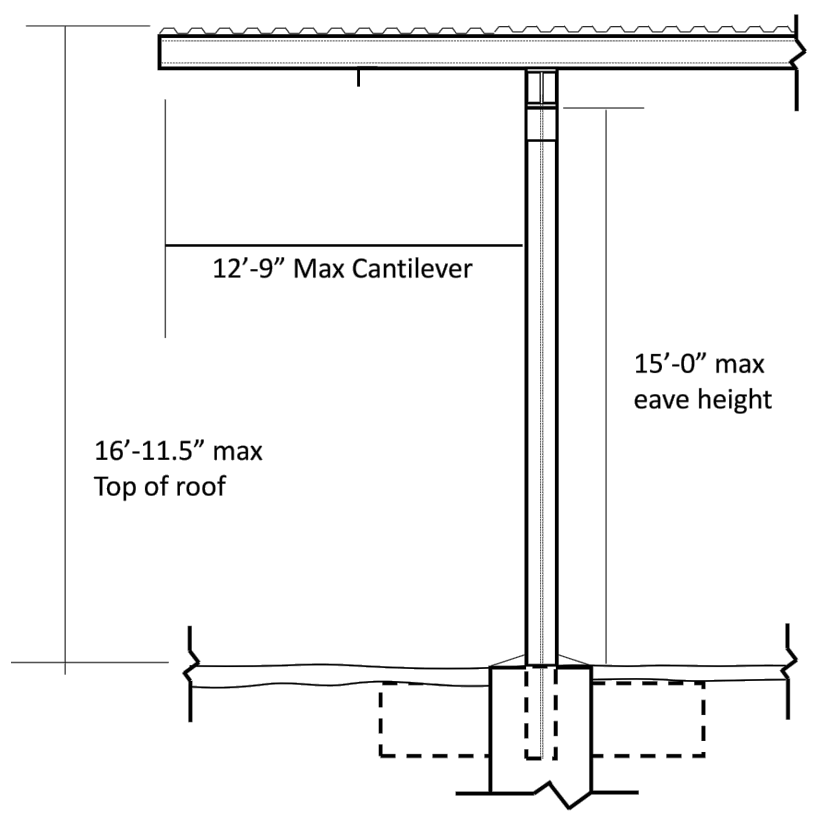
PROJECT NO.
096648005

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 4652 South Uister Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 05/11/2022

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO, TRACTS C48 AND
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 CANOPY ELEVATIONS**

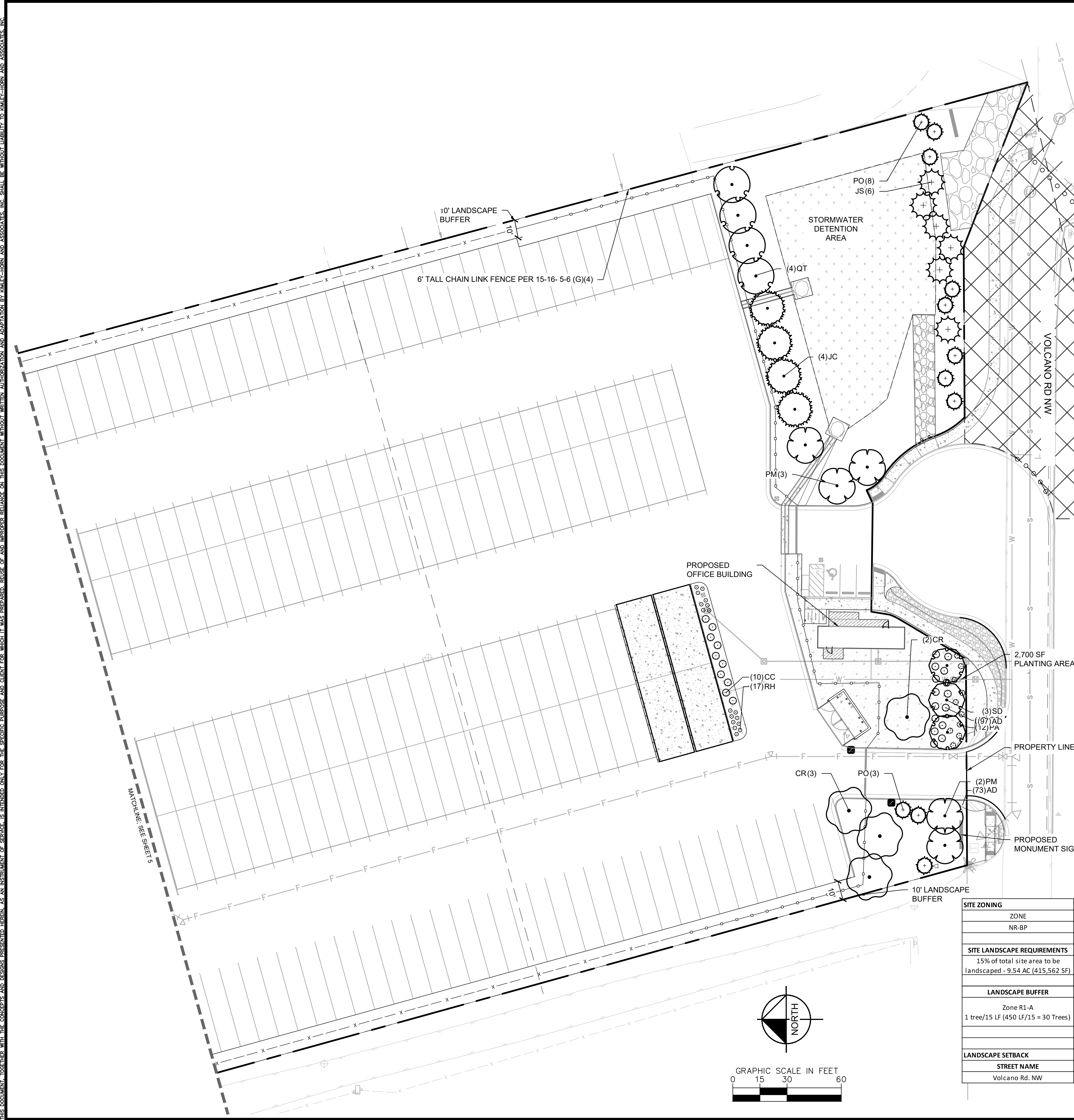


PROJECT NO.
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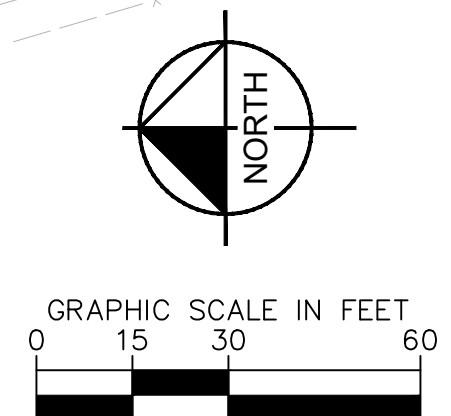
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CR	9	CELTIS RETICULATA	NETLEAF HACKBERRY	B & B	2" CAL MIN	12' HT MIN
	JC	16	JUNIPERUS CHINENSIS	JUNIPER	B & B		6' HT MIN
	JS	6	JUNIPERUS MONOSPERMA	ONE SEED JUNIPER	B & B		6' HT MIN
	PO	11	PINUS NIGRA 'OREGON GREEN'	OREGON GREEN AUSTRIAN PINE	B & B		6' HT MIN
	PM	5	PROSOPIS GLANDULOSA 'MAVERICK'™	HONEY MESQUITE	B & B	2" CAL MIN	12' HT MIN
	QT	11	QUERCUS TURBINELLA	SONDRAN SCRUB OAK	B & B	2" CAL MIN	12' HT MIN
	SD	8	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	12' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CC	27	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN
	PA	12	PENSTEMON AMBIGUUS	GILIA BEARDTONGUE	5 GAL	SEE PLAN	12" HT MIN
	RH	17	RUDBECKIA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	6,095 SF	1-1/2" - 2" RIVER ROCK MULCH				
	AD	170	ANACYCLUS DEPRESSUS	ALTAS DAISY	4" P.P.	4" POTS	12" OC
	DD	9,174 SF	DETENTION SEED	DETENTION BASIN SEED MIX	SEED		
	NS	52,254 SF	NATIVE SEED MIX		SEED		

LANDSCAPE NOTES:

- TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
- NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
- THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
- VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
- TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

SITE ZONING							
ZONE	NR-BP						
SITE LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED					
15% of total site area to be landscaped - 9.54 AC (415,562 SF)	61,728 SF	63,227 SF					
LANDSCAPE BUFFER	REQUIRED	PROVIDED					
Zone R1-A 1 tree/15 LF (450 LF/15 = 30 Trees)	30 Trees	30 Trees					
LANDSCAPE SETBACK							
STREET NAME	STREET NAME CLASSIFICATION	WIDTH (FT) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROV.	NO. OF SPECIES REQ./PROV.	
Volcano Rd. NW	Local	5/5	425	1/25 LF	17/17	5/5	



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RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 LANDSCAPE PLAN



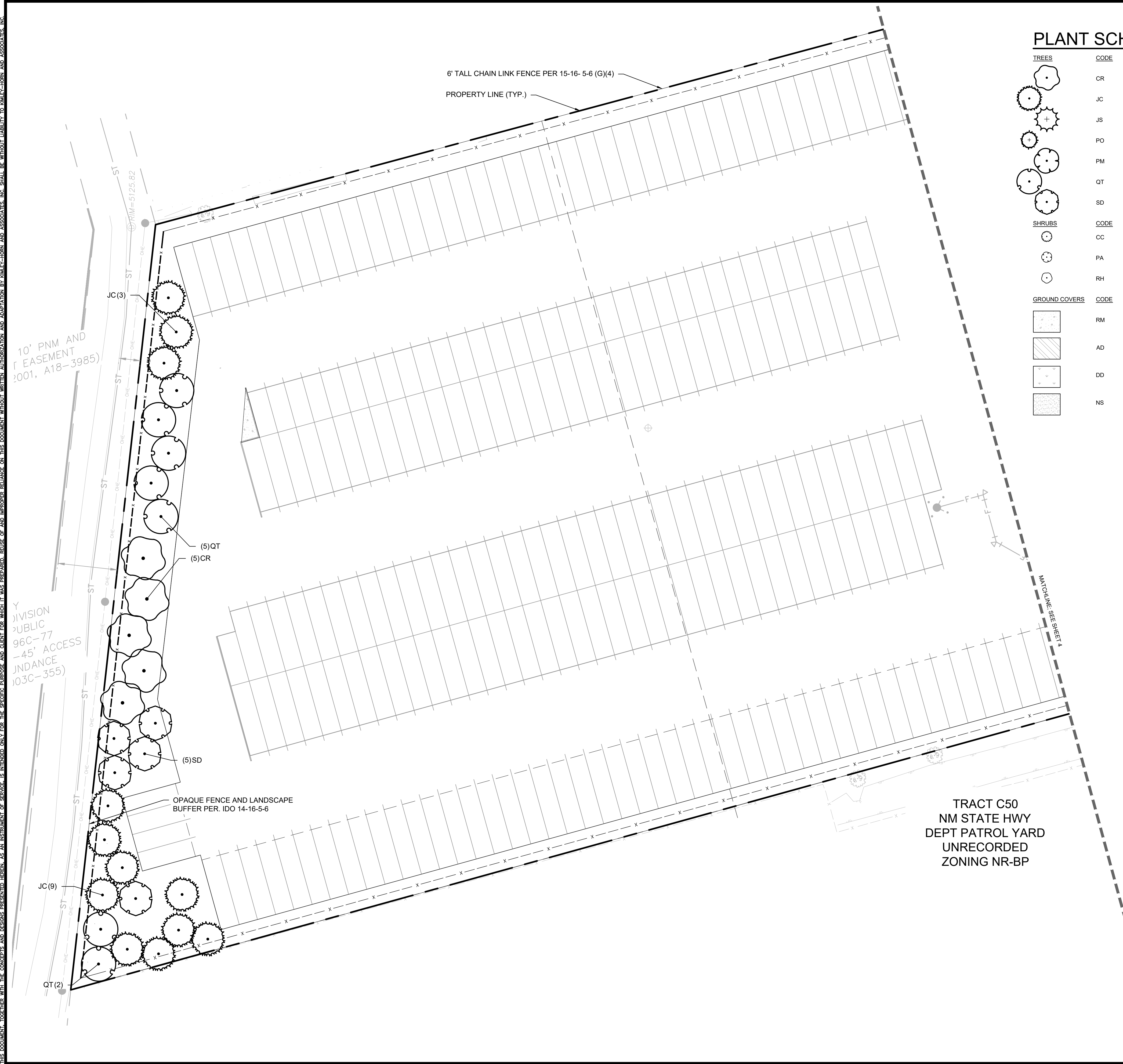
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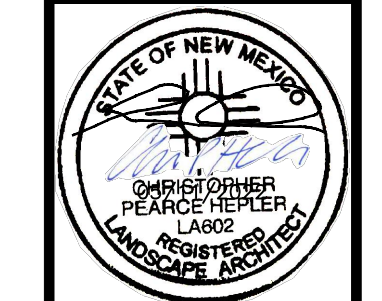
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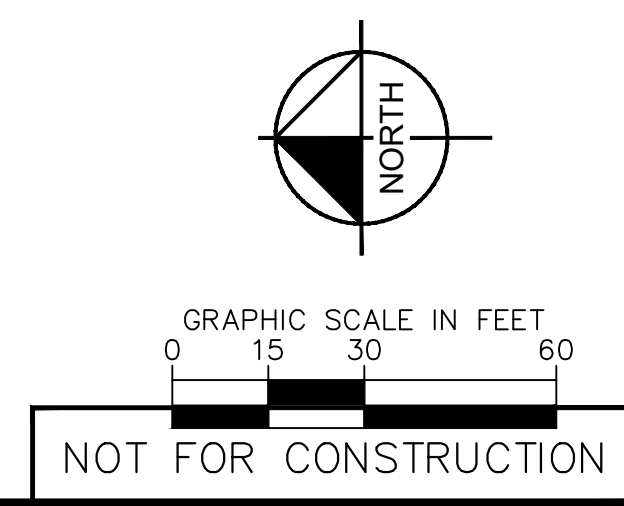
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GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC., THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIPLINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS
 - a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - i. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
 2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER
1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC., IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
 - * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
 - * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S GROWN (BASE) OR AS SHOWN IN PLANTING DETAILS UNLESS OTHERWISE NOTED ON PLANS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (IF MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
3. B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

M. PLANTING PROCEDURES

1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO, ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 'E'. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING
 - a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNERS REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
6. LAWN MAINTENANCE
 - a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADEING IF NECESSARY.
 - b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"x6" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNERS REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

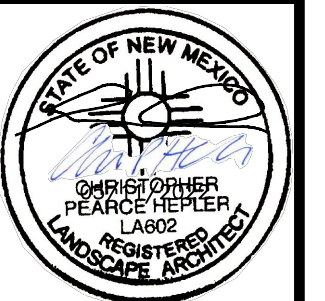
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Kimley»Horn
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 4652 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEG
 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 05/11/2022

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH, RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO, TRACTS C-48 AND
 C-49, UNIT 4.

RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 LANDSCAPE NOTES



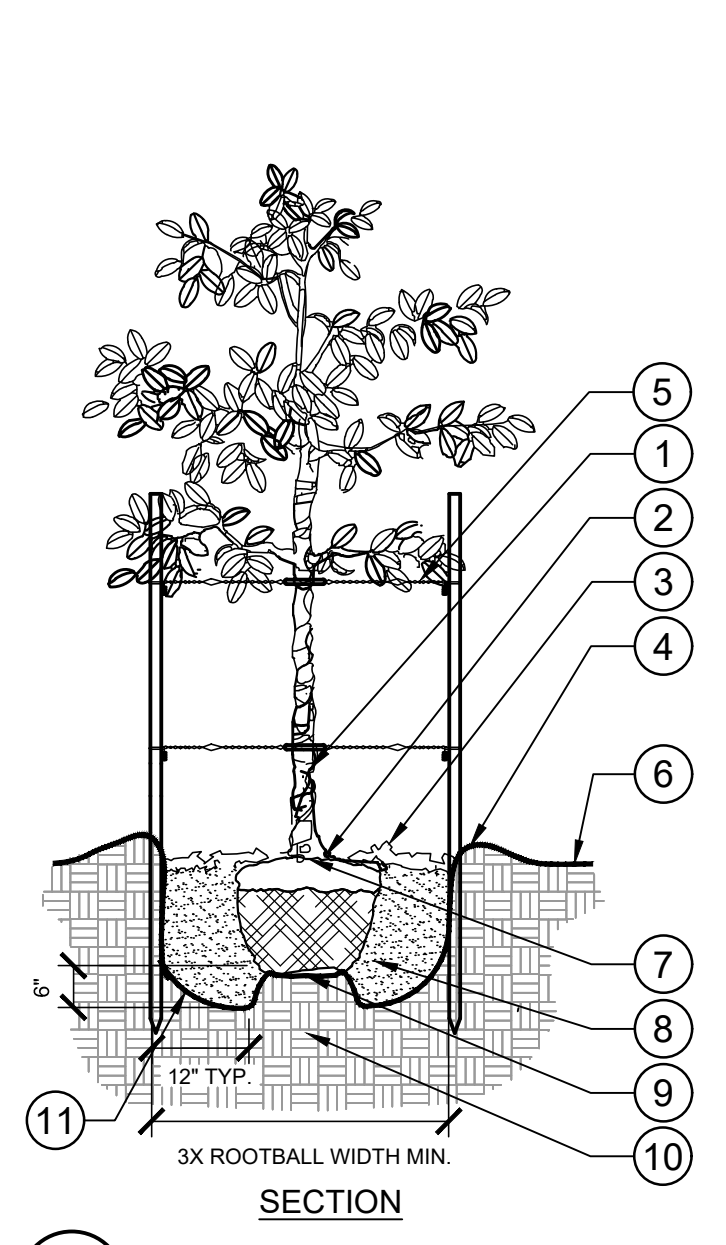
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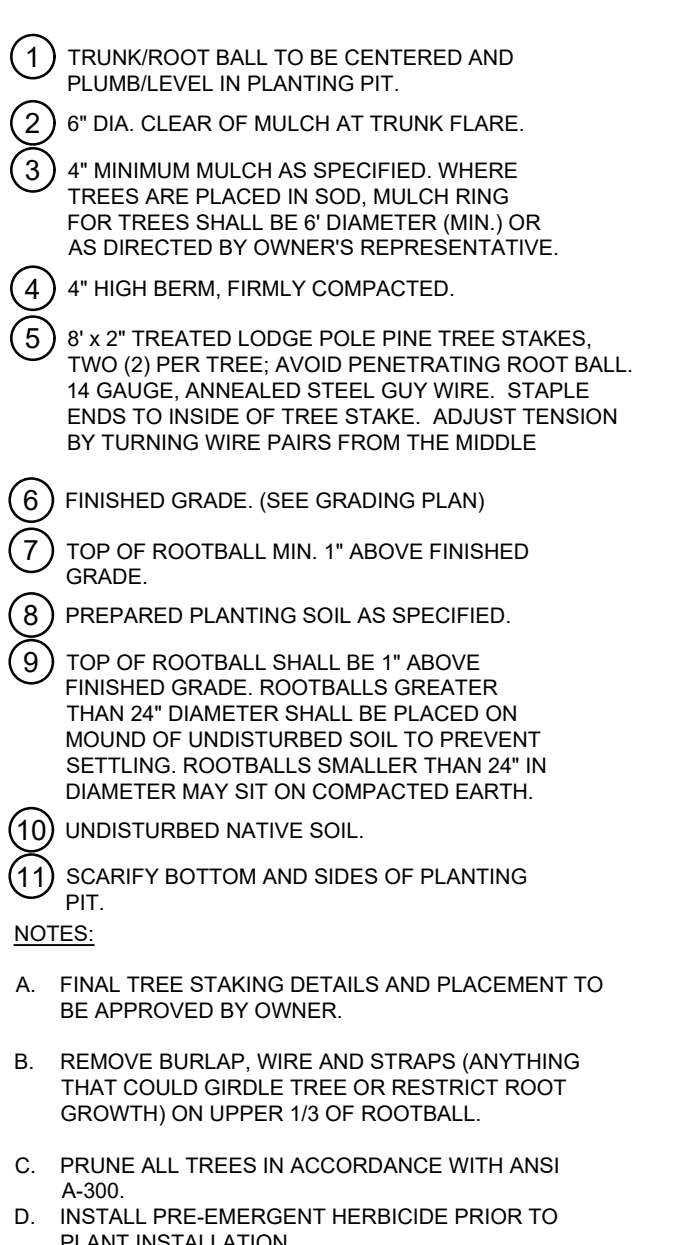
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 14

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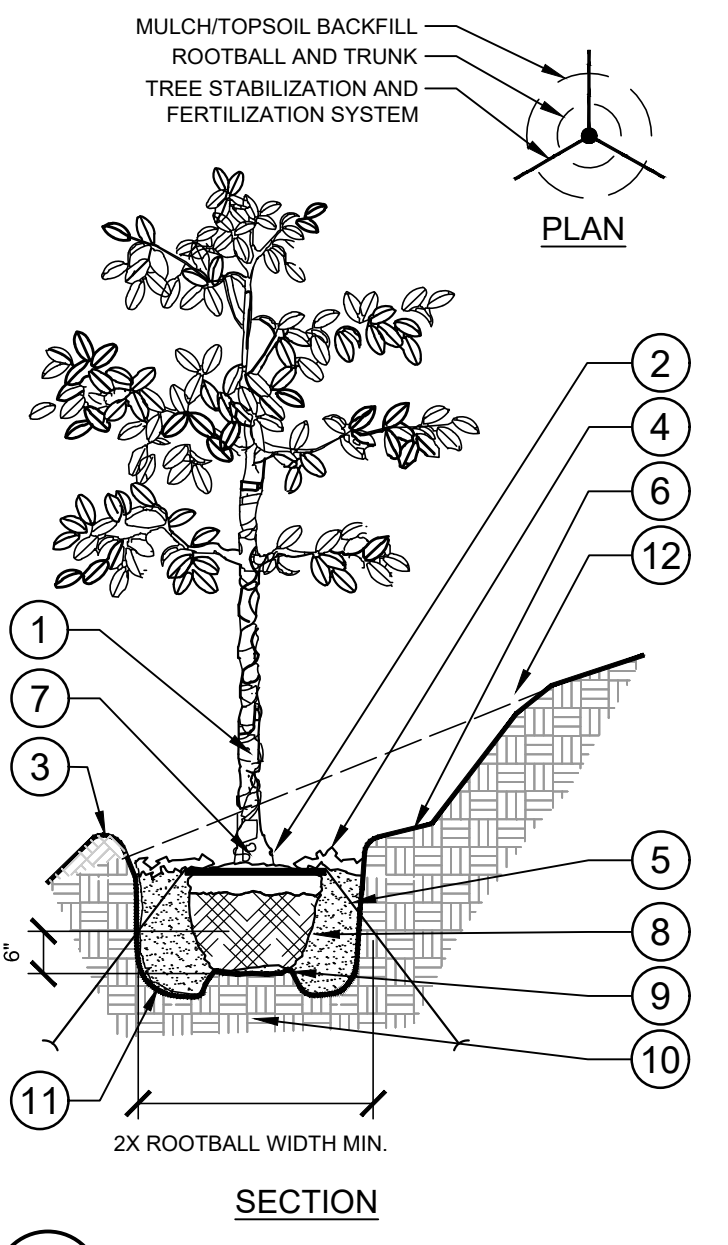
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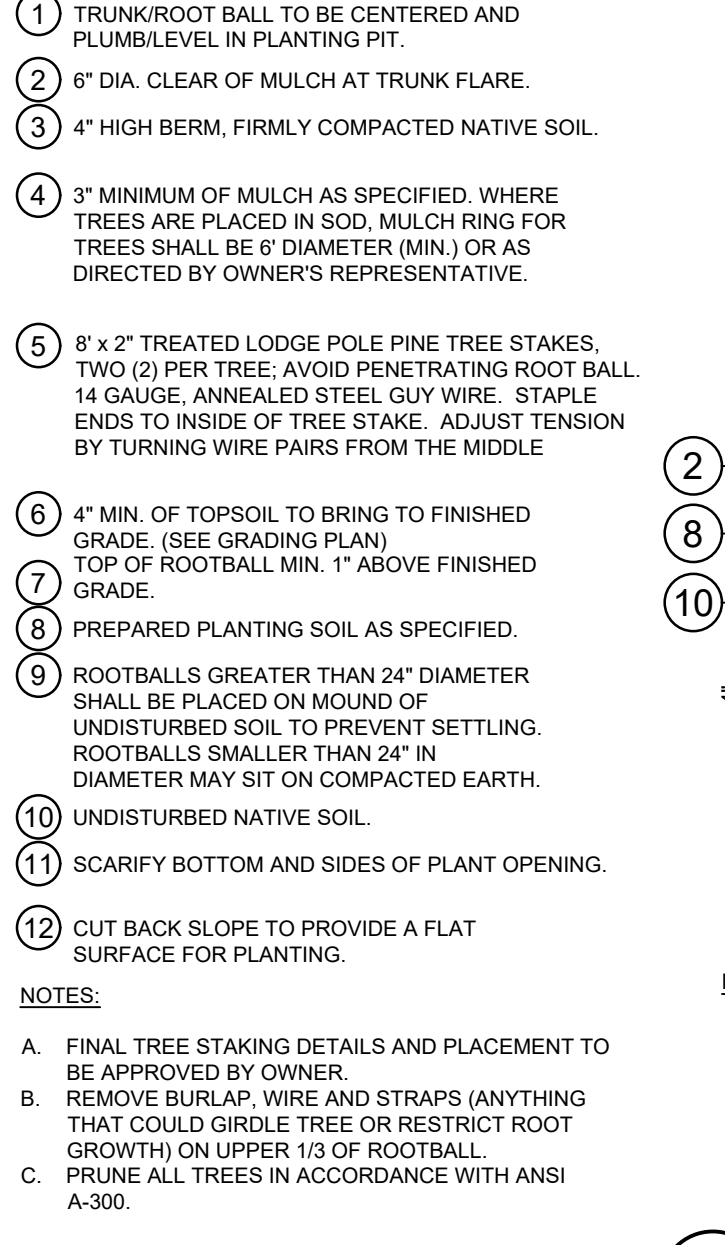
1 TREE PLANTING - STAKING
SECTION / PLAN
NTS



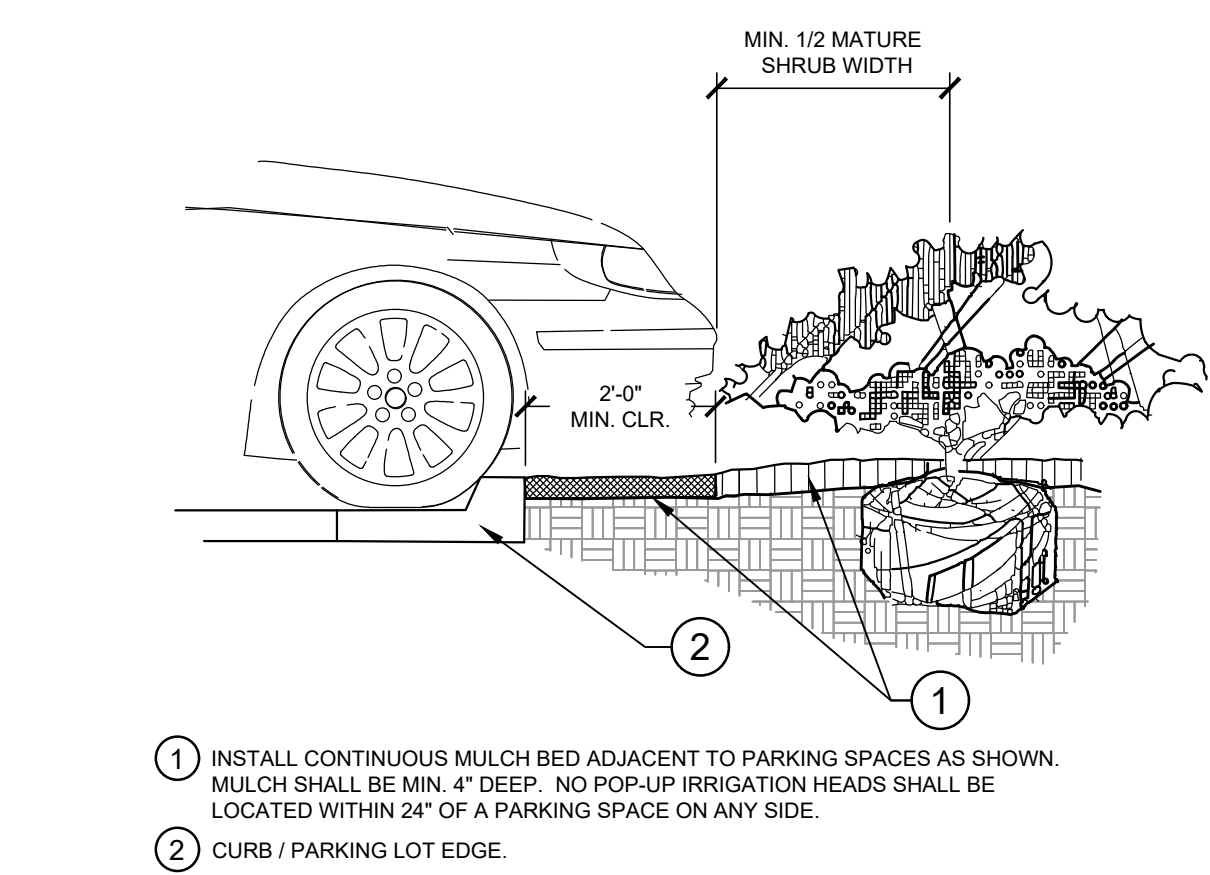
2 TREE PLANTING ON A SLOPE
SECTION / PLAN
NTS



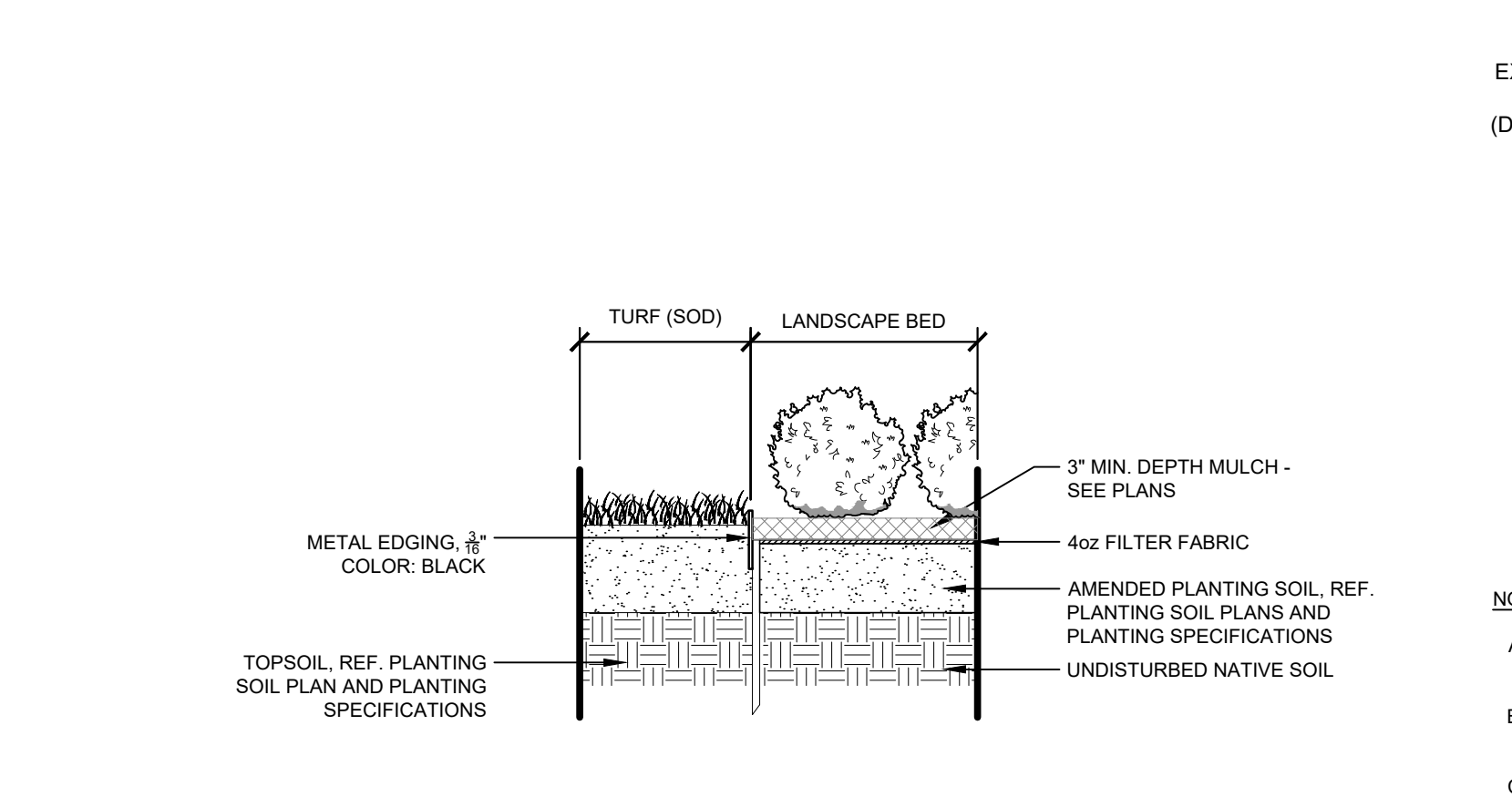
3 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS



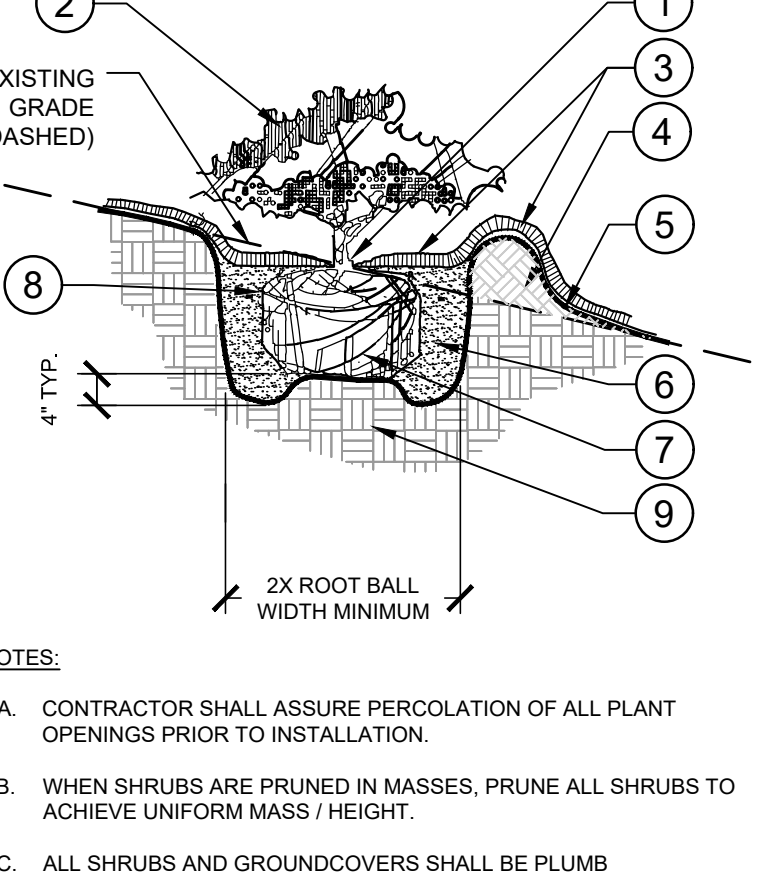
4 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



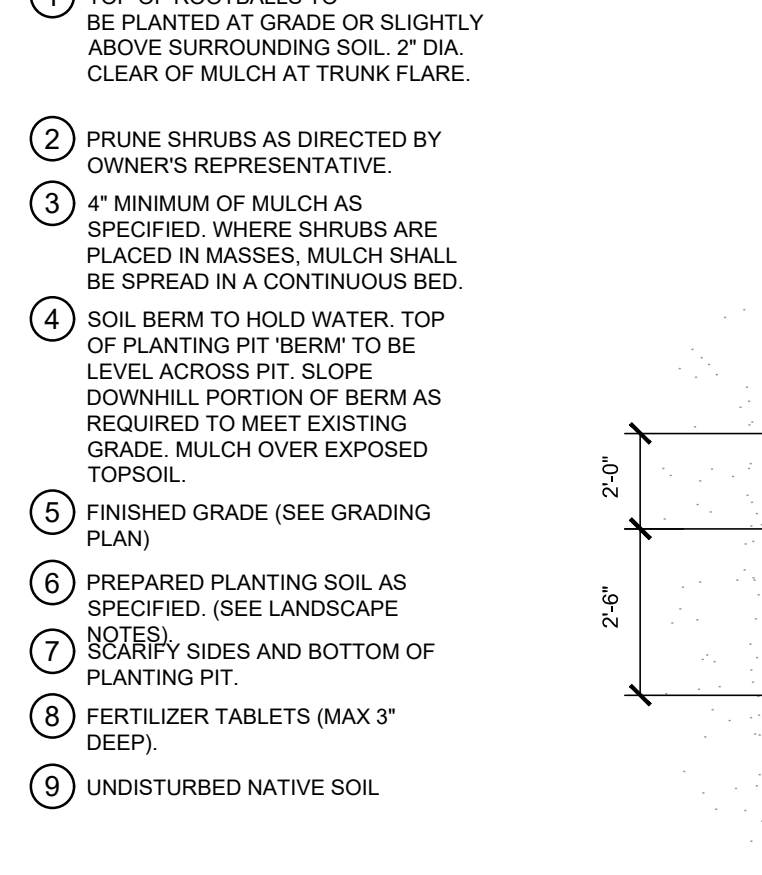
5 PARKING SPACE/CURB PLANTING
SECTION
NTS



6 METAL EDGER AT PLANTING BED
SECTION
NTS



7 SHRUB/GROUNDCOVER PLANTING ON A SLOPE
SECTION
NTS



8 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS

NATIVE SEED INFORMATION
SHORT GRASS MIX BY APPLEWOOD SEED COMPANY OR EQUAL
SEEDING RATE: 6 LBS/ACRE

SCIENTIFIC NAME	COMMON NAME
BOUTELOUA GRACILIS	BLUE GRAMA
BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA
SPOROBOLUS CRYPTANDRUS	SAND DROPS EED
KOELERIA MACRANTHA	PRARIE JUNEGRASS

DETENTION BASIN SEED MIX
• TO BE PER THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT DRAINAGE PONDS: SLOPE STABILIZATION AND SEEDING REQUIREMENTS (MARCH 25, 2022). POND STABILIZATION TO FOLLOW SECTION 1013

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
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4652 South Uteer Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 05/11/2022

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
LANDSCAPE DETAILS



PROJECT NO.
096648005
DRAWING NAME
096648005_LA.dwg

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15











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Final Audit Report

2022-07-26

Created:	2022-07-21
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAQvd-QGxBMm7oc0f13uIIIfSLCQtE0qzx

"PR-2020-004757_SI-2021-00307_Site_Plan_Approved_5-5-21_Sheet_1" History

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 Signer jwolfley@cabq.gov entered name at signing as Jolene Wolfley, CABQ Planning

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 Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)

Signature Date: 2022-07-26 - 9:46:11 PM GMT - Time Source: server- IP address: 143.120.133.169

 Agreement completed.

2022-07-26 - 9:46:11 PM GMT