



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. 2020-004757

Application No. XXXX

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: May 5, 2021 HEARING DATE OF DEFERRAL: _____

SUBMITTAL

DESCRIPTION: Resubmittal to the Development Review Board after addressing comments from the
initial review meeting on April 21, 2021.

CONTACT NAME: Stephen Litsas

TELEPHONE: (720) 647-6231 EMAIL: Stephen.Litsas@kimley-horn.com



April 30, 2021

DRB Board
City of Albuquerque

RE: RV Storage – Albuquerque: DRB Resubmission

Dear DRB Board Members,

Thank you for the comments on April 21, 2021 for the above-mentioned project. In an effort to address your comments concisely and simplify your review of these development plans, we have summarized your comments and our responses below.

COMMENT RESPONSE LETTER

DEVELOPMENT REVIEW BOARD

Hydrology Section:

Renée Brissette, PE, Senior Engineer 505-924-3995 rbrissette@cabq.gov

1. Hydrology has an approved Conceptual Grading & Drainage Plan (K09D046).
 - *Response: Acknowledged.*
2. Hydrology has no objection to the Site Plan of Building Permit.
 - *Response: Acknowledged.*
3. Hydrology has no objection to the infrastructure list.
 - *Response: Acknowledged.*

Code Enforcement:

1. A conditional use was obtained and CE has no other comments at this time.
 - *Response: Acknowledged.*

Transportation Development:

Jeanne Wolfenbarger 505-924-3991 jwolfenbarger@cabq.gov

1. Actual public roadway improvements for Volcano Road shall be reviewed and approved through the City work order process. Platting action shall also be required to include all public roadway improvements within public right-of-way, including the 6-foot public sidewalk. *Add note to this effect on site plan.*
 - *Response: This note has been added to the Site Plan.*
2. Once an application for vacation action simultaneously with platting action is made, Transportation Department can officially sign off on the plans.
 - *Response: Acknowledged.*

3. Stamp and sign the drawings.
 - *Response: The drawings have been signed and stamped.*
4. The curb detail provided is outdated. In lieu, the exact detail of curb can be specified using latest specifications. The only curb to be specified is private curb whereas the public curb will go through the work order process.
 - *Response: Acknowledged. The curb detail has been updated to the post recent version.*
5. Provide exact bike rack detail.
 - *Response: The bike rack detail has been added.*
6. On the infrastructure list for curb and sidewalk, specify “north side of road” in the item description language for clarity.
 - *Response: The sidewalk description has been updated.*
7. 6-foot public sidewalk shall be extended to end of proposed cul-de-sac with ramps on each side of the accessway. (Add ramp details to work order plans.).
 - *Response: Acknowledged. The Site Plan has been updated to include the requested 6’ sidewalk.*
8. In front of the van accessible aisle, will a ramp be required, or is the sidewalk flush with curb? Specify either way on the plan, and include ramp detail as necessary.
 - *Response: The sidewalk will be flush with the curb. A label has been added on the plan to clarify.*
9. On the infrastructure list, specify 6-foot sidewalk under “size” as opposed to square footage. Specify location in terms of property corners or relation to property corners.
 - *Response: The size of the sidewalk has been updated as requested.*
10. On the infrastructure list, specify width and length of Volcano Road from curb to curb (specify face of curb or lip of curb to be specific) under “size”. In parenthesis under “Item Description”, specify the 96-foot diameter cul-de-sac.
 - *Response: The Volcano Road improvement has been updated as requested.*
11. If doing any Volcano roadway demolition, specify as separate item on the infrastructure list.
 - *Response: The Volcano roadway demolition has been included in the infrastructure list.*
12. When using “From” and “To” language, specify “west property line” to “XX’ east of property line” for clarity.
 - *Response: The language to describe “From” and “To” has been updated for clarity.*

Utility Development Section:

Blaine Carter, P.E. 505.415.9188

1. Availability Statement # 210111 has been issued and provides the conditions for service.
 - *Response: Acknowledged.*
2. Utility plan.
 - A. Revise Key Note A to refer to a public sanitary sewer main with typical slope to match DPM or as approved by ABCWUA.
 - B. Revise Key Note E as needed, or add a new notes, so that there are not manholes located at every junction.
 - C. The connection of the site's service to the main shall be a routine service connection and not a manhole connection.
 - D. The tie to the water main shall be on the east side and the upsize shall run the length of the property, as stated in the availability statement.
 - E. Revise the meter location so it is not within the middle of the cul-de-sac.
 - F. The use of an RV Dump station typically generates sewage flows not accounted for by the water meter. A flat rate sewage account may be required by new services to account for this. Pretreatment may be required, please call Blaine Carter at 505-415-9188 so that we may coordinate with the pre-treatment section. Provisions to protect the sanitary sewer collection point from stormwater will be required.
 - *Response:*
 - *A. The keynote has been revised as requested.*
 - *B. The manhole locations have been revised and a new keynote has been added.*
 - *C. Acknowledged. The site service connection to the main has been revised to be a routine service connection.*
 - *D. Acknowledged. The water layout has been revised.*
 - *E. The location of the water meter has been revised.*
 - *F. Acknowledged. This will be discussed with Blaine Carter at the provided phone number.*
3. Infrastructure List:
 - A. Revise the water main upsizing location as from existing main in Central Avenue at Volcano Road to the southwestern property corner.
 - B. Revise the sewer from location to stat the existing manhole as noted, and the to location to be the southwestern property corner.
 - *Response:*
 - *A. The water main upsizing location has been updated in the infrastructure list.*
 - *B. The sewer location has been updated in the infrastructure list.*

Planning Department- Major Case Comments:

Maggie Gould, Planning Department

1. A Sensitive Lands Analysis is required per 5-2 Site Design for Sensitive Lands (as mentioned in sketch plat). This is likely a simple analysis on this site. The form is available on the DRB webpage- Development Review Board — City of Albuquerque (cabq.gov). Your application is incomplete without this analysis. The sensitive land analysis should be received by Friday noon in order for the case to be reviewed on 3/31/21.
 - *Response: Acknowledged. A Sensitive Lands Analysis was included within the last submission, at the end of the submission. It has been reincluded within this submission.*
2. The RV covered spaces are not carports and do not need to be justified.
 - *Response: Acknowledged. Justification letter has not been altered in the event the interpretation changes, as this original request came in from DRB to justify.*
3. Confirm wall details.
 - *Response: It is a screen chain link fence, per IDO 14-16-5-6. Note was included in the last set (Sheet 7) to discuss it.*
4. If right-of-way is dedicated, a replat will be required.
 - *Response: Acknowledged.*
5. Ponding is allowed in the setback area.
 - *Response: Acknowledged.*
6. The site is within the West Route 66 activity center.
 - *Response: Acknowledged.*

PARKS AND RECREATION DEPARTMENT

1. What does the hatch represent in the stormwater detention area? The plan shows drought tolerant trees and shrubs, and seeded detention / stormwater detention. No objection to request.
 - *Response: The hatch represents seeding of the detention/stormwater area.*
2. Please submit plant list for seed mix.
 - *Response: The seed mix is to be Santa Fe Trail – Native Grass Mixture at the following provided link: [Santa Fe Trail, Native Grass Blends, Drought tolerant Grasses \(curtisseed.com\)](#)*

We appreciate your review and comments on these plans. Please contact me at (720) 647-6231 or stephen.litsas@kimley-horn.com should you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Stephen Litsas". The signature is fluid and cursive, with a large loop at the end.

Stephen Litsas
Project Manager

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

- Interpreter Needed for Hearing? if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6) *(not required for extension)*
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first-class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first-class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)* (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Interpreter Needed for Hearing? if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 3/1/21</p>
<p>Printed Name: Stephen Litsas</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Case Numbers: _____</p>	<p>Project Number: _____</p>
<div style="text-align: right;"> </div>	
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Design Review Board review of the proposed RV Storage Facility, on a 9.59-ac site located at the northwest corner of Central Ave and Volcano Road

APPLICATION INFORMATION

Applicant: Macritchie		Phone: +1403-973-4882
Address: 715 5th Ave SW, Suite 1700		Email: blockhorst@machritchie.biz
City: Calgary	State: Alberta	Zip: T2P 2X6
Professional/Agent (if any): Kimley-Horn		Phone: 720-647-6231
Address: 4582 S Ulster St. Suite 1500		Email: Stephen.litsas@kimley-horn.com
City: Denver	State: CO	Zip: 80237
Proprietary Interest in Site: Developer	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract C48 and C49	Block:	Unit: Unit 4
Subdivision/Addition: Town of Atrisco Grant	MRGCD Map No.:	UPC Code: 100905746717740609
Zone Atlas Page(s): K-09-Z	Existing Zoning: NR-BP	Proposed Zoning
# of Existing Lots: 2	# of Proposed Lots: 1	Total Area of Site (Acres): 9.59

LOCATION OF PROPERTY BY STREETS

Site Address/Street: No address, Volcano Rs	Between: Central Ave	and: Bristol St
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

None Known

Signature:	Date: 3/1/21
Printed Name: Stephen Litsas	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date:	Fee Total:
Staff Signature:	Date: Project #



4/16/2021

City of Albuquerque
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Site Plan DRB Review - Letter of Introduction

Dear DRB,

Kimley-Horn is pleased to submit this Letter of Introduction on behalf of our Client, Macritchie, for the Sketch Plat Review process (herein referred to as the “Project”).

The Project is to be a RV Storage development consisting of approximately +/- 9.59 acres of land. The entire site is intended to be developed in one singular phase. A stormwater management facility is proposed in the southeast corner of the site, which will be sized to serve the entire development.

The RV Storage facility will consist fully of RV canopies; therefore all storage spaces will be covered. In total, 429 parking spaces will be provided. The interior spaces will be designed flexibly so they can conform to various lengths totaling the two head-to-head stalls (such as 30' & 60' stalls, as opposed to 2 x 45' stalls) based upon the future demand requirements. Enhanced screening will be used along the northern border of the site adjacent to the residential properties.

A zone for a temporary +/- 650 sf office building will be provided near the entrance of the site, along the projects southern border. In addition, two RV Wash Stations and two RV Dump Stations will be provided near the office building.

The site will have one primary point of access, from Volcano Rd. This will be adjacent to the temporary office, serving as both an access point for visitors and regular users. This gate will have automatic secured access to provide after-hours entry to the site for regular users. A second point of access for emergency access only will be provided, located along Volcano Rd on the southwest corner of the site.

Based upon received DRB Comments, the applicant is processing a vacation request through the DRB to sever the current access of Volcano Rd to the Central Ave frontage road. This was requested due to safety concerns based upon the intersection angles. This vacation requested is anticipated to come to the DRB on the April 28th DRB meeting.

To accommodate the vacation, the developer is proposing to install a cul-de-sac at the furthest most site entrance. In addition, they are proposing to dedicate right-of-way necessary to install the cul-de-sac, and provide 10' of right of way from the curb line to property line. Due to the dedication, we request the City allow the site parking for the temporary access to site adjacent

to the cul-de-sac and not be governed by a traditional site setback requirements.

The above described use will adhere to the codes and requirements outlined within the City's design standards. We are excited to bring this project to the City.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen Litsas". The signature is fluid and cursive, with a large loop at the end.

Stephen Litsas
Kimley-Horn



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

Macritchie Storage Ventures LLC (Agent, Michelle Henrie) requests a conditional use to allow outdoor vehicle storage for Lot C48, Town of Atrisco Grant Unit 4, located at 99999 Volcano RD NW, zoned NR-BP [Section 14-16-4-2]

Special Exception No:..... **VA-2020-00394**
Project No: **Project#2020-004676**
Hearing Date: 12-15-20
Closing of Public Record: 12-15-20
Date of Decision: 12-30-20

On the 15th day of December, 2020, Michelle Henrie, agent for property owner Macritchie Storage Ventures LLC (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow outdoor vehicle storage (“Application”) upon the real property located at 99999 Volcano RD NW (“Subject Property”). Below are the ZHE’s finding of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow outdoor vehicle storage.
2. The City of Albuquerque Code of Ordinances Section 14-16-6-6(A)(3) (Review and Decision Criteria– Conditional Use) reads: *“An application for a Conditional Use Approval shall be approved if it meets all of the following criteria:*
 - (a) It is consistent with the ABC Comp. Plan, as amended;*
 - (b) It complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property;*
 - (c) It will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community;*
 - (d) It will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts;*
 - (e) It will not increase non-residential activity within 300 feet of a lot in any residential zone district between the hours of 8:00 pm and 6:00 am;*
 - (f) It will not negatively impact pedestrian or transit connectivity without appropriate mitigation*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-6-4(F)(2).
4. Agent and Applicant representatives appeared at the ZHE hearing on this matter and gave evidence in support of the Application.

5. Applicant provided evidence that the proper "Notice of Hearing" signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
6. Applicant provided evidence that all property owners and neighborhood association entitled to notice were notified of the Application.
7. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval is consistent with the ABC Comp. Plan, as amended. Specifically, Applicant submitted evidence supporting that the requested Conditional Use approval furthers the goals of the ABC Comp. Plan to promote sustainable communities by providing business services in appropriate areas of need.
8. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property. Specifically, Applicant testified and confirmed in written submittals that the conditional use, if approved, will comply with the special screening and buffering regulations of the IDO for outdoor vehicle storage use.
9. Applicant stated that EPC case Z-92-57 is a prior approval applicable to the Subject Site, However, that approval does not appear germane to the Application.
10. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community. Specifically, Applicant testified and confirmed in written submittals that owners of RVs and other vehicles who use and need this type of storage do not typically make trips to the storage area on a weekly or even monthly basis; therefore, it is anticipated that the infill development of this vacant parcel will have positive impacts on the surrounding properties, given that the RV storage use does not generate an inordinate or unpredictable amount of traffic which could have adverse impacts on the larger community, the surrounding neighborhood, or adjacent properties. Additionally, Applicant provided evidence that development of this vacant lot will contribute to the removal of blight, enhance the appearance, improve drainage, and increase property values within neighboring area; therefore, public safety, health, and welfare will be improved and strengthened while stabilizing land use and property values.
11. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts. Specifically, the Conditional Use Approval will not create material adverse impacts on other land in the area, because the proposed use is intended to allow a customer to leave a vehicle on the Subject Property for long periods of time without having to show up on site with any frequency to evaluate what is being stored. Furthermore, noise and vibration are not types of impacts that long-term parked vehicles are capable of creating. Traffic and parking congestion are adverse impacts from which the proposed vehicle storage use is designed to provide relief and a useful alternative.
12. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not increase non-residential activity within 300 feet of a lot

in any residential zone district between the hours of 8:00 pm and 6:00 am. Specifically, Applicant testified that business hours would be restricted to 6:00 a.m. to 8:00 p.m.

13. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not negatively impact pedestrian or transit connectivity without appropriate mitigation. Specifically, Applicant testified that no negative impact on pedestrian or transit connectivity would result.
14. The City Traffic Engineering Division stated no objection.
15. The criteria within IDO Section 14-16-6-6(A)(3) are satisfied.

DECISION:

APPROVAL of a conditional use to allow outdoor vehicle storage.

APPEAL:

If you wish to appeal this decision, you must do so by January 15, 2021 pursuant to Section 14-16-6-4(U), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.



Robert Lucero, Esq.
Zoning Hearing Examiner

cc:

ZHE File
Zoning Enforcement
Michelle Henrie, michelle@mhenrie.com
Ben Lokhorst, blokhorst@macritchie.biz



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

Macritchie Storage Ventures LLC (Agent, Michelle Henrie) requests a conditional use to allow outdoor vehicle storage for Lot C49, Town of Atrisco Grant Unit 4, located at 99999 Volcano RD NW, zoned NR-BP [Section 14-16-4-2]

Special Exception No:..... **VA-2020-00395**
Project No: **Project#2020-004676**
Hearing Date: 12-15-20
Closing of Public Record: 12-15-20
Date of Decision: 12-30-20

On the 15th day of December, 2020, Michelle Henrie, agent for property owner Macritchie Storage Ventures LLC (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow outdoor vehicle storage (“Application”) upon the real property located at 99999 Volcano RD NW (“Subject Property”). Below are the ZHE’s finding of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow outdoor vehicle storage.
2. The City of Albuquerque Code of Ordinances Section 14-16-6(A)(3) (Review and Decision Criteria– Conditional Use) reads: *“An application for a Conditional Use Approval shall be approved if it meets all of the following criteria:*
 - (a) *It is consistent with the ABC Comp. Plan, as amended;*
 - (b) *It complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property;*
 - (c) *It will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community;*
 - (d) *It will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts;*
 - (e) *It will not increase non-residential activity within 300 feet of a lot in any residential zone district between the hours of 8:00 pm and 6:00 am;*
 - (f) *It will not negatively impact pedestrian or transit connectivity without appropriate mitigation*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-6-4(F)(2).
4. Agent and Applicant representatives appeared at the ZHE hearing on this matter and gave evidence in support of the Application.

5. Applicant provided evidence that the proper "Notice of Hearing" signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
6. Applicant provided evidence that all property owners and neighborhood association entitled to notice were notified of the Application.
7. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval is consistent with the ABC Comp. Plan, as amended. Specifically, Applicant submitted evidence supporting that the requested Conditional Use approval furthers the goals of the ABC Comp. Plan to promote sustainable communities by providing business services in appropriate areas of need.
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9. Applicant stated that EPC case Z-92-57 is a prior approval applicable to the Subject Site, However, that approval does not appear germane to the Application.
10. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community. Specifically, Applicant testified and confirmed in written submittals that owners of RVs and other vehicles who use and need this type of storage do not typically make trips to the storage area on a weekly or even monthly basis; therefore, it is anticipated that the infill development of this vacant parcel will have positive impacts on the surrounding properties, given that the RV storage use does not generate an inordinate or unpredictable amount of traffic which could have adverse impacts on the larger community, the surrounding neighborhood, or adjacent properties. Additionally, Applicant provided evidence that development of this vacant lot will contribute to the removal of blight, enhance the appearance, improve drainage, and increase property values within neighboring area; therefore, public safety, health, and welfare will be improved and strengthened while stabilizing land use and property values.
11. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts. Specifically, the Conditional Use Approval will not create material adverse impacts on other land in the area, because the proposed use is intended to allow a customer to leave a vehicle on the Subject Property for long periods of time without having to show up on site with any frequency to evaluate what is being stored. Furthermore, noise and vibration are not types of impacts that long-term parked vehicles are capable of creating. Traffic and parking congestion are adverse impacts from which the proposed vehicle storage use is designed to provide relief and a useful alternative.
12. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not increase non-residential activity within 300 feet of a lot

in any residential zone district between the hours of 8:00 pm and 6:00 am. Specifically, Applicant testified that business hours would be restricted to 6:00 a.m. to 8:00 p.m.

13. Applicant has met its burden of providing evidence that establishes that the requested Conditional Use approval will not negatively impact pedestrian or transit connectivity without appropriate mitigation. Specifically, Applicant testified that no negative impact on pedestrian or transit connectivity would result.
14. The City Traffic Engineering Division stated no objection.
15. The criteria within IDO Section 14-16-6-6(A)(3) are satisfied.

DECISION:

APPROVAL of a conditional use to allow outdoor vehicle storage.

APPEAL:

If you wish to appeal this decision, you must do so by January 15, 2021 pursuant to Section 14-16-6-4(U), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

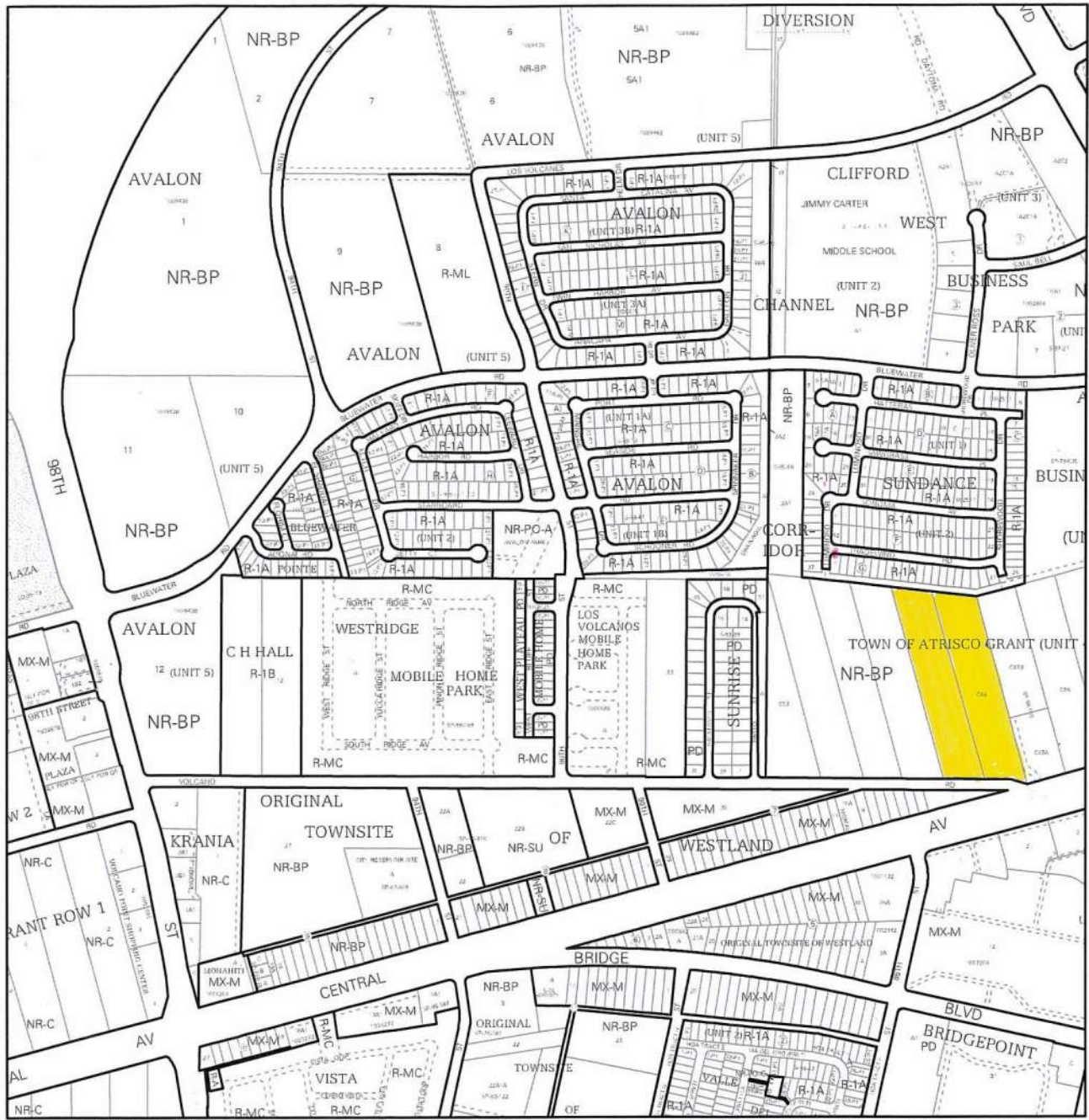
Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.



Robert Lucero, Esq.
Zoning Hearing Examiner


cc:

ZHE File
Zoning Enforcement
Michelle Henrie, michelle@mhenrie.com
Ben Lokhorst, blokhorst@macritchie.biz




For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

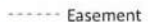

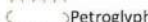
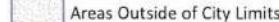






IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-09-Z



Gray Shading
Represents Area Outside
of the City Limits

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Feet
0 250 500 1,000



MHenrie | Land ◦ Water ◦ Law

LETTER OF AUTHORIZATION

Subject Property: *Tracts C48 and C49 Unit 4 Town of Atrisco Grant, Central and Volcano (containing approximately 9.59 Acres).*

I, the undersigned current owner of the subject property, hereby designate Michelle Henrie, LLC (Michelle Henrie) to be my authorized representative for all planning and zoning requests associated with the subject property, including any appeals.

By: Stephanie H. Garcia

Date: October 30, 2020

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Albuquerque - RV Storage

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Section 21, Township 10 North, Range 2 East, City of Albuquerque, Bernalillo County, New Mexico. Tracts C48 and C49, Unit 4

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Crst Engineer
		8"	Replace (upsized) existing water main (Approx. 325')	Volcano Road NE	Existing main in Central Avenue at Volcano Road	Southwestern property corner of development site	/	/	/
		8"	Extend public sanitary sewer collector line (Approx. 505')	Volcano Road NE	Existing manhole #K09791	Southwestern property corner of development site	/	/	/
		7,330 S.F., 26' wide from face of curb to face of curb.	Asphalt pavement; (96-foot diameter cul-de-sac)	Cul-de-sac at end of Volcano Road NE	Edge of existing pavement	Southern property line of development site	/	/	/
		6" curb and gutter	Construct new curb and gutter	Improvements shown along Volcano Road NE	Southwestern property line corner extension of development site	Southern property line of development site	/	/	/
		6' concrete sidewalk	Construct new concrete sidewalk	Improvements shown along north side of Volcano Road NE	Southern property line of development site	~10' southwest of southeastern property corner of development site	/	/	/
		6' concrete sidewalk	Construct new concrete sidewalk	From cul-de-sac to frontage road	Southern property line of development site	~ 10.5' South from southwestern property corner of development site	/	/	/
		890 S.F.	Demolition of existing asphalt pavement	Abutting proposed paving improvements	Existing edge of pavement (~20' south of southern property line of development site)	Limits of new curb and gutter in cul-de-sac beyond existing edge of asphalt and southern property line of development site	/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
---------------	---	--

NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Michelle Lujan
Grisham
Governor

STATE OF NEW MEXICO
DEPARTMENT OF CULTURAL AFFAIRS
HISTORIC PRESERVATION DIVISION

BATAAN MEMORIAL BUILDING
407 GALISTEO STREET, SUITE 236
SANTA FE, NEW MEXICO 87501
PHONE (505) 827-6320 FAX (505) 827-6338

March 16, 2021

Suzan O'Larick
Cultural Resource Laboratory Manager/Archaeologist
TRC
6501 Eagle Rock Ave NE, Suite B5,
Albuquerque, NM 87113

Re: HPD Log # 114729, A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico

Dear Ms. O'Larick:

On behalf of the New Mexico State Historic Preservation Officer (SHPO) I want to thank you for cooperating with SHPO in regards to the aforementioned project. I have reviewed the submitted document entitled "*A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico (NMCRIS No. 147375)*" prepared by TRC. The SHPO concurs with the recommendations and/or effects as proposed in the report. Specifically, this project will have no effect on cultural resources within the project area.

If you have any concerns or questions, please contact me by phone at (505)-452-6115 or e-mail me at richard.reycraft@state.nm.us.

Sincerely,

Richard Reycraft
Richard Reycraft
HPD Archaeological Review



City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

Planning Department

Brennon Williams, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE:

SUBJECT:

Case Number(s):

Agent:

Applicant:

Legal Description:

Zoning:

Acreage:

Zone Atlas Page(s):

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

Date

NMCRI INVESTIGATION ABSTRACT FORM (NIAF)

1. NMCRI Activity No.: 147375	2a. Lead (Sponsoring) Agency: City of Albuquerque	2b. Other Permitting Agency(ies):	3. Lead Agency Report No.:									
4. Title of Report: A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico. Author(s) Paula Pflapsen			5. Type of Report <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive									
6. Investigation Type <input type="checkbox"/> Research Design <input checked="" type="checkbox"/> Survey/Inventory <input type="checkbox"/> Test Excavation <input type="checkbox"/> Excavation <input type="checkbox"/> Collections/Non-Field Study <input checked="" type="checkbox"/> Overview/Lit Review <input type="checkbox"/> Monitoring <input type="checkbox"/> Ethnographic study <input type="checkbox"/> Site specific visit <input type="checkbox"/> Other												
7. Description of Undertaking (what does the project propose): A private developer plans to purchase a vacant parcel for development of an RV park. Client is required to submit an archeological certificate in site plan DRB package in accordance with IDO Section 14-16-6-5. Our site is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.		8. Dates of Investigation: (from: 2/17/2021-2/17/2021)										
10. Performing Agency/Consultant: TRC, Inc. Principal Investigator: Paula Pflapsen Field Supervisor: Field Personnel Names: N/A		9. Report Date: 2/18/21										
13. Client/Customer (project proponent): Kimley Horn Contact: Ben Lokhorst MacRitchie, Inc. 715 5th Ave SW Suite 1700 Calgary AB T2P 2X6, Canada (403) 973-4882		11. Performing Agency/Consultant Report 431377-C-01 12. Applicable Cultural Resource Permit No(s): New Mexico State Permit NM-22-028-S										
14. Client/Customer Project No.:												
15. Land Ownership Status (<u>Must</u> be indicated on project map): <i>Record Review ONLY</i> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;">Land Owner</th> <th style="width: 25%;">Acres Surveyed</th> <th style="width: 25%;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> <tr> <td style="text-align: right;">TOTALS</td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	9.54	9.54	TOTALS	9.54	9.54
Land Owner	Acres Surveyed	Acres in APE										
Private	9.54	9.54										
TOTALS	9.54	9.54										
16 Records Search(es): The continuation form has the results of the Class I records searches (Figures 14–16). No known sites occur within the immediate vicinity of the project area.												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;">Date(s) of ARMS File Review 2/14/2021</td> <td style="width: 40%;">Name of Reviewer(s)</td> <td style="width: 20%;"></td> </tr> <tr> <td>Date(s) of NR/SR File Review 2/15/2021</td> <td>Name of Reviewer(s) Paula Pflapsen</td> <td></td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td>Name of Reviewer(s)</td> <td>Agency</td> </tr> </table>		Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)		Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen		Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency		
Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)											
Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen											
Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency										
17. Survey Data: <p>a. Source Graphics <input type="checkbox"/> NAD 27 <input checked="" type="checkbox"/> NAD 83 <input checked="" type="checkbox"/> USGS 7.5' (1:24,000) topo map <input type="checkbox"/> Other topo map, Scale: <input checked="" type="checkbox"/> GPS Unit Accuracy <input type="checkbox"/> <1.0m <input checked="" type="checkbox"/> 1-10m <input type="checkbox"/> 10-100m <input type="checkbox"/> >100m</p> <p>b. USGS 7.5' Topographic Map Name USGS Quad Code</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <tr> <td style="width: 70%;">Albuquerque West</td> <td style="width: 30%;">35106-A6</td> </tr> </table> <p>c. County(ies): Bernalillo</p>				Albuquerque West	35106-A6							
Albuquerque West	35106-A6											

17. Survey Data (continued):

d. Nearest City or Town: Albuquerque, New Mexico

e. Legal Description:

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4
10N	2E	21	NE	SW	SE

Projected legal description? Yes [] , No [X] Unplatted []

f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.): Project parcel is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.

18. Survey Field Methods:

Intensity: 100% coverage <100% coverage

Configuration: block survey units linear survey units (l x w): other survey units (specify):

Scope: non-selective (all sites recorded) selective/thematic (selected sites recorded)

Coverage Method: systematic pedestrian coverage other method (describe)

Survey Interval (m): 15 m **crew Size:** 1 **Fieldwork Dates:** 2/17/21

Survey Person Hours: 1 **Recording Person Hours:** 0 **Total Hours:** 1

Additional Narrative: The parcel is an undeveloped vacant lot in southwest Albuquerque.

19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.):

The project area is associated with the Pajarito loamy fine sands soil. The Pajarito loamy fine sands soil is commonly found on plains and alluvial fans at elevations ranging from 1,400 feet (ft) to 6,000 ft above mean sea level (amsl) with slopes ranging from 1 to 9 percent. The project area for this undertaking falls within the Albuquerque Basin ecoregion (Griffith et al. 2006). Vegetation within this ecoregion is associated with shortgrass prairie, including grama grasses, sand and mesa dropseed, and sand sagebrush (Griffith et al 2006).

20. a. Percent Ground Visibility: 75–99% **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** Sand, limited scrub vegetation, development surrounds the parcels

21. CULTURAL RESOURCE FINDINGS Yes **No, Discuss Why:** Undeveloped parcel surrounded by development, two IOs-both historic metal noted with contemporary trash including plastic, rubber, glass, paper, metal and modern beer/soda cans.

22. Required Attachments (check all appropriate boxes):

- USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn
- Copy of NMCRIS Mapserver Map Check
- LA Site Forms - new sites (*with sketch map & topographic map*)
- LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)
- Historic Cultural Property Inventory Forms
- List and Description of isolates, if applicable
- List and Description of Collections, if applicable

23. Other Attachments:
 Photographs and Log
 Other Attachments
(Describe): aerial map, soil map, ARMS site searches

24. I certify the information provided above is correct and accurate and meets all applicable agency standards.

Principal Investigator/Responsible Archaeologist: Paula Pflapsen/Toni R. Goar

Signature 

Date 2/18/21 **Title (if not PI):**

25. Reviewing Agency:
Reviewer's Name/Date

Accepted () Rejected ()

Tribal Consultation (if applicable): Yes No

26. SHPO

Reviewer's Name/Date:

HPD Log #:

SHPO File Location:

Date sent to ARMS:

CULTURAL RESOURCE FINDINGS

[fill in appropriate section(s)]

1. NMCRIS Activity No.: 147375	2. Lead (Sponsoring) Agency: City of Albuquerque	3. Lead Agency Report No.:
<p>SURVEY RESULTS:</p> <p>Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited (<i>site update form required</i>): 0 Previously recorded sites not relocated (<i>site update form required</i>): 0 TOTAL SITES VISITED: 0 Total isolates recorded: 2 Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded (<i>new and previously recorded, including acequias</i>): 0</p> <p>MANAGEMENT SUMMARY: The cultural resource survey did not identify any eligible cultural resources within project parcel. Two isolated occurrences were found; both were historic metal. Old Route 66 is located outside of the parcel and although it is visible from the project location the proposed development will fit in with current surroundings and will have no direct or indirect effect on the resource.</p> <p style="text-align: center;"><u>IF REPORT IS NEGATIVE YOU ARE DONE AT THIS POINT.</u></p> <p>SURVEY LA NUMBER LOG</p>		

NMCRIS #147375

NIAF, Continuation Form

Previous Research

Class I ARMS Search

Previous surveys within 0.5-mile (0.8-km) of the project area

NMCRIS	Reference
131836	Kerr 2014
129761	Goar and Chavez 2014
100381	Raymond 2006
112452	Parish et al. 2009
131773	Fredine et al. 2014
134029	Lawrence et al. 2017
108614	Lawrence 2007
7006	Noyes 1985
35897	Noyes 1985

Class I ARMS Search

Known sites within 0.5-mile (0.8-km) of the proposed project area

Site No.	Land Status	Cultural Affiliation	National Register Eligibility	References	NMCRIS
31220	Private	Navajo (1880- AD-1929 AD)	N/A	Giplin et al. 1994	50302
31228	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
31229	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
42596	Navajo Nation	Unknown	Eligible	N/A	92657
137658	N/A	N/A	N/A	Deleted	80780
31227	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
180319	N/A	N/A	N/A	Kerr 2014	131836
180320	N/A	N/A	N/A	Kerr 2014	131836
31226	Private	Navajo (1500 AD-1993 AD; 1945 AD-1993 AD)	N/A	Hartman 1977	16580
50336	Private	Ancestral Pueblo (1 AD-1600 AD); Hispanic (1945 AD-1993 AD)	N/A	Kayser 1995	7069

References

Fredine, Jeff, Hollis Paul Lawrence, Cheryl Somer
2014 Cultural Resources Inventory Report for Central Avenue Corridor Bus Rapid Transit (BRT), Albuquerque Rapid Transit (ART), City of Albuquerque, Bernalillo County, New Mexico. Report PB-2014-10. NMCRIS 131773.

- Gilpin, Dennis, Jean A. Mercer, Angela R. Linse, and Cherie L. Scheick
2017 Ethnography and Archaeology on Selected Parcels of McKinley Mine, McKinley County, New Mexico Report 94-40. NMCRIS 50302.
- Goar, Toni R. and Christina Chavez
2014 A Cultural Resource Survey for the Daytona Distribution Center, Albuquerque, Bernalillo County, New Mexico. Report 14009.09. NMCRIS 129761.
- Griffith, G.E., Omernik, J.M., McGraw, M.M., Jacobi, G.Z., Canavan, C.M., Schrader, T.S., Mercer, D., Hill, R., and Moran, B.C.,
2006 Ecoregions of New Mexico (color poster with map, descriptive text, summary tables, and photographs): Reston, Virginia, U.S. Geological Survey (map scale 1:1,400,000)
- Hartman, Russell P.
1977 Archaeological Clearance Survey Report of a Tract of Land in the Vicinity of McKinley Mine, McKinley County, New Mexico. Report NA. NMCRIS 16580.
- Kayser, David W.
1995 An Addendum to the Archeological Clearance Report for Enerdex, Inc.'s Proposed Blue Star Federal No. 1 Well Pad Project Situated on Fee Surface-Federal Minerals Lands in Eddy County, N.M. Report 95005. NMCRIS 50336.
- Kerr, R. Stanley
2014 A Cultural Resource Survey for a Proposed Housing Development Project, 90th Street, Albuquerque, Bernalillo County, New Mexico. Report 14055.09. NMCRIS 131836.
- Lawrence, Hollis P.
2007 Cultural Resource Survey for Phases I and II of the Unser Boulevard South Improvement Project, City of Albuquerque, Bernalillo County, New Mexico. Report HCC-2007-16. NMCRIS 108614.
- Lawrence, Hollis P., Darryl Del Frate, and Jeff Fredine
2017 Unser Boulevard Roadway Improvements Project; City of Albuquerque, Bernalillo County, New Mexico. Report PB-2015-07. NMCRIS 134029.
- Noyes, Peter T.
1985 A Cultural Resources Survey of an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico. Report 185-262. NMCRIS 7006.
1985 Letter Report: Addendum to "A Cultural Resources Survey on an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico (UNM Proposal 185-262). Report 185-262A. NMCRIS 35897.
- Parrish, Chris, Tom Shine, Beau DeBoer, and Nicholas Parker
2009 A Cultural Resource Inventory for the PNM-Central 13 Reconductor Project in Albuquerque Bernalillo County, New Mexico. Report 2008-78. NMCRIS 112452.
- Raymond, Gerry
2006 Negative Cultural Resource Survey Report for a Proposed Cell Tower Location at the Northwest Corner of Bluewater Road and Oliver Ross Drive in Albuquerque, Bernalillo County, New Mexico. Report NM01263D. NMCRIS 100381.

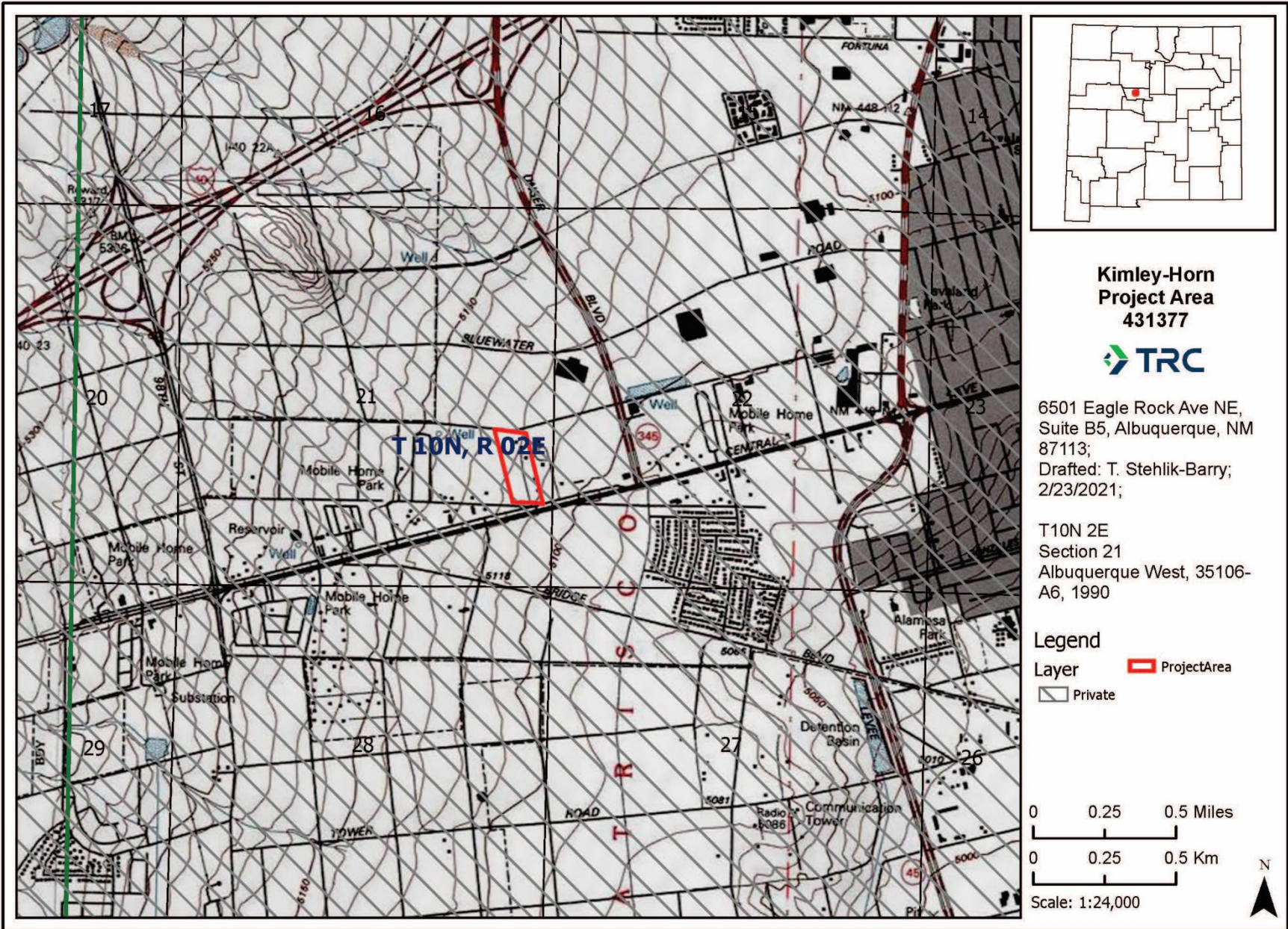


Figure 1 Project Location Quad Map

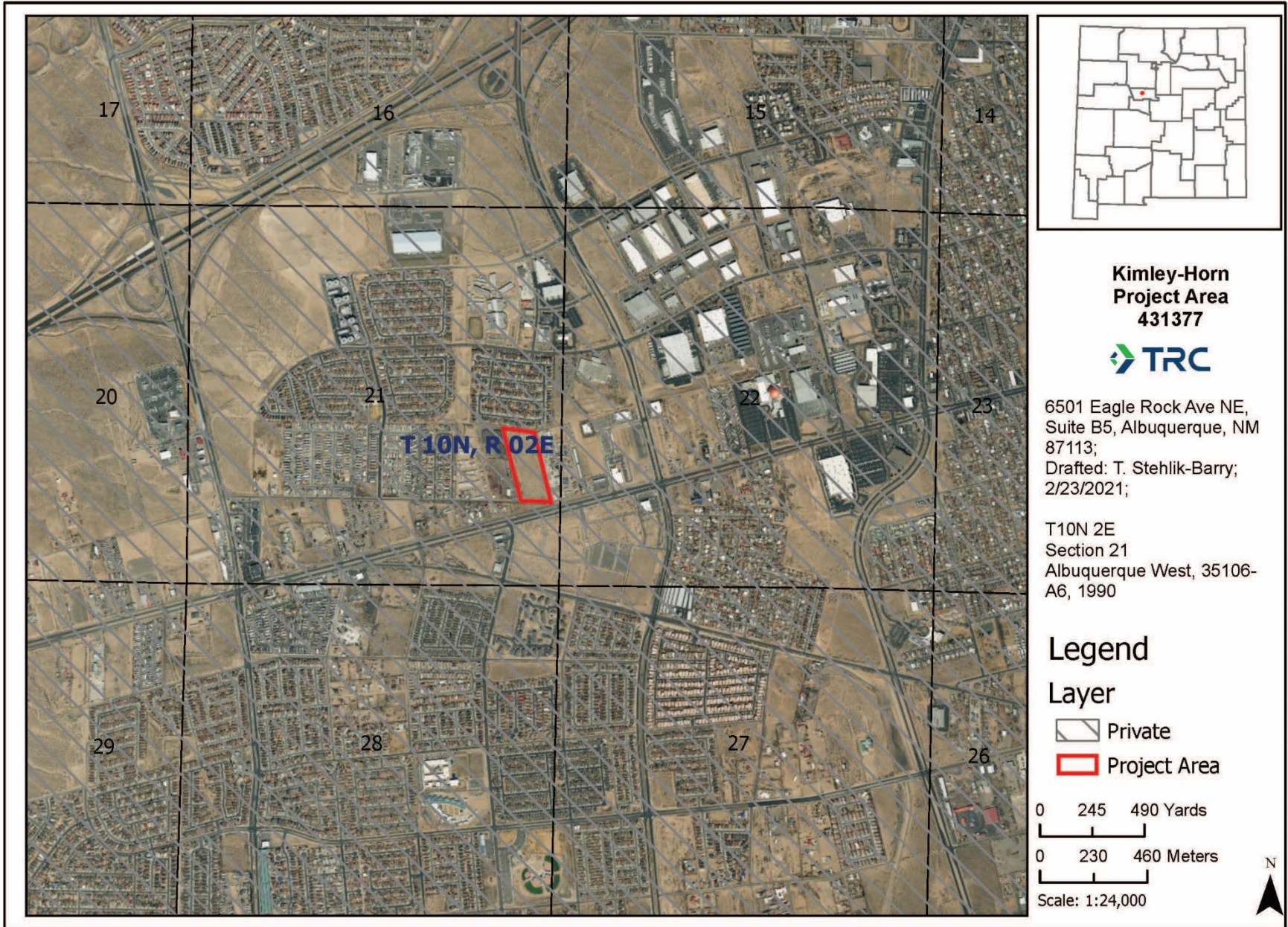


Figure 2 Aerial Map of Project Location

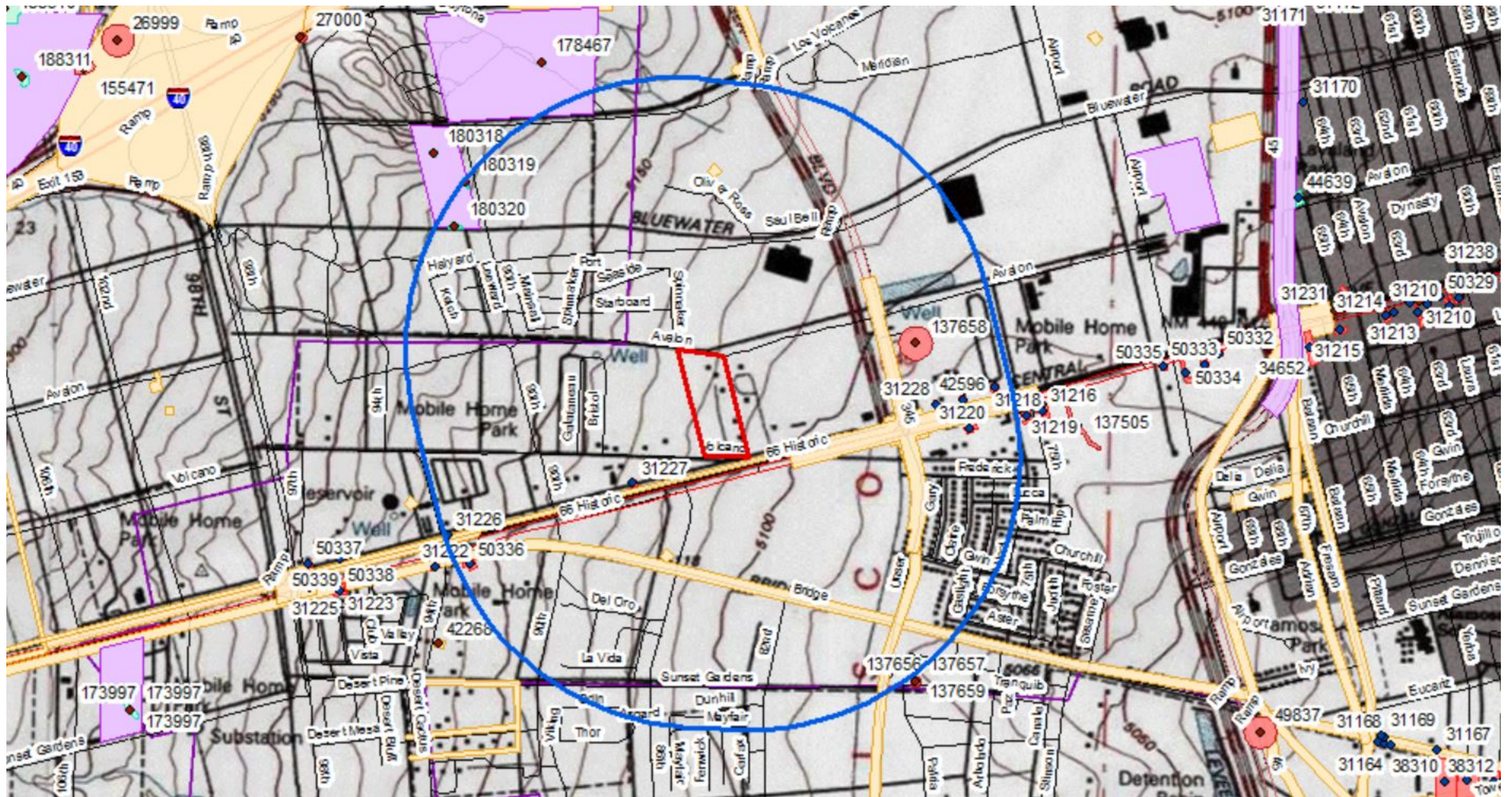
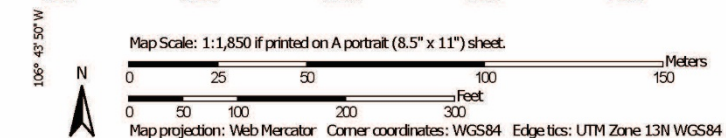


Figure 3 ARMS mapserver

Soil Map—Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico
(Project Area)



Soil Map may not be valid at this scale.



USDA Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

2/23/2021

Figure 4 Soils Map



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: RV Storage- Albuquerque Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: K-09-Z DRB#: PR-2020-004757 EPC#: _____ Work Order#: _____
Legal Description: Tracts C48 and C49 Unity 4 Town of Atrisco Grant
City Address: Central Ave NW at Volcano Rd. NW

Applicant: Kimley-Horn Associates, Inc. Contact: Stephen Litas
Address: 4582 South Ulster Street, Suite 1500 Denver, CO 80237
Phone#: 720-647-6231 Fax#: N/A E-mail: Stephen.Litas@kimley-horn.com

Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: NR-BP

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:

Site development planned use for covered RV Storage.

Days and Hours of Operation (if known): Visitor hours: 8 to 5 pm", tenant access (gate controlled) 24 hours a day

Facility

Building Size (sq. ft.): 400 SF (office) and 202,785 SF (covered RV storage)

Number of Residential Units: 0

Number of Commercial Units: 1

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* 4 visitors

Expected Number of Employees (if known):* 1

Expected Number of Delivery Trucks/Buses per Day (if known):* None

Trip Generations during PM/AM Peak Hour (if known):* 13 pm /9 am

Driveway(s) Located on: Volcano Road NW

Adjacent Roadway(s) Posted Speed: Street Name Central Avenue Posted Speed 55 mph

Street Name Volcano Road Posted Speed 35 mph assumed

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Community Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Activity Center
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): NMDOT

Adjacent Roadway(s) Traffic Volume: 10,700 cars/day Volume-to-Capacity Ratio: _____
(if applicable)

Adjacent Transit Service(s): Bus Line Nearest Transit Stop(s): Bus Stop ID: 5702

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: Bike lane on Central Avenue
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalk along the City streets adjacent to the development will be required

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No Borderline []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes: Low number of peak hour trips

M.P. P.E.

1/15/2021

TRAFFIC ENGINEER

DATE



Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

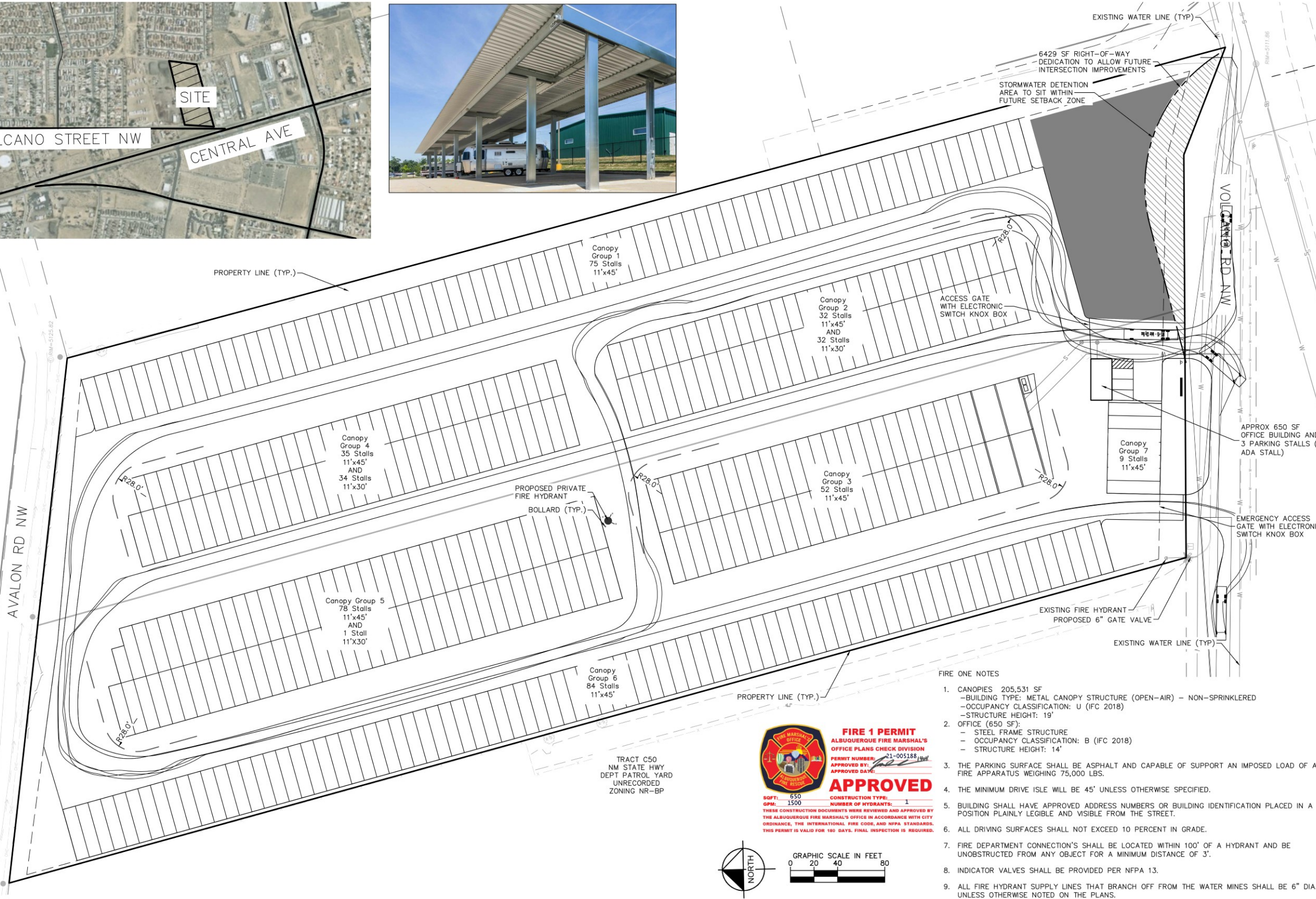
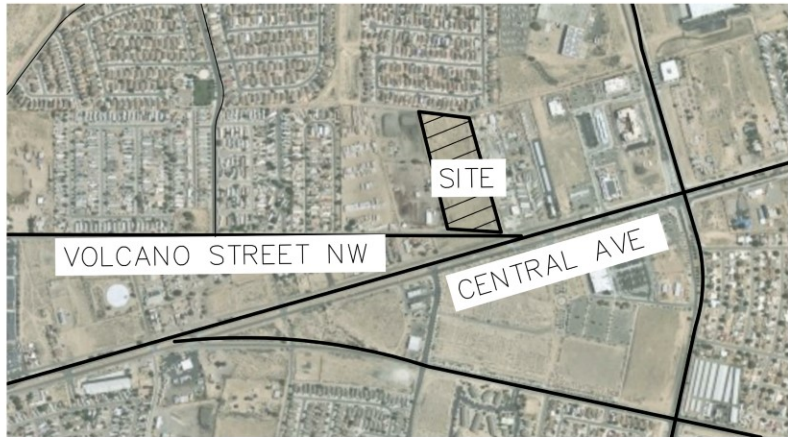
Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND MISREPRESENTATION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

CANOPY SAMPLE



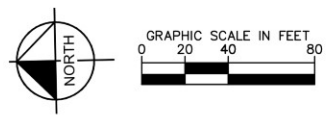
TRACT C50
NM STATE HWY
DEPT PATROL YARD
UNRECORDED
ZONING NR-BP

FIRE 1 PERMIT
ALBUQUERQUE FIRE MARSHAL'S
OFFICE PLANS CHECK DIVISION
PERMIT NUMBER: 21-005188
APPROVED BY: [Signature]
APPROVED DATE: [Date]

APPROVED

SQFT: 650 CONSTRUCTION TYPE: 1
GPM: 1500 NUMBER OF HYDRANTS: 1

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.



FIRE ONE NOTES

- CANOPIES 205,531 SF
- BUILDING TYPE: METAL CANOPY STRUCTURE (OPEN-AIR) - NON-SPRINKLERED
- OCCUPANCY CLASSIFICATION: U (IFC 2018)
- STRUCTURE HEIGHT: 19'
- OFFICE (650 SF):
- STEEL FRAME STRUCTURE
- OCCUPANCY CLASSIFICATION: B (IFC 2018)
- STRUCTURE HEIGHT: 14'
- THE PARKING SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORT AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
- THE MINIMUM DRIVE ISLE WILL BE 45' UNLESS OTHERWISE SPECIFIED.
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- FIRE DEPARTMENT CONNECTION'S SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
- INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
- ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MINES SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS.
- WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWING SHALL BE ON SITE FOR INSPECTIONS.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
KIMLEY-HORN AND ASSOCIATES, INC.
4652 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 1/28/2021

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO, TRACTS C48 AND
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
FIRE 1 PLAN**

PROJECT NO.
096648005
DRAWING NAME
FIRE PLAN
SHEET 1 OF 1
F1

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.


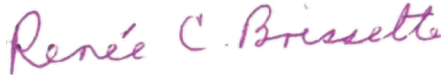
PROJECT NAME: RV Storage - ABQ

AGIS MAP # Zone Atlas Map: K-09-Z

LEGAL DESCRIPTIONS: Tract C48 and C49, Unit 4 of Town of Atrisco Grant

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**


A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 02/24/2021 (date).

Stephen Litsas 	03/03/2021
Applicant/Agent	Date
	03/04/21
Hydrology Division Representative	Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on 02/03/2021 (date).

Stephen Litsas 	03/03/2021
Applicant/Agent	Date
ABCWUA Representative	Date

PROJECT # 2020-004757

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.


PROJECT NAME: RV Storage - ABQ

AGIS MAP # Zone Atlas Map: K-09-Z

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Stephen Litsas 
Applicant/Agent 03/03/2021
Date

Hydrology Division Representative Date

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Stephen Litsas 
Applicant/Agent 03/03/2021
Date

Luis Ordóñez-Olivas 
ABCWUA Representative 3/4/2021
Date

PROJECT # 2020-004757

March 25, 2021

Chair

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Vice Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Walt Benson
County of Bernalillo
Commissioner, District 4

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Ex-Officio Member
Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Stephan Litsas
Kimley-Horn Associates, Inc.
4582 S Ulster Street, Suite 1500I
Denver, Colorado 80237

RE: Water and Sanitary Sewer Availability Statement #210111

Project Name: RV Storage - Albuquerque

**Legal Description: TR C-48 and C-49 TOWN OF ATRISCO GRANT UNIT 4 IN
SEC 21 T10N R2E**

UPC: 100905746717740609 & 100905748517640611

Zone Atlas Map: K-9

Dear Mr. Litsas:

Project Description: The subject site is located on the northwest corner of the intersection of Volcano Rd and Central Ave. within the City of Albuquerque. The proposed development consists of approximately ten acres and the property is currently zoned NR-BP for business park use. The property lies within the Pressure Zone 2WR in the Atrisco trunk. The request for availability indicates plans to develop the site to accommodate a new recreational vehicle storage facility. It is understood that the facility will have 432 covered storage spaces totaling approximately 202,785 square feet and a 400 square foot office building.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six-inch cast iron distribution main (project #03-005-71) along Volcano Rd.
- 18-inch CCYL well collector line (project #09-004-77) along Volcano Rd.
- Six-inch cast iron distribution main (project #03-003-65) along Central Ave.
- Six-inch PVC distribution main (project #26-7172.81-05) located northeast of the site.

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch concrete pipe collector line (project #07-017-54) along Central Ave.
- Eight-inch PVC collector line (project #26-7172.81-05) located northeast of the site.

Water Service: New metered water service to the property can be provided contingent upon a developer funded project to replace the existing six (6) inch distribution main along Volcano Rd. with an eight (8) inch. The length of the extension shall be from the intersection of Volcano Rd. and Central Ave. to the southwest property corner of the site.

It is understood that a private fire line is required for the site. Please note that all onsite required hydrants are to be considered private and painted safety orange.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent

upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided contingent upon a developer funded project to extend a public eight (8) inch sanitary sewer collector line extension, from existing manhole #K09791, along Volcano Rd., the length required to cover the sites frontage.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 1,500 gallons-per-minute. As modeled using InfoWater™ computer software, the fire flow cannot be met with the existing infrastructure along the site's frontage. It is to be noted that the fire flow can be met with the aforementioned developer funded improvements. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Please note that the engineer designing the fire line is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as

detailed in the Water Authority Water and Wastewater System Expansion Ordinance. Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Bernalillo County Department of Public Works and Water Authority Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

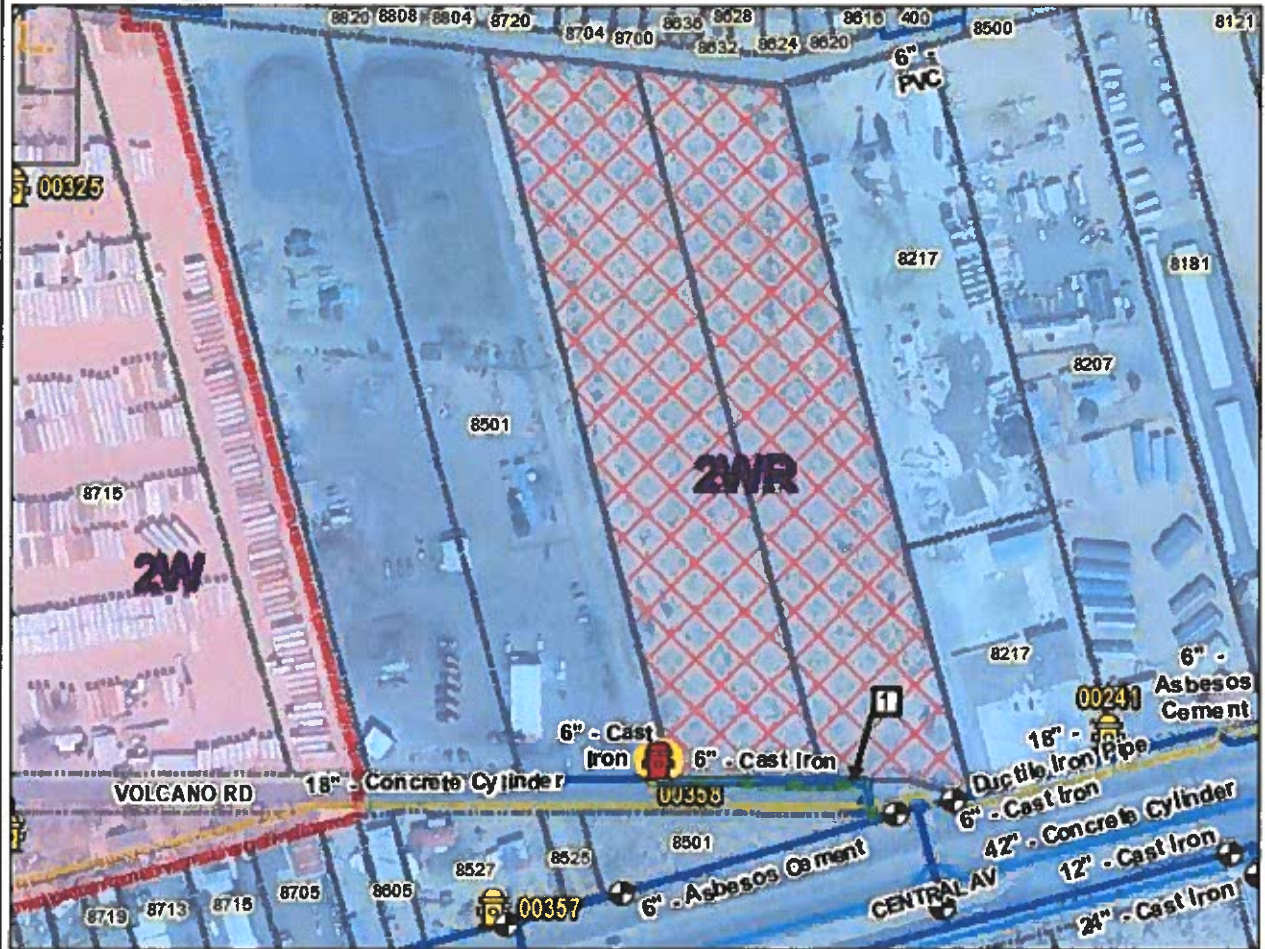
Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Availability Statement 210111

210111 - Water



Legend

- Project Location
- Valve
- Analysis Point
- Hydrant

0 450 900 Feet



--- General Map Keyed Notes

1. --- Existing Public Waterline To Be Upsized

Pipe

SUBTYPE

- Distribution Line
- Hydrant Leg
- In Zone Transmission
- Well Collector Line
- Pressure Zone Boundary
- 2W
- 2WR



210111 - Sanitary Sewer



Legend

Project Location

Sewer Manhole

Sewer Pipe

SUBTYPE

COLLECTOR

0 450 900 Feet



-- General Map Keyed Notes

1. --- Proposed Sewer Extension

2. --- Connection Manhole K-09791



3/4/2021

City of Albuquerque
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Site Plan DRB Review - Letter of Justification

Dear DRB,

Kimley-Horn is pleased to submit this Letter of Justification on behalf of our Client, Macritchie, for the DRB Site Plan Review process (herein referred to as the “Project”).

The Project is to be a RV Storage development is in accordance with the IDO 6-6(G)(3) criteria. The conditions of criteria are:

- a. The carport would strengthen or reinforce the architectural character of the surrounding area.
 - a. Justification: The carport will strengthen the architectural character of the area. The canopy details can be found on page 11 of the plan set and will provide a cohesive and clean architectural character to the neighborhood.
- b. The carport would not be injurious to adjacent properties, the surrounding neighborhood, or the larger community.
 - a. Justification: An opaque screen wall will be used along the northern border of the site adjacent to the residential properties, and significant landscaping has been proposed onsite
- c. The design of the carport complies with the provisions in Subsection 14-16-5-5(F)(2)(a)3
 - a. Justification: The design of the carports will adhere to these provisions.
- d. No carport wall is a hazard to traffic visibility, as determined by the Traffic Engineer
 - a. Justification: The carports will be all located on-site, and be of no hazard to traffic visibility. The Traffic Engineer did not note any visibility concerns with the proposed plans or structures onsite, refer to Traffic Scoping form included in the DRB submittal package.
- e. The carport is not taller than the primary building on the lot
 - a. Justification: This site is unique, as there is no primary building on the site. The canopies are the only structure on site, and therefore this specific section of the code should not apply. We are requesting a variance for this section of the code on this submission.

The above described use will adhere to the codes and requirements outlined within the City’s design standards. We are excited to bring this project to the City.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'SL', with a large loop at the end.

Stephen Litsas
Kimley-Horn



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS		
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Site Plan and Plat.		
Decision-making Body: Design Review Board (DRB)		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Note: if yes, see second page
PART II – DETAILS OF REQUEST		
Address of property listed in application: Corner of Volcano Road and Central Avenue		
Name of property owner: Macritchie, Inc		
Name of applicant: Kimley-Horn Associates		
Date, time, and place of public meeting or hearing, if applicable:		
Address, phone number, or website for additional information:		
Stephen Litsas - (720) 647-6231 - 4582 South Ulster Street, Suite 1500, Denver, CO 80237		
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Annie Morgan (Applicant signature) 1.18.2021 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**




PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Name and Address of Sender



Kimley Horn
4582 S Ulster St Ste 1500
Denver, CO 80237

- Check type of mail or service
- Adult Signature Required
 - Adult Signature Restricted Delivery
 - Certified Mail
 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
 - Insured Mail
 - Priority Mail
 - Priority Mail Express
 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

Affix Stamp Here
(for additional copies of this Postmark with Date of Receipt)



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U.S. POSTAGE PAID
DENVER, CO 80237
JAN 21, 21 AMOUNT
\$21.07
R2305M147268-08

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage (Extra Service) Fee Handling Charge Ac if F

1. TRUJILLO MARY ELIZABETH C/O KUPJACK
TIMOTHY & KUPJACK EDWARD J
209 ATLANTIC AVE SW
ALBUQUERQUE NM 87102

2. SANDOVAL JESUS M SALCIDO
1321 2ND ST SW
ALBUQUERQUE NM 87102

3. GARCIA-DOMINGUEZ SUSAN ANNETTE &
DOMINGUEZ ALAN SIXTUS
PO BOX 7051
ALBUQUERQUE NM 87194-7051

4. LUCAS JOHN L
909 2ND ST SW
ALBUQUERQUE NM 87102-4281

5. HOMEWISE INC
1301 SILER RD BLDG D
SANTA FE NM 87507-3540

6. CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

7. VIWA JOINT VENTURE BY ESPANOLES LLC &
ASHCRAFT REAL ESTATE & DEVEL CORP & ETAL
ATTN BERGER BRIGGS
ALBUQUERQUE NM 87107-6833

8. SALAZAR FRANCES & BERNARDO SALAZAR
5528 CAMINO VIENTO NW
ALBUQUERQUE NM 87120-1905

Handling Charge - if Registered and over \$50,000 in value



0000

U.S. POSTAGE PAID
DENVER, CO 80237
JAN 21, 21 AMOUNT
\$17.20
R2305M147268-08



Adult Signature Required	Adult Signature Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted	Special Handling


Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

[Handwritten Signature]
Complete in Ink

Name and Address of Sender



Kimley Horn
4582 S Ulster St Ste 1500
Denver, CO 80237

- Check type of mail or service
- Adult Signature Required
 - Adult Signature Restricted Delivery
 - Certified Mail
 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
 - Insured Mail
 - Priority Mail
 - Priority Mail Express
 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	HOMEWISE INC 716 2ND ST SW ALBUQUERQUE NM 87102-0000			Handling Charge - if Registered and over \$50,000 in value											
2.	SANCHEZ CARMEN F 1115 2ND ST SW ALBUQUERQUE NM 87102														
3.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120								Adult Signature Required	Adult Signature Restricted Delivery					
4.	NAVARRETE TONY R & LEONELLA RITA TRUSTEES NAVARRETE RVT 328 GREENWICH RD SW ALBUQUERQUE NM 87105-3809									Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling	
5.	SAUCEDO SAMUEL 905 2ND ST SW ALBUQUERQUE NM 87102-4281														
6.	CONWAY SCOTT A 915 2ND ST SW ALBUQUERQUE NM 87102-4281														
7.	ATCHISON TOPEKA & SANTA FE RAILWAY CO PO BOX 1738 TOPEKA KS 66628-0001														
8.	PUBLIC SERVICE CO OF NM ALVARADO SQUARE ALBUQUERQUE NM 87158														




Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postmaster Per, (Name of receiving employee)

[Signature]
Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.

Name and Address of Sender

Kimley Horn
 4582 S Ulster St Ste 1500
 Denver, CO 80237

- Check type of mail or service
- Adult Signature Required
 - Adult Signature Restricted Delivery
 - Certified Mail
 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
 - Insured Mail
 - Priority Mail
 - Priority Mail Express
 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

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Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	MATTA TONY C 1002 COMMERCIAL ST SE ALBUQUERQUE NM 87102													
2.	SMITH GREY 820 COMMERCIAL ST SE ALBUQUERQUE NM 87102-4214													
3.	JUAREZ MAURO & SOCORRO 1305 2ND ST SW ALBUQUERQUE NM 87102													
4.	THOMAS RAMONA M PO BOX 12353 ALBUQUERQUE NM 87195-2353													
5.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
6.	MONTEZ WENDY LEE & GILBERT GARY 1111 2ND ST SW ALBUQUERQUE NM 87102-4125													
7.	PADILLA ANDREW C/O CANO CECILIA & GRAJEDA MARTHA G 310 SANTA FE AVE SW ALBUQUERQUE NM 87102-4162													
8.	REALYVAZQUEZ ARON A 208 ATLANTIC AVE SW ALBUQUERQUE NM 87102													

Handling Charge - if Registered and over \$50,000 in value




Adult Signature Required
 Adult Signature Restricted Delivery
 Restricted Delivery
 Return Receipt
 Signature Confirmation
 Signature Confirmation Restricted Delivery
 Special Handling

Total Number of Pieces Listed by Sender: **8**

Total Number of Pieces Received at Post Office: **8**

Postmaster Per (Name of receiving employee): *[Signature]*

Complete in Ink

Name and Address of Sender

Kimley Horn
 4582 S Ulster St Ste 1500
 Denver, CO 80237

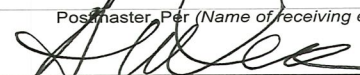
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1.	PROVENCIO RAY MARK 200 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178			Handling Charge - if Registered and over \$50,000 in value											
2.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120														
3.	MONTOYA LILLY & PATRICK A 1802 CONITA REAL AVE SW ALBUQUERQUE NM 87105								Adult Signature Required	Adult Signature Restricted Delivery					
4.	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.	VIGIL SALLY C & DORTHEA GALLEGOS & MARTINEZ SANDRA 1207 2ND ST SW ALBUQUERQUE NM 87102-4301								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
6.	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
7.	MARTIN CHRISTINE 1301 2ND ST SW ALBUQUERQUE NM 87102								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
8.	GENERATION PARTNERS 3540 SWENSON ST SUITE 100 LAS VEGAS NV 89169-9235								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling



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Postmaster Per (Name of receiving employee)


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1.	ARMIJO MICHELLE Y 1105 2ND ST SW ALBUQUERQUE NM 87102													
2.	NICOLE CANDICE 204 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178													
3.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120													
4.	SAIZ DAVID 215 16TH ST NW ALBUQUERQUE NM 87104-1221													
5.	SORIANO SAUL IRIGOYEN 1012 COMMERCIAL ST NE ALBUQUERQUE NM 87102-4405													
6.	JARAMILLO LORI L & CHAVEZ FRANK S 2700 LINDA PL SW ALBUQUERQUE NM 87105-4471													
7.	LUNA ADRIAN & RODIRGUEZ MARIA LUZ 202 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178													
8.	CARDENAS BLANCA E 9501 ROWEN RD SW ALBUQUERQUE NM 87121													

Handling Charge - if Registered and over \$50,000 in value



Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery


Special Handling

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Postmaster, Per (Name of receiving employee): [Signature]

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1.	HERNANDEZ PEDRO & SOCORRO 1317 2ND ST SW ALBUQUERQUE NM 87102-4302													
2.	GARCIA LUZ 1215 2ND ST SW ALBUQUERQUE NM 87102-4301													
3.	HOMEWISE INC 803 2ND ST SW ALBUQUERQUE NM 87102-4120													
4.	ARMENTA JESUS M 1118 COMMERCIAL ST SE ALBUQUERQUE NM 87102-4406													
5.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
6.	NUNEZ GABRIEL R 802 COMMERCIAL ST SE ALBUQUERQUE NM 87102													
7.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
8.	GENERATION PARTNERS 3540 SWENSON ST SUITE 100 LAS VEGAS NV 89169-9335													

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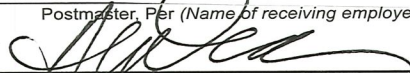
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1.	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PO BOX 1293 ALBUQUERQUE NM 87103-1293			Handling Charge - if Registered and over \$50,000 in value											
2.	FLORES-MARTINEZ GLADYS M & MARTINEZ MARTIN L 1022 COMMERCIAL ST SE ALBUQUERQUE NM 87102														
3.	HERNANDEZ CARLOS & DEBRA 206 CROMWELL AVE SW ALBUQUERQUE NM 87102-4178								Adult Signature Required	Adult Signature Restricted Delivery					
4.	GONZALEZ EMILIANO & GRADO NIDIA R CISNEROS 101 LEWIS AVE SE ALBUQUERQUE NM 87102-4415										Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.	TAFOYA HARRY J & BEATRICE 6651/2 ATRISCO DR SW ALBUQUERQUE NM 87105-3181														
6.	RAIL YARD LAND LLC 777 1ST ST SW ALBUQUERQUE NM 87102-0000														
7.	SANCHEZ JULIAN L 1115 2ND ST SW ALBUQUERQUE NM 87102														
8.	VELASQUEZ VITA 407 OLIVIA RD LAS VEGAS NM 87701														




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Postmaster, Per (Name of receiving employee)



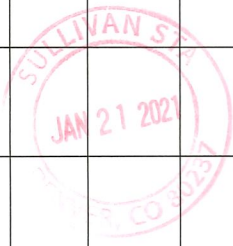
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1.	VIWA JOINT VENTURE BY ESPANOLES LLC & ASHCRAFT REAL EST & DEVEL CORP & ETAL ATTN BERGER BRIGGS ALBUQUERQUE NM 87107-6833			Handling Charge - if Registered and over \$50,000 in value											
2.	ROJU MARGARET A 919 2ND ST SW ALBUQUERQUE NM 87102-4281														
3.	CITY OF ALBUQUERQUE PO BOX 1293 ALBUQUERQUE NM 87103-2248								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery				
4.	HOMEWISE INC 500 2ND ST SW ALBUQUERQUE NM 87102-3852											Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.	TERRAZAS PEDRO M & DIONICIA 1116 COMMERCIAL ST SE ALBUQUERQUE NM 87102-4406														
6.	SANTIAGO ALEJANDRINA 1210 COMMERCIAL ST SE ALBUQUERQUE NM 87102														
7.	QUINTANA MARLENE T & GENE 108 CROMWELL AVE SE ALBUQUERQUE NM 87102-4216													Signature Confirmation Restricted Delivery	
8.	VIWA JOINT VENTURE BY ESPANOLES LLC & ASHCRAFT REAL ESTATE & DEVEL CORP & ETAL ATTN BERGER BRIGGS ALBUQUERQUE NM 87107-6833														



Total Number of Pieces Listed by Sender: **8**
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 Signature: *[Handwritten Signature]*
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Name and Address of Sender



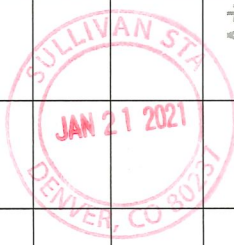
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1.	SAVEDRA JACOB N & DEBORAH C 2235 SKYBROOK DR NW ALBUQUERQUE NM 87120													
2.	DRISCOLL BRIAN 204 ATLANTIC AVE SW ALBUQUERQUE NM 87102													
3.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
4.	MCLLROY YNEZ 923 2ND ST SW ALBUQUERQUE NM 87102-4281													
5.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
6.	NUNEZ ANTONIO ETUX 412 67TH ST SW ALBUQUERQUE NM 87105													
7.	FREDERICK GENEVIEVE 200 ATLANTIC AVE SW ALBUQUERQUE NM 87102													
8.	VASQUEZ URIEL 1401 2ND ST SW ALBUQUERQUE NM 87102-4361													

Handling Charge - if Registered and over \$50,000 in value



Adult Signature Required
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 Restricted Delivery
 Return Receipt
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 Signature Confirmation Restricted Delivery
 Special Handling

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Postmaster, Per (Name of receiving employee): *[Signature]*

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Name and Address of Sender

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4582 S Ulster St Ste 1500
Denver, CO 80237

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1.	CITY OF ALBUQUERQUE PO BOX 1293 ALBUQUERQUE NM 87103-2248													
2.	GARCIA-DOMINGUEZ SUSAN ANNETTE & ALAN SIXTUS DOMINGUEZ PO BOX 7051 ALBUQUERQUE NM 87194-7051													
3.	NELSON MONICA V 6601 BURNS ST APT 1B REGO PARK NY 11374-3948													
4.	CHAVEZ JAMES T II 208 CROMWELL DR SW ALBUQUERQUE NM 87102													
5.	KNOBLAUCH CHARLES E & SUSANNE C 1023 2ND ST SW ALBUQUERQUE NM 87102													
6.	GENERATION PARTNERS 3540 SWENSON ST SUITE 100 LAS VEGAS NV 89169-9335													
7.	ESTRADA MARIA 1209 2ND ST SW ALBUQUERQUE NM 87102													
8.	LOPEZ ROBERT FELIX 1778 MISSION ST APT 6 SAN FRANCISCO CA 94103-2471													

Handling Charge - if Registered and over \$50,000 in value



Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

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1.	PEREZ FERNANDO & SOLEDAD 1301 WALTER SE ALBUQUERQUE NM 87102													
2.	MORENO ANGELA 709 1ST ST SW ALBUQUERQUE NM 87102													
3.	CITY OF ALBUQUERQUE PO BOX 2248 ALBUQUERQUE NM 87103-2248													
4.	Avalon NA Samantha Pina 423 Elohim Court NW Albuquerque, NM 87121													
5.	Avalon NA Lucy Anchondo 601 Stern Drive NW Albuquerque, NM 87121													
6.	South West Alliance of Neighborhoods (SWAN Coalition) Jerry Gallegos 5921 Central Avenue NW Albuquerque, NM 87105													
7. X														
8.	South West Alliance of Neighborhoods (SWAN Coalition) Luis Hernandez Jr. 5921 Central Avenue NW Albuquerque, NM 87105													
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office													

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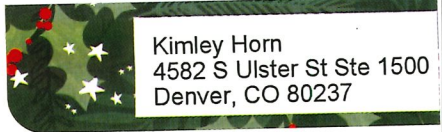


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1.	Westside Coalition of Neighborhood Associations Rene Horvath 5515 Palomino Drive NW Albuquerque, NM 87120			Handling Charge - if Registered and over \$50,000 in value											
2.	Westside Coalition of Neighborhood Associations Elizabeth Haley 6005 Chaparral Circle NW Albuquerque, NM														
3.															
4.															
5.															
6.															
7.															
8.															



Total Number of Pieces Listed by Sender: 2

Total Number of Pieces Received at Post Office: 2

Postmaster, Per (Name of receiving employee): [Signature]

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Thank You

Thank you for submitting your request. Please allow 24 – 48 hours to process your request for contact information.

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Stephen Litsas

Telephone Number

(720) 647-6231

Email Address

Stephen.Litsas@kimley-horn.com

Company Name

Kimley-Horn Associates

Company Address

4582 S Ulster Street. Suite 1500

City

Denver

State

CO

ZIP

80237

Legal description of the subject site for this project:

Tracts C48 and C49 Unity 4 Town of Atrisco Grant

Physical address of subject site:

Central Ave NW at Colcano Rd. NW

Subject site cross streets:

Volcano Road and Central Avenue

Other subject site identifiers:

This site is located on the following zone atlas page:

K-09-Z

Please attach a Zone Atlas Map that clearly indicates where the subject site is located.

application/pdf: 330768 bytes

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephen Litsas

(Applicant or Agent)

1.19.2021

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2020-004757

Litsas, Stephen

From: Carmona, Dalaina L. <dcarmona@cabq.gov>
Sent: Tuesday, January 19, 2021 8:33 AM
To: Litsas, Stephen
Subject: Volcano Rd and Central Ave Public Notice Inquiry
Attachments: Zone Atlas Map.pdf

Categories: External

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1
Avalon NA	Samantha	Pina	ava99secretary@gmail.com	423 Elohim Court NW
Avalon NA	Lucy	Anchondo	avalon3a@yahoo.com	601 Stern Drive NW
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccd@gmail.com	5921 Central Avenue NW
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccd.org	5921 Central Avenue NW
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact

the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
Office of Neighborhood Coordination
Council Services Department
1 Civic Plaza NW, Suite 9087, 9th Floor
Albuquerque, NM 87102
505-768-3334

dlcarmona@cabq.gov or ONC@cabq.gov
Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Friday, January 15, 2021 12:05 PM
To: Office of Neighborhood Coordination <stephen.litsas@kimley-horn.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Stephen Litsas

Telephone Number

720-647-6231

Email Address

stephen.litsas@kimley-horn.com

Company Name

Kimley-Horn

Company Address

4582 South Ulster Street, Suite 1500

City

Denver

State

CO

ZIP

80237

Legal description of the subject site for this project:

No assigned street address yet. Tracts C48 and C49 Unit 4 Town of Atrisco Grant. The property is next door to Designco Construction at 8207 Central Ave NW, Albuquerque, NM 87121 on Central NW and Volcano SW, Albuquerque, NM, 87121. See zone atlas page

Physical address of subject site:

No assigned address. See description above

Subject site cross streets:

Volcano Rd and Central Ave

Other subject site identifiers:

This site is located on the following zone atlas page:

K-09-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.

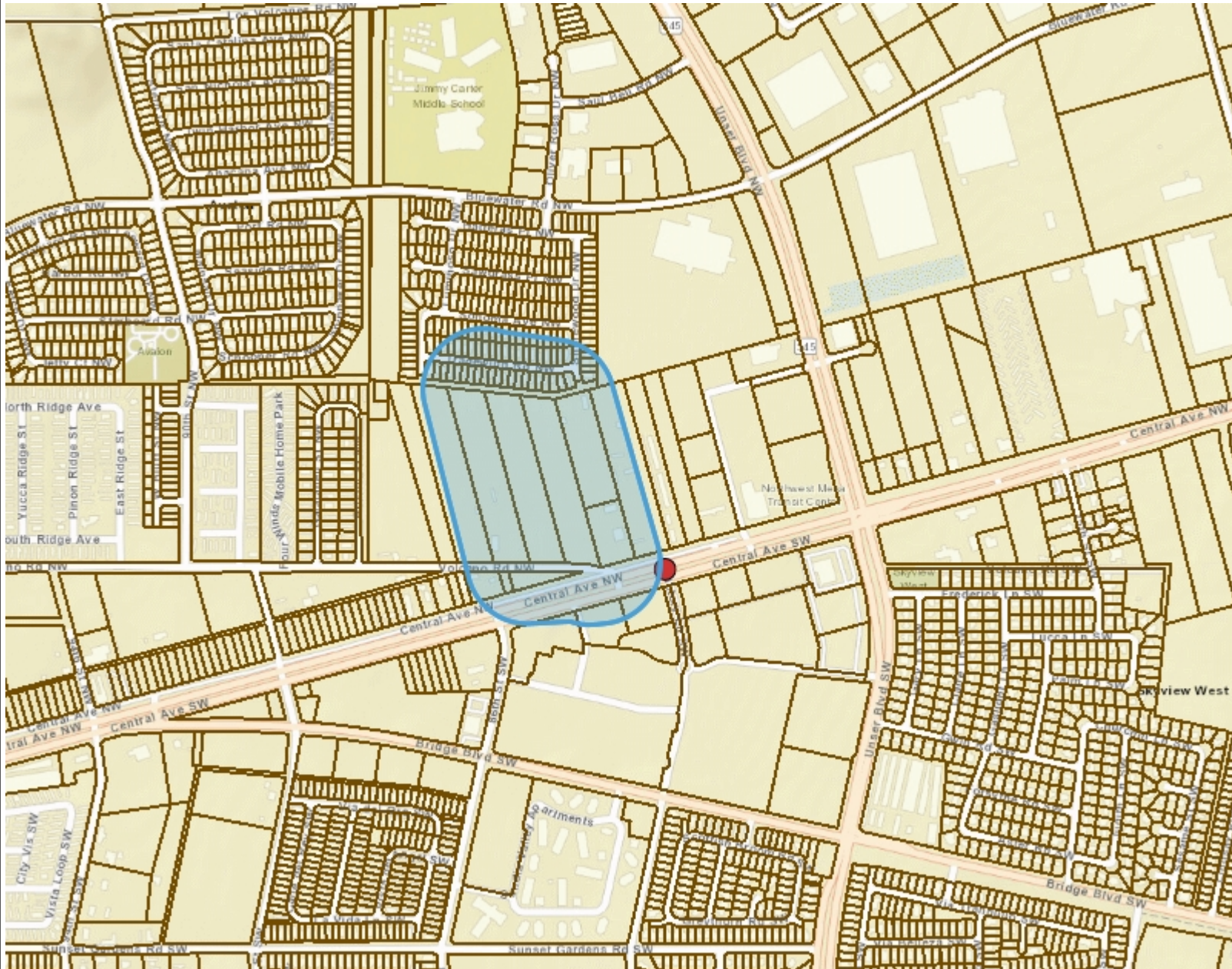


Central Ave Sw and Valcano Rd Nw



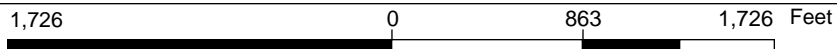
Legend

□ Bernalillo County Parcels



Notes

Buffer: 355 Ft.
ROW Central Ave SW: 255 Ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
1/15/2021 © City of Albuquerque

1: 10,354

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

TRUJILLO MARY ELIZABETH C/O
KUPJACK TIMOTHY & KUPJACK
EDWARD J
209 ATLANTIC AVE SW
ALBUQUERQUE NM 87102

LUCAS JOHN L
909 2ND ST SW
ALBUQUERQUE NM 87102-4281

VIWA JOINT VENTURE BY ESPANOLES
LLC & ASHCRAFT REAL ESTATE & DEVEL
CORP & ETAL
ATTN BERGER BRIGGS
ALBUQUERQUE NM 87107-6833

SANCHEZ CARMEN F
1115 2ND ST SW
ALBUQUERQUE NM 87102

SAUCEDO SAMUEL
905 2ND ST SW
ALBUQUERQUE NM 87102-4281

PUBLIC SERVICE CO OF NM
ALVARADO SQUARE
ALBUQUERQUE NM 87158

JUAREZ MAURO & SOCORRO
1305 2ND ST SW
ALBUQUERQUE NM 87102

MONTEZ WENDY LEE & GILBERT GARY
1111 2ND ST SW
ALBUQUERQUE NM 87102-4125

PROVENCIO RAY MARK
200 CROMWELL AVE SW
ALBUQUERQUE NM 87102-4178

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103-1293

SANDOVAL JESUS M SALCIDO
1321 2ND ST SW
ALBUQUERQUE NM 87102

HOMEWISE INC
1301 SILER RD BLDG D
SANTA FE NM 87507-3540

SALAZAR FRANCES & BERNARDO
SALAZAR
5528 CAMINO VIENTO NW
ALBUQUERQUE NM 87120-1905

HOMEWISE INC
803 2ND ST SW
ALBUQUERQUE NM 87102-4120

CONWAY SCOTT A
915 2ND ST SW
ALBUQUERQUE NM 87102-4281

MATTA TONY C
1002 COMMERCIAL ST SE
ALBUQUERQUE NM 87102

THOMAS RAMONA M
PO BOX 12353
ALBUQUERQUE NM 87195-2353

PADILLA ANDREW C/O CANO CECILIA
& GRAJEDA MARTHA G
310 SANTA FE AVE SW
ALBUQUERQUE NM 87102-4162

HOMEWISE INC
803 2ND ST SW
ALBUQUERQUE NM 87102-4120

VIGIL SALLY C & DORTHEA GALLEGOS
& MARTINEZ SANDRA
1207 2ND ST SW
ALBUQUERQUE NM 87102-4301

GARCIA-DOMINGUEZ SUSAN ANNETTE
& DOMINGUEZ ALAN SIXTUS
PO BOX 7051
ALBUQUERQUE NM 87194-7051

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

HOMEWISE INC
716 2ND ST SW
ALBUQUERQUE NM 87102-0000

NAVARRETE TONY R & LEONELLA RITA
TRUSTEES NAVARRETE RVT
328 GREENWICH RD SW
ALBUQUERQUE NM 87105-3809

ATCHISON TOPEKA & SANTA FE
RAILWAY CO
PO BOX 1738
TOPEKA KS 66628-0001

SMITH GREY
820 COMMERCIAL ST SE
ALBUQUERQUE NM 87102-4214

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

REALYVAZQUEZ ARON A
208 ATLANTIC AVE SW
ALBUQUERQUE NM 87102

MONTOYA LILLY & PATRICK A
1802 CONITA REAL AVE SW
ALBUQUERQUE NM 87105

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103-1293

MARTIN CHRISTINE
1301 2ND ST SW
ALBUQUERQUE NM 87102

GENERATION PARTNERS
3540 SWENSON ST SUITE 100
LAS VEGAS NV 89169-9335

ARMIJO MICHELLE Y
1105 2ND ST SW
ALBUQUERQUE NM 87102

NICOLE CANDICE
204 CROMWELL AVE SW
ALBUQUERQUE NM 87102-4178

HOMEWISE INC
803 2ND ST SW
ALBUQUERQUE NM 87102-4120

SAIZ DAVID
215 16TH ST NW
ALBUQUERQUE NM 87104-1221

SORIANO SAUL IRIGOYEN
1012 COMMERCIAL ST NE
ALBUQUERQUE NM 87102-4405

JARAMILLO LORI L & CHAVEZ FRANK S
2700 LINDA PL SW
ALBUQUERQUE NM 87105-4471

LUNA ADRIAN & RODIRGUEZ MARIA
LUZ
202 CROMWELL AVE SW
ALBUQUERQUE NM 87102-4178

CARDENAS BLANCA E
9501 ROWEN RD SW
ALBUQUERQUE NM 87121

HERNANDEZ PEDRO & SOCORRO
1317 2ND ST SW
ALBUQUERQUE NM 87102-4302

GARCIA LUZ
1215 2ND ST SW
ALBUQUERQUE NM 87102-4301

HOMEWISE INC
803 2ND ST SW
ALBUQUERQUE NM 87102-4120

ARMENTA JESUS M
1118 COMMERCIAL ST SE
ALBUQUERQUE NM 87102-4406

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

NUNEZ GABRIEL R
802 COMMERCIAL ST SE
ALBUQUERQUE NM 87102

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

GENERATION PARTNERS
3540 SWENSON ST SUITE 100
LAS VEGAS NV 89169-9335

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103-1293

FLORES-MARTINEZ GLADYS M &
MARTINEZ MARTIN L
1022 COMMERCIAL ST SE
ALBUQUERQUE NM 87102

HERNANDEZ CARLOS & DEBRA
206 CROMWELL AVE SW
ALBUQUERQUE NM 87102-4178

GONZALEZ EMILIANO & GRADO NIDIA
R CISNEROS
101 LEWIS AVE SE
ALBUQUERQUE NM 87102-4415

TAFOYA HARRY J & BEATRICE
6651/2 ATRISCO DR SW
ALBUQUERQUE NM 87105-3181

RAIL YARD LAND LLC
777 1ST ST SW
ALBUQUERQUE NM 87102-0000

SANCHEZ JULIAN L
1115 2ND ST SW
ALBUQUERQUE NM 87102

VELASQUEZ VITA
407 OLIVIA RD
LAS VEGAS NM 87701

VIWA JOINT VENTURE BY ESPANOLES
LLC & ASHCRAFT REAL EST & DEVEL
CORP & ETAL
ATTN BERGER BRIGGS
ALBUQUERQUE NM 87107-6833

ROJU MARGARET A
919 2ND ST SW
ALBUQUERQUE NM 87102-4281

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

HOMEWISE INC
500 2ND ST SW
ALBUQUERQUE NM 87102-3852

TERRAZAS PEDRO M & DIONICIA
1116 COMMERCIAL ST SE
ALBUQUERQUE NM 87102-4406

SANTIAGO ALEJANDRINA
1210 COMMERCIAL ST SE
ALBUQUERQUE NM 87102

QUINTANA MARLENE T & GENE
108 CROMWELL AVE SE
ALBUQUERQUE NM 87102-4216

VIWA JOINT VENTURE BY ESPANOLES
LLC & ASHCRAFT REAL ESTATE & DEVEL
CORP & ETAL
ATTN BERGER BRIGGS
ALBUQUERQUE NM 87107-6833

SAVEDRA JACOB N & DEBORAH C
2235 SKYBROOK DR NW
ALBUQUERQUE NM 87120

DRISCOLL BRIAN
204 ATLANTIC AVE SW
ALBUQUERQUE NM 87102

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

MCLLROY YNEZ
923 2ND ST SW
ALBUQUERQUE NM 87102-4281

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

NUNEZ ANTONIO ETUX
412 67TH ST SW
ALBUQUERQUE NM 87105

FREDERICK GENEVIEVE
200 ATLANTIC AVE SW
ALBUQUERQUE NM 87102

VASQUEZ URIEL
1401 2ND ST SW
ALBUQUERQUE NM 87102-4361

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103-2248

GARCIA-DOMINGUEZ SUSAN ANNETTE
& ALAN SIXTUS DOMINGUEZ
PO BOX 7051
ALBUQUERQUE NM 87194-7051

NELSON MONICA V
6601 BURNS ST APT 1B
REGO PARK NY 11374-3948

CHAVEZ JAMES T II
208 CROMWELL DR SW
ALBUQUERQUE NM 87102

KNOBLAUCH CHARLES E & SUSANNE C
1023 2ND ST SW
ALBUQUERQUE NM 87102

GENERATION PARTNERS
3540 SWENSON ST SUITE 100
LAS VEGAS NV 89169-9335

ESTRADA MARIA
1209 2ND ST SW
ALBUQUERQUE NM 87102

LOPEZ ROBERT FELIX
1778 MISSION ST APT 6
SAN FRANCISCO CA 94103-2471

PEREZ FERNANDO & SOLEDAD
1301 WALTER SE
ALBUQUERQUE NM 87102

MORENO ANGELA
709 1ST ST SW
ALBUQUERQUE NM 87102

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103-2248

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Elizabeth Haley

Email Address* or Mailing Address* of NA Representative¹: ekhaley@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd. NW
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner* Macritchie, Inc
3. Agent/Applicant* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat _____

Summary of project/request^{3*}:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by*³: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found*⁴:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*³: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*³:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)*³: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 10 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] Activity Center
 - 2. Current Land Use(s) [vacant, if none] Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative*: Jerry Gallegos

Email Address* or Mailing Address* of NA Representative¹: jgallegoswccd@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd. NW
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner* Macritchie, Inc
3. Agent/Applicant* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat _____

Summary of project/request^{3*}:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by*: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{4*}:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 10 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Avalon NA

Name of NA Representative*: Lucy Anchondo

Email Address* or Mailing Address* of NA Representative¹: avalon3a@yahoo.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd. NW
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner* Macritchie, Inc
3. Agent/Applicant* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat _____

Summary of project/request^{3*}:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by*³: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found*⁴:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*³: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*³:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 10 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] Activity Center
 - 2. Current Land Use(s) [vacant, if none] Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative*: Luis Hernandez Jr.

Email Address* or Mailing Address* of NA Representative¹: luis@wccdg.org

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd. NW
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner* Macritchie, Inc
3. Agent/Applicant* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat

Summary of project/request^{3*}:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by*: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{4*}:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 10 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] Activity Center
 - 2. Current Land Use(s) [vacant, if none] Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: aboard111@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd. NW
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner* Macritchie, Inc
3. Agent/Applicant* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat

Summary of project/request^{3*}:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by*: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found^{4*}:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 10 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] Activity Center
2. Current Land Use(s) [vacant, if none] Vacant
- _____

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/19/2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Avalon NA

Name of NA Representative*: Samantha Pina

Email Address* or Mailing Address* of NA Representative¹: ava99secretary@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Stephen.Litsas@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd. NW
Location Description Tracts C48 and C49 Unit 4 Town of Atrisco Grant
2. Property Owner* Macritchie, Inc
3. Agent/Applicant* [if applicable] Kimley-Horn Associates. Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: Plat _____

Summary of project/request^{3*}:

The Project is anticipated to consist of an RV parking facility containing of approximately 432 Canopied Spots and associated facilities to operate the RV parking facility. The property is approximately 10 acres, located on the northwestern corner of Volcano Rd and Central Ave within the City of Albuquerque, New Mexico.

5. This type of application will be decided by*³: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council
6. Where more information about the project can be found*⁴:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*³: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*³:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)*³: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 10 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] _____
 - d. Center or Corridor Area [if applicable] Activity Center
 - 2. Current Land Use(s) [vacant, if none] Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

SITE PLAN CHECKLIST

Project #: PR-2020-004757 Application #: SI-2021-00246

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe the irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1 On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

A. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

RV STORAGE - ALBUQUERQUE

SITE PLAN

LEGAL DESCRIPTION:

PARCEL 1:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST OF THE N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AS THE SOUTHWEST CORNER OF SAID TRACT, BEING A SET 5/8 REBAR WITH PLASTIC CAP STAMPED LS 8911, ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO NORTHWEST BEING THE TRUE PLACE OF POINT AND BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION S 64' 57' 12" W, A DISTANCE OF 1244.30 FEET;

THENCE, N 15' 19' 45" W, A DISTANCE OF 1009.53 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING A POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION UNIT 2, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, S 83' 32' 41" E, A DISTANCE OF 228.21 FEET ALONG SOUTHERLY BOUNDARY OF THE SUNDANCE SUBDIVISION UNIT 2 TO THE NORTHEAST CORNER OF SAID TRACT, BEING A 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, N 14' 53' 31" W, A DISTANCE OF 1017.19 FEET DISTANCE TO THE SOUTHEAST CORNER OF SAID TRACT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE; N 68' 43' 02" W, A DISTANCE OF 97.76 FEET DISTANCE ALONG SAID RIGHT OF WAY SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, S 89' 48' 54" W, A DISTANCE OF 130.19 DISTANCE ALONG SAID RIGHT OF WAY TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911"; BEING THE SOUTHWEST CORNER OF SAID TRACT AND BEING THE TRUE POINT OF BEGINNING.

PARCEL 2:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, OF THE N.M.P.M., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911" AND BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION "7-K9", BEARS S 64' 57' 12" W, A DISTANCE OF 1244.30 FEET DISTANCE;

THENCE, N 89' 48' 54" W, A DISTANCE OF 211.54 FEET ALONG SAID RIGHT OF WAY TO THE SOUTHWEST CORNER OF SAID TRACT BEING A FOUND 5/8" REBAR SET ON CONCRETE "DISTURBED";

THENCE, N 15' 19' 45" W, A DISTANCE OF 1035.88 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION, UNIT 2, FOUND A ALUMINUM CAP,

THENCE, S 83' 32' 41" E, A DISTANCE OF 219.89 FEET ALONG SAID RIGHT SUBDIVISION TO THE NORTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";

THENCE, S 15' 19' 45" E, A DISTANCE OF 1009.53 FEET DISTANCE TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911", BEING THE SOUTHEAST CORNER OF SAID TRACT AND THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING.

FLOODZONE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 4, 2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
4582 S ULSTER STREET, UNIT 1500
DENVER COLORADO 80327
CONTACT: DAN SKEEHAN, P.E.
LICENSE: NM 21773
PHONE: 303.228.2318
DAN.SKEEHANE@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
4582 S ULSTER STREET, SUITE 1500
CONTACT: CHRISTOPHER HEPLER, P.L.A.
LICENSE: AZ 50732
PHONE: 303.228.2315
CHRISTOPHER.HEPLER@KIMLEY-HORN.COM

DEVELOPER

MACRITCHIE, INC.
142 HAWLEY ST., SUITE #5
GRAYSLAKE, IL 60030
PHONE: (403) 973-4882
CONTACT: BEN LOKHORST
BLOKHORST@MACRITCHIE.BIZ

LAND SURVEYOR

PRECISION SURVEYS, INC.
9200 SAN MATEO BOULEVARD, NE
ALBUQUERQUE, NM 871113
PHONE: 520.856.5700
LICENSED SURVEYOR:
LARRY W. MEDRANO R.L.S. #11993



VICINITY MAP
1"=1000'

LEGEND

- PROPERTY LINE
- EXISTING R.O.W. LINE
- EASEMENT/SETBACK (AS NOTED)
- PROPOSED FENCE
- PROPOSED SLOPE
- EXISTING SLOPE
- PROPOSED WATER LINE
- PROPOSED FIRE SERVICE LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD POWER
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING SS MANHOLE
- PROPOSED SS MANHOLE
- PROPOSED BEND
- PROPOSED SANITARY CLEANOUT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED DETENTION POND OUTLET STRUCTURE
- PROPOSED FLARED END SECTION
- PROPOSED LANDSCAPE
- PROPOSED PARKING BAYS
- PROPOSED DRIVE AISLE
- SIGHT TRIANGLES
- PROPOSED GATE
- PROPOSED MONUMENT SIGN

SHEET INDEX		
#	SHEET	SHEET TITLE
1	1	COVER SHEET
2	2	GENERAL NOTES
3	3	INITIAL EROSION AND SEDIMENT CONTROL PLAN
4	4	FINAL EROSION AND SEDIMENT CONTROL PLAN
5	5	EROSION AND SEDIMENT CONTROL DETAILS
6	6	EROSION AND SEDIMENT CONTROL DETAILS
7	7	SITE PLAN
8	8	GRADING, PAVING, AND DRAINAGE PLAN
9	9	UTILITY PLAN
10	10	SITE DETAILS 1
11	11	CANOPY ELEVATIONS
12	12	LANDSCAPE PLAN
13	13	LANDSCAPE PLAN
14	14	LANDSCAPE NOTES
15	15	LANDSCAPE DETAILS

SITE DATA

SITE ADDRESS: VOLCANO ROAD N.W. AND CENTRAL AVENUE N.W.
 SITE AREA: 9.59 AC (417,740.4 SF)
 NUMBER OF LOTS: 2
 EXISTING USE: VACANT
 PROPOSED USE: COVERED RV PARKING OF OPERABLE VEHICLES
 PARCEL #: 141-21-0270
 LOCAL JURISDICTION: CITY OF ALBUQUERQUE
 ZONING: NON-RESIDENTIAL BUSINESS PARK (NR-BP)
 OVERLAY ZONE: AIRPORT ENVIRONS ZONE OVERLAY
 BUILDING DATA: 1 STORY BUILDING
 FFE = 2921
 ±650 SF
 FAR: LESS THAN 1%

VEHICULAR PARKING DATA

PARKING REQUIRED
 NO PARKING REQUIRED PER TABLE 5-5-1, PART 14-16-5 OF THE INTEGRATED DEVELOPMENT ORDINANCE FOR THE CITY OF ALBUQUERQUE, NEW MEXICO FOR THE USE OF OUTDOOR STORAGE

PARKING PROVIDED

STANDARD STALLS	2
MOTORCYCLE STALL	1
ACCESSIBLE STALLS	1
TOTAL	4

RV STORAGE PROVIDED

11' X 45' STALLS	352
11' X 40' STALLS	10
11' X 30' STALLS	67
TOTAL	429

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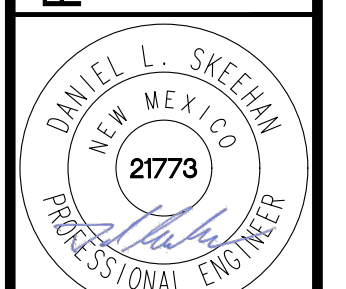
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NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACT'S C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
COVER SHEET



PROJECT NO.
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SHEET
1

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CITY OF ALBUQUERQUE GENERAL NOTES

1. THE CONSTRUCTION SPECIFICATIONS FOR THIS PROJECT INCLUDE ALL PLANS AND SPECIFICATIONS INCLUDED IN THE CONTRACT DOCUMENTS. THOSE CRITERIA ARE TO BE UTILIZED AND APPLIED IN CONJUNCTION WITH THE NEW MEXICO STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION) PUBLISHED BY THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) NEW MEXICO CHAPTER
2. THE CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO BERNALILLO COUNTY.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811 (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES
4. THE CONTRACTOR SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY OF ALBUQUERQUE SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY OF ALBUQUERQUE SURVEYOR AND SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS—PUBLIC WORKS CONSTRUCTION— 1986—UPDATE NO. 7
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF THE EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE AND MAY NOT BE COMPLETE; THEREFORE, IT MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, AND RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
7. ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINAL GRADE AND WILL BE MEASURED AND PAID PER EACH.
8. SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER, ARE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
9. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P—EXCAVATIONS.
10. WHEN ABUTTING NEW PAVEMENT TO THE EXISTING INTERSECTING STREETS, THE EXISTING PAVEMENT SHALL BE SAW CUT PER BERNALILLO COUNTY STANDARD DRAWING 2465 TO A STRAIGHT LINE AT RIGHT ANGLES, AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO PAVING; THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS DIVISION (848-1502) TO REQUEST AN INSPECTOR TO VERIFY PAVEMENT THICKNESS.
11. TRENCHING, ASPHALT CUTTING AND PATCHING SHALL CONFORM TO BERNALILLO COUNTY STANDARD DRAWING 2465. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS DIVISION (848-1502) TO REQUEST AN INSPECTOR TO VERIFY PAVEMENT THICKNESS PRIOR TO PATCHING.
12. WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE AND AN EXCAVATION/CONSTRUCTION PERMIT FROM BERNALILLO COUNTY. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY.
3. ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT BEYOND THAT DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS:
 - A. IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED.
 - B. IF MORE THAN ONE-HALF OF ANY STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED

14. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY TRAFFIC ENGINEERING (848-1504) BEFORE REMOVING AND/OR INSTALLING ANY TRAFFIC SIGNS OR PERMANENT STRIPING AND MARKINGS. ALL STRIPING AND PAVEMENT MARKINGS, INCLUDING LANE LINES, CROSSWALKS, LEGENDS, AND SYMBOLS, ARE TO BE CONSTRUCTED OF HOT THERMOPLASTIC IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE LATEST EDITION. ANY PAVEMENT MARKINGS AND SIGNS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT EXISTING LOCATIONS. SUCH WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OF THE PROJECT.
15. INSTALL BLUE REFLECTIVE RAISED PAVEMENT MARKERS IN THE CENTER OF ROADWAY TO DELINEATE ALL HYDRANT LOCATIONS.
16. THE CONTRACTOR SHALL SUBMIT FIELD TEST REPORTS TO BCPWD (ATTN. DR INSPECTOR) FOR REVIEW. SAMPLING AND TESTING SCHEDULE SHALL COMPLY WITH PLAN SPECIFICATIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO RECORD ANY CHANGES ON THE PLANS AND SUBMIT DETAILED AS-CONSTRUCTED CONSTRUCTION PROJECT PLANS (AS-BUILTS) TO THE DESIGN AND/OR PROJECT ENGINEER.
17. BARRICADING AND CONSTRUCTION PERMITS MUST BE OBTAINED FROM BCPWD (848-1502) PRIOR TO BEGINNING OF ANY CONSTRUCTION EFFORTS.
18. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION
19. THE CONTRACTOR SHALL RESTORE ALL ACCESS ROADS TO THE PRE-CONSTRUCTION CONDITION. ANY DAMAGE TO ROADWAY AND/OR UNDERGROUND UTILITIES SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE.
20. ALL ROADWAY WORK DETAILED IN THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
21. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE AND AN EXCAVATION/CONSTRUCTION PERMIT FROM BERNALILLO COUNTY. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY
22. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE NATIONAL POLLUTANT ELIMINATION DISCHARGE SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, OBTAINING AN NPDES PERMIT DURING CONSTRUCTION, SUBMISSION OF A COMPLETED NOI APPLICATION, AND SUBMISSION OF A COMPLETED NOT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE SWPPP REVIEWED AND APPROVED BY THE BERNALILLO COUNTY PUBLIC WORKS DIVISION, AT NO ADDITIONAL COST TO BERNALILLO COUNTY, PRIOR TO IMPLEMENTATION OF THE SWPPP.
23. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING BUT NOT LIMITED TO THE HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
24. THE CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY. THIS GRAFFITI REMOVAL SHALL BE CONSIDERED INCIDENTAL; THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

NO.	REVISION	BY	DATE

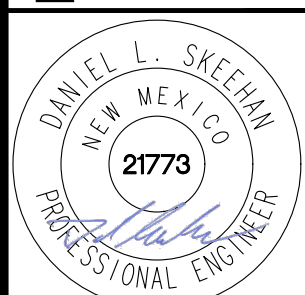
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4652 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 4/30/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACT'S C46 AND
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
GENERAL NOTES**



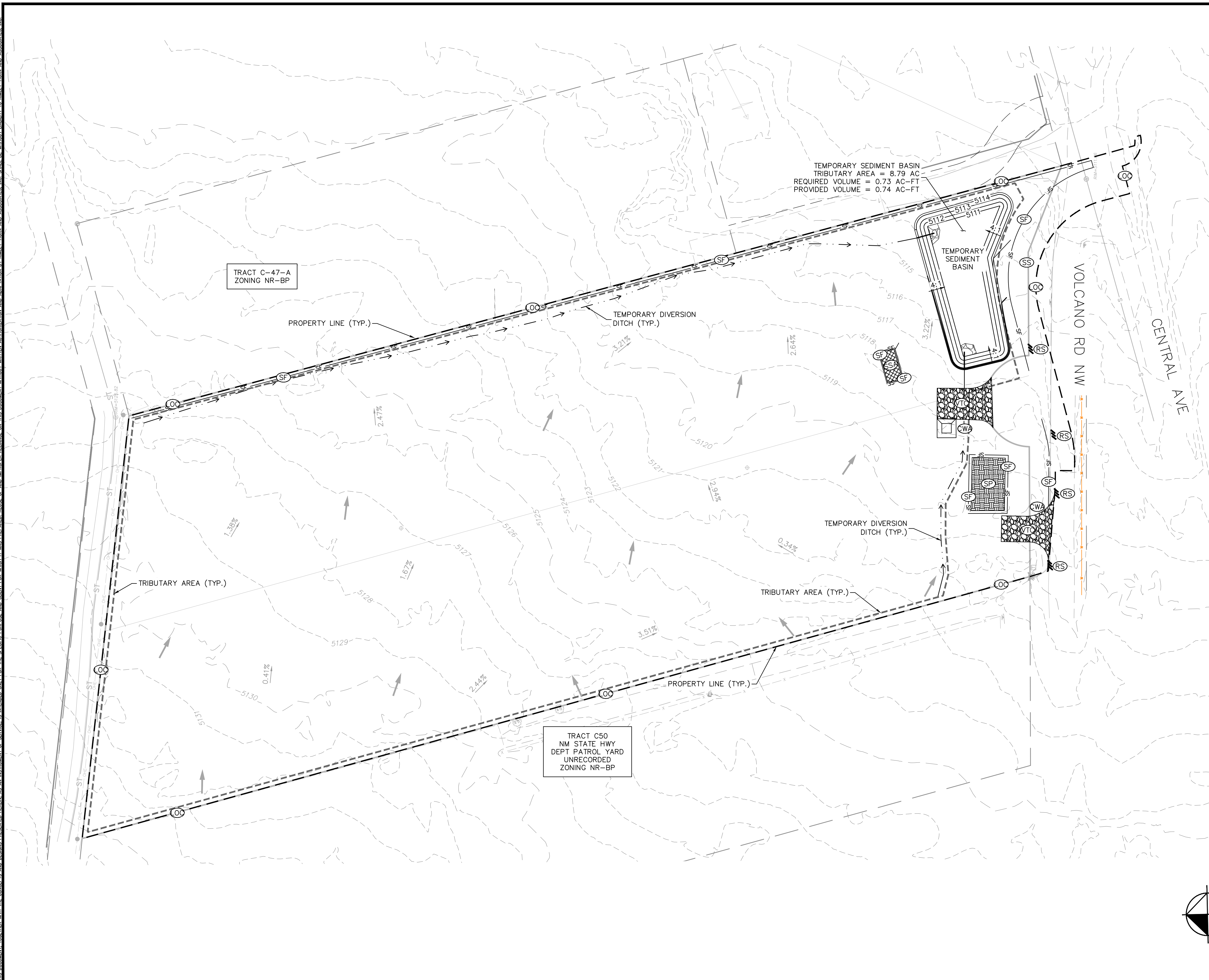
PROJECT NO.
096648005

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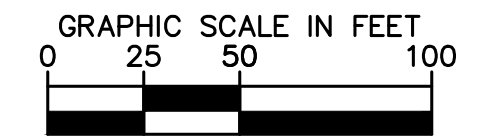
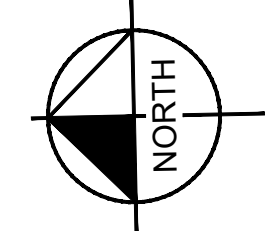


LEGEND

- PROPERTY LINE
- 50— PROPOSED MAJOR CONTOURS
- 49— PROPOSED MINOR CONTOURS
- - -50- - - EXISTING MAJOR CONTOURS
- - -49- - - EXISTING MINOR CONTOURS
- - - - - PROPOSED RISER PIPE
- - - - - PROPOSED DIVERSION DITCH
- - - - - PROPOSED TRIBUTARY AREA
- [Symbol] PROPOSED STORM RIPRAP
- X.XX% DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- ⊞ LIMITS OF CONSTRUCTION
- SF SILT FENCE
- SP STOCKPILE
- [Symbol] CONCRETE WASHOUT
- [Symbol] VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- SS STREET SWEEPING
- [Symbol] STABILIZED STAGING AREA
- [Symbol] RS ROCK SOCKS

GENERAL NOTES

1. TOTAL AREA OF DISTURBANCE = 9.89 AC



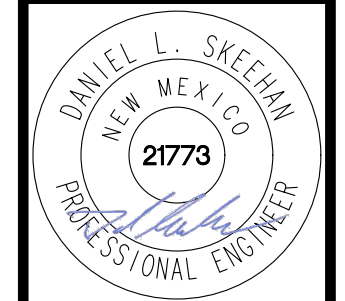
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 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 INITIAL EROSION AND SEDIMENT CONTROL PLAN**



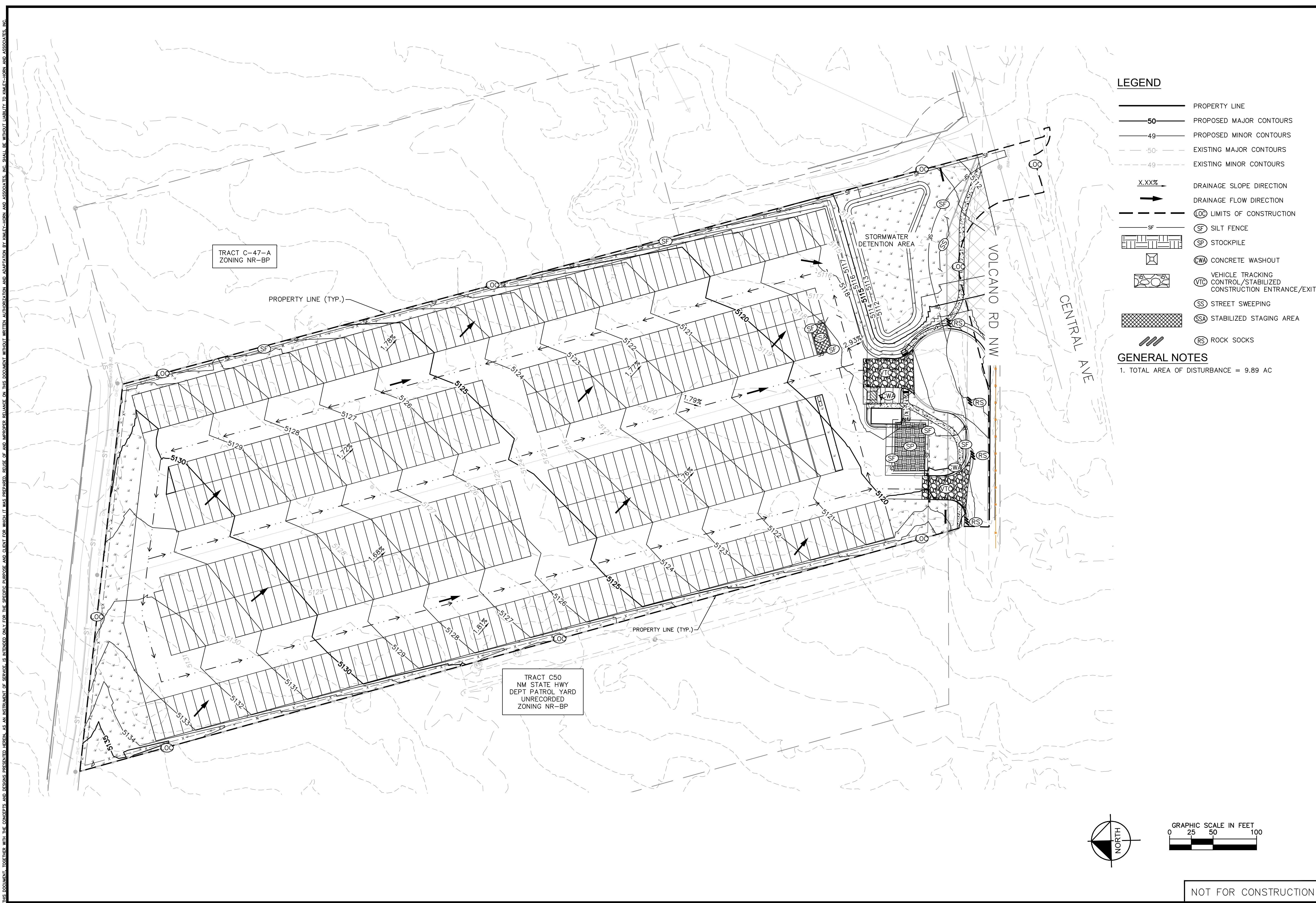
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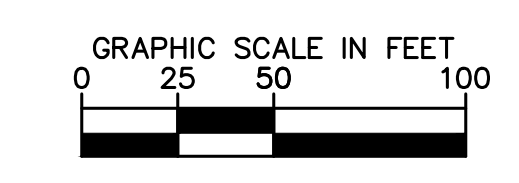
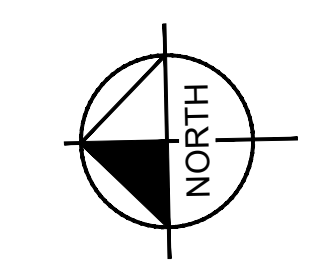


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- EXISTING MINOR CONTOURS
- DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LIMITS OF CONSTRUCTION
- SILT FENCE
- STOCKPILE
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- VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- STREET SWEEPING
- STABILIZED STAGING AREA
- ROCK SOCKS

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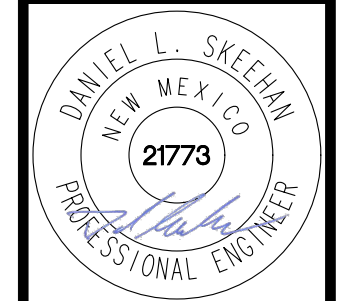
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**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 FINAL EROSION AND SEDIMENT CONTROL PLAN**



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Diversion Channel Dike and Swale (continued)

MAINTENANCE REQUIREMENTS

Earth Dike (Berm)

Dikes must be inspected on a weekly basis and after each significant (>0.5 inch) rainfall to determine if silt is building up behind the dike, or if erosion is occurring on the face of the dike. Silt shall be removed in a timely manner. If erosion is occurring on the face of the dike, the slopes of the face shall either be stabilized through mulch or seeding, or the slopes of the face shall be reduced.

Diversion Channel (Swale)

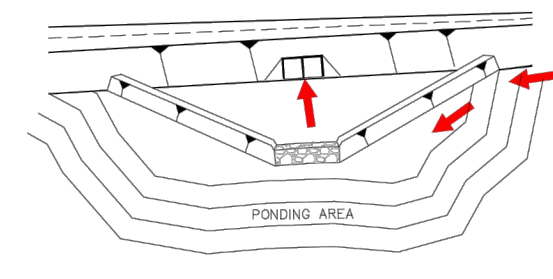
Inspection must be made weekly and after each significant (>0.5 inch) rainfall to locate and repair any damage to the channel or to clear debris or other obstructions so as not to diminish flow capacity. Damage from storms or normal construction activities, such as tire ruts or disturbance of swale stabilization, shall be repaired as soon as practical.

NOTES

- Berms shall have a minimum height of 18 inches, side slopes of 2:1 or flatter, and a minimum base width of 2 feet.
- The minimum freeboard shall be 6 inches.
- Berms and diversions should be constructed of compacted soil or coarse aggregate.
- All berms shall have an uninterrupted positive grade to a stabilized outlet.
- Diversion channels shall be excavated or shaped to line, grade, and cross section as indicated in the plans and as required to meet the criteria specified.
- Berms and diversion channels should be stabilized within 14 days of their construction.
- Periodically, and after each rain event, berms and dikes should be inspected, and accumulated sediments against berms should be removed.

01C11R.DOC A3-4

Sediment Basin



Applications

- Perimeter Control
- Slope Protection
- ✓ Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- ✓ Medium
- Low
- Unknown or Questionable

DESCRIPTION

A sediment basin is a pond area with a controlled outlet in which suspended sediment is allowed to settle. Provides treatment plus controlled outflow, minimizing flood problems down gradient.

PRIMARY USE

Sediment basins should be used where there is adequate open space to direct most of the site drainage into the basin. For sites with disturbed areas of more than 10 acres that are part or the same drainage area, sediment basins are required as either temporary or permanent controls, if there are no site limitations.

APPLICATIONS

A sediment basin is a treatment device, highly effective for removing sediment and other pollutants for the design storm event. Sediment basins shall be designed for two-year storm runoff. Maximum embankment height shall be 9 feet with a minimum top width of 8 feet. The side slopes shall be 2:1 or flatter.

LIMITATIONS

Sediment basins can be rather large, depending on site conditions, requiring the use of expensive development area and comprehensive planning for construction phasing prior to implementation.

Storm events that exceed the design storm event can cause damage to the spillway structure of the basin and may impact downstream concerns.

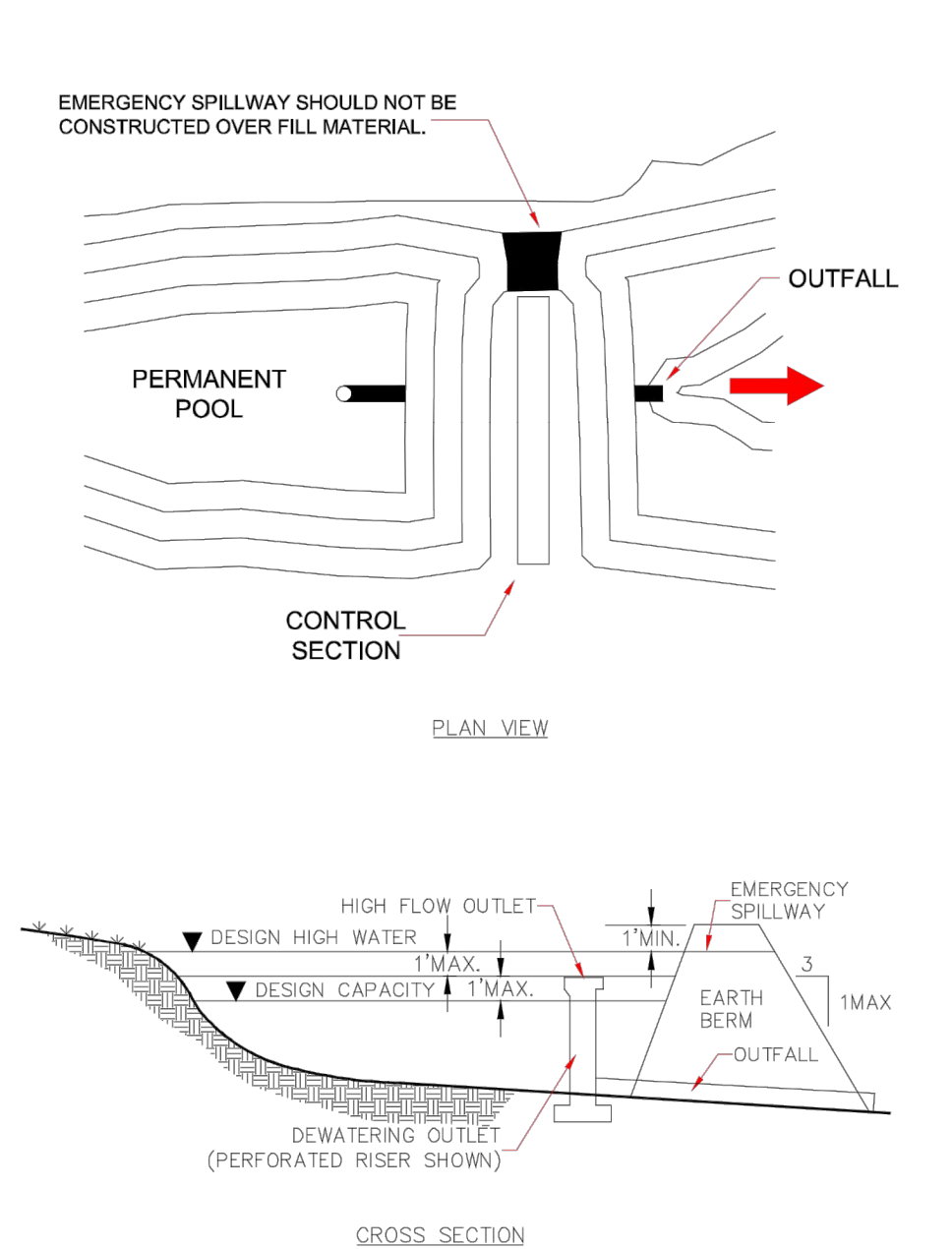
MAINTENANCE REQUIREMENTS

Sediment shall be removed and the basin shall be re-graded to its original dimensions when the capacity of the impoundment has been reduced to 20% of its original storage capacity. The removed sediment shall be stockpiled or redistributed in areas that are protected from erosion.

The basin outlet structure and emergency spillway (if present) should be checked frequently and after each major rain event to inspect for damage and to insure that obstructions are not diminishing the effectiveness of the structures.

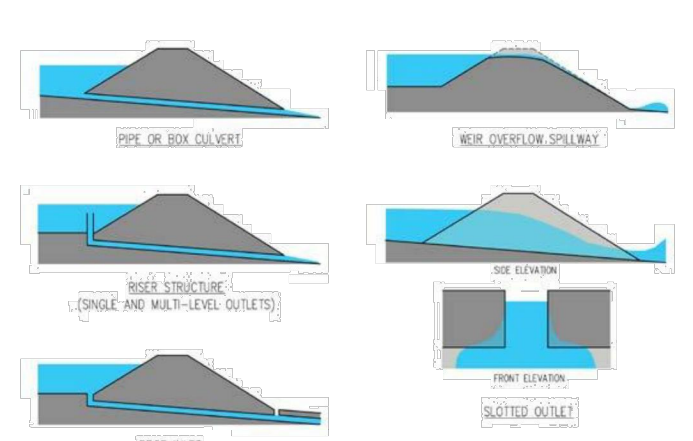
01C11R.DOC A4-23

Sediment Basin (continued)



01C11R.DOC A4-24

Outlet Structure



Applications

- Perimeter Control
- Slope Protection
- ✓ Sediment Trapping
- ✓ Channel Protection
- ✓ Temporary Stabilization
- ✓ Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- ✓ Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- ✓ Medium
- Low Unknown or Questionable

DESCRIPTION

A flow restrictive device placed at the discharge point of a storm water detention basin or check structure. Outlet structures can provide mitigation for flow rates, velocities, floatables, and can provide sedimentation. Outlet structures include a wide range of designs, including orifice plates, baffle-boxes, mechanical screens, ported risers, trash racks, and weir configurations.

PRIMARY USE

Primarily used to be utilized in conjunction with detention basins. May be utilized as temporary BMP for construction phase activities. Out Structures provide mechanism for metering flow rates and reducing velocities to allow particles and associated pollutants to settle.

APPLICATIONS

If constructed with initial grading operations, an outlet structure can provide a site-wide BMP for sediment control. In post-construction applications, Outlet Structures can provide mitigation of a wide range of pollutants. Outlet Structures are also utilized for site storm water flowrate mitigation, and are typically designed to provide both storm water quality as well as flowrate mitigation.

LIMITATIONS

Construction phase Outlet Structure may require regular maintenance to remove accumulated sediment.

Outlet Structure requires an impoundment mechanism to convey flows into structure.

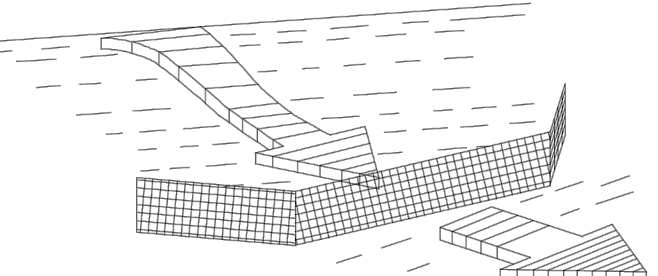
MAINTENANCE REQUIREMENTS

Inspections should be made on a monthly basis, especially after large storm events. If the Outlet Structure becomes inundated, debris and sediment removal are immediately required.

OS

01C11R.DOC A3-25

Silt Fence



Applications

- ✓ Perimeter Control
- ✓ Slope Protection
- ✓ Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- ✓ Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- ✓ Medium
- Low
- Unknown or Questionable

DESCRIPTION

A silt fence consists of geotextile fabric supported by backing stretched between posts, with the lower edge securely embedded in soil downstream of disturbed areas. Intercepts runoff in the form of sheet flow and provides filtration, sedimentation, and velocity reduction.

PRIMARY USE

Silt fences are used as perimeter control downstream of disturbed areas, and for non-concentrated sheet-flow conditions.

APPLICATIONS

Silt fences provide an economical way to mitigate overflow, non-concentrated flows, and as a perimeter control device. Best with coarse to silty soil types and to control wind erosion on sandy soils.

LIMITATIONS

Minor ponding will likely occur at the upstream side of the silt fence, resulting in minor localized flooding.

Fences that are constructed in swales or low areas subject to concentrated flow may be overtopped, resulting in failure of the filter fences. Silt fences subject to areas of concentrated flow (waterways with flows >1 cfs) are not acceptable.

Silt fence can interfere with construction operations; therefore, planning of access routes onto the site is critical.

Silt fence can fail structurally under heavy storm flows, creating maintenance problems and reducing the effectiveness of the system.

MAINTENANCE REQUIREMENTS

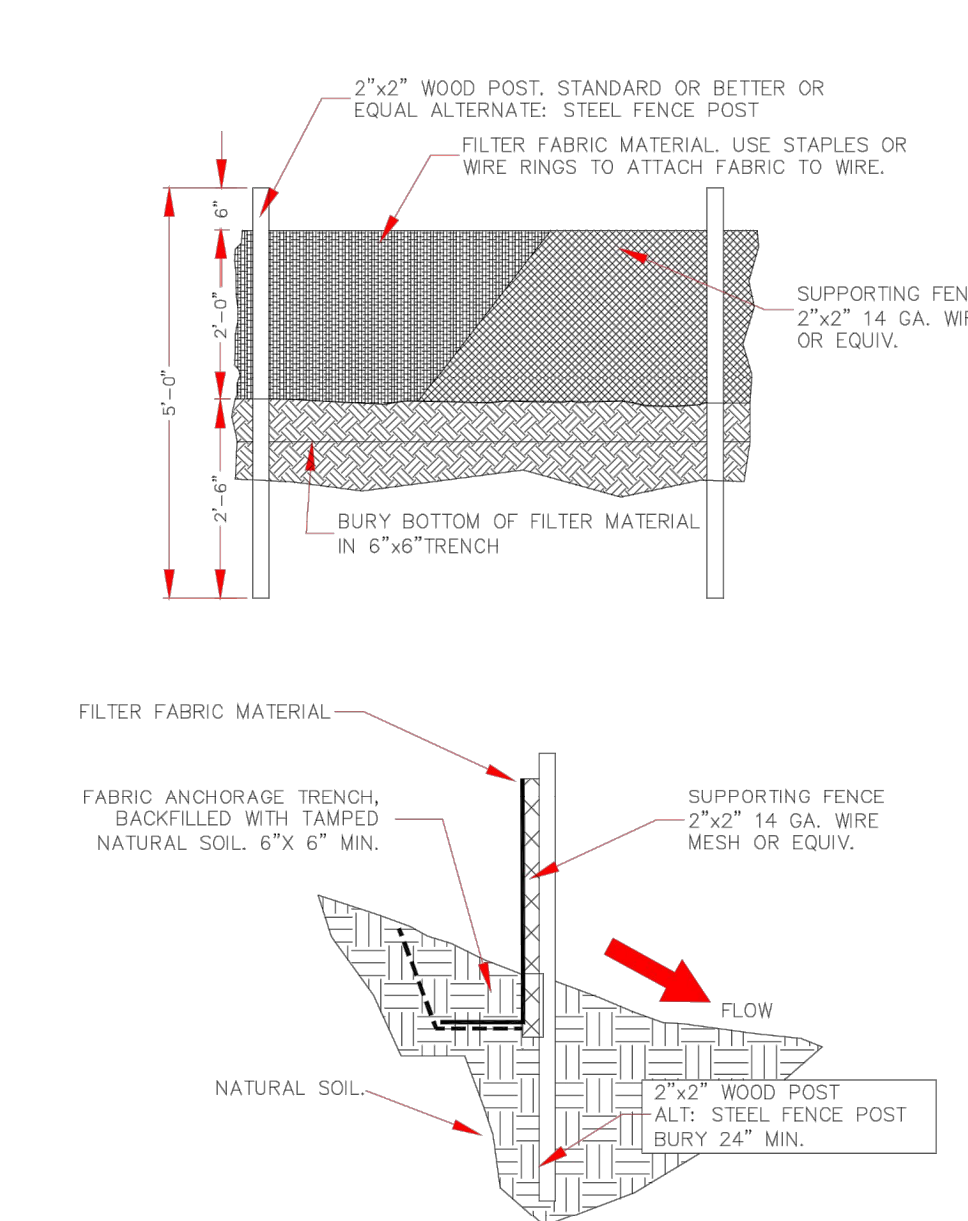
Inspections should be made on a weekly basis, especially after large storm events. If the fabric becomes clogged, it should be cleaned or, if necessary, replaced.

Sediment should be removed when it reaches approximately one-half the height of the fence.

SF

01C11R.DOC A4-5

Silt Fence (continued)

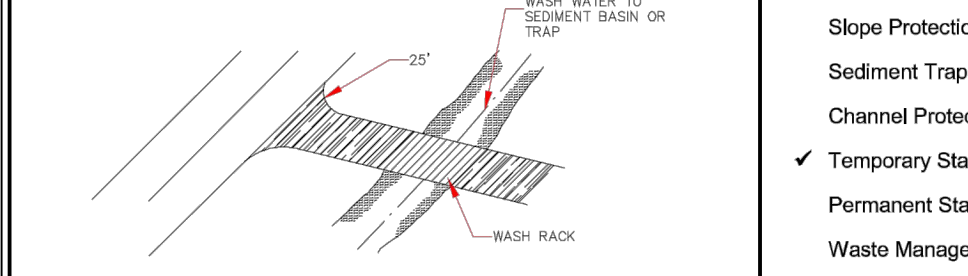


DESCRIPTION

A silt fence consists of geotextile fabric supported by backing stretched between posts, with the lower edge securely embedded in soil downstream of disturbed areas. Intercepts runoff in the form of sheet flow and provides filtration, sedimentation, and velocity reduction.

01C11R.DOC A4-6

Stabilized Construction Entrance/Exit



Applications

- Perimeter Control
- Slope Protection
- Sediment Trapping
- Channel Protection
- ✓ Temporary Stabilization
- Permanent Stabilization
- Waste Management
- Housekeeping Practices

Targeted Constituents

- ✓ Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- Floatable Materials
- Construction Wastes

Impact

- ✓ Significant
- ✓ Medium
- Low
- Unknown or Questionable

DESCRIPTION

A stabilized construction entrance consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter cloth, which is used to facilitate the washdown and removal of sediment and other debris from construction equipment prior to exiting the site. During the construction phase of a project, regular street sweeping should be performed to remove debris carried from the site.

PRIMARY USE

Stabilized construction entrances are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point.

APPLICATIONS

As a part to the erosion-control plan required for sites larger than five acres, and recommended for all construction sites.

LIMITATIONS

Selection of the construction entrance location is critical. To be effective, it must be used exclusively.

Stabilized entrances are rather expensive, considering that they must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.

MAINTENANCE REQUIREMENTS

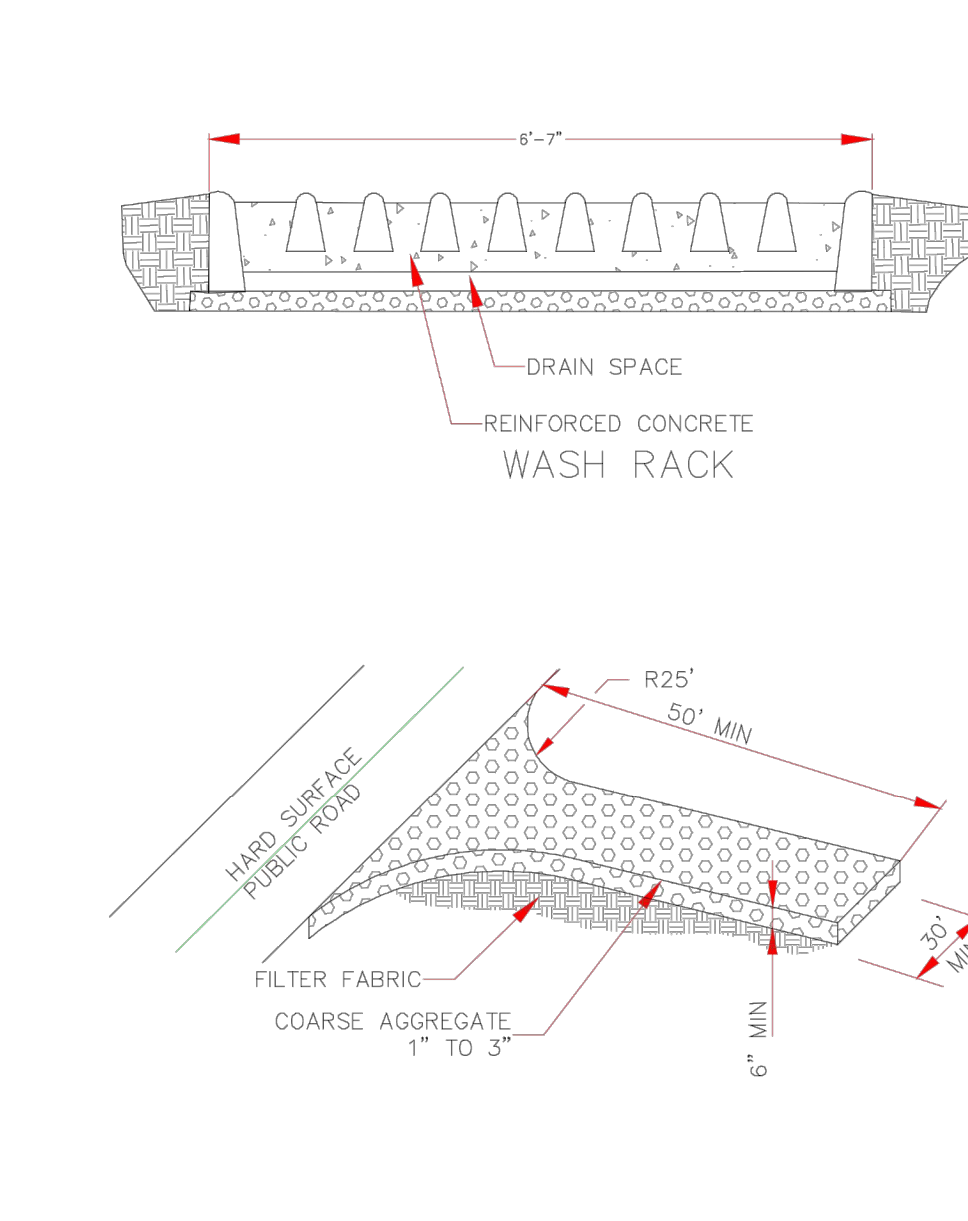
Inspections should be made on a regular basis and after large storm events in order to ascertain whether or not sediment and pollution are being effectively detained on site.

When sediment has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.

Periodic re-grading and top dressing with additional stone must be done to keep the efficiency of the entrance from diminishing.

01C11R.DOC A5-19

Stabilized Construction Entrance/Exit (continued)



01C11R.DOC A5-20

Concrete Waste Management

DESCRIPTION

Concrete waste management prevents or reduces the discharge of pollutants to storm water by conducting washout onsite, performing onsite washout in a designated area, and training employees and subcontractors.

APPLICATIONS

The following low-cost measures will help reduce storm water pollution from concrete wastes:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement onsite.
- Perform washout of concrete trucks offsite or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite except in designated areas.
- For onsite washout:
 - Locate washout area at least 50 feet from storm drains, open ditches, or water bodies. Prevent runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste.
 - Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed of properly.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water to a bermed or level area.
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stock pile, or dispose in the trash.
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS

Offsite washout of concrete wastes may not always be possible.

MAINTENANCE REQUIREMENTS

Inspect subcontractors to ensure that concrete wastes are being properly managed.

If using a temporary pit, dispose of hardened concrete on a regular basis.

Applications

- Perimeter Control
- Slope Protection
- Sediment Trapping
- Channel Protection
- Temporary Stabilization
- Permanent Stabilization
- ✓ Waste Management
- ✓ Housekeeping Practices

Targeted Constituents

- Sediment
- Nutrients
- Toxic Materials
- Oil and Grease
- Floatable Materials
- ✓ Construction Wastes

Impact

- Significant
- ✓ Medium
- Low
- Unknown or Questionable

01C11R.DOC A5-23

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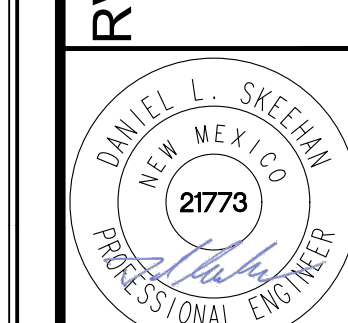
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Denver, Colorado 80237 (303) 228-2300

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DRAWN BY: AEM
CHECKED BY: SAL
DATE: 2/26/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. TRACT'S C46 AND C49, UNIT 4.

RV STORAGE - ALBUQUERQUE, ALBUQUERQUE, NEW MEXICO SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS



PROJECT NO.
096648005

DRAWING NAME
EC PLAN

SHEET
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Seeding – Temporary/Vegetation	
<p>DESCRIPTION</p> <p>As a BMP, temporary seeding/vegetation is used to establish a temporary vegetative cover on disturbed areas by seeding with appropriate rapidly growing annual vegetation, annual grasses, small grains, or legumes. This short-term vegetative area will reduce erosion and sedimentation on disturbed areas that will not be permanently stabilized within an acceptable period of time. Temporary seeding will also reduce problems associated with mud and dust from construction activities on bare, unprotected soil surfaces.</p> <p>PRIMARY USE</p> <p>Temporary seeding should be considered for disturbed areas that will not be permanently stabilized or have work performed thereon for a period of 21 days or more. Such areas include denuded areas, soil stockpiles, dikes, berms, temporary embankments, excavation slopes, etc. As a temporary control, vegetation is used to stabilize stockpiles and barren areas that are inactive for long periods of time. As a permanent control, grasses and other vegetation provide good protection for the soil, along with some filtering for overland runoff. Subjected to acceptable runoff velocities, vegetation can provide a good method of permanent storm water management, as well as a visual amenity to the site.</p> <p>Other BMPs may be required to assist in the establishment of vegetation. These other techniques include erosion control matting, swales and dikes to direct flow around newly seeded areas, and proper grading to limit runoff velocities during construction.</p> <p>APPLICATIONS</p> <p>Planting should take place when conditions are most favorable for growth (as long as the planting does not interfere with the schedule of other activities and/or regulatory requirements). Before seeding, other erosion control practices such as dikes, basins, and surface runoff-control measures (e.g., interceptor dikes and swales, etc.) should be installed. Temporary bale barriers and silt fences may have to be placed/replaced after seeding operations, since they may get in the way of the machinery. However, use common sense to coordinate operations to maximize the effectiveness of the erosion control measures. Temporary seeding may not be an effective practice in arid and semi-arid regions where the climate prevents fast plant establishment. In those areas, or when seasonal planting restrictions prohibit, temporary mulching may be better for the short term.</p> <p>For further information, refer to Section 632 of <i>Standard Specifications for Highway and Bridge Construction</i> (New Mexico State Highway and Transportation Department [NMSHTD] 2000).</p>	<p>Applications</p> <ul style="list-style-type: none"> ✓ Perimeter Control ✓ Slope Protection ✓ Sediment Trapping ✓ Channel Protection ✓ Temporary Stabilization ✓ Permanent Stabilization Waste Management Housekeeping Practices <p>Targeted Constituents</p> <ul style="list-style-type: none"> ✓ Sediment Nutrients Toxic Materials Oil and Grease Floatable Materials Construction Wastes <p>Impact</p> <ul style="list-style-type: none"> ✓ Significant Medium Low Unknown or Questionable <div style="text-align: center; border: 1px solid black; border-radius: 50%; width: 30px; margin: 0 auto; padding: 2px;">SEED</div>

01C1R.DOC A2-3

Seeding – Temporary/Vegetation (continued)
<p>All seeded areas should be covered with mulch to provide protection from the weather. Frequent inspections are necessary to check that conditions for growth are good. If the plants do not grow quickly or thick enough to prevent erosion, the area should be reseeded as soon as possible.</p> <p>Temporary seed selection should take into account the season and location. Specific seed mixes can usually be found in the construction plans. The plans and specifications should reflect temporary seeding locations, quantities, and pay items. For suggested seed types, see Appendix D, Guidance on Seed Selection and Seeding of Temporary Vegetation on Disturbed Areas.</p> <p>Native grasses should not be used for temporary seeding. Irrigation or a temporary watering facility should be provided. Seed should be selected in accordance with local Natural Resources Conservation Service (NRCS) rules.</p> <p>Vegetative techniques can and should apply to every construction project, with few exceptions. Vegetation effectively reduces erosion in swales, stockpiles, berms, mild to medium slopes, and along roadways. Vegetative strips can provide some protection when used as a perimeter control for utility and site development construction.</p> <p>Surface Preparation</p> <ul style="list-style-type: none"> • Interim or final grading must be completed prior to seeding, minimizing all steep slopes. • Install all necessary erosion structures such as dikes, swales, diversions, etc., prior to seeding. • Groove or furrow slopes steeper than 3:1 on the contour line before seeding. • Provide 4-6 inches of topsoil over rock, gravel, or otherwise unsuitable soils. • Seedbed should be well pulverized, loose, and uniform. <p>Plant Selection, Fertilization and Seeding</p> <ul style="list-style-type: none"> • Use only high quality, U.S. Department of Agriculture (USDA)-certified seed. • Use an appropriate species or species mixture adapted to local climate, soil conditions, and season. Consult with the local NRCS office or local County Extension Service as necessary for selection of proper species and application techniques in the area. Seeding rate should be in accordance with recommendations by the NRCS or Engineering Extension Service. • Fertilizer shall be applied according to the manufacturer's recommendation with proper spreader equipment. Typical application rate for 10-10-10 grade fertilizer is 700-1000 lb/acre. DO NOT OVER APPLY FERTILIZER. • If hydro-seeding is used, do not mix seed and fertilizer more than 30 minutes before application. • Evenly apply seed using cyclone seeder, seed drill, cultipacker, or hydroseeder. • Provide adequate water to aid in establishment of vegetation. • Use appropriate mulching techniques where necessary.

01C1R.DOC A2-4

Mulching	
<p>DESCRIPTION</p> <p>Mulching is used to provide a stabilized surface for seeding or to prevent erosion using chemical soil stabilizers and a variety of organic or inorganic materials, netting, or mats.</p> <p>PRIMARY USE</p> <p>Mulching is used to prevent erosion by creating a permanent material to slow surface velocity, trap sediment, and protect surface areas around structures.</p> <p>APPLICATIONS</p> <p>Mulching is used in areas where permanent velocity control and sediment trapping will be required. Follow Section 632, pp. 684-685 of <i>Standard Specifications for Highway and Bridge Construction</i> (NMSHTD 2000).</p> <p>NOTES</p> <ul style="list-style-type: none"> • Hay should consist of native grasses free of noxious weed seeds (certified weed-free hay or straw may be required in designated areas of the state). • Straw should consist of clean cereal shafts. • Hay and straw mulch should be spread at a rate of 1.5 to 2 tons per acre. • At a minimum, 65% of the mulch, by weight, should be 10 inches or more in length. • Applied mulch depth should not be less than 1 inch and not more than 2 inches. The mulch should be uniformly applied so that no more than 10% of the soil surface is exposed. • Hay and straw mulch should be anchored to the soil surface using tackifiers, blankets, or nets, or with a mulch-cripping machine. Mechanical anchoring, or crimping, is preferred and recommended for slopes flatter than 2:1. Blankets or nets on slopes steeper than 2:1 should be anchored to the soil. • Tackifiers (for anchoring) should consist of a free-flowing non-corrosive powder. This material shall not contain any mineral filler, recycled cellulose fiber, clays, or other substances that may inhibit germination or growth of plants. • Tackifiers (for anchoring) shall be applied in a slurry with water and wood fiber (100 lbs of powder and 150 lbs of fiber per 700 gallons of water). Application rate of powder should be between 80 and 200 lbs per acre. 	<p>Applications</p> <ul style="list-style-type: none"> ✓ Perimeter Control ✓ Slope Protection ✓ Sediment Trapping Channel Protection ✓ Temporary Stabilization Permanent Stabilization Waste Management Housekeeping Practices <p>Targeted Constituents</p> <ul style="list-style-type: none"> ✓ Sediment ✓ Nutrients Toxic Materials Oil and Grease Floatable Materials Construction Wastes <p>Impact</p> <ul style="list-style-type: none"> ✓ Significant ✓ Medium Low Unknown or Questionable <div style="text-align: center; border: 1px solid black; border-radius: 50%; width: 30px; margin: 0 auto; padding: 2px;">MU</div>

01C1R.DOC A2-5

NO.	REVISION	BY	DATE	APPR

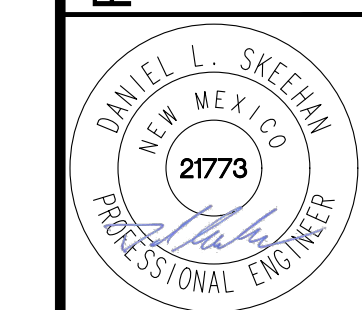
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Denver, Colorado 80237 (303) 228-2300

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CHECKED BY: SAL
DATE: 2/26/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS**



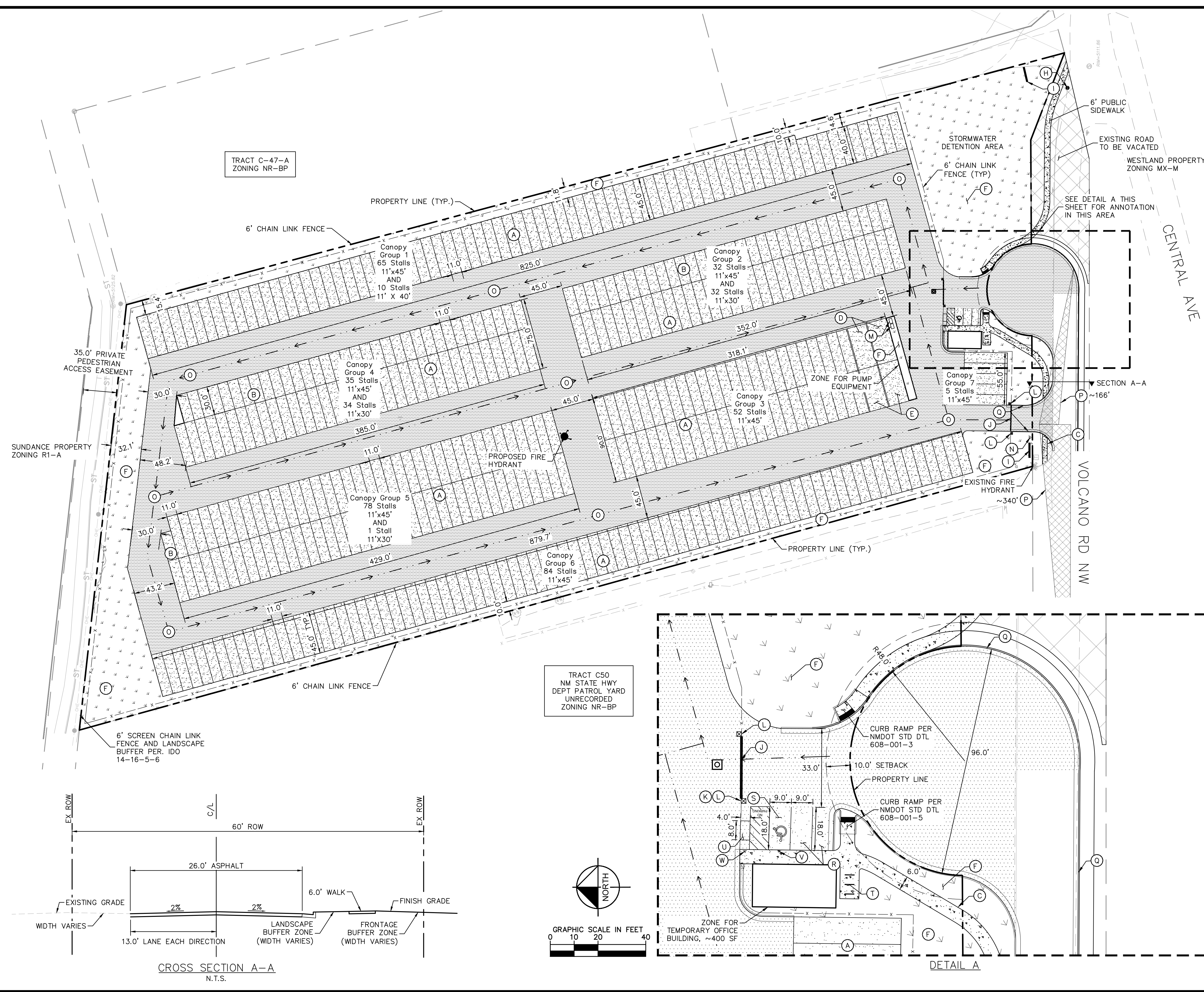
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- LEGEND**
- PROPOSED SITE PROPERTY LINE
 - - - SECTION LINE
 - - - EASEMENT LINE
 - X - SITE FENCE
 - PROPOSED PRIVATE FIRE HYDRANT
 - ⊙ PROPOSED SANITARY SEWER MANHOLE
 - - - CENTER LINE
 - CURB AND GUTTER
 - [Pattern] PROPOSED LANDSCAPE
 - [Pattern] ASPHALT PARKING BAYS
 - [Pattern] ASPHALT DRIVE AISLE
 - △ SIGHT TRIANGLES
 - PROPOSED GATE
 - PROPOSED MONUMENT SIGN
 - FIRE ROUTE

- SITE KEYNOTES**
- (A) RV CANOPY PARKING STALL (11' X 45') (TYP)
 - (B) RV CANOPY PARKING STALL (11' X 30') (TYP)
 - (C) PROPOSED 6.0' SIDEWALK
 - (D) PROPOSED DUMP STATION (20' X 45') (TYP)
 - (E) PROPOSED WASH STATION (20' X 45') (TYP)
 - (F) LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
 - (H) PROPOSED SANITARY SEWER MANHOLE
 - (I) PROPOSED MONUMENT SIGN
 - (J) 26" ELECTRIC SLIDING GATE
 - (K) KNOX BOX
 - (L) GATE CONTROL BOX
 - (M) PROPOSED TRASH ENCLOSURE
 - (N) PROPOSED STOP SIGN (36" X 36")
 - (O) FIRE CIRCULATION
 - (P) SIGHT TRIANGLE
 - (Q) PROPOSED CURB & GUTTER PER PAG STD. DTL. 209
 - (R) PROPOSED STANDARD 9' X 18' PARKING STALL (2)
 - (S) PROPOSED ADA STALL (1)
 - (T) PROPOSED BICYCLE PARKING (3)
 - (U) PROPOSED MOTORCYCLE PARKING (1)
 - (V) PROPOSED ACCESSIBLE PARKING SIGN
 - (W) PROPOSED MOTORCYCLE PARKING SIGN
- NOTES**
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - ACTUAL PUBLIC ROADWAY IMPROVEMENTS FOR VOLCANO ROAD SHALL BE REVIEWED AND APPROVED THROUGH THE CITY WORK ORDER PROCESS. PLATTING ACTION SHALL BE ALSO REQUIRED TO INCLUDE ALL PUBLIC ROADWAY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING THE 6-FOOT PUBLIC SIDEWALK.

NO.	REVISION	BY	DATE	APPR

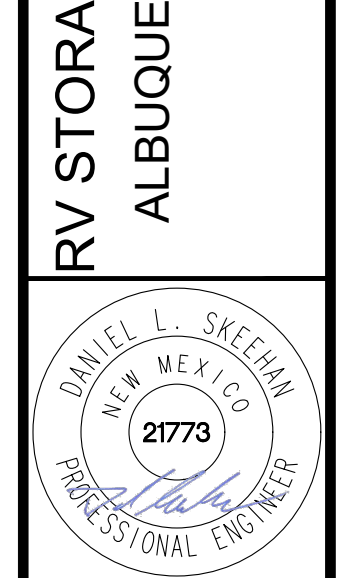
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NORTH RANGE 2 EAST, CITY
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BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
SITE PLAN**



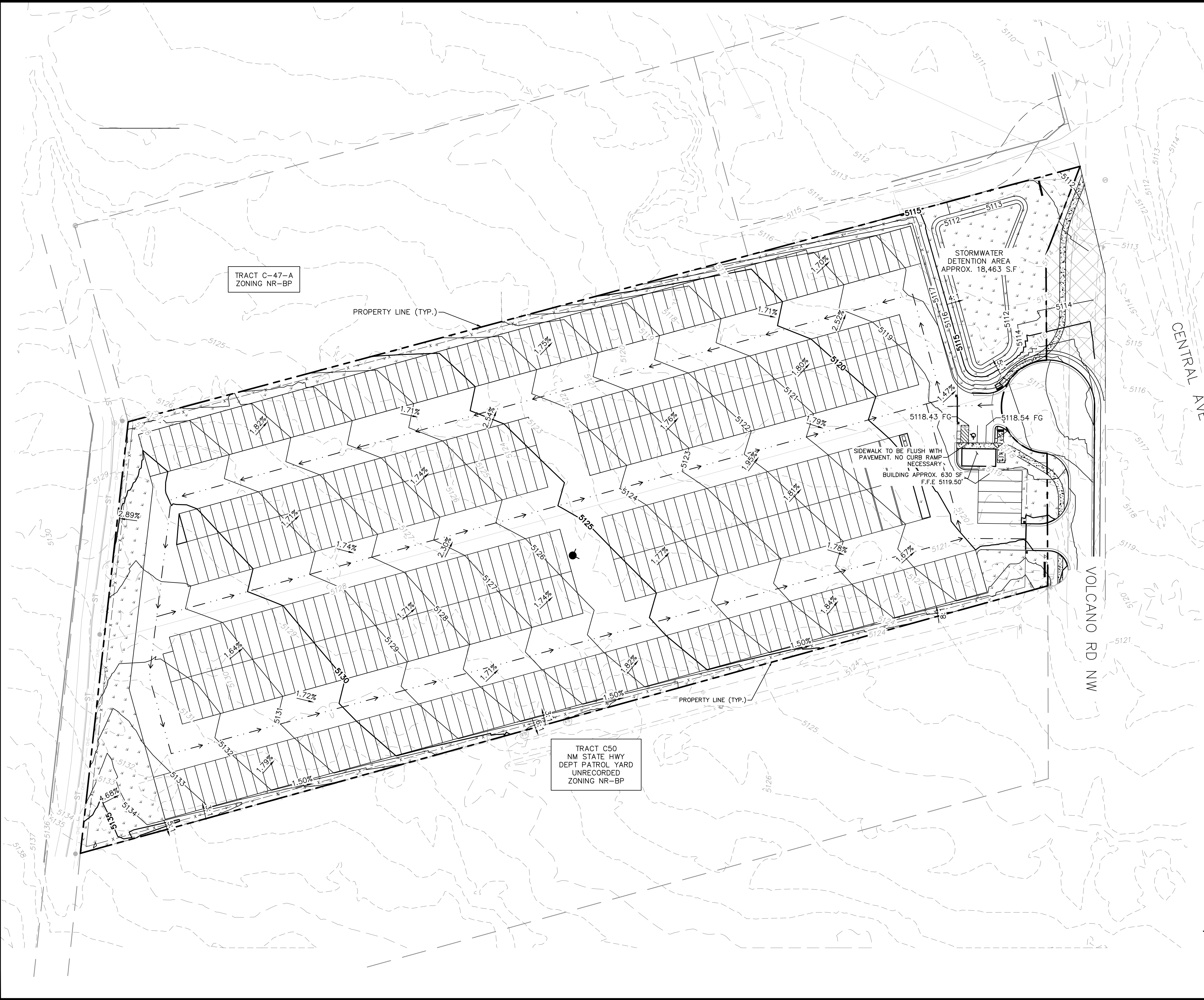
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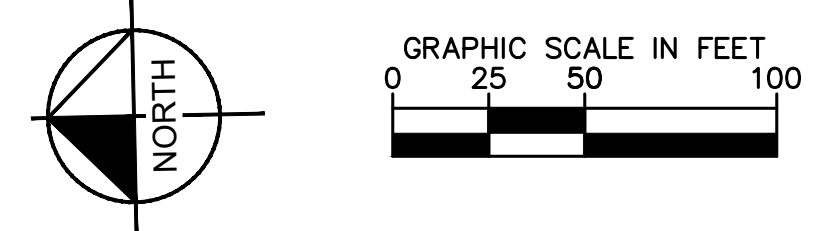
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LEGEND

	SITE PROPERTY LINE
	5747 PROPOSED CONTOUR
	5747 EXISTING CONTOUR
	PROPOSED FIRE HYDRANT
	6" CURB AND GUTTER, TYPICAL
	PROPOSED FLOW DIRECTION



NOT FOR CONSTRUCTION

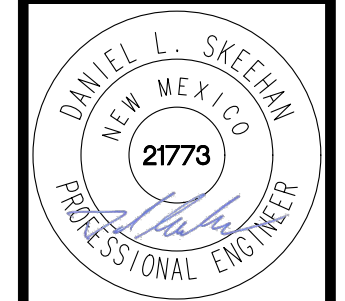
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LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO. TRACT'S C48 AND
 C49, UNIT 4.

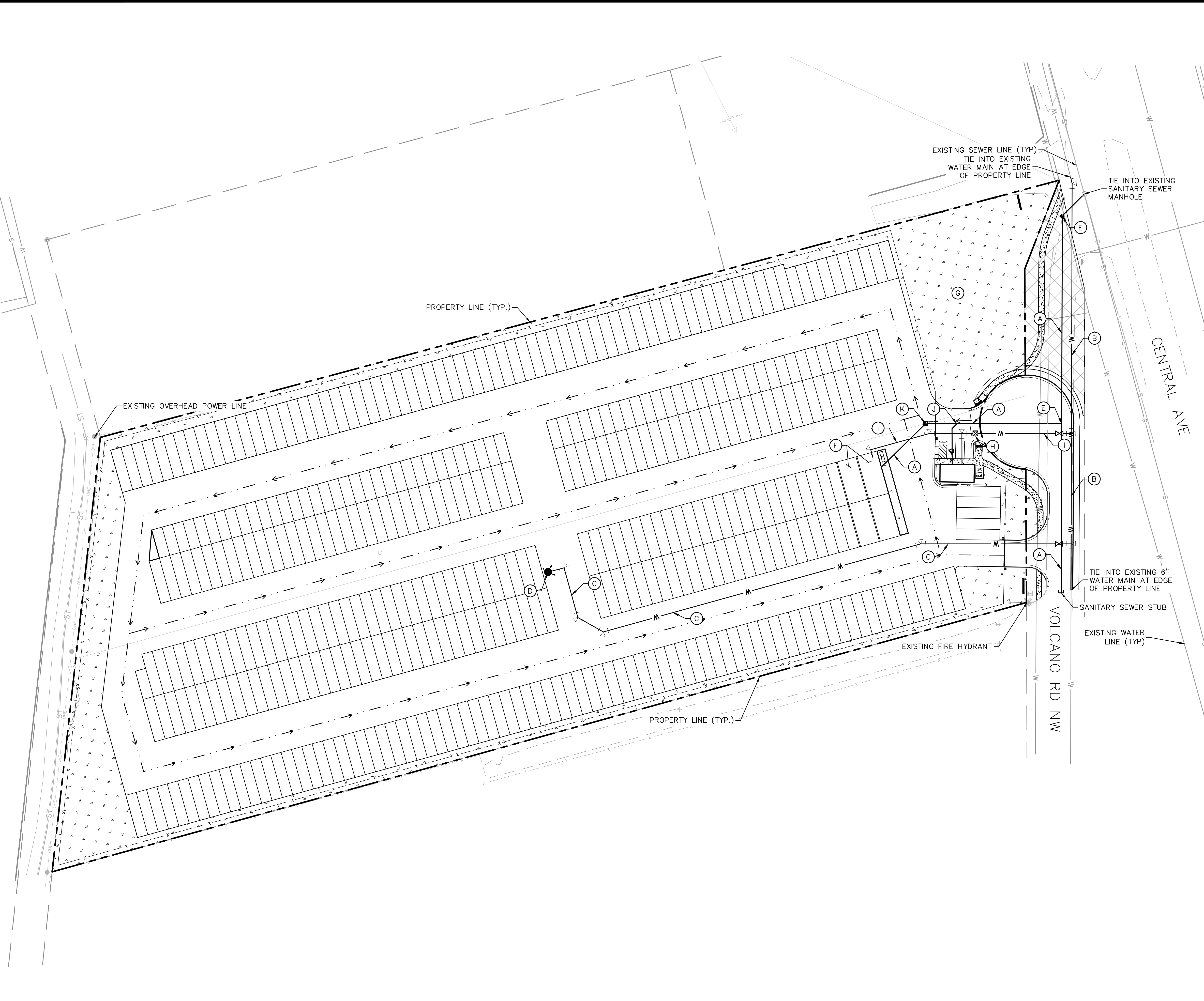
**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 GRADING AND DRAINAGE PLAN**



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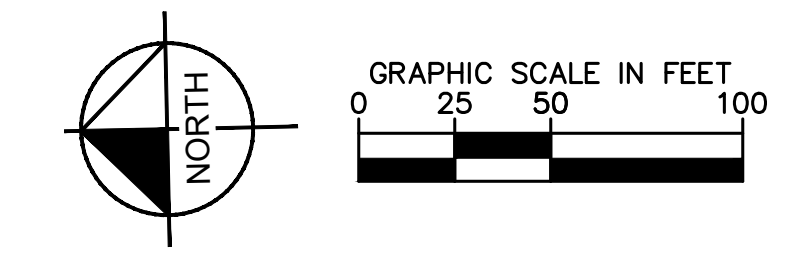
LEGEND

---	SITE PROPERTY LINE
W	PROPOSED WATER LINE
S	PROPOSED SSWR LINE
⊗	PROPOSED SANITARY SEWER MANHOLE

- SITE KEYNOTES**
- (A) PROPOSED PUBLIC 8" PVC SANITARY SEWER SERVICE TO PER DEVELOPMENT PROCESS MANUAL OR AS APPROVED BY ABCWUA
 - (B) PROPOSED 8" PVC WATER MAIN
 - (C) PROPOSED 8" FIRE MAIN
 - (D) PROPOSED FIRE HYDRANT
 - (E) PROPOSED SANITARY SEWER MANHOLE
 - (F) PROPOSED RV DUMP STATION
 - (G) PRIVATE DETENTION POND
 - (H) PROPOSED 1" WATER METER
 - (I) PROPOSED 1" WATER LINE
 - (J) PROPOSED SANITARY WYE
 - (K) PROPOSED SANITARY SEWER CLEANOUT

GENERAL NOTES

- THESE PLANS ARE NOT FOR CONSTRUCTION. REFER TO THE FINAL APPROVED CONSTRUCTION PLANS.



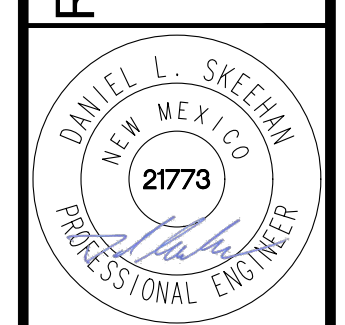
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 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO, TRACTS C48 AND
 C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 UTILITY PLAN**



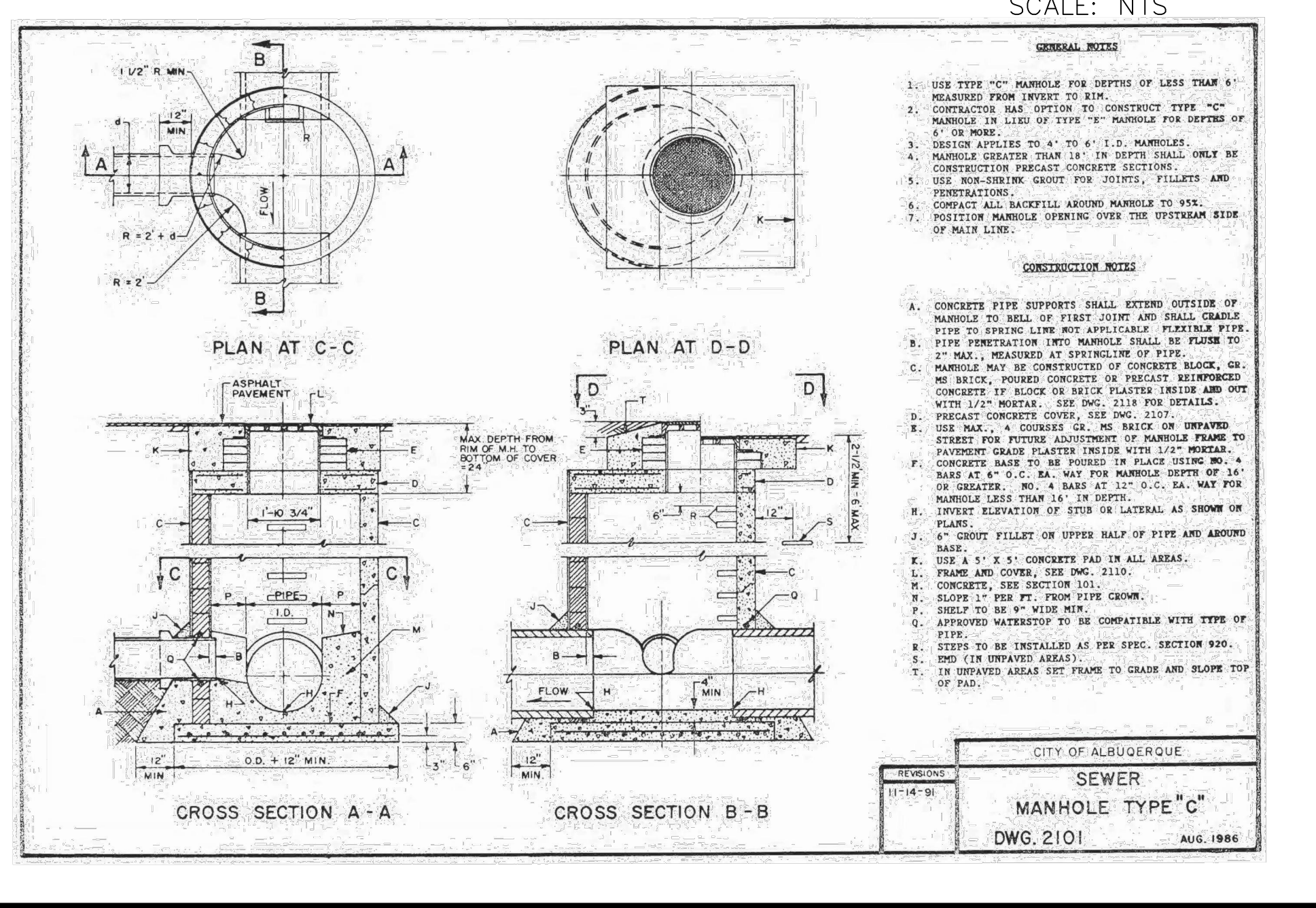
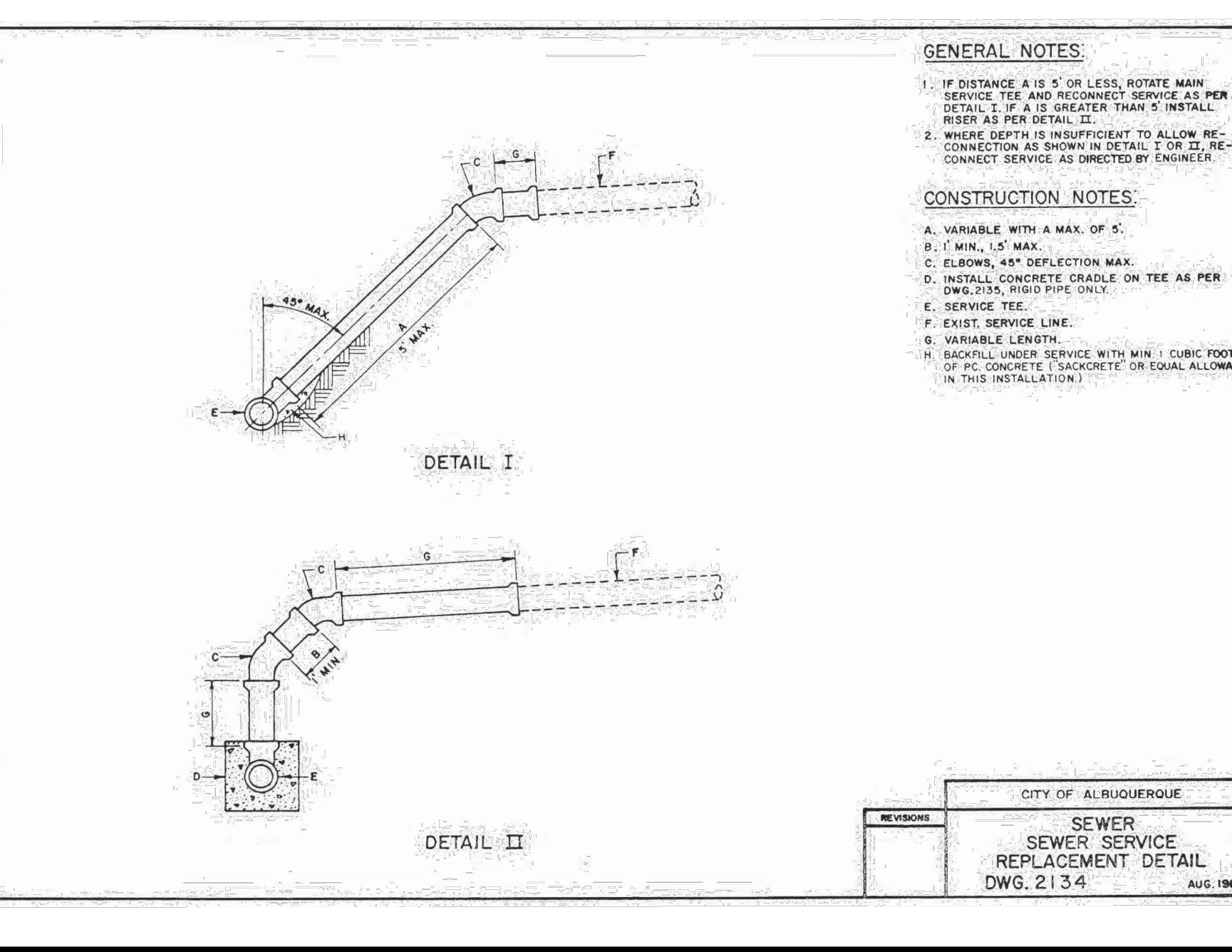
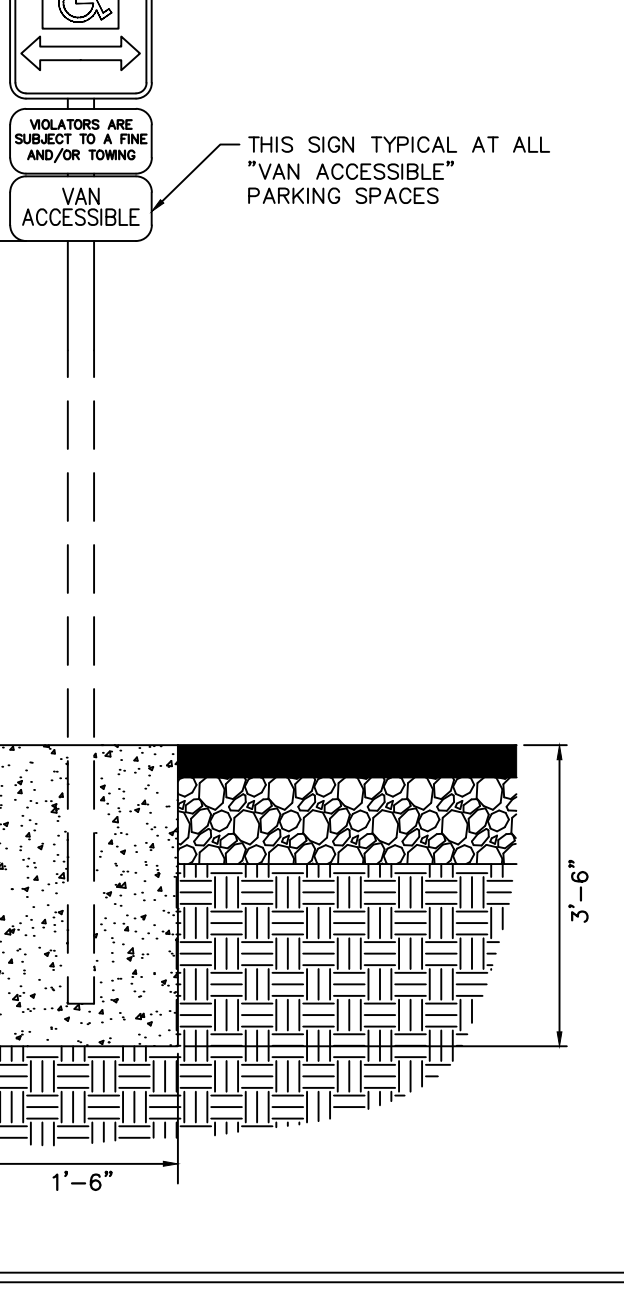
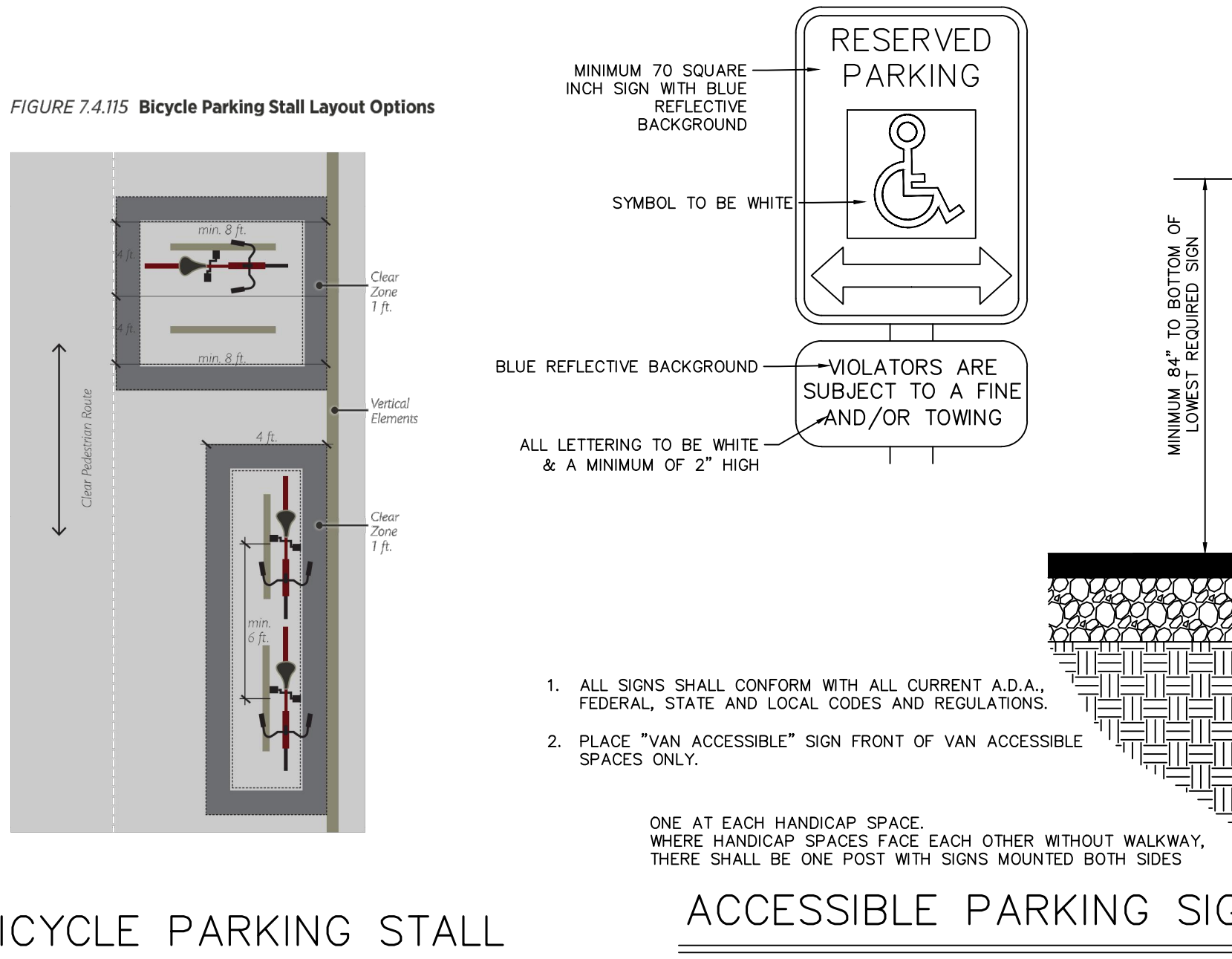
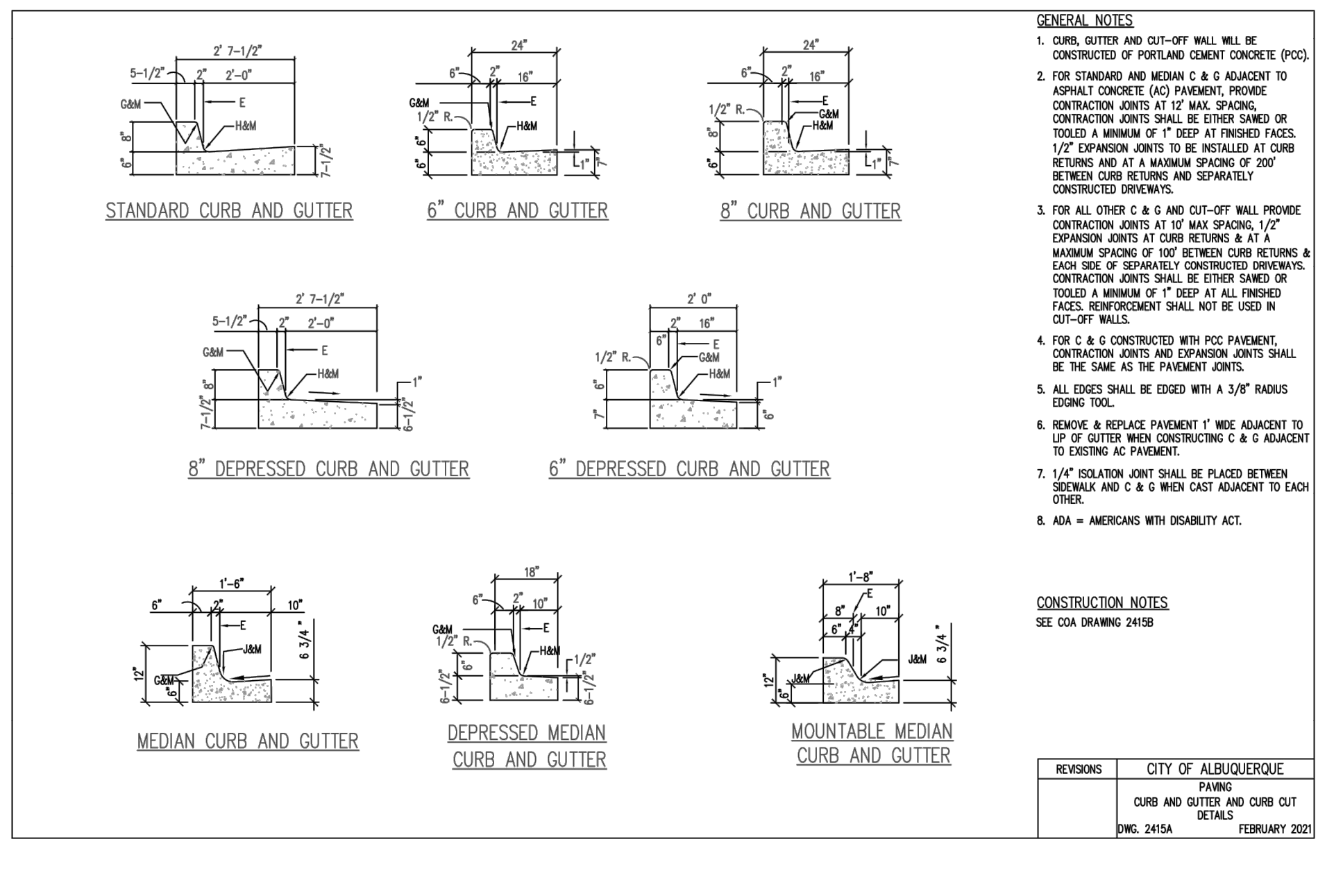
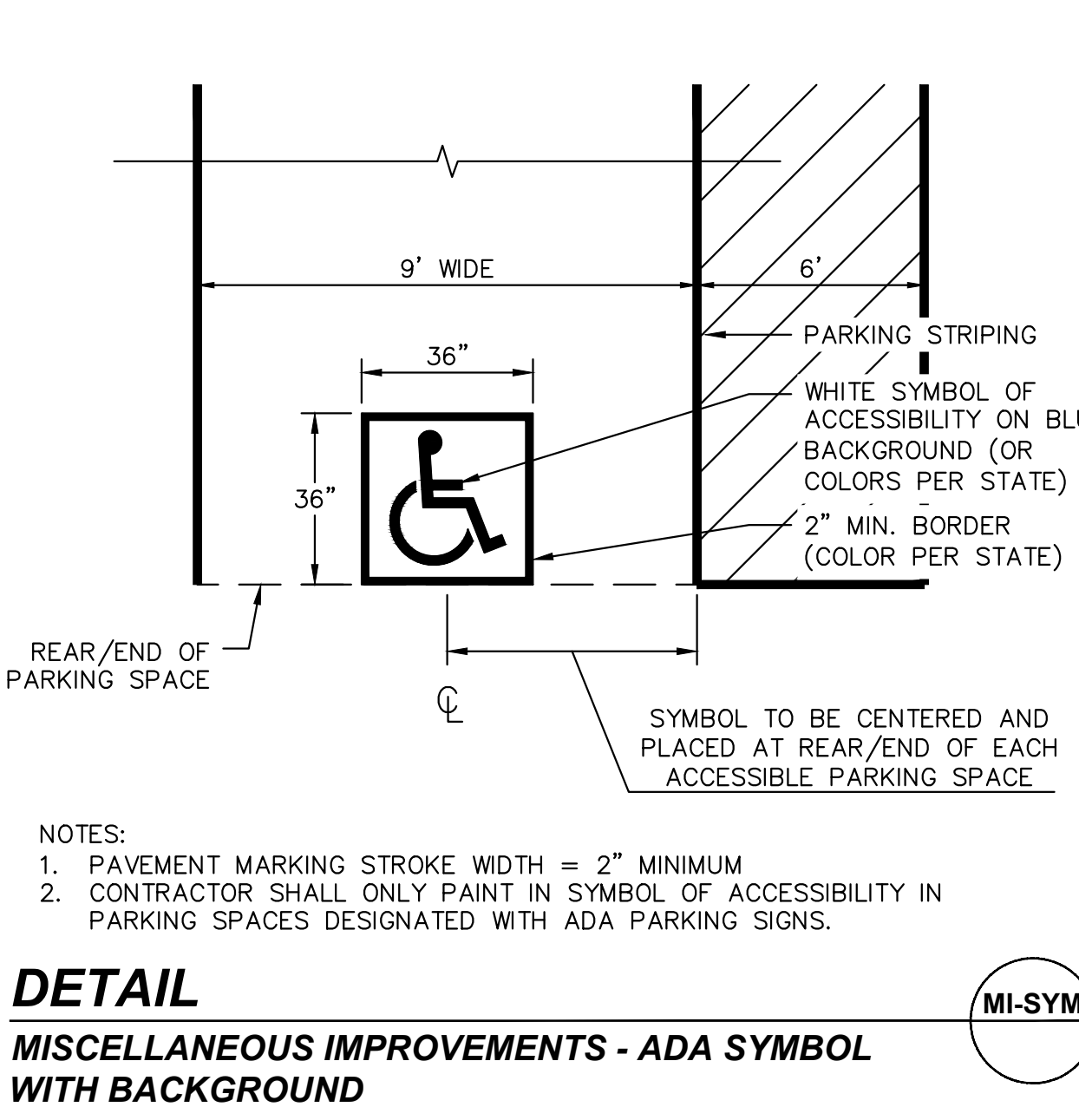
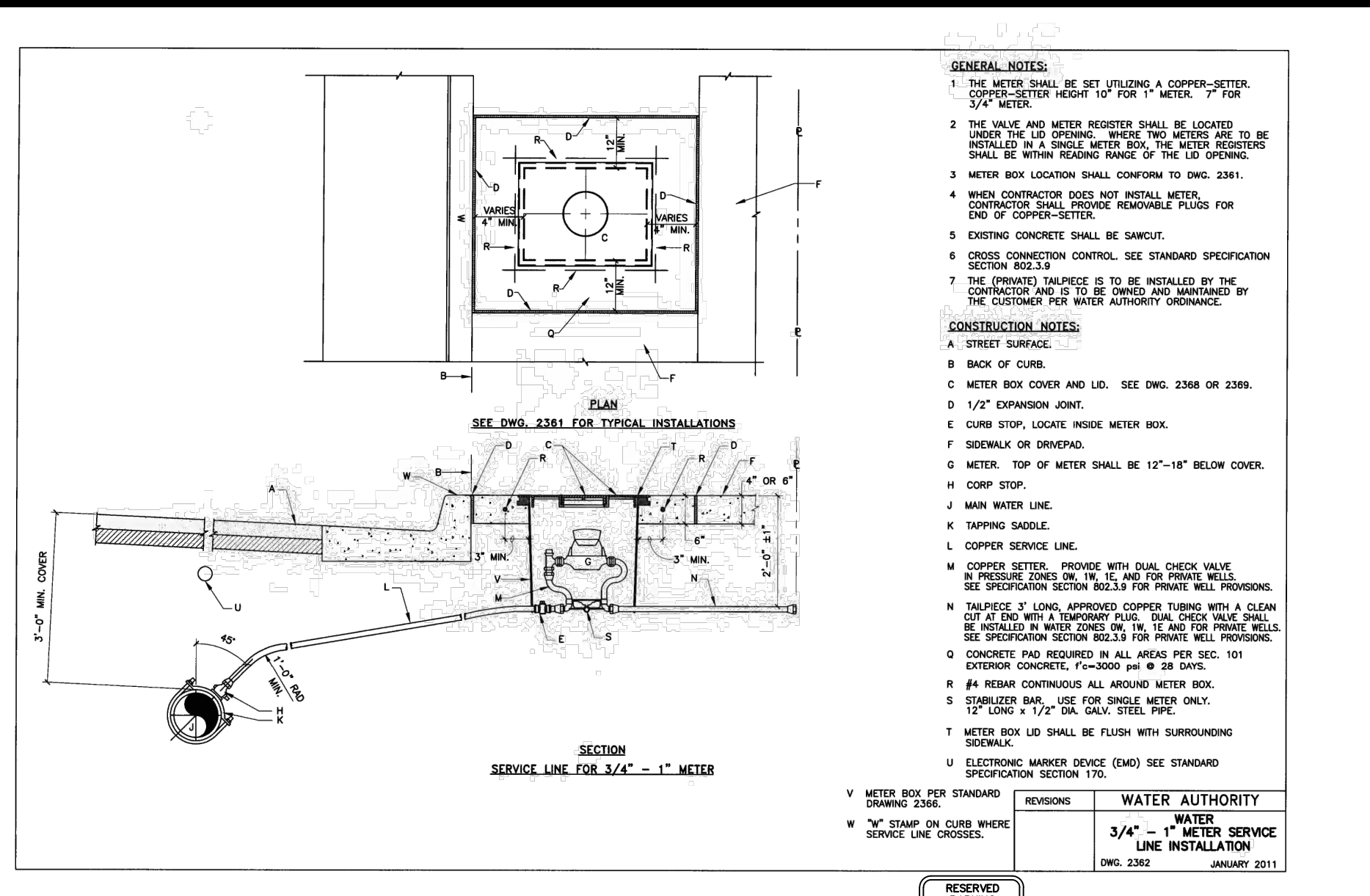
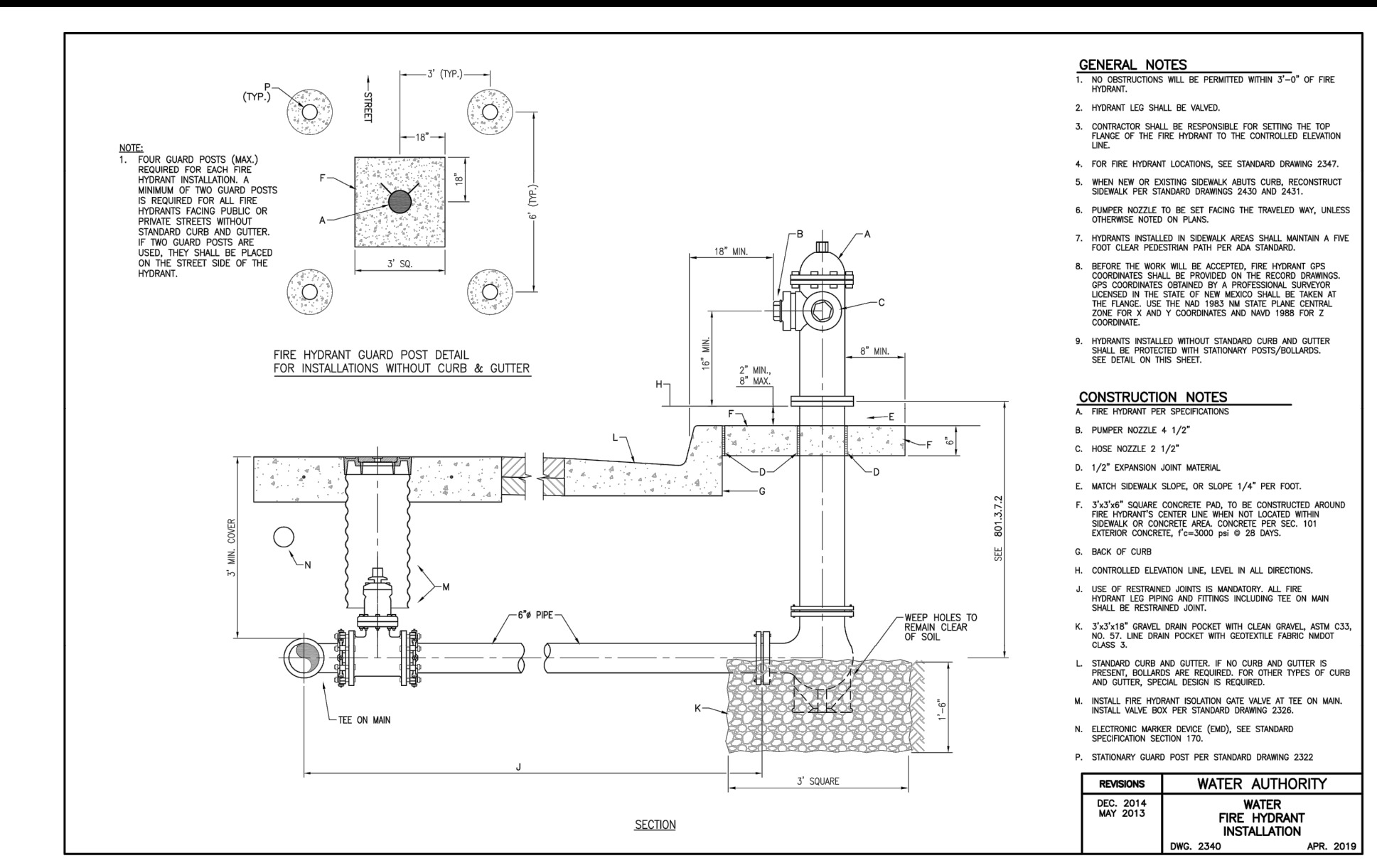
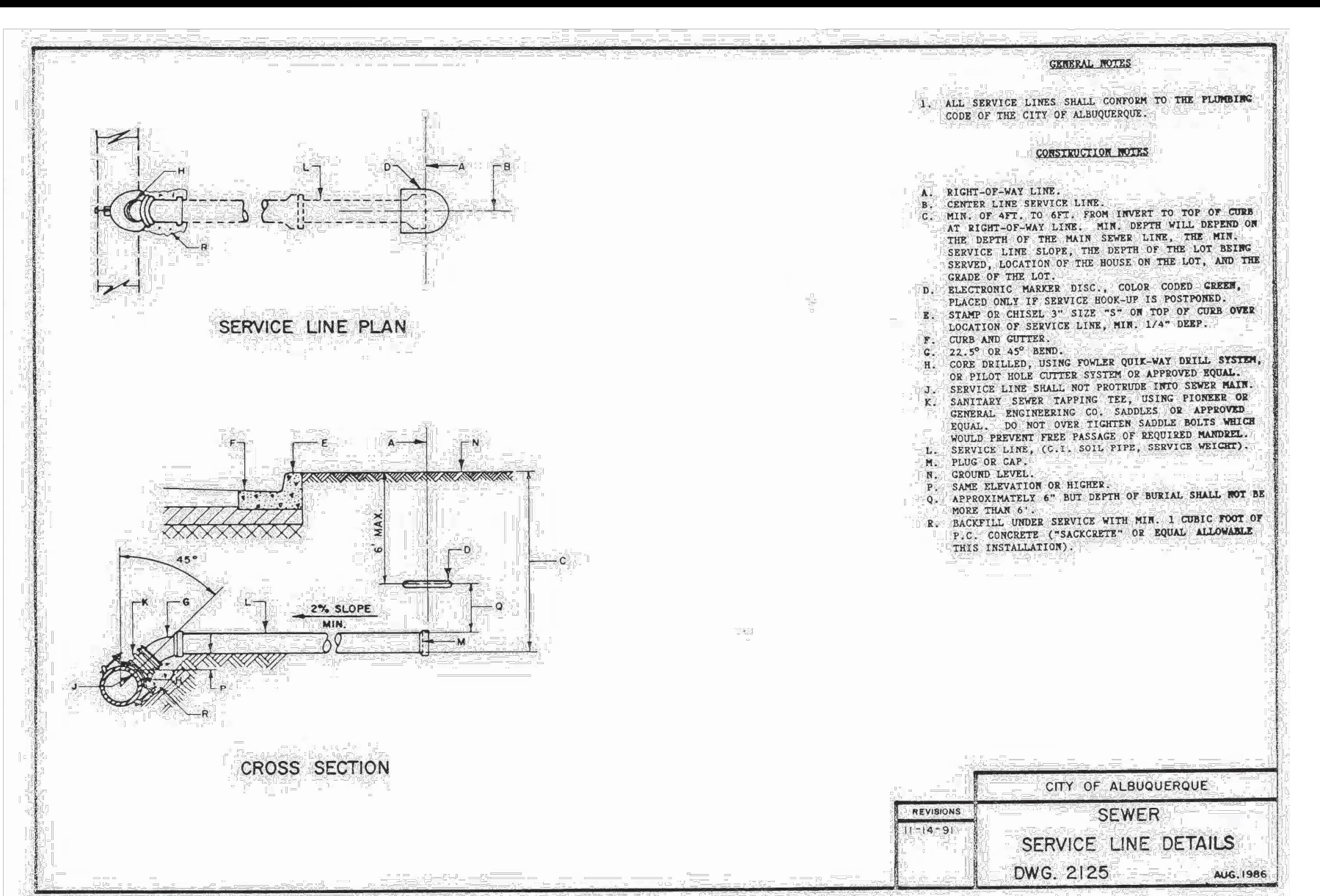
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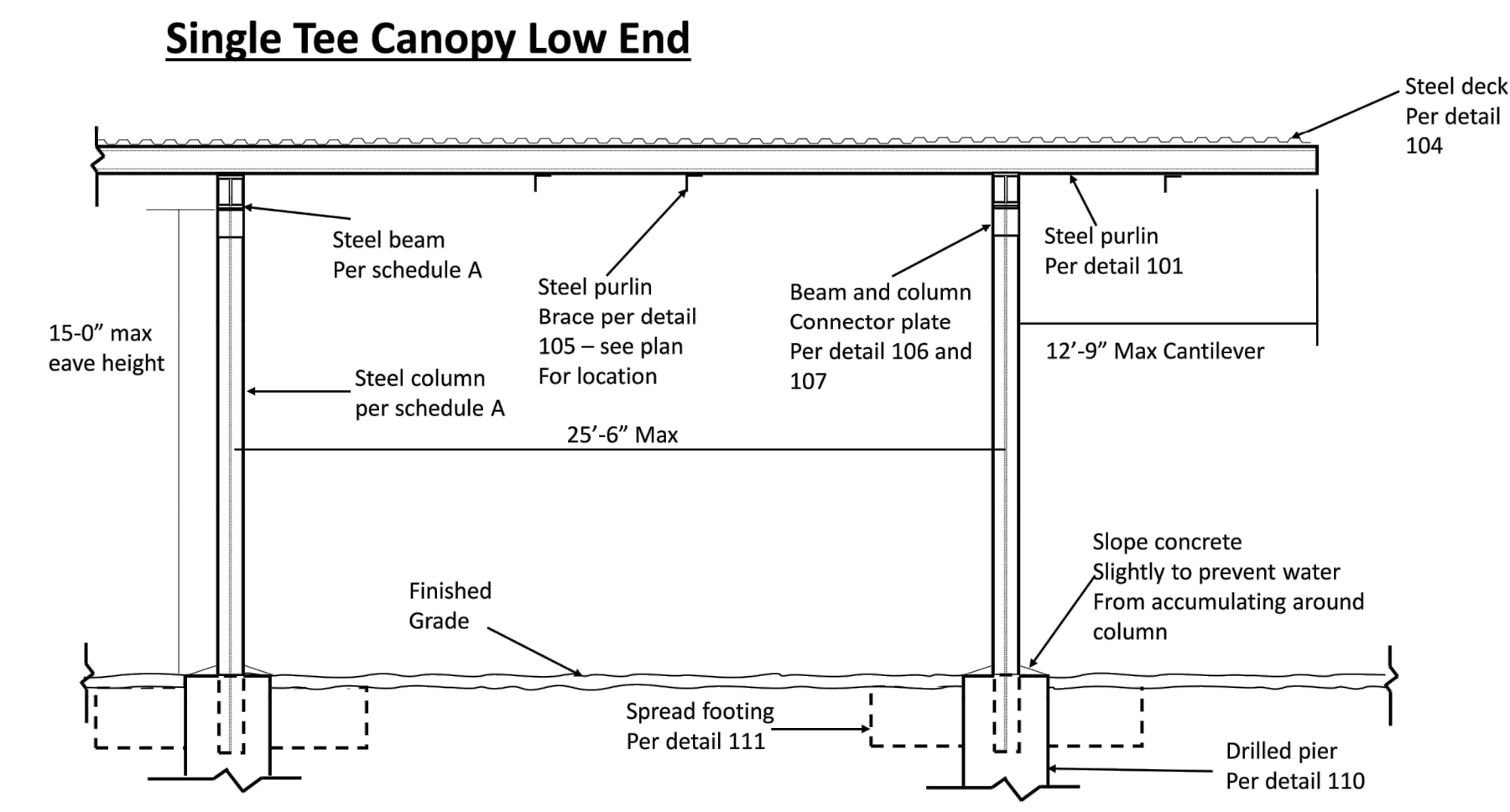
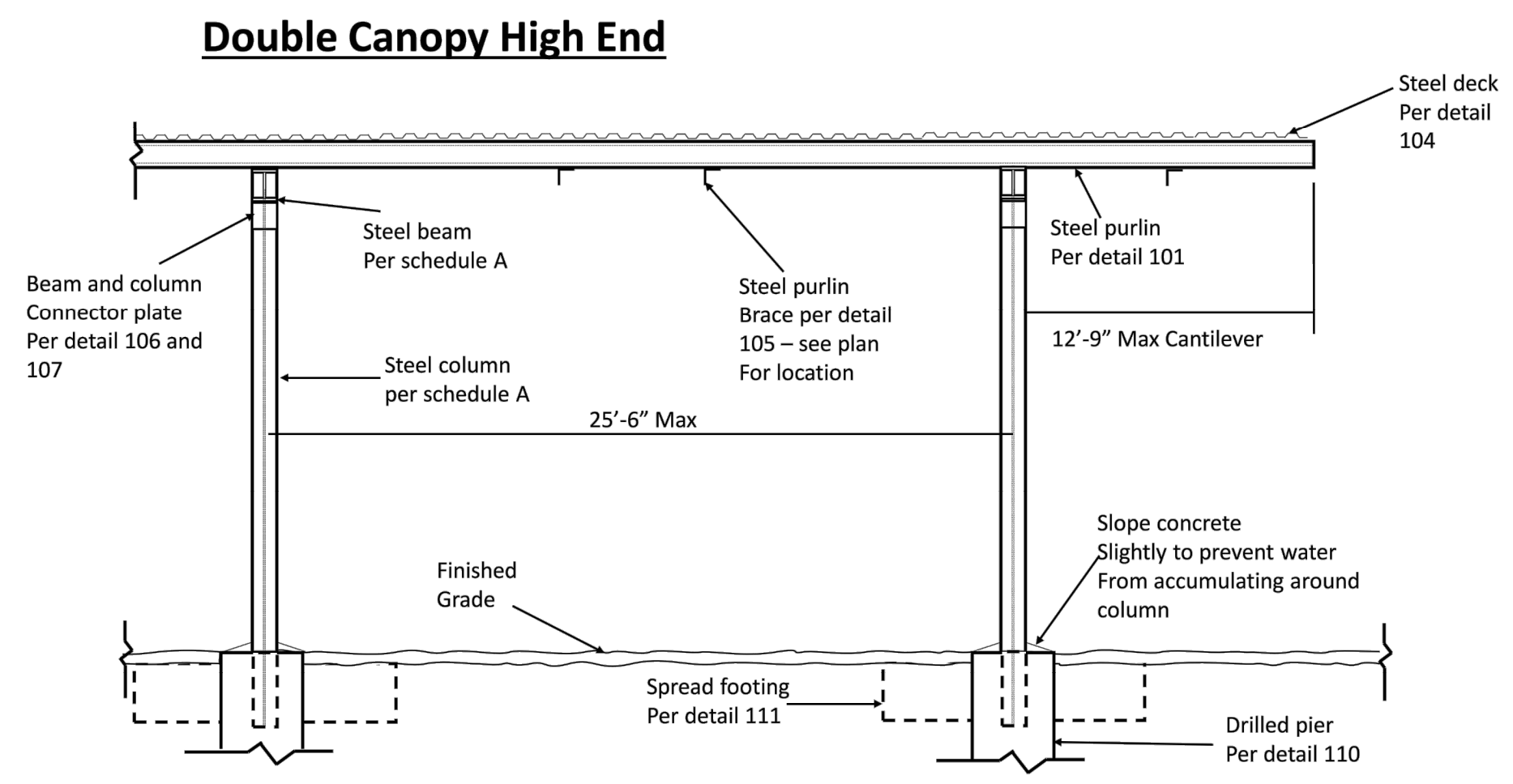
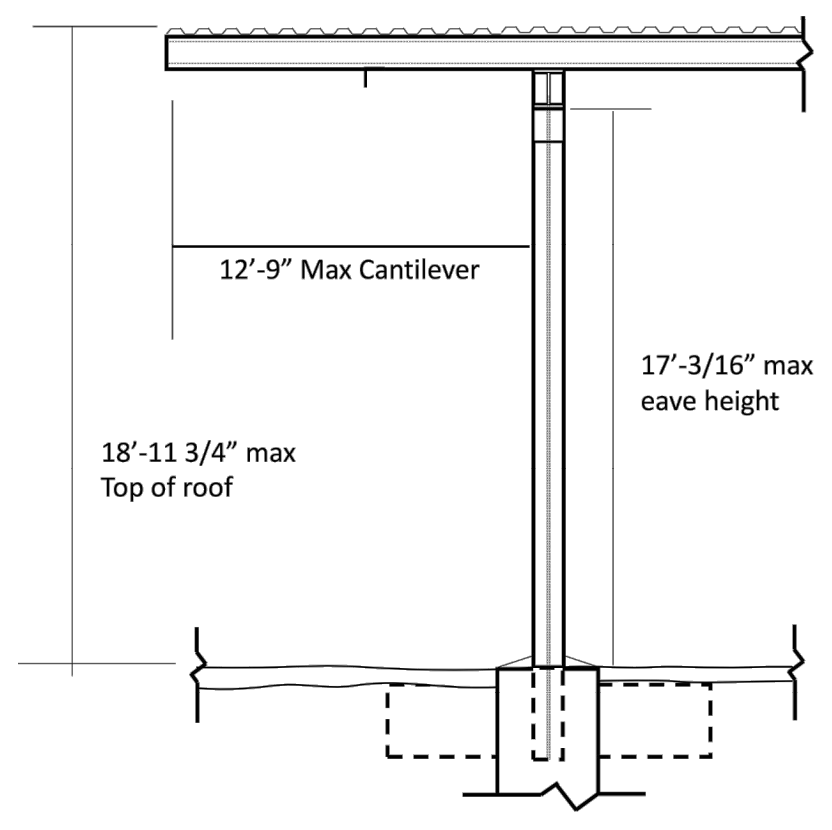
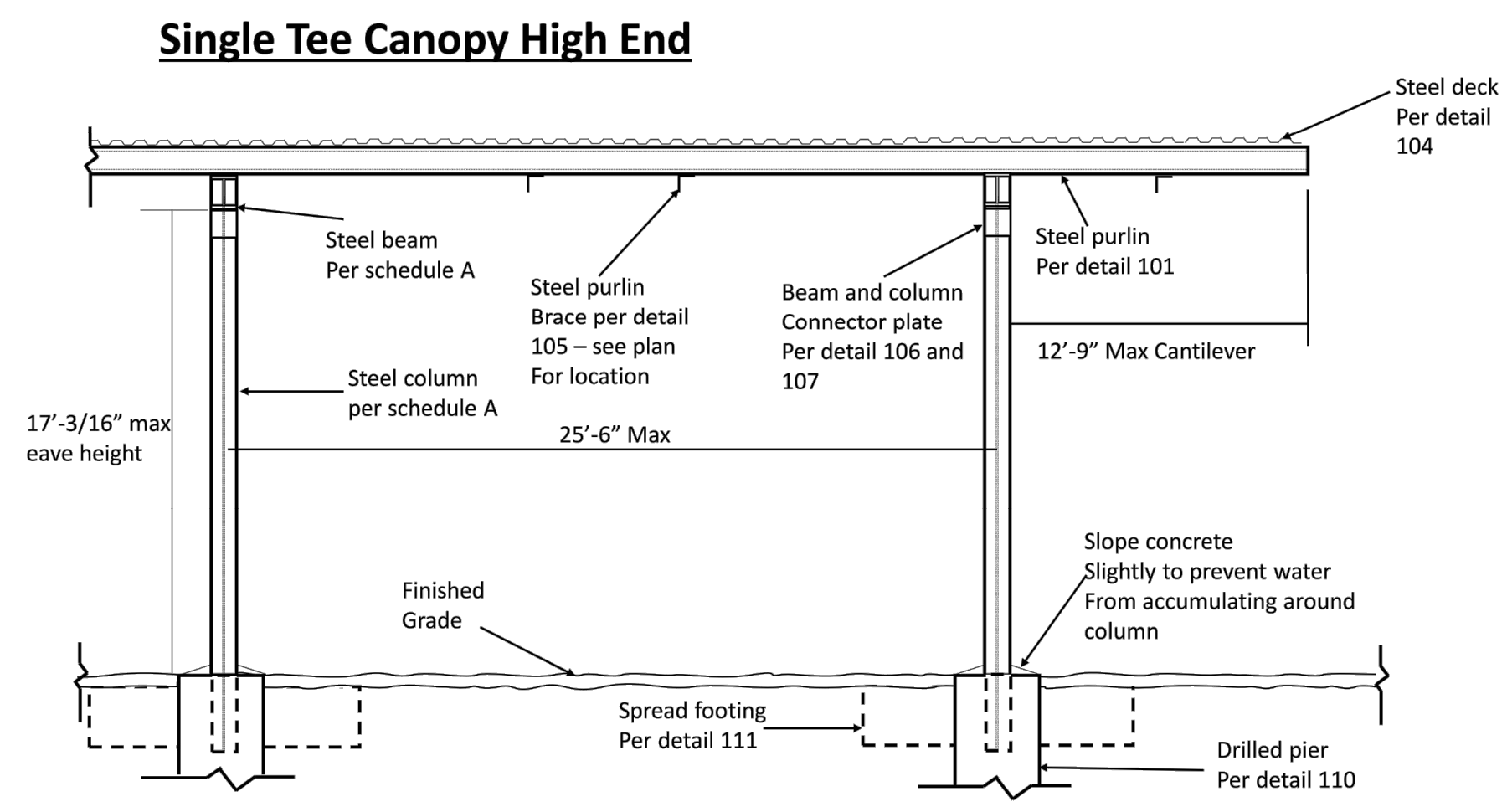
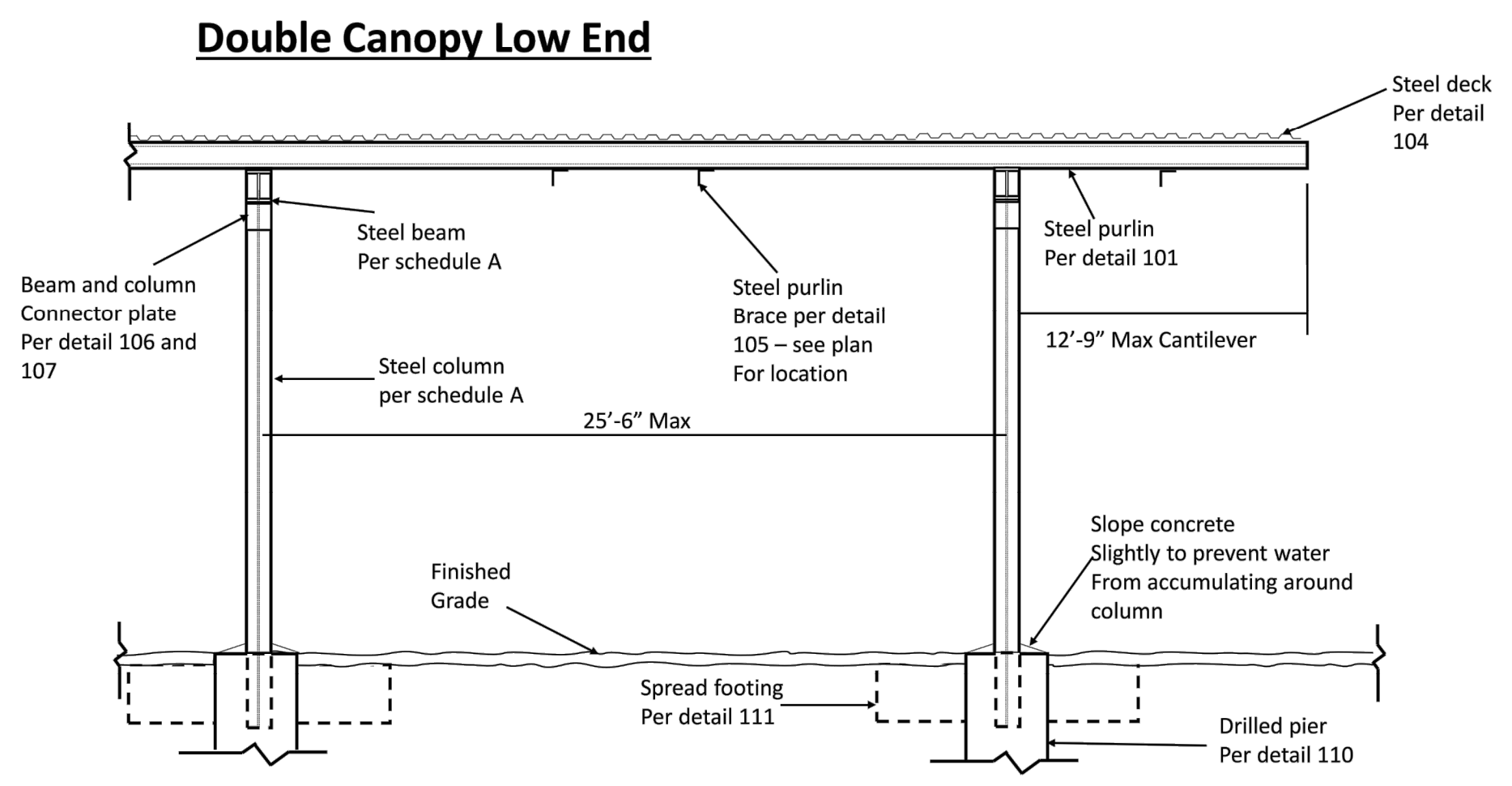
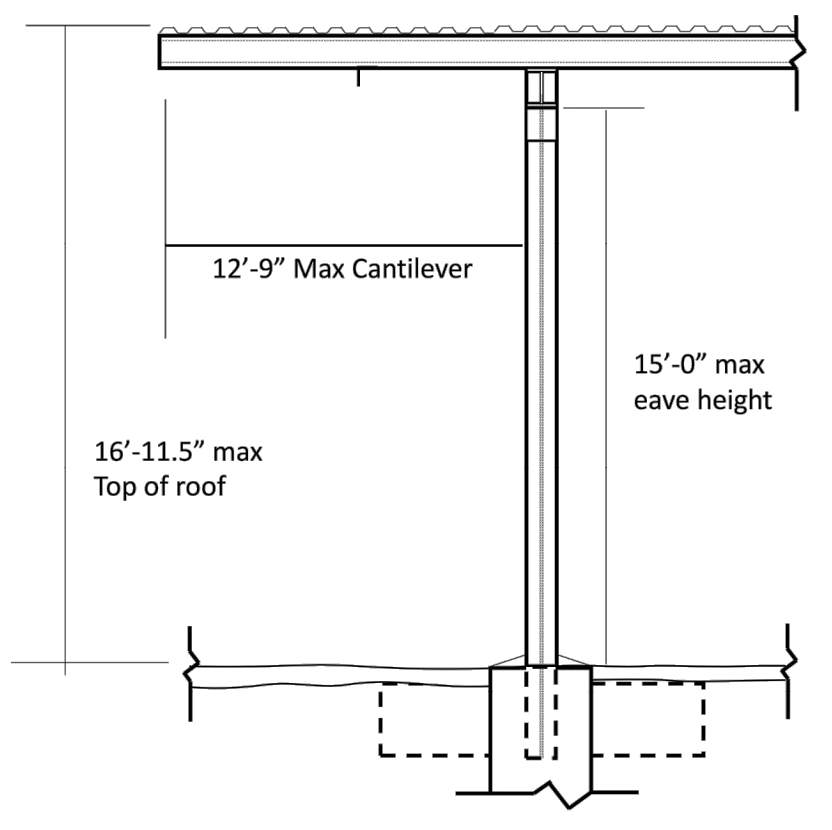
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 Denver, Colorado 80237 (303) 228-2300

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 DRAWN BY: AEM
 CHECKED BY: SAL
 DATE: 4/30/21

LEGAL DESCRIPTION:
 SECTION 21, TOWNSHIP 10
 NORTH RANGE 2 EAST, CITY
 OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW
 MEXICO. TRACTS C48 AND
 C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
CANOPY ELEVATIONS

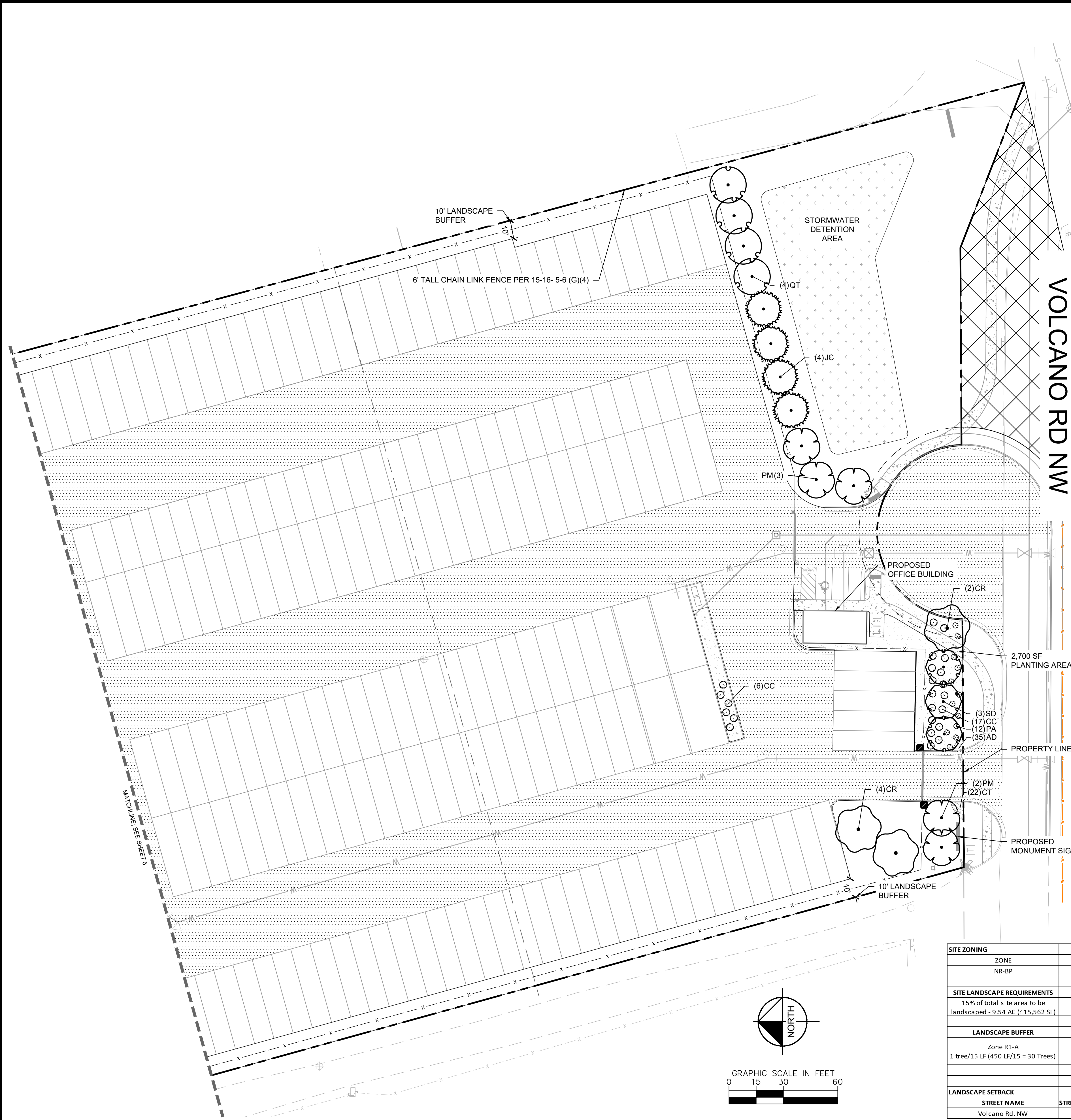


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TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CR	9	CELTIS RETICULATA	NETLEAF HACKBERRY	B & B	2" CAL MIN	12' HT MIN
	JC	16	JUNIPERUS CHINENSIS	JUNIPER	B & B		6' HT MIN
	PM	5	PROSOPIS GLANDULOSA 'MAVERICK'™	HONEY MESQUITE	B & B	2" CAL MIN	12' HT MIN
	QT	11	QUERCUS TURBINELLA	SONORAN SCRUB OAK	B & B	2" CAL MIN	12' HT MIN
	SD	8	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	12' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CC	30	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN
	PA	13	PENSTEMON AMBIGUUS	GILIA BEARDTONGUE	5 GAL	SEE PLAN	12" HT MIN
	RH	7	RUDBECKIA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	2,449 SF	1-1/2" - 2" RIVER ROCK MULCH				
	AD	64	ANACYCLUS DEPRESSUS	ALTAS DAISY	4" P.P.	4" POTS	12" OC 12" o.c.
	CT	71	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	1 GAL	4" POTS	18" OC 18" o.c.
	DD	8,452 SF	DETENTION SEED	DETENTION BASIN SEED MIX	SEED		
	NS	52,326 SF	NATIVE SEED MIX	SANTA FE TRAIL	SEED		

- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

SITE ZONING		ZONE						
NR-BP								
SITE LANDSCAPE REQUIREMENTS		REQUIRED	PROVIDED					
15% of total site area to be landscaped - 9.54 AC (415,562 SF)		61,728 SF	63,227 SF					
LANDSCAPE BUFFER		REQUIRED	PROVIDED					
Zone R1-A 1 tree/15 LF (450 LF/15 = 30 Trees)		30 Trees	30 Trees					
LANDSCAPE SETBACK		STREET NAME	STREET NAME CLASSIFICATION	WIDTH (FT) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROV.	NO. OF SPECIES REQ./PROV.
		Volcano Rd. NW	Local	5/5	400	1/25 LF	16/16	5/5

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C49, UNIT 4.

**RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
LANDSCAPE PLAN**

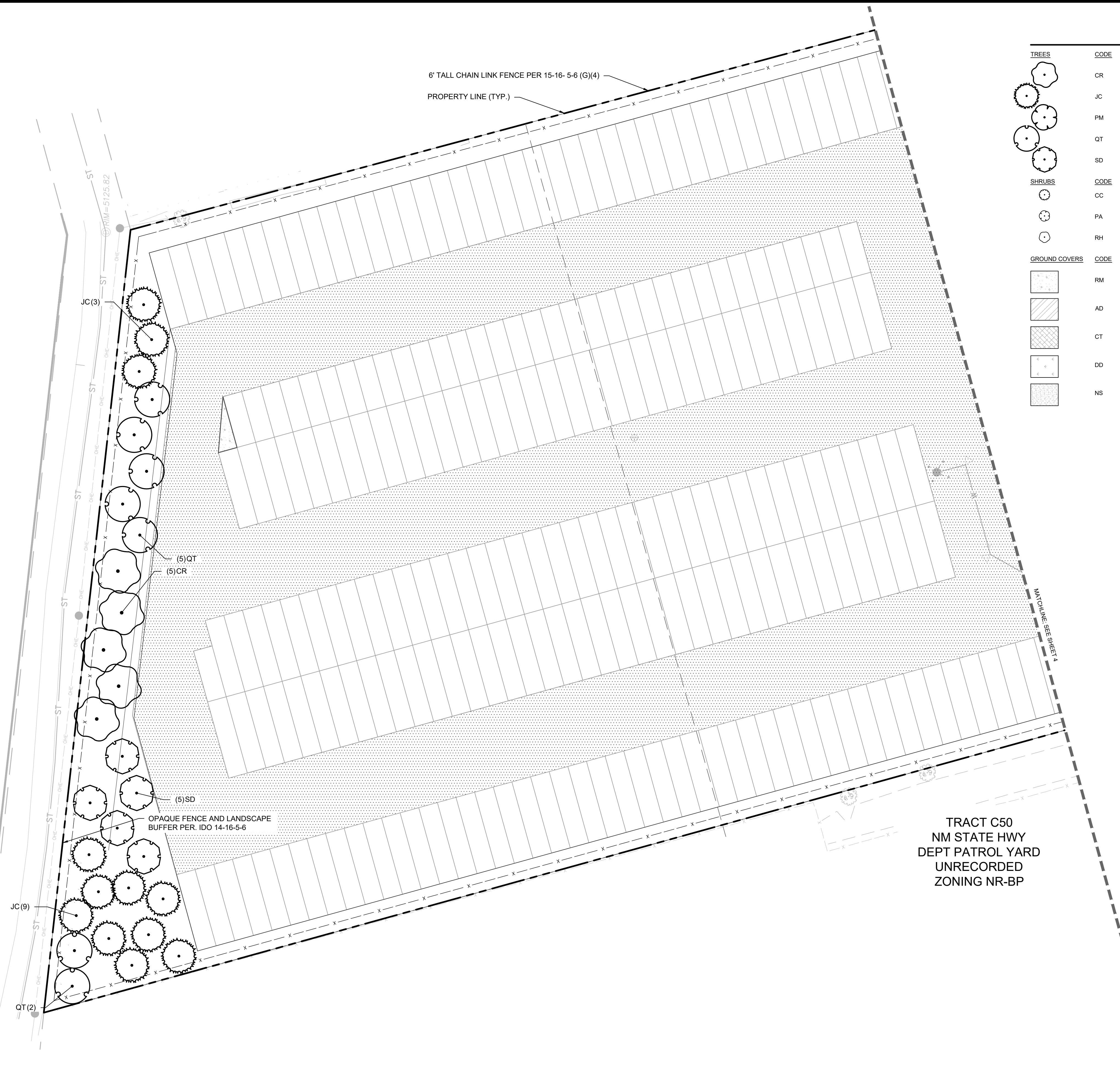
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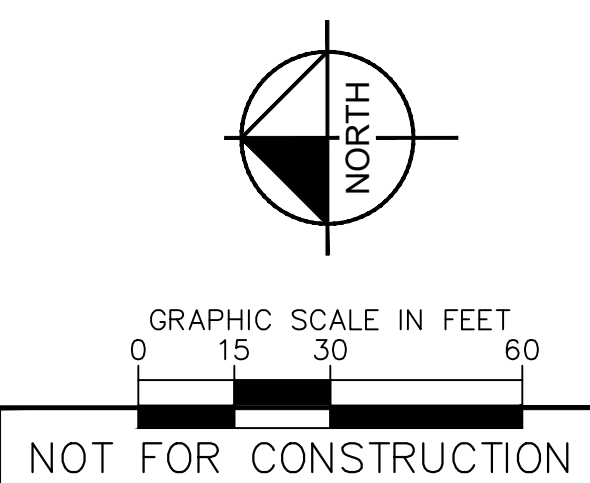
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TRACT C50
 NM STATE HWY
 DEPT PATROL YARD
 UNRECORDED
 ZONING NR-BP



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RV STORAGE - ALBUQUERQUE
 ALBUQUERQUE, NEW MEXICO
 SITE PLAN
 LANDSCAPE PLAN

PROJECT NO.
096648005

DRAWING NAME
096648005_LA.dwg

SHEET
13

GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK
1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
B. PROTECTION OF EXISTING STRUCTURES
1. ALL EXISTING BUILDINGS, WALLS, PAVINGS, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
C. PROTECTION OF EXISTING PLANT MATERIALS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.
D. MATERIALS
1. GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER UPON APPROVAL. DELIVERY OF MATERIALS MAY COMMENCE.
MATERIAL SAMPLE SIZE
MULCH ONE (1) CUBIC FOOT
TOPSOIL MIX ONE (1) CUBIC FOOT
PLANTS ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
2. PLANT MATERIALS
a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT.
E. SOIL MIXTURE
1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.
F. WATER
1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS.
G. FERTILIZER
1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE.
H. MULCH
1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES.
I. DIGGING AND HANDLING
1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
J. CONTAINER GROWN STOCK
1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD.
K. MATERIALS LIST
1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR.
L. FINE GRADING
1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
M. PLANTING PROCEDURES
1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY.
N. LAWN SODDING
1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
O. EDGING
1. CONTRACTOR SHALL INSTALL 4"x6" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
P. CLEANUP
1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK.
Q. PLANT MATERIAL MAINTENANCE
1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
R. FINAL INSPECTION AND ACCEPTANCE OF WORK
1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT.
S. WARRANTY
1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER.
2. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
3. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE.
4. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION.
23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK.
24. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
25. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA.
26. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN.
27. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
29. CONTRACTOR SHALL INSTALL 4"x6" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
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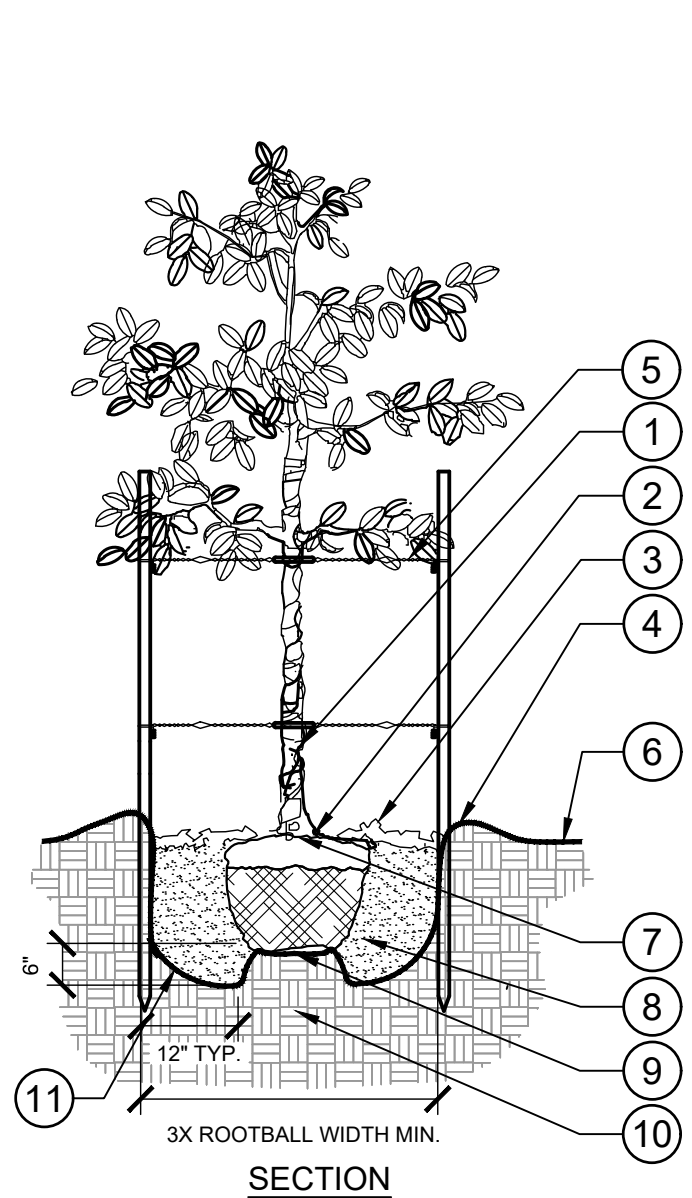
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SITE PLAN
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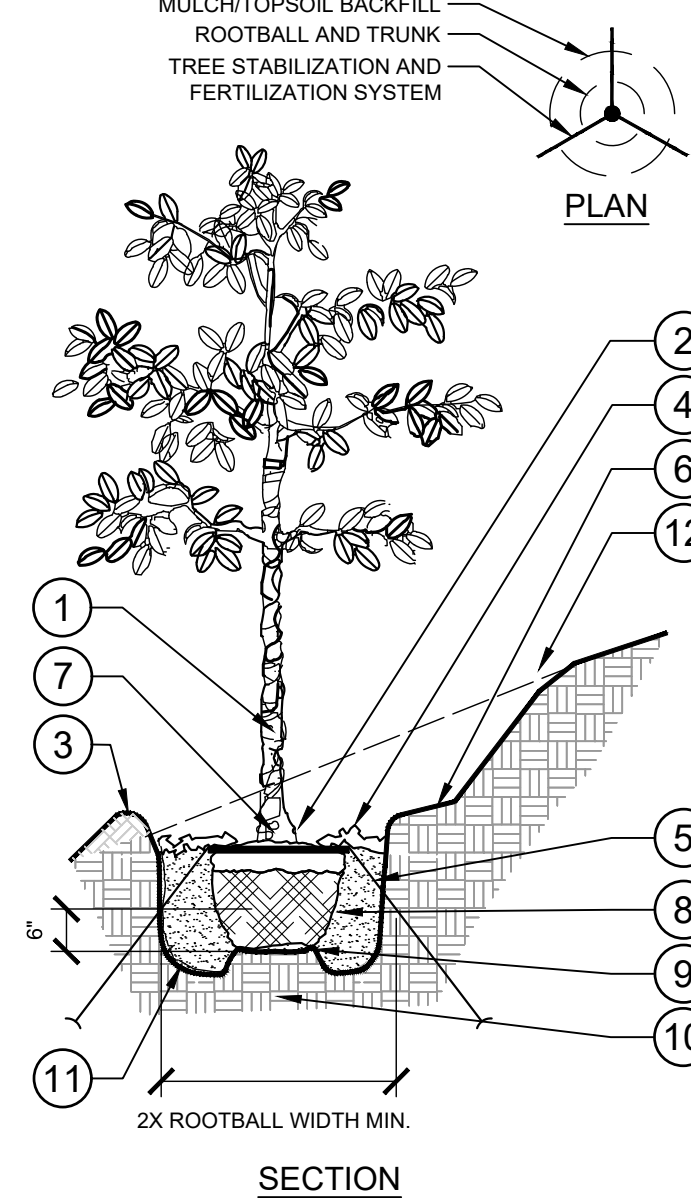


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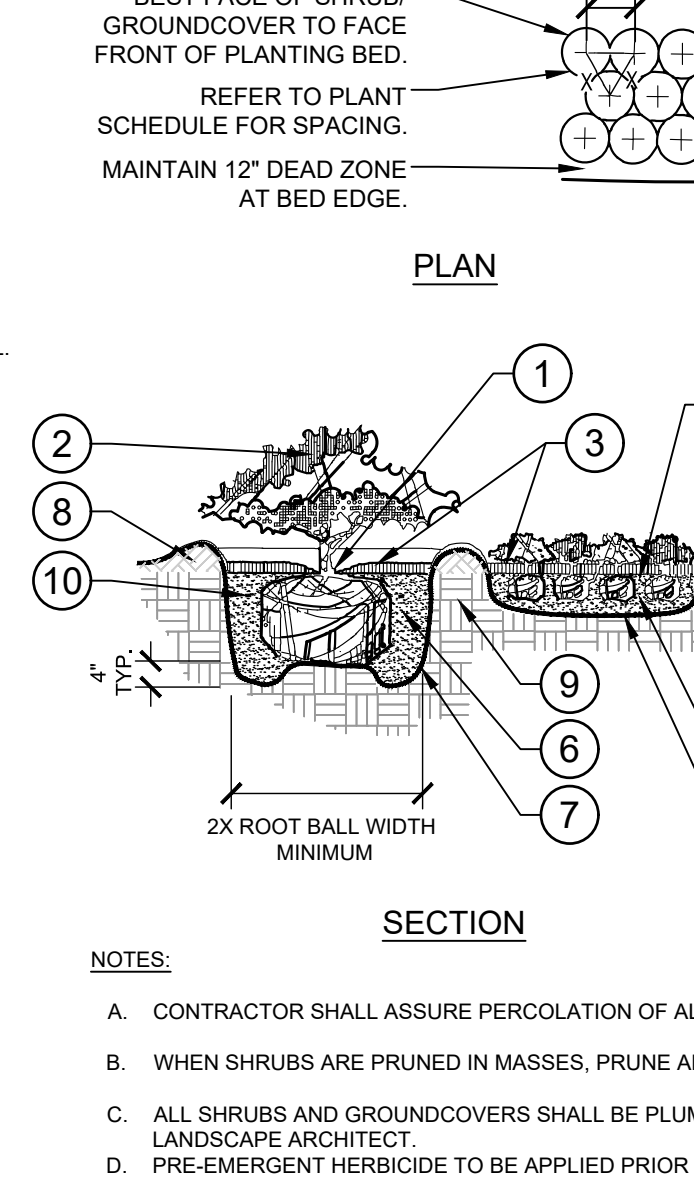
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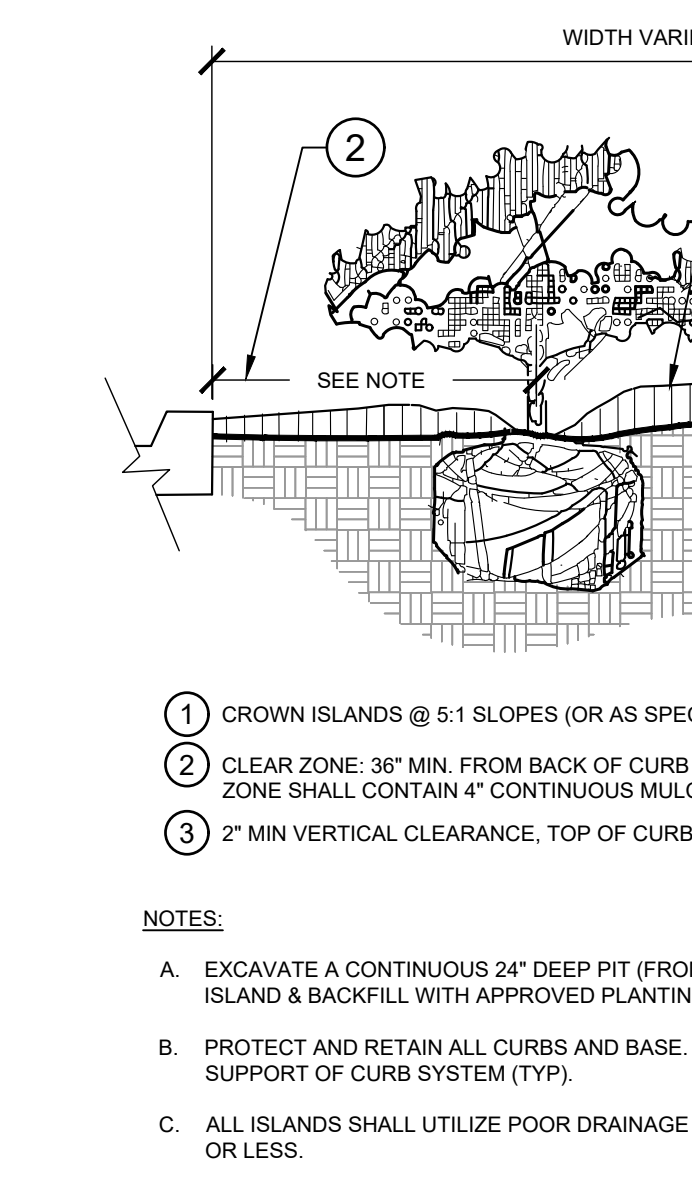
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SECTION / PLAN
NTS



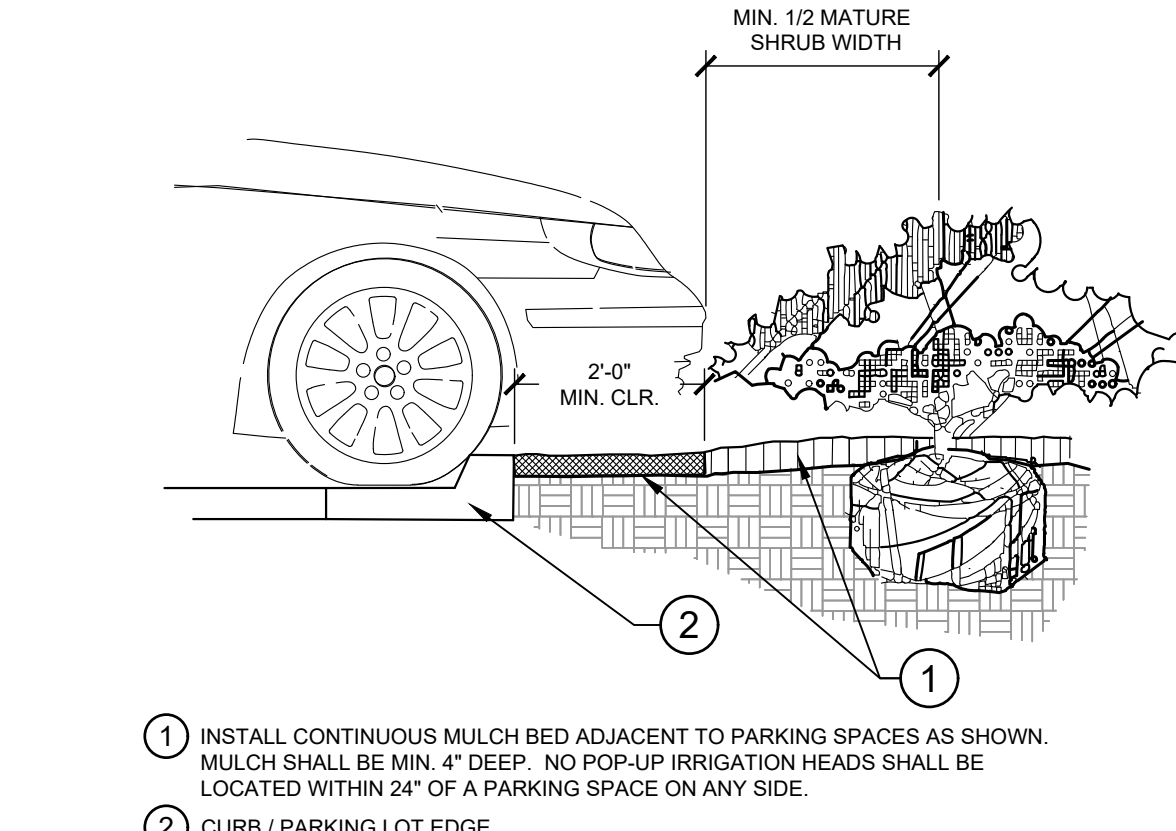
2 TREE PLANTING ON A SLOPE
SECTION / PLAN
NTS



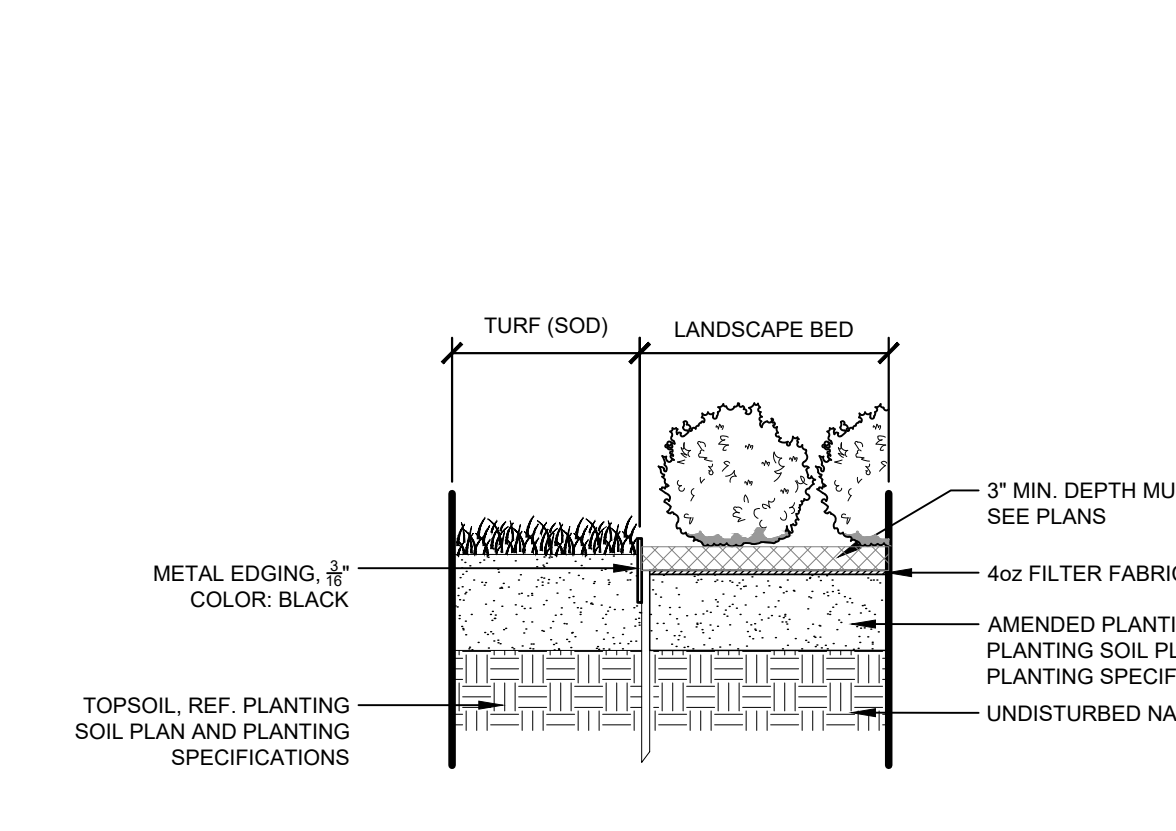
3 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
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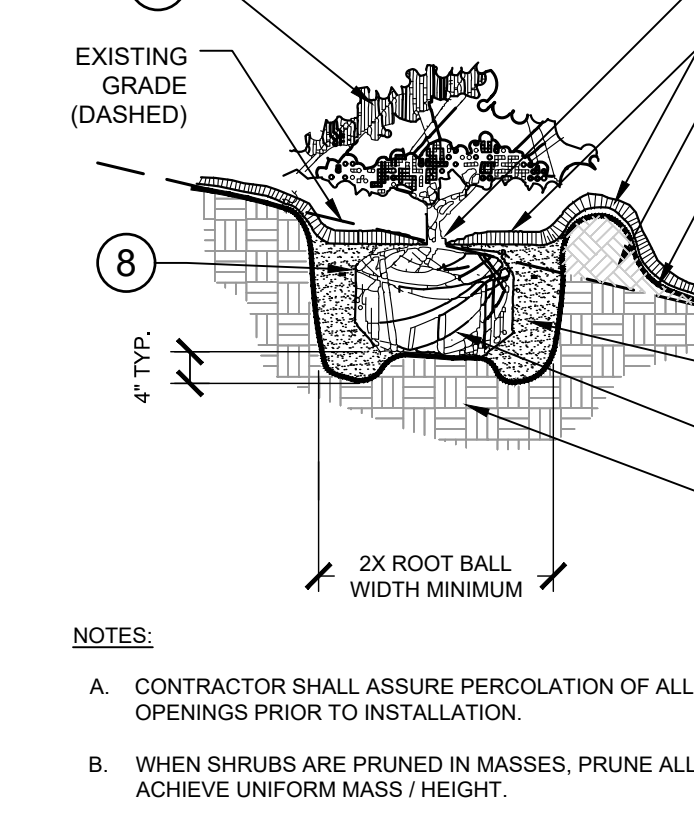
4 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



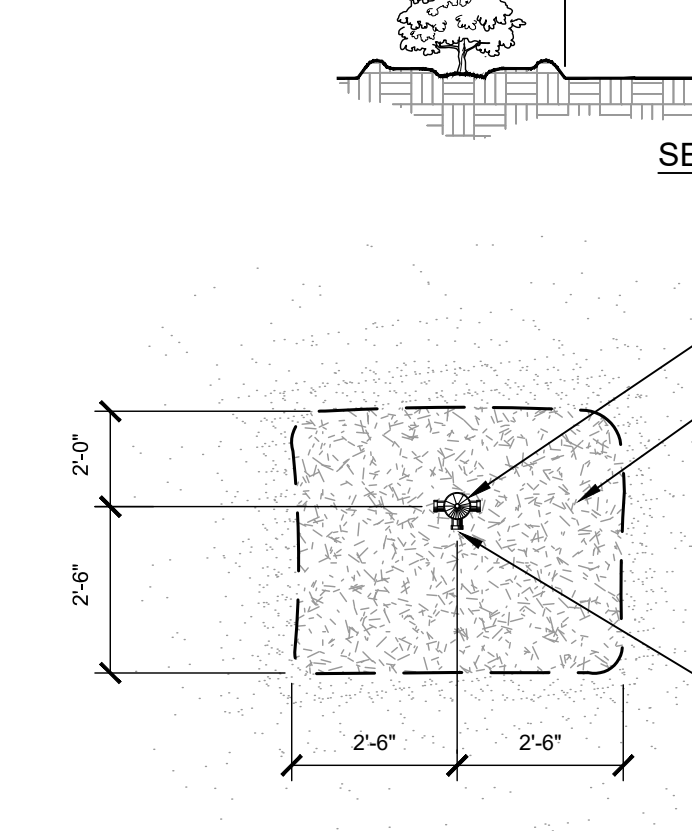
5 PARKING SPACE/CURB PLANTING
SECTION
NTS



6 METAL EDGER AT PLANTING BED
SECTION
NTS



7 SHRUB/GROUNDCOVER PLANTING ON A SLOPE
SECTION
NTS



8 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS

NATIVE SEED INFORMATION
SHORT GRASS MIX BY APPLEWOOD SEED COMPANY OR EQUAL
SEEDING RATE: 6 LBS/ACRE

SCIENTIFIC NAME	COMMON NAME
BOUTELOUA GRACILIS	BLUE GRAMA
BOUTELOUA CURTIPENDULA	SIDEOATS GRAMA
SPOROBOLUS CRYPTANDRUS	SAND DROPSEED
KOELERIA MACRANTHA	PRARIE JUNEGRASS

DETENTION BASIN MIX BY APPLEWOOD SEED COMPANY OR EQUAL
SEEDING RATE: 35 LBS/ACRE

SCIENTIFIC NAME	COMMON NAME
ALISMA SUBCORDATUM	WATER PLANTAIN
ASCLEPIAS INCARNATA	SWAMP MILKWEED
BIDENS ARISTOSA	TICKSEED SUNFLOWER
MIMULUS RINGENS	ALLEGHENY MONKEYFLOWER
PENTHORUM SEDOIDES	DITCH STONECROP
RUDBECKIA LACINIATA	CUTLEAF CONEFLOWER
SAGITTARIA LATIFOLIA	COMMON ARROWHEAD
VERBENA HASTATA	BLUE VERVAIN
CAREX STIPATA	AWL-FRUITED SEDGE
CAREX VULPINOIDEA	FOX SEDGE
ELYMUS VIRGINICUS	VIRGINIA WILDRIE
ELEOCHARIS SPECIES	SPIKE RUSH
GLYCERIA STRIATA	FOWL MANNA GRASS
JUNCUS EFFUSUS	SOFT RUSH
JUNCUS TENUIS	PATH RUSH
LEERSIA ORYZOIDES	RICE CUT GRASS
PANICUM VIRGATUM	SWITCHGRASS
SCIRPUS VALIDUS	SOFTSTEM BULRUSH
SPARTINA PECTINATA	PRAIRIE CORDGRASS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
4852 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 2/26/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH, RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO, TRACTS C48 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
LANDSCAPE DETAILS

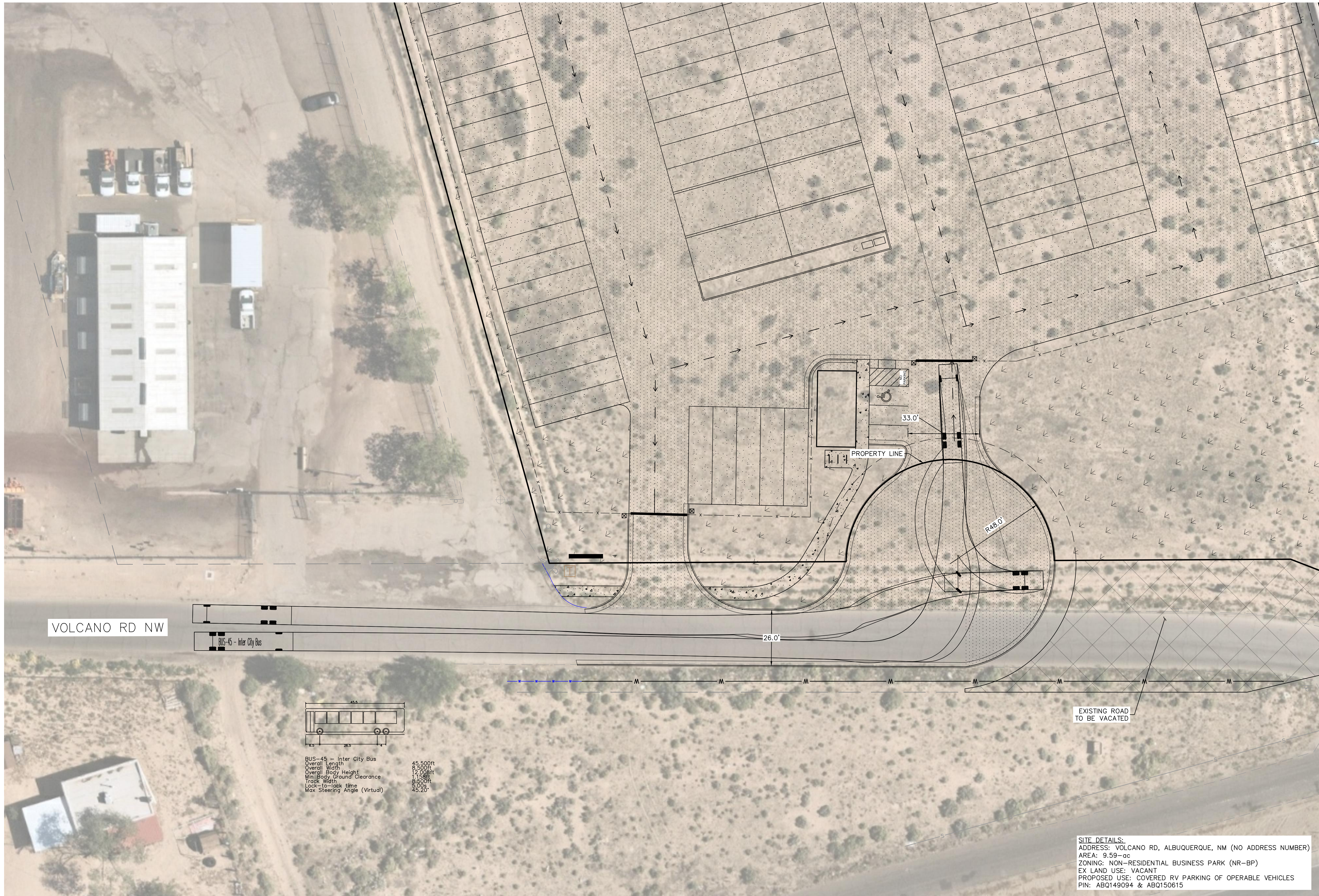


PROJECT NO.
096648005

DRAWING NAME
096648005_LA.dwg

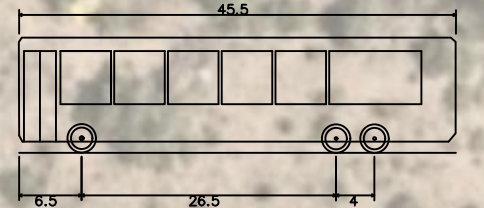
NOT FOR CONSTRUCTION

SHEET
15



VOLCANO RD NW

BUS-45 - Inter City Bus



BUS-45 - Inter City Bus
 Overall Length 45.500ft
 Overall Width 26.500ft
 Overall Body Height 12.000ft
 Min Body Ground Clearance 1.500ft
 Track Width 8.500ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 45.20°

26.0'

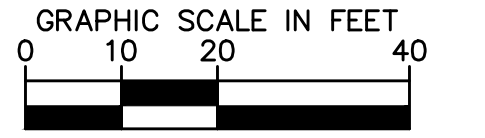
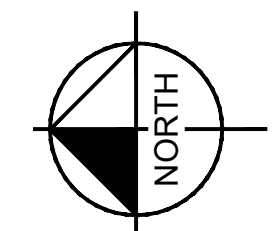
33.0'

R48.0'

PROPERTY LINE

EXISTING ROAD TO BE VACATED

SITE DETAILS:
 ADDRESS: VOLCANO RD, ALBUQUERQUE, NM (NO ADDRESS NUMBER)
 AREA: 9.59-ac
 ZONING: NON-RESIDENTIAL BUSINESS PARK (NR-BP)
 EX LAND USE: VACANT
 PROPOSED USE: COVERED RV PARKING OF OPERABLE VEHICLES
 PIN: ABQ149094 & ABQ150615



DATE: 04/14/2021

RV STORAGE -ALBUQUERQUE
 TRUCK TURN EXHIBIT





4/16/2021

City of Albuquerque
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Sensitive Lands Analysis

Dear DRB,

Kimley-Horn has performed a Sensitive Lands Analysis, documenting the following below:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard Areas	None	See attached FEMA Floodplain Maps
Steep Slopes	None	See attached survey. The site is evenly graded
Unstable Soils	None	See attached survey. The site is evenly graded
Wetlands (constant supply of water)	None	See attached FEMA Floodplain Maps. Additionally, no areas of standing water were observed on site
Arroyo	None	No Arroyo's are documented on the site from AMAFCA. In addition, none have been picked up on the site survey.
Irrigation Facilities	None	See attached survey. None have been identified.
Escarpment	None	See attached survey. No areas of escarpment have been identified
Large stands of mature trees	None	See attached survey. All trees are located off-site
Archeological sites	None	See attached archeological evaluation. No archeological issues have been uncovered.

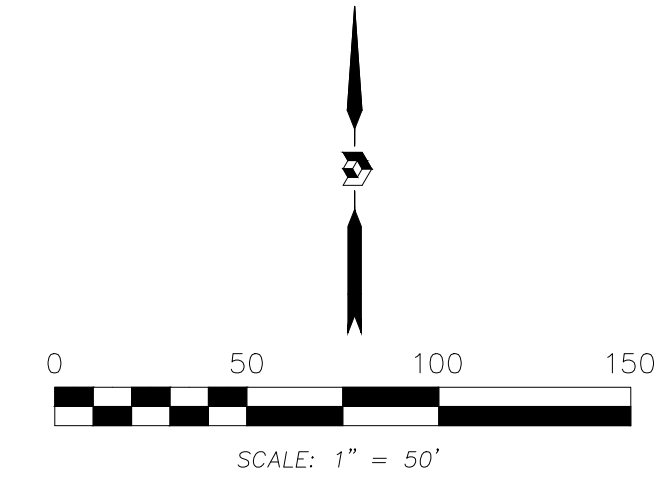
In conclusion, none of the above features have been determined to be present on this site. Various attached documents support our findings.

Sincerely,

Stephen Litsas
Kimley-Horn

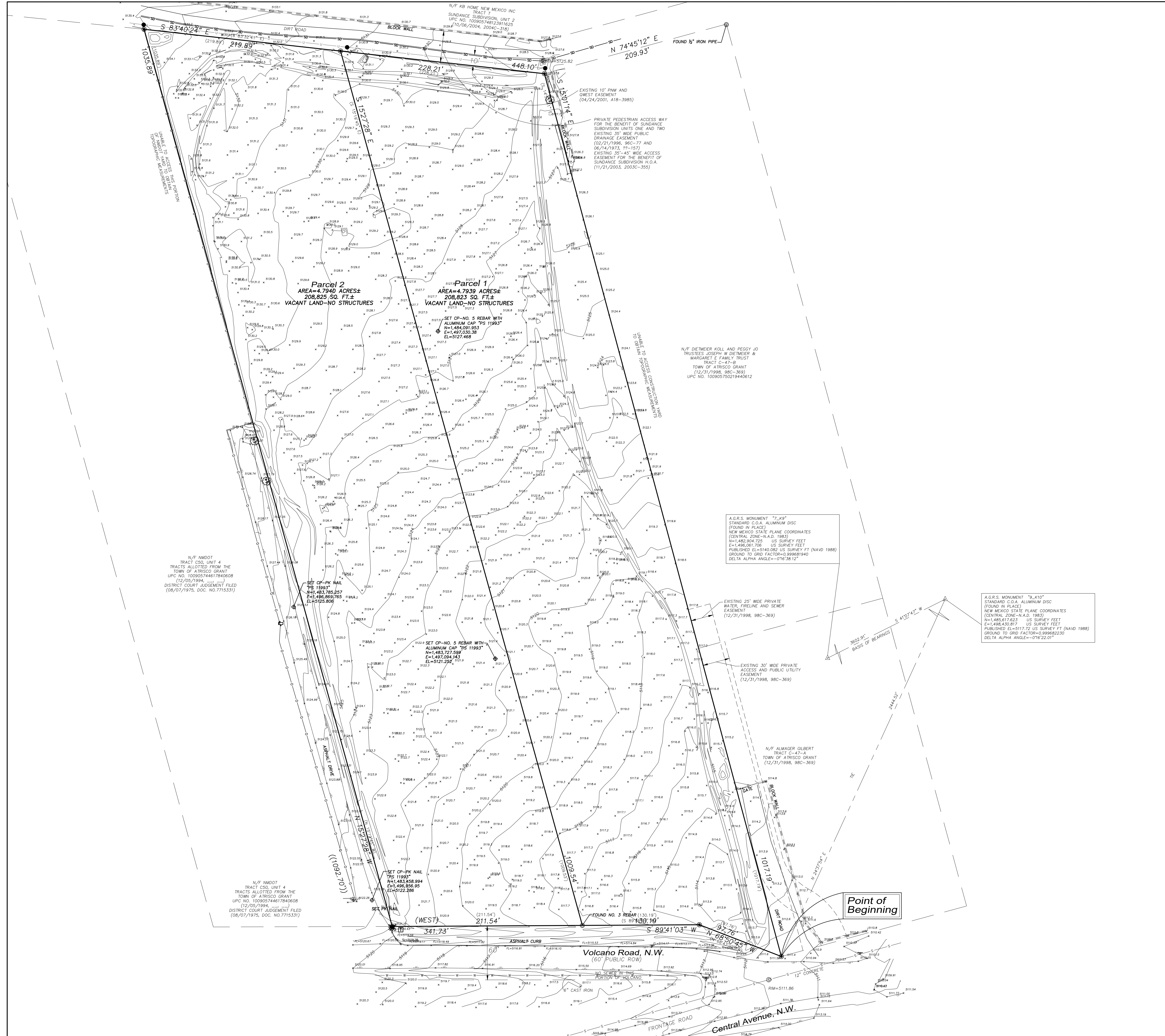
ALTA/NSPS Land Title Survey

Tracts C48 and C49, Unit 4
 Tracts Allotted from the
 Town of Atrisco Grant
 Albuquerque, Bernalillo County, New Mexico
 December 2020



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
 (N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED
 - ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY CONTROL POINT SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
 - UTILITY POLE
 - ⊥ GUY WIRE
 - TELEPHONE PEDESTAL
 - ⊕ FIRE HYDRANT
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ STORM SEWER MANHOLE
 - ⊙ SIGN
 - MAILBOX
 - OVERHEAD UTILITY LINE
 - SANITARY SEWER LINE
 - CHAIN LINK FENCE
 - EDGE OF ASPHALT
 - STORM SEWER LINE
 - WATER LINE



PROJECT INFORMATION	
CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
DRAWN BY: JK	CHECKED BY: LM
PSI JOB NO. 204146AL	SHEET NUMBER 2 OF 2

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

© Copyright 2020 Precision Surveys, Inc.



1. Southwest corner looking north



2. Southwest corner looking northeast



3. Southwest corner looking east



4. Drainage ditch along west property line



5. Overview looking west to east



6. Northwest corner looking south



7. Northwest corner looking southeast



8. Northwest corner looking east



9. Debris onsite



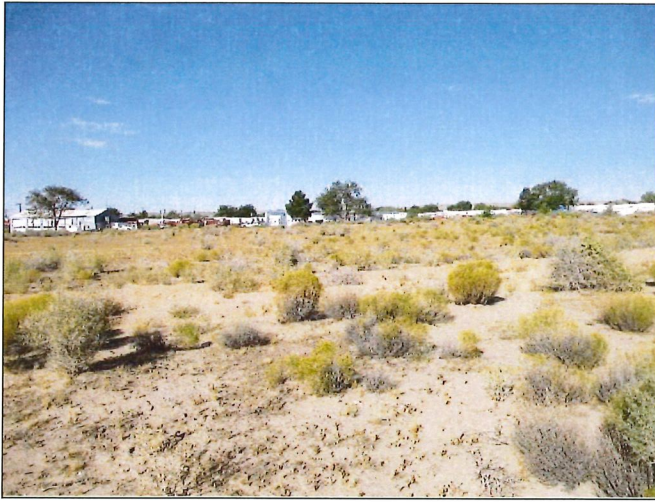
10. Northeast corner looking west



11. Northeast corner looking toward center



12. Northeast corner looking south



13. Overview looking east to west



14. Overview looking south to north



15. Southeast corner looking north



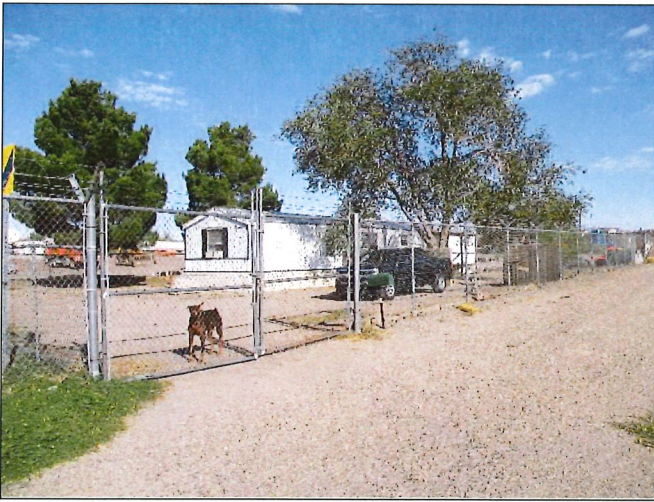
16. Volcano road along south property line



17. West adjacent property



18. ASTs on west adjacent property



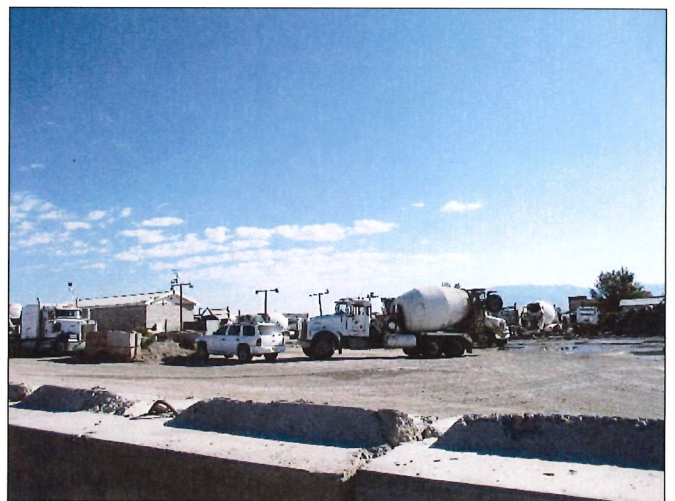
19. West adjacent property



20. North adjacent property



21. East adjacent property



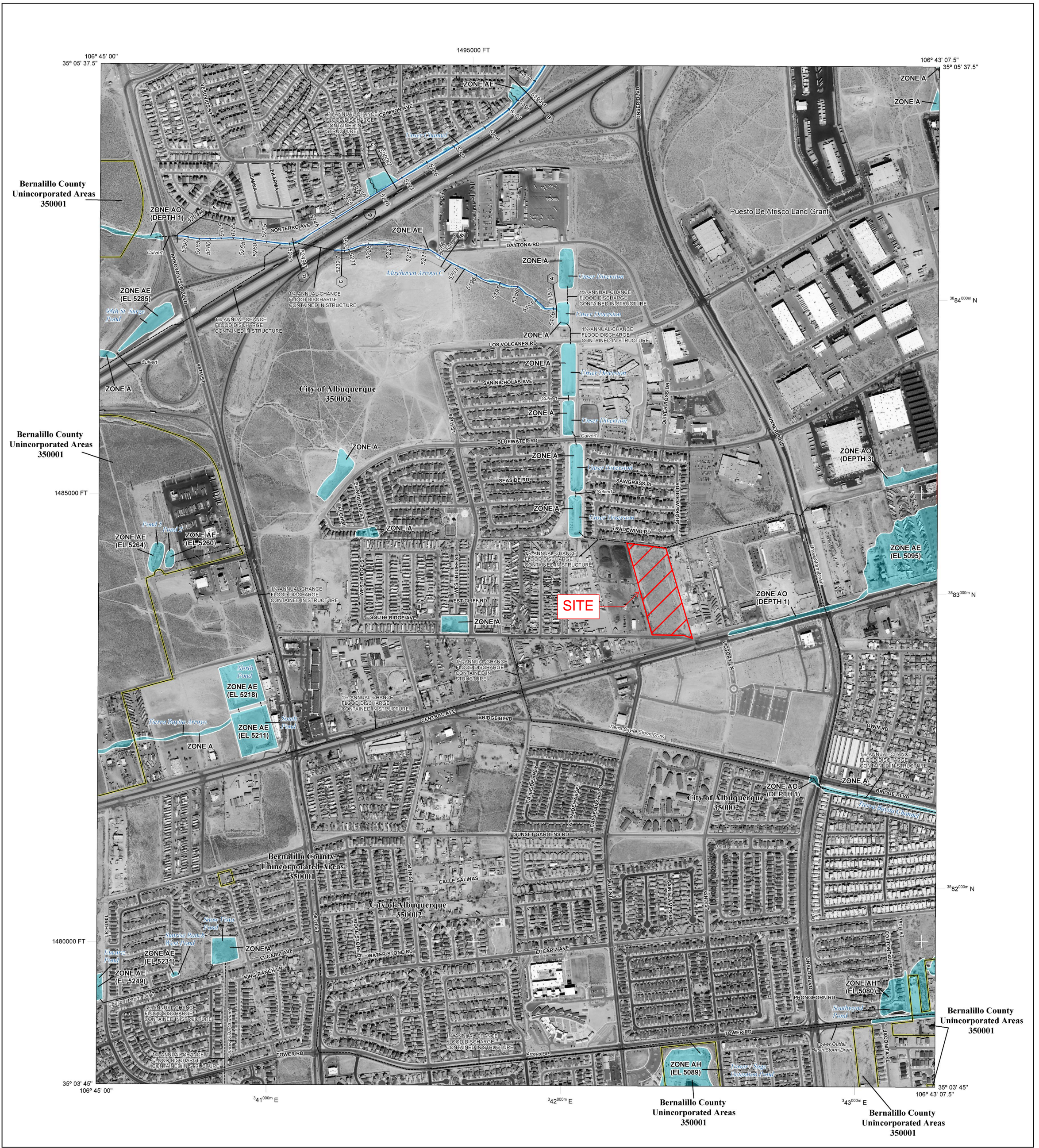
22. East adjacent property



23. East adjacent property



24. South adjacent property



FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT [HTTP://MSC.FEMA.GOV](http://MSC.FEMA.GOV)

	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee See Notes, Zone X
	Areas Determined to be Outside the 0.2% Annual Chance Floodplain Zone X
	Area of Undetermined Flood Hazard Zone D
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary

NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM including historic versions of this FIRM, the current map date of each FIRM panel, how to order products or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-366-3627) or visit the FEMA Flood Map Service Center website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

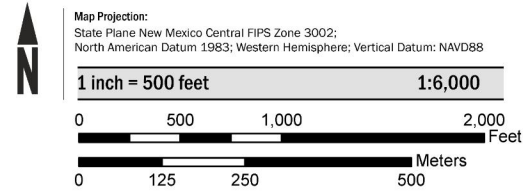
Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study report for this jurisdiction.

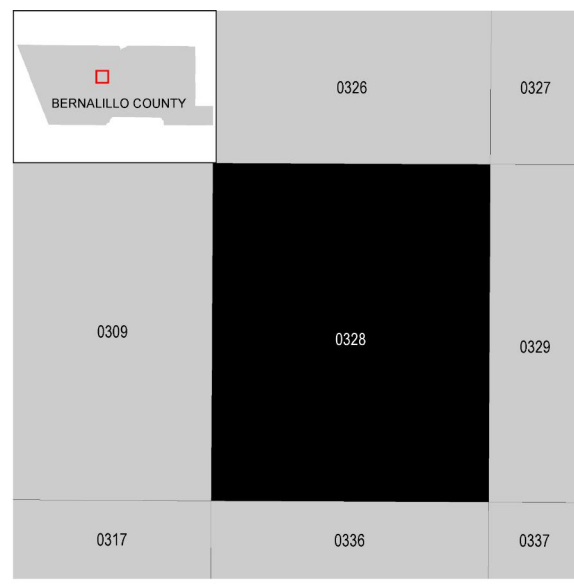
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

This information was derived from digital orthophotography dated 2014. Additional information pertaining to road names and political boundaries were provided by the City of Albuquerque, 2014.

SCALE



PANEL LOCATOR



National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY, NEW MEXICO
 and Incorporated Areas
PANEL 328 OF 825

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF BERNALILLO COUNTY	350002	0328	J
	350001	0328	J

Panel Contains:

VERSION NUMBER
2.3.3.2
 MAP NUMBER
35001C0328J
 MAP REVISED
NOVEMBER 4, 2016



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Brennon Williams, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE:

SUBJECT:

Case Number(s):

Agent:

Applicant:

Legal Description:

Zoning:

Acreage:

Zone Atlas Page(s):

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

Date

NMCRI INVESTIGATION ABSTRACT FORM (NIAF)

1. NMCRI Activity No.: 147375	2a. Lead (Sponsoring) Agency: City of Albuquerque	2b. Other Permitting Agency(ies):	3. Lead Agency Report No.:									
4. Title of Report: A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico. Author(s) Paula Pflapsen			5. Type of Report <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive									
6. Investigation Type <input type="checkbox"/> Research Design <input checked="" type="checkbox"/> Survey/Inventory <input type="checkbox"/> Test Excavation <input type="checkbox"/> Excavation <input type="checkbox"/> Collections/Non-Field Study <input checked="" type="checkbox"/> Overview/Lit Review <input type="checkbox"/> Monitoring <input type="checkbox"/> Ethnographic study <input type="checkbox"/> Site specific visit <input type="checkbox"/> Other												
7. Description of Undertaking (what does the project propose): A private developer plans to purchase a vacant parcel for development of an RV park. Client is required to submit an archeological certificate in site plan DRB package in accordance with IDO Section 14-16-6-5. Our site is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.		8. Dates of Investigation: (from: 2/17/2021-2/17/2021)										
		9. Report Date: 2/18/21										
		10. Performing Agency/Consultant: TRC, Inc. Principal Investigator: Paula Pflapsen Field Supervisor: Field Personnel Names: N/A										
		11. Performing Agency/Consultant Report 431377-C-01										
		12. Applicable Cultural Resource Permit No(s): New Mexico State Permit NM-22-028-S										
13. Client/Customer (project proponent): Kimley Horn Contact: Ben Lokhorst MacRitchie, Inc. 715 5th Ave SW Suite 1700 Calgary AB T2P 2X6, Canada (403) 973-4882		14. Client/Customer Project No.:										
15. Land Ownership Status (<u>Must</u> be indicated on project map): <i>Record Review ONLY</i> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;">Land Owner</th> <th style="width: 25%;">Acres Surveyed</th> <th style="width: 25%;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> <tr> <td style="text-align: right;">TOTALS</td> <td style="text-align: center;">9.54</td> <td style="text-align: center;">9.54</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	9.54	9.54	TOTALS	9.54	9.54
Land Owner	Acres Surveyed	Acres in APE										
Private	9.54	9.54										
TOTALS	9.54	9.54										
16 Records Search(es): The continuation form has the results of the Class I records searches (Figures 14–16). No known sites occur within the immediate vicinity of the project area.												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;">Date(s) of ARMS File Review 2/14/2021</td> <td style="width: 40%;">Name of Reviewer(s)</td> <td style="width: 20%;"></td> </tr> <tr> <td>Date(s) of NR/SR File Review 2/15/2021</td> <td>Name of Reviewer(s) Paula Pflapsen</td> <td></td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td>Name of Reviewer(s)</td> <td>Agency</td> </tr> </table>		Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)		Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen		Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency		
Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)											
Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflapsen											
Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency										
17. Survey Data: <p>a. Source Graphics <input type="checkbox"/> NAD 27 <input checked="" type="checkbox"/> NAD 83 <input checked="" type="checkbox"/> USGS 7.5' (1:24,000) topo map <input type="checkbox"/> Other topo map, Scale: <input checked="" type="checkbox"/> GPS Unit Accuracy <input type="checkbox"/> <1.0m <input checked="" type="checkbox"/> 1-10m <input type="checkbox"/> 10-100m <input type="checkbox"/> >100m</p> <p>b. USGS 7.5' Topographic Map Name USGS Quad Code</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <tr> <td style="width: 70%;">Albuquerque West</td> <td style="width: 30%;">35106-A6</td> </tr> </table> <p>c. County(ies): Bernalillo</p>				Albuquerque West	35106-A6							
Albuquerque West	35106-A6											

17. Survey Data (continued):

d. Nearest City or Town: Albuquerque, New Mexico

e. Legal Description:

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4
10N	2E	21	NE	SW	SE

Projected legal description? Yes [] , No [X] Unplatted []

f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.): Project parcel is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.

18. Survey Field Methods:

Intensity: 100% coverage <100% coverage

Configuration: block survey units linear survey units (l x w): other survey units (specify):

Scope: non-selective (all sites recorded) selective/thematic (selected sites recorded)

Coverage Method: systematic pedestrian coverage other method (describe)

Survey Interval (m): 15 m crew Size: 1 Fieldwork Dates: 2/17/21

Survey Person Hours: 1 Recording Person Hours: 0 Total Hours: 1

Additional Narrative: The parcel is an undeveloped vacant lot in southwest Albuquerque.

19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.):

The project area is associated with the Pajarito loamy fine sands soil. The Pajarito loamy fine sands soil is commonly found on plains and alluvial fans at elevations ranging from 1,400 feet (ft) to 6,000 ft above mean sea level (amsl) with slopes ranging from 1 to 9 percent. The project area for this undertaking falls within the Albuquerque Basin ecoregion (Griffith et al. 2006). Vegetation within this ecoregion is associated with shortgrass prairie, including grama grasses, sand and mesa dropseed, and sand sagebrush (Griffith et al 2006).

20. a. Percent Ground Visibility: 75–99% **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** Sand, limited scrub vegetation, development surrounds the parcels

21. CULTURAL RESOURCE FINDINGS Yes No, Discuss Why: Undeveloped parcel surrounded by development, two IOs-both historic metal noted with contemporary trash including plastic, rubber, glass, paper, metal and modern beer/soda cans.

22. Required Attachments (check all appropriate boxes):

- USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn
- Copy of NMCRIS Mapserver Map Check
- LA Site Forms - new sites (*with sketch map & topographic map*)
- LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)
- Historic Cultural Property Inventory Forms
- List and Description of isolates, if applicable
- List and Description of Collections, if applicable

23. Other Attachments:
 Photographs and Log
 Other Attachments
(Describe): aerial map, soil map, ARMS site searches

24. I certify the information provided above is correct and accurate and meets all applicable agency standards.

Principal Investigator/Responsible Archaeologist: Paula Pflapsen/Toni R. Goar

Signature 

Date 2/18/21 Title (if not PI):

25. Reviewing Agency:
Reviewer's Name/Date

Accepted () Rejected ()

Tribal Consultation (if applicable): Yes No

26. SHPO
Reviewer's Name/Date:

HPD Log #:
SHPO File Location:
Date sent to ARMS:

CULTURAL RESOURCE FINDINGS

[fill in appropriate section(s)]

1. NMCRIS Activity No.: 147375	2. Lead (Sponsoring) Agency: City of Albuquerque	3. Lead Agency Report No.:
<p>SURVEY RESULTS:</p> <p>Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited (<i>site update form required</i>): 0 Previously recorded sites not relocated (<i>site update form required</i>): 0 TOTAL SITES VISITED: 0 Total isolates recorded: 2 Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded (<i>new and previously recorded, including acequias</i>): 0</p> <p>MANAGEMENT SUMMARY: The cultural resource survey did not identify any eligible cultural resources within project parcel. Two isolated occurrences were found; both were historic metal. Old Route 66 is located outside of the parcel and although it is visible from the project location the proposed development will fit in with current surroundings and will have no direct or indirect effect on the resource.</p> <p style="text-align: center;"><u>IF REPORT IS NEGATIVE YOU ARE DONE AT THIS POINT.</u></p> <p>SURVEY LA NUMBER LOG</p>		

NMCRIS #147375

NIAF, Continuation Form

Previous Research

Class I ARMS Search

Previous surveys within 0.5-mile (0.8-km) of the project area

NMCRIS	Reference
131836	Kerr 2014
129761	Goar and Chavez 2014
100381	Raymond 2006
112452	Parish et al. 2009
131773	Fredine et al. 2014
134029	Lawrence et al. 2017
108614	Lawrence 2007
7006	Noyes 1985
35897	Noyes 1985

Class I ARMS Search

Known sites within 0.5-mile (0.8-km) of the proposed project area

Site No.	Land Status	Cultural Affiliation	National Register Eligibility	References	NMCRIS
31220	Private	Navajo (1880- AD-1929 AD)	N/A	Giplin et al. 1994	50302
31228	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
31229	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
42596	Navajo Nation	Unknown	Eligible	N/A	92657
137658	N/A	N/A	N/A	Deleted	80780
31227	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
180319	N/A	N/A	N/A	Kerr 2014	131836
180320	N/A	N/A	N/A	Kerr 2014	131836
31226	Private	Navajo (1500 AD-1993 AD; 1945 AD-1993 AD)	N/A	Hartman 1977	16580
50336	Private	Ancestral Pueblo (1 AD-1600 AD); Hispanic (1945 AD-1993 AD)	N/A	Kayser 1995	7069

References

Fredine, Jeff, Hollis Paul Lawrence, Cheryl Somer
2014 Cultural Resources Inventory Report for Central Avenue Corridor Bus Rapid Transit (BRT), Albuquerque Rapid Transit (ART), City of Albuquerque, Bernalillo County, New Mexico. Report PB-2014-10. NMCRIS 131773.

- Gilpin, Dennis, Jean A. Mercer, Angela R. Linse, and Cherie L. Scheick
2017 Ethnography and Archaeology on Selected Parcels of McKinley Mine, McKinley County, New Mexico Report 94-40. NMCRIS 50302.
- Goar, Toni R. and Christina Chavez
2014 A Cultural Resource Survey for the Daytona Distribution Center, Albuquerque, Bernalillo County, New Mexico. Report 14009.09. NMCRIS 129761.
- Griffith, G.E., Omernik, J.M., McGraw, M.M., Jacobi, G.Z., Canavan, C.M., Schrader, T.S., Mercer, D., Hill, R., and Moran, B.C.,
2006 Ecoregions of New Mexico (color poster with map, descriptive text, summary tables, and photographs): Reston, Virginia, U.S. Geological Survey (map scale 1:1,400,000)
- Hartman, Russell P.
1977 Archaeological Clearance Survey Report of a Tract of Land in the Vicinity of McKinley Mine, McKinley County, New Mexico. Report NA. NMCRIS 16580.
- Kayser, David W.
1995 An Addendum to the Archeological Clearance Report for Enerdex, Inc.'s Proposed Blue Star Federal No. 1 Well Pad Project Situated on Fee Surface-Federal Minerals Lands in Eddy County, N.M. Report 95005. NMCRIS 50336.
- Kerr, R. Stanley
2014 A Cultural Resource Survey for a Proposed Housing Development Project, 90th Street, Albuquerque, Bernalillo County, New Mexico. Report 14055.09. NMCRIS 131836.
- Lawrence, Hollis P.
2007 Cultural Resource Survey for Phases I and II of the Unser Boulevard South Improvement Project, City of Albuquerque, Bernalillo County. New Mexico. Report HCC-2007-16. NMCRIS 108614.
- Lawrence, Hollis P., Darryl Del Frate, and Jeff Fredine
2017 Unser Boulevard Roadway Improvements Project; City of Albuquerque, Bernalillo County, New Mexico. Report PB-2015-07. NMCRIS 134029.
- Noyes, Peter T.
1985 A Cultural Resources Survey of an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico. Report 185-262. NMCRIS 7006.
1985 Letter Report: Addendum to "A Cultural Resources Survey on an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico (UNM Proposal 185-262). Report 185-262A. NMCRIS 35897.
- Parrish, Chris, Tom Shine, Beau DeBoer, and Nicholas Parker
2009 A Cultural Resource Inventory for the PNM-Central 13 Reconductor Project in Albuquerque Bernalillo County, New Mexico. Report 2008-78. NMCRIS 112452.
- Raymond, Gerry
2006 Negative Cultural Resource Survey Report for a Proposed Cell Tower Location at the Northwest Corner of Bluewater Road and Oliver Ross Drive in Albuquerque, Bernalillo County, New Mexico. Report NM01263D. NMCRIS 100381.

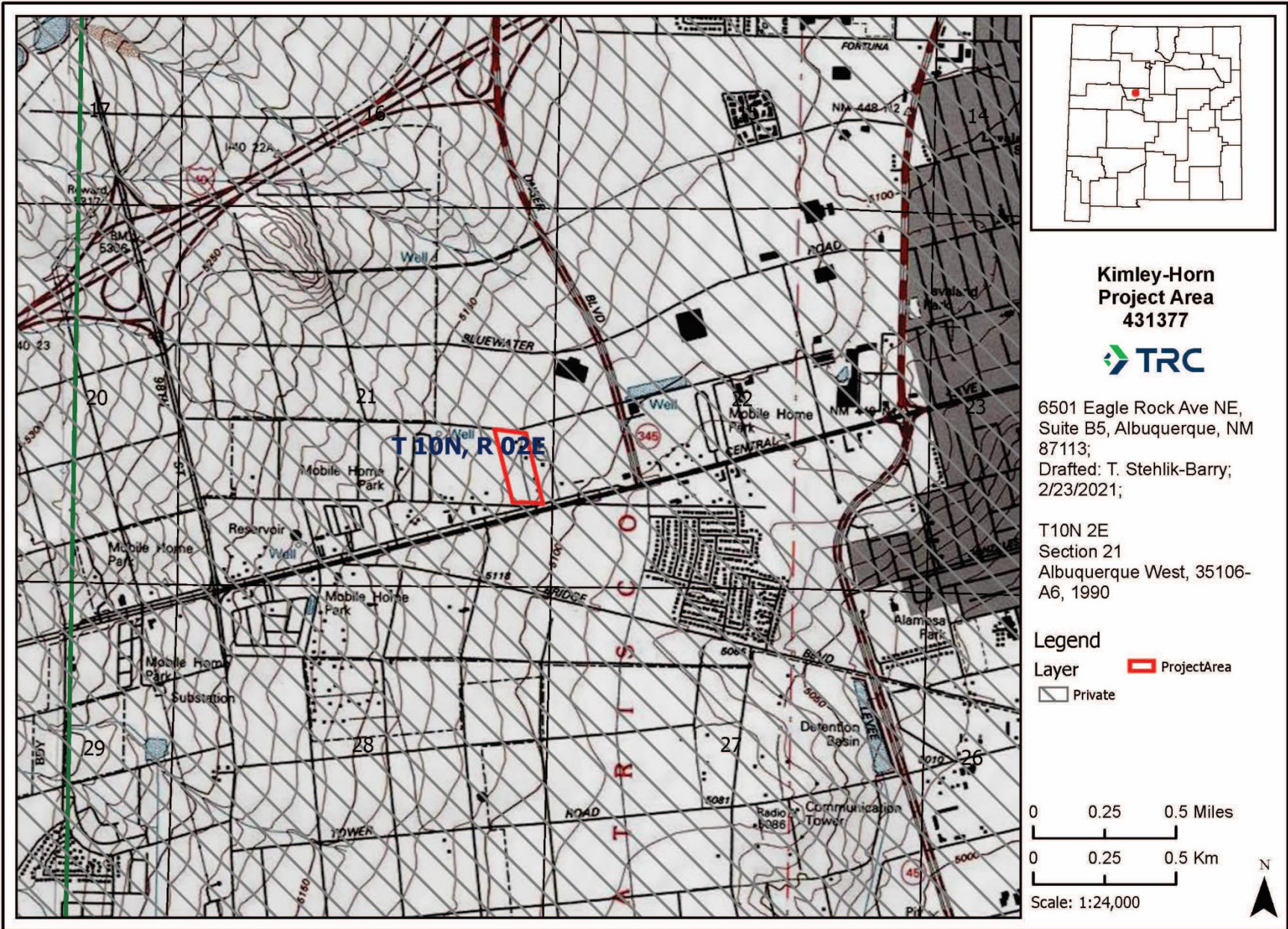


Figure 1 Project Location Quad Map

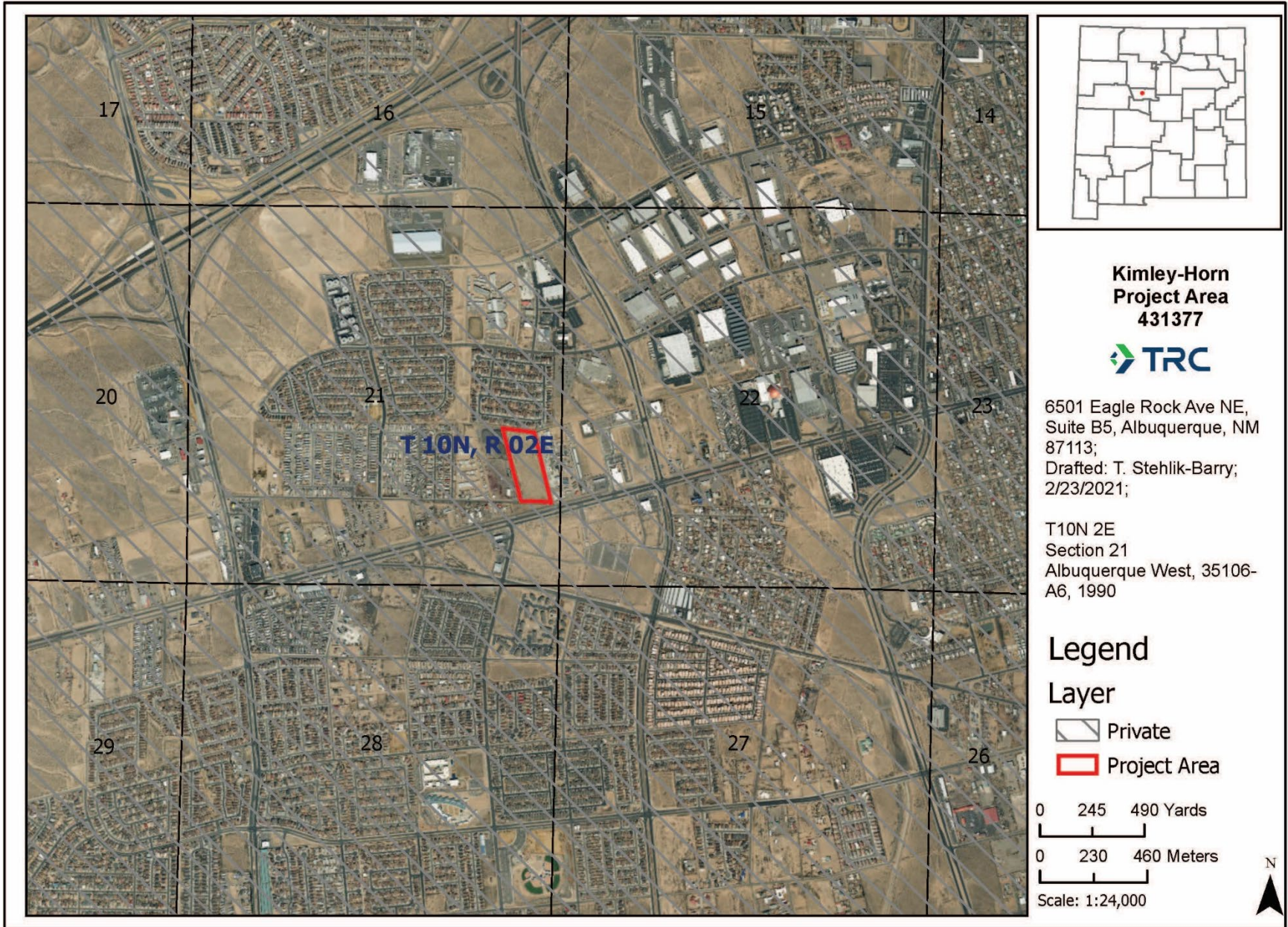


Figure 2 Aerial Map of Project Location

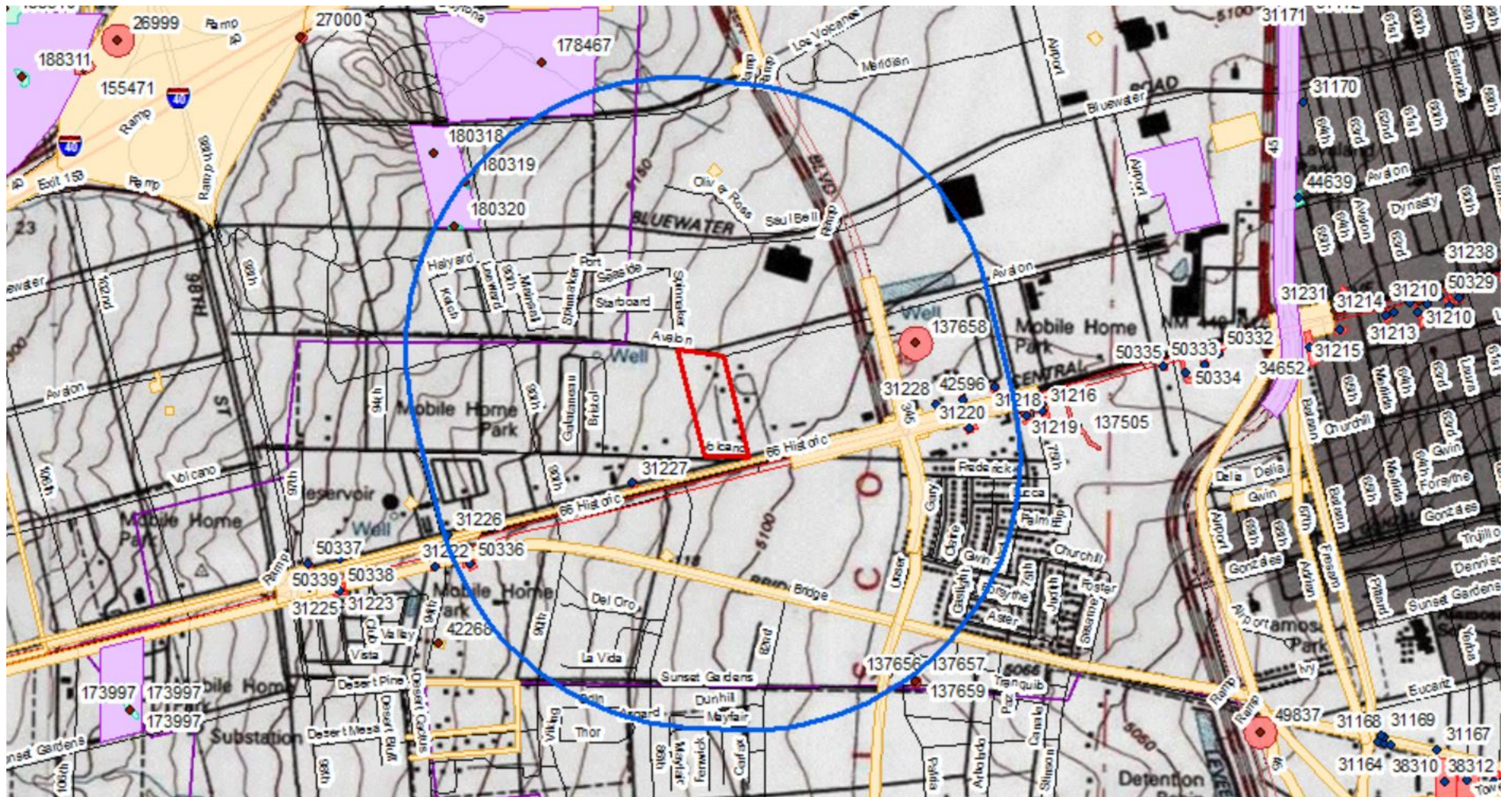
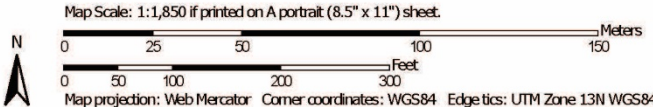


Figure 3 ARMS mapserver

Soil Map—Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico
(Project Area)



USDA Natural Resources Conservation Service

Web Soil Survey National Cooperative Soil Survey

2/23/2021

Figure 4 Soils Map