



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2020-004761
Application No. SD-2021-00032

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 4/21/2021 HEARING DATE OF DEFERRAL: _____

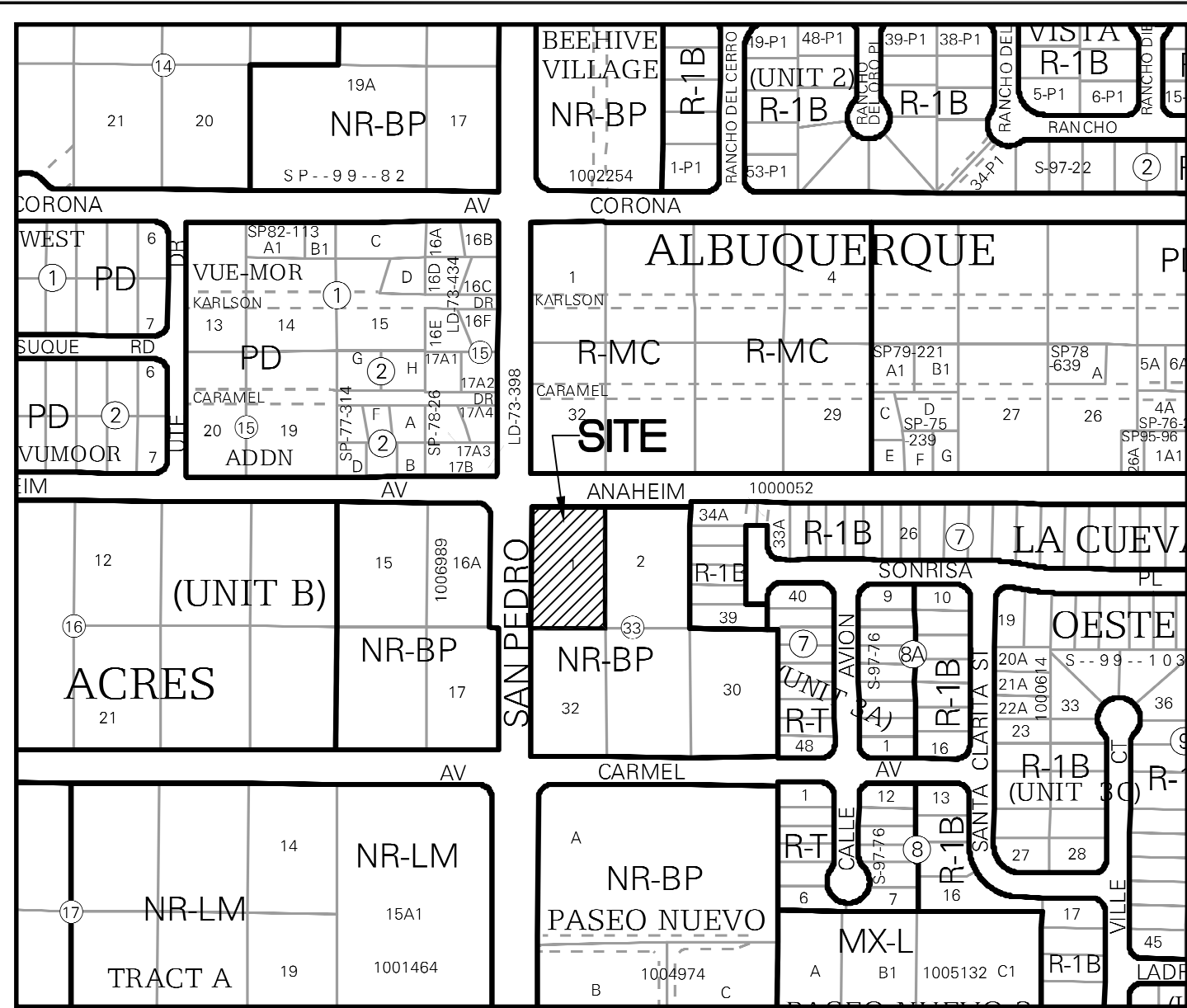
SUBMITTAL DESCRIPTION: Suppliment has signed infrastructure list, approved grading and drainage documents from Hydrology, an

an updated letter addressing Comments, and checklist of neighborhood contact documents provided originally prior to

submission for preliminary plat.

CONTACT NAME: Ryan J. Mulhall

TELEPHONE: 896-3050 EMAIL: cartesianryan@gmail.com



Vicinity Map - Zone Atlas C-18-Z

Subdivision Data

GROSS ACREAGE: .09977 ACRES
 ZONE ATLAS PAGE NO.: C-18-Z
 NUMBER OF EXISTING LOTS: 1
 NUMBER OF LOTS CREATED: 1
 MILES OF FULL-WIDTH STREETS: 0.000 MILES
 MILES OF HALF-WIDTH STREETS: 0.000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 0.3687 ACRES
 DATE OF SURVEY: FEBRUARY 2021

Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2020.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN HEREON.
5. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN AS (O) SHALL BE MARKED BY A 1/2" REBAR STAMPED "CARTESIAN LS #14271).
6. THE EASEMENTS SHOWN HEREON ARE ONLY THE EASEMENTS AS SHOWN ON THE PLAT OF RECORD AND REFERENCED IN A TITLE COMMITMENT DATED NOVEMBER 7, 2014. A NEW TITLE COMMITMENT WILL BE REQUIRED TO SHOW OTHER EASEMENTS THIS SURVEYOR MAY NOT BE AWARE OF.
7. EXISTING ZONING: "NR-BP" BUSINESS PARK ZONE DISTRICT
 PROPOSED ZONING: "NR-BP" BUSINESS PARK ZONE DISTRICT
8. TOTAL ACREAGE: 0.9977 ACRES
9. SETBACKS REQUIRED
 FRONT: 20 FT. MINIMUM
 SIDE: 10 FT. MINIMUM
 REAR: 10 FT. MINIMUM

Curve Table				
Curve #	Length	Radius	Delta	Chord Length
C1	39.37'	25.00'	90°14'17"	35.43'
				N 45°2'01" E

Documents

1. PLAT OF RECORD FOR NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 24, 1936, IN BOOK D, PAGE 130.
2. REAL ESTATE CONTRACT FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 22, 2020, AS DOCUMENT NO. 2020045901.

Drainage Facilities Note

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ["DETENTION AREAS"] ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING* AND MAINTAINING OF DRAINAGE GRANTOR SHALL CONSTRUCT DRAINAGE [DETENTION] FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED

ON _____ AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON _____ NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT [DETENTION AREA] AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT [DETENTION AREA] AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Indexing Information

Projected Section 13, Township 11 North, Range 3 East, N.M.P.M. within the Elena Gallegos Grant
 Subdivision: North Albuquerque Acres, Tract A, Unit B
 Owner: Lear Properties LLC
 UPC #: 101806427314440332

Legal Description

LOT NUMBERED ONE (1) IN BLOCK NUMBERED THIRTY-THREE (33), TRACT "A", UNIT "B", NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN PLAT BOOK D, PAGE 130.

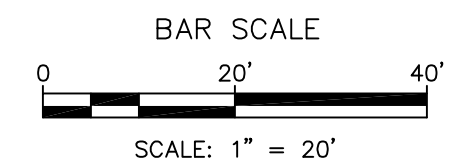
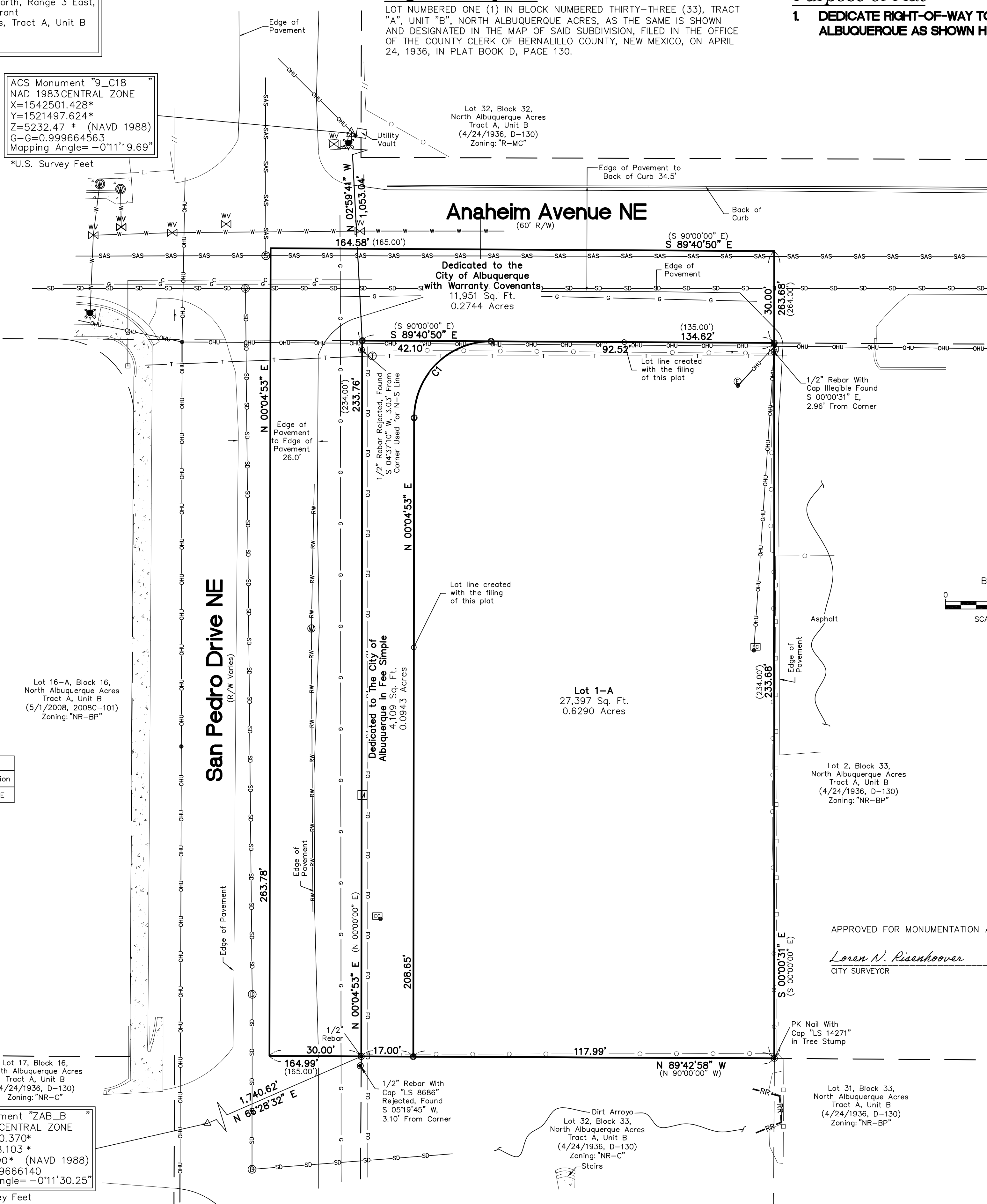
Purpose of Plat

1. DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.

Preliminary Plat
 for
Lot 1-A, Block 33
Tract A, Unit B, North
Albuquerque Acres
 Being Comprised of
Lot 1, Block 33, Tract A, Unit B,
North Albuquerque Acres
 City of Albuquerque
 Bernalillo County, New Mexico
 February 2021

Legend

Symbol	Description
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (4/24/1936, D-130)
(O)	FOUND MONUMENT AS INDICATED
(O with 1/2")	SET 1/2" REBAR WITH CAP "LS 14271" UNLESS OTHERWISE NOTED
(S)	CONCRETE
(U)	UTILITY PEDESTAL
(W)	WOOD FENCE
(M)	METAL FENCE
(B)	BLOCK WALL
(C)	CHAINLINK FENCE
(R)	RAILROAD TIES
(S)	SIGN
(OHU)	OVERHEAD UTILITY LINE
(U)	UTILITY POLE
(E)	ELECTRIC METER
(EC)	ELECTRIC CABINET
(TM)	TELEPHONE MANHOLE
(WV)	WATER VALVE
(WM)	WATER METER
(FH)	FIRE HYDRANT
(WMH)	WATER MANHOLE
(M)	MAILBOX
(SSM)	SANITARY SEWER MANHOLE
(SDM)	STORM DRAIN MANHOLE
(UGGL)	UNDERGROUND GAS UTILITY LINE
(UGWL)	UNDERGROUND WATER UTILITY LINE
(UGSSL)	UNDERGROUND SANITARY SEWER LINE
(UGSD)	UNDERGROUND STORM DRAIN UTILITY LINE
(UT)	UNDERGROUND TELEPHONE UTILITY LINE
(UF)	UNDERGROUND FIBER OPTIC UTILITY LINE
(UC)	UNDERGROUND CABLE UTILITY LINE
(URWL)	UNDERGROUND REUSE WATER UTILITY LINE
5075.50	SPOT ELEVATION
BC 5075.50	BACK OF CURB ELEVATION
FL 5075.50	FLOW LINE ELEVATION
EP 5075.50	EDGE OF PAVEMENT ELEVATION
TA 5075.50	TOP OF ASPHALT ELEVATION
TC 5075.50	TOP OF CONCRETE ELEVATION
TO 5075.50	TOP OF SLOPE ELEVATION
TOE 5075.50	TOE OF SLOPE ELEVATION
---	TRACT BOUNDARY LINE
---	ADJOINING BOUNDARY LINE
---	EASEMENT LINES, BOTH EXISTING AND PROPOSED



APPROVED FOR MONUMENTATION AND STREET NAMES
 Loren N. Risenhoover
 CITY SURVEYOR
 2/12/2021
 DATE

OWNER: RAYMOND P. COHEN TRUST
 BY: RAYMOND P. COHEN
 ITS: TRUSTEE
 Raymond P. Cohen
 Raymond P. Cohen (Feb 12, 2021 16:59 MST)
 RAYMOND P. COHEN, TRUSTEE
 RAYMOND P. COHEN TRUST
 DATE
 RAYMOND P. COHEN TRUST UNDER REAL ESTATE CONTRACT WITH: LEAR PROPERTIES, LLC
 BY: LAURA WILLIAMS
 ITS: MEMBER
 Laura Williams (Feb 12, 2021 14:20 MST)
 LAURA WILLIAMS, MEMBER
 LEAR PROPERTIES, LLC
 DATE

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP NO. 35001C0137H.

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896 - 3050 Fax (505) 891 - 0244
 wplotnerjr@gmail.com



E4 VICINITY MAP
SCALE: NTS



SITE INFORMATION

INTEGRATED DEVELOPMENT ORDINANCE (2019)

ZONE DISTRICT - NR-BP

TABLE 2-5-3 NR-BP DIMENSIONAL STANDARDS
BUILDING COVERAGE = 50% MAX
BUILDING HEIGHT = 65 FT MAX

FRONT SETBACK = 20' MIN
SIDE SETBACK = 10' MIN
REAR SETBACK = 10' MIN

PARKING (INTEGRATED DEVELOPMENT ORDINANCE)

TABLE 5-5-1 OFF-STREET PARKING
LIGHT VEHICLE REPAIR = 1 SPACE PER 1000 SQ FT
= (4999/1000)x1 = 4.99
OFFICE = 3.5 SPACES PER 1000 SQ FT
= (2961/1000)x3.5 = 10.36
REQUIRED SPACES = 4.99 + 10.36 = 15.35

5-5(D) MOTORCYCLE PARKING = 1 SPACE PER 0-25 TOTAL PARKING SPACES

5-5(E) BICYCLE PARKING = 3 SPACES

NMBC, SECTION 2, TABLE 1106.1 - ACCESSIBLE PARKING SPACES
1 TOTAL REQUIRED, 1 TO BE VAN ACCESSIBLE

TOTAL OFF-STREET SPACES PROVIDED = 19 SPACES
STANDARD PARKING PROVIDED = 17 SPACES
ADA/VAN PARKING PROVIDED = 1 STD/1 VAN

MOTORCYCLE PARKING PROVIDED = 1 SPACE

GENERAL NOTES

- A. USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24X36 "D" SIZE PAPER; DO NOT SCALE DRAWINGS; IF DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED, OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR WORK
- B. RE: SHEET AS501 FOR SITE DETAILS
- C. RE: CIVIL, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SHEETS FOR WORK PERTAINING TO THOSE TRADES
- D. RE: LANDSCAPE SHEETS FOR ADDITIONAL INFORMATION, PLANTING TYPES, AND LANDSCAPE CALCULATIONS
- E. ALL CONSTRUCTION SHALL CONFORM TO INDUSTRY AND MANUFACTURER'S STANDARDS AS A MINIMUM REQUIREMENT
- D. REFER TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD DRAWING 608-001-1 "PEDESTRIAN ACCESSIBLE ROUTE GENERAL NOTES" FOR STANDARD RAMP AND STAIR DETAILS ON CONSTRUCTING SITE STEPS, RAMPS, FINISHES AND OTHER REQUIREMENTS; ANY DETAILS OR REQUIREMENTS IN THAT DOCUMENT SUPERCEDE THESE DETAILS AND WHERE ANY DETAILS IN THAT DOCUMENT OR OTHER CURRENT ADA STANDARDS CONFLICT WITH THESE DETAILS, OR EACH OTHER, THE MOST STRINGENT REQUIREMENTS SHALL APPLY
- E. PROVIDE EXTERIOR GRADE SEALANTS AT EXPANSION JOINTS AT SIDEWALKS AND OTHER CONCRETE AREAS
- F. WASTE RECEPTACLE AND ENCLOSURE DESIGN SHALL COMPLY WITH COA SOLID WASTE MANAGEMENT DEPARTMENT DETAILS AND REQUIREMENTS
- G. PROVIDE POSITIVE GRADING AROUND THE ENTIRE BUILDING; RE: CIVIL SHEETS
- H. RE: GEOTECHNICAL REPORT FOR PAVING SECTIONS, SUBGRADE PREPARATION, BASE COARSE REQUIREMENTS AND OTHER SITE INFORMATION AND REQUIREMENTS; PROVIDE BASE COARSE UNDER ALL INDICATED PAVING SECTIONS AS REQUIRED BY GEOTECHNICAL REPORT
- I. LANDSCAPING AND SIGNAGE 3'H TO 8'H SHALL NOT BE IN CLEAR SIGHT TRIANGLE
- J. PRELIMINARY SITE PLAN IS FOR PRELIMINARY PLAT REVIEW ONLY AND NOT FOR CONSTRUCTION; RE: C-101 CONCEPTUAL GRADING & DRAINAGE PLAN AND INFRASTRUCTURE LIST FOR ADDITIONAL INFORMATION
- K. ALL WORK WITHIN THE 17'-0" RIGHT OF WAY ALONG SAN PEDRO IS FUTURE WORK PER THE CITY'S PENDING DESIGNS RE: WIDENING OF THE STREET; ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE FINAL WORK ORDER AND/OR AGREEMENT

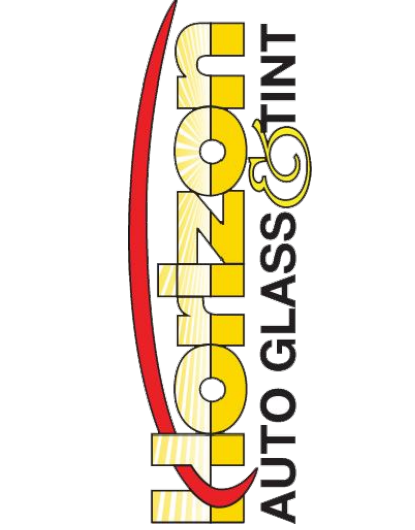
SHEET KEYNOTES

1. FREESTANDING SIGN, PROVIDE POWER FOR LIGHTING; SIGN DESIGN SHALL COMPLY WITH IDO TABLE 5-12-12: 100 SF MAX AREA AND 26 FT MAX HEIGHT; COORDINATE FINAL DESIGN AND FOOTING REQUIREMENTS WITH OWNER'S SIGN CONSULTANT
2. ADA PARKING STALL; 4" WIDE STRIPING, MARKED WITH PAINTED ADA MARKING LOCATED AT END OF STALL AND FACING DIRECTION AS SHOWN; PAINT ALL STRIPING BLUE; RE: C3/AS501
3. ADA PARKING SIGN AS REQUIRED FOR VAN AND STANDARD; DESIGN SHALL COMPLY WITH COA STANDARD DETAILS
4. MOTORCYCLE PARKING WITH PAVEMENT LABEL IN "WHITE"; PROVIDE FREESTANDING SIGN PER A3/AS501
5. ADA LOW-SLOPE RAMP; RE: D5/AS501 AND COA STD DWG 2440
6. ADA ACCESS AISLE; 4" WIDE STRIPING; PAINT ADA BLUE; RE: GENERAL NOTE "D" THIS SHEET
7. PROPERTY LINE
8. NEW ASPHALT PAVING WITH PARKING STALLS; PROVIDE 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES, 2 COATS MIN; PARKING LOT REQUIREMENTS SHALL COMPLY WITH COA STANDARD DETAILS AND MINIMUM REQUIREMENTS FOR PARKING LOTS
9. LINE OF EDGE OF EXISTING ASPHALT PAVING AT STREET AND NEW VALLEY GUTTER AT ENTRANCE; RE: COA STD DWG 2426
10. TRUNCATED DOME INDICATOR AT DRIVE CROSSING; INDICATOR COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD RANGE
11. WASTE RECEPTACLE AND ENCLOSURE; RE: D6/AS501
12. BICYCLE RACK SECURED TO CONCRETE PAD, MIN 3 BICYCLE CAPACITY; RACK DESIGN SHALL COMPLY WITH IDO SECTION 5-5(E); PROVIDE MADRAX "TRITON" OR APPROVED EQUAL
13. CONCRETE APRON SLOPED TO PAVEMENT, TYP AT ALL OVERHEAD DOOR OPENINGS
14. CONCRETE CURB AND GUTTER AT SIDEWALK; RE: C1/AS501
15. CONCRETE CURB AND GUTTER AT GRADE; RE: A1/AS501
16. 6" WIDE x 7'-0" LONG PRE-CAST CONC WHEEL STOP; INSTALL MIN OF 2'-0" FROM FRONT EDGE OF SIDEWALK TO FRONT FACE OF STOP; ANCHOR TO PARKING LOT SURFACE
17. DASHED LINE INDICATES LINE OF AWNING ABOVE
18. OUTDOOR PICNIC TABLE
19. MINI CLEAR SITE TRIANGLE; RE: COA DPM 23-3.9.5-3
20. EXISTING FIRE HYDRANT
21. SETBACK LINE
22. STEEL PIPE BOLLARD AT BOTH SIDES OF OVERHEAD DOOR OPENING, TYP AT ALL; RE: F3/AS501
23. NEW CONCRETE SIDEWALK; RE: A5,C5/AS501
24. LANDSCAPING AND IRRIGATION
25. EARTHEN SWALE
26. EXISTING STOP SIGN TO REMAIN
27. EXISTING DIRT AREA ALIGNING WITH PAVEMENT EDGE
28. PROVIDE VALLEY GUTTERS AT DRIVEWAY ENTRANCES; RE: CIVIL SHEETS AND COA STD DWG 2420
29. PROPOSED WATER HARVEST AREA; RE: CIVIL SHEETS
30. CONCRETE CROSSWALK
31. KNOX BOX; COORDINATE FINAL LOCATION WITH FIRE MARSHAL'S OFFICE
32. DOWNSPOUT AND SPLASH BLOCK; RE: F5,E3/A-501
33. DOWNSPOUT; RE: F5/A-501
34. FUTURE CURB AND GUTTER PER COA STD DWG 2415A
35. FUTURE SIDEWALK PER COA STD DWG 2430
36. FUTURE ADA LOW-SLOPE RAMP PER COA STD DWG 2440

PRELIMINARY NOT FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION

ARCHIS ARCHITECTS
ARCHIS design, LLC
4700 LINCOLN RD NE, SUITE 102 D
ALBUQUERQUE, NEW MEXICO 87109
(505) 998-7717
www.archisdesign.com

AUTO GLASS SHOP NEW BUILDING
8310 SAN PEDRO DRIVE NE
ALBUQUERQUE, NEW MEXICO 87113



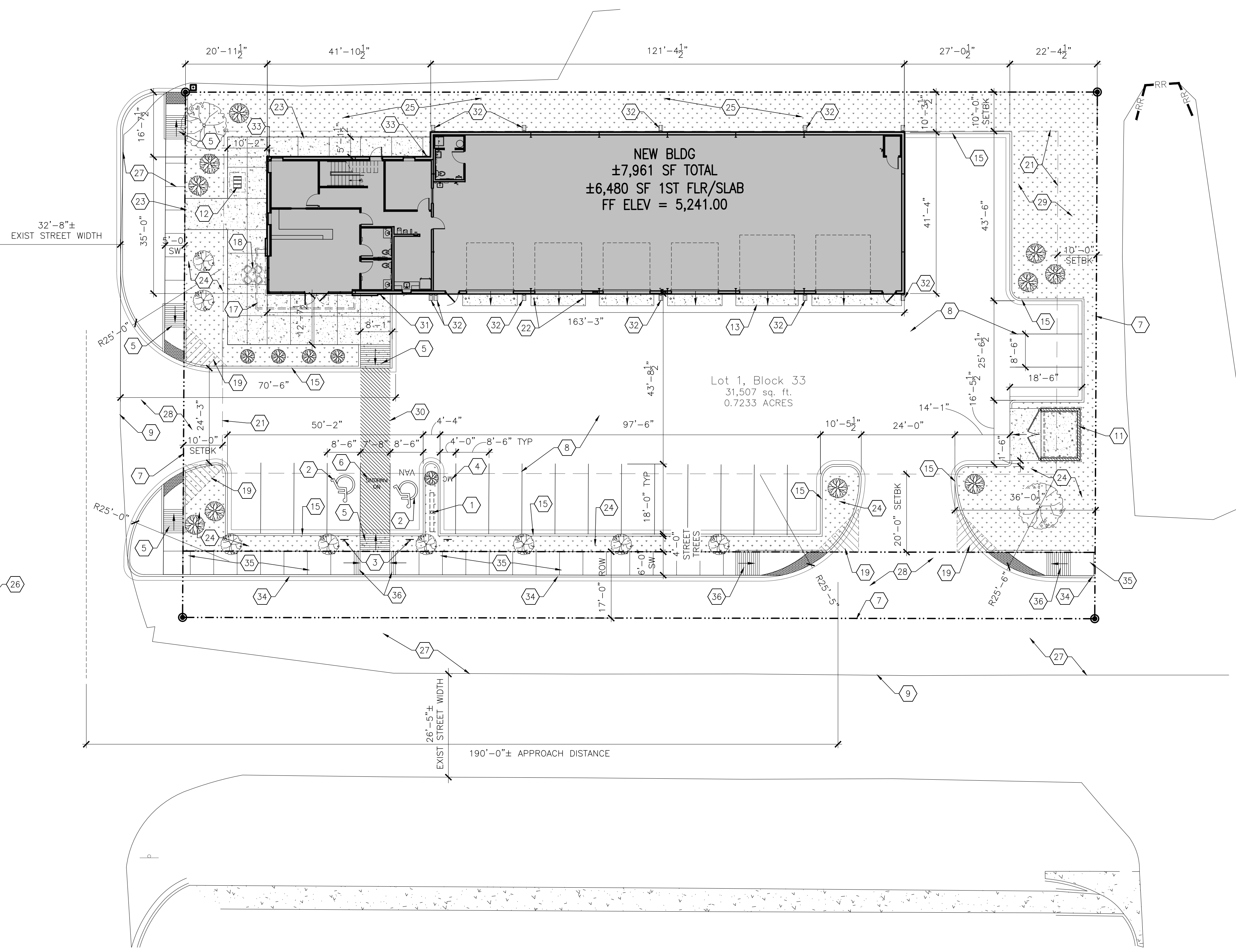
Project No. **20-018** Drawn by: **AEH**
Checked by: **JFO**

Issue Date:
February 12, 2021

Revisions:	Date:

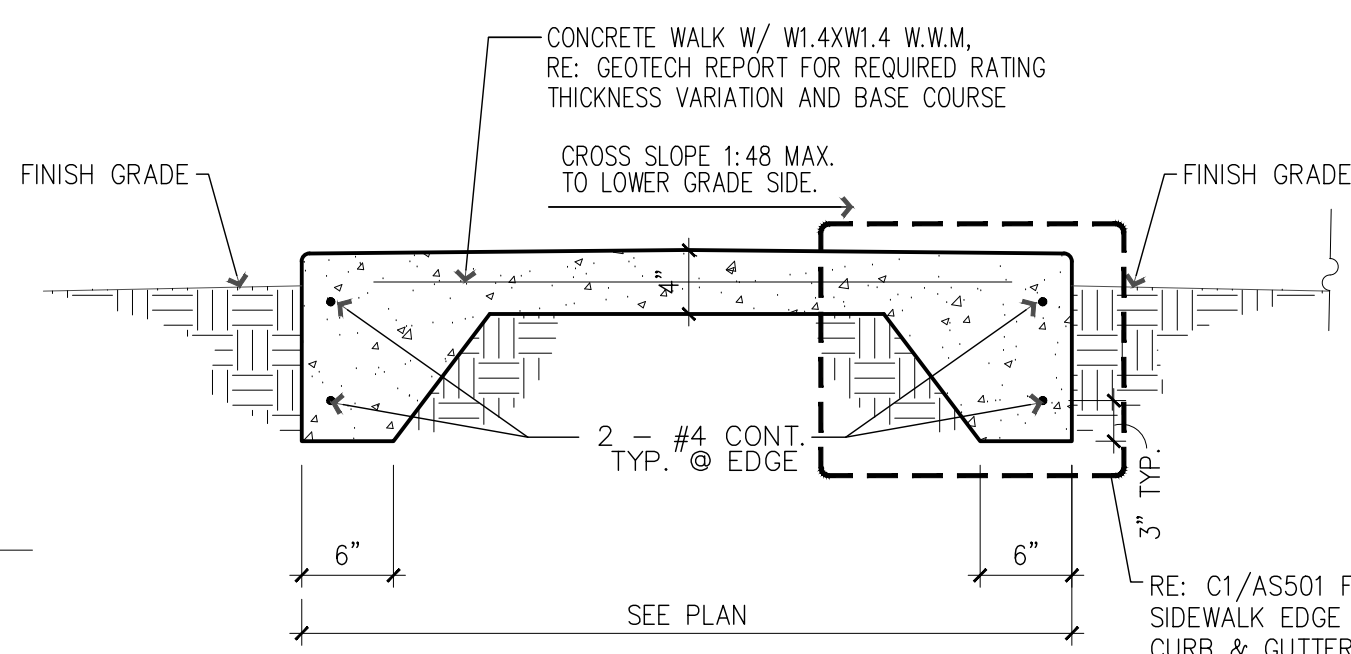
Sheet Title:
Preliminary Architectural Site Plan

Sheet No.
AS101

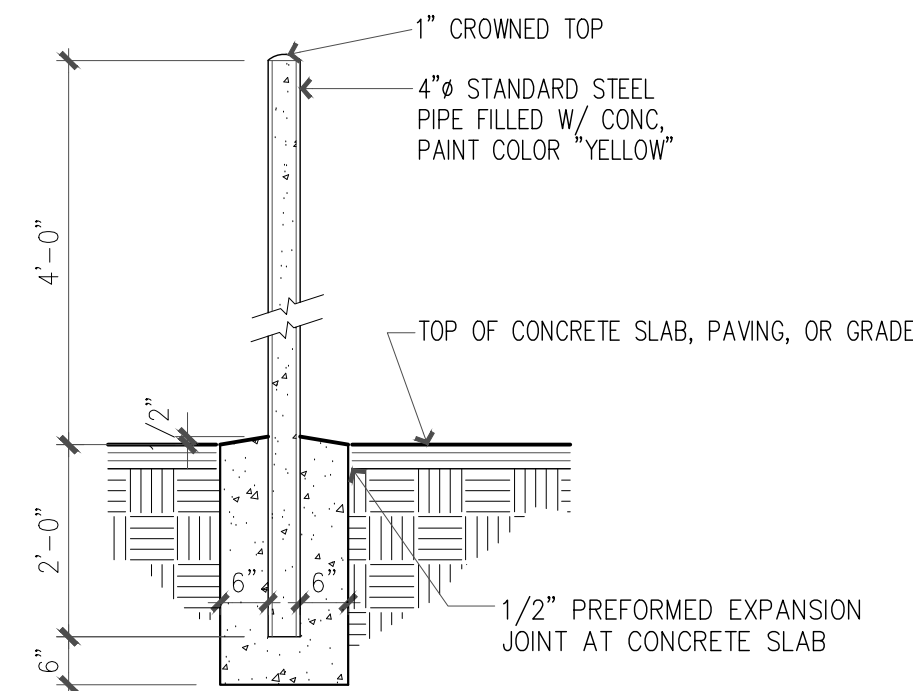


A1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

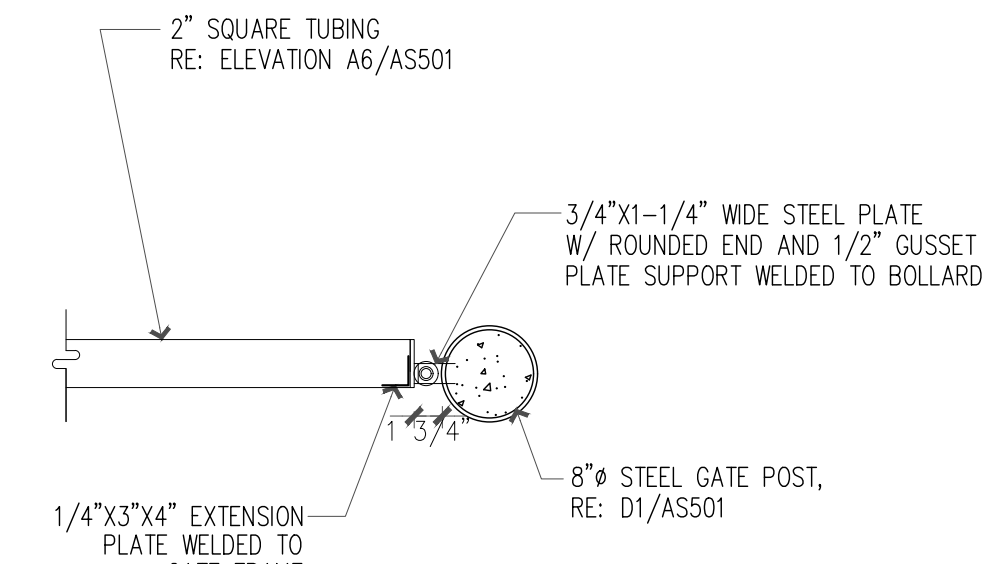




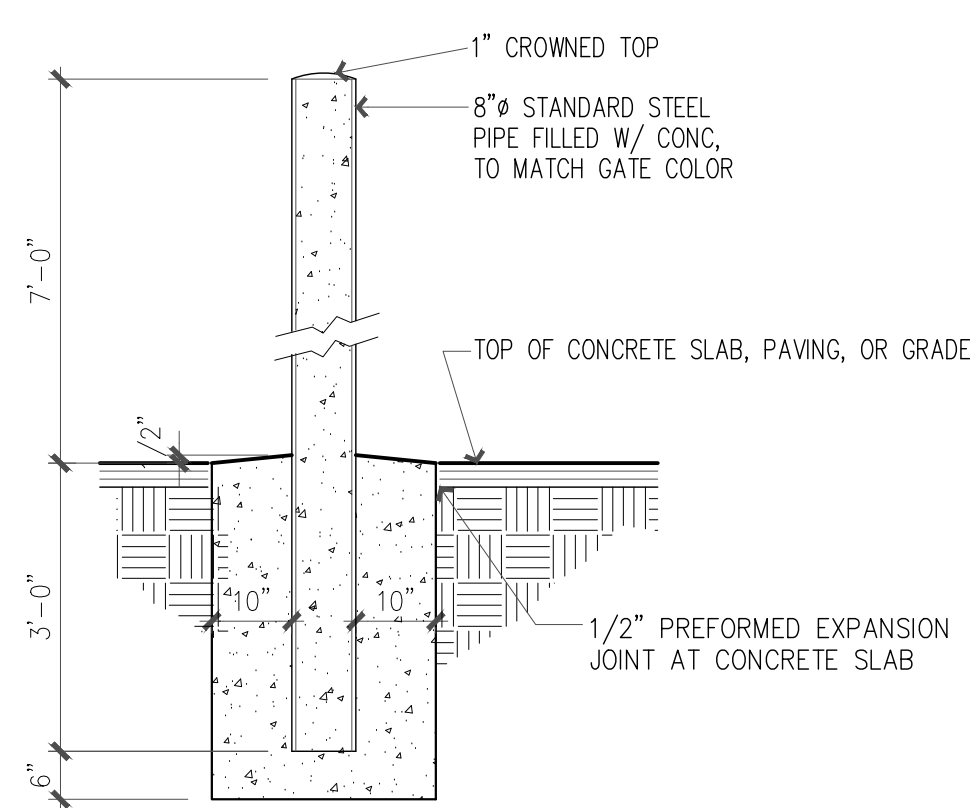
F1 CONCRETE WALK SECTION
SCALE: 1" = 1'-0"



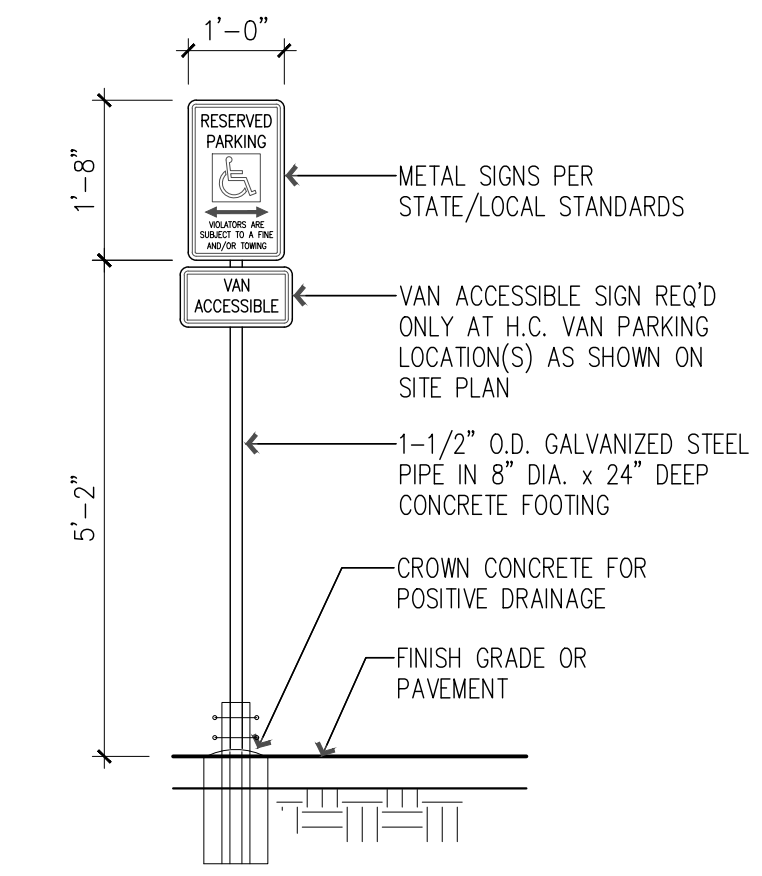
F3 STEEL PIPE BOLLARD
SCALE: 1/2" = 1'-0"



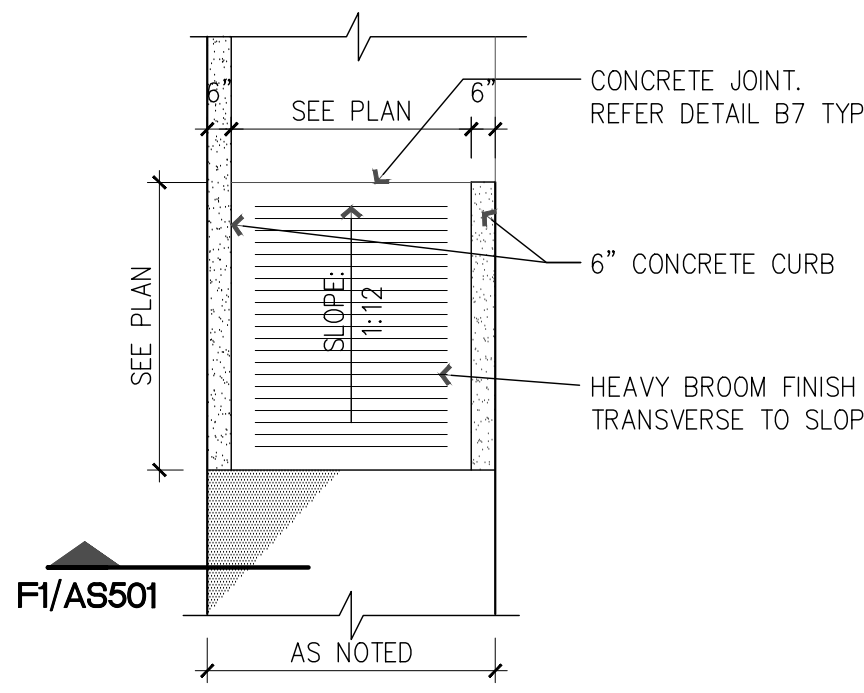
F4 GATE HINGE DETAIL
SCALE: 1" = 1'-0"



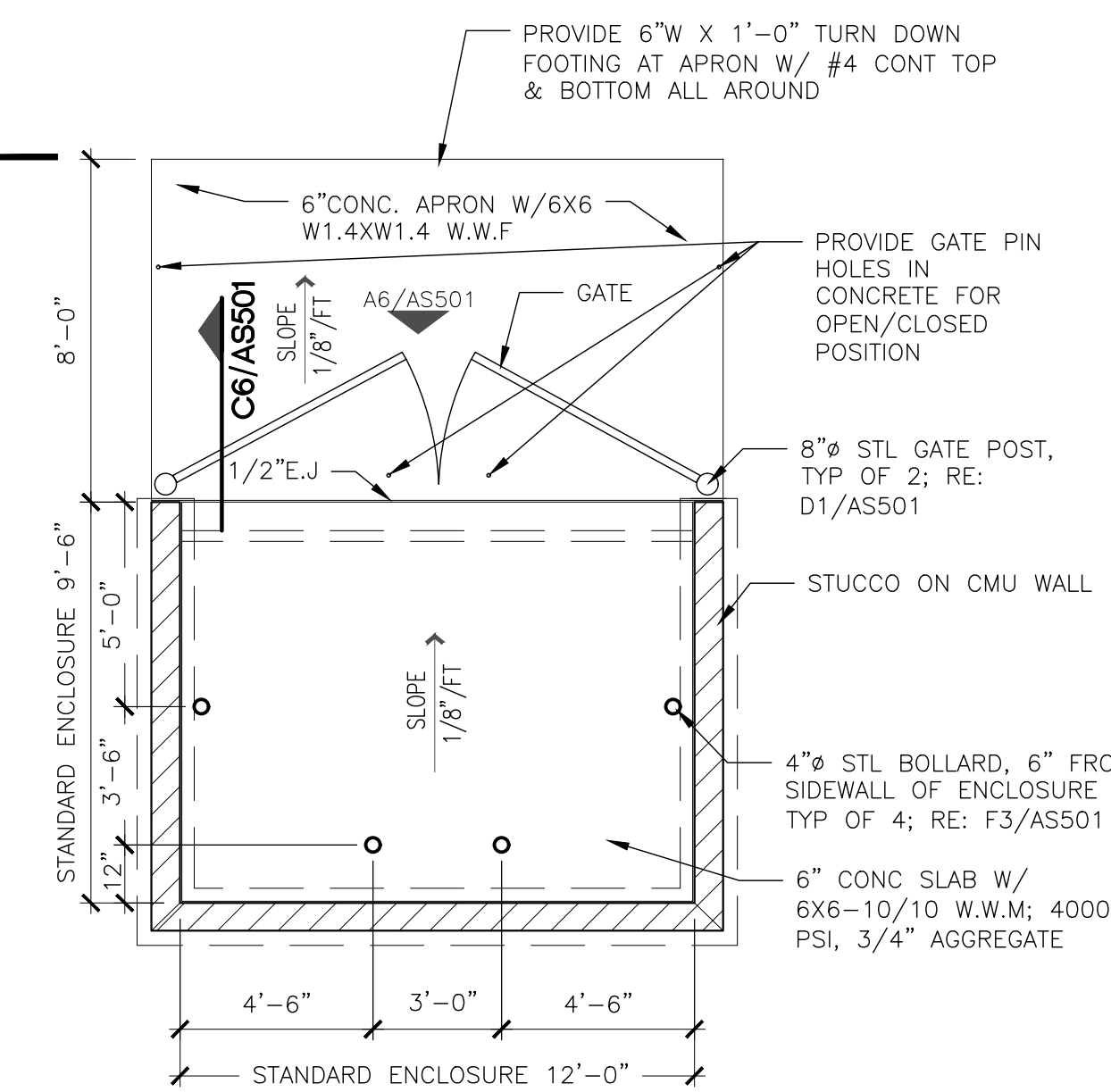
D1 STEEL GATE POST
SCALE: 1/2" = 1'-0"



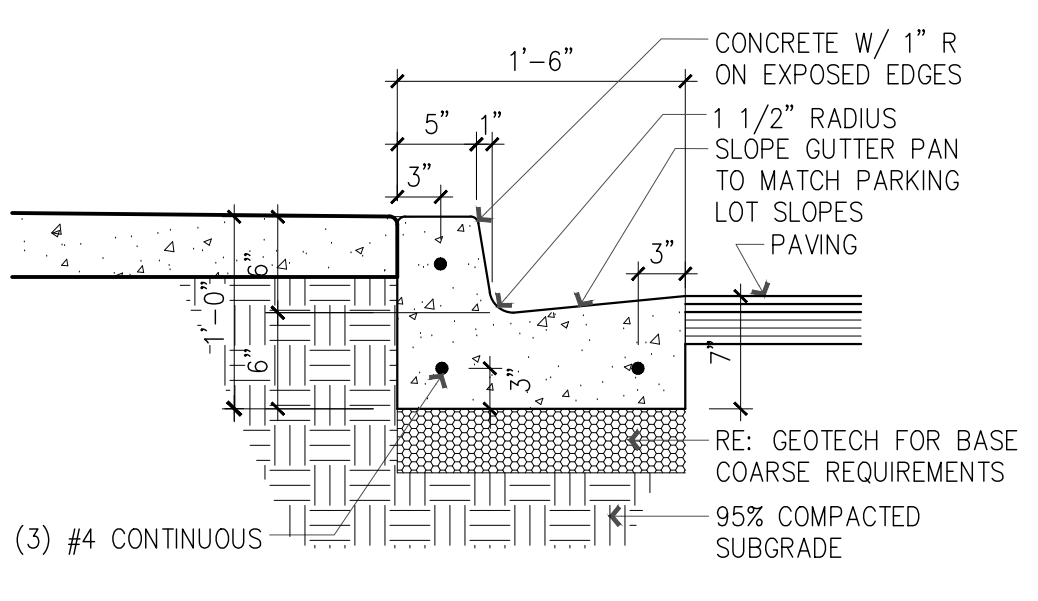
D3 VAN ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0"



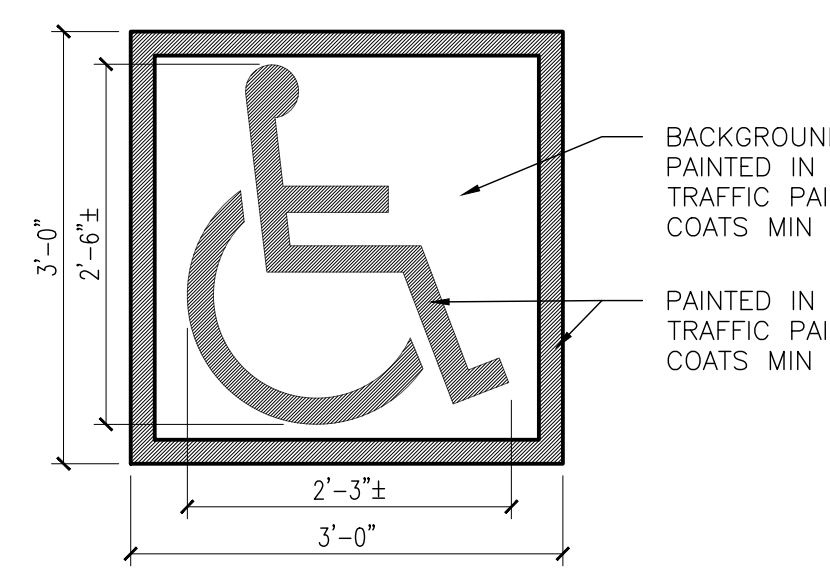
D5 LOW SLOPE RAMP
SCALE: 1/4" = 1'-0"



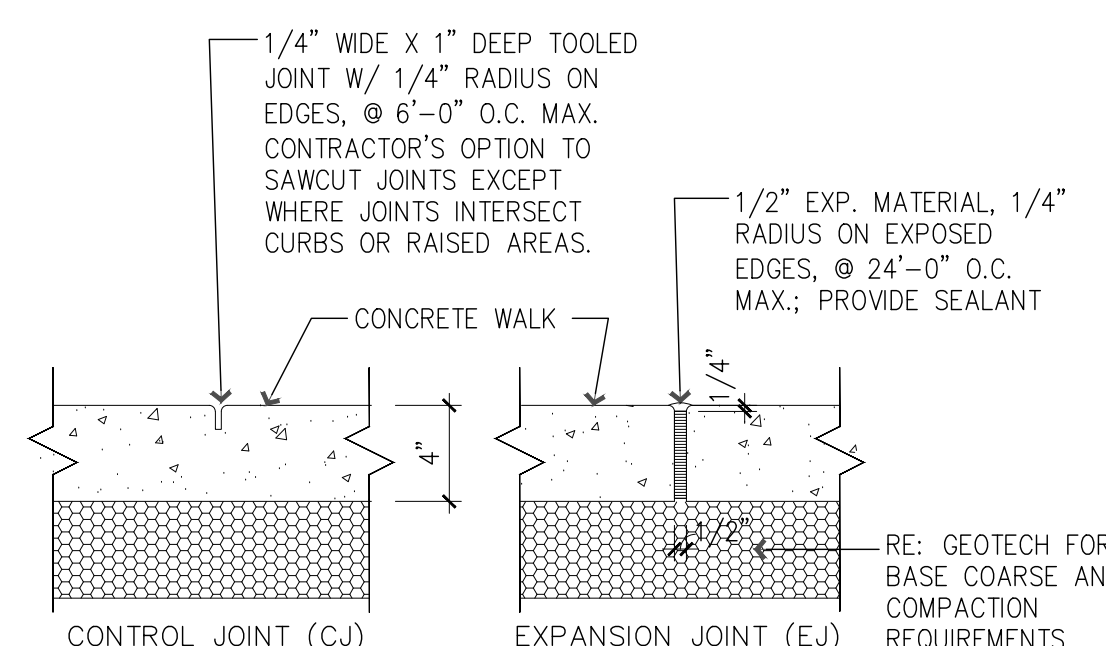
D6 TRASH ENCLOSURE PLAN
SCALE: NTS



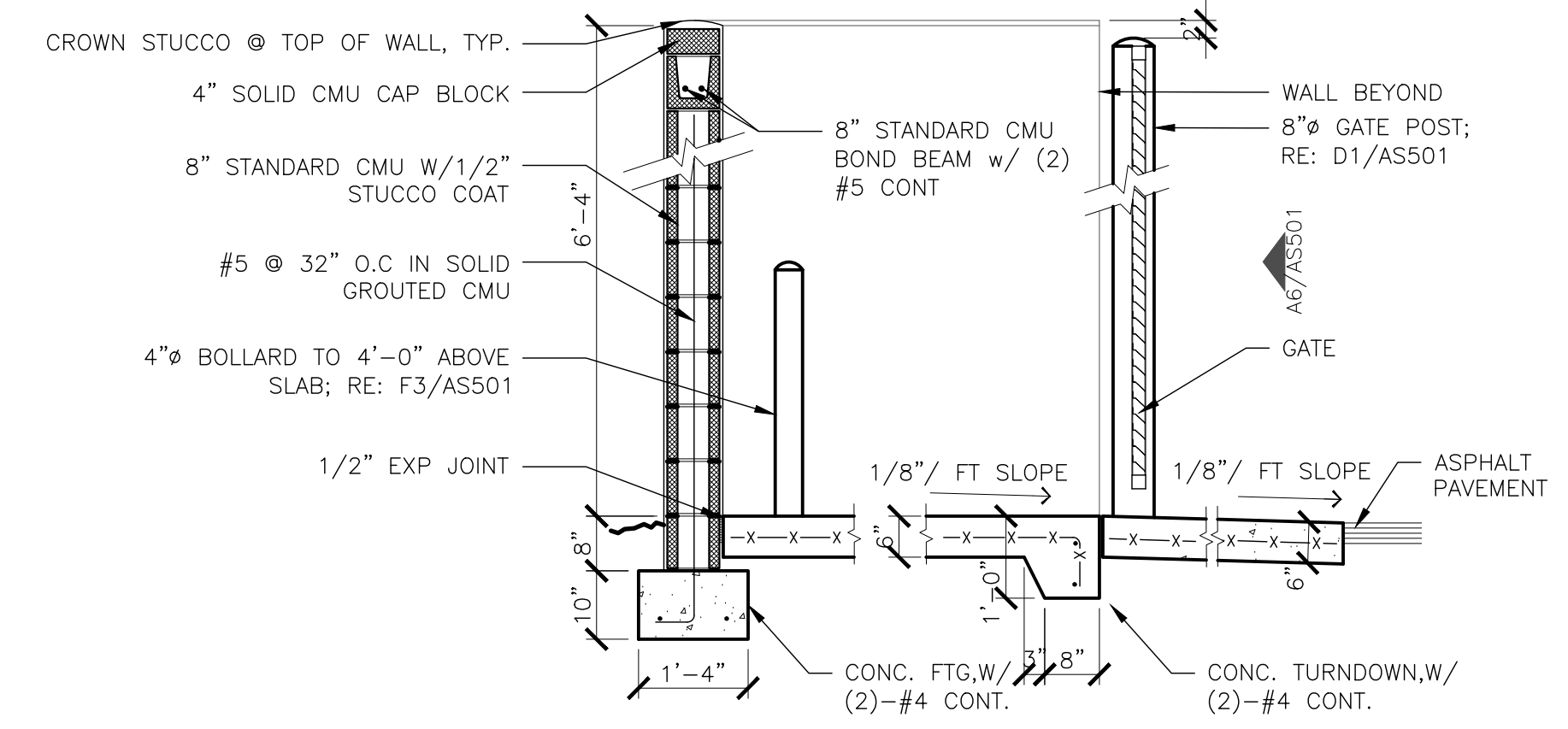
C1 CONCRETE CURB & GUTTER AT SIDEWALK
SCALE: 1" = 1'-0"



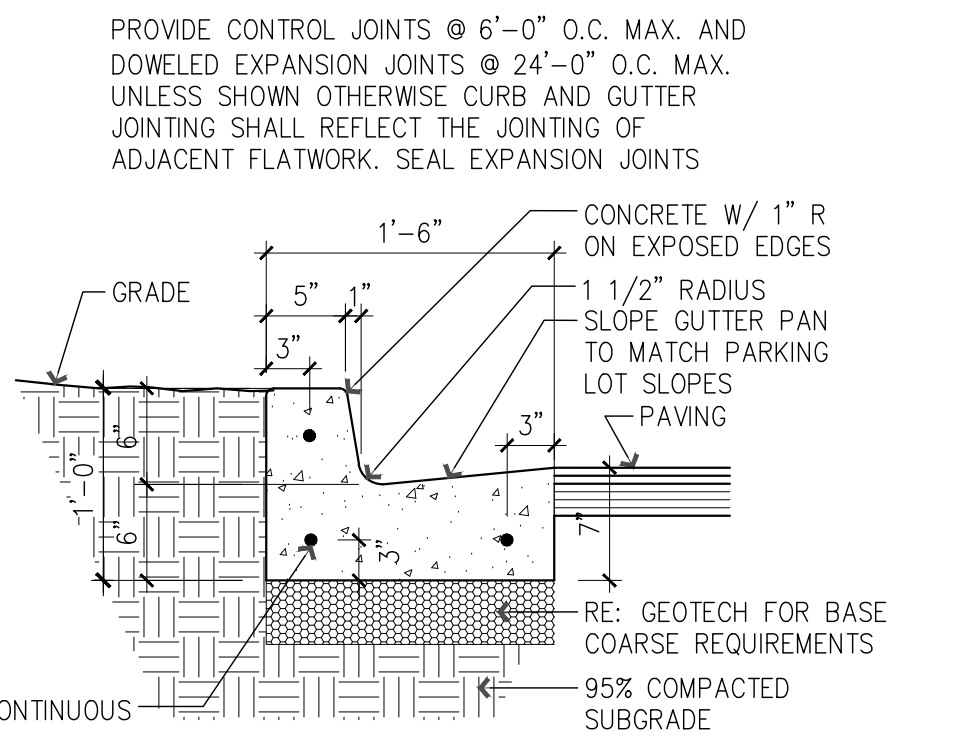
C3 ACCESSIBLE PARKING PAVEMENT MARKING
SCALE: 3/4" = 1'-0"



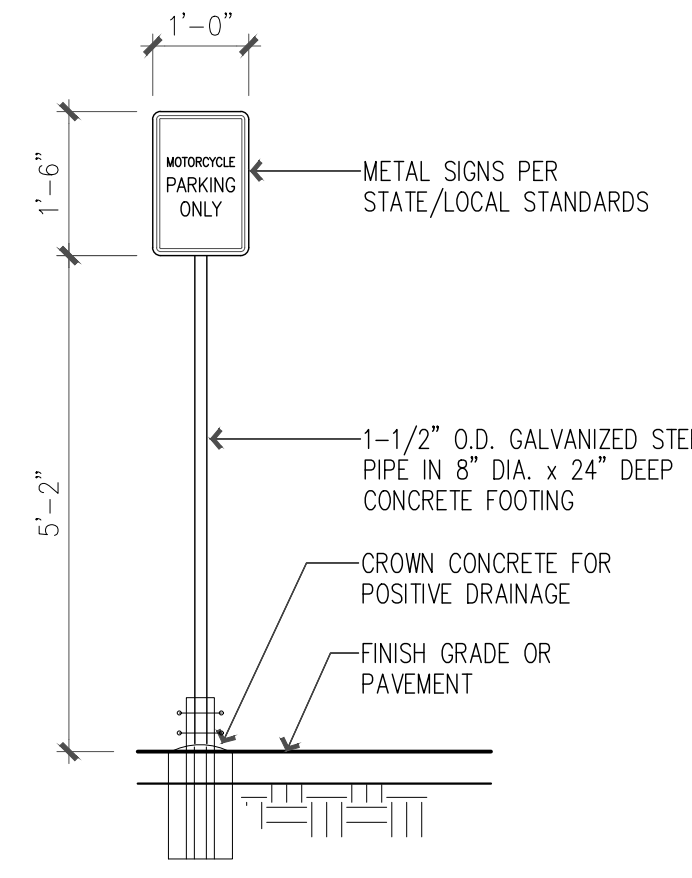
C5 CONCRETE WALK JOINTS - TYP.
SCALE: 1-1/2" = 1'-0"



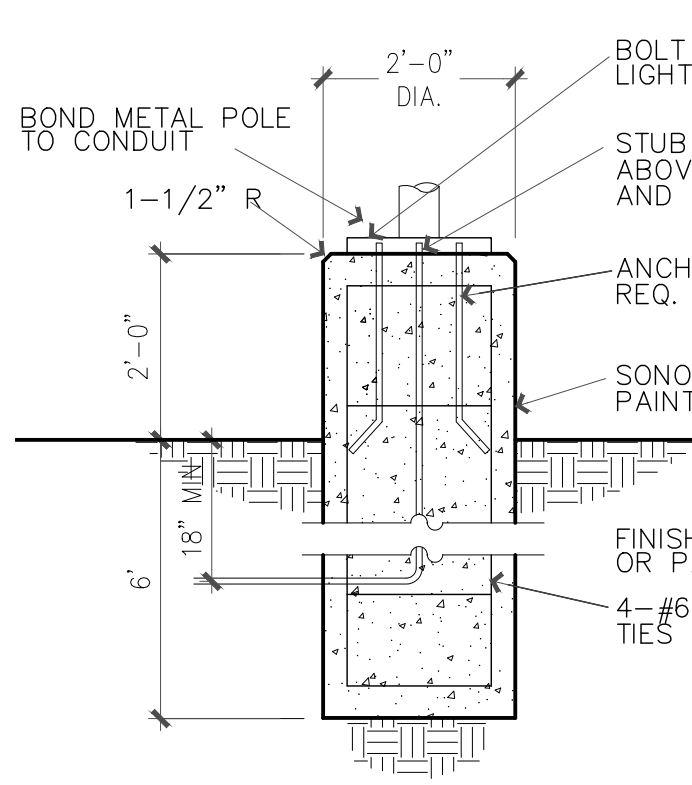
C6 TRASH ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



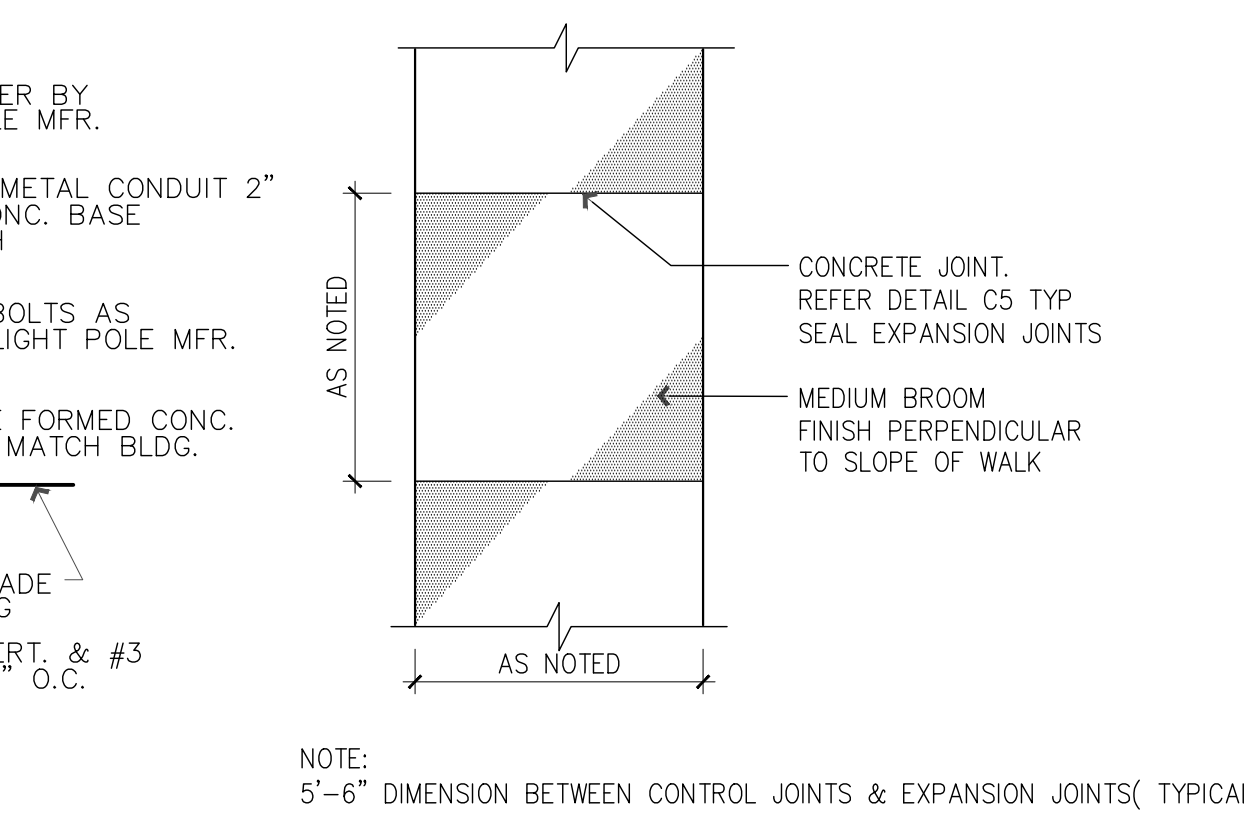
A1 CONCRETE CURB & GUTTER AT GRADE
SCALE: 1" = 1'-0"



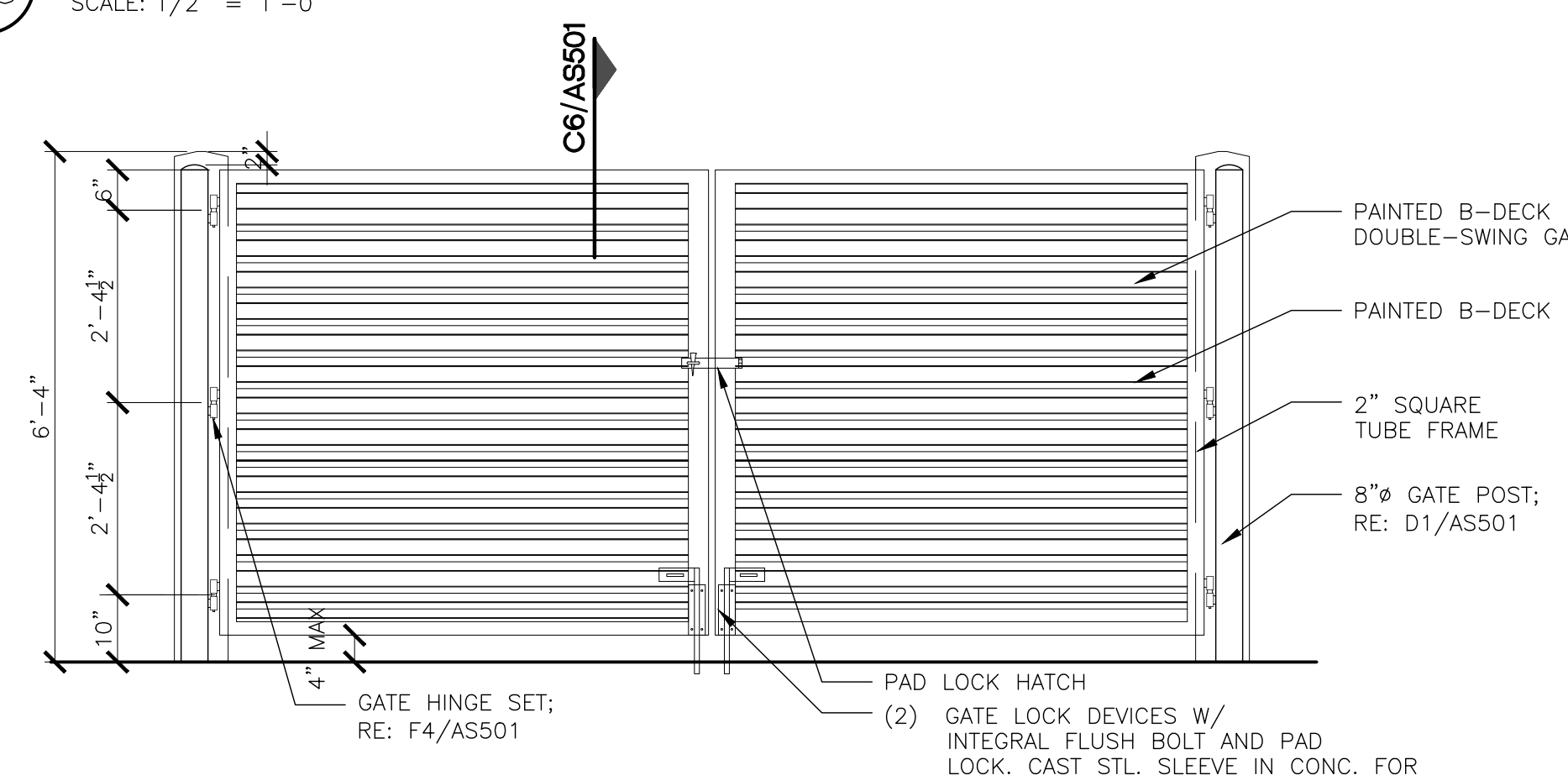
A3 MOTORCYCLE PKG SN
SCALE: 3/4" = 1'-0"



A4 LIGHT POLE BASE
SCALE: 1" = 1'-0"



A5 CONCRETE WALK PLAN
SCALE: 1/4" = 1'-0"



A6 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/2" = 1'-0"

SPACE FOR COA PERMIT APPROVAL STAMP

GENERAL NOTES

- A. USE FULL SCALE DRAWINGS FOR CONSTRUCTION PRINTED ON 24X36 "D" SIZE PAPER. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, ARE NOT PROVIDED, OR THERE IS A DISCREPANCY, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING WITH PRICING, ORDERING OR WORK.
- B. RE: SHEET AS101 FOR SITE PLAN INFORMATION
- C. RE: CIVIL, STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL SHEETS FOR WORK PERTAINING TO THOSE TRADES
- D. RE: LANDSCAPE SHEETS FOR ADDITIONAL INFORMATION, PLANTING TYPES, AND LANDSCAPE CALCULATIONS
- E. PROVIDE LANDSCAPING, SITE FURNITURE, SITE LIGHTING AS REQUIRED BY THE ZONING CODE AND THE BOSQUE PLAZA DESIGN STANDARDS
- F. ALL CONSTRUCTION SHALL CONFORM TO INDUSTRY AND MANUFACTURER'S STANDARDS AS A MINIMUM REQUIREMENT
- G. REFER TO NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD DRAWING 608-001-1 "PEDESTRIAN ACCESSIBLE ROUTE GENERAL NOTES" FOR STANDARD RAMPS AND STAIR DETAILS ON CONSTRUCTING SITE STEPS, RAMPS, FINISHES AND OTHER REQUIREMENTS; ANY DETAILS OR REQUIREMENTS IN THAT DOCUMENT SUPERCEDE THESE DETAILS AND WHERE ANY DETAILS IN THAT DOCUMENT OR OTHER CURRENT ADA STANDARDS CONFLICT WITH THESE DETAILS, THE EACH OTHER, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- H. PROVIDE EXTERIOR GRADE SEALANTS AT EXPANSION JOINTS AT SIDEWALKS AND OTHER CONCRETE AREAS
- I. WASTE RECEPTACLE AND ENCLOSURE DESIGN SHALL COMPLY WITH COA SOLID WASTE MANAGEMENT DEPARTMENT STANDARD DETAILS AND REQUIREMENTS
- J. PROVIDE POSITIVE GRADING AROUND THE ENTIRE BUILDING; RE: CIVIL SHEETS
- K. RE: GEOTECHNICAL REPORT FOR PAVING SECTIONS, SUBGRADE PREPARATION, BASE COURSE REQUIREMENTS AND OTHER SITE INFORMATION AND REQUIREMENTS; PROVIDE BASE COURSE UNDER ALL INDICATED PAVING SECTIONS AS REQUIRED BY GEOTECHNICAL REPORT
- L. AS101 PRELIMINARY SITE PLAN IS FOR PRELIMINARY PLAT REVIEW ONLY AND NOT FOR CONSTRUCTION; RE: C-101 CONCEPTUAL GRADING & DRAINAGE PLAN AND INFRASTRUCTURE LIST FOR ADDITIONAL INFORMATION
- M. ALL WORK WITHIN THE 17'-0" RIGHT OF WAY ALONG SAN PEDRO, PER AS101, IS FUTURE WORK PER THE CITY'S PENDING DESIGNS RE: WIDENING OF THE STREET; ALL IMPROVEMENTS IN THE RIGHT OF WAY MUST BE INCLUDED ON THE FINAL WORK ORDER AND/OR AGREEMENT

PRELIMINARY NOT FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION

ARCHIS ARCHITECTS
ARCHIS design, LLC
4700 LINCOLN RD NE, SUITE 102 D ALBUQUERQUE NEW MEXICO 87109 (505) 998-7717 www.archisdesign.com

AUTO GLASS SHOP NEW BUILDING
8310 SAN PEDRO DRIVE NE ALBUQUERQUE, NEW MEXICO 87113

Auto Glass Tint

Project No. 20-018 Drawn by: AEH Checked by: JFO

Issue Date: February 12, 2021

Revisions:	Date:

Sheet Title: Preliminary Architectural Site Details

Sheet No. AS501

CSI-Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

April 16, 2021

Development Review Board
City of Albuquerque

Re: Preliminary Plat Review for Proposed Lot 1-A, Block 33, Tracts A, Unit B, North Albuquerque Acres - (8310 San Pedro Dr. NE / Anaheim Ave. NE)

Members of the Board:

Cartesian Surveys is acting as an agent for the owner and requests a preliminary plat review to dedicate right-of-way to the city of Albuquerque along San Pedro Drive NE and Anaheim Avenue NE, creating 1 lot from one (1) existing lot. The property is currently zoned NR-BP. A Sketch Plat review meeting was held on December 9, 2020, project number PR-2020-004761. Here, we address the preliminary plat comments from February 18, 2021 as the DRB provided.

Code Enforcement

1. CE reviewed this request and has no objections.

No objections

Transportation

1. Add note that all roadway improvements shall be included as part of a Procedure C Agreement.

Notes on the site plat should satisfactorily designate the roadway improvements as part of a Procedure C Agreement.

2. The Traffic Circulation Layout Plan shall be coordinated with the San Pedro Improvements.

Noted

Hydrology

Hydrology will need to approve the Grading & Drainage Plan prior to approval of platting action or Infrastructure List.

Approved grading and drainage documents are attached.

• DMD is currently working on a widening of San Pedro project which includes some storm sewer improvements around this site. The engineer is currently revising their analysis of the area and should have something within a few months.

Noted

• Hydrology's recommendation is to defer this at least six months.

Noted

ABCWUA

1. No objections to this preliminary plat.

Noted

2. Will the site plan come through DRB?

The site plan is currently coming through the DRB

3. For information only.
 - a. Availability Statement #201211 has been issued for this project. Routine connections are available for potable water and sewer service. No extensions are required for these connections.
 - b. Please contact the ABCWUA if non-potable service is desired. This requires a main extension and would need to be included on the infrastructure list.
 - c. Separate metered service will be required for the commercial and residential uses.
 - d. Please confirm that the FMO does not require additional hydrants to service this development.

Noted, availability statement # 201211 is provided in this supplement.

Parks and Recreation

No additional comments subsequent to previous reviews. No objection.

Noted.

Planning Department

Planning has no objection to the request

Please leave the sign up until April 1st to allow for the appeal period to expire

Planning defers to Transportation for the items on the Infrastructure list

The Infrastructure List needs to be signed and dated prior to distribution to DRB members for their e-signatures

Noted,

If right of way dedication is required a plat will be required to show that.
<http://www.cabq.gov/planning/boards-commissions/development-review-board>
see the DRB webpage for application details

Noted, dedication is shown on Preliminary Plat

NMDOT

NMDOT has no comments at this time.

AMAFCA

No adverse comments

Noted

MRMPO

MRMPO has no adverse comments.

Noted

APS

APS provided comments for how they seek to address facility and enrollment challenges in the area.

PNM

1. It is the applicant's obligation to determine if existing utility easements or rights-of-way are located on or adjacent to the property and to abide by any conditions or terms of those easements.

Noted

2. As the application and/or development moves forward, the applicant needs to contact the PNM New Service Delivery Department to coordinate electric service regarding this project. Please submit a service application at www.pnm.com/erequest for PNM to review.

Noted

3. There are PNM Distribution lines in both San Pedro Drive and Anaheim Ave that are currently covered by PNM's franchise agreement with the City for electric utilities and facilities located in the public right-of-way.

Noted

4. If existing electric lines need to be moved, then that is at the applicant's expense. Please contact PNM at www.pnm.com/erequest for PNM to review.

Noted

Thank you for your attention,

Ryan Mulhall



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	Major Subdivision Preliminary Plat Approval
Decision-making Body:	DRB
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application:	8310 San Pedro Dr. NE
Name of property owner:	LEAR / Cohen
Name of applicant:	CSI - Cartesian Surveys, Inc.
Date, time, and place of public meeting or hearing, if applicable:	
Address, phone number, or website for additional information:	
Contact CSI - Cartesian Surveys, Inc. (505) 896-3050	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

_____ (Applicant signature) 03/11/2021 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 6, 2021

Verlyn Miller, P.E.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM 87107

**RE: Horizon Auto Glass & Tint
8310 San Pedro Dr. NE
Grading and Drainage Plan
Engineer's Stamp Date: 02/22/21
Hydrology File: C18D107**

Dear Mr. Miller:

PO Box 1293

Based upon the information provided in your submittal received 02/23/2021, the Grading & Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

Also, the Payment-in-Lieu of \$ **6,591.20** must be paid prior to Hydrology's Permanent Release of Occupancy approval. Due to COVID-19, please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (sdcordero@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

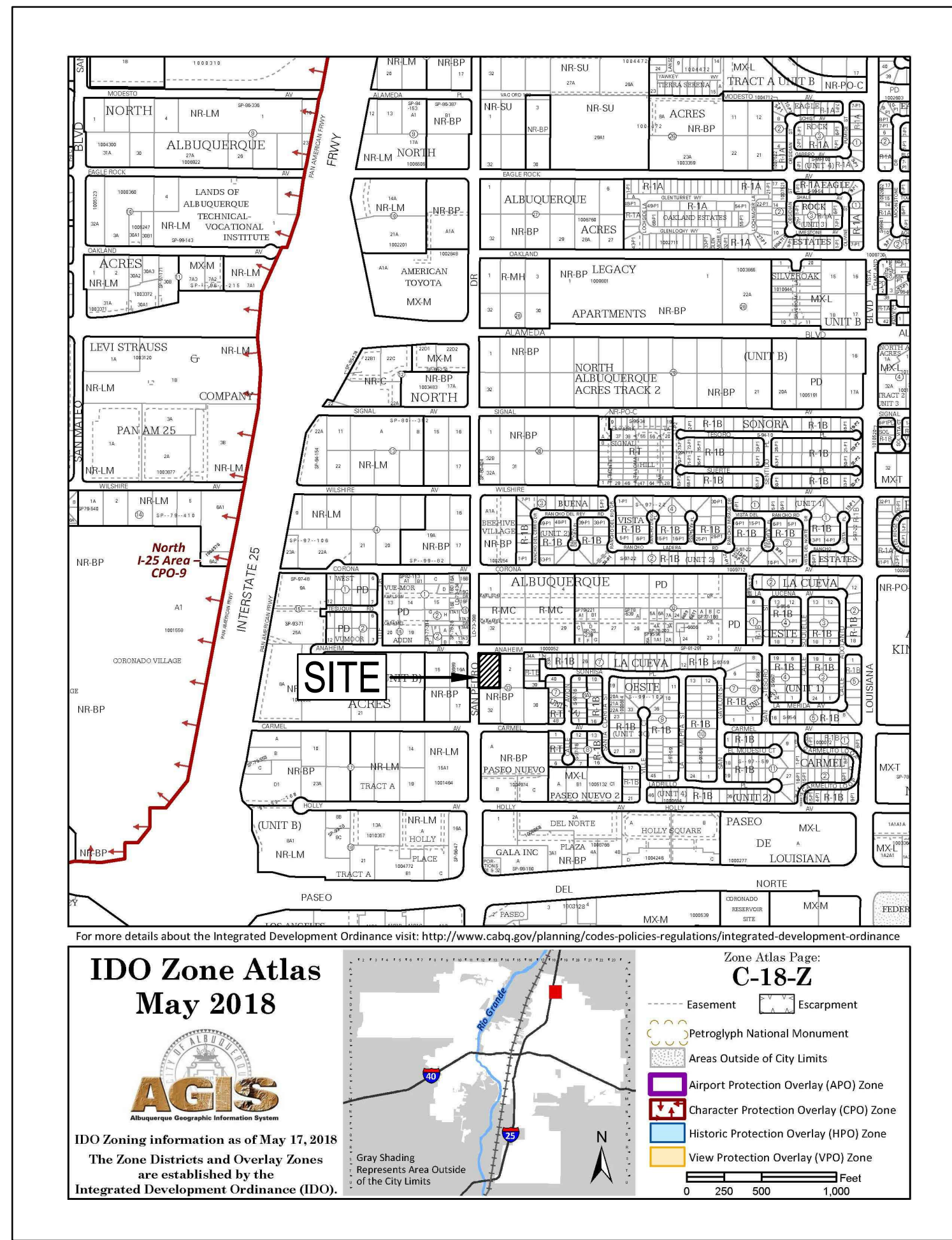
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

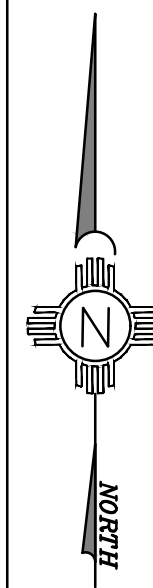


SITE LOCATION
 THE PROPOSED SITE IS LOCATED ON THE SOUTHEAST CORNER OF SAN PEDRO DRIVE AND ANAHEIM AVENUE NE. THE SITE CURRENTLY CONSISTS OF A VACANT LOT WITH NO DEVELOPMENT. THE SITE IS BOUND BY ANAHEIM AVENUE ON THE NORTH SIDE, SAN PEDRO DRIVE ON THE WEST SIDE, AN EXISTING COMMERCIAL DEVELOPMENT ON THE EAST SIDE AND THE SOUTH SIDE. THE PROPOSED DEVELOPMENT WILL INCLUDE A NEW COMMERCIAL BUILDING.

EXISTING CONDITIONS
 THE EXISTING SITE IS CURRENTLY UNDEVELOPED AND IS COVERED WITH SPARSE VEGETATIVE COVER. THE LACK OF VEGETATION SUGGESTS THAT THE SITE IS EXPERIENCING DISTURBANCE FROM HUMAN ACTIVITY. EXISTING STORM WATER FLOWS WILL SHEET FLOW FROM EAST TO WEST.

PROPOSED CONDITIONS
 THE PROPOSED IMPROVEMENTS WILL INCLUDE A COMMERCIAL BUILDING, DRIVEWAY, ASSOCIATED PARKING, AND CONCRETE HARDSCAPE. DRAINAGE FROM THE SITE WILL BE ROUTED THROUGH THE SITE TO ITS HISTORICAL LOCATION.

CONCLUSION
 THE INCREASED RUNOFF FROM THE PROPOSED BUILDING ADDITION IS ESTIMATED AT 0.08 ACRE-FEET AND 1.83 CFS DURING THE 100-YEAR EVENT. THE MAJORITY OF THE INCREASED RUNOFF FROM THE PROPOSED PROJECT WILL BE DISCHARGED INTO THE RIGHT OF WAY WEST OF THE SITE. THE MAJORITY OF THE ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO THE RIGHT OF WAY LOCATED TO THE WEST SIDE OF THE PROJECT SITE. DUE TO THE RIGHT OF WAY TAKE BY THE CITY THERE IS MINIMAL PONDING AVAILABLE ON THE SITE. A SMALL WATER HARVEST FEATURE HAS BEEN ADDED NEAR THE SW CORNER OF THE SITE. THE OWNER IS PREPARED TO PAY A FEE IN LIEU OF FIRST FLUSH PONDING.



GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY CSI CARTESIAN SURVEYS, INC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- ACS STA A-438 BENCH MARK THE TOP OF A STAINLESS STEEL ROD SET BENEATH A 5-1/2" NGS ACCESS COVER STAMPED "A-438 1984" SET FLUSH WITH THE GROUND, LOCATED IN THE NORTHWEST QUADRANT OF MENAUL BOULEVARD AND THE A.T. & S.F. RAILROAD TRACKS INTERSECTION. ELEV. 4975.35 (NAVD 1988)
TBM FOUND 1/2" REBAR WITH CAP "LS 11463" ELEV. 4965.21
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

D4 VICINITY MAP
SCALE: NOT TO SCALE

HYDROLOGY CALCULATIONS

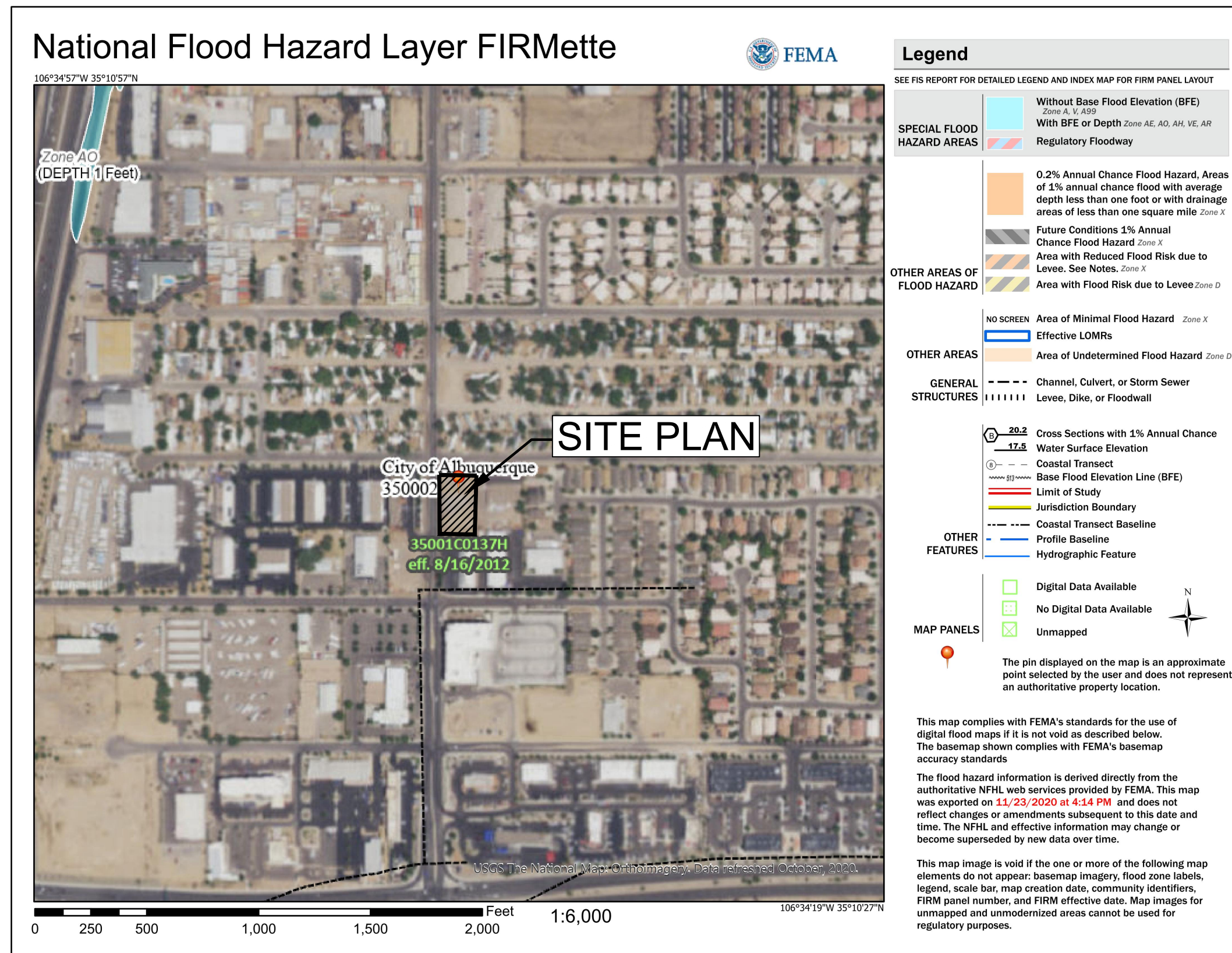
HYDROLOGY
 Precipitation Zone 3 - 100-year Storm P(360) = 2.6 in P(1440) = 3.1 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	0.63	0.63	0.00	0.00	0.00	0.66	0.035	0.035	1.18
Total	0.63								1.18
Proposed Conditions									
Site	0.63	0.00	0.00	0.10	0.53	2.19	0.115	0.137	3.01
Total	0.63								3.01

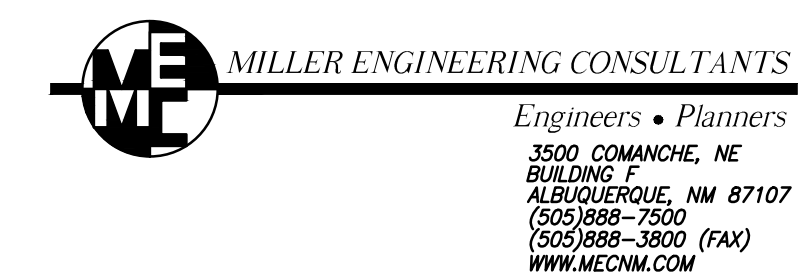
NOTE: TOTAL SITE AREA AFTER RIGHT OF WAY TAKE.

STORM WATER CALCULATIONS

VFF = (23,540 SF * 0.42) / 12
 VFF = 823.9 CF
 VOLUME PROVIDED 0.0AF = 0.0 CF*
 * OWNER W PAY FEE IN LIEU OF PONDING.
 * \$8/CF * 823.9 CF = \$6,591.20



D4 FLOOD ZONE MAP
SCALE: NOT TO SCALE



relevant design solutions
ARCHIS design
 4700 LINCOLN RD NE, SUITE 102 D
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 998-7717 www.archisdesign.net

HORIZON GLASS
NEW BUILDING
 8310 SAN PEDRO DRIVE NE
 ALBUQUERQUE, NEW MEXICO

Project No.
012119

Issue Date:
February 4, 2021

Revisions:	Date:	By:

Sheet Title:
Hydrology Report

Sheet No.
C-100

LEGEND:

- 38.00
FC PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH
(95.19) MATCH EXISTING ELEVATIONS
- TCON TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- ▶ FLOW ARROW
- ▬ GRADE BREAK—HIGH POINT
- ▬ SWALE
- ▬ SD STORM DRAIN LINE
- ▬ 5895 PROPOSED MAJOR CONTOUR
- ▬ PROPOSED MINOR CONTOUR
- ▬ 5895 EXISTING MAJOR CONTOUR
- ▬ EXISTING MINOR CONTOUR
- ▶ TOP OF CUT SLOPE
- ▬ HIGH POINT

KEYED NOTES

1. PROPOSED NEW BUILDING SEE ARCHITECTURAL DRAWINGS.
2. NEW TYPE "D" SD INLET. TG=38.3, INV=36.0.
3. FUTURE TYPE "C" SD INLET.
4. NEW WATER HARVEST AREA, INV=39.
5. NEW 3" CONCRETE CHANNEL.
6. NEW CURB AND GUTTER.
7. NEW HOT MIX ASPHALT PAVING (HMA).
8. NEW SIDEWALK/FLATWORK, SEE ARCHITECTURAL DRAWINGS.
9. NEW HEAVY DUTY CONCRETE PAVING.
10. NEW TRASH ENCLOSURE, SEE ARCHITECTURAL DRAWINGS.
11. APPROXIMATE LOCATION OF PROPERTY LINE.
12. FUTURE 18" SD PIPE.
13. NEW 3" CURB CUT. PER COA STD DWG #2415A.
14. NEW EARTHEN SWALE, SEE SHEET C-501 FOR DETAILS.
15. FUTURE CURB AND GUTTER, PER COA STD DWG #2415A.
16. FUTURE SIDEWALK, PER COA STD DWG #2430.
17. CONCRETE VALLEY GUTTER AND FILLETS PER COA DWG. #2420. COORDINATE WITH CITY INFRASTRUCTURE PROJECT.
18. 12" SD PIPE BEND.
19. 115 LF OF 12" SD PIPE @ 1% MIN. SLOPE.

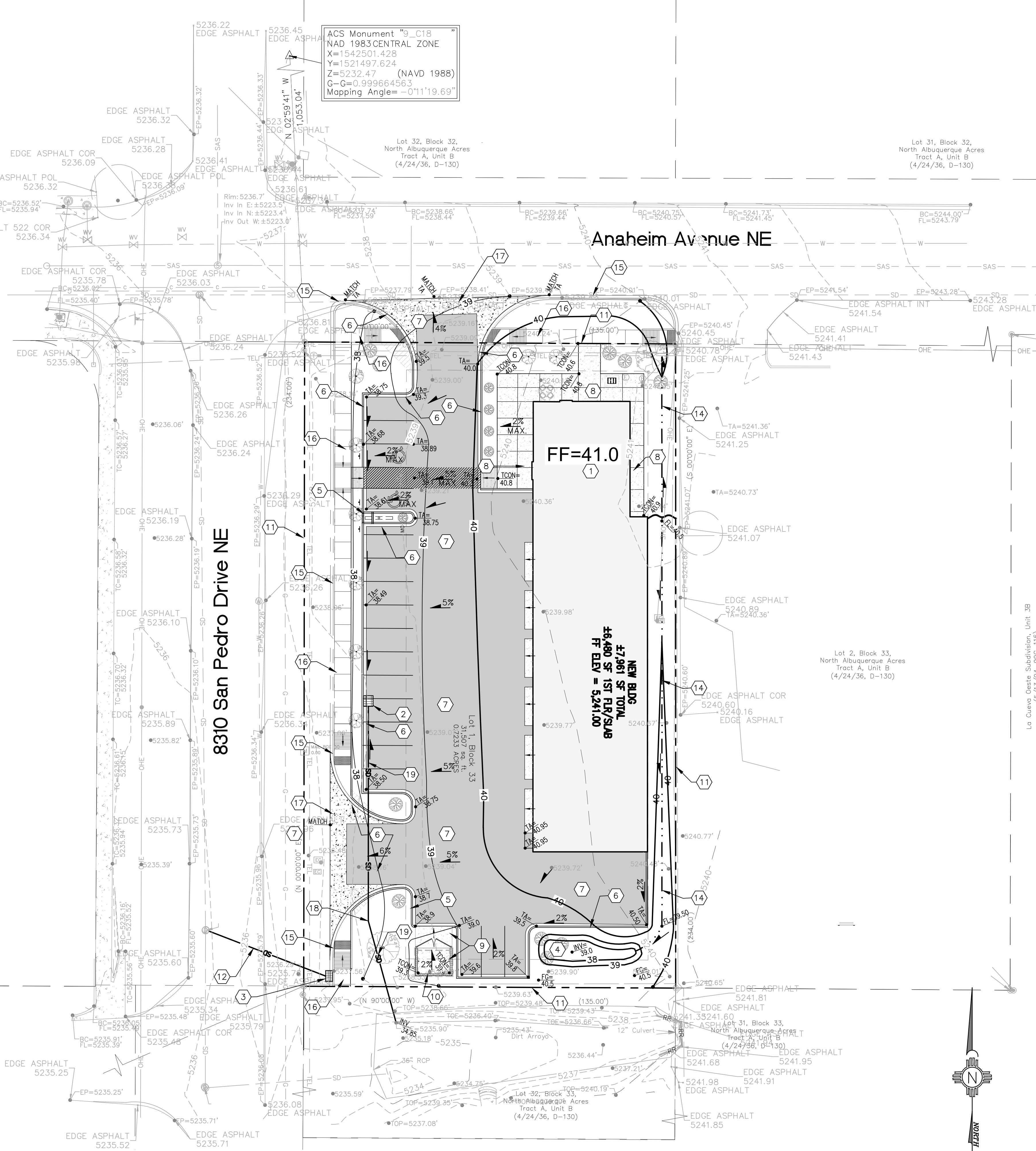
Anaheim Avenue NE

8310 San Pedro Drive NE

ACS Monument "9_C18"
NAD 1983 CENTRAL ZONE
X=1542501.428
Y=1521497.624
Z=5232.47 (NAVD 1988)
G-C=0.999664563
Mapping Angle=-0°11'19.69"

FF=41.0

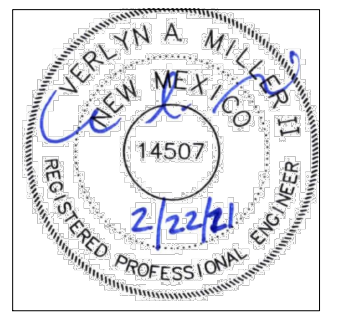
NEW BLDG
4,796 SF TOTAL
4,480 SF 1ST FLR/SLAB
FF ELEV = 5241.00



(A1) CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1"=20'

SCALE: 1"=20'
CONTOUR INTERVAL=1'



ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3000 COMANCHE, NE
ALBUQUERQUE, NM 87107
(505) 888-7500
(505) 888-3800 (FAX)
WWW.MEENM.COM

relocant design solutions
ARCHIS design LLC
4700 LINCOLN RD NE, SUITE 102 D
ALBUQUERQUE, NEW MEXICO 87109
(505) 986-7717 www.archisdesign.net

HORIZONGLOSS
NEW BUILDING
8310 SAN PEDRO DRIVE NE
ALBUQUERQUE, NEW MEXICO

Project No.
012119
Issue Date:
February 4, 2021

Revisions:	Date:

Sheet Title:
Conceptual Grading and Drainage Plan

Sheet No.
C-101

January 14, 2021

Chair

Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Pat Davis
City of Albuquerque
Councilor, District 6

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Charlene Pyskoty
County of Bernalillo
Commissioner, District 5

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Ex-Officio Member
Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Jacqueline Naab
Miller Engineering Consultants
3500 Comanche NE Bldg. F
City, State Zip Code

RE: Water and Sanitary Sewer Availability Statement #201211
Project Name: Horizon Glass
Project Address: 8310 San Pedro Dr. NE
Legal Description: * 001 033TRACT A UNIT B NORTH ALBUQUERQUE
ACRES
UPC: 101806427314440332
Zone Atlas Map: C-18

Dear Ms. Naab:

Project Description: The subject site is located on the southeast corner of the intersection of Anaheim Ave. and San Pedro Dr. within the City of Albuquerque. The proposed development consists of approximately 0.71 acres and the property is currently zoned NR-BP for business park use. The property lies within the Pressure Zone 3E in the Alameda trunk. The request for availability indicates plans to develop the site to accommodate a new two (2) story structure with office space on the bottom floor and residential living spaces on the 2nd floor.

Existing Conditions: Water infrastructure in the area consists of the following:

- Eight inch PVC distribution main (project #26-1777-83) along Anaheim Ave.
- 14 inch DIP distribution main (project #26-5998.91-01) along San Pedro Dr.

Non-potable infrastructure in the area consists of the following:

- 24 inch DIP transmission main (project #26-5998.91-01) along San Pedro Dr.

Sanitary sewer infrastructure in the area consists of the following:

- Eight inch PVC collector line (project #26-5232.93-99) along Anaheim Ave.

Water Service: New metered water service to the property can be provided via routine connection to the existing infrastructure indicated within the "Existing Conditions" section of this document. From the Fire Marshal approved "Fire One Plan" it is understood that the site intends to take new metered water service from the infrastructure along Anaheim. Please note that the commercial section of the development is to be metered separately from the residential portion of the development.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Non-Potable Water Service: If new metered non-potable water service to the property is desired it can be provided contingent upon a developer funded project to extend a distribution main along San Pedro Dr. and parallel to the existing transmission main along San Pedro Dr., the length required to obtain service.

Sanitary Sewer Service: Sanitary sewer service can be provided via routine connection to the existing collector line mentioned within the "Existing Conditions" section of this document. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 1,750 gallons-per-minute and two (2) existing hydrants. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the desired fire flow from hydrant 331 located at the northeast corner of the intersection of San Pedro Dr. and Anaheim Ave. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Water Authority tapping permit process. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,






Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Availability Statement 201211

201211 - Water




Legend

-  Project Location
-  Valve
-  Analysis Point
-  Hydrant

Pipe

SUBTYPE

-  Distribution Line
-  Hydrant Leg

0 245 490 Feet





Water Utility
Authority

201211 - Sanitary Sewer



Legend

-  Project Location
-  Sewer Manhole

Sewer Pipe

SUBTYPE

-  COLLECTOR

0 245 490 Feet







Water Utility
Authority

201211 - Non-Potable



Legend

-  Project Location
-  Reuse Water Pipes
-  --- General Map Keyed Notes
-  1. --- Proposed Non-Potable Extension



CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Miller Engineering Consultants DATE OF REQUEST: 02/18/21 ZONE ATLAS PAGE(S): C-18-Z

CURRENT:
ZONING NR-BP
PARCEL SIZE (AC/SQ. FT.) 0.7 acre

LEGAL DESCRIPTION:
LOT OR TRACT # Lot 1 BLOCK # 33 of
SUBDIVISION NAME North Albuquerque Acres Tract A Unit 8

REQUESTED CITY ACTION(S):
ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:
SUBDIVISION* [X] AMENDMENT []
BUILDING PERMIT ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []
*includes platting actions

PROPOSED DEVELOPMENT:
NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:
OF UNITS: 1
BUILDING SIZE: 9,000 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE  DATE 02/18/21

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

TRAFFIC ENGINEER

DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER

DATE

Laura Williams
Horizon Auto Glass & Tint
8201 Menaul Blvd NE
Albuquerque NM 87110
891-9000

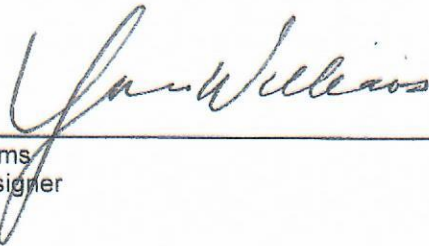
City of Albuquerque
Development Review Board

RE: Letter of Authorization for Proposed Plat

To whom it may concern,

I, Laura Williams, authorized signer for Horizon Auto Glass & Tint, do hereby give authorization to Cartesian Surveys Inc. to act as my agent in regards to the subdivision plat and supplemental needs for the replatting at 8310 San Pedro Dr., NE.

Thank You,

A handwritten signature in cursive script, appearing to read "Laura Williams", is written over a horizontal line.

Laura Williams
Authorized signer

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Horizon Glass

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

001 033 Tract A Unit B North Albuquerque Acres

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6'	PCC Sidewalk	San Pedro	SW Corner PL	NW Corner PL	/	/	/
		5'	PCC Sidewalk	Anaheim	NW Corner	NE Corner PL	/	/	/
		STD	STD Curb & Gutter	San Pedro	SW Corner PL	NW Corner PL	/	/	/
		STD	STD Curb & Gutter	Anaheim	NW Corner	NE Corner PL	/	/	/
		11' FE	Arterial Pavement	San Pedro	SW Corner PL	NW Corner PL	/	/	/
		6'	Bike Lane	San Pedro	SW Corner PL	NW Corner PL	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

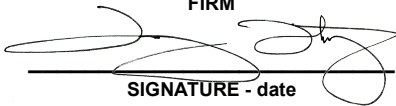
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeremy Ortiz
 NAME (print)
 Archis Design, LLC
 FIRM

 SIGNATURE - date
 04/16/21

_____ DRB CHAIR - date
 _____ TRANSPORTATION DEVELOPMENT - date
 _____ UTILITY DEVELOPMENT - date
 _____ CITY ENGINEER - date

_____ PARKS & RECREATION - date
 _____ AMAFCA - date
 _____ CODE ENFORCEMENT - date
 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER