



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. 2020-004757

Application No. XXXX

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: April 21, 2021 HEARING DATE OF DEFERRAL: \_\_\_\_\_

SUBMITTAL

DESCRIPTION: Resubmittal to the Development Review Board after addressing comments from the  
initial review meeting on March 31, 2021.

CONTACT NAME: Stephen Litsas

TELEPHONE: (720) 647-6231 EMAIL: Stephen.Litsas@kimley-horn.com



April 16, 2021

DRB Board  
City of Albuquerque

**RE: RV Storage – Albuquerque: DRB Resubmission**

Dear DRB Board Members,

Thank you for the comments on March 16, 2021 for the above-mentioned project. In an effort to address your comments concisely and simplify your review of these development plans, we have summarized your comments and our responses below.

## **COMMENT RESPONSE LETTER**

### **CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT**

#### **Transportation and Drainage Section:**

1. DMD is opposed to the Volcano Rd access and alignment as shown on the site plan. Alternatives to this design were previously discussed with the applicant.
  - *Response: Acknowledged. The design has been adjusted and updated on the site plan.*

### **DEVELOPMENT REVIEW BOARD Nicole M. Friedt, P.E., Development Review Engineer**

1. No adverse comments.
  - *Response: Acknowledged.*

#### **Hydrology Section:**

**Renée Brissette, PE, Senior Engineer 505-924-3995 rbrissette@cabq.gov**

1. Hydrology will need to approve the Grading & Drainage Plan prior to approval of Preliminary Plat or Site Plan for Subdivision.
  - *Response: Acknowledged. This is currently being reviewed.*
2. The infrastructure list may be needed.
  - *Response: Acknowledged. The infrastructure list has been completed and included.*
3. Comment - Hydrology will need to approve the Grading & Drainage Plan prior to Building Permit if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).
  - *Response: Acknowledged. This is currently being reviewed.*

#### **Code Enforcement:**

1. A Conditional Use is required to allow outdoor vehicle storage.
  - *Response: Acknowledged. This has been provided within the DRB submission.*

#### **Transportation Development:**



**Jeanne Wolfenbarger 505-924-3991 [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)**

1. There were two options given for this development which include either a request for vacation of right-of-way and a subsequent creation of a dead-end cul-de-sac or a an extension of Volcano Road to the neighboring driveway to match up with the existing median cut. (This is due to the fact that Volcano Road does not meet current DPM standards for intersection/driveway spacing or the intersection roadway alignment.)
  - *Response: Acknowledged. The vacation of right-of-way request is being submitted to DRB for approval and the design has been updated to include a dead-end cul-de-sac.*
2. Create an infrastructure list for Volcano Road improvements based on the chosen option and provide a layout as part of the site plan action since the option would have a direct impact on the site plan. Actual public roadway improvements shall be reviewed and approved through the City work order process.
  - *Response: The infrastructure list has been completed and included.*
3. As part of Volcano Road improvements, include sidewalk and curb. Sidewalk width shall be chosen based on roadway classification. Provide a roadway cross-section along with the submittal package.
  - *Response: Acknowledged. Sidewalk and curb have been adjusted and a roadway cross-section has been added.*
4. Indicate how the parking spaces are designated for the storage facility on the drawing. Will these be painted parking spaces?
  - *Response: The parking spaces will not be painted to provide storage flexibility. Signage will be mounted from the canopies designating storage locations.*
5. For the ADA parking and turn-around for the RV parking before the gate, provide dimensioning for the parking spaces and parking aisle. (For the turn-around itself, also provide a turning template design.)
  - *Response: Acknowledged. Dimensioning has been added to the plans and a turning template has been included.*
6. Provide parking calculations for the proposed parking shown. This should include any requirements from the IDO including ADA parking, motorcycle parking, and bicycle parking. Provide handicapped space signage, motorcycle parking signage, and a bike rack detail.
  - *Response: Acknowledged. The parking requirements from the IDO have been met. There is no parking required per table 5-5-1, part 14-16-5 of the IDO for the City of Albuquerque for the use of outdoor storage. Two standard stalls, one motorcycle stall, and one accessible stall have been included. Three bicycle racks have been included per Table 5-5-5 from the IDO.*
7. Include clear sight distance triangles at the accessway. Include standard note for landscaping limits. "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
  - *Response: Acknowledged. This note has been included.*

8. Provide 6-foot ADA access from the office to the right-of-way and from the office to the handicapped spaces. Include any sidewalk and ramp details as necessary. Label sidewalk at a 2% slope.
  - *Response: Acknowledged. A 6-foot sidewalk has been included.*
9. The ADA access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
  - *Response: Acknowledged. This requirement has been shown on the site plan.*
10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."
  - *Response: Acknowledged. An ADA parking sign detail has been added.*

**Utility Development Section:**

**Blaine Carter, P.E. 505.415.9188**

1. Availability Statement # 210111 has been requested for this project and is in review. An executed statement must be obtained prior to approval.
  - *Response: Acknowledged. A copy of this letter has been provided within the submission*
2. Public improvements to extend sanitary sewer mains will be required. A water main upsizing is also anticipated. Please update the utility plan as required upon receipt of the availability statement.
  - *Response: Acknowledged. A water main upsizing has been accounted for, and the utility plan has been updated.*
3. The proposed 8" PVC sanitary sewer line will need to be revised to depict a typical perpendicular connection to a new public sanitary sewer main in Volcano Road along the project frontage.
  - *Response: Acknowledged. The sanitary sewer line has been extended to the property line.*
4. An infrastructure list will be required for the public water and public sewer improvements.
  - *Response: Acknowledged. An infrastructure list has been included.*
5. Please clarify the utility plan.
  - A. What size meter is proposed? What size line is following the meter?
  - B. Is a private fire line required? If so, show the connection to the main. This is listed in the key note but not the plan view. Fire lines are unmetered and should be constructed per the ABCWUA standard detail. This includes both a public and private valve.
  - C. Please clarify the purpose of providing an internal looped water line.
  - D. Please clarify the size of the proposed onsite sanitary sewer line. Is this supposed to be 8" PVC?
    - *Response:*
      - *A. The proposed meter and line following the meter are both 1".*
      - *B. A private fire line is required. The connection to the main has been shown and the detail has been included.*
      - *C. The internal looped water line has been removed.*

- *D. The proposed onsite sanitary sewer line is 6" (size may alter based upon the plumbing requirements for a wash station, during detailed design)..*

## **Planning Department- Major Case Comments:**

### **Maggie Gould, Planning Department**

1. A Sensitive Lands Analysis is required per 5-2 Site Design for Sensitive Lands (as mentioned in sketch plat). This is likely a simple analysis on this site. The form is available on the DRB webpage- Development Review Board — City of Albuquerque (cabq.gov). Your application is incomplete without this analysis. The sensitive land analysis should be received by Friday noon in order for the case to be reviewed on 3/31/21.
  - *Response: Acknowledged. A Sensitive Lands Analysis has been included.*
2. Please provide the notice of decision from Zoning Hearing Examiner showing that a Conditional Use was approved to allow the outdoor vehicle storage on this site.
  - *Response: This has been provided.*
3. Confirm with Code Enforcement that requirements for parking lot trees and electric vehicle spaces are met.
  - *Response: We do not classify the RV Spaces as parking, but instead as storage. They should not be subject to parking lot standards. Classifying them as storage, applicable standards have been met.*
4. The RV covered spaces are not carports and do not need to be justified.
  - *Response: Acknowledged. Justification letter has not been altered in the event the interpretation changes, as this original request came in from DRB to justify*
5. Confirm wall details.
  - *Response: A 6' fence has been added around the edge of the site.*
6. If right-of-way is dedicated, a replat will be required.
  - *Response: Acknowledged.*
7. Ponding is allowed in the setback area.
  - *Response: Acknowledged.*
8. The site is within the West Route 66 activity center,
  - *Response: Acknowledged.*

## **PARKS AND RECREATION DEPARTMENT**

1. What does the hatch represent in the stormwater detention area? The plan shows drought tolerant trees and shrubs, and seeded detention / stormwater detention. No objection to request.
  - *Response: The hatch represents seeding of the detention/stormwater area.*

## **ALBUQUERQUE POLICE DEPARTMENT**

1. Ensure adequate lighting throughout the project – exterior lighting on the office building, under parking covers, near wash stations and refuse dump areas.
  - *Response: Acknowledged.*

2. Ensure natural surveillance and clear lines of sight throughout the project. Natural surveillance requires a space free from natural and physical barrier. Establish a clear line of sight from the building to the street and the street to the building.
  - *Response: Acknowledged.*
3. Ensure that landscaping is installed so as not to obstruct windows, doors, entryways, or lighting.
  - *Response: Acknowledged.*
4. Maintain landscaping for visibility; trees should be trimmed to a canopy of six (6) feet and bushes should be trimmed to three (3) feet.
  - *Response: Acknowledged.*
5. Limit and clearly delineate access to the property; i.e. Employee Parking, Customer Parking, Customer Entrance, Emergency Entrance.
  - *Response: There is no difference between Employee Parking and Customer Parking as well as no difference between Customer Entrance and Emergency Entrance.*
6. Provide signage that clearly directs the customer to the appropriate entrance.
  - *Response: Acknowledged.*
7. Ensure controlled access to the building through use of adequate door and lock systems.
  - *Response: Acknowledged.*
8. Control access between customer areas and employee-only areas.
  - *Response: There are no customer or employee-only areas.*
9. Consider video surveillance systems to monitor the office building, including entrance and exit points, parking lots, and any sensitive areas such as cash handling and the storage areas. Utilize video surveillance to enhance visibility to areas of reduced natural surveillance due to screening near residential areas.
  - *Response: Acknowledged.*
10. Ensure that addresses are posted and clearly visible.
  - *Response: Acknowledged.*
11. Create a clear transition from public to semi-public to semi-private to private space throughout the project.
  - *Response: Acknowledged.*

## **ALBUQUERQUE PUBLIC SCHOOLS**

**Rachel Hertzman, AICP, Planner II, APS Capital Master Plan 505.848.8892**

1. Case comments: No adverse impacts.
  - *Response: Acknowledged.*

## **NEW MEXICO DEPARTMENT OF TRANSPORTATION**

**Keith Thompson 505.490.3752 Keith.Thompson@state.nm.us**

1. NMDOT has no comments at this time.

- *Response: Acknowledged.*

We appreciate your review and comments on these plans. Please contact me at (720) 647-6231 or [stephen.litsas@kimley-horn.com](mailto:stephen.litsas@kimley-horn.com) should you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Stephen Litsas  
Project Manager

**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

**SITE PLAN – DRB**

**MAJOR AMENDMENT TO SITE PLAN – DRB**

**EXTENSION OF SITE PLAN – DRB**

- Interpreter Needed for Hearing?  if yes, indicate language: \_\_\_\_\_
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
  - Office of Neighborhood Coordination neighborhood meeting inquiry response
  - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
  - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6) *(not required for extension)*
  - Office of Neighborhood Coordination notice inquiry response
  - Copy of notification letter and proof of first-class mailing
  - Proof of emailed notice to affected Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first-class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)* (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

- Interpreter Needed for Hearing?  if yes, indicate language: \_\_\_\_\_
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

<p><b><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></b></p>	
<p>Signature: </p>	<p>Date: 3/1/21</p>
<p>Printed Name: Stephen Litsas</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Case Numbers: _____</p>	<p>Project Number: _____</p>
<div style="text-align: right;"> </div>	
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**

Design Review Board review of the proposed RV Storage Facility, on a 9.59-ac site located at the northwest corner of Central Ave and Volcano Road

<b>APPLICATION INFORMATION</b>		
Applicant: Macritchie		Phone: +1403-973-4882
Address: 715 5th Ave SW, Suite 1700		Email: blockhorst@machritchie.biz
City: Calgary	State: Alberta	Zip: T2P 2X6
Professional/Agent (if any): Kimley-Horn		Phone: 720-647-6231
Address: 4582 S Ulster St. Suite 1500		Email: Stephen.litsas@kimley-horn.com
City: Denver	State: CO	Zip: 80237
Proprietary Interest in Site: Developer		List <u>all</u> owners:
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Tract C48 and C49		Block: Unit 4
Subdivision/Addition: Town of Atrisco Grant		MRGCD Map No.: UPC Code: 100905746717740609
Zone Atlas Page(s): K-09-Z	Existing Zoning: NR-BP	Proposed Zoning
# of Existing Lots: 2	# of Proposed Lots: 1	Total Area of Site (Acres): 9.59
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: No address, Volcano Rs	Between: Central Ave	and: Bristol St
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
None Known		

<b>Signature:</b>	<b>Date:</b> 3/1/21
<b>Printed Name:</b> Stephen Litsas	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:		Date:	Project #		





4/16/2021

City of Albuquerque  
Development Review Board  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Site Plan DRB Review - Letter of Introduction

Dear DRB,

Kimley-Horn is pleased to submit this Letter of Introduction on behalf of our Client, Macritchie, for the Sketch Plat Review process (herein referred to as the “Project”).

The Project is to be a RV Storage development consisting of approximately +/- 9.59 acres of land. The entire site is intended to be developed in one singular phase. A stormwater management facility is proposed in the southeast corner of the site, which will be sized to serve the entire development.

The RV Storage facility will consist fully of RV canopies; therefore all storage spaces will be covered. In total, 429 parking spaces will be provided. The interior spaces will be designed flexibly so they can conform to various lengths totaling the two head-to-head stalls (such as 30' & 60' stalls, as opposed to 2 x 45' stalls) based upon the future demand requirements. Enhanced screening will be used along the northern border of the site adjacent to the residential properties.

A zone for a temporary +/- 650 sf office building will be provided near the entrance of the site, along the projects southern border. In addition, two RV Wash Stations and two RV Dump Stations will be provided near the office building.

The site will have one primary point of access, from Volcano Rd. This will be adjacent to the temporary office, serving as both an access point for visitors and regular users. This gate will have automatic secured access to provide after-hours entry to the site for regular users. A second point of access for emergency access only will be provided, located along Volcano Rd on the southwest corner of the site.

Based upon received DRB Comments, the applicant is processing a vacation request through the DRB to sever the current access of Volcano Rd to the Central Ave frontage road. This was requested due to safety concerns based upon the intersection angles. This vacation requested is anticipated to come to the DRB on the April 28<sup>th</sup> DRB meeting.

To accommodate the vacation, the developer is proposing to install a cul-de-sac at the furthest most site entrance. In addition, they are proposing to dedicate right-of-way necessary to install the cul-de-sac, and provide 10' of right of way from the curb line to property line. Due to the dedication, we request the City allow the site parking for the temporary access to site adjacent



to the cul-de-sac and not be governed by a traditional site setback requirements.

The above described use will adhere to the codes and requirements outlined within the City's design standards. We are excited to bring this project to the City.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen Litsas". The signature is fluid and cursive, with a large loop at the end.

Stephen Litsas  
Kimley-Horn



CITY OF ALBUQUERQUE  
OFFICE OF ADMINISTRATIVE HEARINGS  
ZONING HEARING EXAMINER  
NOTIFICATION OF DECISION

Macritchie Storage Ventures LLC (Agent, Michelle Henrie) requests a conditional use to allow outdoor vehicle storage for Lot C48, Town of Atrisco Grant Unit 4, located at 99999 Volcano RD NW, zoned NR-BP [Section 14-16-4-2]

Special Exception No:..... **VA-2020-00394**  
Project No: ..... **Project#2020-004676**  
Hearing Date: ..... 12-15-20  
Closing of Public Record: ..... 12-15-20  
Date of Decision: ..... 12-30-20

On the 15th day of December, 2020, Michelle Henrie, agent for property owner Macritchie Storage Ventures LLC (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow outdoor vehicle storage (“Application”) upon the real property located at 99999 Volcano RD NW (“Subject Property”). Below are the ZHE’s finding of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow outdoor vehicle storage.
2. The City of Albuquerque Code of Ordinances Section 14-16-6-6(A)(3) (Review and Decision Criteria– Conditional Use) reads: *“An application for a Conditional Use Approval shall be approved if it meets all of the following criteria:*
  - (a) It is consistent with the ABC Comp. Plan, as amended;*
  - (b) It complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property;*
  - (c) It will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community;*
  - (d) It will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts;*
  - (e) It will not increase non-residential activity within 300 feet of a lot in any residential zone district between the hours of 8:00 pm and 6:00 am;*
  - (f) It will not negatively impact pedestrian or transit connectivity without appropriate mitigation*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-6-4(F)(2).
4. Agent and Applicant representatives appeared at the ZHE hearing on this matter and gave evidence in support of the Application.

5. Applicant provided evidence that the proper "Notice of Hearing" signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
6. Applicant provided evidence that all property owners and neighborhood association entitled to notice were notified of the Application.
7. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval is consistent with the ABC Comp. Plan, as amended. Specifically, Applicant submitted evidence supporting that the requested Conditional Use approval furthers the goals of the ABC Comp. Plan to promote sustainable communities by providing business services in appropriate areas of need.
8. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property. Specifically, Applicant testified and confirmed in written submittals that the conditional use, if approved, will comply with the special screening and buffering regulations of the IDO for outdoor vehicle storage use.
9. Applicant stated that EPC case Z-92-57 is a prior approval applicable to the Subject Site, However, that approval does not appear germane to the Application.
10. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community. Specifically, Applicant testified and confirmed in written submittals that owners of RVs and other vehicles who use and need this type of storage do not typically make trips to the storage area on a weekly or even monthly basis; therefore, it is anticipated that the infill development of this vacant parcel will have positive impacts on the surrounding properties, given that the RV storage use does not generate an inordinate or unpredictable amount of traffic which could have adverse impacts on the larger community, the surrounding neighborhood, or adjacent properties. Additionally, Applicant provided evidence that development of this vacant lot will contribute to the removal of blight, enhance the appearance, improve drainage, and increase property values within neighboring area; therefore, public safety, health, and welfare will be improved and strengthened while stabilizing land use and property values.
11. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts. Specifically, the Conditional Use Approval will not create material adverse impacts on other land in the area, because the proposed use is intended to allow a customer to leave a vehicle on the Subject Property for long periods of time without having to show up on site with any frequency to evaluate what is being stored. Furthermore, noise and vibration are not types of impacts that long-term parked vehicles are capable of creating. Traffic and parking congestion are adverse impacts from which the proposed vehicle storage use is designed to provide relief and a useful alternative.
12. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not increase non-residential activity within 300 feet of a lot

in any residential zone district between the hours of 8:00 pm and 6:00 am. Specifically, Applicant testified that business hours would be restricted to 6:00 a.m. to 8:00 p.m.

13. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not negatively impact pedestrian or transit connectivity without appropriate mitigation. Specifically, Applicant testified that no negative impact on pedestrian or transit connectivity would result.
14. The City Traffic Engineering Division stated no objection.
15. The criteria within IDO Section 14-16-6-6(A)(3) are satisfied.

DECISION:

APPROVAL of a conditional use to allow outdoor vehicle storage.

APPEAL:

If you wish to appeal this decision, you must do so by January 15, 2021 pursuant to Section 14-16-6-4(U), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.



---

Robert Lucero, Esq.  
Zoning Hearing Examiner

cc:

ZHE File  
Zoning Enforcement  
Michelle Henrie, [michelle@mhenrie.com](mailto:michelle@mhenrie.com)  
Ben Lokhorst, [blokhorst@macritchie.biz](mailto:blokhorst@macritchie.biz)



CITY OF ALBUQUERQUE  
OFFICE OF ADMINISTRATIVE HEARINGS  
ZONING HEARING EXAMINER  
NOTIFICATION OF DECISION

Macritchie Storage Ventures LLC (Agent, Michelle Henrie) requests a conditional use to allow outdoor vehicle storage for Lot C49, Town of Atrisco Grant Unit 4, located at 99999 Volcano RD NW, zoned NR-BP [Section 14-16-4-2]

Special Exception No:..... **VA-2020-00395**  
Project No: ..... **Project#2020-004676**  
Hearing Date: ..... 12-15-20  
Closing of Public Record: ..... 12-15-20  
Date of Decision: ..... 12-30-20

On the 15th day of December, 2020, Michelle Henrie, agent for property owner Macritchie Storage Ventures LLC (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow outdoor vehicle storage (“Application”) upon the real property located at 99999 Volcano RD NW (“Subject Property”). Below are the ZHE’s finding of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow outdoor vehicle storage.
2. The City of Albuquerque Code of Ordinances Section 14-16-6(A)(3) (Review and Decision Criteria– Conditional Use) reads: *“An application for a Conditional Use Approval shall be approved if it meets all of the following criteria:*
  - (a) It is consistent with the ABC Comp. Plan, as amended;*
  - (b) It complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property;*
  - (c) It will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community;*
  - (d) It will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts;*
  - (e) It will not increase non-residential activity within 300 feet of a lot in any residential zone district between the hours of 8:00 pm and 6:00 am;*
  - (f) It will not negatively impact pedestrian or transit connectivity without appropriate mitigation*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-6-4(F)(2).
4. Agent and Applicant representatives appeared at the ZHE hearing on this matter and gave evidence in support of the Application.

5. Applicant provided evidence that the proper "Notice of Hearing" signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
6. Applicant provided evidence that all property owners and neighborhood association entitled to notice were notified of the Application.
7. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval is consistent with the ABC Comp. Plan, as amended. Specifically, Applicant submitted evidence supporting that the requested Conditional Use approval furthers the goals of the ABC Comp. Plan to promote sustainable communities by providing business services in appropriate areas of need.
8. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property. Specifically, Applicant testified and confirmed in written submittals that the conditional use, if approved, will comply with the special screening and buffering regulations of the IDO for outdoor vehicle storage use.
9. Applicant stated that EPC case Z-92-57 is a prior approval applicable to the Subject Site, However, that approval does not appear germane to the Application.
10. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community. Specifically, Applicant testified and confirmed in written submittals that owners of RVs and other vehicles who use and need this type of storage do not typically make trips to the storage area on a weekly or even monthly basis; therefore, it is anticipated that the infill development of this vacant parcel will have positive impacts on the surrounding properties, given that the RV storage use does not generate an inordinate or unpredictable amount of traffic which could have adverse impacts on the larger community, the surrounding neighborhood, or adjacent properties. Additionally, Applicant provided evidence that development of this vacant lot will contribute to the removal of blight, enhance the appearance, improve drainage, and increase property values within neighboring area; therefore, public safety, health, and welfare will be improved and strengthened while stabilizing land use and property values.
11. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts. Specifically, the Conditional Use Approval will not create material adverse impacts on other land in the area, because the proposed use is intended to allow a customer to leave a vehicle on the Subject Property for long periods of time without having to show up on site with any frequency to evaluate what is being stored. Furthermore, noise and vibration are not types of impacts that long-term parked vehicles are capable of creating. Traffic and parking congestion are adverse impacts from which the proposed vehicle storage use is designed to provide relief and a useful alternative.
12. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not increase non-residential activity within 300 feet of a lot

in any residential zone district between the hours of 8:00 pm and 6:00 am. Specifically, Applicant testified that business hours would be restricted to 6:00 a.m. to 8:00 p.m.

13. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not negatively impact pedestrian or transit connectivity without appropriate mitigation. Specifically, Applicant testified that no negative impact on pedestrian or transit connectivity would result.
14. The City Traffic Engineering Division stated no objection.
15. The criteria within IDO Section 14-16-6-6(A)(3) are satisfied.

DECISION:

APPROVAL of a conditional use to allow outdoor vehicle storage.

APPEAL:

If you wish to appeal this decision, you must do so by January 15, 2021 pursuant to Section 14-16-6-4(U), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.



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Robert Lucero, Esq.  
Zoning Hearing Examiner

cc:


ZHE File  
Zoning Enforcement  
Michelle Henrie, [michelle@mhenrie.com](mailto:michelle@mhenrie.com)  
Ben Lokhorst, [blokhorst@macritchie.biz](mailto:blokhorst@macritchie.biz)






For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

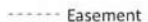

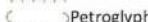
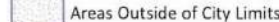






IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**K-09-Z**



Gray Shading  
Represents Area Outside  
of the City Limits

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Feet  
0 250 500 1,000





MHenrie | Land ◦ Water ◦ Law

## LETTER OF AUTHORIZATION

***Subject Property:*** Tracts C48 and C49 Unit 4 Town of Atrisco Grant, Central and Volcano (containing approximately 9.59 Acres).

I, the undersigned current owner of the subject property, hereby designate Michelle Henrie, LLC (Michelle Henrie) to be my authorized representative for all planning and zoning requests associated with the subject property, including any appeals.

By: Stephanie H. Garcia

Date: October 30, 2020

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: **2020-004757**  
DRB Application No.: \_\_\_\_\_

**Albuquerque - RV Storage**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Section 21, Township 10 North, Range 2 East, City of Albuquerque, Bernalillo County, New Mexico. Tracts C48 and C49, Unit 4**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	8"	Replace (upsized) existing water main (Approx. 325')	Volcano Road NE	South edge of property line	North end of existing water line shown in survey	/	/	/
<input type="text"/>	<input type="text"/>	8"	Extend public sanitary sewer collector line (Aprox. 505')	Volcano Road NE	Existing manhole #K09791	South edge of property line	/	/	/
<input type="text"/>	<input type="text"/>	7,330 S.F.	Asphalt pavement	Cul-de-sac at end of Volcano Road NE	Edge of existing pavement	Property line	/	/	/
<input type="text"/>	<input type="text"/>	380 L.F.	6" curb and gutter	Improvements shown along Volcano Road NE	Private Site Improvements	South edge of property line	/	/	/
<input type="text"/>	<input type="text"/>	435 S.F.	6' concrete sidewalk	Improvements shown along north side of Volcano Road NE	Site property line	South edge of property line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature    Date		City User Dept. Signature    Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

\_\_\_\_\_  
NAME (print)

\_\_\_\_\_  
FIRM

\_\_\_\_\_  
SIGNATURE - date

\_\_\_\_\_  
DRB CHAIR - date

\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
UTILITY DEVELOPMENT - date

\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
PARKS & RECREATION - date

\_\_\_\_\_  
AMAFCA - date

\_\_\_\_\_  
CODE ENFORCEMENT - date

\_\_\_\_\_  
\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Michelle Lujan  
Grisham  
Governor

STATE OF NEW MEXICO  
**DEPARTMENT OF CULTURAL AFFAIRS**  
**HISTORIC PRESERVATION DIVISION**

BATAAN MEMORIAL BUILDING  
407 GALISTEO STREET, SUITE 236  
SANTA FE, NEW MEXICO 87501  
PHONE (505) 827-6320 FAX (505) 827-6338

March 16, 2021

Suzan O'Larick  
Cultural Resource Laboratory Manager/Archaeologist  
TRC  
6501 Eagle Rock Ave NE, Suite B5,  
Albuquerque, NM 87113

Re: HPD Log # 114729, A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico

Dear Ms. O'Larick:

On behalf of the New Mexico State Historic Preservation Officer (SHPO) I want to thank you for cooperating with SHPO in regards to the aforementioned project. I have reviewed the submitted document entitled "*A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico (NMCRIS No. 147375)*" prepared by TRC. The SHPO concurs with the recommendations and/or effects as proposed in the report. Specifically, this project will have no effect on cultural resources within the project area.

If you have any concerns or questions, please contact me by phone at (505)-452-6115 or e-mail me at [richard.reycraft@state.nm.us](mailto:richard.reycraft@state.nm.us).

Sincerely,

Richard Reycraft  
*Richard Reycraft*  
HPD Archaeological Review



# City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

## Planning Department

Brennon Williams, Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

---

**DATE:**

**SUBJECT:**

**Case Number(s):**

**Agent:**

**Applicant:**

**Legal Description:**

**Zoning:**

**Acreage:**

**Zone Atlas Page(s):**

**CERTIFICATE OF NO EFFECT:**      Yes      No

**CERTIFICATE OF APPROVAL:**      Yes      No

**SUPPORTING DOCUMENTATION:**

**SITE VISIT:**

**RECOMMENDATIONS:**

**SUBMITTED BY:**

**SUBMITTED TO:**

\_\_\_\_\_  
Date

## NMCRI INVESTIGATION ABSTRACT FORM (NIAF)

<b>1. NMCRI Activity No.:</b> 147375	<b>2a. Lead (Sponsoring) Agency:</b> City of Albuquerque	<b>2b. Other Permitting Agency(ies):</b>	<b>3. Lead Agency Report No.:</b>									
<b>4. Title of Report:</b> A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico.  <b>Author(s) Paula Pflapsen</b>			<b>5. Type of Report</b> <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive									
<b>6. Investigation Type</b> <input type="checkbox"/> Research Design <input checked="" type="checkbox"/> Survey/Inventory <input type="checkbox"/> Test Excavation <input type="checkbox"/> Excavation <input type="checkbox"/> Collections/Non-Field Study <input checked="" type="checkbox"/> Overview/Lit Review <input type="checkbox"/> Monitoring <input type="checkbox"/> Ethnographic study <input type="checkbox"/> Site specific visit <input type="checkbox"/> Other												
<b>7. Description of Undertaking (what does the project propose):</b> A private developer plans to purchase a vacant parcel for development of an RV park. Client is required to submit an archeological certificate in site plan DRB package in accordance with IDO Section 14-16-6-5. Our site is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.		<b>8. Dates of Investigation:</b> (from: 2/17/2021-2/17/2021)										
		<b>9. Report Date:</b> 2/18/21										
		<b>10. Performing Agency/Consultant:</b> TRC, Inc. <b>Principal Investigator:</b> Paula Pflapsen <b>Field Supervisor:</b> Field Personnel Names: N/A										
		<b>11. Performing Agency/Consultant Report</b> 431377-C-01										
		<b>12. Applicable Cultural Resource Permit No(s):</b> New Mexico State Permit NM-22-028-S										
<b>13. Client/Customer (project proponent):</b> Kimley Horn <b>Contact:</b> Ben Lokhorst MacRitchie, Inc. 715 5th Ave SW Suite 1700 Calgary AB T2P 2X6, Canada (403) 973-4882		<b>14. Client/Customer Project No.:</b>										
<b>15. Land Ownership Status (<u>Must</u> be indicated on project map): <i>Record Review ONLY</i></b>												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Land Owner</th> <th style="width: 25%;">Acres Surveyed</th> <th style="width: 25%;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> <tr> <td style="text-align: right;"><b>TOTALS</b></td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	9.54	9.54	<b>TOTALS</b>	9.54	9.54
Land Owner	Acres Surveyed	Acres in APE										
Private	9.54	9.54										
<b>TOTALS</b>	9.54	9.54										
<b>16 Records Search(es):</b> The continuation form has the results of the Class I records searches (Figures 14–16). No known sites occur within the immediate vicinity of the project area.												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;">Date(s) of ARMS File Review 2/14/2021</td> <td style="width: 40%;">Name of Reviewer(s)</td> <td style="width: 20%;"></td> </tr> <tr> <td>Date(s) of NR/SR File Review 2/15/2021</td> <td>Name of Reviewer(s) Paula Pflapsen</td> <td></td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td>Name of Reviewer(s)</td> <td>Agency</td> </tr> </table>		Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)		Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen		Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency		
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Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen											
Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency										
<b>17. Survey Data:</b>												
<b>a. Source Graphics</b> <input type="checkbox"/> NAD 27 <input checked="" type="checkbox"/> NAD 83 <input checked="" type="checkbox"/> USGS 7.5' (1:24,000) topo map <input type="checkbox"/> Other topo map, Scale: <input checked="" type="checkbox"/> GPS Unit    Accuracy <input type="checkbox"/> <1.0m <input checked="" type="checkbox"/> 1-10m <input type="checkbox"/> 10-100m <input type="checkbox"/> >100m												
<b>b. USGS 7.5' Topographic Map Name</b> <b>USGS Quad Code</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">Albuquerque West</td> <td style="width: 30%;">35106-A6</td> </tr> </table>				Albuquerque West	35106-A6							
Albuquerque West	35106-A6											
<b>c. County(ies):</b> Bernalillo												

**17. Survey Data (continued):**

**d. Nearest City or Town:** Albuquerque, New Mexico

**e. Legal Description:**

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4
10N	2E	21	NE	SW	SE

**Projected legal description? Yes [ ] , No [X] Unplatted [ ]**

**f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.):** Project parcel is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.

**18. Survey Field Methods:**

**Intensity:**  100% coverage  <100% coverage

**Configuration:**  block survey units  linear survey units (l x w):  other survey units (specify):

**Scope:**  non-selective (all sites recorded)  selective/thematic (selected sites recorded)

**Coverage Method:**  systematic pedestrian coverage  other method (describe)

**Survey Interval (m):** 15 m **crew Size:** 1 **Fieldwork Dates:** 2/17/21

**Survey Person Hours:** 1 **Recording Person Hours:** 0 **Total Hours:** 1

**Additional Narrative:** The parcel is an undeveloped vacant lot in southwest Albuquerque.

**19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.):**

The project area is associated with the Pajarito loamy fine sands soil. The Pajarito loamy fine sands soil is commonly found on plains and alluvial fans at elevations ranging from 1,400 feet (ft) to 6,000 ft above mean sea level (amsl) with slopes ranging from 1 to 9 percent. The project area for this undertaking falls within the Albuquerque Basin ecoregion (Griffith et al. 2006). Vegetation within this ecoregion is associated with shortgrass prairie, including grama grasses, sand and mesa dropseed, and sand sagebrush (Griffith et al 2006).

**20. a. Percent Ground Visibility:** 75–99% **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** Sand, limited scrub vegetation, development surrounds the parcels

**21. CULTURAL RESOURCE FINDINGS**  Yes  **No, Discuss Why:** Undeveloped parcel surrounded by development, two IOs-both historic metal noted with contemporary trash including plastic, rubber, glass, paper, metal and modern beer/soda cans.

**22. Required Attachments (check all appropriate boxes):**

- USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn
- Copy of NMCRIS Mapserver Map Check
- LA Site Forms - new sites (*with sketch map & topographic map*)
- LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)
- Historic Cultural Property Inventory Forms
- List and Description of isolates, if applicable
- List and Description of Collections, if applicable

**23. Other Attachments:**  
 Photographs and Log  
 Other Attachments  
*(Describe):* aerial map, soil map, ARMS site searches

**24. I certify the information provided above is correct and accurate and meets all applicable agency standards.**

**Principal Investigator/Responsible Archaeologist:** Paula Pflapsen/Toni R. Goar

Signature 

**Date** 2/18/21 **Title (if not PI):**

**25. Reviewing Agency:**  
**Reviewer's Name/Date**

**Accepted ( ) Rejected ( )**

**Tribal Consultation (if applicable):**  Yes  No

**26. SHPO**

**Reviewer's Name/Date:**

**HPD Log #:**

**SHPO File Location:**

**Date sent to ARMS:**

## CULTURAL RESOURCE FINDINGS

*[fill in appropriate section(s)]*

<b>1. NMCRIS Activity No.:</b> 147375	<b>2. Lead (Sponsoring) Agency:</b> City of Albuquerque	<b>3. Lead Agency Report No.:</b>
<b>SURVEY RESULTS:</b>  Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited <i>(site update form required)</i> : 0 Previously recorded sites not relocated <i>(site update form required)</i> : 0 TOTAL SITES VISITED: 0 Total isolates recorded: 2      Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded <i>(new and previously recorded, including acequias)</i> : 0  <b>MANAGEMENT SUMMARY:</b> The cultural resource survey did not identify any eligible cultural resources within project parcel. Two isolated occurrences were found; both were historic metal. Old Route 66 is located outside of the parcel and although it is visible from the project location the proposed development will fit in with current surroundings and will have no direct or indirect effect on the resource.  <p style="text-align: center;"><b><u>IF REPORT IS NEGATIVE YOU ARE DONE AT THIS POINT.</u></b></p> <b>SURVEY LA NUMBER LOG</b>		



**NMCRIS #147375**

**NIAF, Continuation Form**

**Previous Research**

**Class I ARMS Search**

**Previous surveys within 0.5-mile (0.8-km) of the project area**

<b>NMCRIS</b>	<b>Reference</b>
131836	Kerr 2014
129761	Goar and Chavez 2014
100381	Raymond 2006
112452	Parish et al. 2009
131773	Fredine et al. 2014
134029	Lawrence et al. 2017
108614	Lawrence 2007
7006	Noyes 1985
35897	Noyes 1985

**Class I ARMS Search**

**Known sites within 0.5-mile (0.8-km) of the proposed project area**

<b>Site No.</b>	<b>Land Status</b>	<b>Cultural Affiliation</b>	<b>National Register Eligibility</b>	<b>References</b>	<b>NMCRIS</b>
31220	Private	Navajo (1880- AD-1929 AD)	N/A	Giplin et al. 1994	50302
31228	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
31229	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
42596	Navajo Nation	Unknown	Eligible	N/A	92657
137658	N/A	N/A	N/A	Deleted	80780
31227	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
180319	N/A	N/A	N/A	Kerr 2014	131836
180320	N/A	N/A	N/A	Kerr 2014	131836
31226	Private	Navajo (1500 AD-1993 AD; 1945 AD-1993 AD)	N/A	Hartman 1977	16580
50336	Private	Ancestral Pueblo (1 AD-1600 AD); Hispanic (1945 AD-1993 AD)	N/A	Kayser 1995	7069

**References**

Fredine, Jeff, Hollis Paul Lawrence, Cheryl Somer  
2014 Cultural Resources Inventory Report for Central Avenue Corridor Bus Rapid Transit (BRT), Albuquerque Rapid Transit (ART), City of Albuquerque, Bernalillo County, New Mexico. Report PB-2014-10. NMCRIS 131773.

- Gilpin, Dennis, Jean A. Mercer, Angela R. Linse, and Cherie L. Scheick  
2017 Ethnography and Archaeology on Selected Parcels of McKinley Mine, McKinley County, New Mexico Report 94-40. NMCRIS 50302.
- Goar, Toni R. and Christina Chavez  
2014 A Cultural Resource Survey for the Daytona Distribution Center, Albuquerque, Bernalillo County, New Mexico. Report 14009.09. NMCRIS 129761.
- Griffith, G.E., Omernik, J.M., McGraw, M.M., Jacobi, G.Z., Canavan, C.M., Schrader, T.S., Mercer, D., Hill, R., and Moran, B.C.,  
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- Hartman, Russell P.  
1977 Archaeological Clearance Survey Report of a Tract of Land in the Vicinity of McKinley Mine, McKinley County, New Mexico. Report NA. NMCRIS 16580.
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1995 An Addendum to the Archeological Clearance Report for Enerdex, Inc.'s Proposed Blue Star Federal No. 1 Well Pad Project Situated on Fee Surface-Federal Minerals Lands in Eddy County, N.M. Report 95005. NMCRIS 50336.
- Kerr, R. Stanley  
2014 A Cultural Resource Survey for a Proposed Housing Development Project, 90th Street, Albuquerque, Bernalillo County, New Mexico. Report 14055.09. NMCRIS 131836.
- Lawrence, Hollis P.  
2007 Cultural Resource Survey for Phases I and II of the Unser Boulevard South Improvement Project, City of Albuquerque, Bernalillo County. New Mexico. Report HCC-2007-16. NMCRIS 108614.
- Lawrence, Hollis P., Darryl Del Frate, and Jeff Fredine  
2017 Unser Boulevard Roadway Improvements Project; City of Albuquerque, Bernalillo County, New Mexico. Report PB-2015-07. NMCRIS 134029.
- Noyes, Peter T.  
1985 A Cultural Resources Survey of an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico. Report 185-262. NMCRIS 7006.  
1985 Letter Report: Addendum to "A Cultural Resources Survey on an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico (UNM Proposal 185-262). Report 185-262A. NMCRIS 35897.
- Parrish, Chris, Tom Shine, Beau DeBoer, and Nicholas Parker  
2009 A Cultural Resource Inventory for the PNM-Central 13 Reconductor Project in Albuquerque Bernalillo County, New Mexico. Report 2008-78. NMCRIS 112452.
- Raymond, Gerry  
2006 Negative Cultural Resource Survey Report for a Proposed Cell Tower Location at the Northwest Corner of Bluewater Road and Oliver Ross Drive in Albuquerque, Bernalillo County, New Mexico. Report NM01263D. NMCRIS 100381.

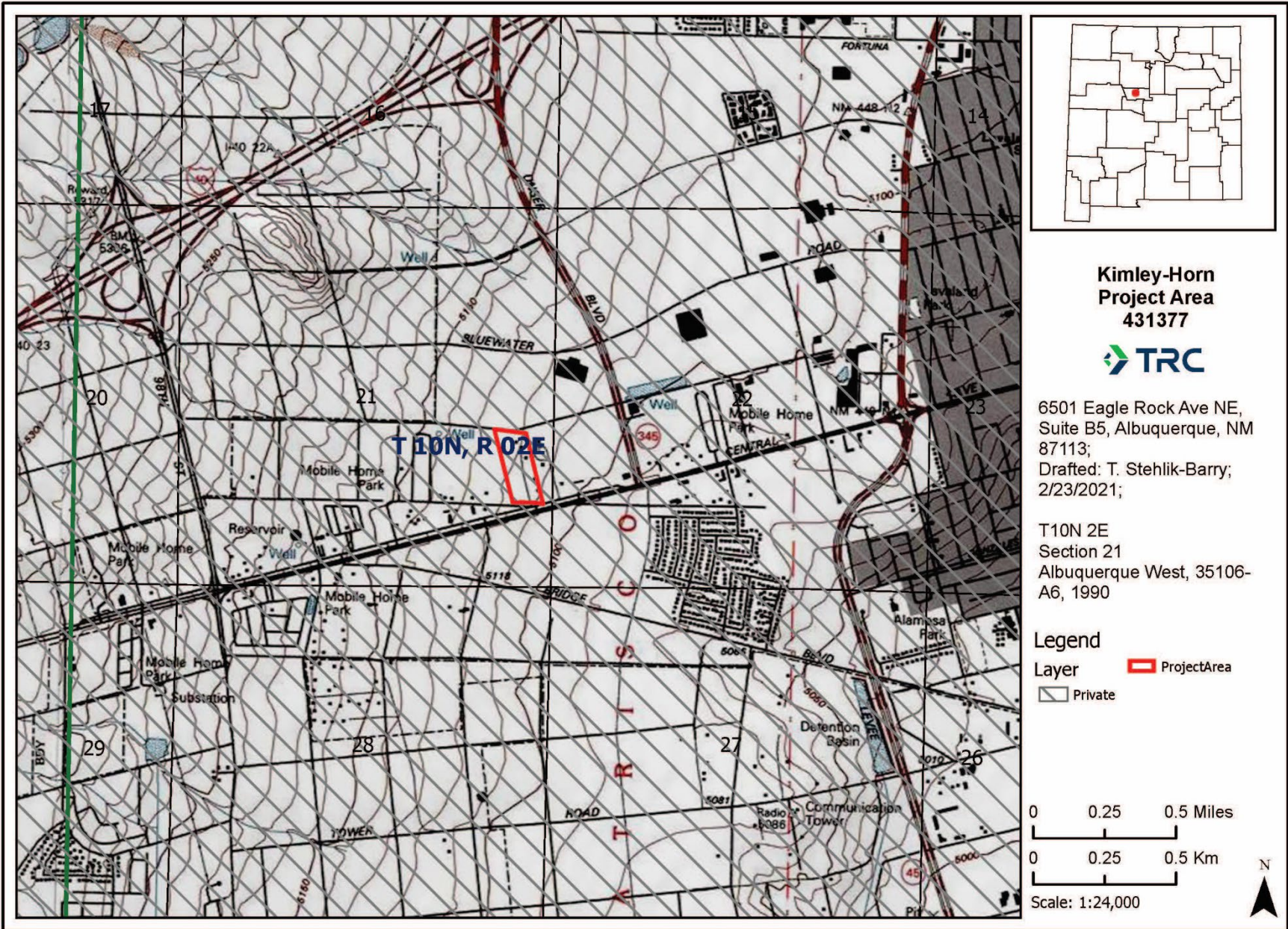


Figure 1 Project Location Quad Map



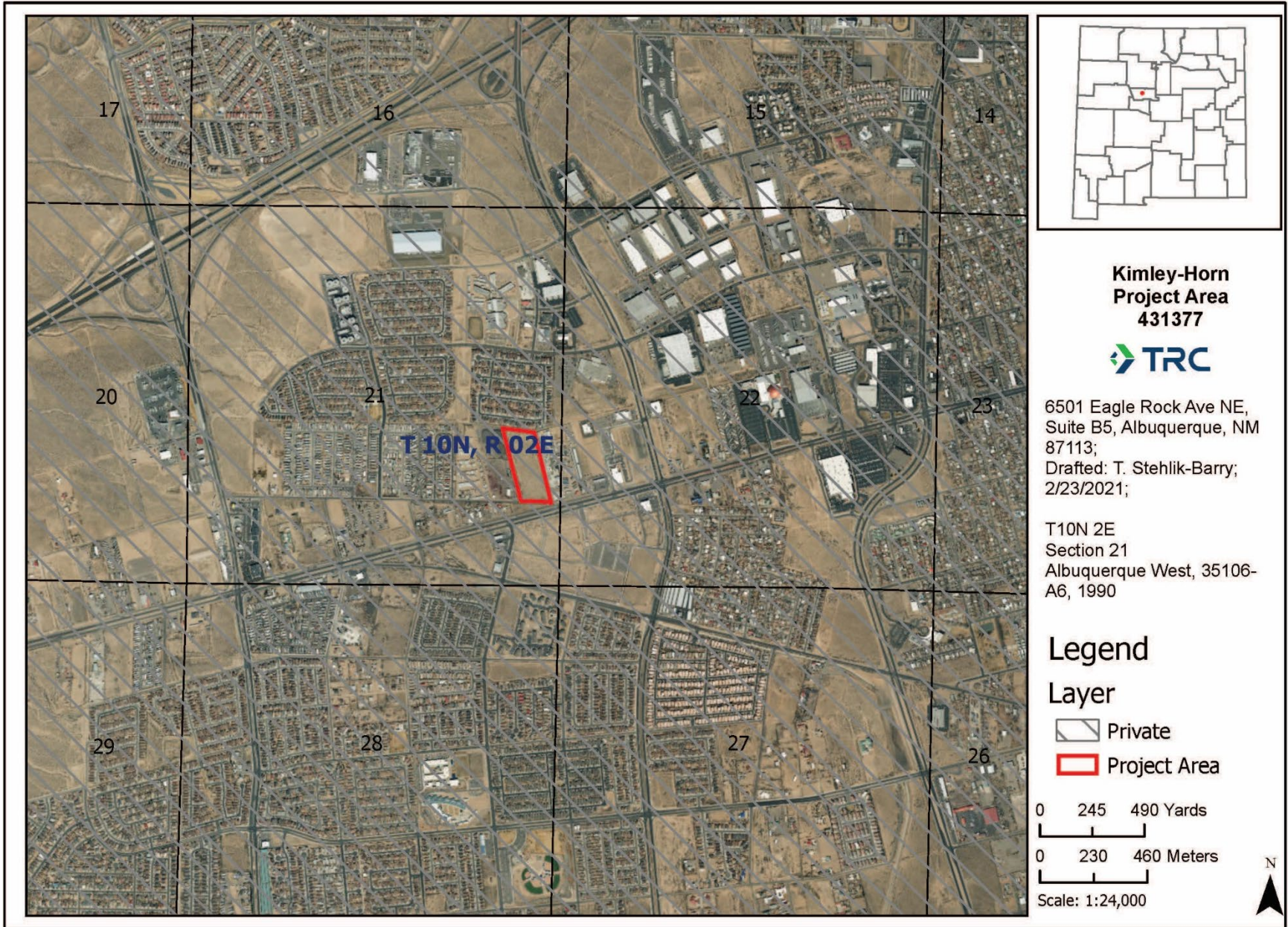


Figure 2 Aerial Map of Project Location



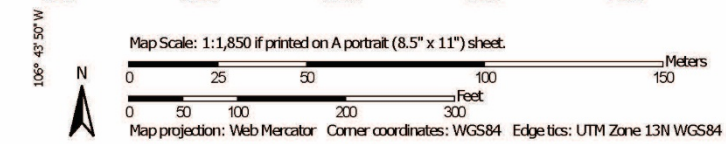




Soil Map—Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico  
(Project Area)



Soil Map may not be valid at this scale.



USDA  
Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

2/23/2021

Figure 4 Soils Map



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 12/2020)

**Project Title:** RV Storage- Albuquerque Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
Zone Atlas Page: K-09-Z DRB#: PR-2020-004757 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tracts C48 and C49 Unity 4 Town of Atrisco Grant  
City Address: Central Ave NW at Volcano Rd. NW

**Applicant:** Kimley-Horn Associates, Inc. Contact: Stephen Litas  
Address: 4582 South Ulster Street, Suite 1500 Denver, CO 80237  
Phone#: 720-647-6231 Fax#: N/A E-mail: Stephen.Litas@kimley-horn.com

### Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: NR-BP

Project Type: New:  Change of Use:  Same Use/Unchanged:  Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential:  Office:  Retail:  Mixed-Use:

Describe development and Uses:

Site development planned use for covered RV Storage.

Days and Hours of Operation (if known): Visitor hours: 8 to 5 pm", tenant access (gate controlled) 24 hours a day

### Facility

Building Size (sq. ft.): 400 SF (office) and 202,785 SF (covered RV storage)

Number of Residential Units: 0

Number of Commercial Units: 1

### Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):\* 4 visitors

Expected Number of Employees (if known):\* 1

Expected Number of Delivery Trucks/Buses per Day (if known):\* None

Trip Generations during PM/AM Peak Hour (if known):\* 13 pm /9 am

Driveway(s) Located on: Volcano Road NW

Adjacent Roadway(s) Posted Speed: Street Name Central Avenue Posted Speed 55 mph

Street Name Volcano Road Posted Speed 35 mph assumed

\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Community Principal Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Activity Center  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): NMDOT

Adjacent Roadway(s) Traffic Volume: 10,700 cars/day Volume-to-Capacity Ratio: \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): Bus Line Nearest Transit Stop(s): Bus Stop ID: 5702

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: Bike lane on Central Avenue  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalk along the City streets adjacent to the development will be required

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No  Borderline [ ]

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes: Low number of peak hour trips



1/15/2021

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE





## **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov) . Call 924-3362 for information.

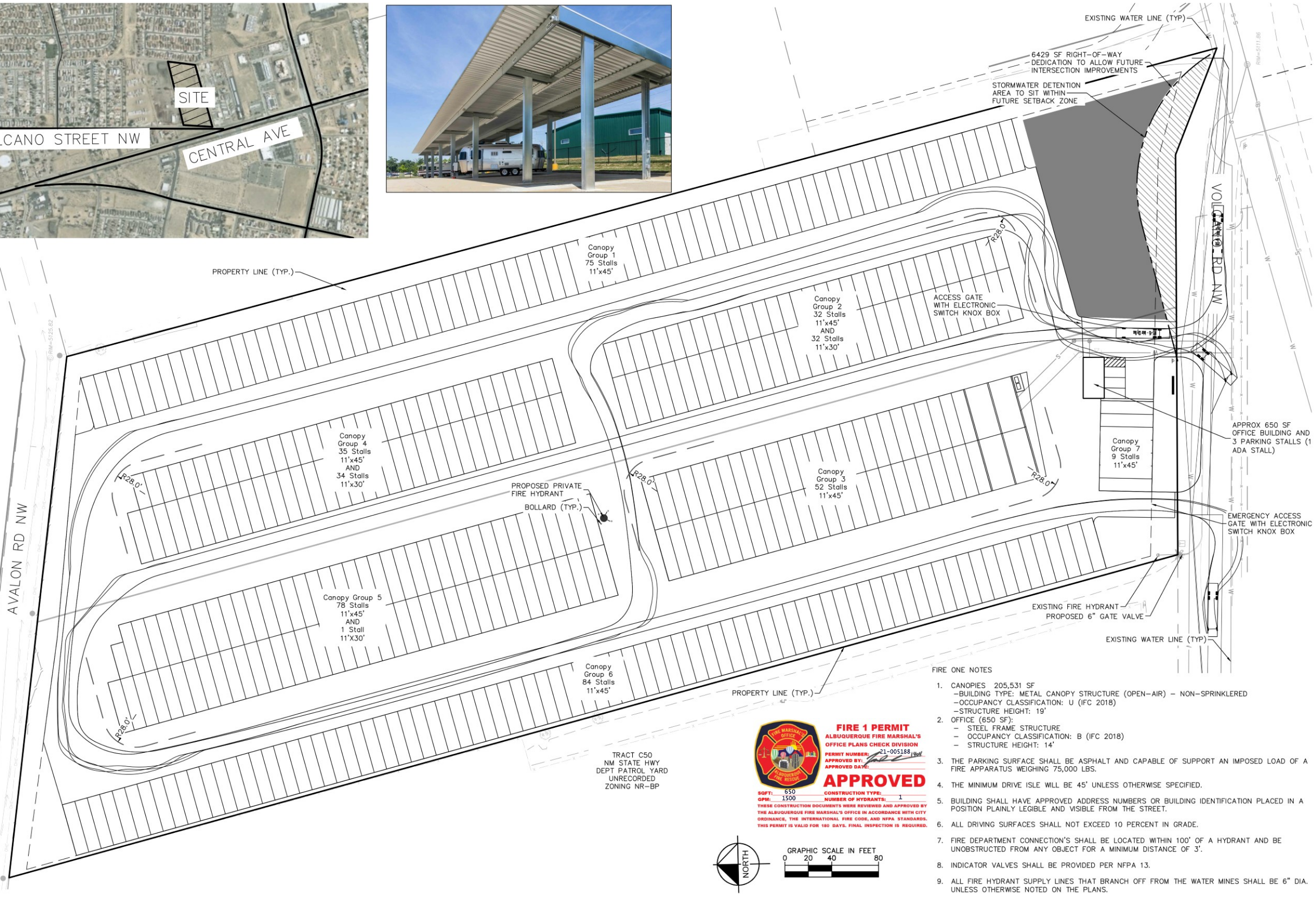
### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND MISREPRESENTATION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

**CANOPY SAMPLE**



**FIRE ONE NOTES**

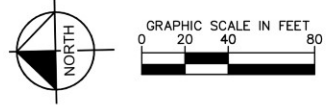
- CANOPIES 205,531 SF  
- BUILDING TYPE: METAL CANOPY STRUCTURE (OPEN-AIR) - NON-SPRINKLERED  
- OCCUPANCY CLASSIFICATION: U (IFC 2018)  
- STRUCTURE HEIGHT: 19'
- OFFICE (650 SF):  
- STEEL FRAME STRUCTURE  
- OCCUPANCY CLASSIFICATION: B (IFC 2018)  
- STRUCTURE HEIGHT: 14'
- THE PARKING SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORT AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
- THE MINIMUM DRIVE ISLE WILL BE 45' UNLESS OTHERWISE SPECIFIED.
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- FIRE DEPARTMENT CONNECTION'S SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
- INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
- ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MINES SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS.
- WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.

**FIRE 1 PERMIT**  
ALBUQUERQUE FIRE MARSHAL'S  
OFFICE PLANS CHECK DIVISION  
PERMIT NUMBER: 21-005188  
APPROVED BY: [Signature]  
APPROVED DATE: [Date]

**APPROVED**

SQFT: 650 CONSTRUCTION TYPE: 1  
GPM: 1500 NUMBER OF HYDRANTS: 1

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



NO.	REVISION	BY	DATE

**Kimley»Horn**  
KIMLEY-HORN AND ASSOCIATES, INC.  
4652 South Ulster Street, Suite 1500  
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM  
DRAWN BY: AEM  
CHECKED BY: SAL  
DATE: 1/28/2021

LEGAL DESCRIPTION:  
SECTION 21, TOWNSHIP 10  
NORTH RANGE 2 EAST, CITY  
OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW  
MEXICO, TRACTS C48 AND  
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE  
ALBUQUERQUE, NEW MEXICO  
SITE PLAN  
FIRE 1 PLAN

PROJECT NO.  
096648005

DRAWING NAME  
FIRE PLAN

SHEET 1 OF 1  
F1



**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

**PROJECT NAME:** RV Storage - ABQ

**AGIS MAP #** Zone Atlas Map: K-09-Z

**LEGAL DESCRIPTIONS:** Tract C48 and C49, Unit 4 of Town of Atrisco Grant

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**


A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on 02/24/2021 (date).

Stephen Litsas 	03/03/2021
Applicant/Agent	Date
	03/04/21
Hydrology Division Representative	Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

X **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)) on 02/03/2021 (date).

Stephen Litsas 	03/03/2021
Applicant/Agent	Date
ABCWUA Representative	Date

**PROJECT #** 2020-004757

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.


**PROJECT NAME:** RV Storage - ABQ

**AGIS MAP #** Zone Atlas Map: K-09-Z

**LEGAL DESCRIPTIONS:** Tract C48 and C49, Unit 4 of Town of Atrisco Grant

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on 02/24/2021 (date).


Stephen Litsas   
Applicant/Agent 03/03/2021  
Date

Hydrology Division Representative Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

X **WATER AND SEWER AVAILABILITY STATEMENT**

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Stephen Litsas   
Applicant/Agent 03/03/2021  
Date

Luis Ordóñez-Olivas   
ABCWUA Representative 3/4/2021  
Date

**PROJECT #** 2020-004757

March 25, 2021

**Chair**

Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

**Vice Chair**

Klarissa J. Peña  
City of Albuquerque  
Councilor, District 3

Walt Benson  
County of Bernalillo  
Commissioner, District 4

Pat Davis  
City of Albuquerque  
Councilor, District 6

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Charlene Pyskoty  
County of Bernalillo  
Commissioner, District 5

*Ex-Officio Member*  
Pablo R. Rael  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
[www.abcwua.org](http://www.abcwua.org)

Stephan Litsas  
Kimley-Horn Associates, Inc.  
4582 S Ulster Street, Suite 1500I  
Denver, Colorado 80237

**RE: Water and Sanitary Sewer Availability Statement #210111**

**Project Name: RV Storage - Albuquerque**

**Legal Description: TR C-48 and C-49 TOWN OF ATRISCO GRANT UNIT 4 IN  
SEC 21 T10N R2E**

**UPC: 100905746717740609 & 100905748517640611**

**Zone Atlas Map: K-9**

Dear Mr. Litsas:

**Project Description:** The subject site is located on the northwest corner of the intersection of Volcano Rd and Central Ave. within the City of Albuquerque. The proposed development consists of approximately ten acres and the property is currently zoned NR-BP for business park use. The property lies within the Pressure Zone 2WR in the Atrisco trunk. The request for availability indicates plans to develop the site to accommodate a new recreational vehicle storage facility. It is understood that the facility will have 432 covered storage spaces totaling approximately 202,785 square feet and a 400 square foot office building.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- Six-inch cast iron distribution main (project #03-005-71) along Volcano Rd.
- 18-inch CCYL well collector line (project #09-004-77) along Volcano Rd.
- Six-inch cast iron distribution main (project #03-003-65) along Central Ave.
- Six-inch PVC distribution main (project #26-7172.81-05) located northeast of the site.

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch concrete pipe collector line (project #07-017-54) along Central Ave.
- Eight-inch PVC collector line (project #26-7172.81-05) located northeast of the site.

**Water Service:** New metered water service to the property can be provided contingent upon a developer funded project to replace the existing six (6) inch distribution main along Volcano Rd. with an eight (8) inch. The length of the extension shall be from the intersection of Volcano Rd. and Central Ave. to the southwest property corner of the site.

It is understood that a private fire line is required for the site. Please note that all onsite required hydrants are to be considered private and painted safety orange.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent

upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

**Sanitary Sewer Service:** Sanitary sewer service can be provided contingent upon a developer funded project to extend a public eight (8) inch sanitary sewer collector line extension, from existing manhole #K09791, along Volcano Rd., the length required to cover the sites frontage.

**Fire Protection:** From the request for availability the instantaneous fire flow requirements for the project are 1,500 gallons-per-minute. As modeled using InfoWater™ computer software, the fire flow cannot be met with the existing infrastructure along the site's frontage. It is to be noted that the fire flow can be met with the aforementioned developer funded improvements. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Please note that the engineer designing the fire line is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

**Easements:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

**Pro Rata:** As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as

detailed in the Water Authority Water and Wastewater System Expansion Ordinance. Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction** of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Bernalillo County Department of Public Works and Water Authority Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

**Costs and Fees:** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

**Water Use:** Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,

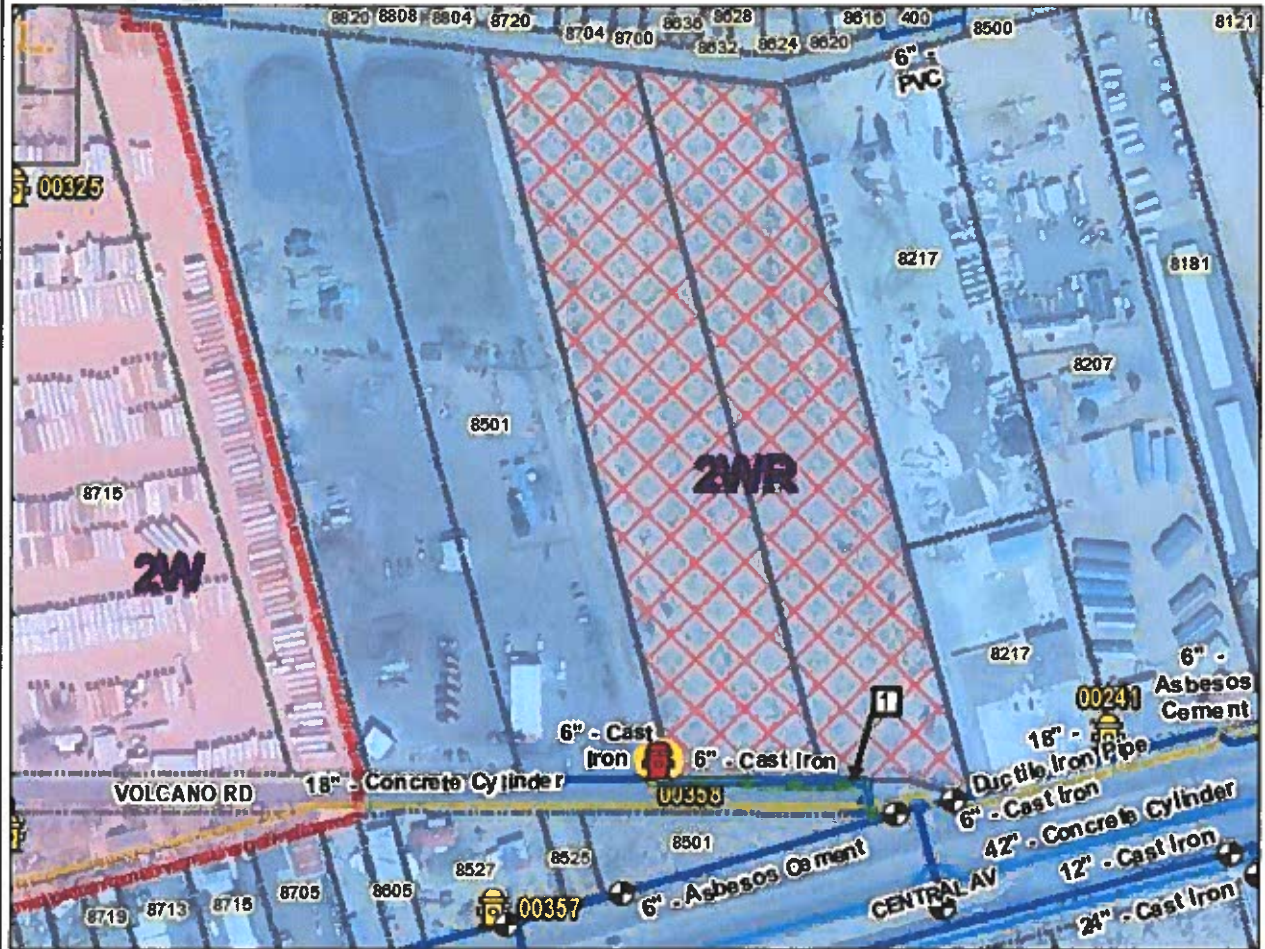


Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps (2)  
f/ Availability Statement 210111



## 210111 - Water



### Legend

- Project Location
- Valve
- Analysis Point
- Hydrant

0 450 900 Feet



--- General Map Keyed Notes

1. --- Existing Public Waterline To Be Upsized

### Pipe

#### SUBTYPE

- Distribution Line
- Hydrant Leg
- In Zone Transmission
- Well Collector Line
- Pressure Zone Boundary
- 2W
- 2WR





## 210111 - Sanitary Sewer



### Legend

Project Location

Sewer Manhole

### Sewer Pipe

#### SUBTYPE

COLLECTOR

0 450 900 Feet



-- General Map Keyed Notes

1. --- Proposed Sewer Extension

2. --- Connection Manhole K-09791



3/4/2021

City of Albuquerque  
Development Review Board  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Site Plan DRB Review - Letter of Justification

Dear DRB,

Kimley-Horn is pleased to submit this Letter of Justification on behalf of our Client, Macritchie, for the DRB Site Plan Review process (herein referred to as the “Project”).

The Project is to be a RV Storage development is in accordance with the IDO 6-6(G)(3) criteria. The conditions of criteria are:

- a. The carport would strengthen or reinforce the architectural character of the surrounding area.
  - a. Justification: The carport will strengthen the architectural character of the area. The canopy details can be found on page 11 of the plan set and will provide a cohesive and clean architectural character to the neighborhood.
- b. The carport would not be injurious to adjacent properties, the surrounding neighborhood, or the larger community.
  - a. Justification: An opaque screen wall will be used along the northern border of the site adjacent to the residential properties, and significant landscaping has been proposed onsite
- c. The design of the carport complies with the provisions in Subsection 14-16-5-5(F)(2)(a)3
  - a. Justification: The design of the carports will adhere to these provisions.
- d. No carport wall is a hazard to traffic visibility, as determined by the Traffic Engineer
  - a. Justification: The carports will be all located on-site, and be of no hazard to traffic visibility. The Traffic Engineer did not note any visibility concerns with the proposed plans or structures onsite, refer to Traffic Scoping form included in the DRB submittal package.
- e. The carport is not taller than the primary building on the lot
  - a. Justification: This site is unique, as there is no primary building on the site. The canopies are the only structure on site, and therefore this specific section of the code should not apply. We are requesting a variance for this section of the code on this submission.

The above described use will adhere to the codes and requirements outlined within the City’s design standards. We are excited to bring this project to the City.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Litsas', with a large, stylized loop at the end.

Stephen Litsas  
Kimley-Horn



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Site Plan and Plat.		
Decision-making Body: Design Review Board (DRB)		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: Corner of Volcano Road and Central Avenue		
Name of property owner: Macritchie, Inc		
Name of applicant: Kimley-Horn Associates		
Date, time, and place of public meeting or hearing, if applicable:		
Address, phone number, or website for additional information:		
Stephen Litsas - (720) 647-6231 - 4582 South Ulster Street, Suite 1500, Denver, CO 80237		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

\_\_\_\_\_  
Annie Morgan (Applicant signature) 1.18.2021 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**




**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.



Name and Address of Sender



**Kimley Horn**  
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Denver, CO 80237

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1. TRUJILLO MARY ELIZABETH C/O KUPJACK  
TIMOTHY & KUPJACK EDWARD J  
209 ATLANTIC AVE SW  
ALBUQUERQUE NM 87102

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\_\_\_\_\_

2. SANDOVAL JESUS M SALCIDO  
1321 2ND ST SW  
ALBUQUERQUE NM 87102

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3. GARCIA-DOMINGUEZ SUSAN ANNETTE &  
DOMINGUEZ ALAN SIXTUS  
PO BOX 7051  
ALBUQUERQUE NM 87194-7051

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\_\_\_\_\_

4. LUCAS JOHN L  
909 2ND ST SW  
ALBUQUERQUE NM 87102-4281

\_\_\_\_\_

\_\_\_\_\_

5. HOMEWISE INC  
1301 SILER RD BLDG D  
SANTA FE NM 87507-3540

\_\_\_\_\_

\_\_\_\_\_

6. CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248

\_\_\_\_\_

\_\_\_\_\_

7. VIWA JOINT VENTURE BY ESPANOLES LLC &  
ASHCRAFT REAL ESTATE & DEVEL CORP & ETAL  
ATTN BERGER BRIGGS  
ALBUQUERQUE NM 87107-6833

\_\_\_\_\_

\_\_\_\_\_

8. SALAZAR FRANCES & BERNARDO SALAZAR  
5528 CAMINO VIENTO NW  
ALBUQUERQUE NM 87120-1905

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1.	HOMEWISE INC 716 2ND ST SW ALBUQUERQUE NM 87102-0000			Handling Charge - if Registered and over \$50,000 in value											
2.	SANCHEZ CARMEN F 1115 2ND ST SW ALBUQUERQUE NM 87102														
3.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120								Adult Signature Required	Adult Signature Restricted Delivery					
4.	NAVARRETE TONY R & LEONELLA RITA TRUSTEES NAVARRETE RVT 328 GREENWICH RD SW ALBUQUERQUE NM 87105-3809									Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling	
5.	SAUCEDO SAMUEL 905 2ND ST SW ALBUQUERQUE NM 87102-4281														
6.	CONWAY SCOTT A 915 2ND ST SW ALBUQUERQUE NM 87102-4281														
7.	ATCHISON TOPEKA & SANTA FE RAILWAY CO PO BOX 1738 TOPEKA KS 66628-0001														
8.	PUBLIC SERVICE CO OF NM ALVARADO SQUARE ALBUQUERQUE NM 87158														



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1.	MATTA TONY C 1002 COMMERCIAL ST SE ALBUQUERQUE NM 87102													
2.	SMITH GREY 820 COMMERCIAL ST SE ALBUQUERQUE NM 87102-4214													
3.	JUAREZ MAURO & SOCORRO 1305 2ND ST SW ALBUQUERQUE NM 87102													
4.	THOMAS RAMONA M PO BOX 12353 ALBUQUERQUE NM 87195-2353													
5.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
6.	MONTEZ WENDY LEE & GILBERT GARY 1111 2ND ST SW ALBUQUERQUE NM 87102-4125													
7.	PADILLA ANDREW C/O CANO CECILIA & GRAJEDA MARTHA G 310 SANTA FE AVE SW ALBUQUERQUE NM 87102-4162													
8.	REALYVAZQUEZ ARON A 208 ATLANTIC AVE SW ALBUQUERQUE NM 87102													

Handling Charge - if Registered and over \$50,000 in value



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1.	PROVENCIO RAY MARK 200 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178			Handling Charge - if Registered and over \$50,000 in value											
2.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120														
3.	MONTOYA LILLY & PATRICK A 1802 CONITA REAL AVE SW ALBUQUERQUE NM 87105								Adult Signature Required	Adult Signature Restricted Delivery					
4.	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.	VIGIL SALLY C & DORTHEA GALLEGOS & MARTINEZ SANDRA 1207 2ND ST SW ALBUQUERQUE NM 87102-4301								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
6.	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
7.	MARTIN CHRISTINE 1301 2ND ST SW ALBUQUERQUE NM 87102								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
8.	GENERATION PARTNERS 3540 SWENSON ST SUITE 100 LAS VEGAS NV 89169-9235								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
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1.	ARMIJO MICHELLE Y 1105 2ND ST SW ALBUQUERQUE NM 87102													
2.	NICOLE CANDICE 204 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178													
3.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120													
4.	SAIZ DAVID 215 16TH ST NW ALBUQUERQUE NM 87104-1221													
5.	SORIANO SAUL IRIGOYEN 1012 COMMERCIAL ST NE ALBUQUERQUE NM 87102-4405													
6.	JARAMILLO LORI L & CHAVEZ FRANK S 2700 LINDA PL SW ALBUQUERQUE NM 87105-4471													
7.	LUNA ADRIAN & RODIRGUEZ MARIA LUZ 202 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178													
8.	CARDENAS BLANCA E 9501 ROWEN RD SW ALBUQUERQUE NM 87121													

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1.	HERNANDEZ PEDRO & SOCORRO 1317 2ND ST SW ALBUQUERQUE NM 87102-4302													
2.	GARCIA LUZ 1215 2ND ST SW ALBUQUERQUE NM 87102-4301													
3.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120													
4.	ARMENTA JESUS M 1118 COMMERCIAL ST SE ALBUQUERQUE NM 87102-4406													
5.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
6.	NUNEZ GABRIEL R 802 COMMERCIAL ST SE ALBUQUERQUE NM 87102													
7.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
8.	GENERATION PARTNERS 3540 SWENSON ST SUITE 100 LAS VEGAS NV 89169-9335													

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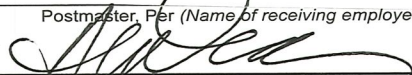
USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293			Handling Charge - if Registered and over \$50,000 in value											
2.	FLORES-MARTINEZ GLADYS M & MARTINEZ MARTIN L 1022 COMMERCIAL ST SE ALBUQUERQUE NM 87102														
3.	HERNANDEZ CARLOS & DEBRA 206 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178								Adult Signature Required	Adult Signature Restricted Delivery					
4.	GONZALEZ EMILIANO & GRADO NIDIA R CISNEROS 101 LEWIS AVE SE ALBUQUERQUE NM 87102-4415										Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.	TAFOYA HARRY J & BEATRICE 6651/2 ATRISCO DR SW ALBUQUERQUE NM 87105-3181														
6.	RAIL YARD LAND LLC 777 1ST ST SW ALBUQUERQUE NM 87102-0000														
7.	SANCHEZ JULIAN L 1115 2ND ST SW ALBUQUERQUE NM 87102													Signature Confirmation Restricted Delivery	
8.	VELASQUEZ VITA 407 OLIVIA RD LAS VEGAS NM 87701														




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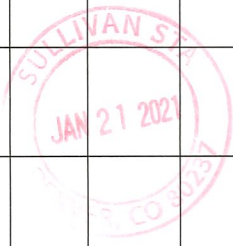
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Name and Address of Sender  

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| <input type="checkbox"/> Adult Signature Required            | <input type="checkbox"/> Priority Mail Express                      |
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| <input type="checkbox"/> Certified Mail Restricted Delivery  | <input type="checkbox"/> Signature Confirmation                     |
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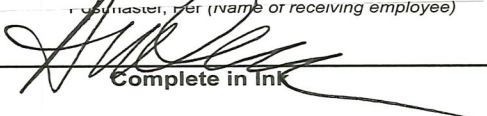
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1.	VIWA JOINT VENTURE BY ESPANOLES LLC & ASHCRAFT REAL EST & DEVEL CORP & ETAL ATTN BERGER BRIGGS ALBUQUERQUE NM 87107-6833			Handling Charge - if Registered and over \$50,000 in value											
2.	ROJU MARGARET A 919 2ND ST SW ALBUQUERQUE NM 87102-4281														
3.	CITY OF ALBUQUERQUE PO BOX 1293 ALBUQUERQUE NM 87103-2248								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	
4.	HOMEWISE INC 500 2ND ST SW ALBUQUERQUE NM 87102-3852														Special Handling
5.	TERRAZAS PEDRO M & DIONICIA 1116 COMMERCIAL ST SE ALBUQUERQUE NM 87102-4406														
6.	SANTIAGO ALEJANDRINA 1210 COMMERCIAL ST SE ALBUQUERQUE NM 87102														
7.	QUINTANA MARLENE T & GENE 108 CROMWELL AVE SE ALBUQUERQUE NM 87102-4216													Signature Confirmation	
8.	VIWA JOINT VENTURE BY ESPANOLES LLC & ASHCRAFT REAL ESTATE & DEVEL CORP & ETAL ATTN BERGER BRIGGS ALBUQUERQUE NM 87107-6833														




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1.	SAVEDRA JACOB N & DEBORAH C 2235 SKYBROOK DR NW ALBUQUERQUE NM 87120													
2.	DRISCOLL BRIAN 204 ATLANTIC AVE SW ALBUQUERQUE NM 87102													
3.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
4.	MCLLROY YNEZ 923 2ND ST SW ALBUQUERQUE NM 87102-4281													
5.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
6.	NUNEZ ANTONIO ETUX 412 67TH ST SW ALBUQUERQUE NM 87105													
7.	FREDERICK GENEVIEVE 200 ATLANTIC AVE SW ALBUQUERQUE NM 87102													
8.	VASQUEZ URIEL 1401 2ND ST SW ALBUQUERQUE NM 87102-4361													

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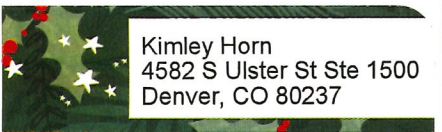


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1.	CITY OF ALBUQUERQUE PO BOX 1293 ALBUQUERQUE NM 87103-2248													
2.	GARCIA-DOMINGUEZ SUSAN ANNETTE & ALAN SIXTUS DOMINGUEZ PO BOX 7051 ALBUQUERQUE NM 87194-7051													
3.	NELSON MONICA V 6601 BURNS ST APT 1B REGO PARK NY 11374-3948													
4.	CHAVEZ JAMES T II 208 CROMWELL DR SW ALBUQUERQUE NM 87102													
5.	KNOBLAUCH CHARLES E & SUSANNE C 1023 2ND ST SW ALBUQUERQUE NM 87102													
6.	GENERATION PARTNERS 3540 SWENSON ST SUITE 100 LAS VEGAS NV 89169-9335													
7.	ESTRADA MARIA 1209 2ND ST SW ALBUQUERQUE NM 87102													
8.	LOPEZ ROBERT FELIX 1778 MISSION ST APT 6 SAN FRANCISCO CA 94103-2471													

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1.	PEREZ FERNANDO & SOLEDAD 1301 WALTER SE ALBUQUERQUE NM 87102													
2.	MORENO ANGELA 709 1ST ST SW ALBUQUERQUE NM 87102													
3.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
4.	Avalon NA Samantha Pina 423 Elohim Court NW Albuquerque, NM 87121													
5.	Avalon NA Lucy Anchondo 601 Stern Drive NW Albuquerque, NM 87121													
6.	South West Alliance of Neighborhoods (SWAN Coalition) Jerry Gallegos 5921 Central Avenue NW Albuquerque, NM 87105													
7. <b>X</b>														
8.	South West Alliance of Neighborhoods (SWAN Coalition) Luis Hernandez Jr. 5921 Central Avenue NW Albuquerque, NM 87105													
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office													

Handling Charge - if Registered and over \$50,000 in value



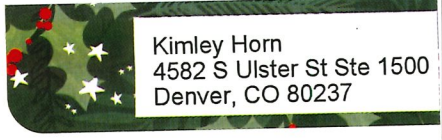
Adult Signature Required  
 Adult Signature Restricted Delivery  
 Restricted Delivery  
 Return Receipt  
 Signature Confirmation  
 Signature Confirmation Restricted Delivery  
 Special Handling

Complete in Ink

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Name and Address of Sender



Kimley Horn  
4582 S Ulster St Ste 1500  
Denver, CO 80237

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
(for additional copies of this receipt).  
**Postmark with Date of Receipt.**

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	Westside Coalition of Neighborhood Associations Rene Horvath 5515 Palomino Drive NW Albuquerque, NM 87120			Handling Charge - if Registered and over \$50,000 in value											
2.	Westside Coalition of Neighborhood Associations Elizabeth Haley 6005 Chaparral Circle NW Albuquerque, NM														
3.									Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
4.															
5.															
6.															
7.															
8.															



Total Number of Pieces Listed by Sender: 2

Total Number of Pieces Received at Post Office: 2

Postmaster, Per (Name of receiving employee): [Signature]

Complete in Ink

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# Thank You

Thank you for submitting your request. Please allow 24 – 48 hours to process your request for contact information.

**Public Notice Inquiry For:**

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

**Contact Name**

Stephen Litsas

**Telephone Number**

(720) 647-6231

**Email Address**

Stephen.Litsas@kimley-horn.com

**Company Name**

Kimley-Horn Associates

**Company Address**

4582 S Ulster Street. Suite 1500

**City**

Denver

**State**

CO

**ZIP**

80237

**Legal description of the subject site for this project:**

Tracts C48 and C49 Unity 4 Town of Atrisco Grant

**Physical address of subject site:**

Central Ave NW at Colcano Rd. NW

**Subject site cross streets:**

Volcano Road and Central Avenue

**Other subject site identifiers:****This site is located on the following zone atlas page:**

K-09-Z

Please attach a Zone Atlas Map that clearly indicates where the subject site is located.

application/pdf: 330768 bytes

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephen Litsas  
\_\_\_\_\_  
(Applicant or Agent)

1.19.2021  
\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** PR-2020-004757

## Litsas, Stephen

---

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Tuesday, January 19, 2021 8:33 AM  
**To:** Litsas, Stephen  
**Subject:** Volcano Rd and Central Ave Public Notice Inquiry  
**Attachments:** Zone Atlas Map.pdf

**Categories:** External

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1
Avalon NA	Samantha	Pina	ava99secretary@gmail.com	423 Elohim Court NW
Avalon NA	Lucy	Anchondo	avalon3a@yahoo.com	601 Stern Drive NW
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccd@gmail.com	5921 Central Avenue NW
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccd.org	5921 Central Avenue NW
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact

the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

---

**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov  
**Sent:** Friday, January 15, 2021 12:05 PM  
**To:** Office of Neighborhood Coordination <stephen.litsas@kimley-horn.com>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Stephen Litsas

Telephone Number

720-647-6231

Email Address

[stephen.litsas@kimley-horn.com](mailto:stephen.litsas@kimley-horn.com)

Company Name

Kimley-Horn



Company Address

4582 South Ulster Street, Suite 1500

City

Denver

State

CO

ZIP

80237

Legal description of the subject site for this project:

No assigned street address yet. Tracts C48 and C49 Unit 4 Town of Atrisco Grant. The property is next door to Designco Construction at 8207 Central Ave NW, Albuquerque, NM 87121 on Central NW and Volcano SW, Albuquerque, NM, 87121. See zone atlas page

Physical address of subject site:

No assigned address. See description above

Subject site cross streets:

Volcano Rd and Central Ave

Other subject site identifiers:

This site is located on the following zone atlas page:

K-09-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.

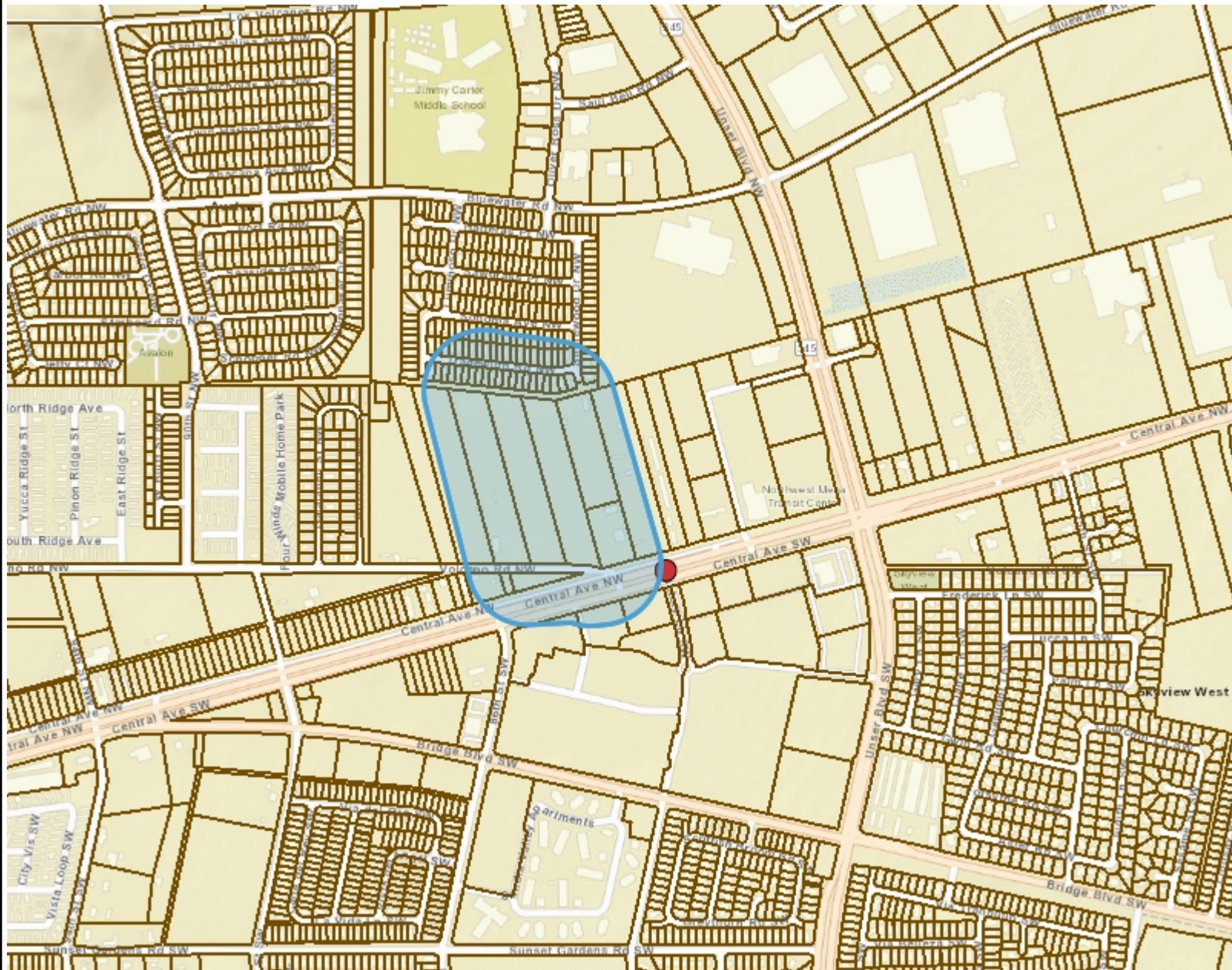


# Central Ave Sw and Valcano Rd Nw



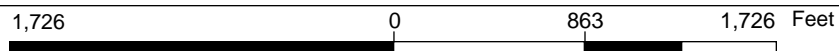
## Legend

□ Bernalillo County Parcels



## Notes

Buffer: 355 Ft.  
ROW Central Ave SW: 255 Ft.



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
1/15/2021 © City of Albuquerque

1: 10,354

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

TRUJILLO MARY ELIZABETH C/O  
KUPJACK TIMOTHY & KUPJACK  
EDWARD J  
209 ATLANTIC AVE SW  
ALBUQUERQUE NM 87102

LUCAS JOHN L  
909 2ND ST SW  
ALBUQUERQUE NM 87102-4281

VIWA JOINT VENTURE BY ESPANOLES  
LLC & ASHCRAFT REAL ESTATE & DEVEL  
CORP & ETAL  
ATTN BERGER BRIGGS  
ALBUQUERQUE NM 87107-6833

SANCHEZ CARMEN F  
1115 2ND ST SW  
ALBUQUERQUE NM 87102

SAUCEDO SAMUEL  
905 2ND ST SW  
ALBUQUERQUE NM 87102-4281

PUBLIC SERVICE CO OF NM  
ALVARADO SQUARE  
ALBUQUERQUE NM 87158

JUAREZ MAURO & SOCORRO  
1305 2ND ST SW  
ALBUQUERQUE NM 87102

MONTEZ WENDY LEE & GILBERT GARY  
1111 2ND ST SW  
ALBUQUERQUE NM 87102-4125

PROVENCIO RAY MARK  
200 CROMWELL AVE SW  
ALBUQUERQUE NM 87102-4178

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

SANDOVAL JESUS M SALCIDO  
1321 2ND ST SW  
ALBUQUERQUE NM 87102

HOMEWISE INC  
1301 SILER RD BLDG D  
SANTA FE NM 87507-3540

SALAZAR FRANCES & BERNARDO  
SALAZAR  
5528 CAMINO VIENTO NW  
ALBUQUERQUE NM 87120-1905

HOMEWISE INC  
803 2ND ST SW  
ALBUQUERQUE NM 87102-4120

CONWAY SCOTT A  
915 2ND ST SW  
ALBUQUERQUE NM 87102-4281

MATTA TONY C  
1002 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102

THOMAS RAMONA M  
PO BOX 12353  
ALBUQUERQUE NM 87195-2353

PADILLA ANDREW C/O CANO CECILIA  
& GRAJEDA MARTHA G  
310 SANTA FE AVE SW  
ALBUQUERQUE NM 87102-4162

HOMEWISE INC  
803 2ND ST SW  
ALBUQUERQUE NM 87102-4120

VIGIL SALLY C & DORTHEA GALLEGOS  
& MARTINEZ SANDRA  
1207 2ND ST SW  
ALBUQUERQUE NM 87102-4301

GARCIA-DOMINGUEZ SUSAN ANNETTE  
& DOMINGUEZ ALAN SIXTUS  
PO BOX 7051  
ALBUQUERQUE NM 87194-7051

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248

HOMEWISE INC  
716 2ND ST SW  
ALBUQUERQUE NM 87102-0000

NAVARRETE TONY R & LEONELLA RITA  
TRUSTEES NAVARRETE RVT  
328 GREENWICH RD SW  
ALBUQUERQUE NM 87105-3809

ATCHISON TOPEKA & SANTA FE  
RAILWAY CO  
PO BOX 1738  
TOPEKA KS 66628-0001

SMITH GREY  
820 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102-4214

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

REALYVAZQUEZ ARON A  
208 ATLANTIC AVE SW  
ALBUQUERQUE NM 87102

MONTOYA LILLY & PATRICK A  
1802 CONITA REAL AVE SW  
ALBUQUERQUE NM 87105

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

MARTIN CHRISTINE  
1301 2ND ST SW  
ALBUQUERQUE NM 87102

GENERATION PARTNERS  
3540 SWENSON ST SUITE 100  
LAS VEGAS NV 89169-9335

ARMIJO MICHELLE Y  
1105 2ND ST SW  
ALBUQUERQUE NM 87102

NICOLE CANDICE  
204 CROMWELL AVE SW  
ALBUQUERQUE NM 87102-4178

HOMEWISE INC  
803 2ND ST SW  
ALBUQUERQUE NM 87102-4120

SAIZ DAVID  
215 16TH ST NW  
ALBUQUERQUE NM 87104-1221

SORIANO SAUL IRIGOYEN  
1012 COMMERCIAL ST NE  
ALBUQUERQUE NM 87102-4405

JARAMILLO LORI L & CHAVEZ FRANK S  
2700 LINDA PL SW  
ALBUQUERQUE NM 87105-4471

LUNA ADRIAN & RODIRGUEZ MARIA  
LUZ  
202 CROMWELL AVE SW  
ALBUQUERQUE NM 87102-4178

CARDENAS BLANCA E  
9501 ROWEN RD SW  
ALBUQUERQUE NM 87121

HERNANDEZ PEDRO & SOCORRO  
1317 2ND ST SW  
ALBUQUERQUE NM 87102-4302

GARCIA LUZ  
1215 2ND ST SW  
ALBUQUERQUE NM 87102-4301

HOMEWISE INC  
803 2ND ST SW  
ALBUQUERQUE NM 87102-4120

ARMENTA JESUS M  
1118 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102-4406

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

NUNEZ GABRIEL R  
802 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

GENERATION PARTNERS  
3540 SWENSON ST SUITE 100  
LAS VEGAS NV 89169-9335

ALBUQUERQUE BERNALILLO COUNTY  
WATER UTILITY AUTHORITY  
PO BOX 1293  
ALBUQUERQUE NM 87103-1293

FLORES-MARTINEZ GLADYS M &  
MARTINEZ MARTIN L  
1022 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102

HERNANDEZ CARLOS & DEBRA  
206 CROMWELL AVE SW  
ALBUQUERQUE NM 87102-4178

GONZALEZ EMILIANO & GRADO NIDIA  
R CISNEROS  
101 LEWIS AVE SE  
ALBUQUERQUE NM 87102-4415

TAFOYA HARRY J & BEATRICE  
6651/2 ATRISCO DR SW  
ALBUQUERQUE NM 87105-3181

RAIL YARD LAND LLC  
777 1ST ST SW  
ALBUQUERQUE NM 87102-0000

SANCHEZ JULIAN L  
1115 2ND ST SW  
ALBUQUERQUE NM 87102

VELASQUEZ VITA  
407 OLIVIA RD  
LAS VEGAS NM 87701

VIWA JOINT VENTURE BY ESPANOLES  
LLC & ASHCRAFT REAL EST & DEVEL  
CORP & ETAL  
ATTN BERGER BRIGGS  
ALBUQUERQUE NM 87107-6833

ROJU MARGARET A  
919 2ND ST SW  
ALBUQUERQUE NM 87102-4281

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248

HOMEWISE INC  
500 2ND ST SW  
ALBUQUERQUE NM 87102-3852



TERRAZAS PEDRO M & DIONICIA  
1116 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102-4406

SANTIAGO ALEJANDRINA  
1210 COMMERCIAL ST SE  
ALBUQUERQUE NM 87102

QUINTANA MARLENE T & GENE  
108 CROMWELL AVE SE  
ALBUQUERQUE NM 87102-4216

VIWA JOINT VENTURE BY ESPANOLES  
LLC & ASHCRAFT REAL ESTATE & DEVEL  
CORP & ETAL  
ATTN BERGER BRIGGS  
ALBUQUERQUE NM 87107-6833

SAVEDRA JACOB N & DEBORAH C  
2235 SKYBROOK DR NW  
ALBUQUERQUE NM 87120

DRISCOLL BRIAN  
204 ATLANTIC AVE SW  
ALBUQUERQUE NM 87102

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

MCLLROY YNEZ  
923 2ND ST SW  
ALBUQUERQUE NM 87102-4281

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

NUNEZ ANTONIO ETUX  
412 67TH ST SW  
ALBUQUERQUE NM 87105

FREDERICK GENEVIEVE  
200 ATLANTIC AVE SW  
ALBUQUERQUE NM 87102

VASQUEZ URIEL  
1401 2ND ST SW  
ALBUQUERQUE NM 87102-4361

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103-2248

GARCIA-DOMINGUEZ SUSAN ANNETTE  
& ALAN SIXTUS DOMINGUEZ  
PO BOX 7051  
ALBUQUERQUE NM 87194-7051

NELSON MONICA V  
6601 BURNS ST APT 1B  
REGO PARK NY 11374-3948

CHAVEZ JAMES T II  
208 CROMWELL DR SW  
ALBUQUERQUE NM 87102

KNOBLAUCH CHARLES E & SUSANNE C  
1023 2ND ST SW  
ALBUQUERQUE NM 87102

GENERATION PARTNERS  
3540 SWENSON ST SUITE 100  
LAS VEGAS NV 89169-9335

ESTRADA MARIA  
1209 2ND ST SW  
ALBUQUERQUE NM 87102

LOPEZ ROBERT FELIX  
1778 MISSION ST APT 6  
SAN FRANCISCO CA 94103-2471

PEREZ FERNANDO & SOLEDAD  
1301 WALTER SE  
ALBUQUERQUE NM 87102

MORENO ANGELA  
709 1ST ST SW  
ALBUQUERQUE NM 87102

CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ekhaley@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Central Ave NW at Volcano Rd. NW  
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner\* Macritchie, Inc
3. Agent/Applicant\* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by\*<sup>3</sup>:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found\*<sup>4</sup>:

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*<sup>3</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*<sup>3</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

---



---



---

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 10 acres
  - b. IDO Zone District NR-BP
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative\*: Jerry Gallegos

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: jgallegoswccd@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Central Ave NW at Volcano Rd. NW  
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner\* Macritchie, Inc
3. Agent/Applicant\* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat

Summary of project/request<sup>3\*</sup>:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by\*:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 10 acres
  - b. IDO Zone District NR-BP
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Avalon NA

Name of NA Representative\*: Lucy Anchondo

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: avalon3a@yahoo.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:  
\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Central Ave NW at Volcano Rd. NW  
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner\* Macritchie, Inc
3. Agent/Applicant\* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat

Summary of project/request<sup>3\*</sup>:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by\*:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 10 acres
  - b. IDO Zone District NR-BP
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative\*: Luis Hernandez Jr.

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: luis@wccdg.org

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Central Ave NW at Volcano Rd. NW  
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner\* Macritchie, Inc
3. Agent/Applicant\* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat

Summary of project/request<sup>3\*</sup>:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by<sup>\*</sup>:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 10 acres
  - b. IDO Zone District NR-BP
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Westside Coalition of Neighborhood Associations

Name of NA Representative\*: Rene Horvath

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: aboard111@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Central Ave NW at Volcano Rd. NW  
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner\* Macritchie, Inc
3. Agent/Applicant\* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by\*:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

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4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 10 acres
  - b. IDO Zone District NR-BP
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Avalon NA

Name of NA Representative\*: Samantha Pina

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: ava99secretary@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Central Ave NW at Volcano Rd. NW  
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner\* Macritchie, Inc
3. Agent/Applicant\* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat

Summary of project/request<sup>3\*</sup>:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by\*:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 10 acres
  - b. IDO Zone District NR-BP
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_


<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

# SITE PLAN CHECKLIST

Project #: PR-2020-004757 Application #: SI-2021-00246

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

  
\_\_\_\_\_  
**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
  
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
  
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
  
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use



## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe the irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1 On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### A. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



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# RV STORAGE - ALBUQUERQUE

## SITE PLAN

### LEGAL DESCRIPTION:

#### PARCEL 1:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST OF THE N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AS THE SOUTHWEST CORNER OF SAID TRACT, BEING A SET 5/8 REBAR WITH PLASTIC CAP STAMPED LS 8911, ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO NORTHWEST BEING THE TRUE PLACE OF POINT AND BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION S 64' 57' 12" W, A DISTANCE OF 1244.30 FEET;

THENCE, N 15' 19' 45" W, A DISTANCE OF 1009.53 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING A POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION UNIT 2, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, S 83' 32' 41" E, A DISTANCE OF 228.21 FEET ALONG SOUTHERLY BOUNDARY OF THE SUNDANCE SUBDIVISION UNIT 2 TO THE NORTHEAST CORNER OF SAID TRACT, BEING A 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, N 14' 53' 31" W, A DISTANCE OF 1017.19 FEET DISTANCE TO THE SOUTHEAST CORNER OF SAID TRACT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE; N 68' 43' 02" W, A DISTANCE OF 97.76 FEET DISTANCE ALONG SAID RIGHT OF WAY SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, S 89' 48' 54" W, A DISTANCE OF 130.19 DISTANCE ALONG SAID RIGHT OF WAY TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911"; BEING THE SOUTHWEST CORNER OF SAID TRACT AND BEING THE TRUE POINT OF BEGINNING.

#### PARCEL 2:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, OF THE N.M.P.M., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911" AND BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION "7-K9", BEARS S 64' 57' 12" W, A DISTANCE OF 1244.30 FEET DISTANCE;

THENCE, N 89' 48' 54" W, A DISTANCE OF 211.54 FEET ALONG SAID RIGHT OF WAY TO THE SOUTHWEST CORNER OF SAID TRACT BEING A FOUND 5/8" REBAR SET ON CONCRETE "DISTURBED";

THENCE, N 15' 19' 45" W, A DISTANCE OF 1035.88 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION, UNIT 2, FOUND A ALUMINUM CAP,

THENCE, S 83' 32' 41" E, A DISTANCE OF 219.89 FEET ALONG SAID RIGHT SUBDIVISION TO THE NORTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, S 15' 19' 45" E, A DISTANCE OF 1009.53 FEET DISTANCE TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911", BEING THE SOUTHEAST CORNER OF SAID TRACT AND THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING.

### FLOODZONE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 4, 2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

### CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
4582 S ULSTER STREET, UNIT 1500  
DENVER COLORADO 80327  
CONTACT: DAN SKEEHAN, P.E.  
LICENSE: NM 21773  
PHONE: 303.228.2318  
DAN.SKEEHANE@KIMLEY-HORN.COM

### LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.  
4582 S ULSTER STREET, SUITE 1500  
CONTACT: CHRISTOPHER HEPLER, P.L.A.  
LICENSE: AZ 50732  
PHONE: 303.228.2315  
CHRISTOPHER.HEPLER@KIMLEY-HORN.COM

### DEVELOPER

MACRITCHIE, INC.  
142 HAWLEY ST., SUITE #5  
GRAYSLAKE, IL 60030  
PHONE: (403) 973-4882  
CONTACT: BEN LOKHORST  
BLOKHORST@MACRITCHIE.BIZ

### LAND SURVEYOR

PRECISION SURVEYS, INC.  
9200 SAN MATEO BOULEVARD, NE  
ALBUQUERQUE, NM 87113  
PHONE: 520.856.5700  
LICENSED SURVEYOR:  
LARRY W. MEDRANO R.L.S. #11993



VICINITY MAP  
1"=1000'

### LEGEND

	PROPERTY LINE
	EXISTING R.O.W. LINE
	EASEMENT/SETBACK (AS NOTED)
	PROPOSED FENCE
	PROPOSED SLOPE
	EXISTING SLOPE
	PROPOSED WATER LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD POWER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING SIGN
	PROPOSED SIGN
	EXISTING SS MANHOLE
	PROPOSED SS MANHOLE
	PROPOSED BEND
	PROPOSED SANITARY CLEANOUT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED DETENTION POND OUTLET STRUCTURE
	PROPOSED FLARED END SECTION
	PROPOSED LANDSCAPE
	PROPOSED PARKING BAYS
	PROPOSED DRIVE AISLE
	SIGHT TRIANGLES
	PROPOSED GATE
	PROPOSED MONUMENT SIGN

SHEET INDEX		
#	SHEET	SHEET TITLE
1	1	COVER SHEET
2	2	GENERAL NOTES
3	3	INITIAL EROSION AND SEDIMENT CONTROL PLAN
4	4	FINAL EROSION AND SEDIMENT CONTROL PLAN
5	5	EROSION AND SEDIMENT CONTROL DETAILS
6	6	EROSION AND SEDIMENT CONTROL DETAILS
7	7	SITE PLAN
8	8	GRADING, PAVING, AND DRAINAGE PLAN
9	9	UTILITY PLAN
10	10	SITE DETAILS 1
11	11	CANOPY ELEVATIONS
12	12	LANDSCAPE PLAN
13	13	LANDSCAPE PLAN
14	14	LANDSCAPE NOTES
15	15	LANDSCAPE DETAILS

### SITE DATA

SITE ADDRESS:	VOLCANO ROAD N.W. AND CENTRAL AVENUE N.W.
SITE AREA:	9.59 AC (417,740.4 SF)
NUMBER OF LOTS:	2
EXISTING USE:	VACANT
PROPOSED USE:	COVERED RV PARKING OF OPERABLE VEHICLES
PARCEL #:	141-21-0270
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
ZONING:	NON-RESIDENTIAL BUSINESS PARK (NR-BP)
OVERLAY ZONE:	AIRPORT ENVIRONS ZONE OVERLAY
BUILDING DATA:	1 STORY BUILDING
	FFE = 2921
	±650 SF
FAR:	LESS THAN 1%

### VEHICULAR PARKING DATA

**PARKING REQUIRED**  
NO PARKING REQUIRED PER TABLE 5-5-1, PART 14-16-5 OF THE INTEGRATED DEVELOPMENT ORDINANCE FOR THE CITY OF ALBUQUERQUE, NEW MEXICO FOR THE USE OF OUTDOOR STORAGE

<b>PARKING PROVIDED</b>	
STANDARD STALLS	2
MOTORCYCLE STALL	1
ACCESSIBLE STALLS	1
TOTAL	4

<b>RV STORAGE PROVIDED</b>	
11' X 45' STALLS	352
11' X 40' STALLS	10
11' X 30' STALLS	67
TOTAL	429

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**

©2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4652 South Ulster Street, Suite 1500  
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM  
DRAWN BY: AEM  
CHECKED BY: SAL  
DATE: 2/25/21

LEGAL DESCRIPTION:  
SECTION 21, TOWNSHIP 10  
NORTH RANGE 2 EAST, CITY  
OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW  
MEXICO. TRACT'S C46 AND  
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE  
ALBUQUERQUE, NEW MEXICO  
SITE PLAN  
COVER SHEET

PRELIMINARY

FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION  
**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096648005

DRAWING NAME  
096648005\_CV.dwg

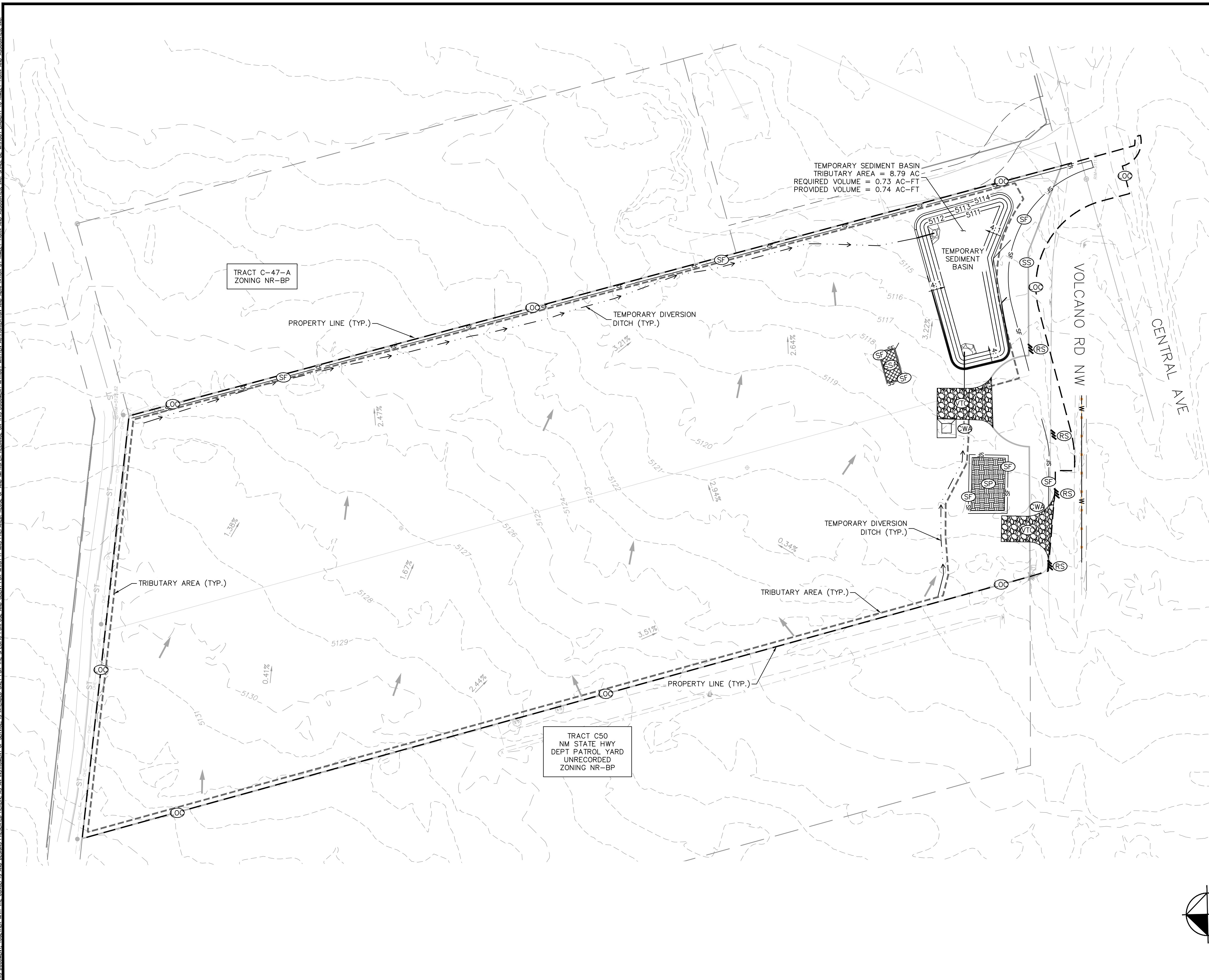
SHEET  
1







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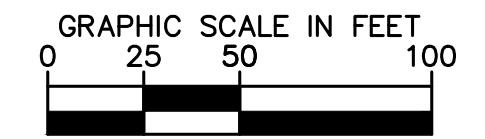
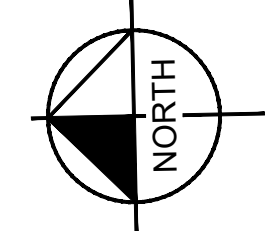


**LEGEND**

- PROPERTY LINE
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED RISER PIPE
- PROPOSED DIVERSION DITCH
- PROPOSED TRIBUTARY AREA
- PROPOSED STORM RIPRAP
- DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LIMITS OF CONSTRUCTION
- SILT FENCE
- STOCKPILE
- CONCRETE WASHOUT
- VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- STREET SWEEPING
- STABILIZED STAGING AREA
- ROCK SOCKS

**GENERAL NOTES**

1. TOTAL AREA OF DISTURBANCE = 9.89 AC



NO.	REVISION	BY	DATE	APPR

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 Denver, Colorado 80237 (303) 228-2300

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 MEXICO. TRACTS C48 AND  
 C49, UNIT 4.

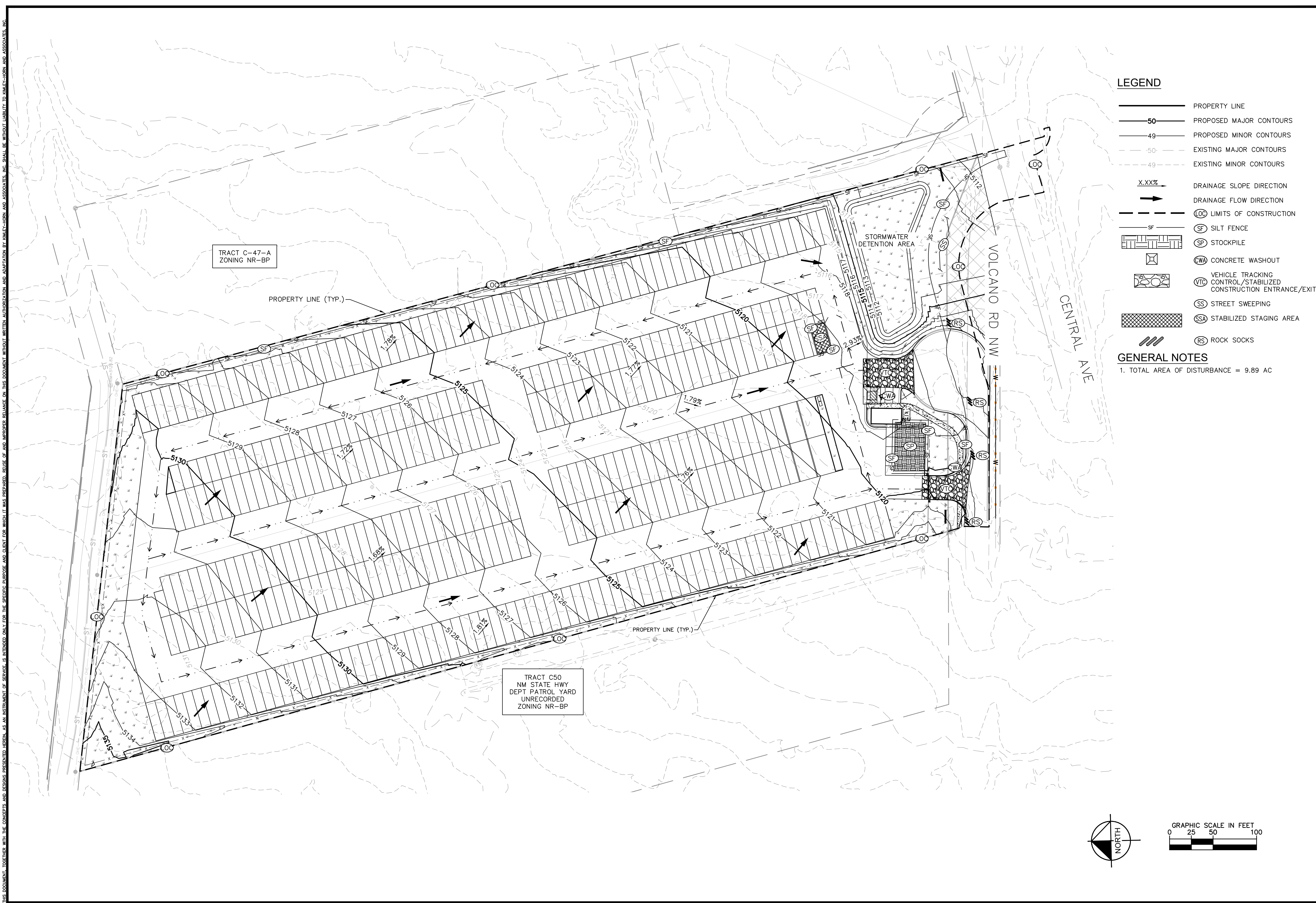
**RV STORAGE - ALBUQUERQUE  
 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
 INITIAL EROSION AND SEDIMENT CONTROL PLAN**

**PRELIMINARY**  
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PROJECT NO.  
096648005  
 DRAWING NAME  
EC PLAN  
 SHEET  
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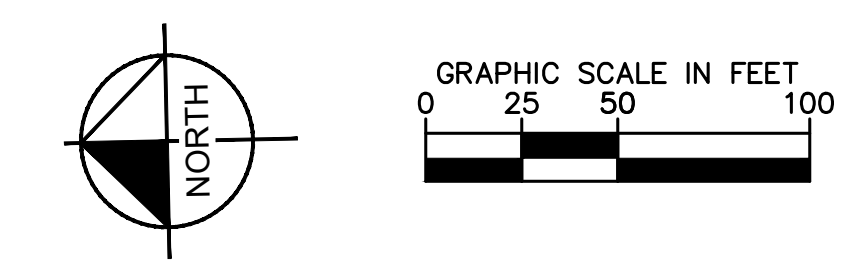


**LEGEND**

- PROPERTY LINE
- 50— PROPOSED MAJOR CONTOURS
- 49— PROPOSED MINOR CONTOURS
- - -50- - - EXISTING MAJOR CONTOURS
- - -49- - - EXISTING MINOR CONTOURS
- X.XX% DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LIMITS OF CONSTRUCTION
- SF SILT FENCE
- SP STOCKPILE
- CWA CONCRETE WASHOUT
- VTC VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- SS STREET SWEEPING
- SSA STABILIZED STAGING AREA
- RS ROCK SOCKS

**GENERAL NOTES**

1. TOTAL AREA OF DISTURBANCE = 9.89 AC



NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
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 OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW  
 MEXICO, TRACTS C46 AND  
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE  
 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
 FINAL EROSION AND SEDIMENT CONTROL PLAN**

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### Diversion Channel Dike and Swale (continued)

**MAINTENANCE REQUIREMENTS**

**Earth Dike (Berm)**

Dikes must be inspected on a weekly basis and after each significant (>0.5 inch) rainfall to determine if silt is building up behind the dike, or if erosion is occurring on the face of the dike. Silt shall be removed in a timely manner. If erosion is occurring on the face of the dike, the slopes of the face shall either be stabilized through mulch or seeding, or the slopes of the face shall be reduced.

**Diversion Channel (Swale)**

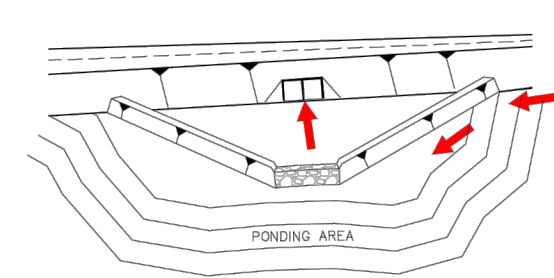
Inspection must be made weekly and after each significant (>0.5 inch) rainfall to locate and repair any damage to the channel or to clear debris or other obstructions so as not to diminish flow capacity. Damage from storms or normal construction activities, such as tire ruts or disturbance of swale stabilization, shall be repaired as soon as practical.

**NOTES**

- Berms shall have a minimum height of 18 inches, side slopes of 2:1 or flatter, and a minimum base width of 2 feet.
- The minimum freeboard shall be 6 inches.
- Berms and diversions should be constructed of compacted soil or coarse aggregate.
- All berms shall have an uninterrupted positive grade to a stabilized outlet.
- Diversion channels shall be excavated or shaped to line, grade, and cross section as indicated in the plans and as required to meet the criteria specified.
- Berms and diversion channels should be stabilized within 14 days of their construction.
- Periodically, and after each rain event, berms and dikes should be inspected, and accumulated sediments against berms should be removed.

01C11R.DOC A3-4

### Sediment Basin



**Applications**

- Perimeter Control
- Slope Protection
- ✓ Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

**Targeted Constituents**

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

**Impact**

- ✓ Significant
- ✓ Medium
- Low
- Unknown or Questionable

**DESCRIPTION**

A sediment basin is a pond area with a controlled outlet in which suspended sediment is allowed to settle. Provides treatment plus controlled outflow, minimizing flood problems down gradient.

**PRIMARY USE**

Sediment basins should be used where there is adequate open space to direct most of the site drainage into the basin. For sites with disturbed areas of more than 10 acres that are part or the same drainage area, sediment basins are required as either temporary or permanent controls, if there are no site limitations.

**APPLICATIONS**

A sediment basin is a treatment device, highly effective for removing sediment and other pollutants for the design storm event. Sediment basins shall be designed for two-year storm runoff. Maximum embankment height shall be 9 feet with a minimum top width of 8 feet. The side slopes shall be 2:1 or flatter.

**LIMITATIONS**

Sediment basins can be rather large, depending on site conditions, requiring the use of expensive development area and comprehensive planning for construction phasing prior to implementation.

Storm events that exceed the design storm event can cause damage to the spillway structure of the basin and may impact downstream concerns.

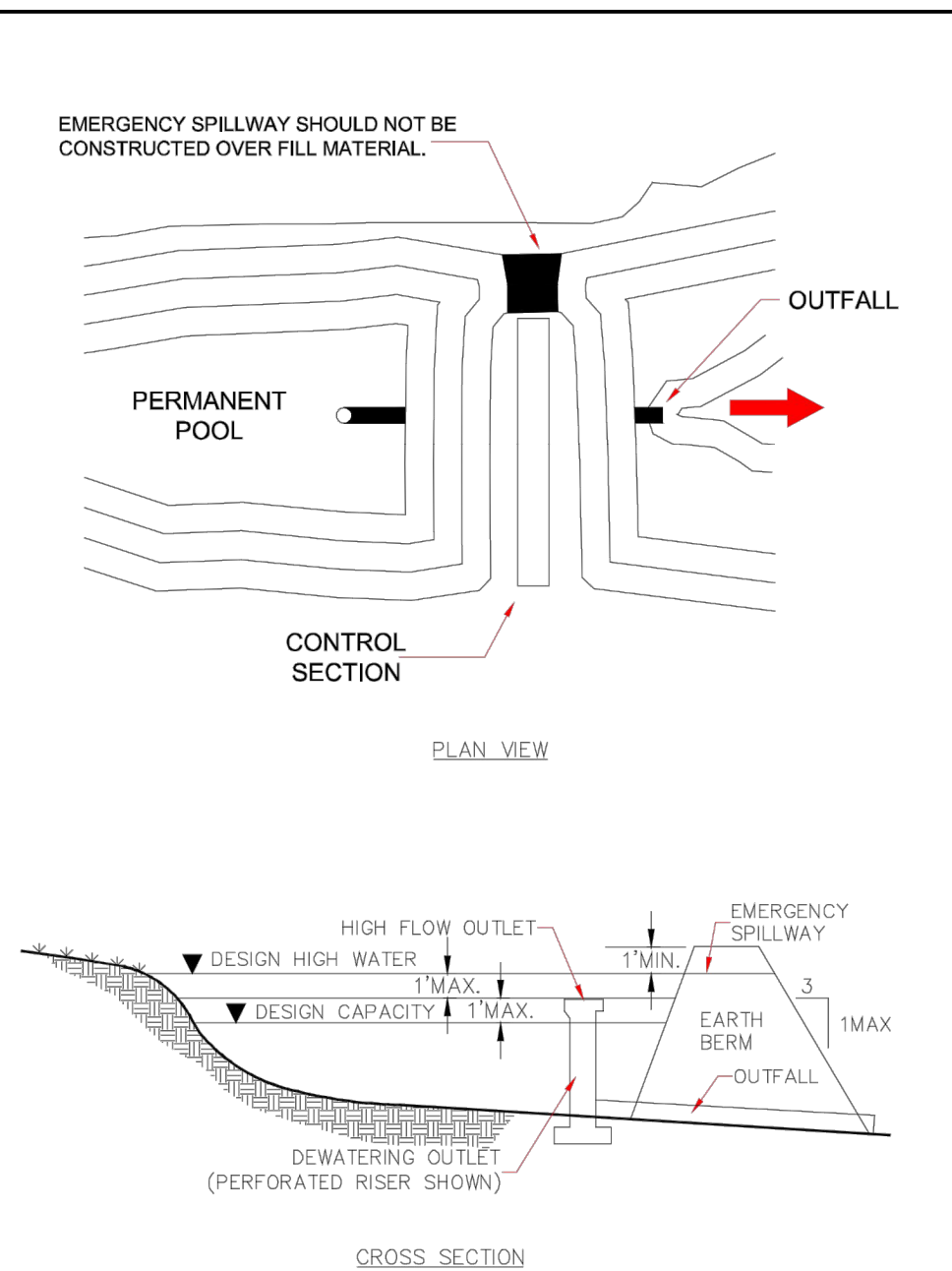
**MAINTENANCE REQUIREMENTS**

Sediment shall be removed and the basin shall be re-graded to its original dimensions when the capacity of the impoundment has been reduced to 20% of its original storage capacity. The removed sediment shall be stockpiled or redistributed in areas that are protected from erosion.

The basin outlet structure and emergency spillway (if present) should be checked frequently and after each major rain event to inspect for damage and to insure that obstructions are not diminishing the effectiveness of the structures.

01C11R.DOC A4-23

### Sediment Basin (continued)



**DESCRIPTION**

A flow restrictive device placed at the discharge point of a storm water detention basin or check structure. Outlet structures can provide mitigation for flowrates, velocities, floatables, and can provide sedimentation. Outlet Structures include a wide range of designs, including orifice plates, baffle-boxes, mechanical screens, ported risers, trash racks, and weir configurations.

**PRIMARY USE**

Primarily utilized to be utilized in conjunction with detention basins. May be utilized as temporary BMP for construction phase activities. Out Structures provide mechanism for metering flowrates and reducing velocities to allow particles and associated pollutants to settle.

**APPLICATIONS**

If constructed with initial grading operations, an outlet structure can provide a site-wide BMP for sediment control. In post-construction applications, Outlet Structures can provide mitigation of a wide range of pollutants. Outlet Structures are also utilized for site storm water flowrate mitigation, and are typically designed to provide both storm water quality as well as flowrate mitigation.

**LIMITATIONS**

Construction phase Outlet Structure may require regular maintenance to remove accumulated sediment.

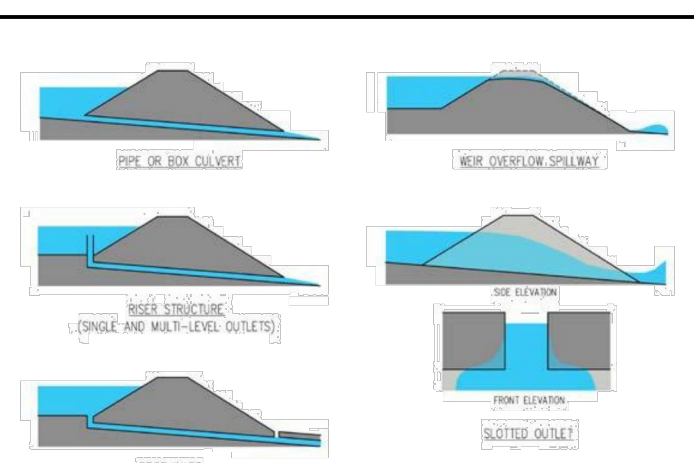
Outlet Structure requires an impoundment mechanism to convey flows into structure.

**MAINTENANCE REQUIREMENTS**

Inspections should be made on a monthly basis, especially after large storm events. If the Outlet Structure becomes inundated, debris and sediment removal are immediately required.

01C11R.DOC A4-24

### Outlet Structure



**Applications**

- Perimeter Control
- Slope Protection
- ✓ Sediment Trapping
- ✓ Channel Protection
- ✓ Temporary Stabilization
- ✓ Permanent Stabilization
- Waste Management
- Housekeeping Practices

**Targeted Constituents**

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

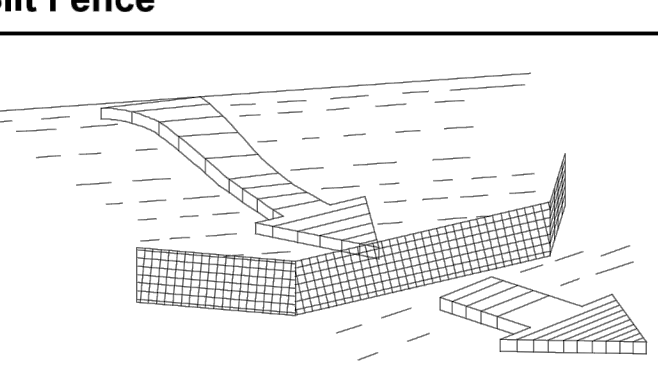
**Impact**

- ✓ Significant
- ✓ Medium
- Low Unknown or Questionable

**OS**

01C11R.DOC A3-25

### Silt Fence



**Applications**

- ✓ Perimeter Control
- ✓ Slope Protection
- ✓ Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

**Targeted Constituents**

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

**Impact**

- ✓ Significant
- ✓ Medium
- Low
- Unknown or Questionable

**DESCRIPTION**

A silt fence consists of geotextile fabric supported by backing stretched between posts, with the lower edge securely embedded in soil downstream of disturbed areas. Intercepts runoff in the form of sheet flow and provides filtration, sedimentation, and velocity reduction.

**PRIMARY USE**

Silt fences are used as perimeter control downstream of disturbed areas, and for non-concentrated sheet-flow conditions.

**APPLICATIONS**

Silt fences provide an economical way to mitigate overflow, non-concentrated flows, and as a perimeter control device. Best with coarse to silty soil types and to control wind erosion on sandy soils.

**LIMITATIONS**

Minor ponding will likely occur at the upstream side of the silt fence, resulting in minor localized flooding.

Fences that are constructed in swales or low areas subject to concentrated flow may be overtopped, resulting in failure of the filter fence. Silt fences subject to areas of concentrated flow (waterways with flows >1 cfs) are not acceptable.

Silt fence can interfere with construction operations; therefore, planning of access routes onto the site is critical.

Silt fence can fail structurally under heavy storm flows, creating maintenance problems and reducing the effectiveness of the system.

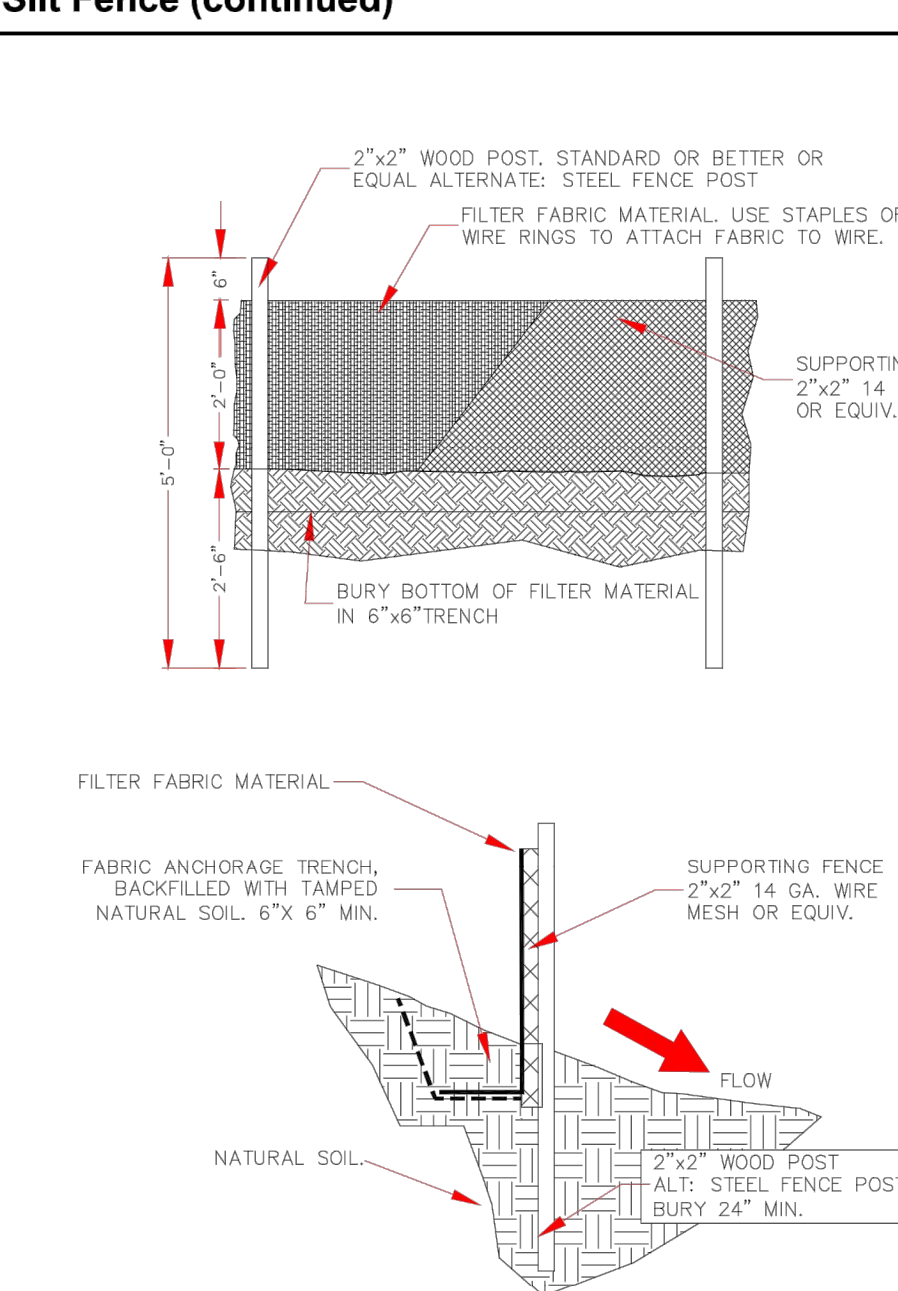
**MAINTENANCE REQUIREMENTS**

Inspections should be made on a weekly basis, especially after large storm events. If the fabric becomes clogged, it should be cleaned or, if necessary, replaced.

Sediment should be removed when it reaches approximately one-half the height of the fence.

01C11R.DOC A4-5

### Silt Fence (continued)



**DESCRIPTION**

A stabilized construction entrance consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter cloth, which is used to facilitate the washdown and removal of sediment and other debris from construction equipment prior to exiting the site. During the construction phase of a project, regular street sweeping should be performed to remove debris carried from the site.

**PRIMARY USE**

Stabilized construction entrances are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point.

**APPLICATIONS**

As a part to the erosion-control plan required for sites larger than five acres, and recommended for all construction sites.

**LIMITATIONS**

Selection of the construction entrance location is critical. To be effective, it must be used exclusively.

Stabilized entrances are rather expensive, considering that they must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.

**MAINTENANCE REQUIREMENTS**

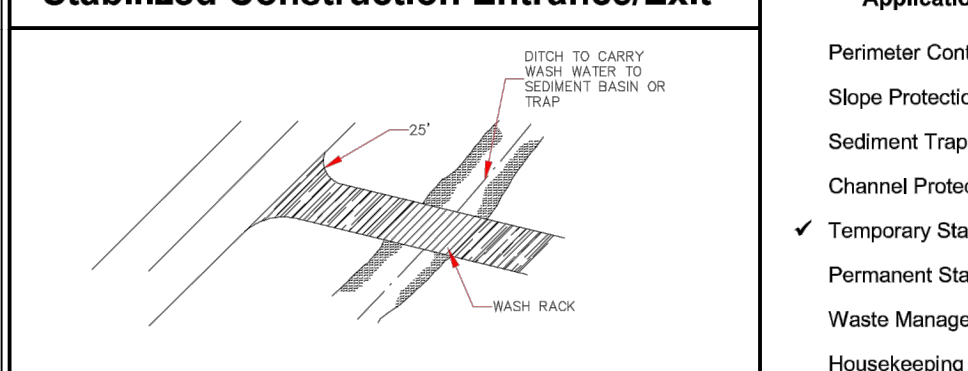
Inspections should be made on a regular basis and after large storm events in order to ascertain whether or not sediment and pollution are being effectively detained on site.

When sediment has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.

Periodic re-grading and top dressing with additional stone must be done to keep the efficiency of the entrance from diminishing.

01C11R.DOC A4-6

### Stabilized Construction Entrance/Exit



**Applications**

- Perimeter Control
- Slope Protection
- Sediment Trapping
- Channel Protection
- ✓ Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

**Targeted Constituents**

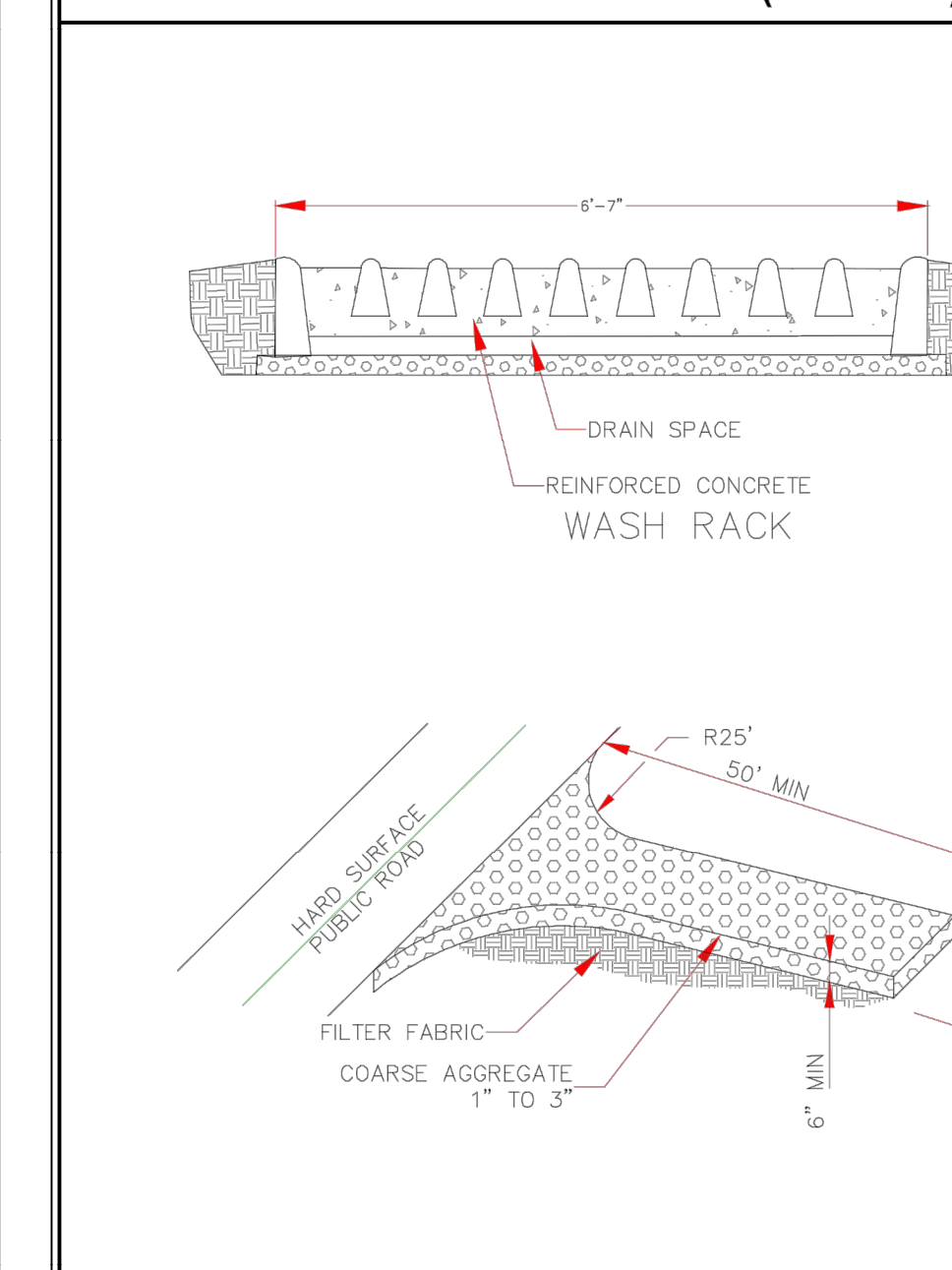
- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- Floatable Materials
- Construction Wastes

**Impact**

- ✓ Significant
- ✓ Medium
- Low
- Unknown or Questionable

01C11R.DOC A5-19

### Stabilized Construction Entrance/Exit (continued)



**DESCRIPTION**

Concrete waste management prevents or reduces the discharge of pollutants to storm water by conducting washout onsite, performing onsite washout in a designated area, and training employees and subcontractors.

**APPLICATIONS**

The following low-cost measures will help reduce storm water pollution from concrete wastes:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement onsite.
- Perform washout of concrete trucks offsite or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite except in designated areas.
- For onsite washout:
  - Locate washout area at least 50 feet from storm drains, open ditches, or water bodies. Prevent runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste.
  - Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed of properly.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water to a bermed or level area.
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stock pile, or dispose in the trash.
- Train employees and subcontractors in proper concrete waste management.

**LIMITATIONS**

Offsite washout of concrete wastes may not always be possible.

**MAINTENANCE REQUIREMENTS**

Inspect subcontractors to ensure that concrete wastes are being properly managed.

If using a temporary pit, dispose of hardened concrete on a regular basis.

01C11R.DOC A5-20

### Concrete Waste Management

**Applications**

- Perimeter Control
- Slope Protection
- Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- ✓ Waste Management
- ✓ Housekeeping Practices

**Targeted Constituents**

- Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- Floatable Materials
- ✓ Construction Wastes

**Impact**

- Significant
- ✓ Medium
- Low
- Unknown or Questionable

01C11R.DOC A5-13

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DRAWN BY: AEM  
CHECKED BY: SAL  
DATE: 2/26/21

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PROJECT NO.  
096648005

DRAWING NAME  
EC PLAN

SHEET  
3



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Seeding – Temporary/Vegetation	
<p><b>DESCRIPTION</b></p> <p>As a BMP, temporary seeding/vegetation is used to establish a temporary vegetative cover on disturbed areas by seeding with appropriate rapidly growing annual vegetation, annual grasses, small grains, or legumes. This short-term vegetative area will reduce erosion and sedimentation on disturbed areas that will not be permanently stabilized within an acceptable period of time. Temporary seeding will also reduce problems associated with mud and dust from construction activities on bare, unprotected soil surfaces.</p> <p><b>PRIMARY USE</b></p> <p>Temporary seeding should be considered for disturbed areas that will not be permanently stabilized or have work performed thereon for a period of 21 days or more. Such areas include denuded areas, soil stockpiles, dikes, berms, temporary embankments, excavation slopes, etc. As a temporary control, vegetation is used to stabilize stockpiles and barren areas that are inactive for long periods of time. As a permanent control, grasses and other vegetation provide good protection for the soil, along with some filtering for overland runoff. Subjected to acceptable runoff velocities, vegetation can provide a good method of permanent storm water management, as well as a visual amenity to the site.</p> <p>Other BMPs may be required to assist in the establishment of vegetation. These other techniques include erosion control matting, swales and dikes to direct flow around newly seeded areas; and proper grading to limit runoff velocities during construction.</p> <p><b>APPLICATIONS</b></p> <p>Planting should take place when conditions are most favorable for growth (as long as the planting does not interfere with the schedule of other activities and/or regulatory requirements). Before seeding, other erosion control practices such as dikes, basins, and surface runoff-control measures (e.g., interceptor dikes and swales, etc.) should be installed. Temporary bale barriers and silt fences may have to be placed/replaced after seeding operations, since they may get in the way of the machinery. However, use common sense to coordinate operations to maximize the effectiveness of the erosion control measures. Temporary seeding may not be an effective practice in arid and semi-arid regions where the climate prevents fast plant establishment. In those areas, or when seasonal planting restrictions prohibit, temporary mulching may be better for the short term.</p> <p>For further information, refer to Section 632 of <i>Standard Specifications for Highway and Bridge Construction</i> (New Mexico State Highway and Transportation Department [NMSHTD] 2000).</p>	<p><b>Applications</b></p> <ul style="list-style-type: none"> <li>✓ Perimeter Control</li> <li>✓ Slope Protection</li> <li>✓ Sediment Trapping</li> <li>✓ Channel Protection</li> <li>✓ Temporary Stabilization</li> <li>✓ Permanent Stabilization</li> <li>Waste Management</li> <li>Housekeeping Practices</li> </ul> <p><b>Targeted Constituents</b></p> <ul style="list-style-type: none"> <li>✓ Sediment</li> <li>Nutrients</li> <li>Toxic Materials</li> <li>Oil and Grease</li> <li>Floatable Materials</li> <li>Construction Wastes</li> </ul> <p><b>Impact</b></p> <ul style="list-style-type: none"> <li>✓ Significant</li> <li>Medium</li> <li>Low</li> <li>Unknown or Questionable</li> </ul> <div style="text-align: center; border: 1px solid black; border-radius: 50%; width: 30px; margin: 0 auto; padding: 2px;">SEED</div>

01C1R.DOC A2-3

Seeding – Temporary/Vegetation (continued)
<p>All seeded areas should be covered with mulch to provide protection from the weather. Frequent inspections are necessary to check that conditions for growth are good. If the plants do not grow quickly or thick enough to prevent erosion, the area should be reseeded as soon as possible.</p> <p>Temporary seed selection should take into account the season and location. Specific seed mixes can usually be found in the construction plans. The plans and specifications should reflect temporary seeding locations, quantities, and pay items. For suggested seed types, see Appendix D, Guidance on Seed Selection and Seeding of Temporary Vegetation on Disturbed Areas.</p> <p>Native grasses should not be used for temporary seeding. Irrigation or a temporary watering facility should be provided. Seed should be selected in accordance with local Natural Resources Conservation Service (NRCS) rules.</p> <p>Vegetative techniques can and should apply to every construction project, with few exceptions. Vegetation effectively reduces erosion in swales, stockpiles, berms, mild to medium slopes, and along roadways. Vegetative strips can provide some protection when used as a perimeter control for utility and site development construction.</p> <p><b>Surface Preparation</b></p> <ul style="list-style-type: none"> <li>• Interim or final grading must be completed prior to seeding, minimizing all steep slopes.</li> <li>• Install all necessary erosion structures such as dikes, swales, diversions, etc., prior to seeding.</li> <li>• Groove or furrow slopes steeper than 3:1 on the contour line before seeding.</li> <li>• Provide 4-6 inches of topsoil over rock, gravel, or otherwise unsuitable soils.</li> <li>• Seedbed should be well pulverized, loose, and uniform.</li> </ul> <p><b>Plant Selection, Fertilization and Seeding</b></p> <ul style="list-style-type: none"> <li>• Use only high quality, U.S. Department of Agriculture (USDA)-certified seed.</li> <li>• Use an appropriate species or species mixture adapted to local climate, soil conditions, and season. Consult with the local NRCS office or local County Extension Service as necessary for selection of proper species and application techniques in the area. Seeding rate should be in accordance with recommendations by the NRCS or Engineering Extension Service.</li> <li>• Fertilizer shall be applied according to the manufacturer's recommendation with proper spreader equipment. Typical application rate for 10-10-10 grade fertilizer is 700-1000 lb/acre. DO NOT OVER APPLY FERTILIZER.</li> <li>• If hydro-seeding is used, do not mix seed and fertilizer more than 30 minutes before application.</li> <li>• Evenly apply seed using cyclone seeder, seed drill, cultipacker, or hydroseeder.</li> <li>• Provide adequate water to aid in establishment of vegetation.</li> <li>• Use appropriate mulching techniques where necessary.</li> </ul>

01C1R.DOC A2-4

Mulching	
<p><b>DESCRIPTION</b></p> <p>Mulching is used to provide a stabilized surface for seeding or to prevent erosion using chemical soil stabilizers and a variety of organic or inorganic materials, netting, or mats.</p> <p><b>PRIMARY USE</b></p> <p>Mulching is used to prevent erosion by creating a permanent material to slow surface velocity, trap sediment, and protect surface areas around structures.</p> <p><b>APPLICATIONS</b></p> <p>Mulching is used in areas where permanent velocity control and sediment trapping will be required. Follow Section 632, pp. 684-685 of <i>Standard Specifications for Highway and Bridge Construction</i> (NMSHTD 2000).</p> <p><b>NOTES</b></p> <ul style="list-style-type: none"> <li>• Hay should consist of native grasses free of noxious weed seeds (certified weed-free hay or straw may be required in designated areas of the state).</li> <li>• Straw should consist of clean cereal shafts.</li> <li>• Hay and straw mulch should be spread at a rate of 1.5 to 2 tons per acre.</li> <li>• At a minimum, 65% of the mulch, by weight, should be 10 inches or more in length.</li> <li>• Applied mulch depth should not be less than 1 inch and not more than 2 inches. The mulch should be uniformly applied so that no more than 10% of the soil surface is exposed.</li> <li>• Hay and straw mulch should be anchored to the soil surface using tackifiers, blankets, or nets, or with a mulch-crimping machine. Mechanical anchoring, or crimping, is preferred and recommended for slopes flatter than 2:1. Blankets or nets on slopes steeper than 2:1 should be anchored to the soil.</li> <li>• Tackifiers (for anchoring) should consist of a free-flowing non-corrosive powder. This material shall not contain any mineral filler, recycled cellulose fiber, clays, or other substances that may inhibit germination or growth of plants.</li> <li>• Tackifiers (for anchoring) shall be applied in a slurry with water and wood fiber (100 lbs of powder and 150 lbs of fiber per 700 gallons of water). Application rate of powder should be between 80 and 200 lbs per acre.</li> </ul>	<p><b>Applications</b></p> <ul style="list-style-type: none"> <li>✓ Perimeter Control</li> <li>✓ Slope Protection</li> <li>✓ Sediment Trapping</li> <li>Channel Protection</li> <li>✓ Temporary Stabilization</li> <li>Permanent Stabilization</li> <li>Waste Management</li> <li>Housekeeping Practices</li> </ul> <p><b>Targeted Constituents</b></p> <ul style="list-style-type: none"> <li>✓ Sediment</li> <li>✓ Nutrients</li> <li>Toxic Materials</li> <li>Oil and Grease</li> <li>Floatable Materials</li> <li>Construction Wastes</li> </ul> <p><b>Impact</b></p> <ul style="list-style-type: none"> <li>✓ Significant</li> <li>✓ Medium</li> <li>Low</li> <li>Unknown or Questionable</li> </ul> <div style="text-align: center; border: 1px solid black; border-radius: 50%; width: 30px; margin: 0 auto; padding: 2px;">MU</div>

01C1R.DOC A2-5

NO.	REVISION	BY	DATE

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DESIGNED BY: AEM  
DRAWN BY: AEM  
CHECKED BY: SAL  
DATE: 2/26/21

**LEGAL DESCRIPTION:**  
SECTION 21, TOWNSHIP 10  
NORTH RANGE 2 EAST, CITY  
OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW  
MEXICO. TRACTS C46 AND  
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE  
ALBUQUERQUE, NEW MEXICO  
SITE PLAN  
EROSION AND SEDIMENT CONTROL DETAILS**

**PRELIMINARY**

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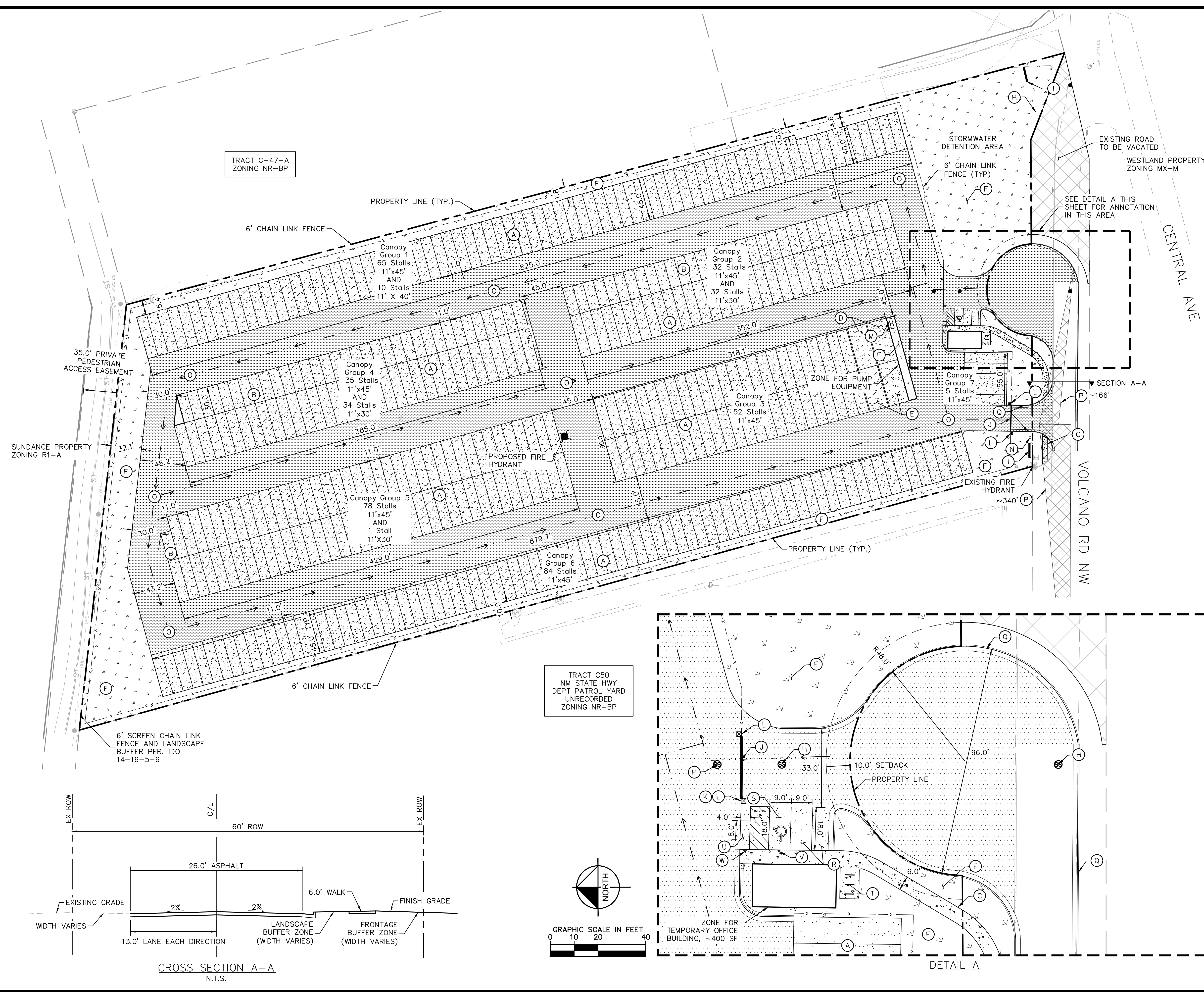
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- LEGEND**
- PROPOSED SITE PROPERTY LINE
  - - - SECTION LINE
  - - - EASEMENT LINE
  - X - SITE FENCE
  - PROPOSED PRIVATE FIRE HYDRANT
  - ⊙ PROPOSED SANITARY SEWER MANHOLE
  - - - CENTER LINE
  - CURB AND GUTTER
  - [Pattern] PROPOSED LANDSCAPE
  - [Pattern] ASPHALT PARKING BAYS
  - [Pattern] ASPHALT DRIVE AISLE
  - △ SIGHT TRIANGLES
  - PROPOSED GATE
  - PROPOSED MONUMENT SIGN
  - FIRE ROUTE

- SITE KEYNOTES**
- (A) RV CANOPY PARKING STALL (11' X 45') (TYP)
  - (B) RV CANOPY PARKING STALL (11' X 30') (TYP)
  - (C) PROPOSED 6.0' SIDEWALK
  - (D) PROPOSED DUMP STATION (20' X 45') (TYP)
  - (E) PROPOSED WASH STATION (20' X 45') (TYP)
  - (F) LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
  - (H) PROPOSED SANITARY SEWER MANHOLE
  - (I) PROPOSED MONUMENT SIGN
  - (J) 26" ELECTRIC SLIDING GATE
  - (K) KNOX BOX
  - (L) GATE CONTROL BOX
  - (M) PROPOSED TRASH ENCLOSURE
  - (N) PROPOSED STOP SIGN (36" X 36")
  - (O) FIRE CIRCULATION
  - (P) SIGHT TRIANGLE
  - (Q) PROPOSED CURB & GUTTER PER PAG STD. DTL. 209
  - (R) PROPOSED STANDARD 9' X 18' PARKING STALL (2)
  - (S) PROPOSED ADA STALL (1)
  - (T) PROPOSED BICYCLE PARKING (3)
  - (U) PROPOSED MOTORCYCLE PARKING (1)
  - (V) PROPOSED ACCESSIBLE PARKING SIGN
  - (W) PROPOSED MOTORCYCLE PARKING SIGN
- NOTES**
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

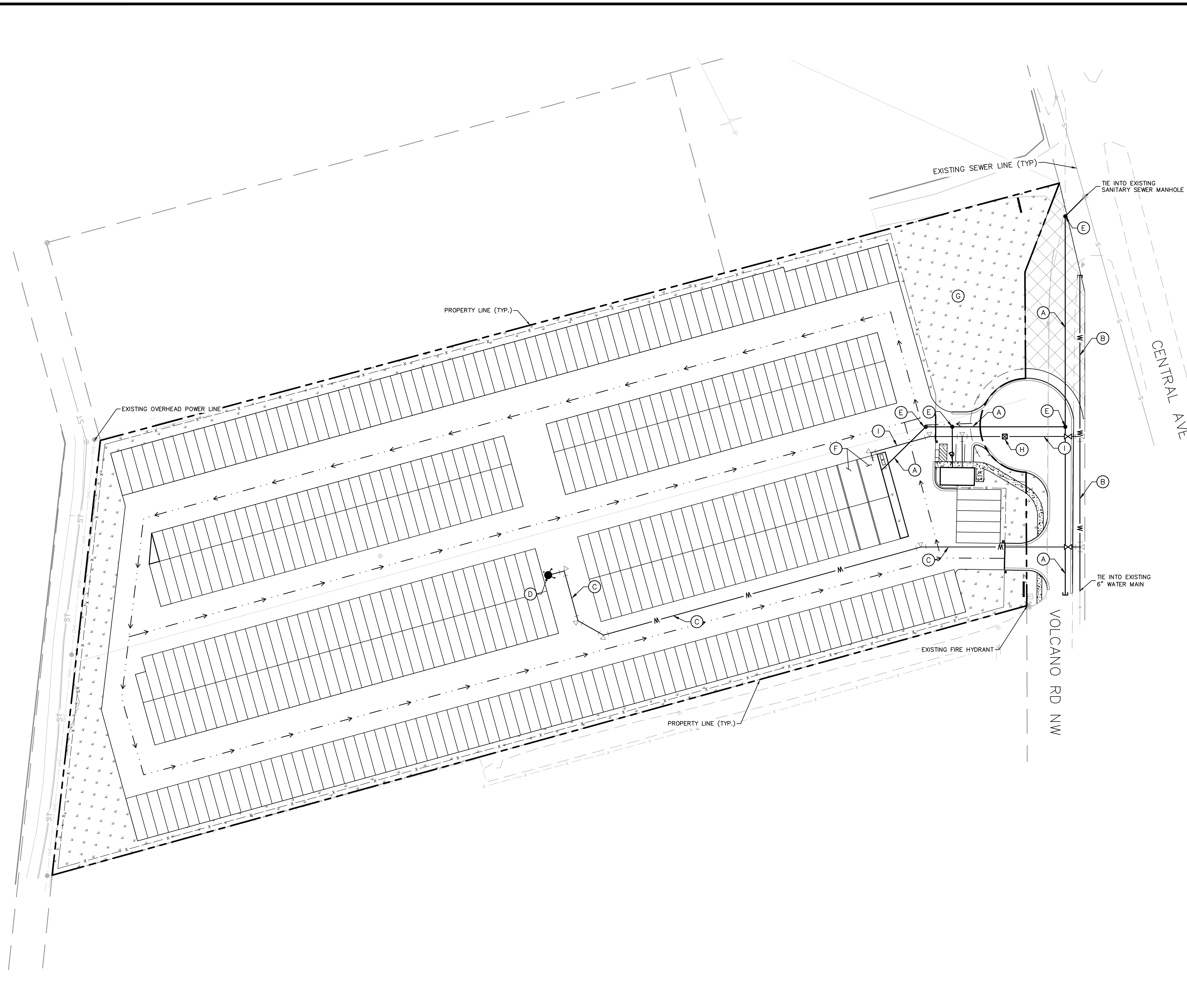
<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4652 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 228-2300</p>	<p style="font-size: 8px; margin: 0;">NO. _____ BY _____ DATE _____</p> <p style="font-size: 8px; margin: 0;">REVISION _____</p>
<p style="font-size: 8px; margin: 0;">DESIGNED BY: AEM DRAWN BY: AEM CHECKED BY: SAL DATE: 4/15/21</p>	
<p style="font-size: 8px; margin: 0;">LEGAL DESCRIPTION: SECTION 21, TOWNSHIP 10 NORTH RANGE 2 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. TRACTS C48 AND C49, UNIT 4.</p>	
<p style="font-size: 8px; margin: 0;">RV STORAGE - ALBUQUERQUE ALBUQUERQUE, NEW MEXICO SITE PLAN SITE PLAN</p>	
<p style="font-size: 8px; margin: 0;">PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="font-size: 8px; margin: 0;">Kimley»Horn Kimley-Horn and Associates, Inc.</p>	
<p style="font-size: 8px; margin: 0;">PROJECT NO. 096648005</p> <p style="font-size: 8px; margin: 0;">DRAWING NAME 096648005_SP.dwg</p>	
<p style="font-size: 8px; margin: 0;">SHEET 7</p>	







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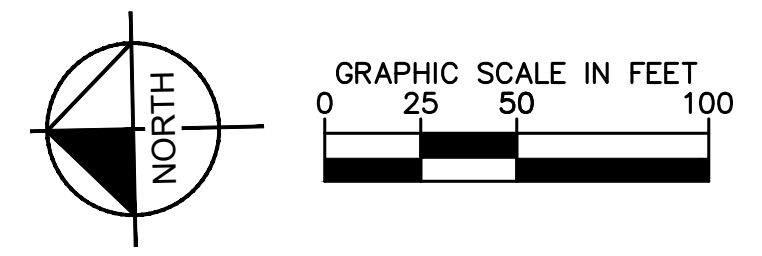
**LEGEND**

---	SITE PROPERTY LINE
— W —	PROPOSED WATER LINE
— S —	PROPOSED SSWR LINE
⊗	PROPOSED SANITARY SEWER MANHOLE

- SITE KEYNOTES**
- (A) PROPOSED 8" PVC SANITARY SEWER SERVICE @ 1% (MIN) SLOPE
  - (B) PROPOSED 8" PVC WATER MAIN
  - (C) PROPOSED 8" FIRE MAIN
  - (D) PROPOSED FIRE HYDRANT
  - (E) PROPOSED SANITARY SEWER MANHOLE
  - (F) PROPOSED RV DUMP STATION
  - (G) PRIVATE DETENTION POND
  - (H) PROPOSED 1" WATER METER
  - (I) PROPOSED 1" WATER LINE

**GENERAL NOTES**

- THESE PLANS ARE NOT FOR CONSTRUCTION. REFER TO THE FINAL APPROVED CONSTRUCTION PLANS.



NO.	REVISION	BY	DATE	APPR

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 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
 UTILITY PLAN**

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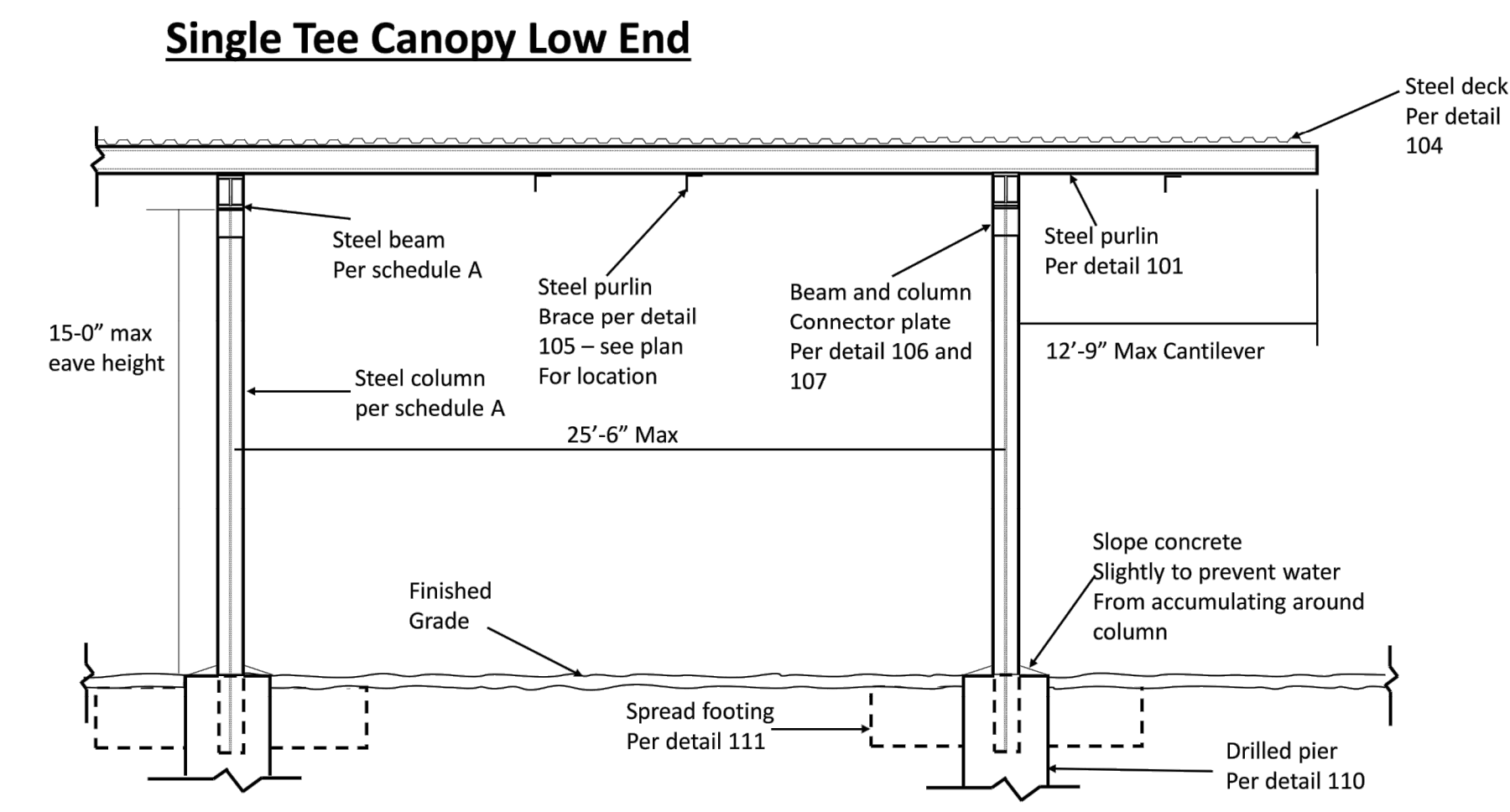
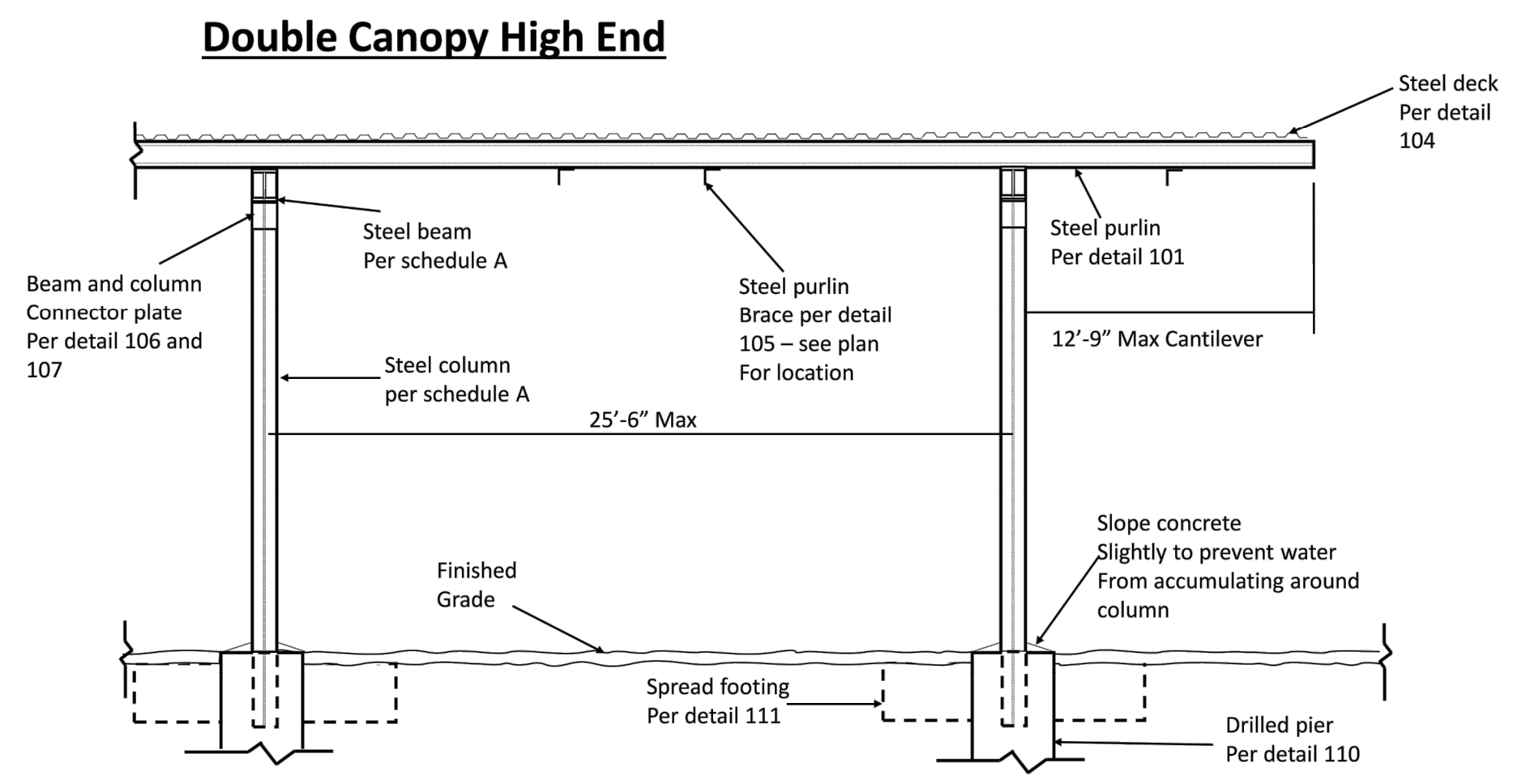
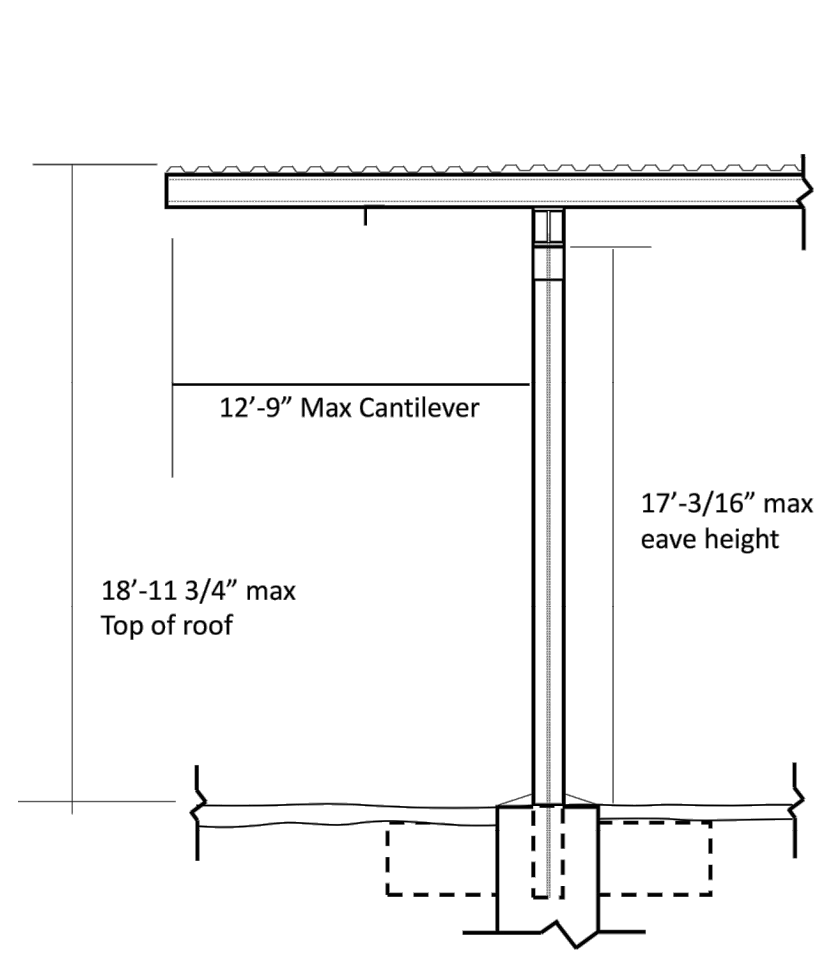
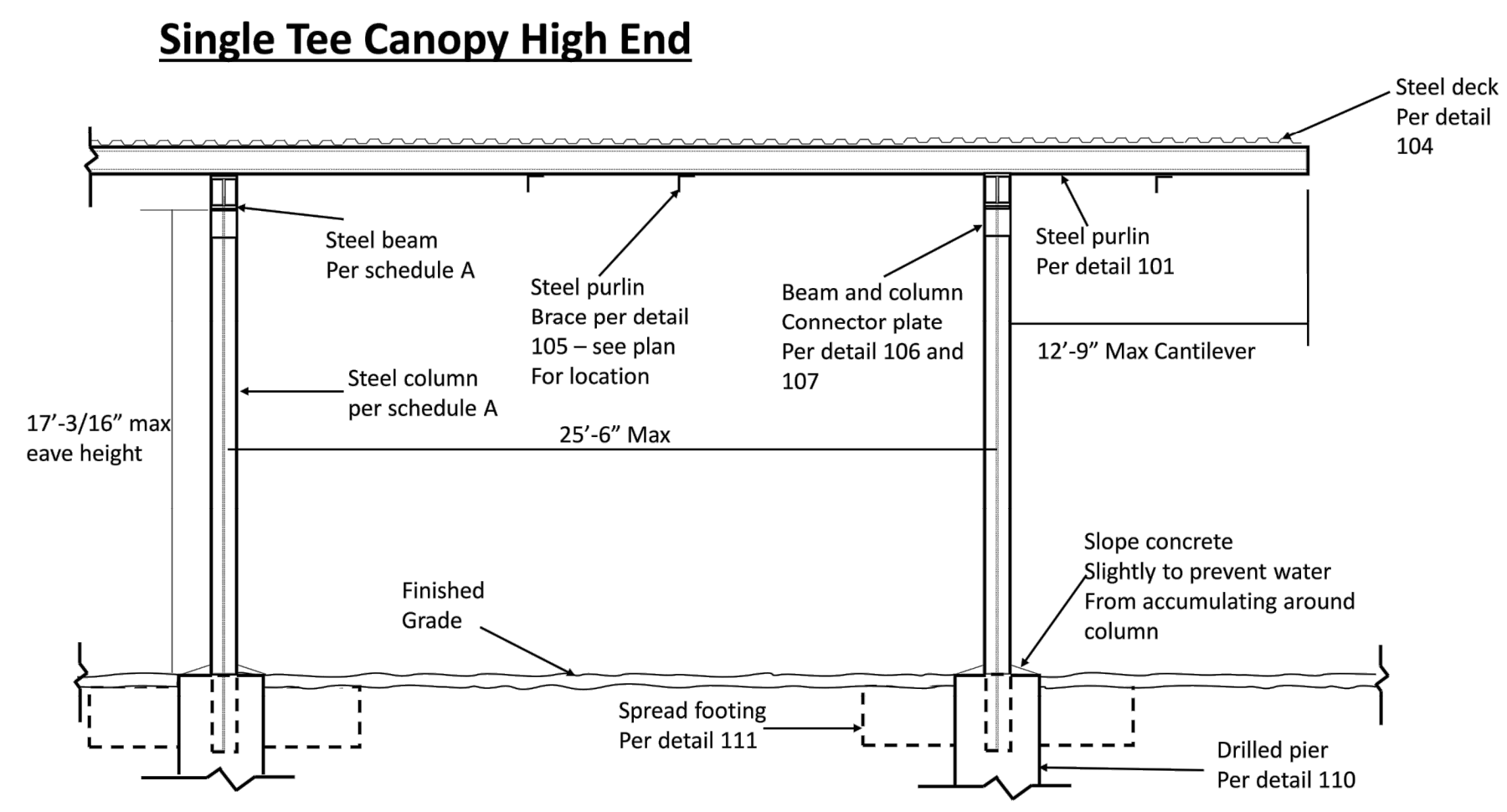
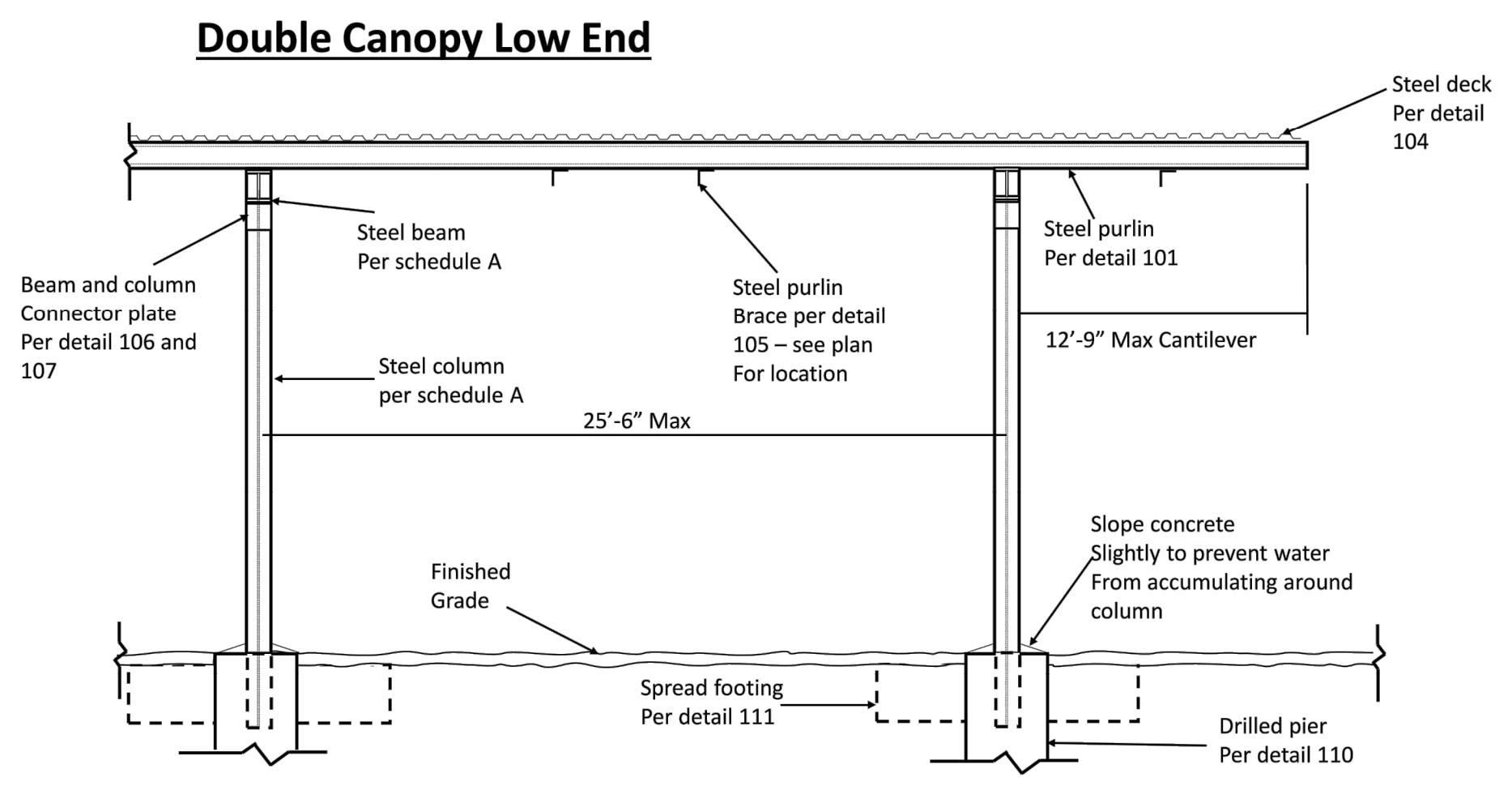
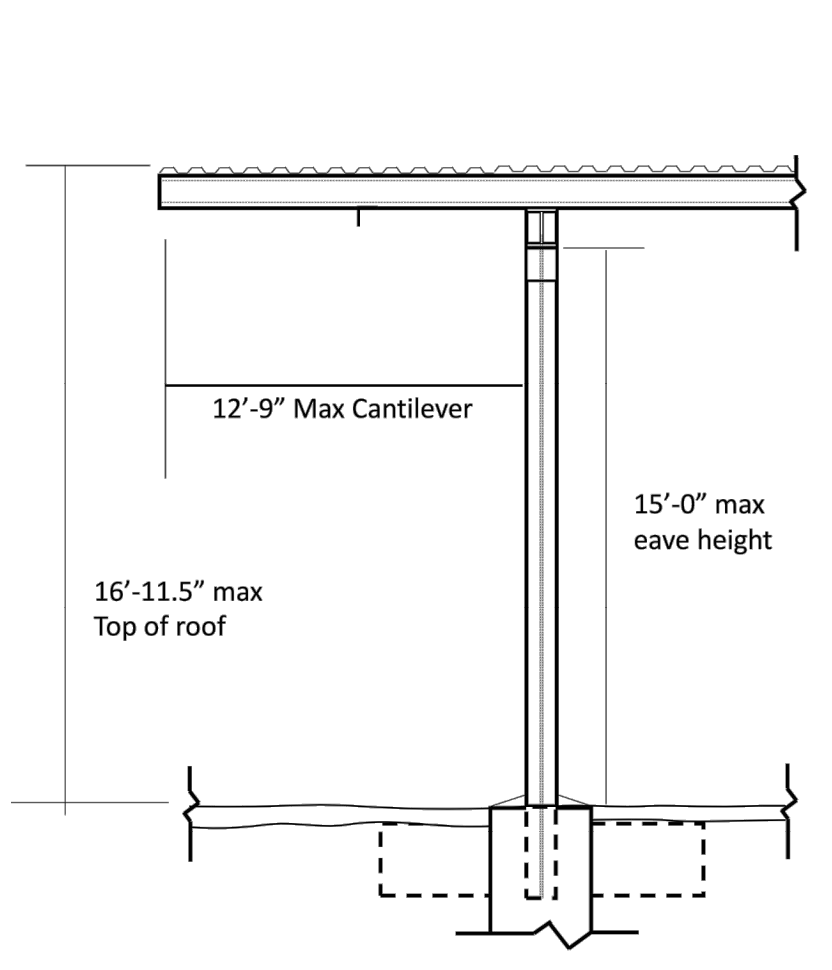
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LEGAL DESCRIPTION:  
 SECTION 21, TOWNSHIP 10  
 NORTH RANGE 2 EAST, CITY  
 OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW  
 MEXICO. TRACTS C48 AND  
 C49, UNIT 4.

RV STORAGE - ALBUQUERQUE  
 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
**CANOPY ELEVATIONS**

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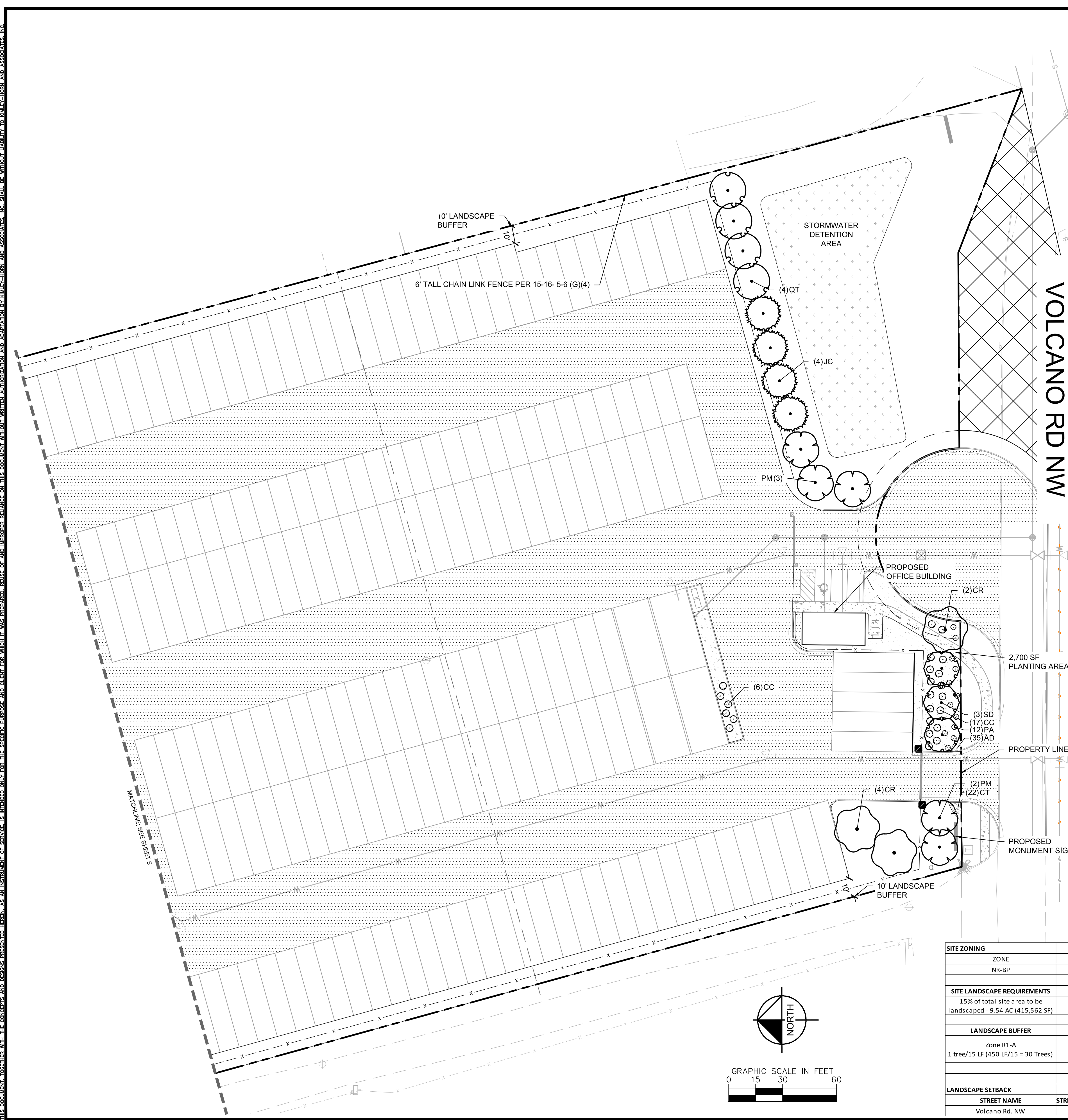
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### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CR	9	CELTIS RETICULATA	NETLEAF HACKBERRY	B & B	2" CAL MIN	12' HT MIN
	JC	16	JUNIPERUS CHINENSIS	JUNIPER	B & B		6' HT MIN
	PM	5	PROSOPIS GLANDULOSA 'MAVERICK'™	HONEY MESQUITE	B & B	2" CAL MIN	12' HT MIN
	QT	11	QUERCUS TURBINELLA	SONORAN SCRUB OAK	B & B	2" CAL MIN	12' HT MIN
	SD	8	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	12' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CC	30	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN
	PA	13	PENSTEMON AMBIGUUS	GILIA BEARDTONGUE	5 GAL	SEE PLAN	12" HT MIN
	RH	7	RUDBECKIA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	2,449 SF	1-1/2" - 2" RIVER ROCK MULCH		-		
	AD	64	ANACYCLUS DEPRESSUS	ALTAS DAISY	4" P.P.	4" POTS	12" OC 12" o.c.
	CT	71	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	1 GAL	4" POTS	18" OC 18" o.c.
	DD	8,452 SF	DETENTION SEED	DETENTION BASIN SEED MIX	SEED		
	NS	52,326 SF	NATIVE SEED MIX		SEED		

#### LANDSCAPE NOTES:

- TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
- NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
- THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
- VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
- TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
- IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

SITE ZONING		ZONE					
NR-BP							
SITE LANDSCAPE REQUIREMENTS		REQUIRED	PROVIDED				
15% of total site area to be landscaped - 9.54 AC (415,562 SF)		61,728 SF	63,227 SF				
LANDSCAPE BUFFER		REQUIRED	PROVIDED				
Zone R1-A 1 tree/15 LF (450 LF/15 = 30 Trees)		30 Trees	30 Trees				
LANDSCAPE SETBACK		STREET NAME	STREET NAME CLASSIFICATION	WIDTH (FT) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROV.
		Volcano Rd. NW	Local	5/5	400	1/25 LF	16/16
							NO. OF SPECIES REQ./PROV.
							5/5

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 Denver, Colorado 80237 (303) 228-2300

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DESIGNED BY: AEM  
 DRAWN BY: AEM  
 CHECKED BY: SAL  
 DATE: 2/26/21

**LEGAL DESCRIPTION:**  
 SECTION 21, TOWNSHIP 10  
 NORTH, RANGE 2 EAST, CITY  
 OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW  
 MEXICO, TRACTS C48 AND  
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE  
 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
 LANDSCAPE PLAN**

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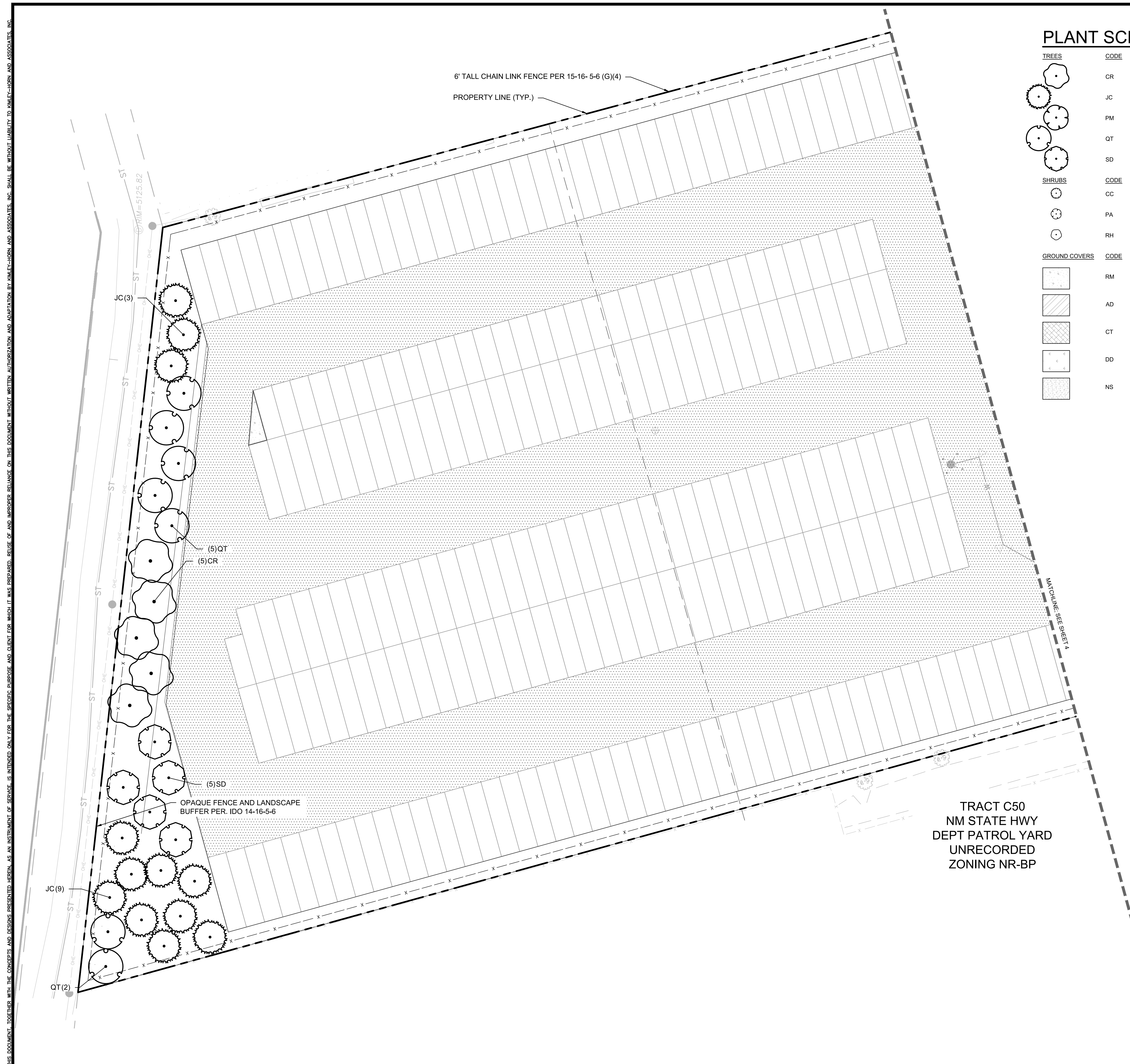
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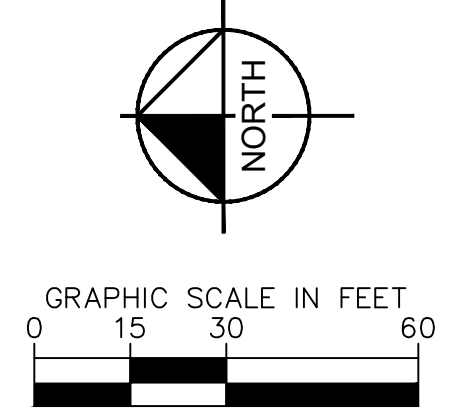
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TRACT C50  
 NM STATE HWY  
 DEPT PATROL YARD  
 UNRECORDED  
 ZONING NR-BP



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# GENERAL LANDSCAPE SPECIFICATIONS

## A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

## B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

## C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIPLINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

## D. MATERIALS

### 1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

### 2. PLANT MATERIALS

- FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

## E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
  - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
  - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

## F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S GROWN (BASE) OR AS SHOWN IN PLANTING DETAILS UNLESS OTHERWISE NOTED ON PLANS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (IF MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

## I. DIGGING AND HANDLING

1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
3. B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

## J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

## K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

## L. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

## M. PLANTING PROCEDURES

1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO, ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 'E'. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

## N. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

## 4. SODDING

- THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

- SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNERS REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

## 6. LAWN MAINTENANCE

- WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADEING IF NECESSARY.

- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

## O. EDGING

- CONTRACTOR SHALL INSTALL 4"x6" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

## P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNERS REPRESENTATIVE.

## Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.

## R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

## S. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.

2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

NO.	REVISION	BY	DATE

**Kimley»Horn**  
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4652 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM  
 DRAWN BY: AEM  
 CHECKED BY: SAL  
 DATE: 2/26/21

LEGAL DESCRIPTION:  
 SECTION 21, TOWNSHIP 10  
 NORTH, RANGE 2 EAST, CITY  
 OF ALBUQUERQUE,  
 BERNALILLO COUNTY, NEW  
 MEXICO, TRACTS C-48 AND  
 C-49, UNIT 4.

IRV STORAGE - ALBUQUERQUE  
 ALBUQUERQUE, NEW MEXICO  
 SITE PLAN  
 LANDSCAPE NOTES

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR  
 CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 096648005

DRAWING NAME  
 096648005\_LA.dwg

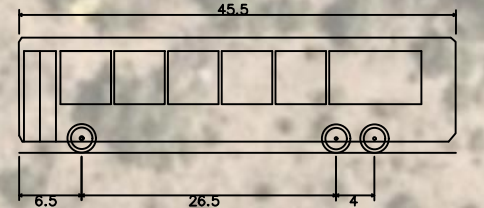
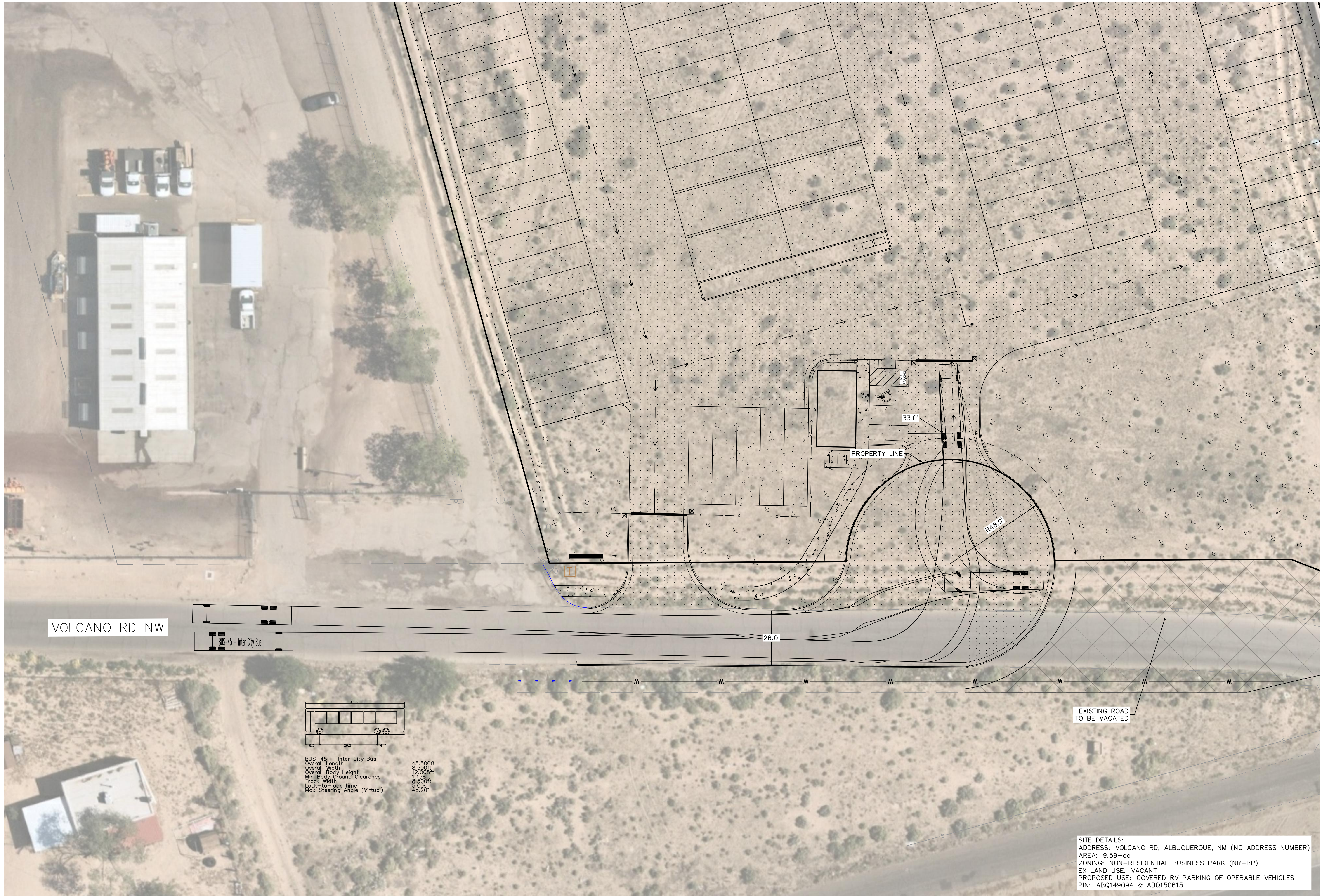
SHEET  
 14

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.









BUS-45 - Inter City Bus  
 Overall Length 45.500ft  
 Overall Width 8.500ft  
 Overall Body Height 12.000ft  
 Min Body Ground Clearance 1.500ft  
 Track Width 8.500ft  
 Lock-to-lock time 5.00s  
 Max Steering Angle (Virtual) 45.20°

SITE DETAILS:  
 ADDRESS: VOLCANO RD, ALBUQUERQUE, NM (NO ADDRESS NUMBER)  
 AREA: 9.59-ac  
 ZONING: NON-RESIDENTIAL BUSINESS PARK (NR-BP)  
 EX LAND USE: VACANT  
 PROPOSED USE: COVERED RV PARKING OF OPERABLE VEHICLES  
 PIN: ABQ149094 & ABQ150615

DATE: 04/14/2021

RV STORAGE -ALBUQUERQUE  
 TRUCK TURN EXHIBIT







4/16/2021

City of Albuquerque  
Development Review Board  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Sensitive Lands Analysis

Dear DRB,

Kimley-Horn has performed a Sensitive Lands Analysis, documenting the following below:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard Areas	None	See attached FEMA Floodplain Maps
Steep Slopes	None	See attached survey. The site is evenly graded
Unstable Soils	None	See attached survey. The site is evenly graded
Wetlands (constant supply of water)	None	See attached FEMA Floodplain Maps. Additionally, no areas of standing water were observed on site
Arroyo	None	No Arroyo's are documented on the site from AMAFCA. In addition, none have been picked up on the site survey.
Irrigation Facilities	None	See attached survey. None have been identified.
Escarpment	None	See attached survey. No areas of escarpment have been identified
Large stands of mature trees	None	See attached survey. All trees are located off-site
Archeological sites	None	See attached archeological evaluation. No archeological issues have been uncovered.

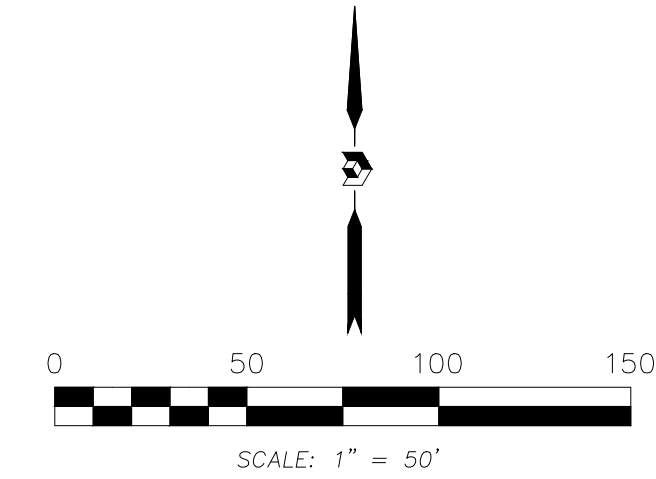
In conclusion, none of the above features have been determined to be present on this site. Various attached documents support our findings.

Sincerely,

Stephen Litsas  
Kimley-Horn

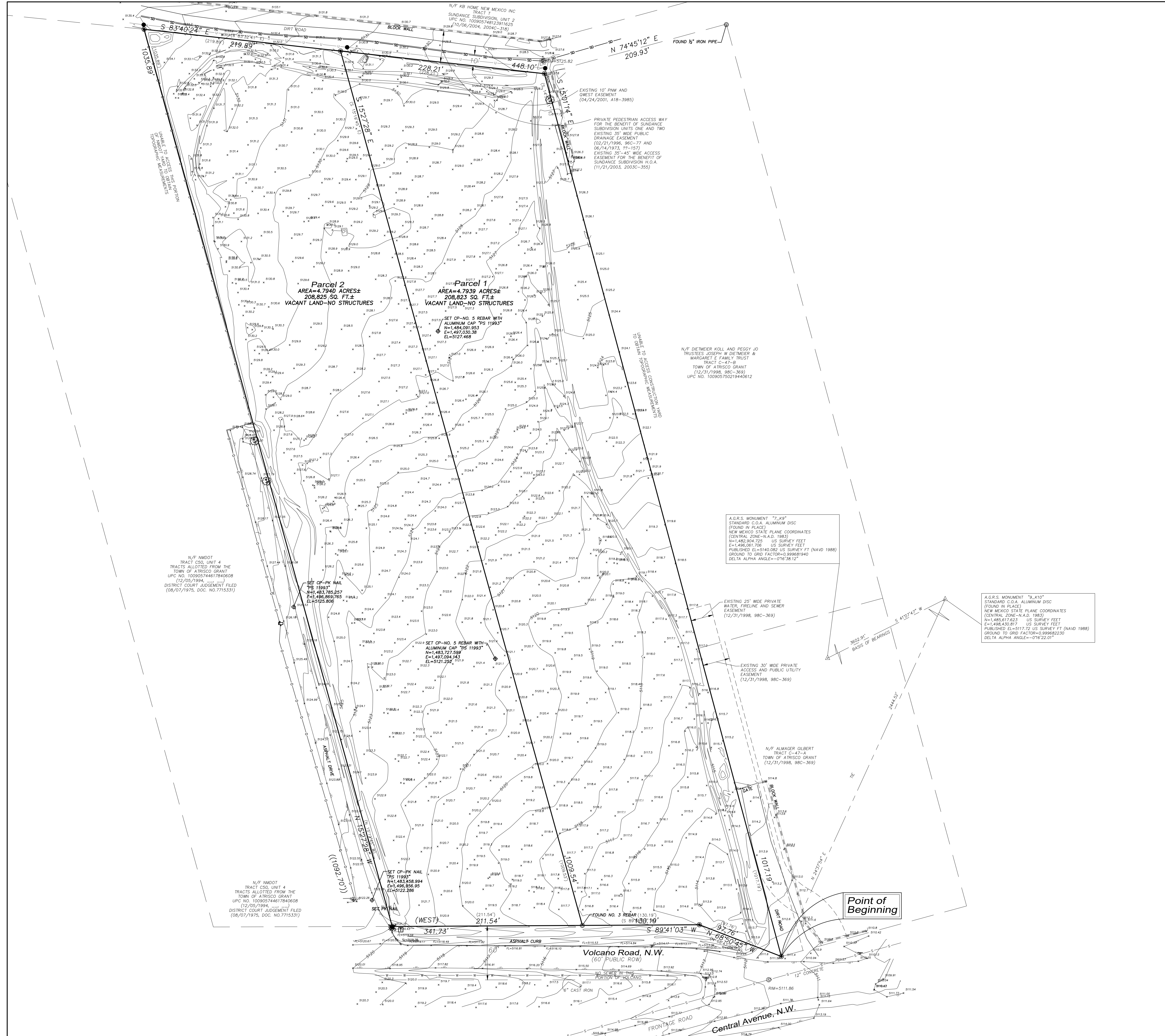
# ALTA/NSPS Land Title Survey

Tracts C48 and C49, Unit 4  
 Tracts Allotted from the  
 Town of Atrisco Grant  
 Albuquerque, Bernalillo County, New Mexico  
 December 2020



## Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES  
 (N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED
  - ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY CONTROL POINT SET THIS SURVEY
  - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
  - UTILITY POLE
  - ⊥ GUY WIRE
  - TELEPHONE PEDESTAL
  - ⊕ FIRE HYDRANT
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ STORM SEWER MANHOLE
  - ⊙ SIGN
  - MAILBOX
  - OVERHEAD UTILITY LINE
  - SANITARY SEWER LINE
  - CHAIN LINK FENCE
  - EDGE OF ASPHALT
  - STORM SEWER LINE
  - WATER LINE



PROJECT INFORMATION			
	CREW/TECH:	MC	DATE OF SURVEY:
	DRAWN BY:	JK	CHECKED BY:
	PSI JOB NO:	204146AL	SHEET NUMBER:
			2 OF 2

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1. Southwest corner looking north



2. Southwest corner looking northeast



3. Southwest corner looking east



4. Drainage ditch along west property line



5. Overview looking west to east



6. Northwest corner looking south





7. Northwest corner looking southeast



8. Northwest corner looking east



9. Debris onsite



10. Northeast corner looking west

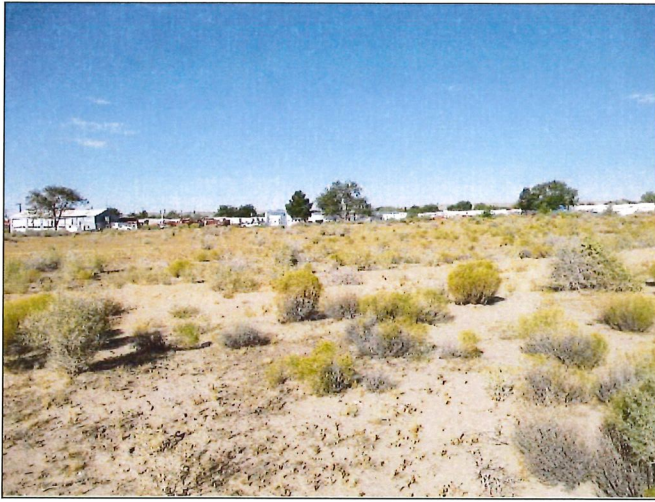


11. Northeast corner looking toward center



12. Northeast corner looking south





13. Overview looking east to west



14. Overview looking south to north



15. Southeast corner looking north



16. Volcano road along south property line

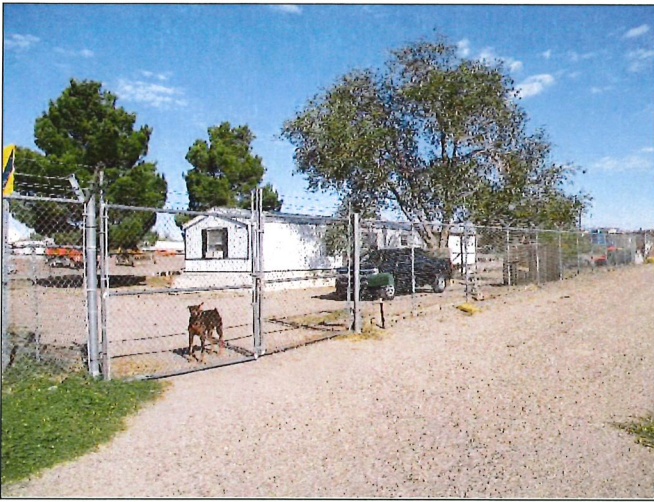


17. West adjacent property



18. ASTs on west adjacent property





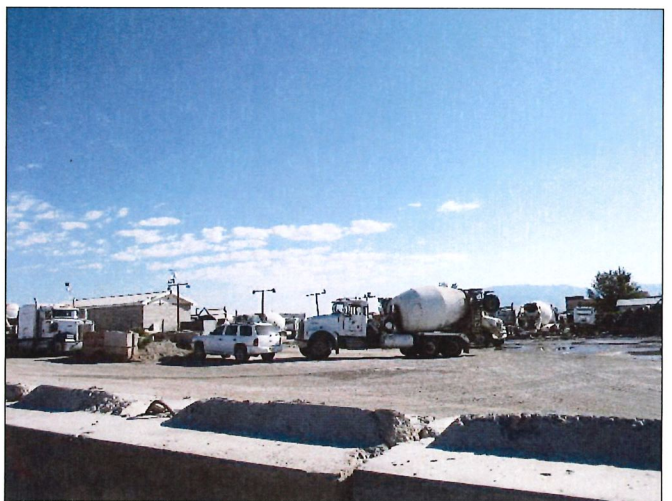
19. West adjacent property



20. North adjacent property



21. East adjacent property



22. East adjacent property

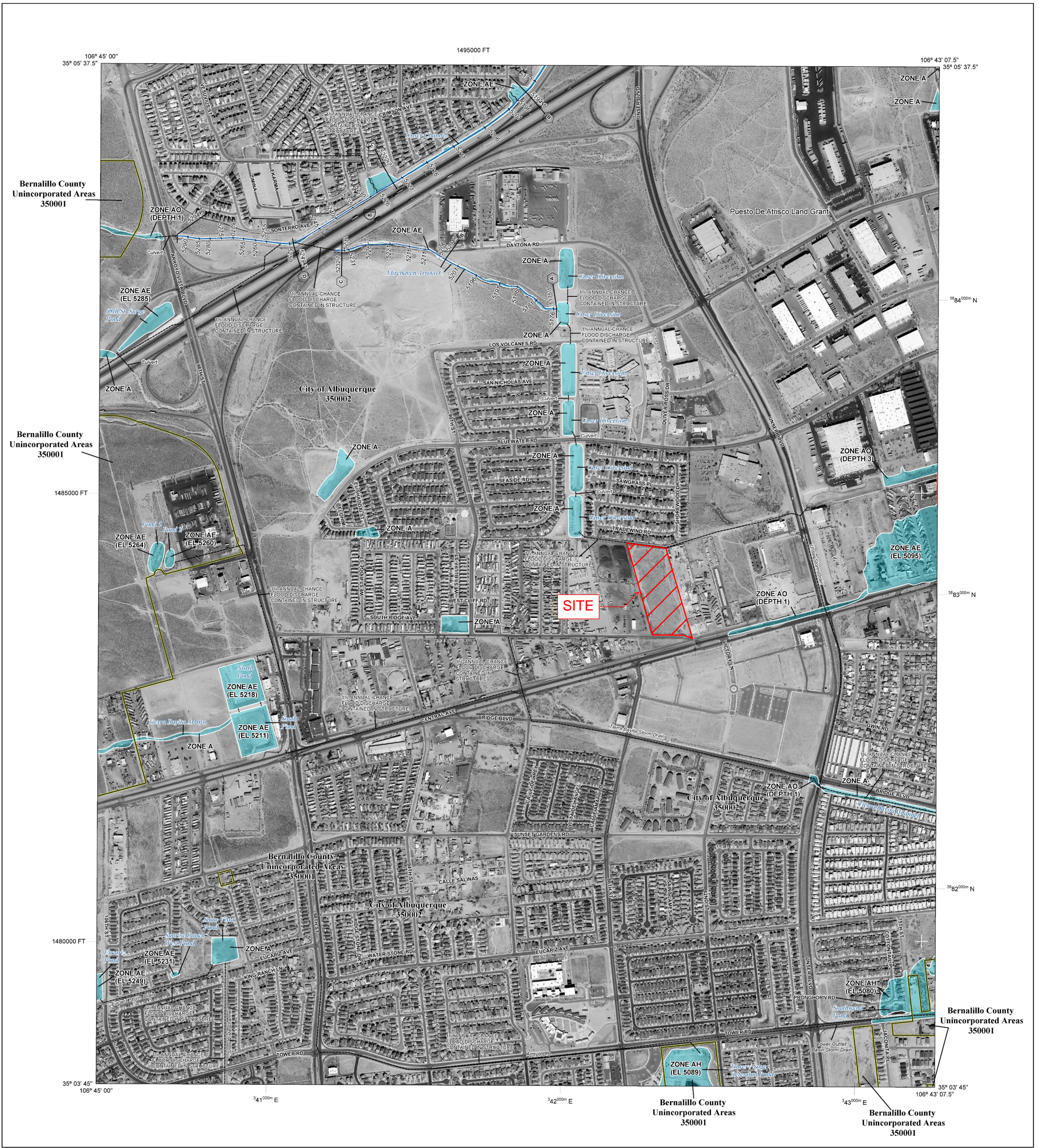


23. East adjacent property



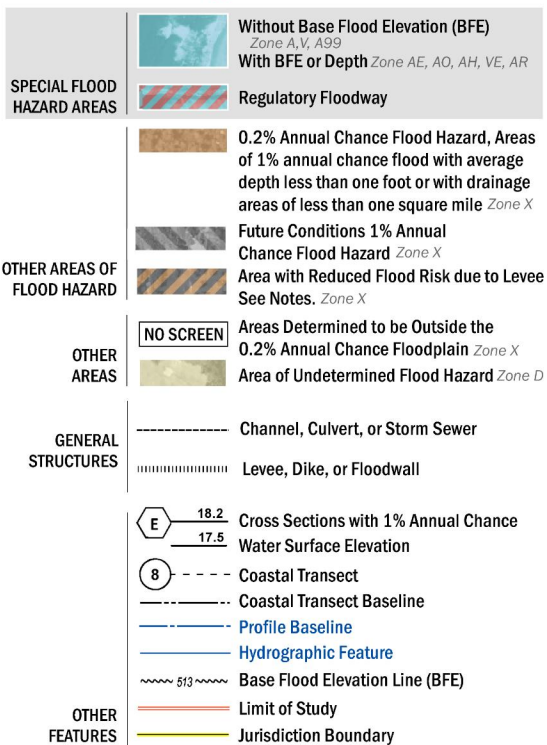
24. South adjacent property





**FLOOD HAZARD INFORMATION**

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT  
**THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTP://MSC.FEMA.GOV](http://MSC.FEMA.GOV)**



**NOTES TO USERS**

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM including historic versions of this FIRM, the current map date of each FIRM panel, how to order products or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-3627) or visit the FEMA Flood Map Service Center website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

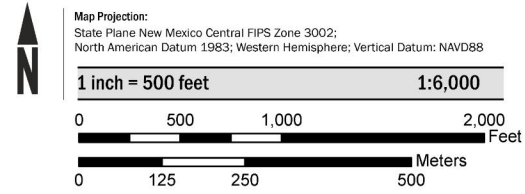
Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study report for this jurisdiction.

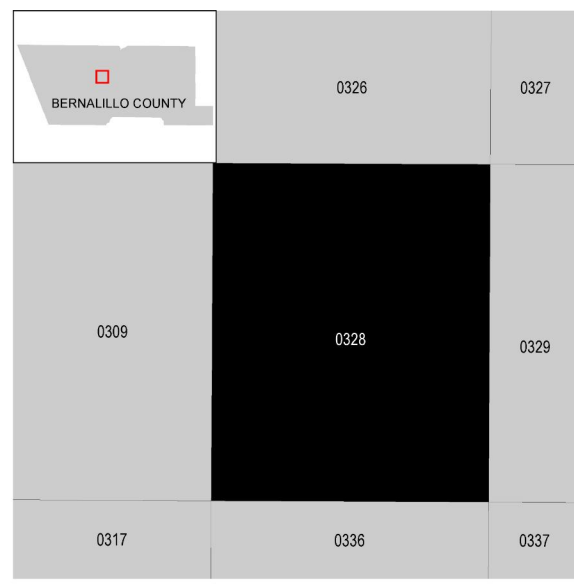
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

This information was derived from digital orthophotography dated 2014. Additional information pertaining to road names and political boundaries were provided by the City of Albuquerque, 2014.

**SCALE**



**PANEL LOCATOR**



**NATIONAL FLOOD INSURANCE PROGRAM**  
**FLOOD INSURANCE RATE MAP**  
**BERNALILLO COUNTY, NEW MEXICO**  
 and Incorporated Areas  
**PANEL 328 OF 825**

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF BERNALILLO COUNTY	350002	0328	J
	350001	0328	J

Panel Contains:

VERSION NUMBER: 2.3.3.2  
 MAP NUMBER: 35001C0328J  
 MAP REVISED: NOVEMBER 4, 2016





# City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

## Planning Department

Brennon Williams, Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

---

**DATE:**

**SUBJECT:**

**Case Number(s):**

**Agent:**

**Applicant:**

**Legal Description:**

**Zoning:**

**Acreage:**

**Zone Atlas Page(s):**

**CERTIFICATE OF NO EFFECT:**      Yes      No

**CERTIFICATE OF APPROVAL:**      Yes      No

**SUPPORTING DOCUMENTATION:**

**SITE VISIT:**

**RECOMMENDATIONS:**

**SUBMITTED BY:**

**SUBMITTED TO:**

\_\_\_\_\_  
Date



## NMCRIIS INVESTIGATION ABSTRACT FORM (NIAF)

<b>1. NMCRIIS Activity No.:</b> 147375	<b>2a. Lead (Sponsoring) Agency:</b> City of Albuquerque	<b>2b. Other Permitting Agency(ies):</b>	<b>3. Lead Agency Report No.:</b>									
<b>4. Title of Report:</b> A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico.  <b>Author(s) Paula Pflapsen</b>			<b>5. Type of Report</b> <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive									
<b>6. Investigation Type</b> <input type="checkbox"/> Research Design <input checked="" type="checkbox"/> Survey/Inventory <input type="checkbox"/> Test Excavation <input type="checkbox"/> Excavation <input type="checkbox"/> Collections/Non-Field Study <input checked="" type="checkbox"/> Overview/Lit Review <input type="checkbox"/> Monitoring <input type="checkbox"/> Ethnographic study <input type="checkbox"/> Site specific visit <input type="checkbox"/> Other												
<b>7. Description of Undertaking (what does the project propose):</b> A private developer plans to purchase a vacant parcel for development of an RV park. Client is required to submit an archeological certificate in site plan DRB package in accordance with IDO Section 14-16-6-5. Our site is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.		<b>8. Dates of Investigation:</b> (from: 2/17/2021-2/17/2021)										
<b>10. Performing Agency/Consultant:</b> TRC, Inc. <b>Principal Investigator:</b> Paula Pflapsen <b>Field Supervisor:</b> Field Personnel Names: N/A		<b>9. Report Date:</b> 2/18/21										
		<b>11. Performing Agency/Consultant Report</b> 431377-C-01										
<b>13. Client/Customer (project proponent):</b> Kimley Horn <b>Contact:</b> Ben Lokhorst MacRitchie, Inc. 715 5th Ave SW Suite 1700 Calgary AB T2P 2X6, Canada (403) 973-4882		<b>12. Applicable Cultural Resource Permit No(s):</b> New Mexico State Permit NM-22-028-S										
		<b>14. Client/Customer Project No.:</b>										
<b>15. Land Ownership Status (<u>Must</u> be indicated on project map): <i>Record Review ONLY</i></b> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;">Land Owner</th> <th style="width: 25%;">Acres Surveyed</th> <th style="width: 25%;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> <tr> <td style="text-align: right;"><b>TOTALS</b></td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	9.54	9.54	<b>TOTALS</b>	9.54	9.54
Land Owner	Acres Surveyed	Acres in APE										
Private	9.54	9.54										
<b>TOTALS</b>	9.54	9.54										
<b>16 Records Search(es):</b> The continuation form has the results of the Class I records searches (Figures 14–16). No known sites occur within the immediate vicinity of the project area.												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;">Date(s) of ARMS File Review 2/14/2021</td> <td style="width: 40%;">Name of Reviewer(s)</td> <td style="width: 20%;"></td> </tr> <tr> <td>Date(s) of NR/SR File Review 2/15/2021</td> <td>Name of Reviewer(s) Paula Pflapsen</td> <td></td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td>Name of Reviewer(s)</td> <td>Agency</td> </tr> </table>		Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)		Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen		Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency		
Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)											
Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen											
Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency										
<b>17. Survey Data:</b> <p>a. Source Graphics    <input type="checkbox"/> NAD 27    <input checked="" type="checkbox"/> NAD 83  <input checked="" type="checkbox"/> USGS 7.5' (1:24,000) topo map    <input type="checkbox"/> Other topo map, Scale:  <input checked="" type="checkbox"/> GPS Unit    Accuracy <input type="checkbox"/> &lt;1.0m    <input checked="" type="checkbox"/> 1-10m    <input type="checkbox"/> 10-100m    <input type="checkbox"/> &gt;100m</p> <p>b. USGS 7.5' Topographic Map Name                      USGS Quad Code</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <tr> <td style="width: 70%;">Albuquerque West</td> <td style="width: 30%;">35106-A6</td> </tr> </table> <p>c. County(ies): Bernalillo</p>				Albuquerque West	35106-A6							
Albuquerque West	35106-A6											

**17. Survey Data (continued):**

**d. Nearest City or Town:** Albuquerque, New Mexico

**e. Legal Description:**

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4
10N	2E	21	NE	SW	SE

**Projected legal description? Yes [ ] , No [X] Unplatted [ ]**

**f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.):** Project parcel is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.

**18. Survey Field Methods:**

**Intensity:**  100% coverage  <100% coverage

**Configuration:**  block survey units  linear survey units (l x w):  other survey units (specify):

**Scope:**  non-selective (all sites recorded)  selective/thematic (selected sites recorded)

**Coverage Method:**  systematic pedestrian coverage  other method (describe)

**Survey Interval (m):** 15 m **crew Size:** 1 **Fieldwork Dates:** 2/17/21

**Survey Person Hours:** 1 **Recording Person Hours:** 0 **Total Hours:** 1

**Additional Narrative:** The parcel is an undeveloped vacant lot in southwest Albuquerque.

**19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.):**

The project area is associated with the Pajarito loamy fine sands soil. The Pajarito loamy fine sands soil is commonly found on plains and alluvial fans at elevations ranging from 1,400 feet (ft) to 6,000 ft above mean sea level (amsl) with slopes ranging from 1 to 9 percent. The project area for this undertaking falls within the Albuquerque Basin ecoregion (Griffith et al. 2006). Vegetation within this ecoregion is associated with shortgrass prairie, including grama grasses, sand and mesa dropseed, and sand sagebrush (Griffith et al 2006).

**20. a. Percent Ground Visibility:** 75–99% **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** Sand, limited scrub vegetation, development surrounds the parcels

**21. CULTURAL RESOURCE FINDINGS**  Yes  No, Discuss Why: Undeveloped parcel surrounded by development, two IOs-both historic metal noted with contemporary trash including plastic, rubber, glass, paper, metal and modern beer/soda cans.

**22. Required Attachments (check all appropriate boxes):**

- USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn
- Copy of NMCRIS Mapserver Map Check
- LA Site Forms - new sites (*with sketch map & topographic map*)
- LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)
- Historic Cultural Property Inventory Forms
- List and Description of isolates, if applicable
- List and Description of Collections, if applicable

**23. Other Attachments:**  
 Photographs and Log  
 Other Attachments  
*(Describe):* aerial map, soil map, ARMS site searches

**24. I certify the information provided above is correct and accurate and meets all applicable agency standards.**

**Principal Investigator/Responsible Archaeologist:** Paula Pflapsen/Toni R. Goar

Signature 

**Date** 2/18/21 **Title (if not PI):**

**25. Reviewing Agency:**  
**Reviewer's Name/Date**

**Accepted ( ) Rejected ( )**

**Tribal Consultation (if applicable):**  Yes  No

**26. SHPO**  
**Reviewer's Name/Date:**

**HPD Log #:**  
**SHPO File Location:**  
**Date sent to ARMS:**



## CULTURAL RESOURCE FINDINGS

*[fill in appropriate section(s)]*

<b>1. NMCRIS Activity No.:</b> 147375	<b>2. Lead (Sponsoring) Agency:</b> City of Albuquerque	<b>3. Lead Agency Report No.:</b>
<p><b>SURVEY RESULTS:</b></p> <p>Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited (<i>site update form required</i>): 0 Previously recorded sites not relocated (<i>site update form required</i>): 0 TOTAL SITES VISITED: 0 Total isolates recorded: 2      Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded (<i>new and previously recorded, including acequias</i>): 0</p> <p><b>MANAGEMENT SUMMARY:</b> The cultural resource survey did not identify any eligible cultural resources within project parcel. Two isolated occurrences were found; both were historic metal. Old Route 66 is located outside of the parcel and although it is visible from the project location the proposed development will fit in with current surroundings and will have no direct or indirect effect on the resource.</p> <p style="text-align: center;"><b><u>IF REPORT IS NEGATIVE YOU ARE DONE AT THIS POINT.</u></b></p> <p><b>SURVEY LA NUMBER LOG</b></p>		

**NMCRIS #147375**

**NIAF, Continuation Form**

**Previous Research**

**Class I ARMS Search**

**Previous surveys within 0.5-mile (0.8-km) of the project area**

<b>NMCRIS</b>	<b>Reference</b>
131836	Kerr 2014
129761	Goar and Chavez 2014
100381	Raymond 2006
112452	Parish et al. 2009
131773	Fredine et al. 2014
134029	Lawrence et al. 2017
108614	Lawrence 2007
7006	Noyes 1985
35897	Noyes 1985

**Class I ARMS Search**

**Known sites within 0.5-mile (0.8-km) of the proposed project area**

<b>Site No.</b>	<b>Land Status</b>	<b>Cultural Affiliation</b>	<b>National Register Eligibility</b>	<b>References</b>	<b>NMCRIS</b>
31220	Private	Navajo (1880- AD-1929 AD)	N/A	Giplin et al. 1994	50302
31228	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
31229	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
42596	Navajo Nation	Unknown	Eligible	N/A	92657
137658	N/A	N/A	N/A	Deleted	80780
31227	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
180319	N/A	N/A	N/A	Kerr 2014	131836
180320	N/A	N/A	N/A	Kerr 2014	131836
31226	Private	Navajo (1500 AD-1993 AD; 1945 AD-1993 AD)	N/A	Hartman 1977	16580
50336	Private	Ancestral Pueblo (1 AD-1600 AD); Hispanic (1945 AD-1993 AD)	N/A	Kayser 1995	7069

**References**

Fredine, Jeff, Hollis Paul Lawrence, Cheryl Somer  
2014 Cultural Resources Inventory Report for Central Avenue Corridor Bus Rapid Transit (BRT), Albuquerque Rapid Transit (ART), City of Albuquerque, Bernalillo County, New Mexico. Report PB-2014-10. NMCRIS 131773.



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2017 Ethnography and Archaeology on Selected Parcels of McKinley Mine, McKinley County, New Mexico Report 94-40. NMCRIS 50302.
- Goar, Toni R. and Christina Chavez  
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- Griffith, G.E., Omernik, J.M., McGraw, M.M., Jacobi, G.Z., Canavan, C.M., Schrader, T.S., Mercer, D., Hill, R., and Moran, B.C.,  
2006 Ecoregions of New Mexico (color poster with map, descriptive text, summary tables, and photographs): Reston, Virginia, U.S. Geological Survey (map scale 1:1,400,000)
- Hartman, Russell P.  
1977 Archaeological Clearance Survey Report of a Tract of Land in the Vicinity of McKinley Mine, McKinley County, New Mexico. Report NA. NMCRIS 16580.
- Kayser, David W.  
1995 An Addendum to the Archeological Clearance Report for Enerdex, Inc.'s Proposed Blue Star Federal No. 1 Well Pad Project Situated on Fee Surface-Federal Minerals Lands in Eddy County, N.M. Report 95005. NMCRIS 50336.
- Kerr, R. Stanley  
2014 A Cultural Resource Survey for a Proposed Housing Development Project, 90th Street, Albuquerque, Bernalillo County, New Mexico. Report 14055.09. NMCRIS 131836.
- Lawrence, Hollis P.  
2007 Cultural Resource Survey for Phases I and II of the Unser Boulevard South Improvement Project, City of Albuquerque, Bernalillo County. New Mexico. Report HCC-2007-16. NMCRIS 108614.
- Lawrence, Hollis P., Darryl Del Frate, and Jeff Fredine  
2017 Unser Boulevard Roadway Improvements Project; City of Albuquerque, Bernalillo County, New Mexico. Report PB-2015-07. NMCRIS 134029.
- Noyes, Peter T.  
1985 A Cultural Resources Survey of an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico. Report 185-262. NMCRIS 7006.  
1985 Letter Report: Addendum to "A Cultural Resources Survey on an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico (UNM Proposal 185-262). Report 185-262A. NMCRIS 35897.
- Parrish, Chris, Tom Shine, Beau DeBoer, and Nicholas Parker  
2009 A Cultural Resource Inventory for the PNM-Central 13 Reconductor Project in Albuquerque Bernalillo County, New Mexico. Report 2008-78. NMCRIS 112452.
- Raymond, Gerry  
2006 Negative Cultural Resource Survey Report for a Proposed Cell Tower Location at the Northwest Corner of Bluewater Road and Oliver Ross Drive in Albuquerque, Bernalillo County, New Mexico. Report NM01263D. NMCRIS 100381.

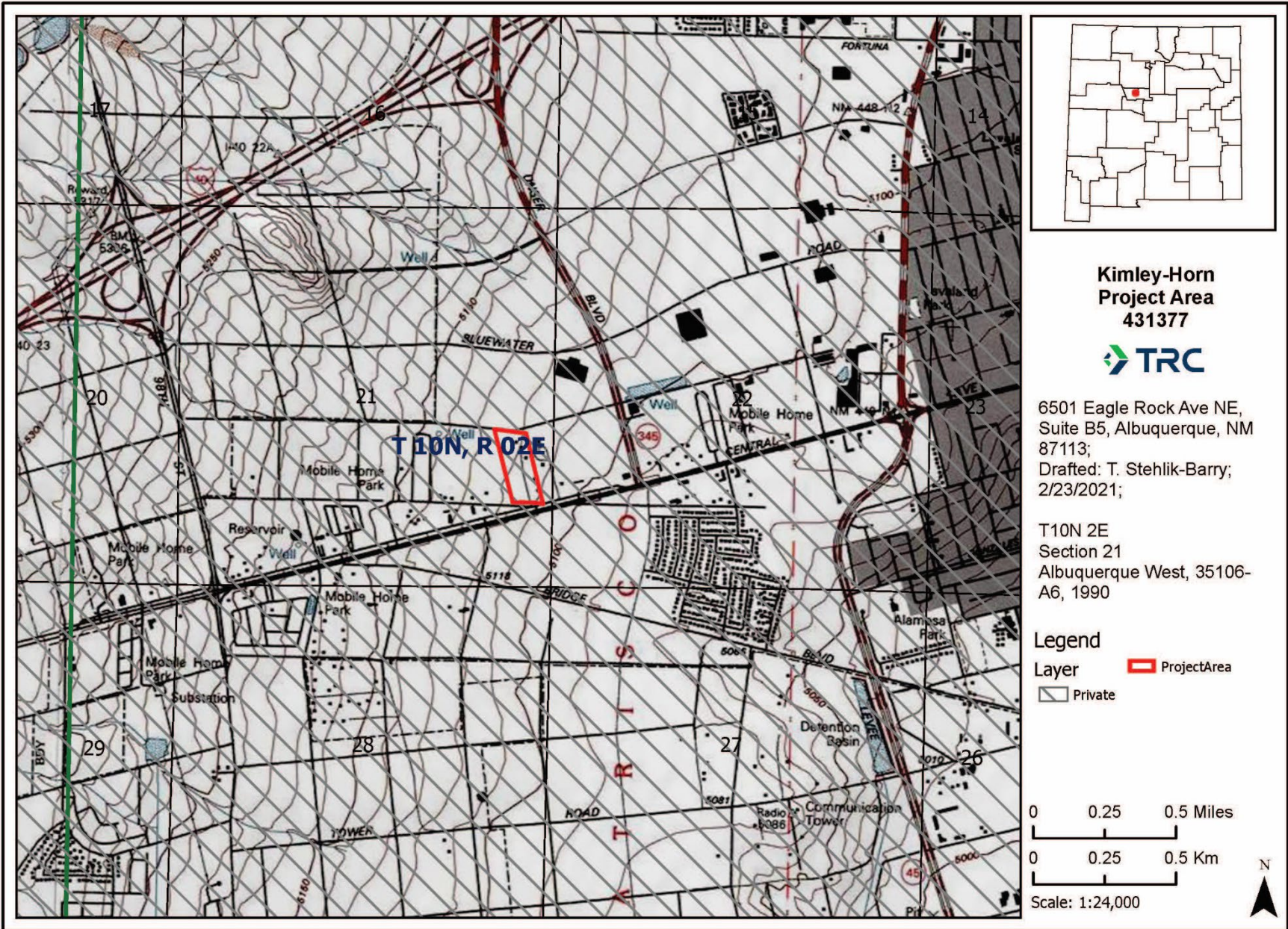


Figure 1 Project Location Quad Map



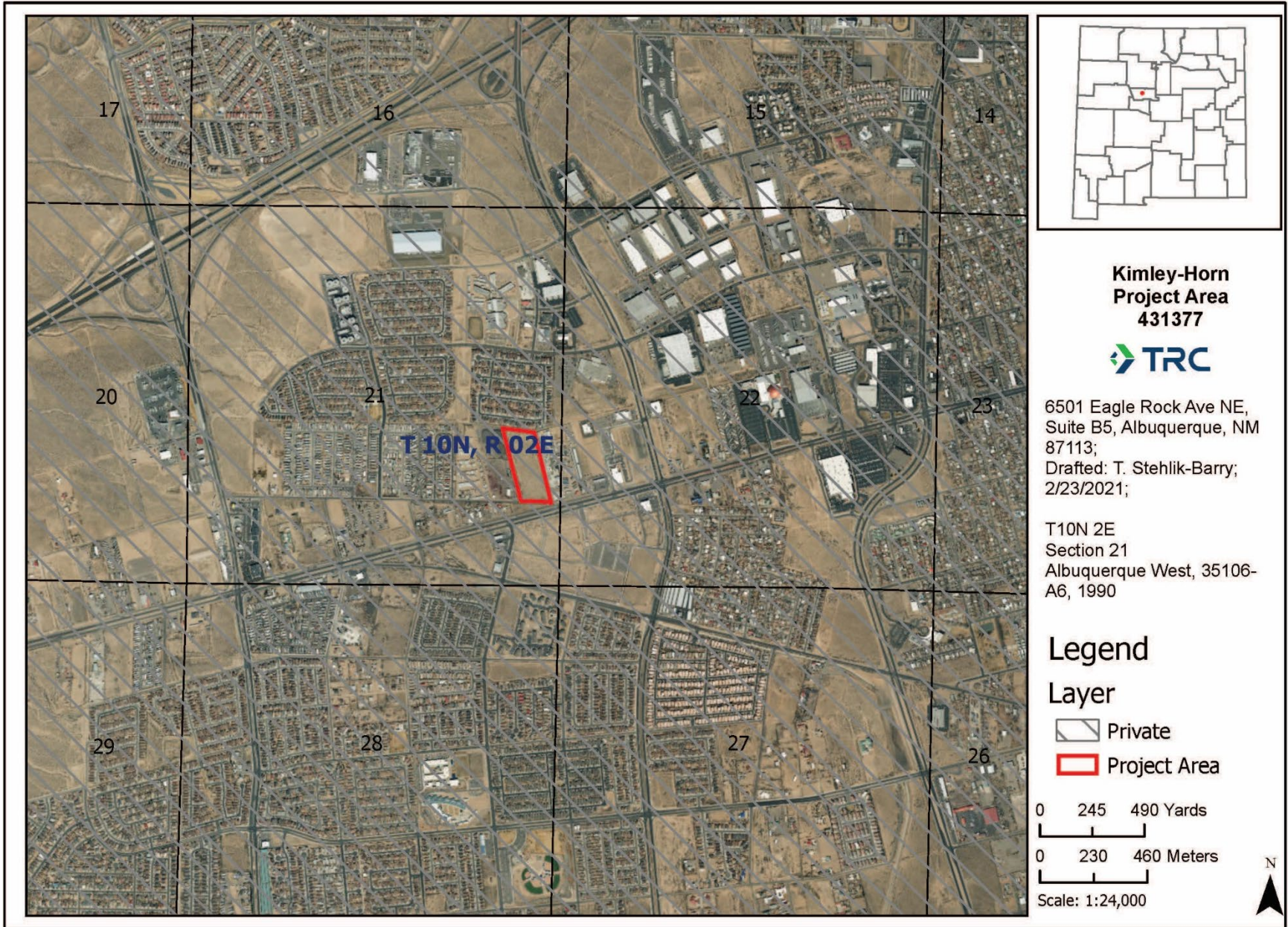


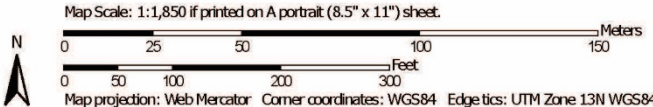
Figure 2 Aerial Map of Project Location







Soil Map—Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico  
(Project Area)



USDA Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

2/23/2021

Figure 4 Soils Map