



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2020-004820

Application No. SI-2020-001468

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 4/21/21

HEARING DATE OF DEFERRAL: 3/31/21

SUBMITTAL

DESCRIPTION: Updated site plan set, comment response memo, current infrastructure list, and supporting exhibits.

CONTACT NAME: Michael Vos, AICP or Jim Strozier, FAICP

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com or cp@consensusplanning.com



Memorandum

To: Jolene Wolfley and DRB Members, City of Albuquerque
From: Michael Vos, AICP, Consensus Planning, Inc.
Date: April 15, 2021
Re: Hotel Circle Ramada Apartment Conversion DRB Update (PR-2020-004820)

This memo provides updates on the proposed apartment conversion based on the comments received at the March 31, 2021 DRB meeting. The comments are numbered, and responses are in bold italics.

Hydrology

1. All comments have been addressed. No objection.
 - a. Noted**

Transportation Development

1. The sidewalk width waiver is approved.
 - a. Understood.**
2. Include a shared access agreement with adjacent neighbor. Coordinate with neighbor on driveway prior to the work order.
 - a. Coordination with the neighbor is ongoing. The Applicant requests that final form and agreement be considered as delegation with Planning to check prior to final signature.**
3. The required number of handicapped spaces is 8, but the number shown on the plan is 7. (On the details it implies that there is more than what is shown on the site plan at notes for A1/103.) Maybe this is where the discrepancy is. Clarify for both details.
 - a. The parking spaces were clarified to identify all 8 required spaces more clearly.**
4. There is a B4 in the details but not on the site plan.
 - a. The detail reference for the ADA space on the east side of the site has been updated to correctly reflect this detail.**
5. At A1/103, there needs to be header curb labeled where there is a grade difference in the sidewalk alongside the ramp. This also applies to detail B4.
 - a. Detail updated.**
6. At B4/103, at the bottom of the ramp that is parallel to the aisle should have 2% maximum cross-slope labeled in both directions for wheelchair turning. Same applies for B2.
 - a. Detail updated.**

ABCWUA

1. PREVIOUS COMMENT: Availability statement #201213 is in holding as a fire one plan is required. UPDATE: The fire one plan has been received with this submittal and has been provided for inclusion in the availability statement review.
 - a. We understand that the availability statement has been researched and is under review.**

2. The Building #6 and southeast building exhibit on the encroachment and additional easement have been received. This will be reviewed with ABCWUA Legal and Water Operations. An encroachment notice is possibly needed regardless of the additional easement.
 - a. ***We received further comment from Blain Carter via email regarding the encroachments and relationship between the easements on site and the proposed landscape plan. We have updated the landscape plan to relocate the trees within the courtyard out of the waterline easement and eliminate the trees that were proposed in the perimeter sewer easement at the south side of the site. The existing fence that is within the courtyard is not shown on the plan as it will be removed by this redevelopment. The only remaining encroachments are two existing trees and the buildings that have previously been discussed. The Applicant requests specific direction from the Water Authority regarding what is required regarding these longstanding site features that encroach in the easement, other than the previously discussed additional easement and notice of encroachment. Attached are additional exhibits prepared by the Civil Engineer, Isaacson & Arfman, regarding the location of the existing waterline and building encroachments.***
3. Infrastructure list

The location of the fire lines has been revised as requested. Thank you.
The private fire lines have been relocated outside of the public waterline easement.
Thank you.

 - a. ***Noted.***
4. PREVIOUS COMMENT: For information only.

Currently the single account for the property is for commercial. Given that the use is changing from hotel to multi-family residential, the account shall be adjusted to reflect the multi-family customer class.

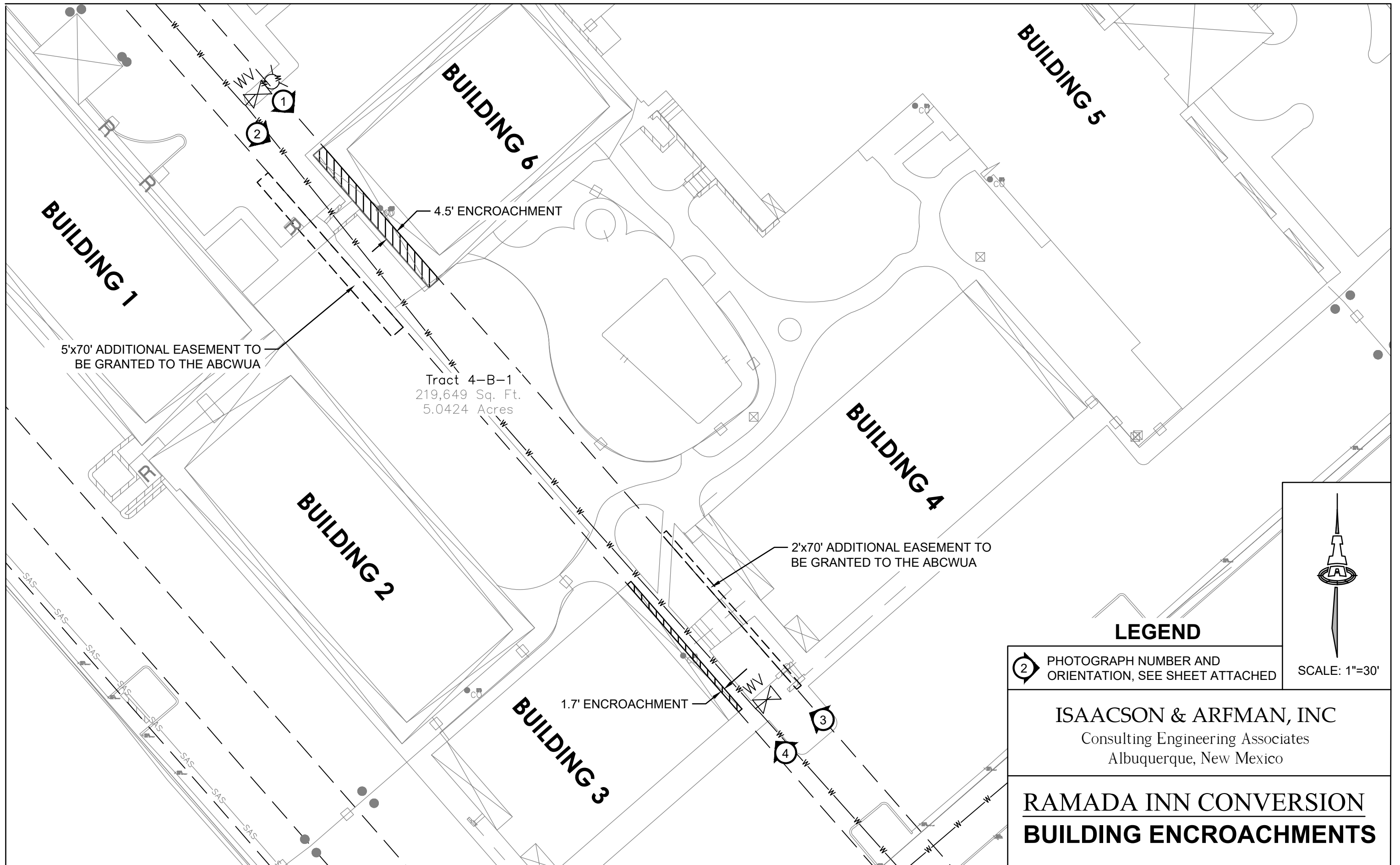
Applicant acknowledged in response to comments and indicated this will take place in the redevelopment process.

With the removal of the restaurant from the plan, a separate account for the commercial class may still be required, depending on the use of the proposed space. Upon proposed use of this space, ABCWUA approval is required, and a separate account and metered connection may be required.

 - a. ***Understood.***

Planning

No other new comments were received from Planning, Code Enforcement, or Parks and Recreation.



Ramada Inn Conversion

Exhibit – Building Encroachments Photos Attachment



PHOTO #1



PHOTO #2

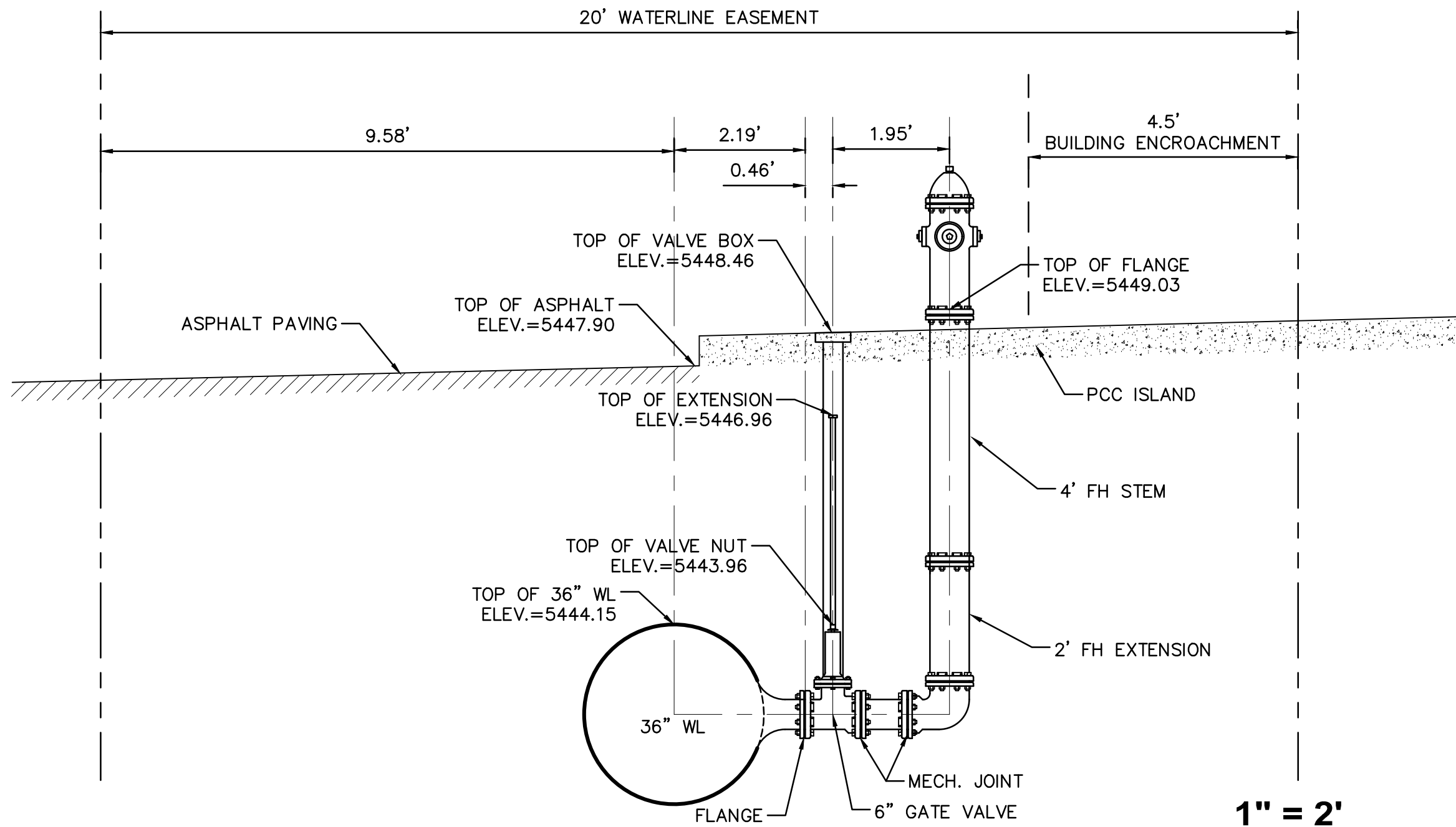


PHOTO #3



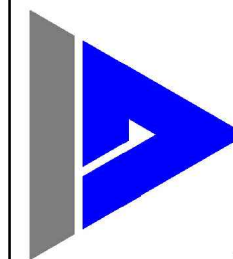
PHOTO #4

128 Monroe St. N.E. * Albuquerque, NM 87108 * (505) 268-8828 * Fax: (505) 268-2632 * www.iacivil.com

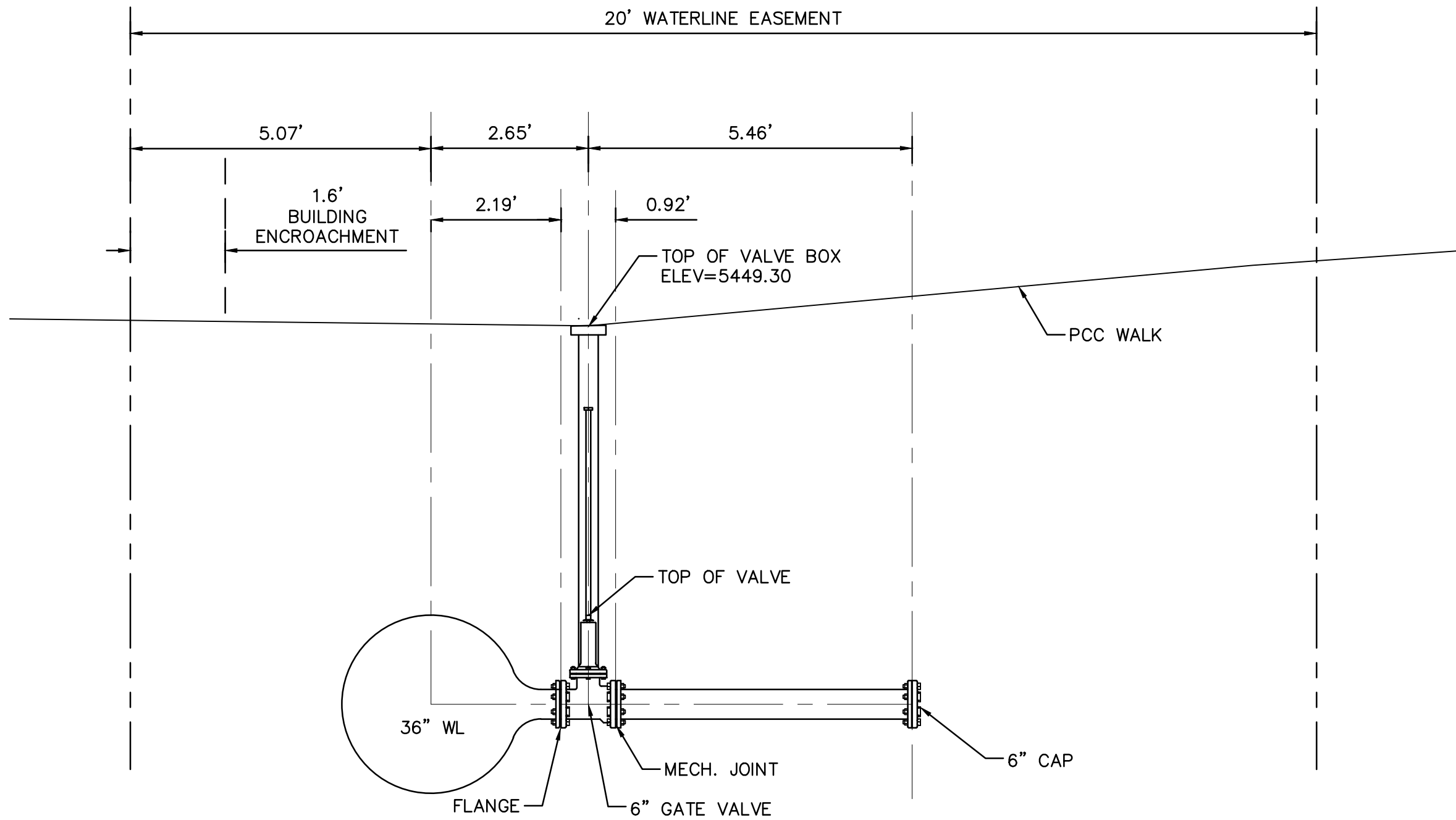


EXISTING FIRE HYDRANT NORTH WEST

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1" = 2'

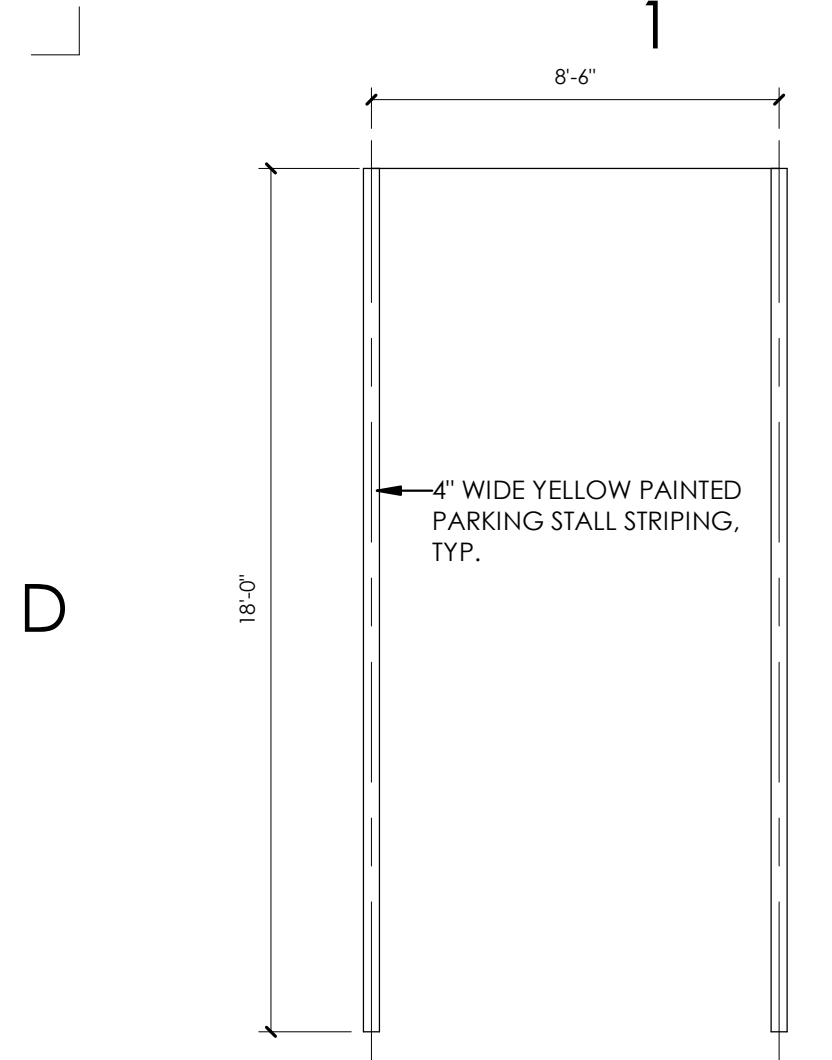
EXISTING WATERLINE STUB SOUTHEAST

Isaacson & Arfman, Inc.
EST 1980
 Civil Engineering Consultants

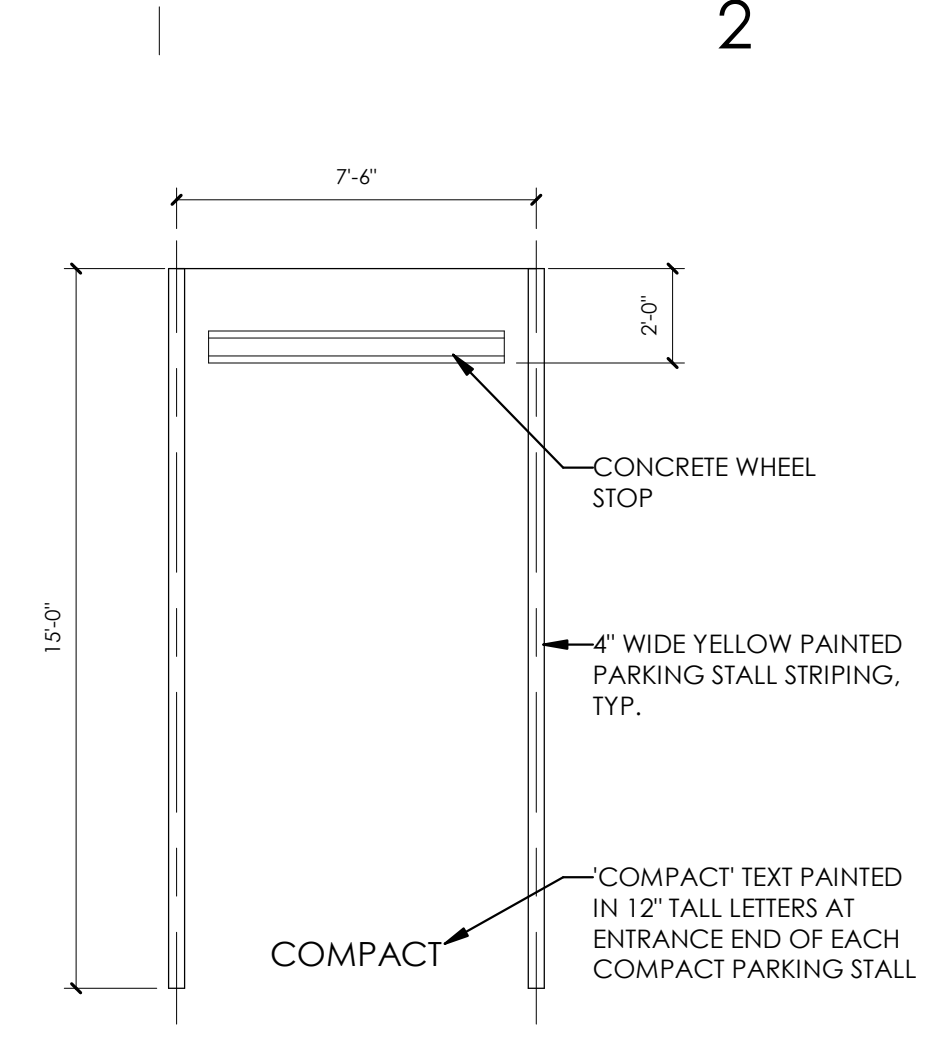


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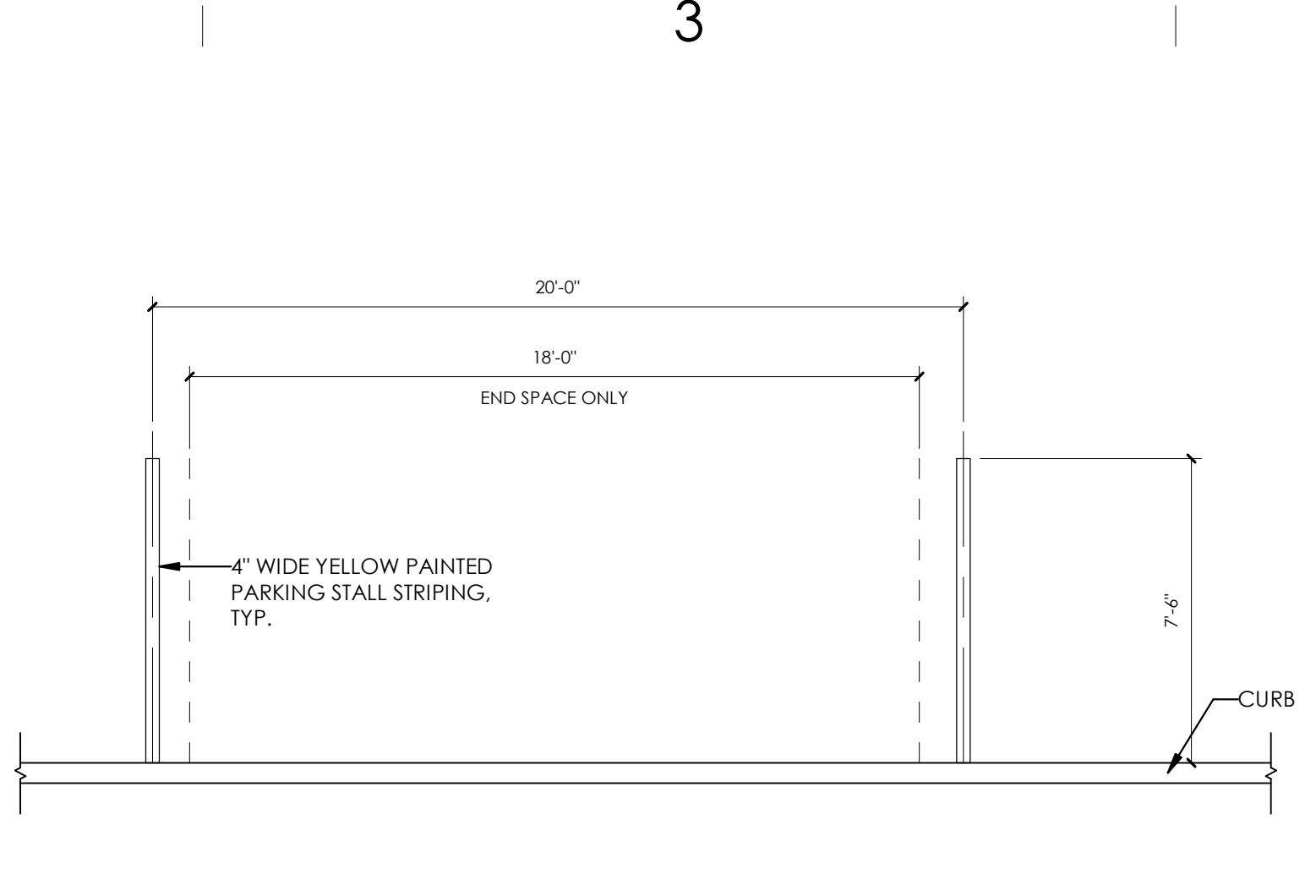
4/14/2021 2:28:34 PM
 \\ciccorps04c1\users\msommer\Documents\2020-64_MCRE Multifamily ABQ_ARCHITECTURAL SITE PLAN_v20.msommer\JRM\DR.rvt
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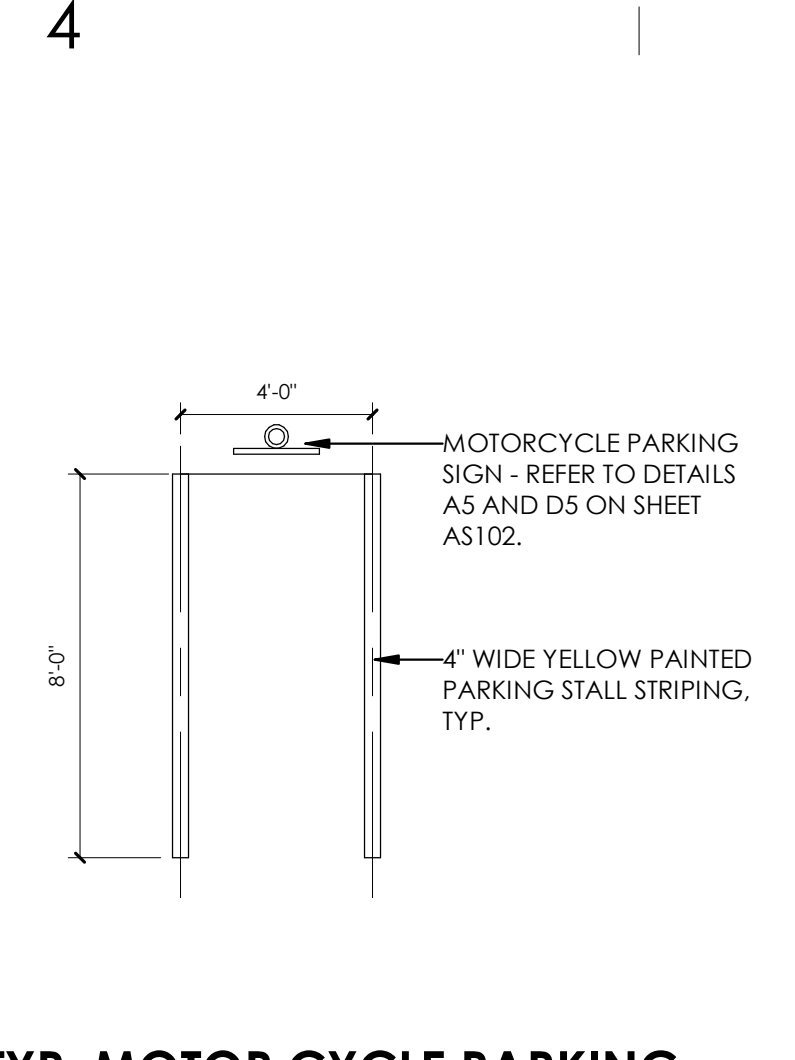
D1 SITE - TYP. PARKING DETAIL
1/4" = 1'-0"



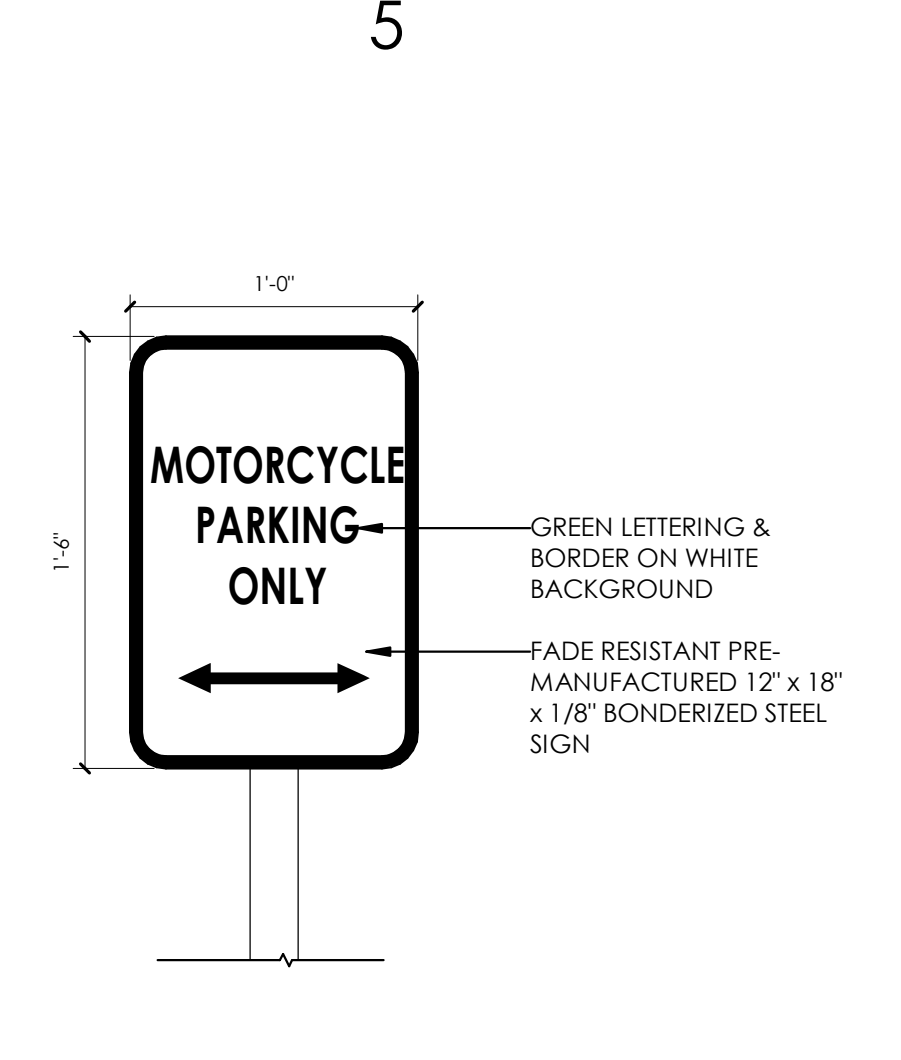
D2 SITE - TYP. COMPACT PARKING SPACE
1/4" = 1'-0"



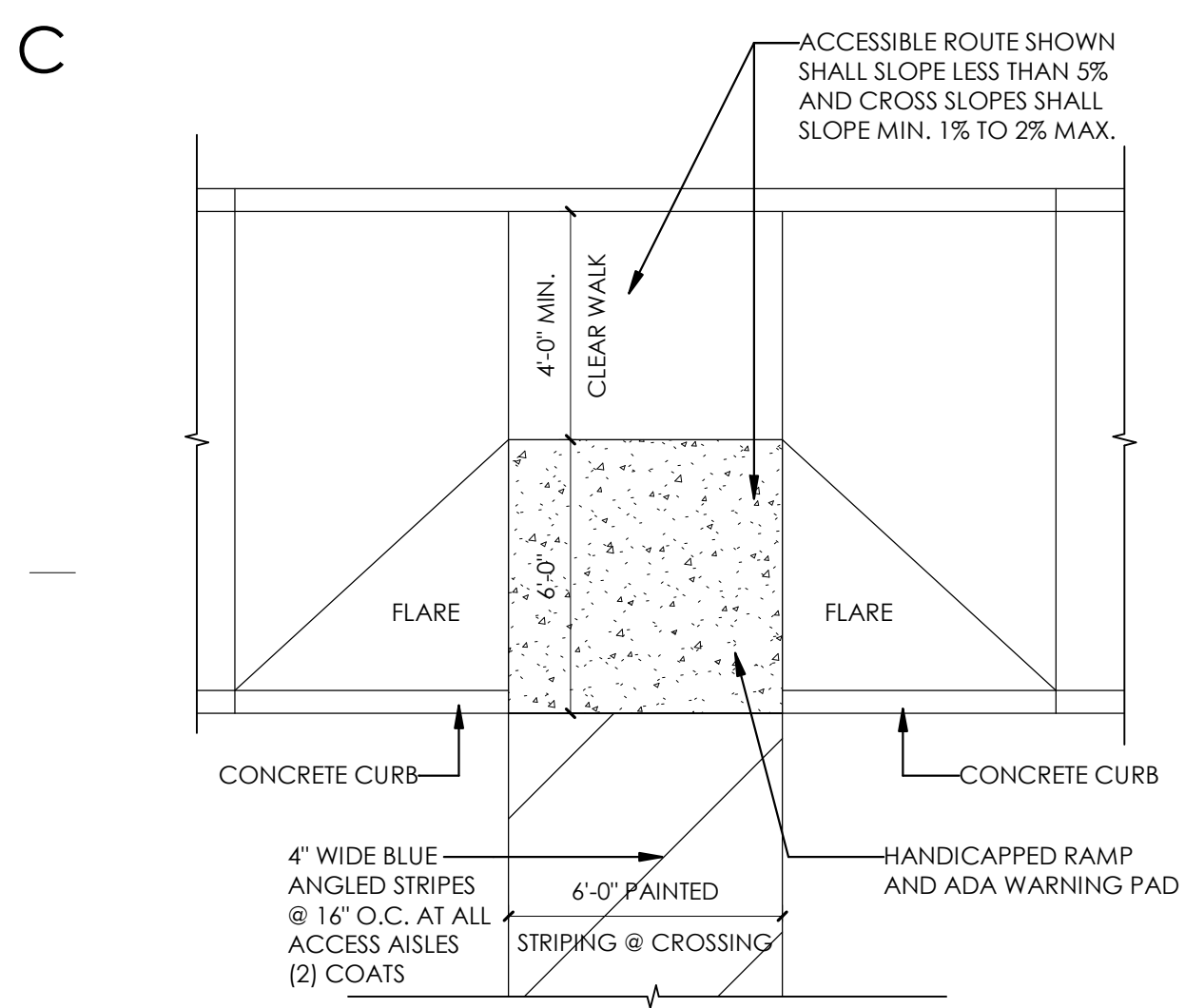
D3 SITE - TYP. STREET PARKING SPACE
1/4" = 1'-0"



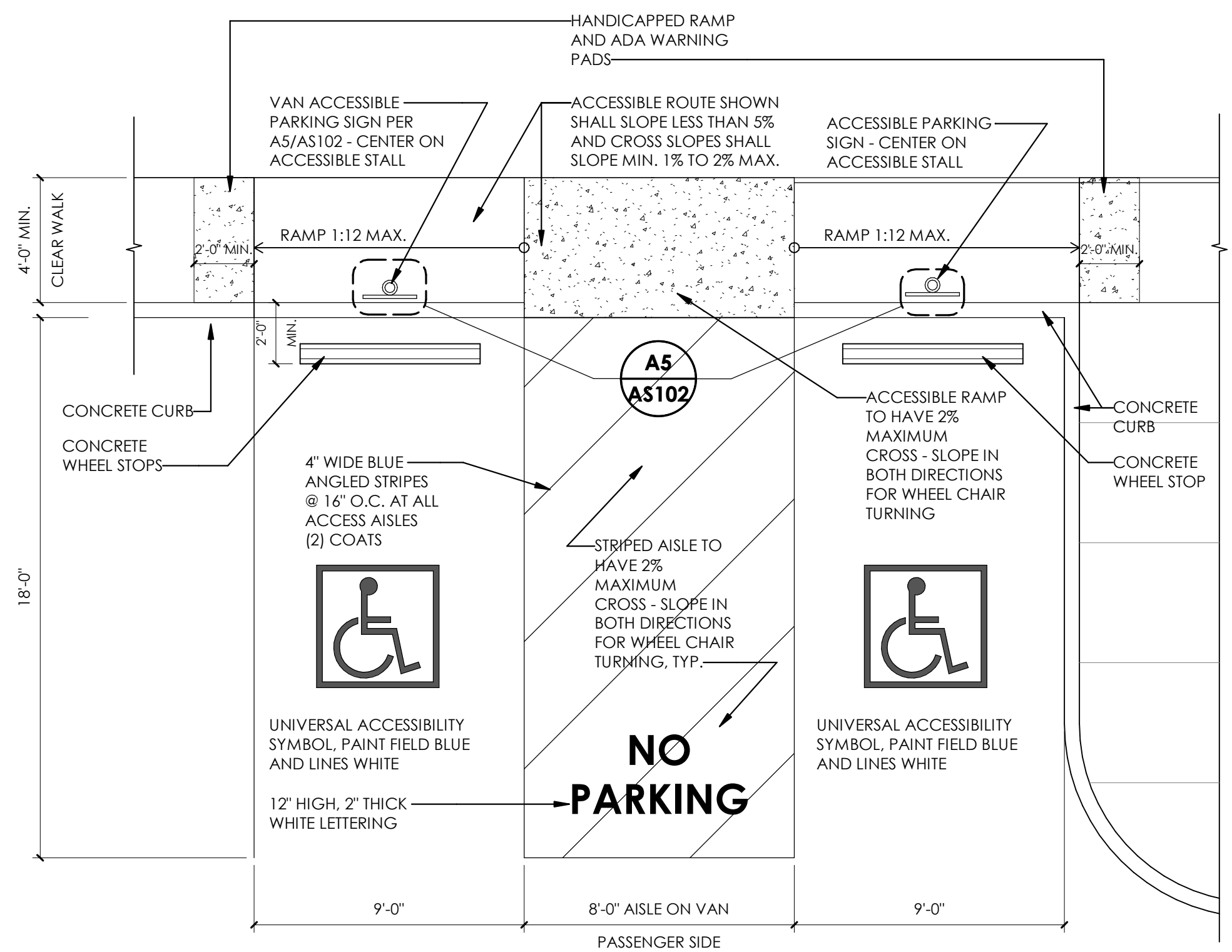
D4 SITE - TYP. MOTOR CYCLE PARKING STALL
1/4" = 1'-0"



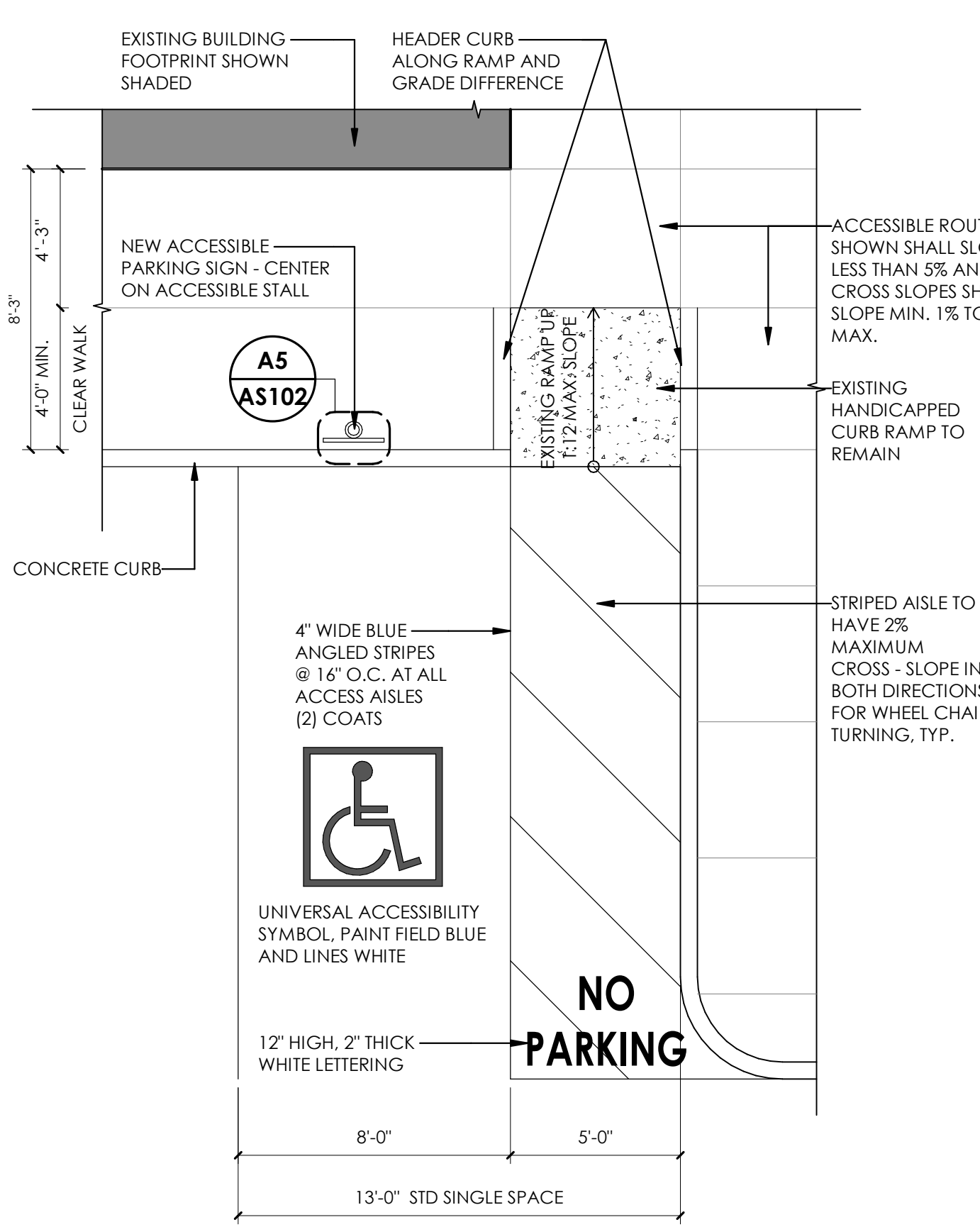
D5 MOTORCYCLE PARKING SIGNAGE
1 1/2" = 1'-0"



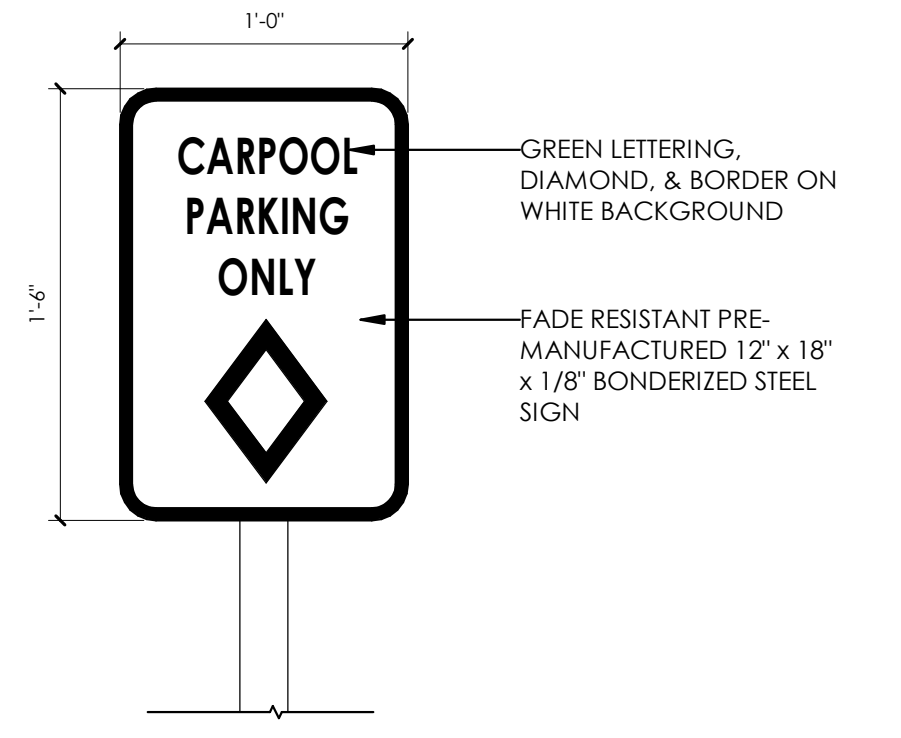
B1 SITE - TYP. FLARED ADA CURB CUT
1/4" = 1'-0"



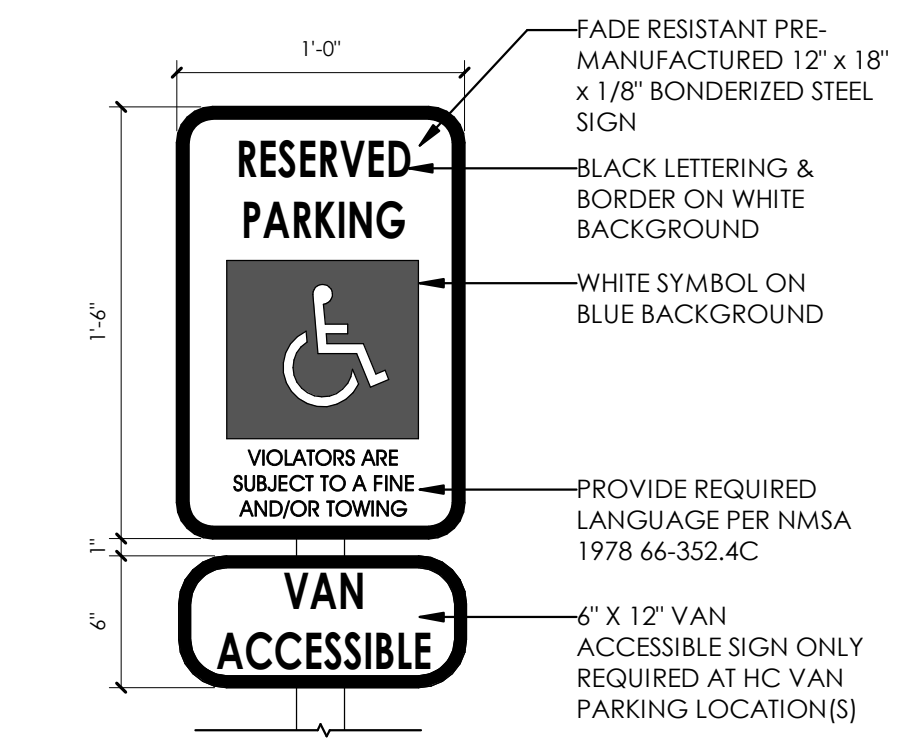
B2 SITE - ADA CURB RAMP LOCATION 1
1/4" = 1'-0"



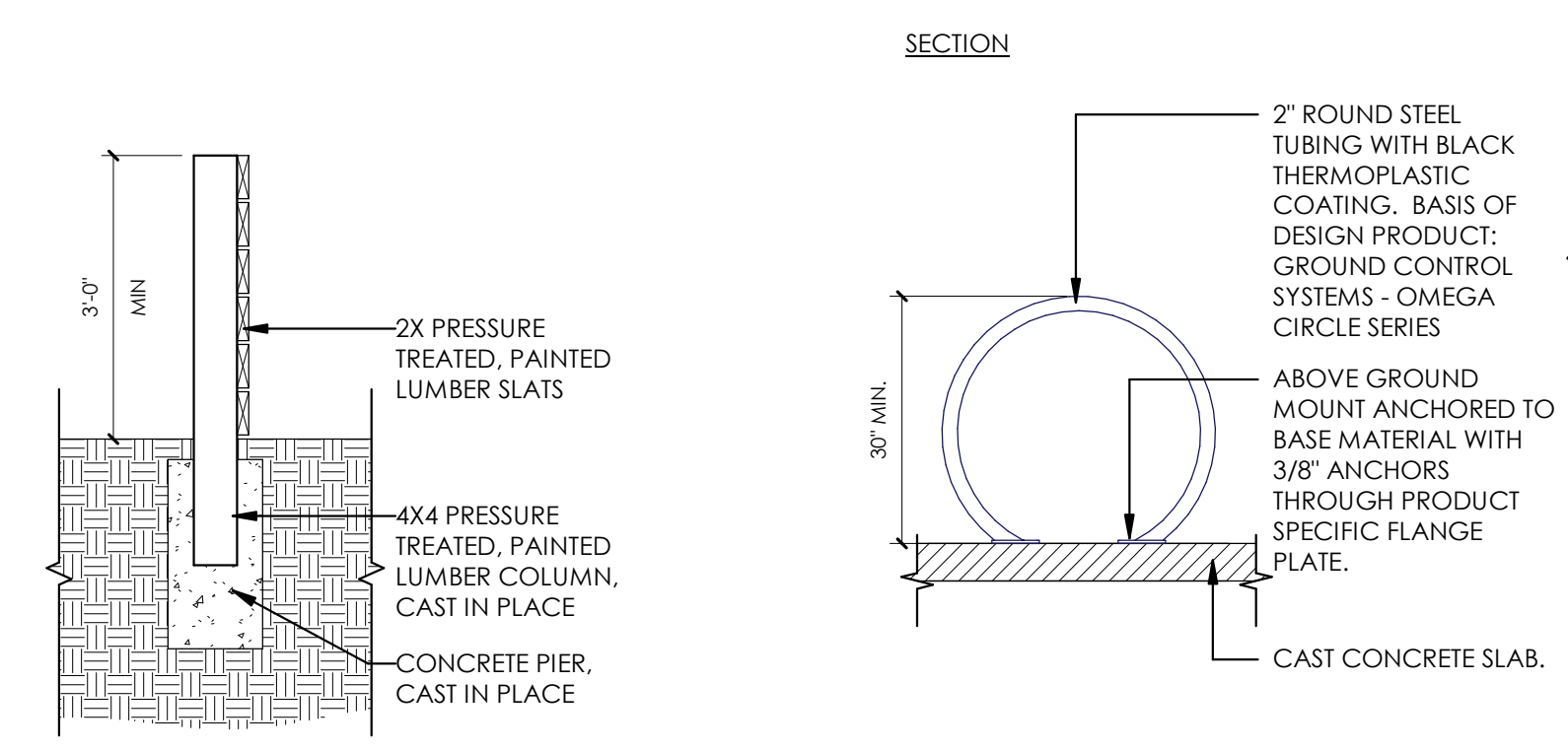
B4 SITE - ADA CURB RAMP LOCATION 2 - RE-STRIPE @ EXISTING RAMP
1/4" = 1'-0"



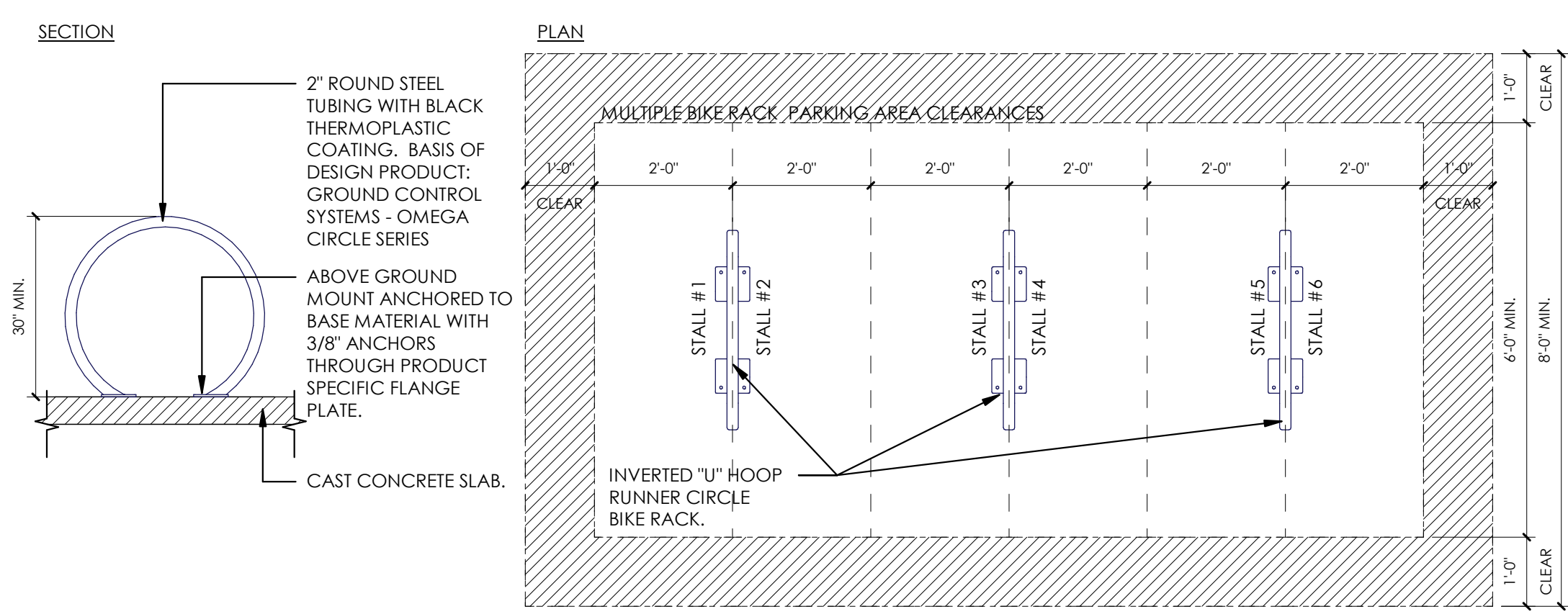
C5 CARPOOL PARKING SIGNAGE
1 1/2" = 1'-0"



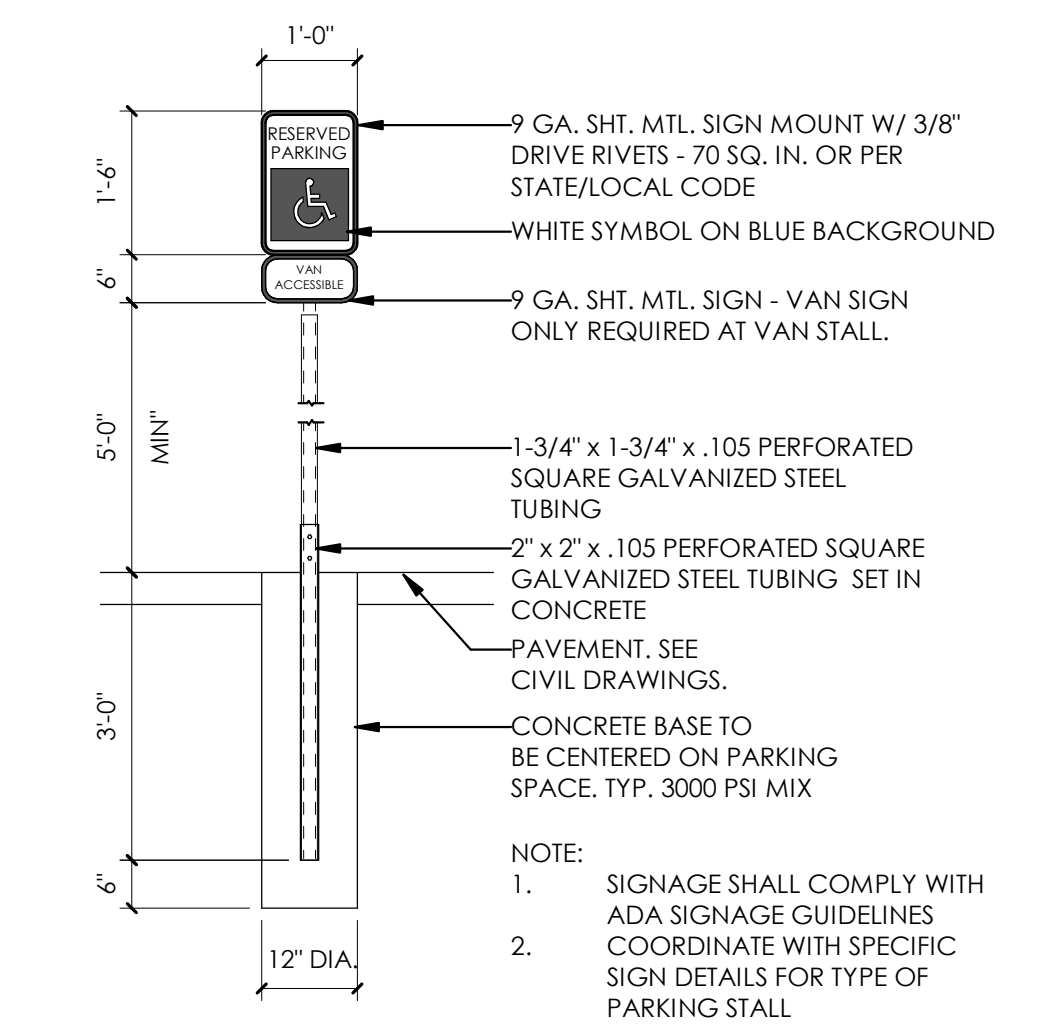
B5 ADA PARKING SIGNAGE
1 1/2" = 1'-0"



A2 SITE - SCREEN WALL DETAIL
1/2" = 1'-0"



A3 SITE - TYP. BIKE RACK
1/2" = 1'-0"



A5 ADA, MOTOR CYCLE, & CARPOOL PARKING SIGNAGE DETAIL
1/2" = 1'-0"

ajc architects
703 east 1700 south
salt lake city, ut 84105
ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION
RAMADA INN CONVERSION

25 HOTEL CIRCLE NE
ALBUQUERQUE, NM 87123

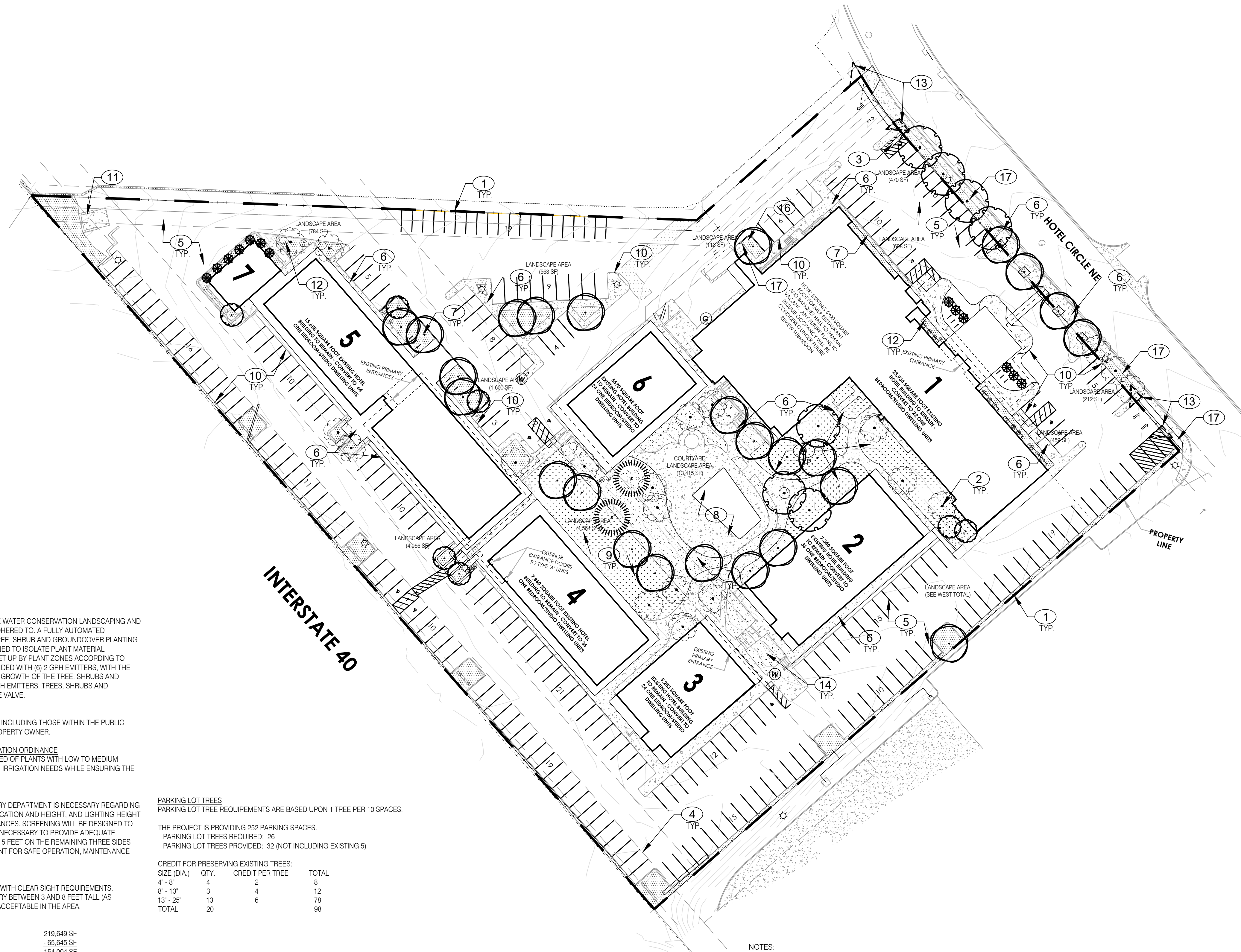
SHEET NAME:
SITE DETAILS

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 3/26/2021
ISSUE TYPE: DRB SUBMITTAL
DRAWN BY: MS/ZS/LT
CHECKED BY: K. RIGBY
PROJECT#: 2020-64

SHEET NUMBER:

AS102



PLANT LEGEND

| QTY. | SYMBOL | SCIENTIFIC NAME COMMON NAME (WATER USE) | SIZE | INSTALLED SIZE MATURE SIZE |
|---|--------|--|----------|------------------------------------|
| TREES | | | | |
| EXISTING TREES TO REMAIN | | | | |
| 7 | | CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M) | 2.5' B&B | 8 HT. X 4 SPR. 15 HT. X 15 SPR. |
| 7 | | GLEDITSIA TRIACANTHOS IMPERIAL SKYLINE HONEYLOCUST (M+) | 2.5' B&B | 8 HT. X 4 SPR. 45 HT. X 35 SPR. |
| 13 | | JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+) | B&B | 6 HT. X 2 SPR. 12 HT. X 5 SPR. |
| 2 | | PINUS NIGRA AUSTRIAN PINE (M+) | B&B | 8 HT. X 4 SPR. 35 HT. X 25 SPR. |
| 25 | | ULMUS PROPINQUA 'SFS-BIEBERICH' EMERALD SUNSHINE ELM (M) | 2.5' B&B | 8 HT. X 4 SPR. 35 HT. X 25 SPR. |
| MULCHES AND BOULDERS | | | | |
| 17,485 SF | | 1" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL) | | |
| 10,539 SF | | EXISTING TURF TO REMAIN | | |
| KEY NOTES: | | | | |
| 1. PROPERTY BOUNDARY | | | | |
| 2. EXISTING TREE TO REMAIN | | | | |
| 3. EXISTING MONUMENT SIGN | | | | |
| 4. EXISTING UTILITY EASEMENT | | | | |
| 5. EXISTING ASPHALT PAVING | | | | |
| 6. EXISTING CONCRETE WALK | | | | |
| 7. EXISTING LANDSCAPE AREA | | | | |
| 8. EXISTING FENCED POOL AND PATIO AREA | | | | |
| 9. EXISTING TURF AREA | | | | |
| 10. EXISTING CURB AND GUTTER | | | | |
| 11. EXISTING DUMPSTER ENCLOSURE | | | | |
| 12. EXISTING SHRUB TO REMAIN | | | | |
| 13. CLEAR SITE TRIANGLES | | | | |
| 14. SHADE TREES 25' O.C. ALONG WALKWAYS ON INTERIOR | | | | |
| 15. CONNECTION TO PUBLIC SIDEWALK TBD. | | | | |
| 16. NEW TREE ISLAND | | | | |
| 17. NEW CONCRETE CURB AND WALK | | | | |

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ACHIEVED TO A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

| | |
|----------------------------|-------------|
| TOTAL SITE AREA (5.04 AC): | 219,649 SF |
| BUILDING AREA: | - 85,645 SF |
| NET AREA: | 134,004 SF |

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 23,101 SF
PROVIDED LANDSCAPE AREA: 27,121 SF (17%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

| | |
|--|-----------------|
| REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE | 20,368 SF |
| PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE | 39,854 SF (96%) |
| REQUIRED GROUND-LEVEL PLANT COVERAGE | 5,092 SF |
| PROVIDED GROUND-LEVEL PLANT COVERAGE | 10,539 SF (51%) |

LANDSCAPE TURF
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

| | |
|---|-----------------|
| ALLOWABLE TURF | 2,310 SF |
| EXISTING TURF (NON CONFORMING SITE FEATURE) | 10,539 SF (46%) |

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

THE PROJECT IS PROVIDING 252 PARKING SPACES.

| | |
|--------------------------|---------------|
| TOTAL PARKING LOT AREA: | 107,385 SF |
| REQUIRED LANDSCAPE AREA: | 16,108 SF |
| PROVIDED LANDSCAPE AREA: | 9,103 SF (9%) |

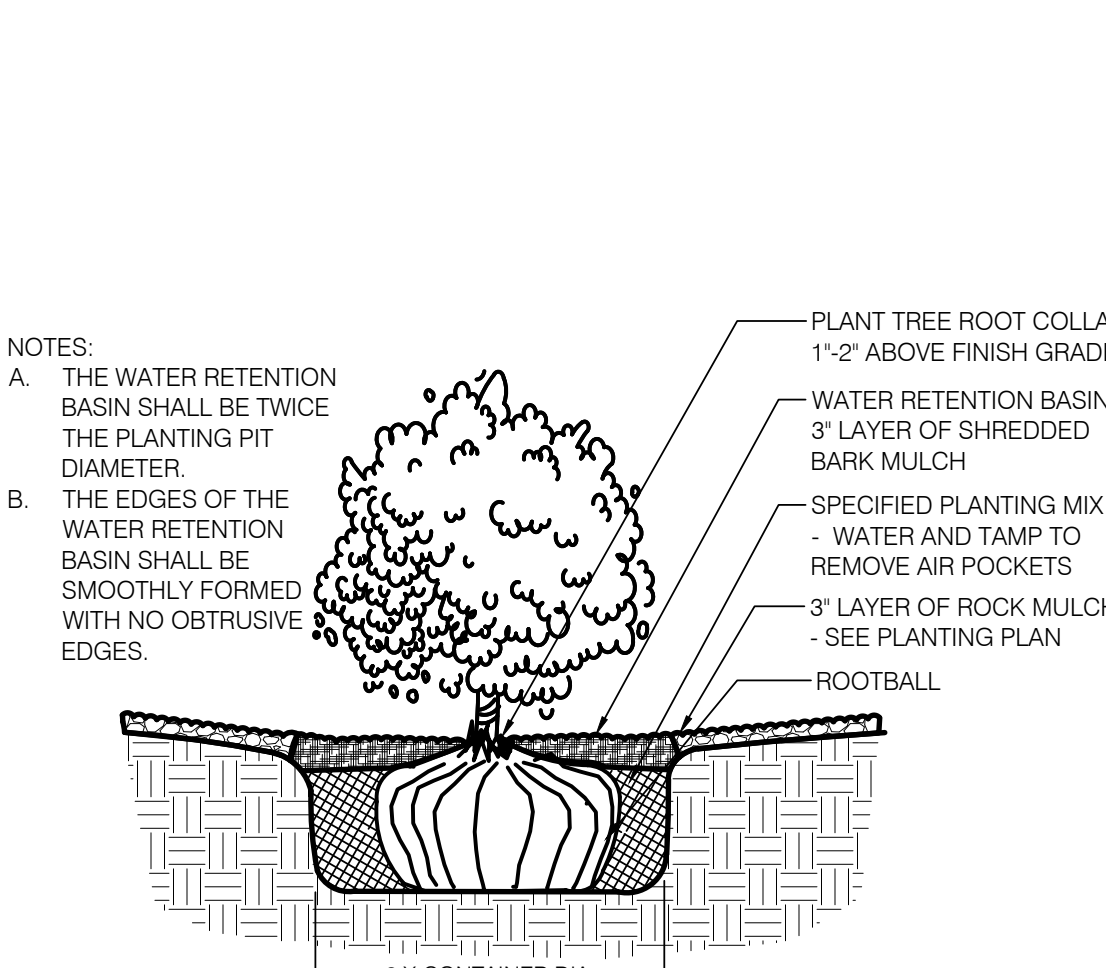
PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

THE PROJECT IS PROVIDING 252 PARKING SPACES.
 PARKING LOT TREES REQUIRED: 26
 PARKING LOT TREES PROVIDED: 32 (NOT INCLUDING EXISTING 5)

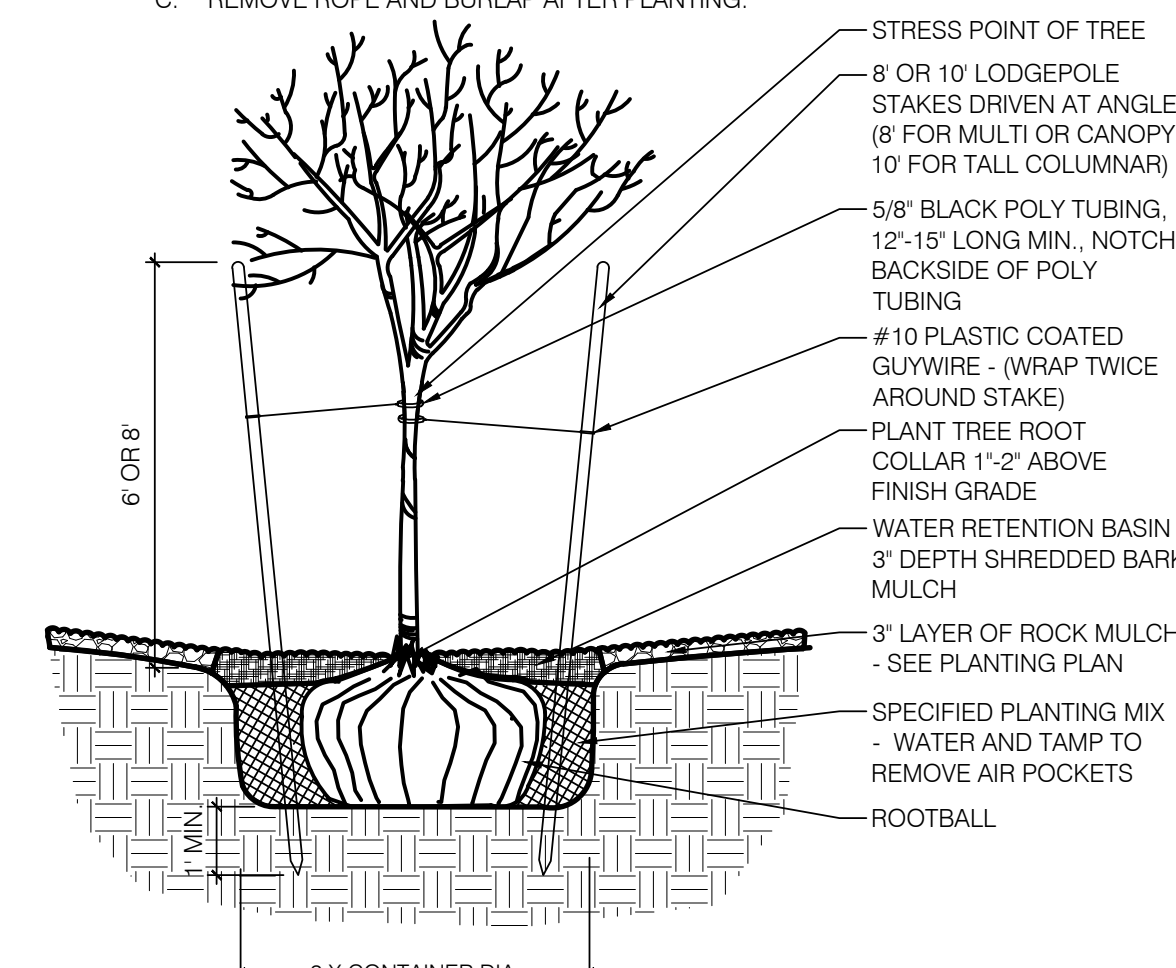
CREDIT FOR PRESERVING EXISTING TREES:

| SIZE (DIA.) | QTY. | CREDIT PER TREE | TOTAL |
|--------------|-----------|-----------------|-----------|
| 4" - 8" | 4 | 2 | 8 |
| 8" - 13" | 3 | 4 | 12 |
| 13" - 25" | 13 | 6 | 78 |
| TOTAL | 20 | | 98 |

- NOTES:**
- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 - B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 - C. REMOVE ROPE AND BURLAP AFTER PLANTING.



A SHRUB PLANTING DETAIL
SCALE: N.T.S.



B TREE PLANTING DETAIL
SCALE: N.T.S.

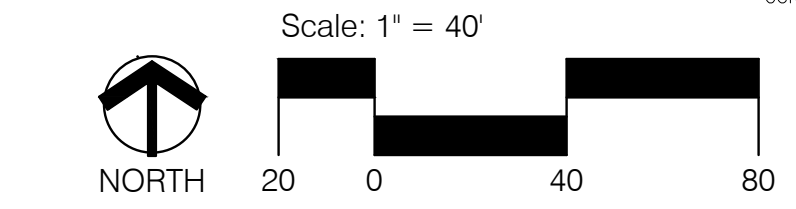


MCRE MULTI-FAMILY CONVERSION

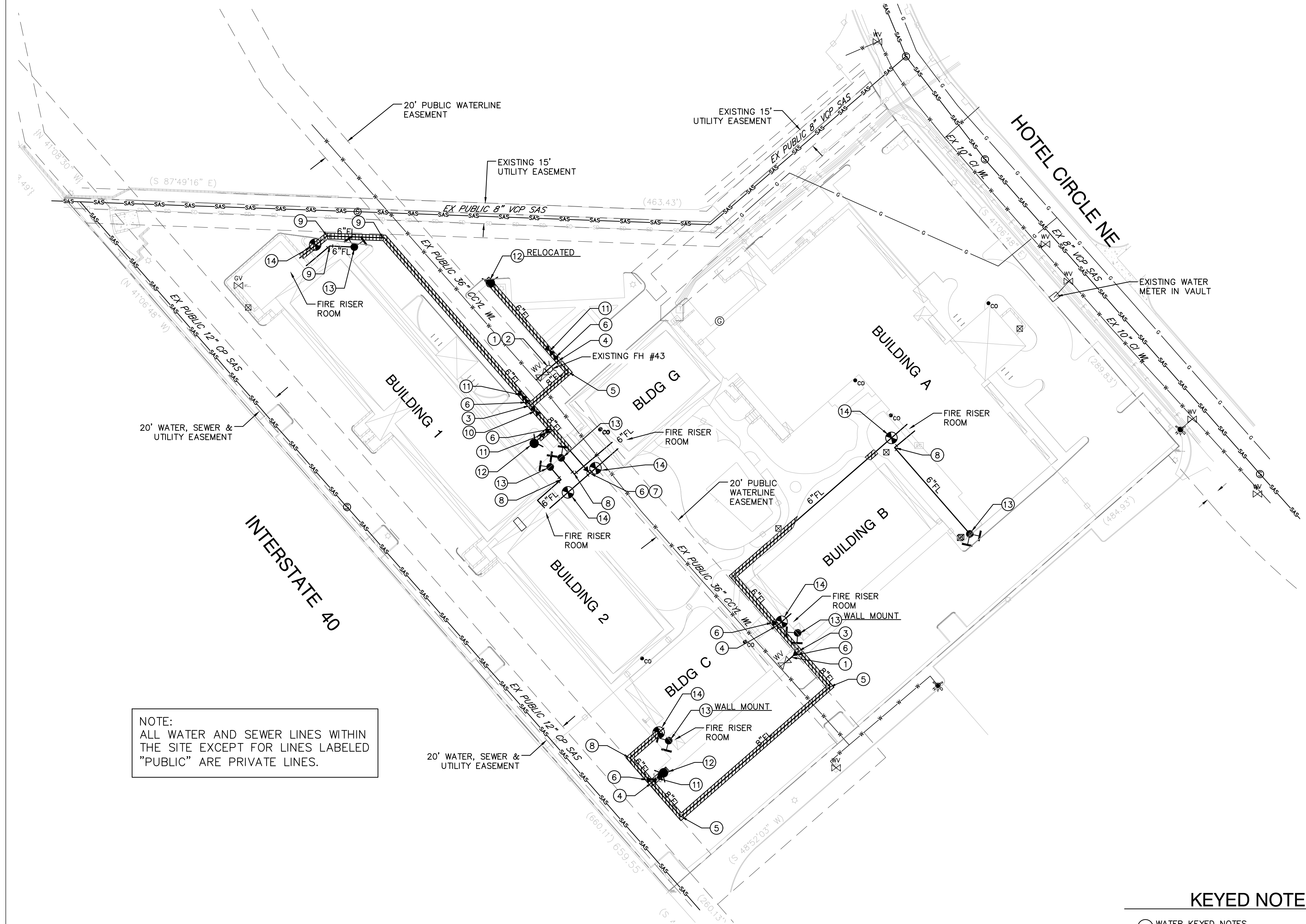
LANDSCAPE PLAN

Prepared for:
Mountain Classic Real Estate,
461 East 200 South Suite 102, Salt Lake
City, UT 84111-2138

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



April 14, 2021



NOTE:
ALL WATER AND SEWER LINES WITHIN THE SITE EXCEPT FOR LINES LABELED "PUBLIC" ARE PRIVATE LINES.

GENERAL NOTES

- SEE SHEET C-100 FOR ALL CIVIL GENERAL NOTES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

RESTRAINED JOINT CRITERIA

FOR WATERLINE FITTINGS

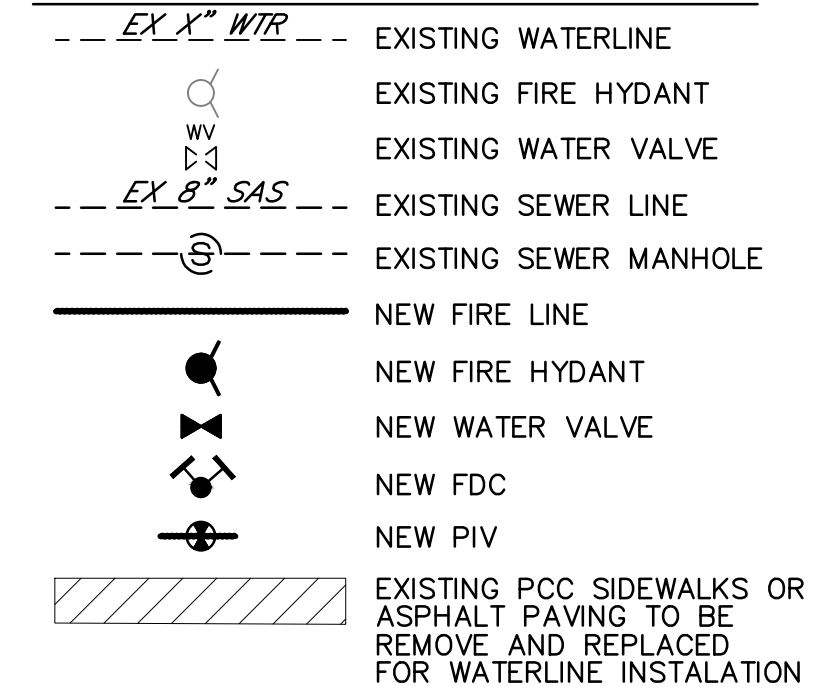
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.

TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

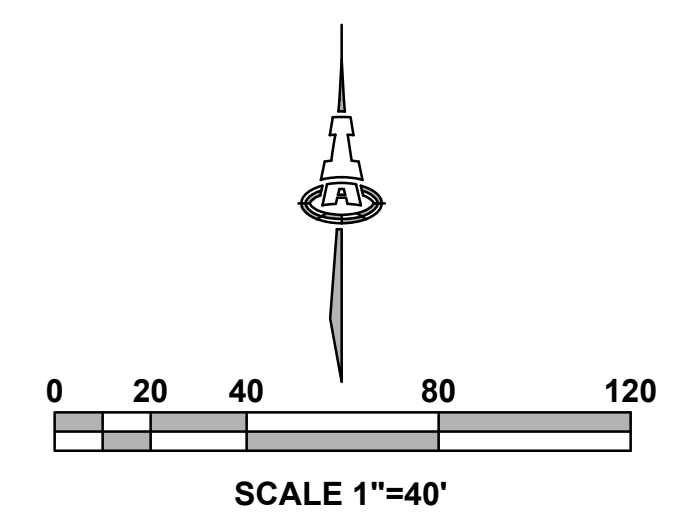
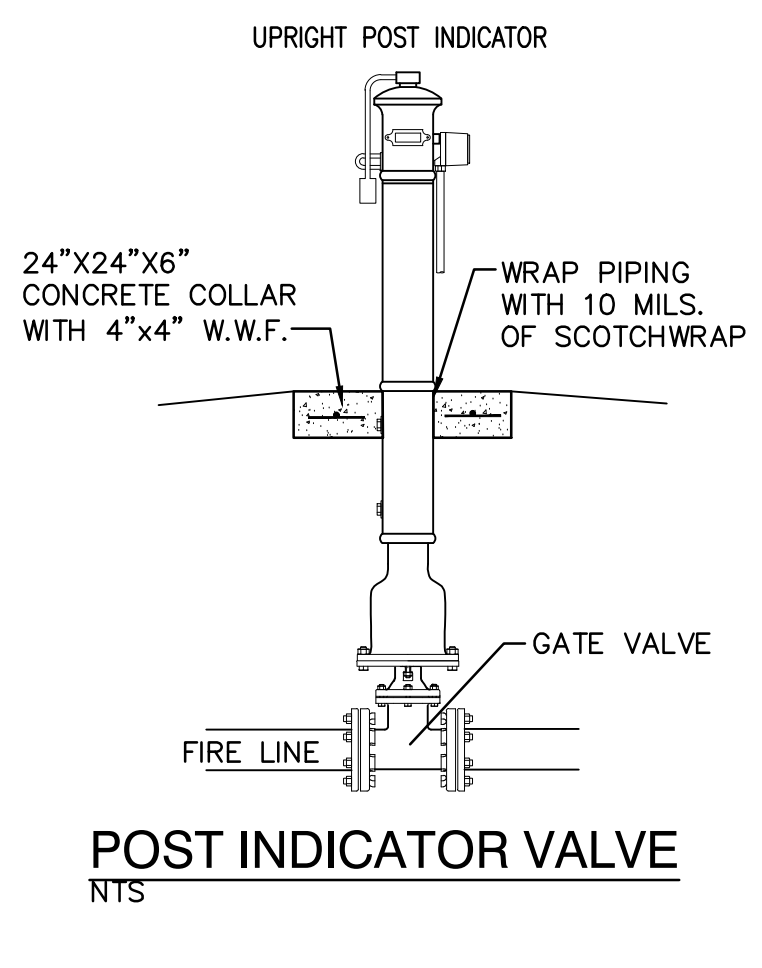
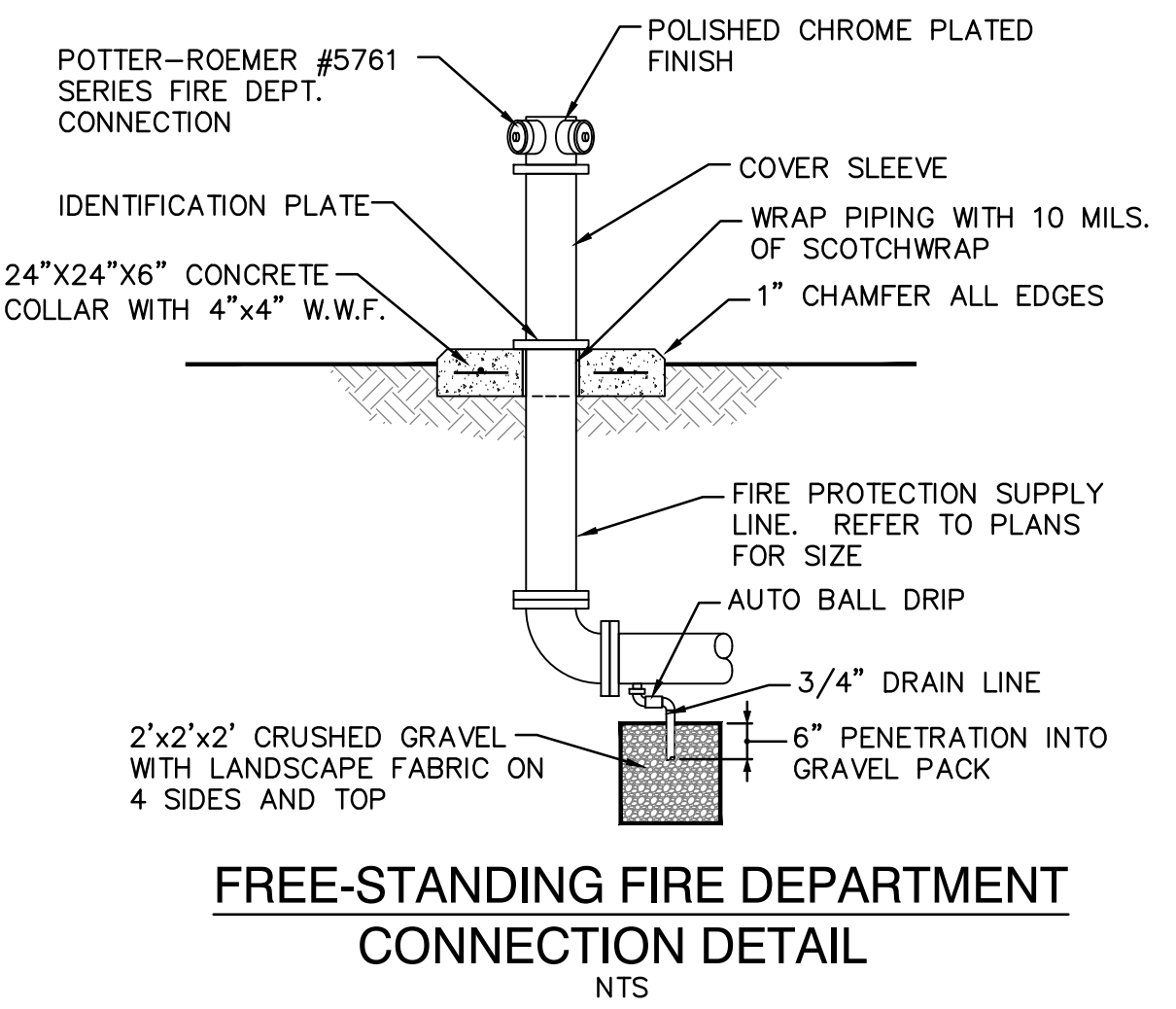
DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

LEGEND



KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 6" WATERLINES TO EXISTING 6" WATER STUBS PER ABCWUA STD DWG 2301.
 - REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
 - 8" TEE.
 - 8"x6" TEE.
 - 8" 90° BEND. (LT=27°)
 - 8"x6" REDUCER.
 - 6" TEE.
 - 6" 90° BEND. (LT=20°)
 - 6" 45° BEND. (LT=9°)
 - 8" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=60°)
 - 6" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=46°)
 - FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
 - FDC (FIRE DEPARTMENT CONNECTION).
 - PIV (POST INDICATOR VALVE).



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NOT FOR CONSTRUCTION

Engineer
RAMADA INN CONVERSION
 25 HOTEL CIRCLE NE
 ALBUQUERQUE, NM 87123

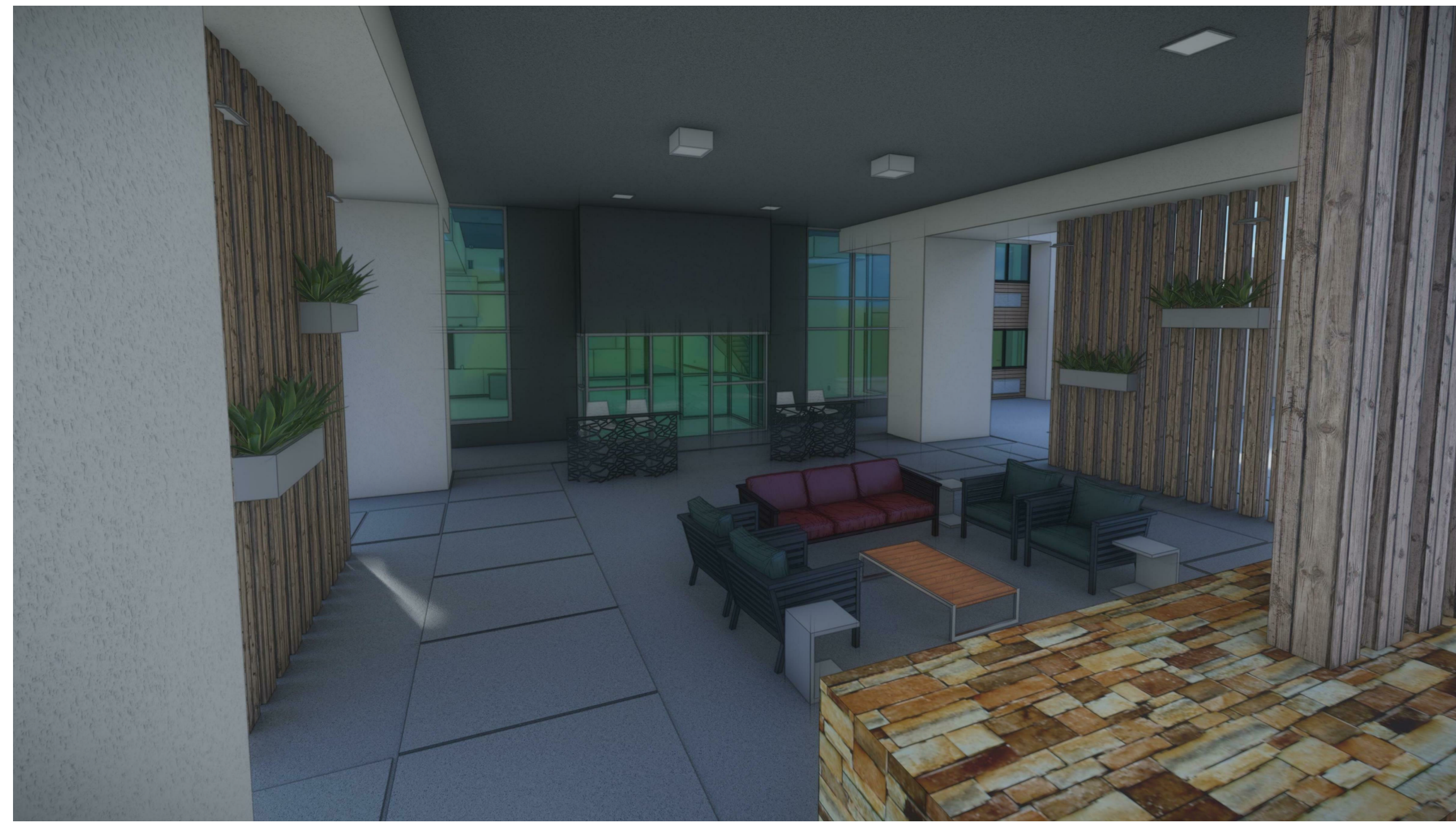
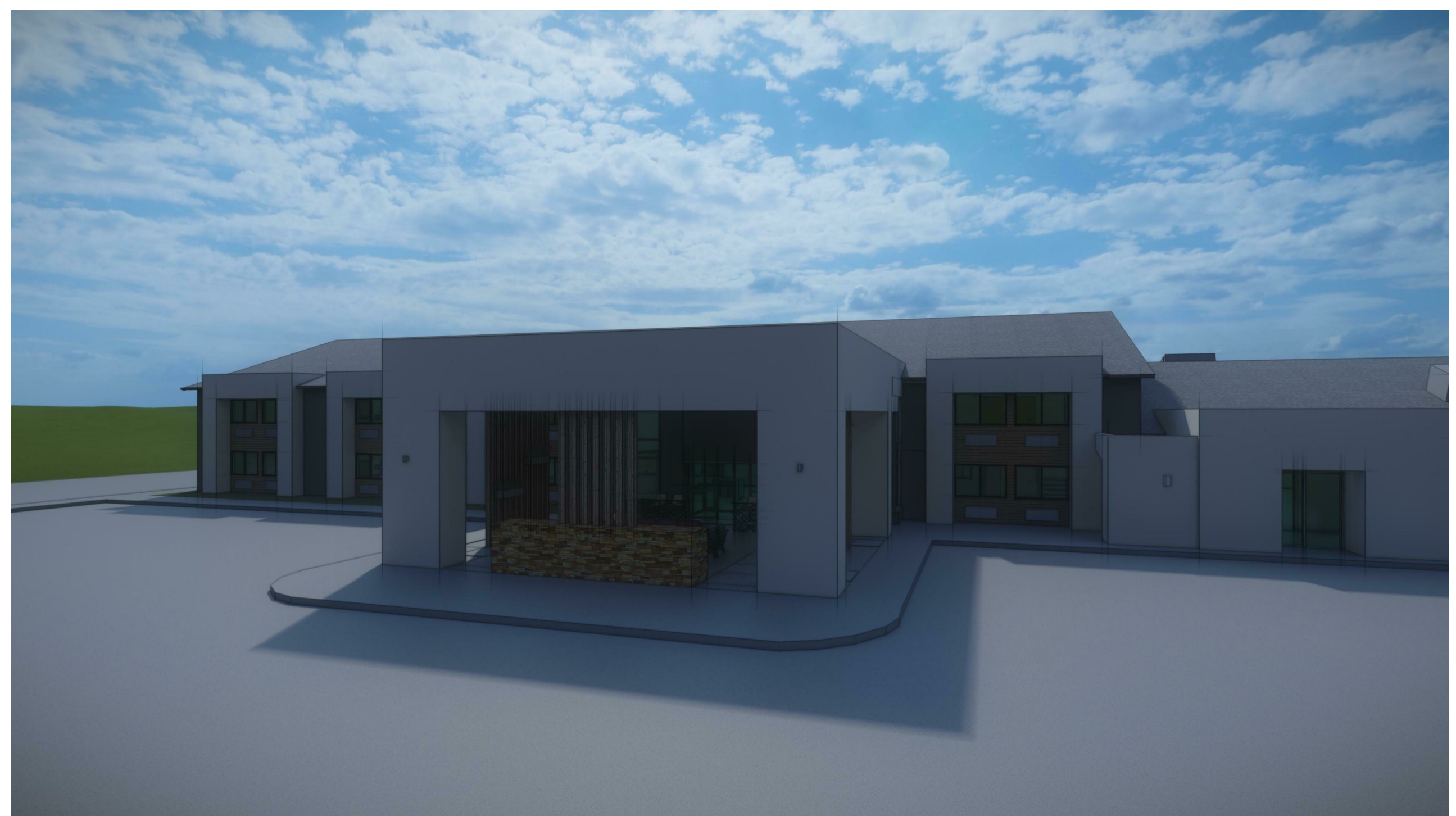
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|-----------------|--------------------|
| DESIGN | ISSUE: DEVELOPMENT |
| PROJECT NUMBER: | IA 2409 |
| FILE: | DEC |
| DRAWN BY: | FCA |
| CHECKED BY: | |
| DATE: | 02/19/2021 |


| No. | Date | Description |
|-----|------|-------------|
| | | |
| | | |
| | | |

SHEET TITLE
SITE UTILITY PLAN
 SHEET NUMBER
CU-101

3/25/2021 9:45:38 PM \\ajccorps04c1\users\msommer\Documents\2020-64_MCRE_A&Q_Building 1_v20_msommer\BMDr.rvt
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1 2 3 4 5



ajc architects 
 703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN
 CONVERSION**

25 HOTEL CIR NE
 ALBUQUERQUE, NM 87123

SHEET NAME:

**BUILDING 1
 RENDERINGS**

REVISIONS

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |

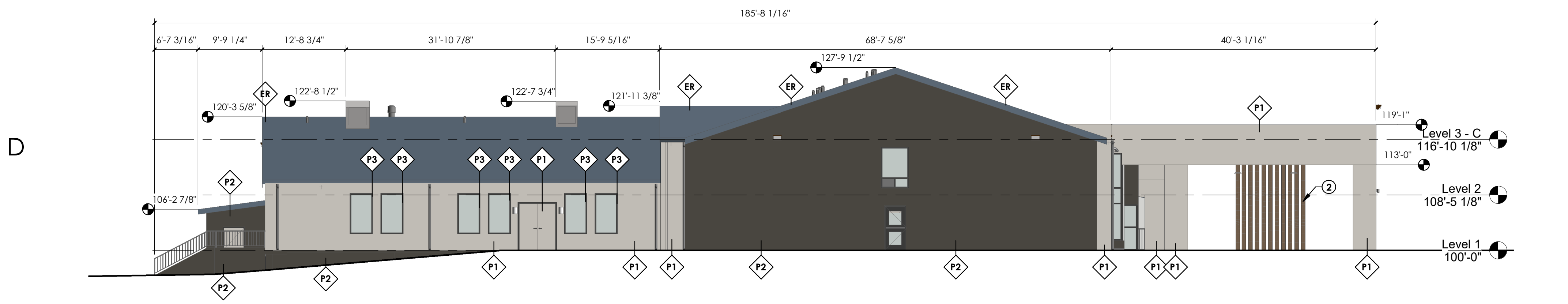
ISSUE DATE: 3/26/2021
 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

SHEET NUMBER:

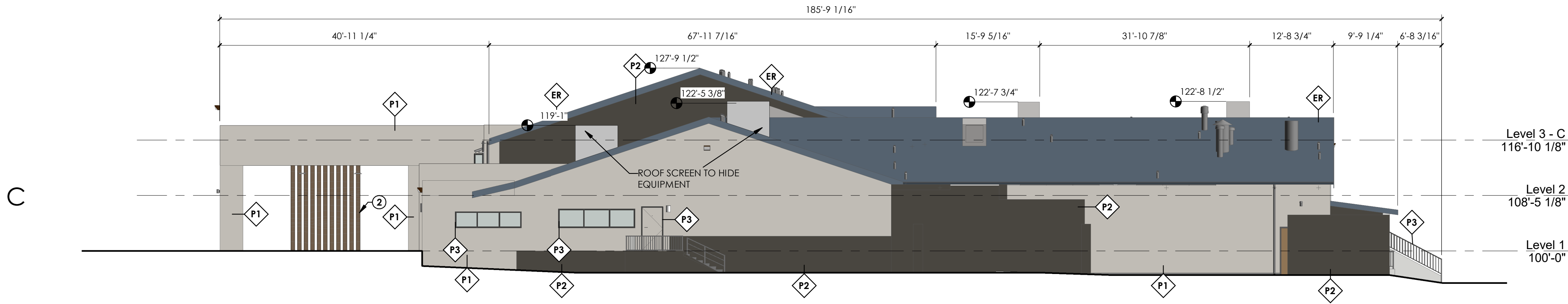
AE001

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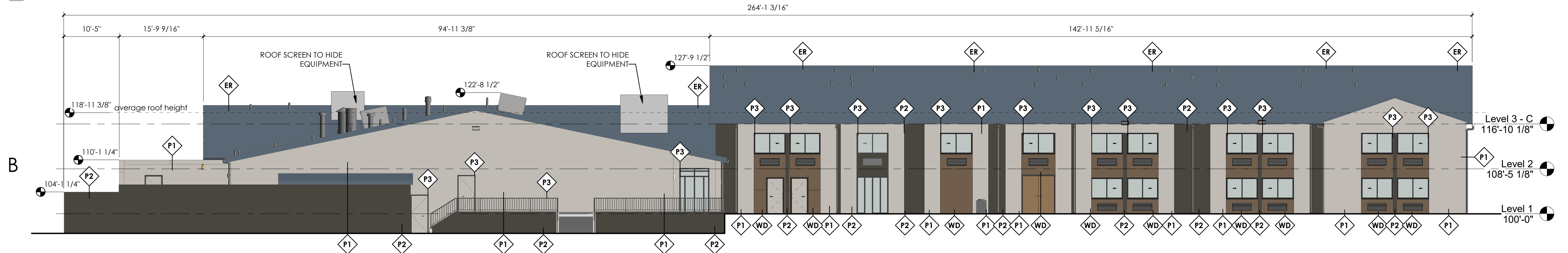
3/25/2021 5:09:19 PM \\ajccorps04c1\users\msommer\Documents\2020-64\MCRE ABQ Building 1_v20_msommer\BMDR.rvt
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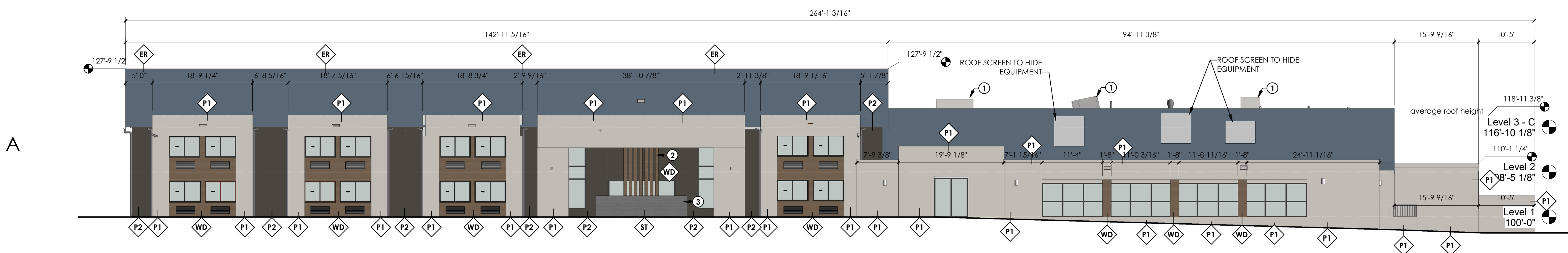
D1 BUILDING 1 - EAST ELEVATION
 3/32" = 1'-0"



C1 BUILDING 1 - WEST ELEVATION
 3/32" = 1'-0"



B1 BUILDING 1 - ELEVATION - SOUTH
 3/32" = 1'-0"



A1 BUILDING 1 - NORTH ELEVATION
 3/32" = 1'-0"

GENERAL NOTES:

DO NOT SCALE DRAWINGS.
 CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

ELEVATION FINISHES

| | |
|----------------------------------|----|
| NEW STUCCO FINISH - PAINTED | P1 |
| NEW STUCCO FINISH - PAINTED | P2 |
| NEW STUCCO/TRIM FINISH - PAINTED | P3 |
| NEW HORIZONTAL LAP SIDING | WD |
| STONE VENEER CLADDING | |
| EXISTING ROOF | ER |

KEYED NOTES:

- MECH UNIT NOT VISIBLE FROM STREET OR SIDEWALK.
- ENTRY WOOD SLATS
- STONE FINISHED STONE FIREPLACE WITH WOOD SLATS.

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703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN
 CONVERSION**

25 HOTEL CIR NE
 ALBUQUERQUE, NM 87123

SHEET NAME:

**BUILDING 1
 ELEVATIONS**

REVISIONS

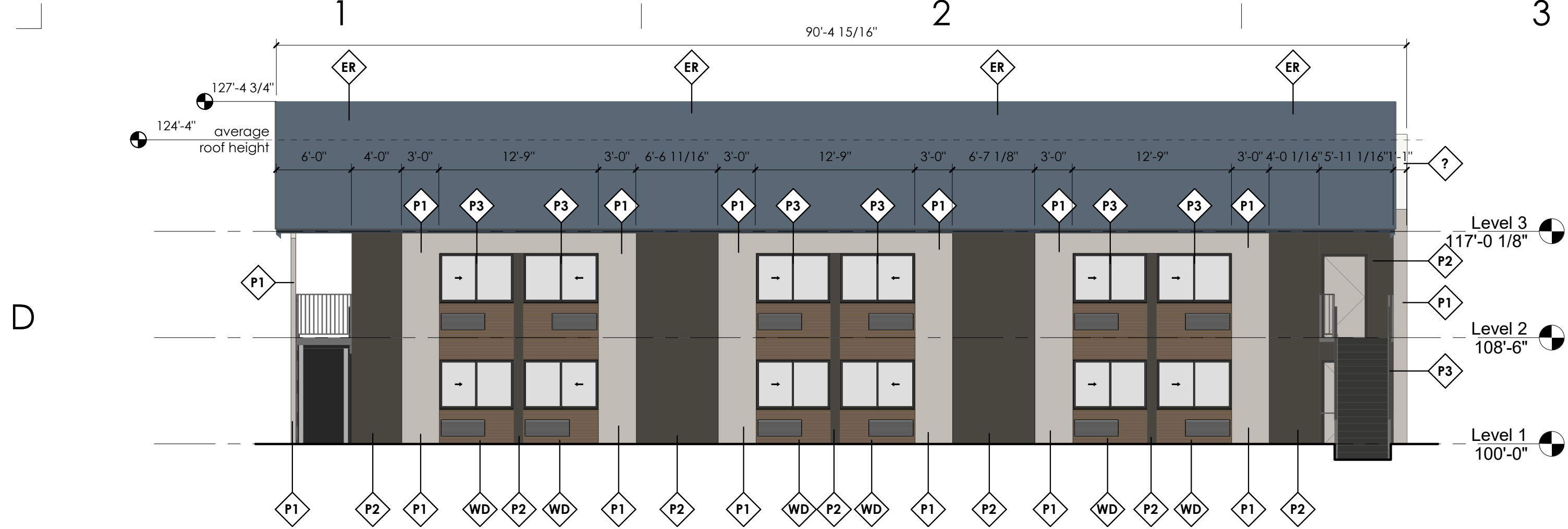
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ISSUE DATE: 3/26/2021
 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: ZS/LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

SHEET NUMBER:

AE201.1

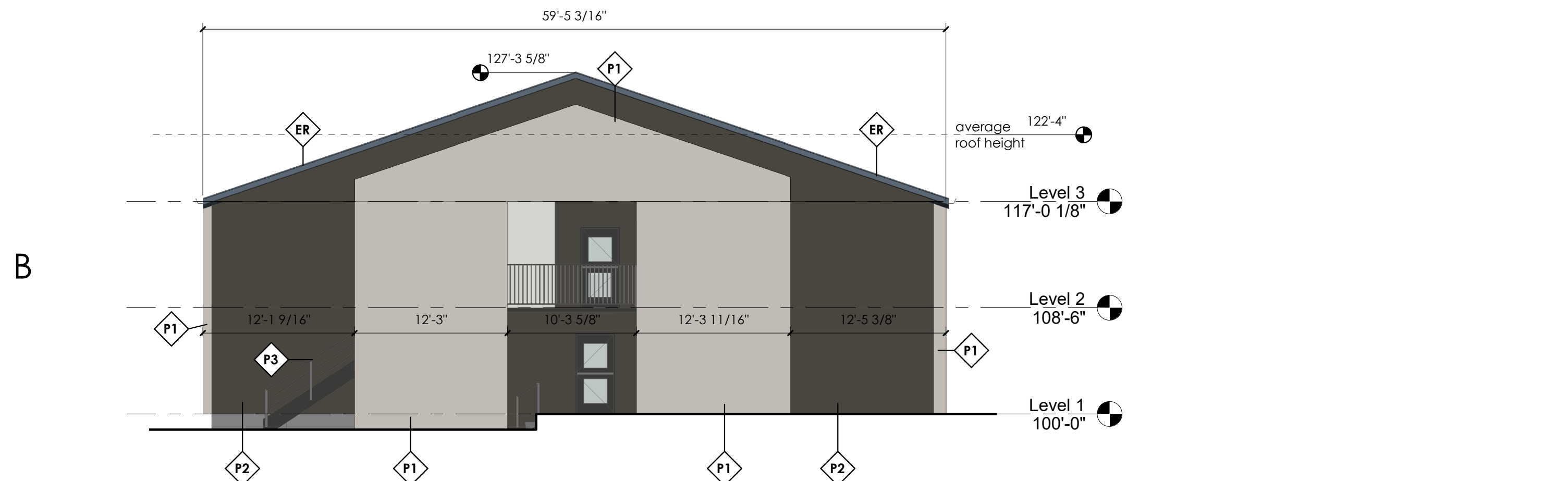
3/25/2021 5:49:16 PM \\ajccorps04c1\users\msommer\Documents\2020-64_MCRE_A&Q_Building 3_v20_msommer\BMDR.rvt
 ALL FINAL DESIGNS, DIMENSIONS AND FINISHES SHOWN IN THESE DRAWINGS ARE THE PROPERTY OF AJC ARCHITECTS AND SHOULD NOT BE REPRODUCED OR USED IN CONNECTION WITH THE PROJECT WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS. ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE DRAWINGS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE DRAWINGS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE DRAWINGS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE DRAWINGS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



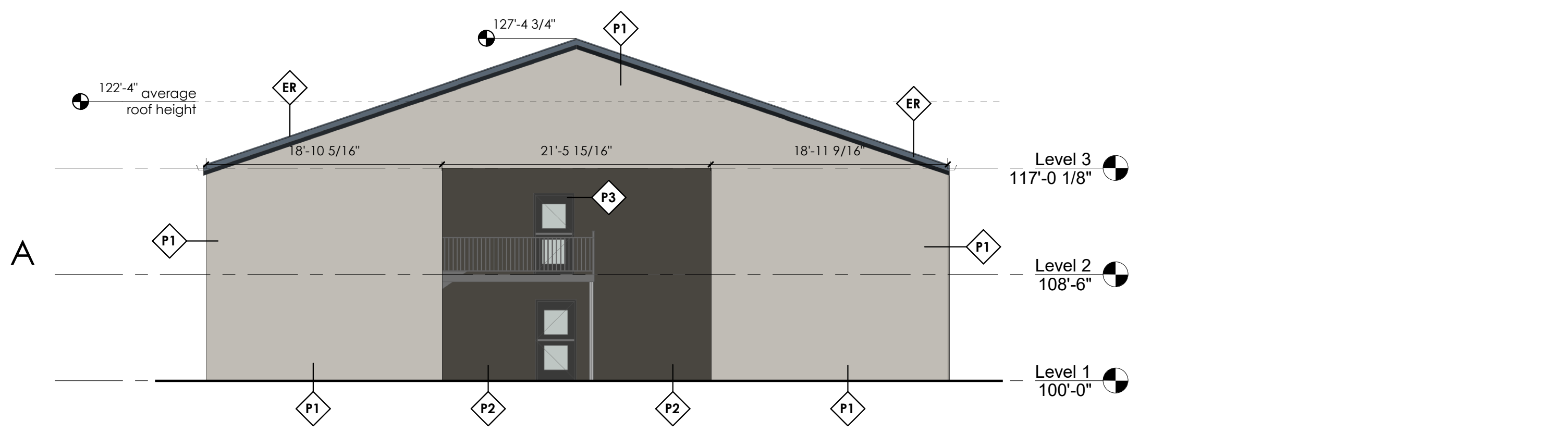
D1 BUILDING 3 - ELEVATION - WEST
 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"



C1 BUILDING 3 - ELEVATION EAST
 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"



B1 BUILDING 3 - ELEVATION - SOUTH
 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"



A1 BUILDING 3 - ELEVATION - NORTH
 1/8" = 1'-0"
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

DO NOT SCALE DRAWINGS.
 CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

ELEVATION FINISHES

| | |
|----------------------------------|----|
| NEW STUCCO FINISH - PAINTED | P1 |
| NEW STUCCO FINISH - PAINTED | P2 |
| NEW STUCCO/TRIM FINISH - PAINTED | P3 |
| NEW HORIZONTAL LAP SIDING | WD |
| STONE VENEER CLADDING | |
| EXISTING ROOF | ER |

KEYED NOTES:

ajc architects
 703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN
 CONVERSION**

25 HOTEL CIR NE
 ALBUQUERQUE, NM 87123

SHEET NAME:

**BUILDING 3
 ELEVATIONS**

| REVISIONS | MARK | DATE | DESCRIPTION |
|-----------|------|------|-------------|
| | | | |

ISSUE DATE: 3/26/2021
 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: ZS/LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

SHEET NUMBER:

AE201.3



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PROJECT DESCRIPTION

**RAMADA INN
CONVERSION**

**25 HOTEL CIRCLE NE
ALBUQUERQUE, NM 87123**

SHEET NAME:

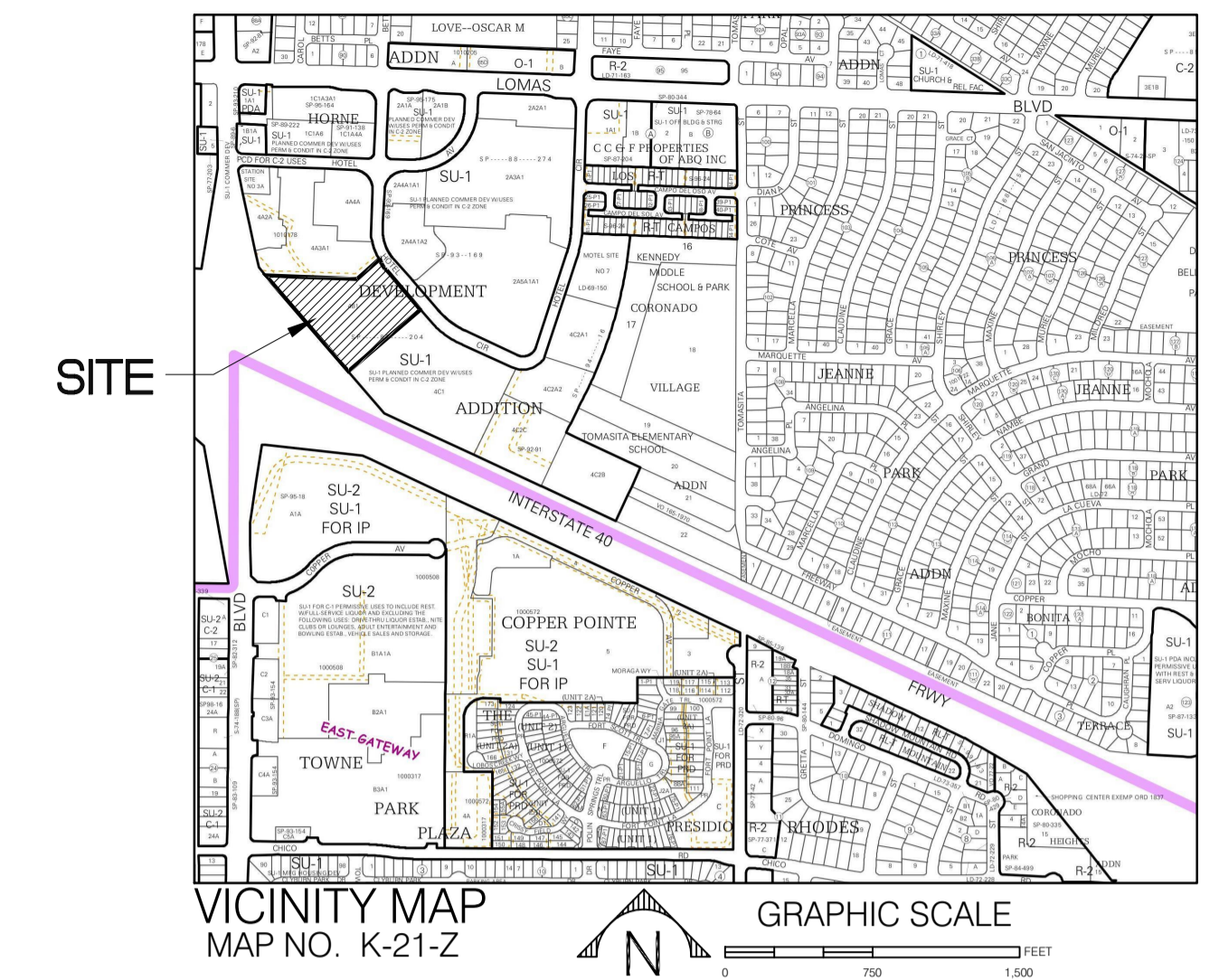
**FIRE HYDRANT
LOCATION
AND
ACCESS
PLAN**

| REVISIONS | MARK | DATE | DESCRIPTION |
|-----------|------|------|-------------|
| | | | |

ISSUE DATE: 1/14/2021
ISSUE TYPE: DRB SUBMITTAL
DRAWN BY: -
CHECKED BY: -
PROJECT#: 2020-64

SHEET NUMBER:

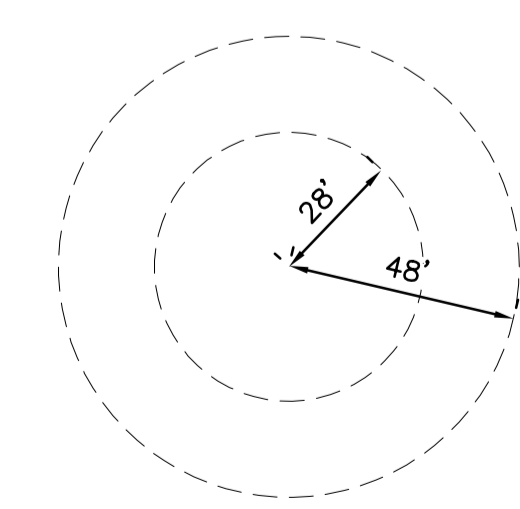
FIRE1



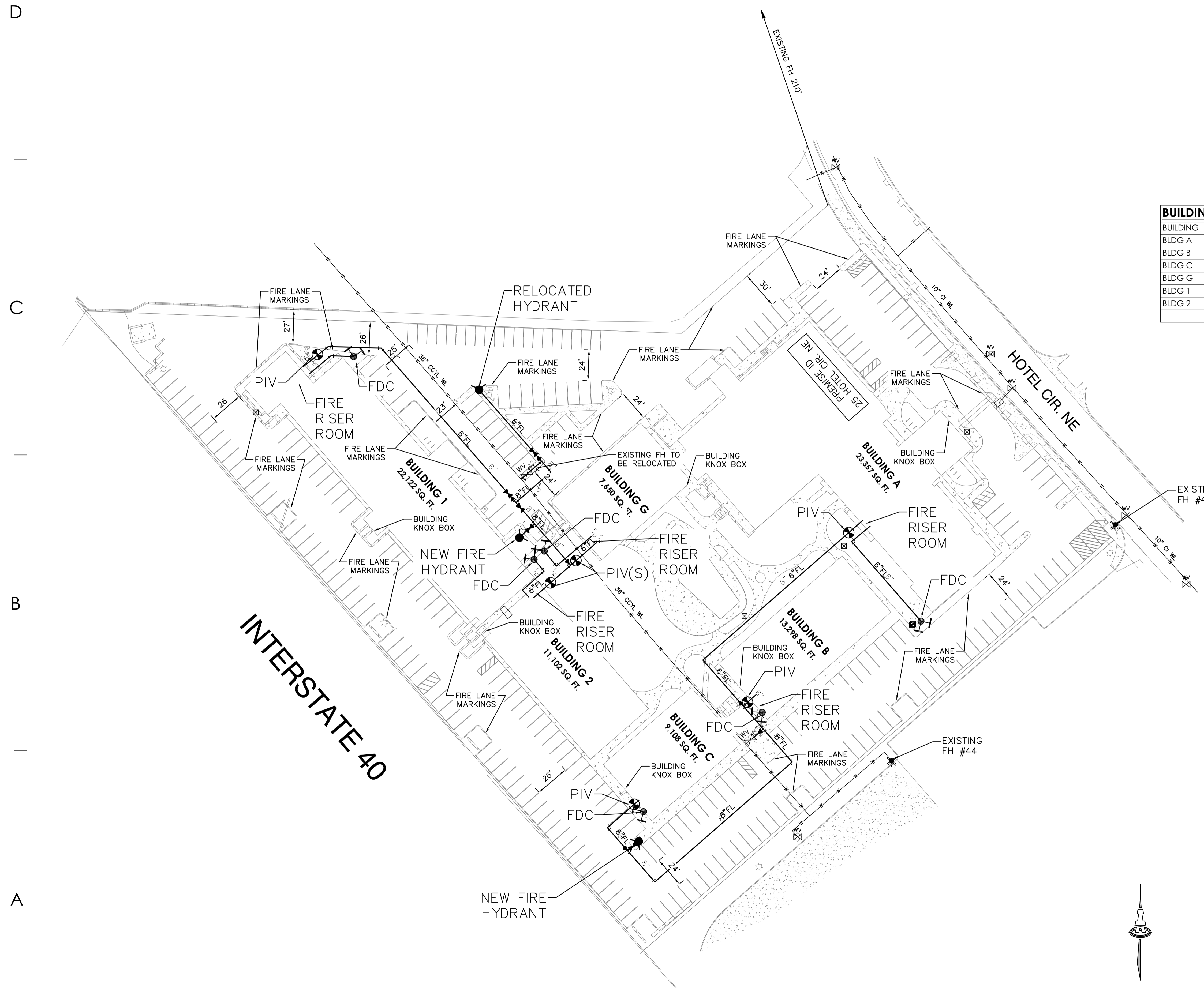
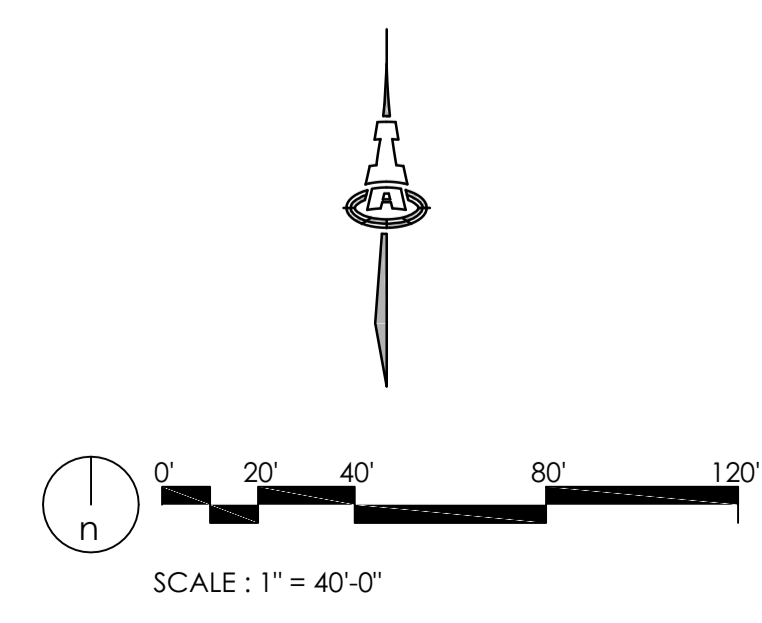
| BUILDING DATA | | | | | |
|---------------|----------|------------------|-----------|----------------------------------|--|
| BUILDING | TYPE | HEIGHT | SQR. FT. | USE | |
| BLDG A | TYPE V-B | 2-STORY 27'-8" | 29,357 SF | APARTMENT COMPLEX AND RESTAURANT | |
| BLDG B | TYPE V-B | 2-STORY 27'-2" | 13,298 SF | APARTMENT COMPLEX | |
| BLDG C | TYPE V-B | 2-STORY 27'-6" | 9,108 SF | APARTMENT COMPLEX | |
| BLDG G | TYPE V-B | 2-STORY 27'-0" | 7,650 SF | APARTMENT COMPLEX | |
| BLDG 1 | TYPE V-B | 2-STORY 26'-8" | 22,122 SF | APARTMENT COMPLEX | |
| BLDG 2 | TYPE V-B | 2-STORY 26'-8" | 11,102 SF | APARTMENT COMPLEX | |
| TOTAL | | | 92,637 SF | | |

FIRE ONE NOTES

1. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED.
2. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
3. THE MINIMUM DRIVE AISLE WIDTH SHALL BE 24' UNLESS OTHERWISE SPECIFIED.
4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
5. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
6. FIRE DEPARTMENT CONNECTION'S (FDC) SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
7. POST INDICATOR VALVES (PIV) SHALL BE PROVIDED PER NFPA 13.
8. ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAINS SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON PLANS.
9. A KNOX BOX SHALL BE PROVIDED AT THE ENTRANCE OF EACH PROPOSED GATE LOCATION (IF APPLICABLE).
10. WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWINGS SHALL BE ON SITE FOR INSPECTION.
11. FIRE FLOWS:
29,357 SQ FT / TYPE VB = 29,357 SQ FT = 4,750 GPM
4750/2 (SPRINKLERED) = 2375 GPM = 3 FIRE HYDRANTS
12. 5 EXISTING FIRE HYDRANTS ON OR NEAR SITE.



FIRE APPARATUS TURNING RADIUS
1" = 40'



A1 FIRE ONE PLAN
1" = 40'-0"

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 5-Mar-21

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: SI-2020-001468

DRB Application No.: PR-2020-004820

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

MCRE Multi-family Conversion

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 4-B-1, Horne Development Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|---------------------------------|----------------------------|------|---|---|---------------------|-------------|----------------------------|------|-----------------------|
| | | | | | | | Private | | City Cnst Engineer |
| | | | | | | | Inspector | P.E. | |
| | | 4' | ADA Accessible Way | Hotel Circle | SE Entrance | | / | / | / |
| | | 24' | PCC Drivepad Modifications (reduction from 39' wide drvpd.) | Hotel Circle | NW Entrance | | / | / | / |
| | | 6" | Public FH to Prv't Fire Line | Interior Site - 6" WL leg off of 36" WL | Exist FH Location | | / | / | / |
| | | 6" | Add Public Valve to Exist 6" Stub | Interior Site - 6" WL stub off of 36" WL | Exist. 6" stub - NE | | / | / | / |
| | | 4" | Re-striping for a 150 feet storage length plus transition length | Hotel Circle/Morris | Lomas Stop Bar | 200'± South | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |
| | | | | | | | / | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | | |
|------------------------------|-------------------------|------|---------------------|----------|------|---|----------------------------|--------------------------------|--------------------|
| | | | | | | | Private Inspector | P.E. | City Cnst Engineer |
| | | | | | | | / | / | / |
| / | / | / | | | | | | | |
| | | | | | | Approval of Creditable Items: | | Approval of Creditable Items: | |
| | | | | | | Impact Fee Administrator Signature Date | | City User Dept. Signature Date | |


NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

AGENT / OWNER

Fred C. Arfman, PE
NAME (print)
ISAACSON & ARFMAN, INC.
FIRM
 3/5/2021
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date
PARKS & RECREATION - date
TRANSPORTATION DEVELOPMENT - date
AMAFCA - date
UTILITY DEVELOPMENT - date
CODE ENFORCEMENT - date
CITY ENGINEER - date
_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|----------|------|-----------|-----------------|--------------|
| | | | | |
| | | | | |
| | | | | |