



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2020-004820

Application No. SI-2020-001468

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 1/13/21 and 2/3/21 HEARING DATE OF DEFERRAL: 2/24/21

SUBMITTAL

DESCRIPTION: Updated plan set and comment response memo.

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CONTACT NAME: Michael Vos, AICP or Jim Strozier, FAICP

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com or cp@consensusplanning.com



# Memorandum

**To:** Jolene Wolfley and DRB Members, City of Albuquerque

**From:** Michael Vos, AICP, Consensus Planning, Inc.

**Date:** February 19, 2021

**Re:** Hotel Circle Ramada Apartment Conversion DRB Comment Responses (PR-2020-004820)

This memo outlines the responses and changes made to the site plan for the proposed apartment conversion based on the comments received and reviewed at the January 13, 2021 DRB meeting. The comments are numbered and followed by the response in bold italics.

## Code Enforcement

1. Width of new sidewalks #5
  - a. ***The widths of existing and proposed sidewalks throughout the site have been dimensioned.***
2. Please demonstrate that 4 ft clear pathway is met on all sidewalks.
  - a. ***Where existing walkways were narrower an extension will be added (see Keynote #40).***

## Hydrology

1. An approved Grading and Drainage Plan is required before Hydrology can sign.
  - a. ***Hydrology verbally clarified this comment at the DRB hearing that a G&D was only required if the project met their thresholds due to the existing site conditions. The proposed conversion does not currently meet any of the thresholds, so a G&D is not required at this time.***

## Transportation Development

1. The Traffic Study needs to be approved prior to site plan approval. Any infrastructure recommendations from the approved study shall be incorporated onto an infrastructure list.
  - a. ***Lee Engineering is completing the Traffic Study and it is our understanding it will be submitted for staff review this week. No infrastructure recommendations are anticipated from this study due to the existing roadway capacity surrounding this development.***
2. Define what will be done with the existing gate at the southern entrance. Sufficient emergency access shall be provided; receive Fire Marshall approval.
  - a. ***The existing gate located at the back of sidewalk will be removed (Keynote #35). A Fire 1 plan is under review by the Fire Marshal.***
3. Make a distinction between new and existing parking lot infrastructure by use of a separate legend for new versus existing.
  - a. ***Most parking lot infrastructure is existing. New striping along the northern boundary***



***has been identified separately in the legend along with new concrete work. See Keynote #4 for the addition of new landscape islands.***

4. The minimum aisle width is 22 feet for an aisle that is not a main driving aisle. Label all driving aisle widths and show parking space dimensions. Call out curb and curb radii.
  - a. ***Aisle widths and radii have been dimensioned on the updated site plan.***
5. Label clear sight triangles on the site plan. Provide standard note that defines limits of landscaping height on both the site plan and landscaping plan.
  - a. ***Clear sight triangles have been identified with the required note added (Keynote #36)***
6. Show existing sidewalk width on Hotel Circle. The minimum sidewalk width required is 5 feet. Revise drive entrances to be ADA-compliant.
  - a. ***Drive entrances and sidewalk have been updated to be ADA-compliant and add width to meet the 5-foot requirement (see Keynotes #13 and #26).***
7. Provide sidewalk widths between buildings, even if these are existing.
  - a. ***Widths of walkways throughout the site have been dimensioned.***
8. Provide handicapped parking space calculations.
  - a. ***Accessible parking space calculations have been added.***
9. Label any electrical charging stations on the plan.
  - a. ***No EV charging stations are required or provided.***
10. Provide details for the new curb, curb ramp, and sidewalk, and indicate a maximum 2% slope on the sidewalk. Curb should separate parking from sidewalks and landscape islands. Also show doorways to establish adequacy of pedestrian paths and ADA access. With notes, verify that any existing walkways establish a 6-foot ADA pathway to building and to right-of-way.
  - a. ***See updated details on sheets AS102 and AS103, including sidewalk, curbs & gutter, and ramps. A 6-foot ADA pathway connecting the building to the public way is being created by this plan (see Keynote #30).***
11. Provide the latest language for the handicapped sign and provide separate "Motorcycle Parking Only" sign detail.
  - a. ***Updated and new sign details have been added to Sheet AS102.***
12. The van accessible aisle shall show "No Parking" at the back of the aisle.
  - a. ***Van accessible striping details, including the required "No Parking" text is shown on Sheet AS102.***
13. Bike rack shall follow dimensioning specified in the IDO.
  - a. ***Bike racks throughout the site have been spaced according to the IDO and DPM and detailed on sheet AS102.***

#### ABCWUA

1. Request an availability/serviceability statement online at the following link: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx). Requests shall include fire marshal requirements. An executed statement must be obtained prior to approval.
  - a. ***An availability request was made with this application but is on hold pending the approved Fire 1 plan.***
2. Currently the single account for the property is for commercial. Given that the use is changing from hotel to multi-family residential, the account shall be adjusted to reflect multi-family customer class. Additionally, a separate account (commercial class) will be required for the restaurant as each customer class needs its own account and water meter.

A new water and sanitary sewer service shall be installed for the restaurant. These can be accomplished by tapping permits.

The new service connections as well as establishment of new accounts is required prior to approval.

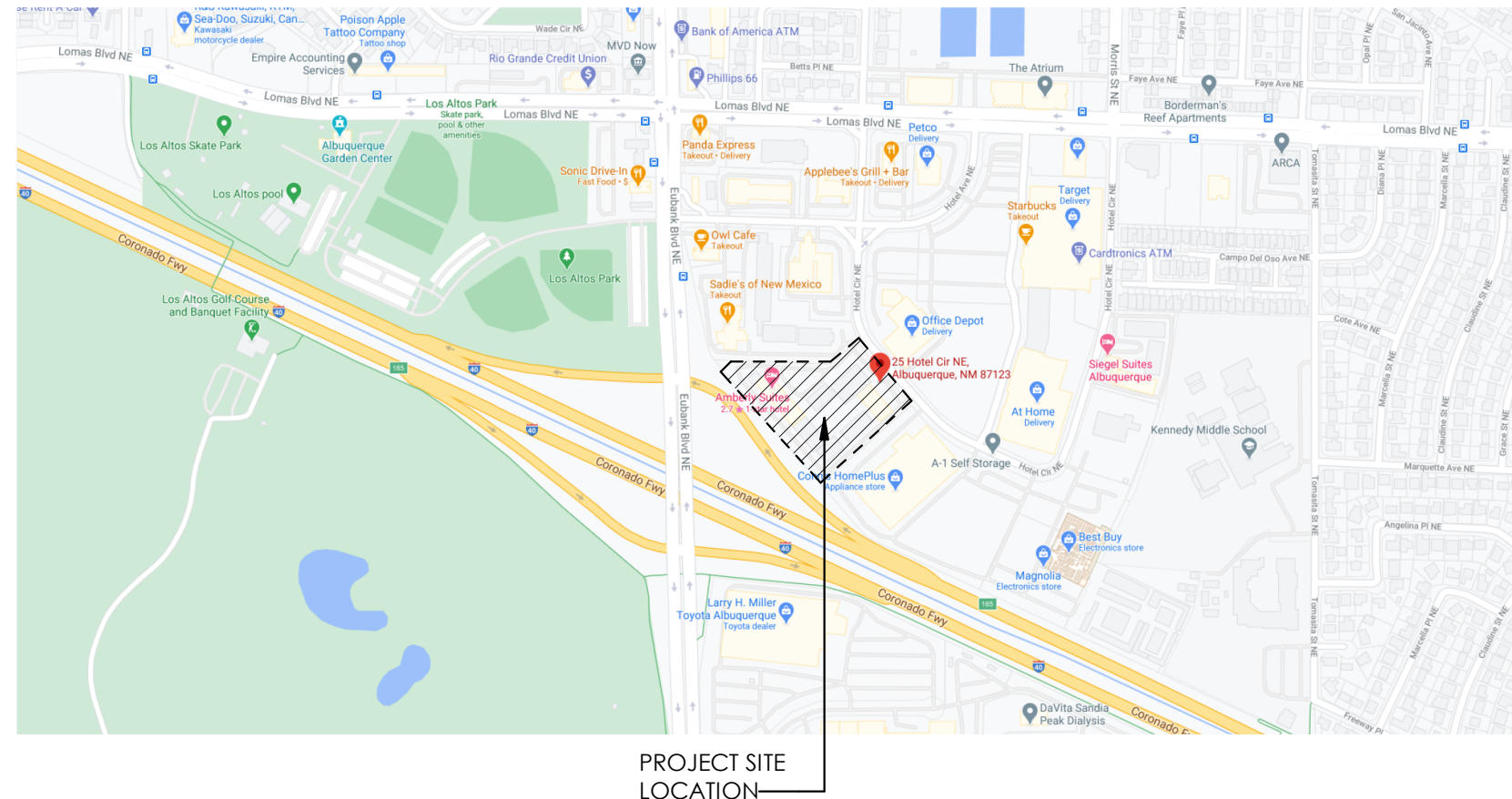
Is the intent to use the existing 3" water meter for the proposed multi-family development?

- a. For various reasons, the restaurant use has been removed from the proposed site plan at this time, so additional services should not be necessary. The intent is for the multi-family development to utilize the existing 3" water meter and the customer class will be adjusted accordingly.**
3. Please provide a utility plan.  
Please show existing onsite public waterline and sanitary sewer.
    - a. Existing utility lines and easements are shown on the site plan. A separate utility plan is also included with the rest of the plan set.**

### Planning

1. Please verify existing tree sizes for tree credit.
  - a. We have created an exhibit that shows the measured caliper of each existing tree and translates that measurement to IDO Table 5-6-2 and the calculations shown on the landscape plan.**
2. Confirm that all units are one bedroom, this what the open space calculations show.
  - a. All units are one bedroom/studio, and this has been clarified on the site plan where the unit counts are shown related to land use, usable open space, and parking calculations.**
3. Provide dimensions for the pedestrian walkways.
  - a. Dimensions have been added to the pedestrian walkways throughout the site.**
4. Walkways must meet the requirements of 5-3 (D)(3)(b) see table 5-3-1 for widths or a waiver DRB can be requested.
  - a. The proposed restaurant has been removed from the project for several reasons. Without the restaurant, the proposed project is considered a multi-family residential development. As such, the referenced IDO section no longer applies as it is for mixed-use and non-residential development only. However, where there is a walkway located along the street-facing façade it is at least 8 feet wide.**
5. See section 5-6(B) for landscape applicability. if the site meets those criteria then additional landscaping in the form of ground level plants will be required- see 5-6(C)(2)(c).
  - a. The proposed landscape plan meets the required percentage of ground level plants through a combination of the existing grass turf areas and shrubs.**
6. The applicant is not adding any square footage to the building therefore the provisions of 5-11 are not applicable.
  - a. Agreed.**
7. Staff reviewed the parking reductions and agrees with the calculations.
  - a. The parking calculation has been updated based on the removal of the restaurant (and related shared parking reduction) while continuing to utilize the on-street and carpool credits.**
8. Staff may have additional comments based on any resubmittals.
  - a. Understood.**





**D1 SCALED VICINITY MAP**  
1" = 400'-0"

**KEYED NOTES:**

- 1 EXISTING 6' TALL VINYL FENCE TO REMAIN
- 2 EXISTING UTILITY EASEMENTS SHOWN HATCHED
- 3 EXISTING DUMPSTER ENCLOSURE TO REMAIN
- 4 NEW PLANTING BED
- 5 NEW SIDE WALK
- 6 EXISTING POLE SIGN TO REMAIN
- 7 EXISTING PYLON SIGN TO REMAIN
- 8 EXISTING 6' TALL CHAIN LINK FENCE TO REMAIN
- 9 NEW PORTICO, RAMP, & PLANTING BEDS
- 10 EXISTING IN-GROUND POOL TO REMAIN
- 11 EXISTING HOT TUB TO REMAIN
- 12 EXISTING LOADING DOCK TO REMAIN
- 13 EXISTING FLARED CURB CUT TO REMAIN - NEW 3' (ADA) SIDEWALK WITH 1.5% CROSS SLOPE MAX TO BE INSTALLED ADJACENT TO EXISTING DRIVE ACCESS. REMOVE AND REPLACE EXISTING ASPHALT AS REQUIRED TO PROVIDE FOR A SMOOTH TRANSITION.
- 14 EXISTING SITE POLE LIGHT TO REMAIN
- 15 EXISTING BILLBOARD TO REMAIN
- 16 EXISTING 5' TALL PAINTED WHITE, STUCCO-COATED SITE WALL TO REMAIN
- 17 EXISTING ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING ENTRANCE
- 18 EXISTING 4' TALL METAL PICKET FENCE PAINTED BLACK AROUND POOL AREA TO REMAIN
- 19 EXISTING CONCRETE PEDESTRIAN WAY PARTIALLY UNDER COVER OF ROOF ABOVE
- 20 EXISTING 6' TALL METAL PICKET FENCE PAINTED WHITE TO REMAIN
- 21 EXISTING PARK STRIP TO REMAIN
- 22 EXISTING CONCRETE PEDESTRIAN PATH TO REMAIN
- 23 EXISTING CONCRETE PEDESTRIAN WAY UNDER COVER OF ROOF ABOVE
- 24 EXISTING STRIPED NO PARKING ZONE TO REMAIN
- 25 EXISTING CURB AND GUTTER TO REMAIN
- 26 EXISTING PUBLIC SIDEWALK TO REMAIN - ADD 1' OF POURED CONCRETE SIDEWALK WHERE PRACTICAL TO PROVIDE A COMBINED SIDEWALK WIDTH OF 5 FEET.
- 27 EXISTING STORM DRAIN INLETS TO REMAIN
- 28 EXISTING FIRE HYDRANT TO REMAIN
- 29 NEW FLARED CURB CUTS TO CONNECT EXISTING SIDEWALK AND PORTE COCHERE CONCRETE PAD TO ESTABLISH AN ACCESSIBLE PATH CONNECTING EXISTING BUILDING TO THE EXISTING PUBLIC WAY. 6'-0" WIDE CROSSWALK STRIPING IS TO BE PAINTED ON EXISTING PAVEMENT CONNECTING EACH NEW FLARED CURB CUT. SEE TYPICAL FLARED CURB CUT DETAIL ON SHEET AS102.
- 30 6' WIDE ACCESSIBLE PATH TO BUILDING TO BE ESTABLISHED AND MAINTAINED FROM EXISTING PUBLIC WAY TO PRIMARY ENTRANCE AS SHOWN.
- 31 3'-0" TALL SCREENING FENCE ALONG HOTEL CIRCLE FRONTAGE - SEE SITE DETAILS ON SHEET AS102
- 32 NEW BIKE RACKS (SUITABLE SPACE FOR 6 BIKES).
- 33 EXISTING CONCRETE PEDESTRIAN WALKWAY TO BE REMOVED FOR NEW TREE. SEE LANDSCAPE PLAN.
- 34 MOTORCYCLE SPACES (4'X8') WITH SIGN
- 35 EXISTING CRASH GATE AT SOUTH SITE ENTRANCE TO BE REMOVED.
- 36 MINI CLEAR SIGHT TRIANGLE AT EACH DRIVEWAY ONTO SITE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
- 37 EXISTING SECURITY FENCE & GATE TO REMAIN - KNOX BOX WITH MEANS OF FIRE ACCESS TO BE COORDINATED WITH FIRE MARSHAL.
- 38 NEWLY STRIPED COMPACT PARKING STALLS - REFER TO TYP. COMPACT PARKING SPOT DETAIL ON SHEET AS102
- 39 SAW-CUT AND REMOVE EXISTING CONCRETE TO ALLOW FOR NEW POURED CONCRETE SIDEWALK EXTENSION TO PROVIDE A NEW 5' CLEAR PATH TO ACCESS ADJUSTED PUBLIC RIGHT OF WAY.
- 40 POUR 1' EXTENSION OF CONCRETE SIDEWALK TO MAINTAIN MINIMUM 4' WIDTH

**GENERAL NOTES:**

SEE SHEET G1001 FOR DRAWING INDEX.  
SEE SHEET G1002 FOR GENERAL NOTES AND ABBREVIATIONS.  
DO NOT SCALE DRAWINGS.  
CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.  
SITE LOCATED IN THE LOS ALTOS / MARKET CENTER  
ANY GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.

**LEGEND:**

- NEW CONCRETE SITE WORK**  
(NEW SIDEWALKS, CURBS, ACCESSIBLE CURB CUTS, ETC. SEE KEYED NOTES AND ASSOCIATED DETAILS ON SHEET AS102)
- EXISTING PUBLIC UTILITY EASEMENT TO REMAIN**  
(SITE WORK AND ONGOING MAINTENANCE TO ABIDE BY RECORDED TERMS AND CONDITIONS OF EASEMENT)
- NEW PARKING STALL STRIPING**
- PROPERTY LINE**
- EXISTING FENCE LINE**
- EXISTING STORM DRAIN LINE**
- EXISTING GAS UTILITY LINE**
- EXISTING WATER UTILITY LINE**
- EXISTING ELECTRICAL UTILITY LINE**
- EXISTING SANITARY SEWER UTILITY LINE**

**CURRENT ZONING:** 'MX-M' MIXED-USE MODERATE INTENSITY  
**ABUTTING PARCEL ZONING:** 'MX-M' MIXED-USE MODERATE INTENSITY  
**SITE ACREAGE:** 5.0430  
**SITE LEGAL DESCRIPTION:**  
TR 4B1 PLAT FOR TRS 1B1, 1C1, 2A, 4B1, 4C1, 4C2 STA STE NO 3A SO 1/2 TR 3 & PAR 4A1A, 4A2, 4A3A, 4A4A HORNE DEV ADD W/ TRS 1A1 & 1B CONT 5.04 AC

**LAND USE:**  
EXISTING - HOTEL  
PROPOSED - 206 ONE BED/STUDIO MULTI-FAMILY RESIDENTIAL DWELLING UNITS

**REQUIRED USABLE OPEN SPACE**  
206 ONE BED/STUDIO DWELLING UNITS X 225 SQUARE FEET = 46,350 SQUARE FEET.  
PROVIDED OPEN SPACE = 48,956 SQUARE FEET

**BUILDING HEIGHT**  
ALLOWED: 48'-0"  
EXISTING/PROPOSED: 27'-8" (TALLEST CURRENT)

**PARKING CALCULATIONS:**

**PROPOSED PARKING TABULATION:**  
206 One Bed/Studio Dwelling Units X 1.5 Space/Dwelling Unit = 309 Spaces  
Adjustment for 20% Reduction Allowance within an Activity Center  
309 X 0.8 = 248 Spaces

**REQUIRED TOTAL: 248 PARKING SPACES**

**PROVIDED TOTAL: 265 (INCLUDING +3 FOR CARPOOL CREDIT)**  
231 Existing Parking Spaces (Includes 1 Carpool Space, Total Credit For 234)  
20 Re-Striped Parking Spaces  
11 On-Street Parking Credits  
2 Motorcycle Parking Spaces

**COMPACT PARKING**  
ALLOWED = 62 PARKING STALLS (25% MAX)  
PROVIDED = 19 PARKING STALLS (8.2%)

**ACCESSIBLE PARKING - IBC 2018 TABLE 1106.1**  
REQUIRED: 7 ACCESSIBLE PARKING STALLS (5 CAR + 2 VAN)  
PROVIDED: 7 ACCESSIBLE PARKING STALLS (5 CAR + 2 VAN)



**PROJECT NUMBER:** PR-2020-004820  
**Application Number:** SI-2020-001468

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary  
2162816

**A1 ARCHITECTURAL SITE PLAN**  
1" = 40'-0"



703 east 1700 south  
salt lake city, ut 84105  
ajcarchitects.com

**NOT FOR CONSTRUCTION**

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN CONVERSION**

25 HOTEL CIRCLE NE  
ALBUQUERQUE, NM 87123

SHEET NAME:

**ARCHITECTURAL SITE PLAN**

REVISIONS

MARK DATE DESCRIPTION

ISSUE DATE: 12/18/2020  
ISSUE TYPE: DRB SUBMITTAL  
DRAWN BY: MS/ZS/LT  
CHECKED BY: K. RIGBY  
PROJECT#: 2020-64

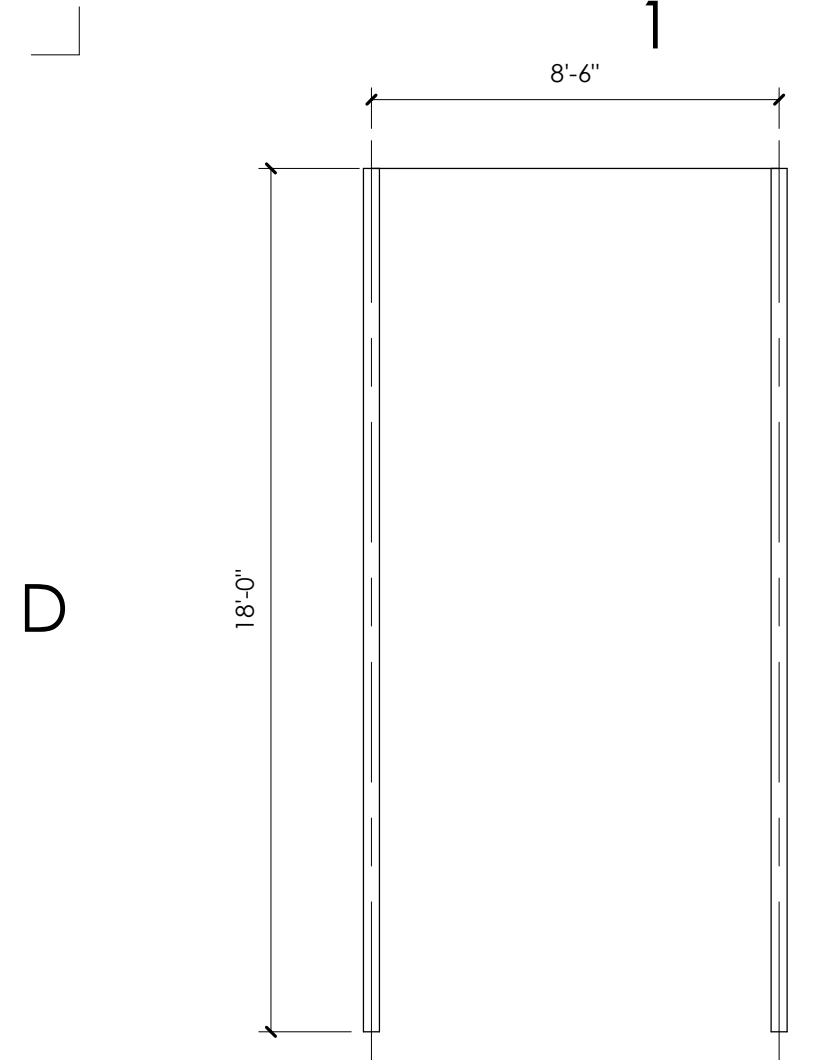
SHEET NUMBER:

**AS101**

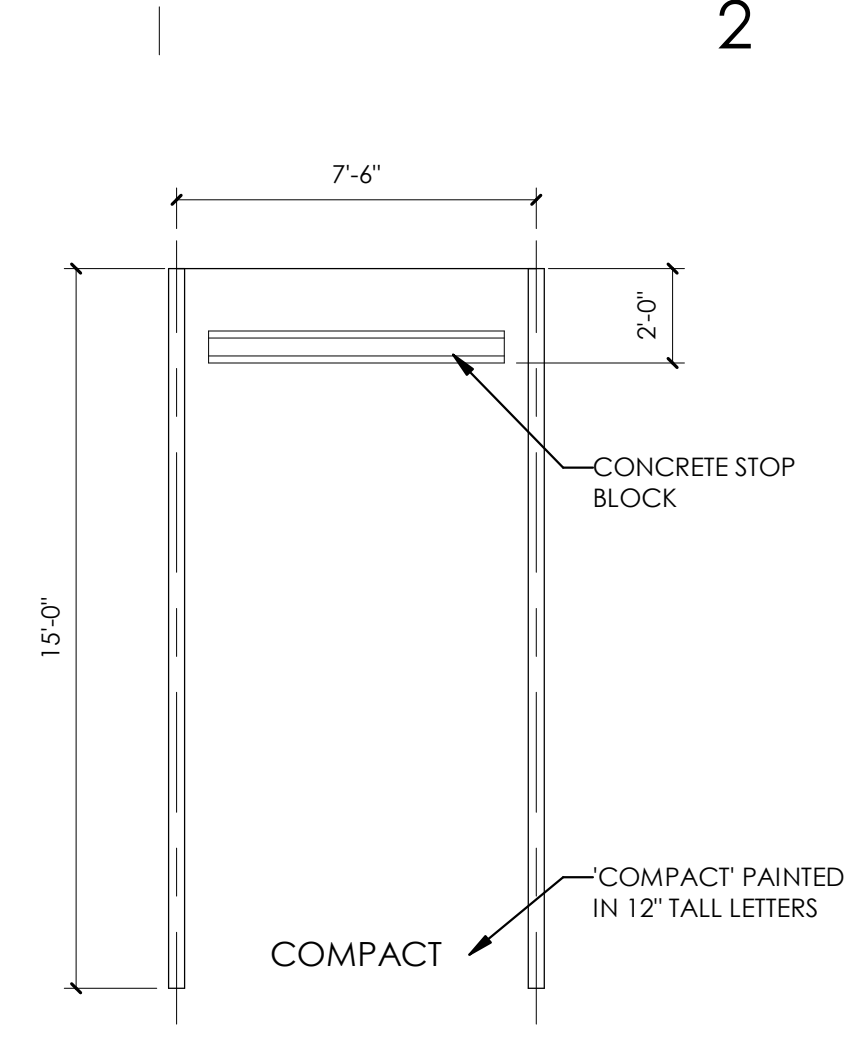
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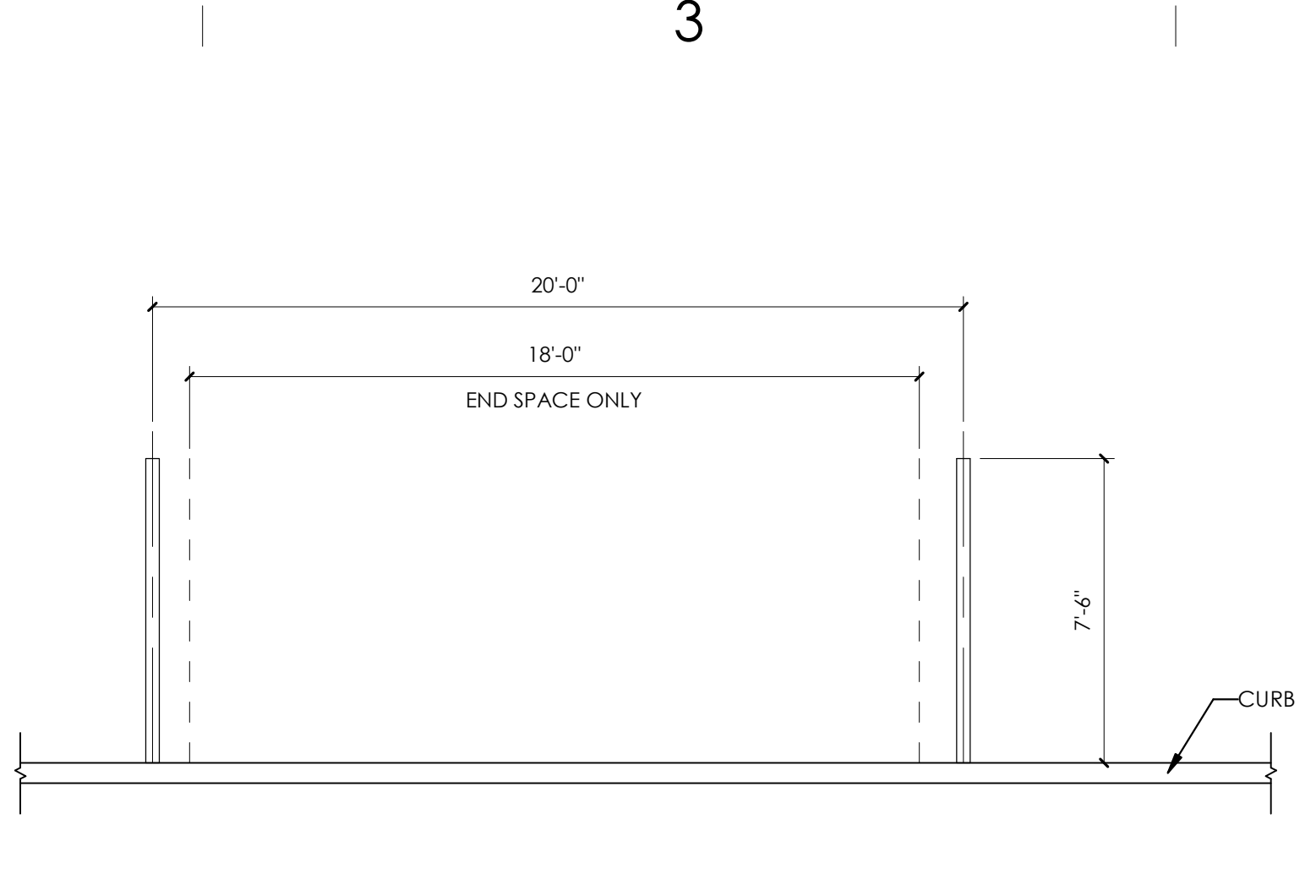
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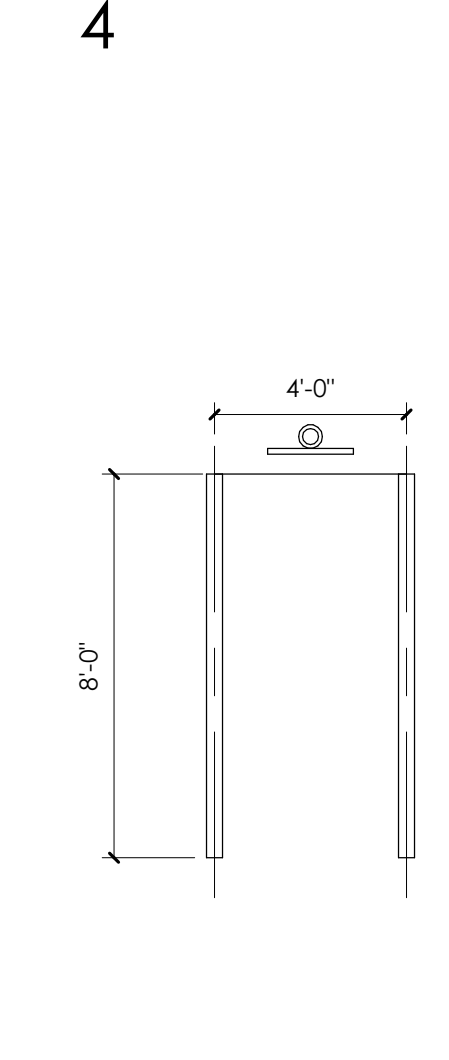
**D1 SITE - TYP. PARKING DETAIL**  
1/4" = 1'-0"



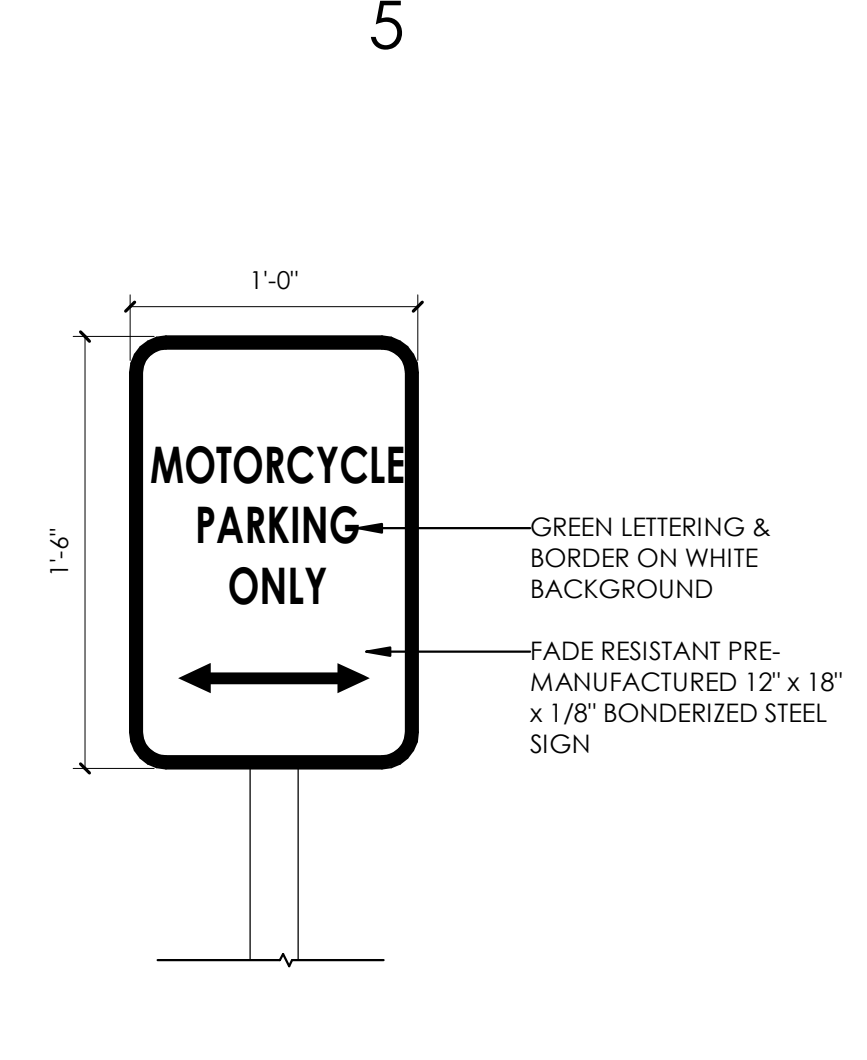
**D2 SITE - TYP. COMPACT PARKING SPACE**  
1/4" = 1'-0"



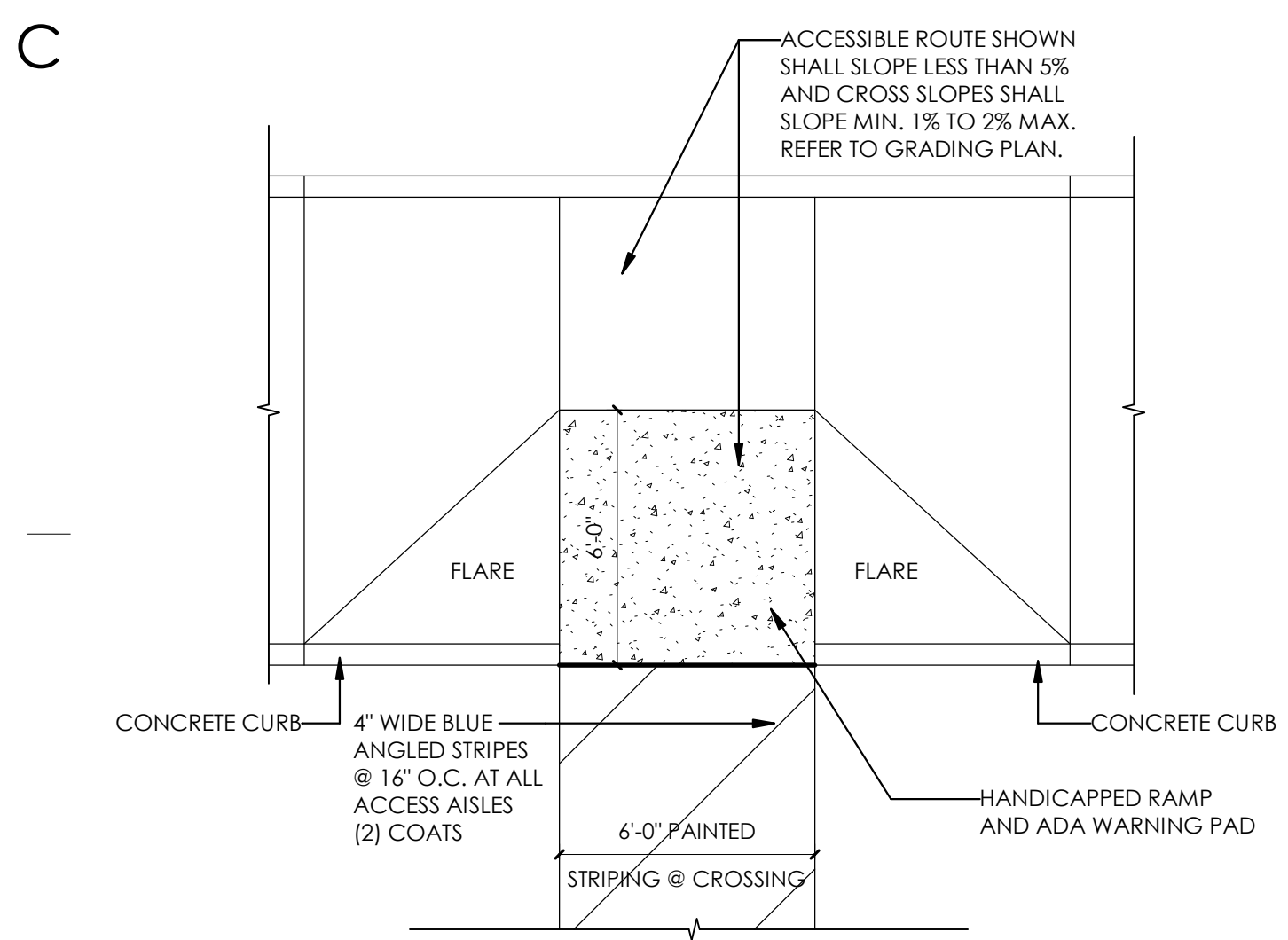
**D3 SITE - TYP. STREET PARKING SPACE**  
1/4" = 1'-0"



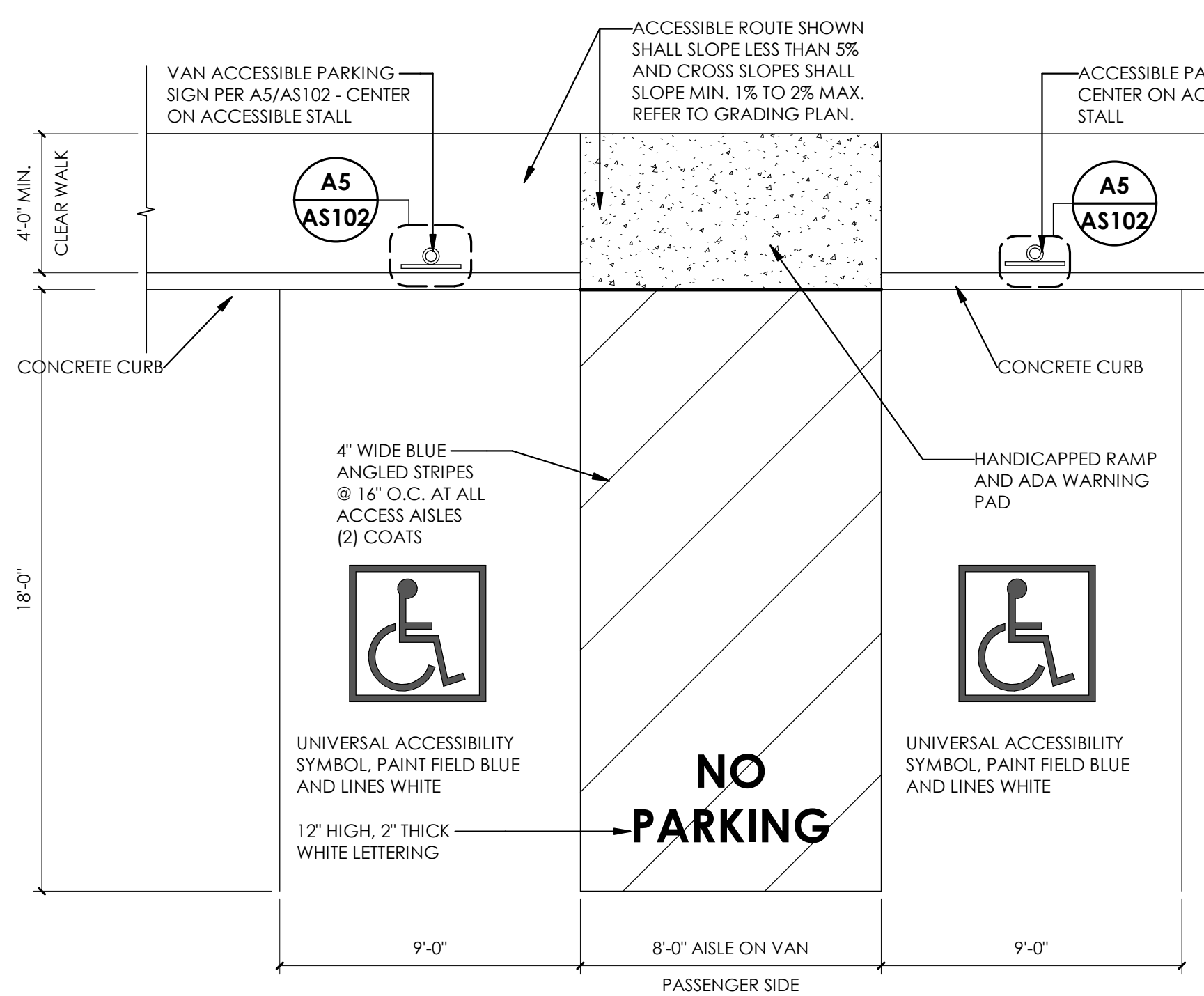
**D4 SITE - TYP. MOTOR CYCLE PARKING**  
1/4" = 1'-0"



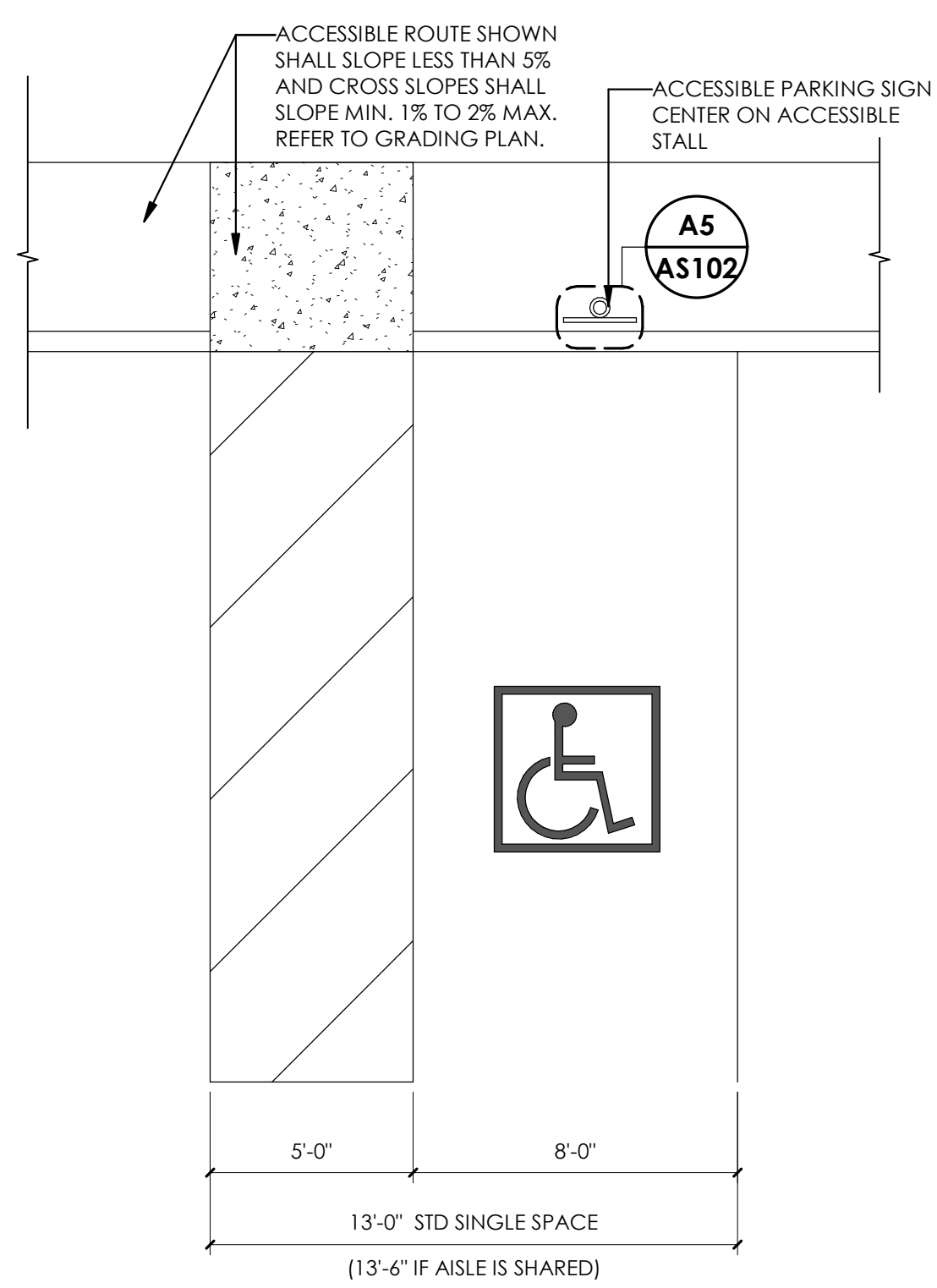
**D5 CARPOOL PARKING SIGNAGE**  
1 1/2" = 1'-0"



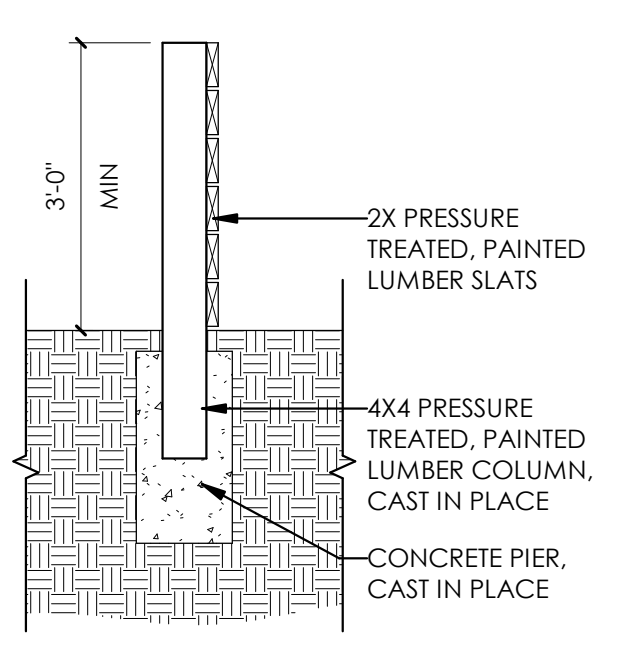
**B1 SITE - TYP. FLARED ADA CURB CUT**  
1/4" = 1'-0"



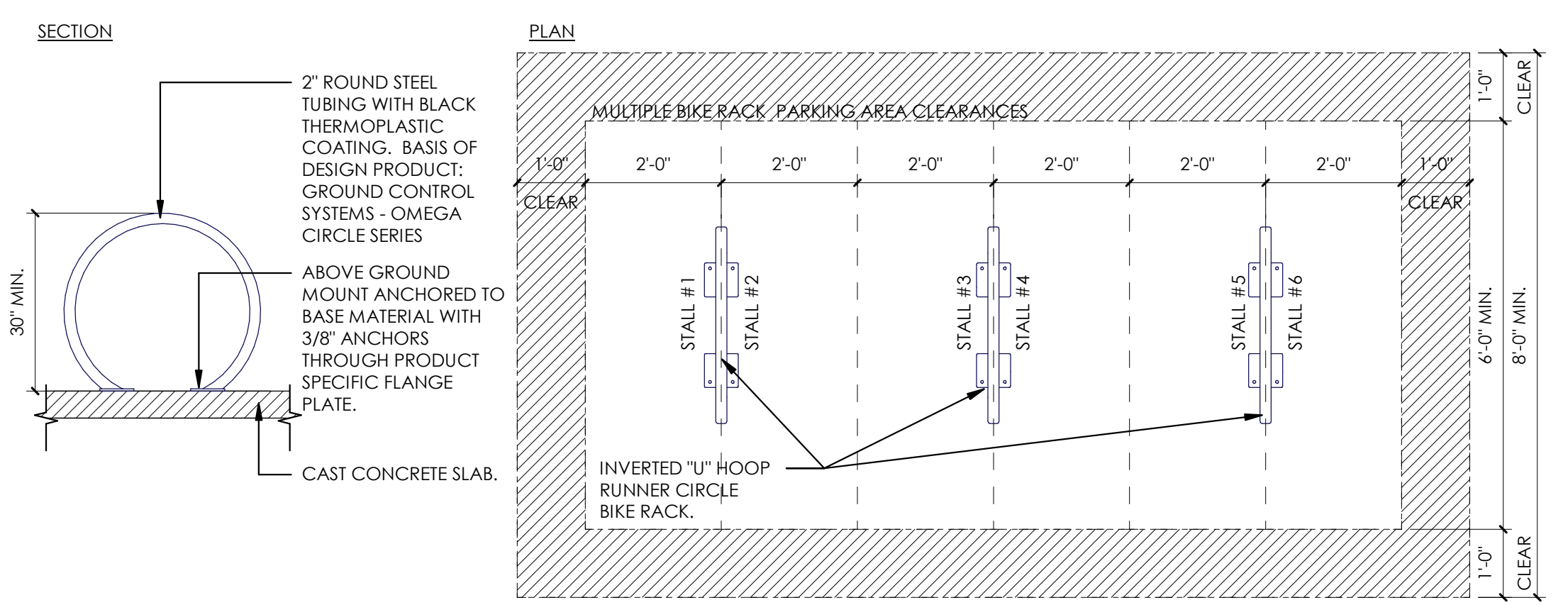
**B2 SITE - TYP. VAN ACCESSIBLE ADA PARKING STRIPING**  
1/4" = 1'-0"



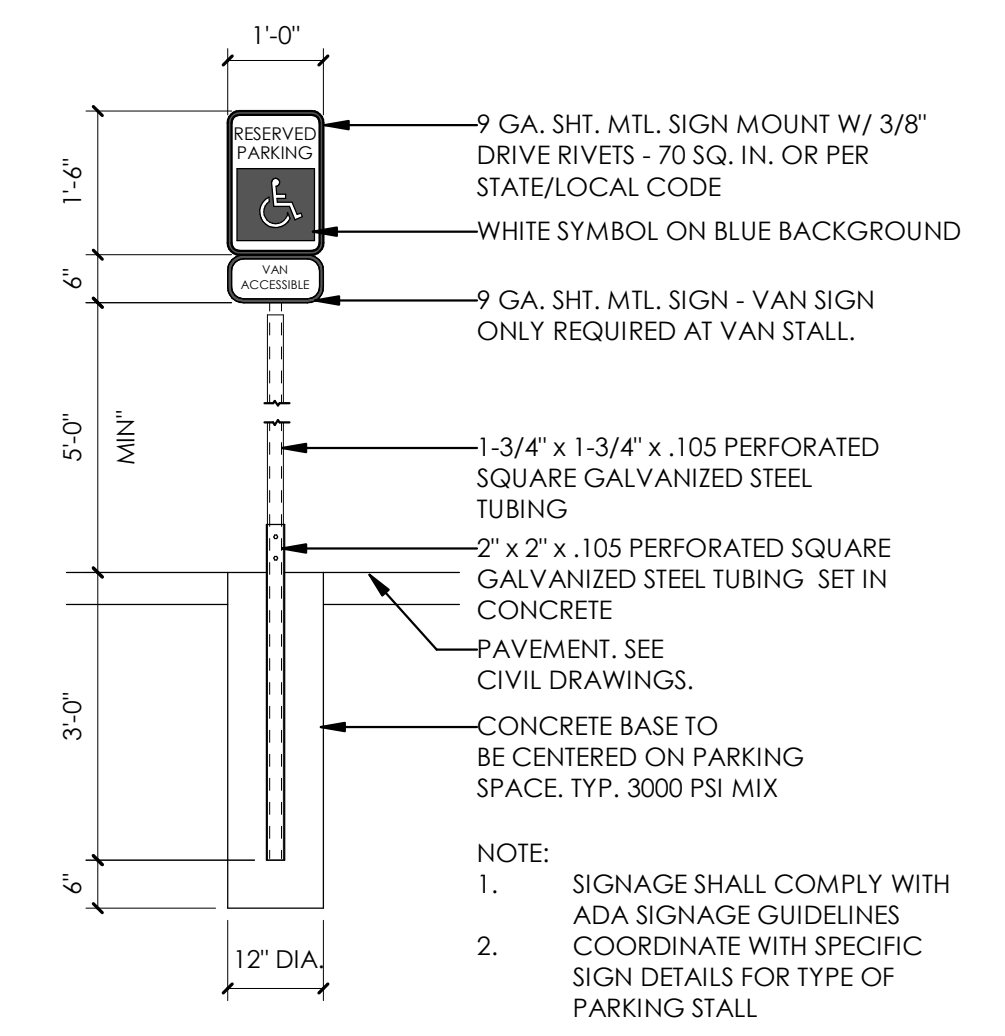
**B5 ADA PARKING SIGNAGE**  
1 1/2" = 1'-0"



**A2 SITE - SCREEN WALL DETAIL**  
1/2" = 1'-0"



**A3 SITE - TYP. BIKE RACK**  
1/2" = 1'-0"



**A5 ADA, MOTOR CYCLE, & CARPOOL PARKING SIGNAGE DETAIL**  
1/2" = 1'-0"

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**RAMADA INN CONVERSION**

25 HOTEL CIRCLE NE  
ALBUQUERQUE, NM 87123

SHEET NAME:  
**SITE DETAILS**

REVISIONS  
MARK DATE DESCRIPTION

ISSUE DATE: 12/18/2020  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: MS/ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

**AS102**

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NOT FOR CONSTRUCTION

ARCHITECT / CONSULTANT

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PROJECT DESCRIPTION

**RAMADA INN CONVERSION**

25 HOTEL CIRCLE NE  
ALBUQUERQUE, NM 87123

SHEET NAME:

**SITE DETAILS**

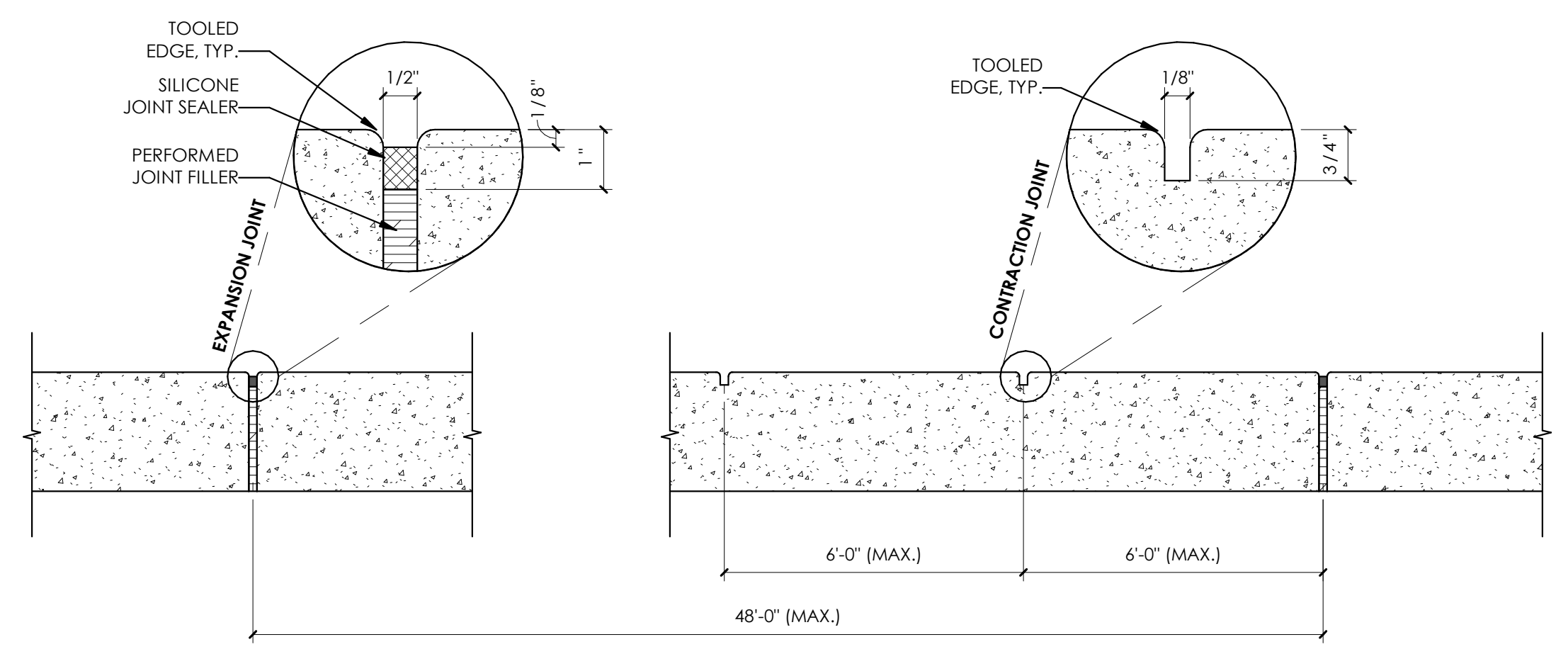
REVISIONS

MARK	DATE	DESCRIPTION

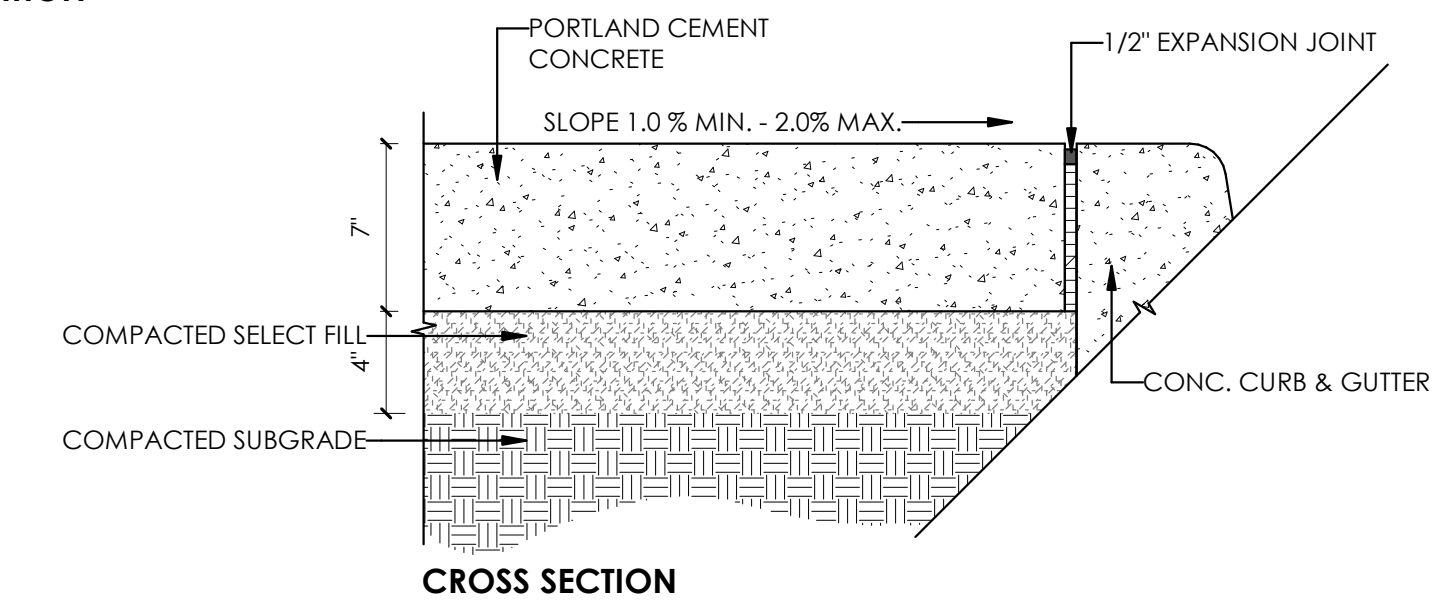
ISSUE DATE: 02/18/21  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: AJC  
 CHECKED BY: AJC  
 PROJECT#: 2020-64

SHEET NUMBER:

**AS103**

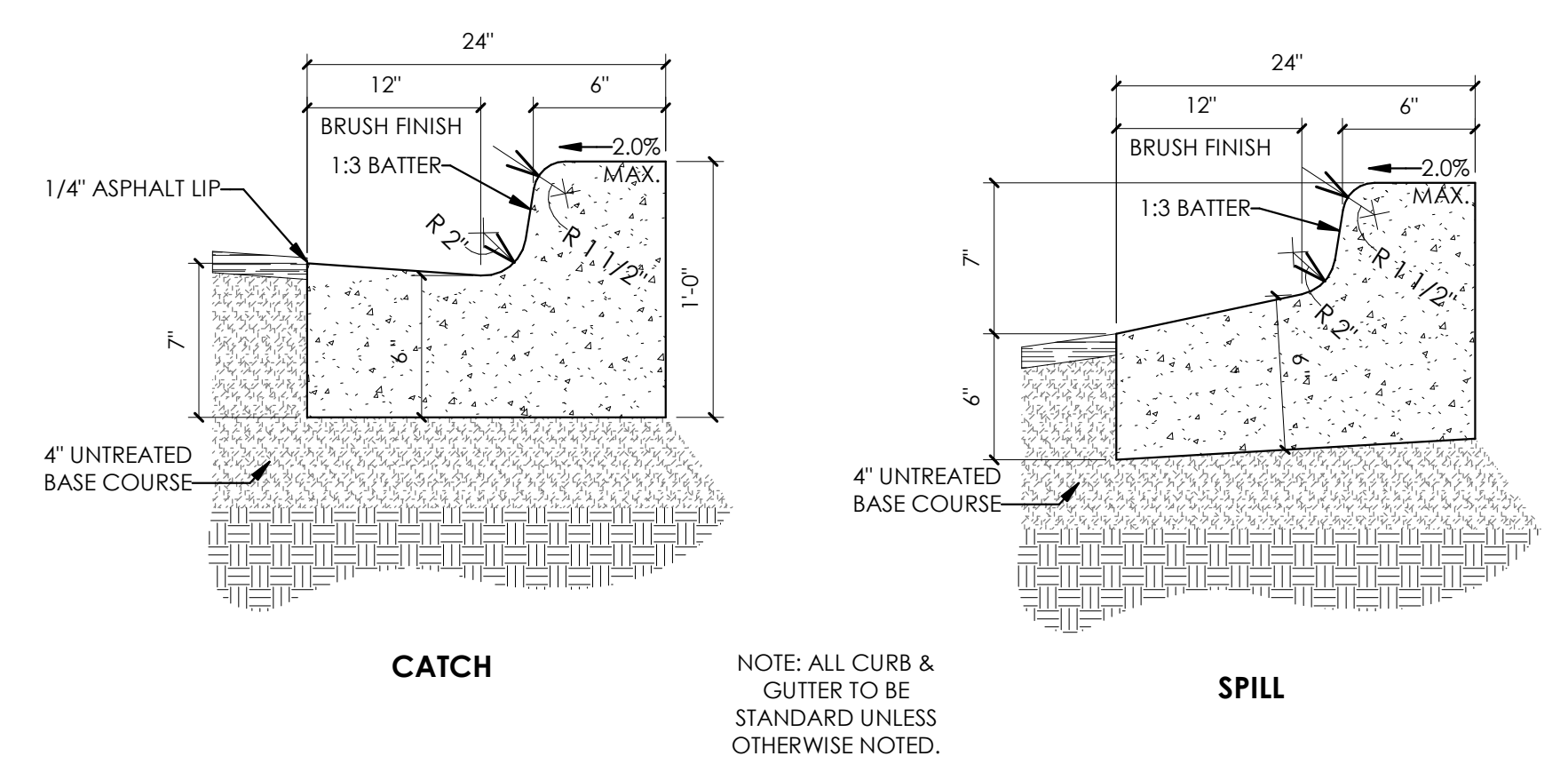


ELEVATION



CROSS SECTION

**B4 SITE - TYP. CONCRETE SIDEWALK**  
NOT TO SCALE



CATCH

SPILL

**A4 SITE - TYP. 24" CURB & GUTTER**  
NOT TO SCALE

1

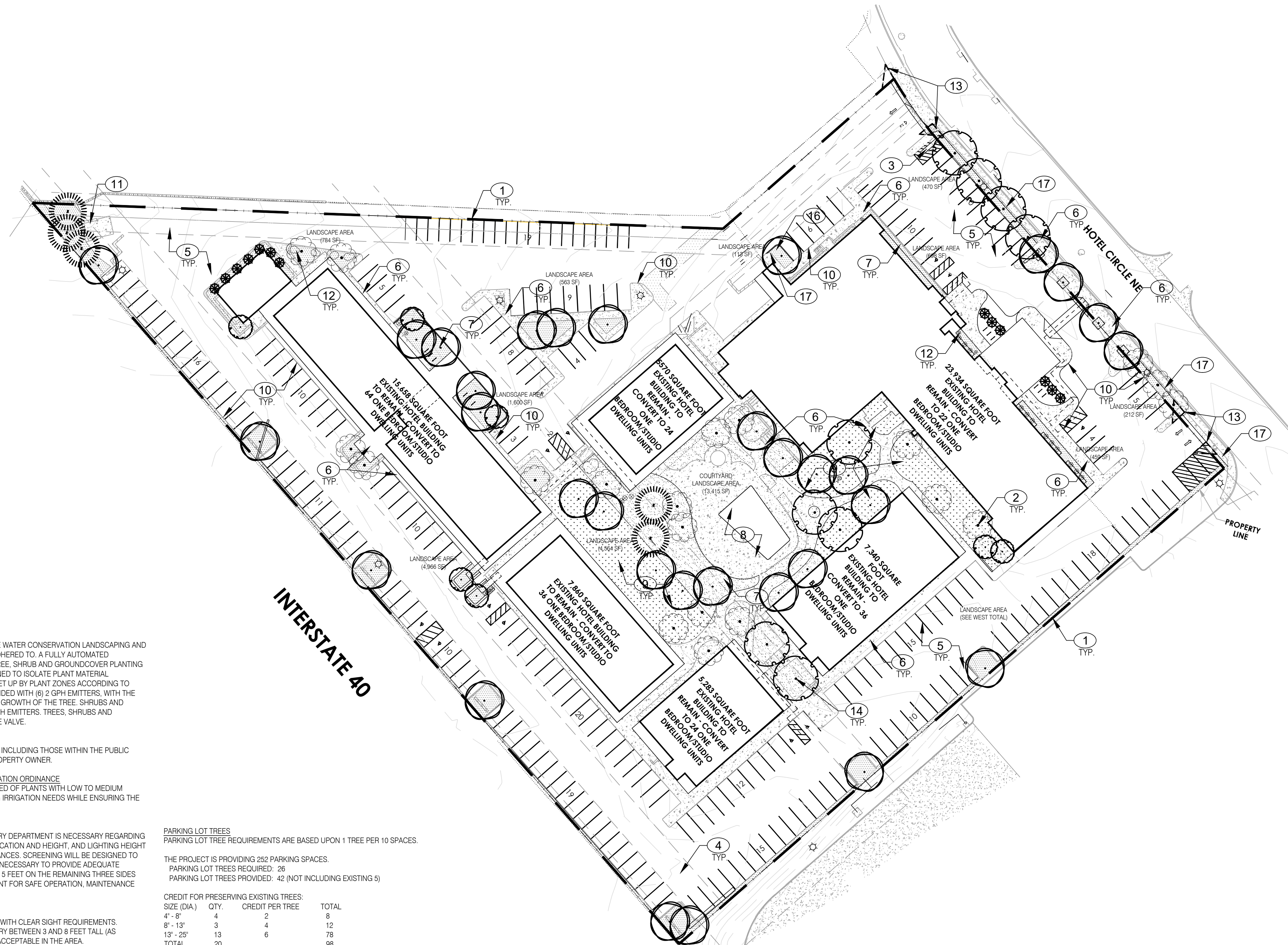
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3

4

5





**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
<b>TREES</b>				
EXISTING TREES TO REMAIN				
7		CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8 HT. X 4 SPR. 15 HT. X 15 SPR.
9		GLEDITSIA TRIACANTHOS IMPERIAL SKYLINE HONEYLOCUST (M+)	2.5' B&B	8 HT. X 4 SPR. 45 HT. X 35 SPR.
13		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+)	B&B	6 HT. X 2 SPR. 12 HT. X 5 SPR.
5		PINUS NIGRA AUSTRIAN PINE (M+)	B&B	8 HT. X 4 SPR. 35 HT. X 25 SPR.
32		ULMUS PROPINQUA 'FS-BIEBERICH' EMERALD SUNSHINE ELM (M)	2.5' B&B	8 HT. X 4 SPR. 35 HT. X 25 SPR.
<b>MULCHES AND BOULDERS</b>				
17,485 SF		1" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
10,539 SF		EXISTING TURF TO REMAIN		
<b>KEY NOTES:</b>				
1. PROPERTY BOUNDARY				
2. EXISTING TREE TO REMAIN				
3. EXISTING MONUMENT SIGN				
4. EXISTING UTILITY EASEMENT				
5. EXISTING ASPHALT PAVING				
6. EXISTING CONCRETE WALK				
7. EXISTING LANDSCAPE AREA				
8. EXISTING FENCED POOL AND PATIO AREA				
9. EXISTING TURF AREA				
10. EXISTING CURB AND GUTTER				
11. EXISTING DUMPSTER ENCLOSURE				
12. EXISTING SHRUB TO REMAIN				
13. CLEAR SITE TRIANGLES				
14. SHADE TREES 25' O.C. ALONG WALKWAYS ON INTERIOR				
15. CONNECTION TO PUBLIC SIDEWALK TBD.				
16. NEW TREE ISLAND				
17. NEW CONCRETE CURB AND WALK				

**GENERAL LANDSCAPE NOTES**

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**

TOTAL SITE AREA (5.04 AC):	219,649 SF
BUILDING AREA:	- 85,645 SF
NET AREA:	134,004 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	23,101 SF
PROVIDED LANDSCAPE AREA:	27,121 SF (18%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	20,368 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	44,859 SF (165%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	5,092 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE	10,875 SF (114%)

**LANDSCAPE TURF**  
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

ALLOWABLE TURF	2,310 SF
EXISTING TURF (NON CONFORMING SITE FEATURE)	10,539 SF (46%)

**PARKING LOT AREA**  
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

THE PROJECT IS PROVIDING 252 PARKING SPACES.

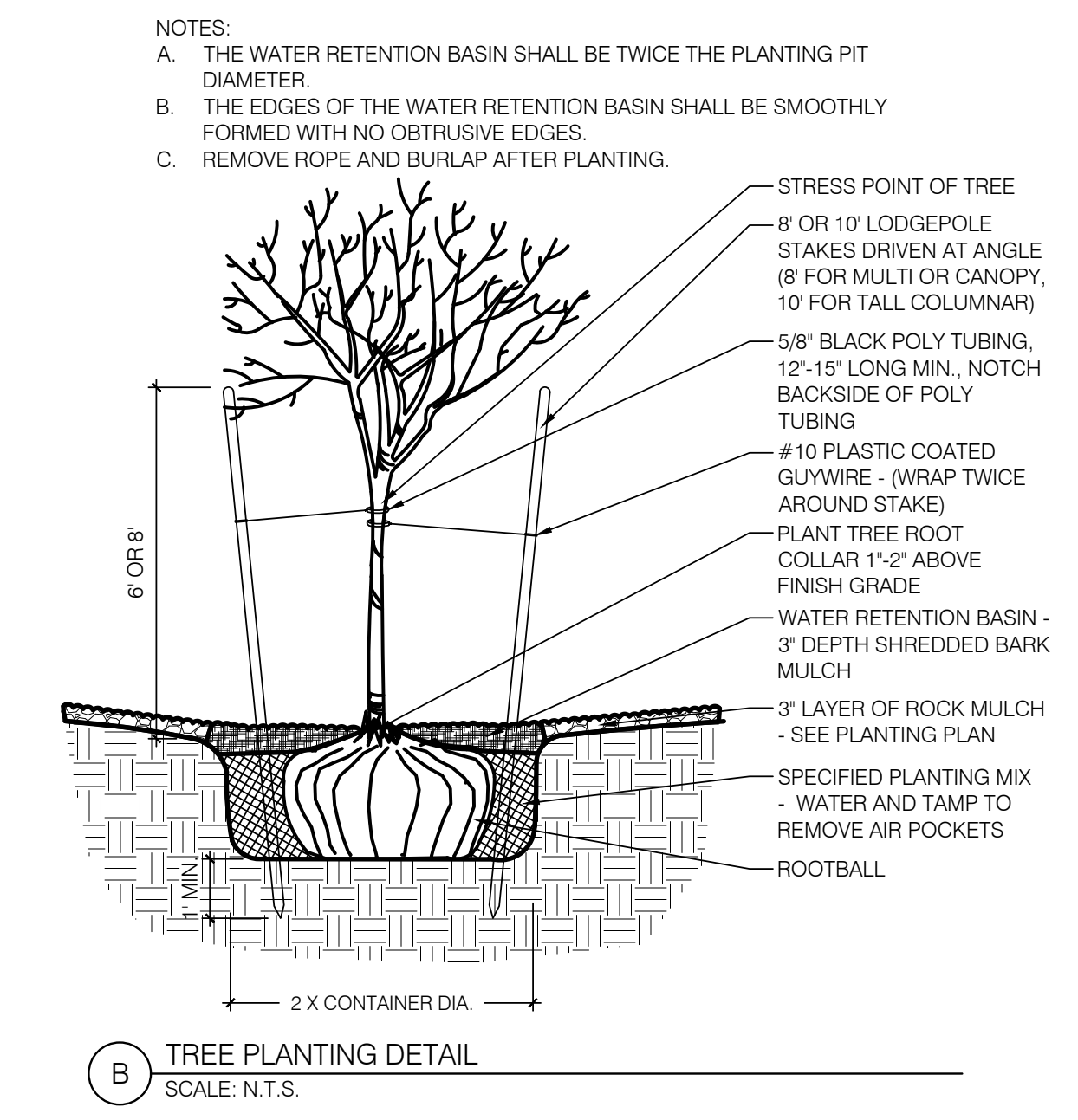
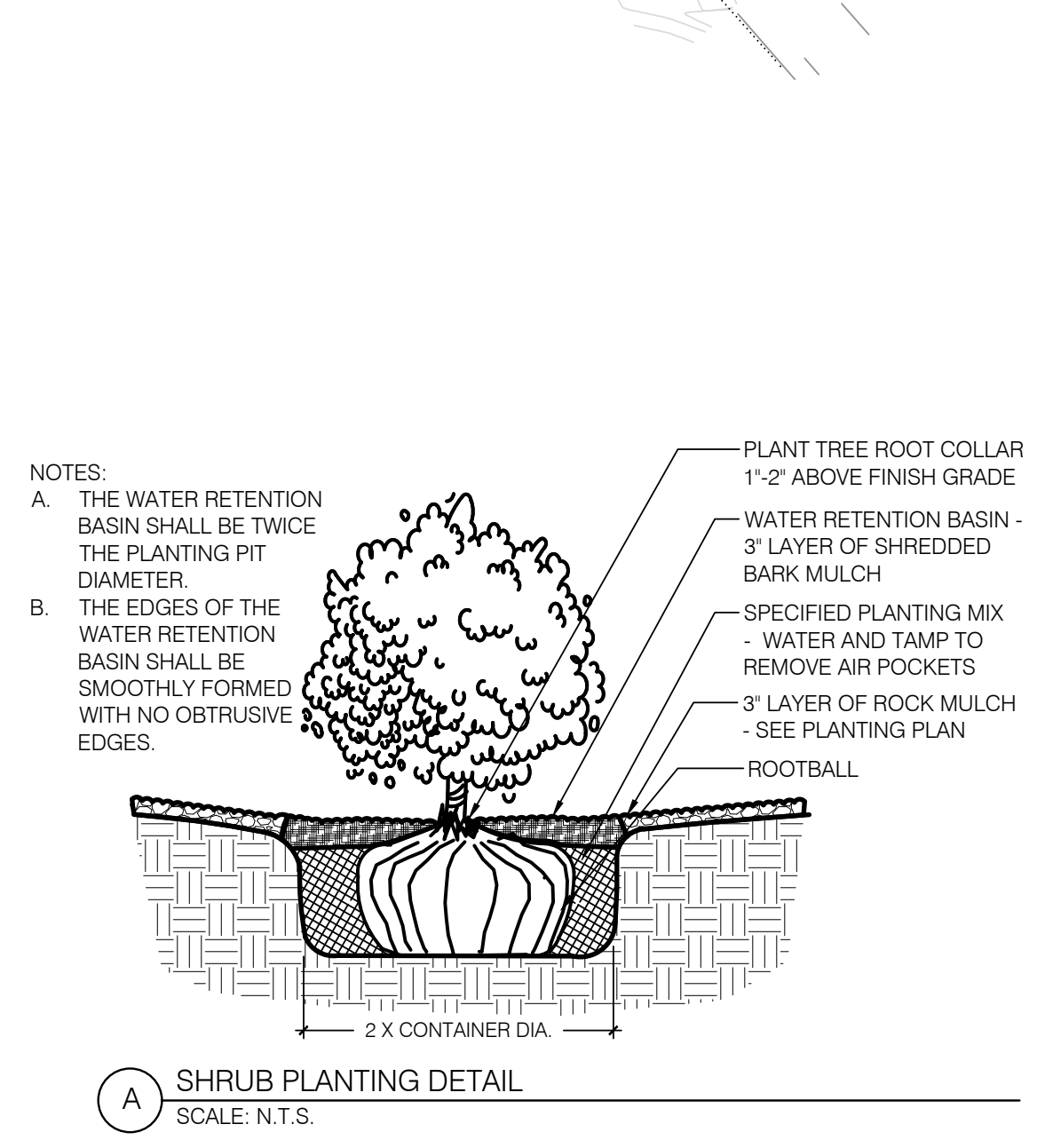
TOTAL PARKING LOT AREA:	107,385 SF
REQUIRED LANDSCAPE AREA:	16,108 SF
PROVIDED LANDSCAPE AREA:	9,103 SF (9%)

**PARKING LOT TREES**  
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

THE PROJECT IS PROVIDING 252 PARKING SPACES.  
PARKING LOT TREES REQUIRED: 26  
PARKING LOT TREES PROVIDED: 42 (NOT INCLUDING EXISTING 5)

**CREDIT FOR PRESERVING EXISTING TREES:**

SIZE (DIA.)	QTY.	CREDIT PER TREE	TOTAL
4" - 8"	4	2	8
8" - 13"	3	4	12
13" - 25"	13	6	78
<b>TOTAL</b>	<b>20</b>		<b>98</b>

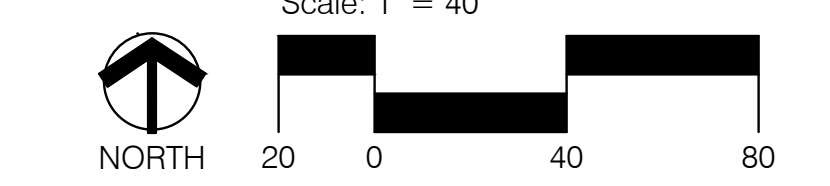


# MCRE MULTI-FAMILY CONVERSION

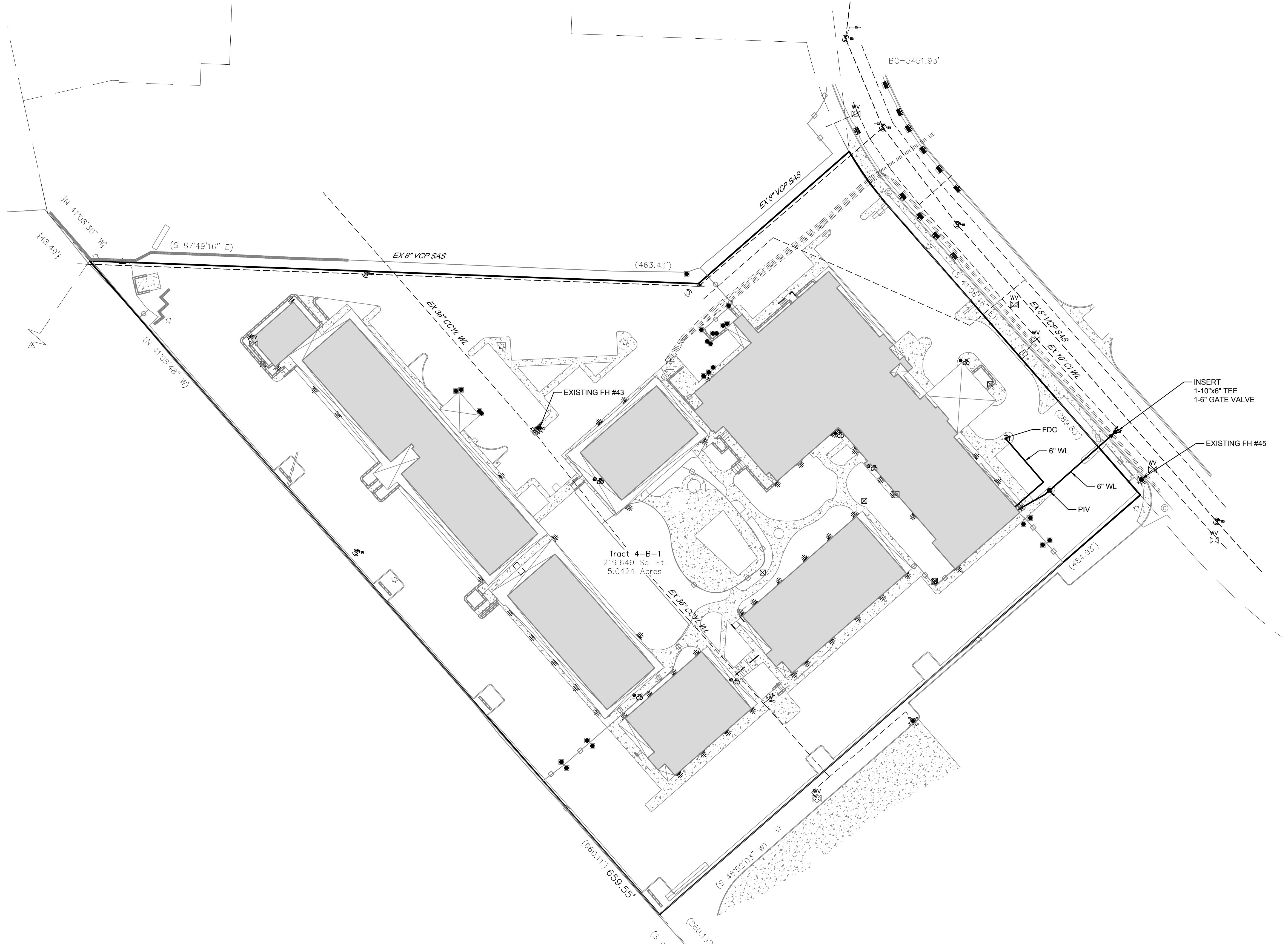
## LANDSCAPE PLAN

Prepared for:  
Mountain Classic Real Estate.  
461 East 200 South Suite 102, Salt Lake City, UT 84111-2138

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102







### GENERAL NOTES

- SEE SHEET C-100 FOR ALL CIVIL GENERAL NOTES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

### RESTRAINED JOINT CRITERIA

#### FOR WATERLINE FITTINGS

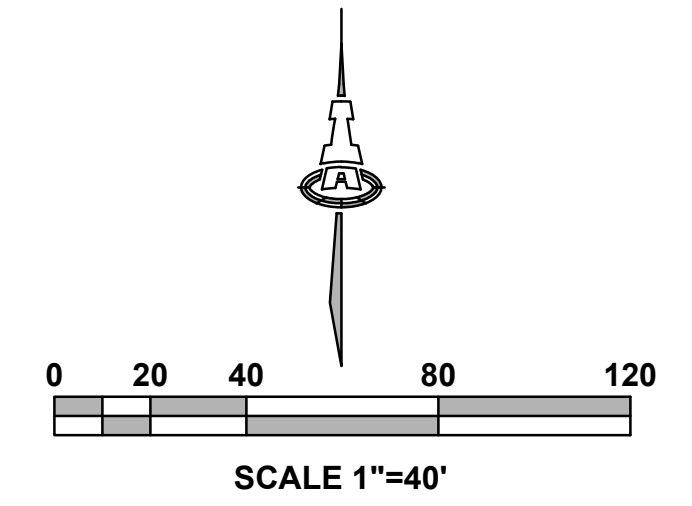
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.50  
 MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM. BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCQUA.

### LEGEND

	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SEWER LINE
	EXISTING SEWER MANHOLE
	NEW WATER SERVICE
	NEW FIRE LINE
	NEW FIRE HYDRANT
	NEW WATER VALVE
	NEW FDC
	NEW PIV
	NEW SEWER SERVICE



**Isaacson & Arfman, Inc.**  
 Civil Engineering Consultants  
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 Albuquerque, NM 87108  
 505-266-8828 | www.iarfirm.com

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**NOT FOR CONSTRUCTION**  
 Engineer

**RAMADA INN CONVERSION**  
 25 HOTEL CIRCLE NE  
 ALBUQUERQUE, NM 87123

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER:	IA 2409
FILE:	
DRAWN BY:	DEC
CHECKED BY:	FCA
DATE:	02/19/2021

No	Date	Description

SHEET TITLE  
**SITE UTILITY PLAN**  
 SHEET NUMBER  
**CU-101**



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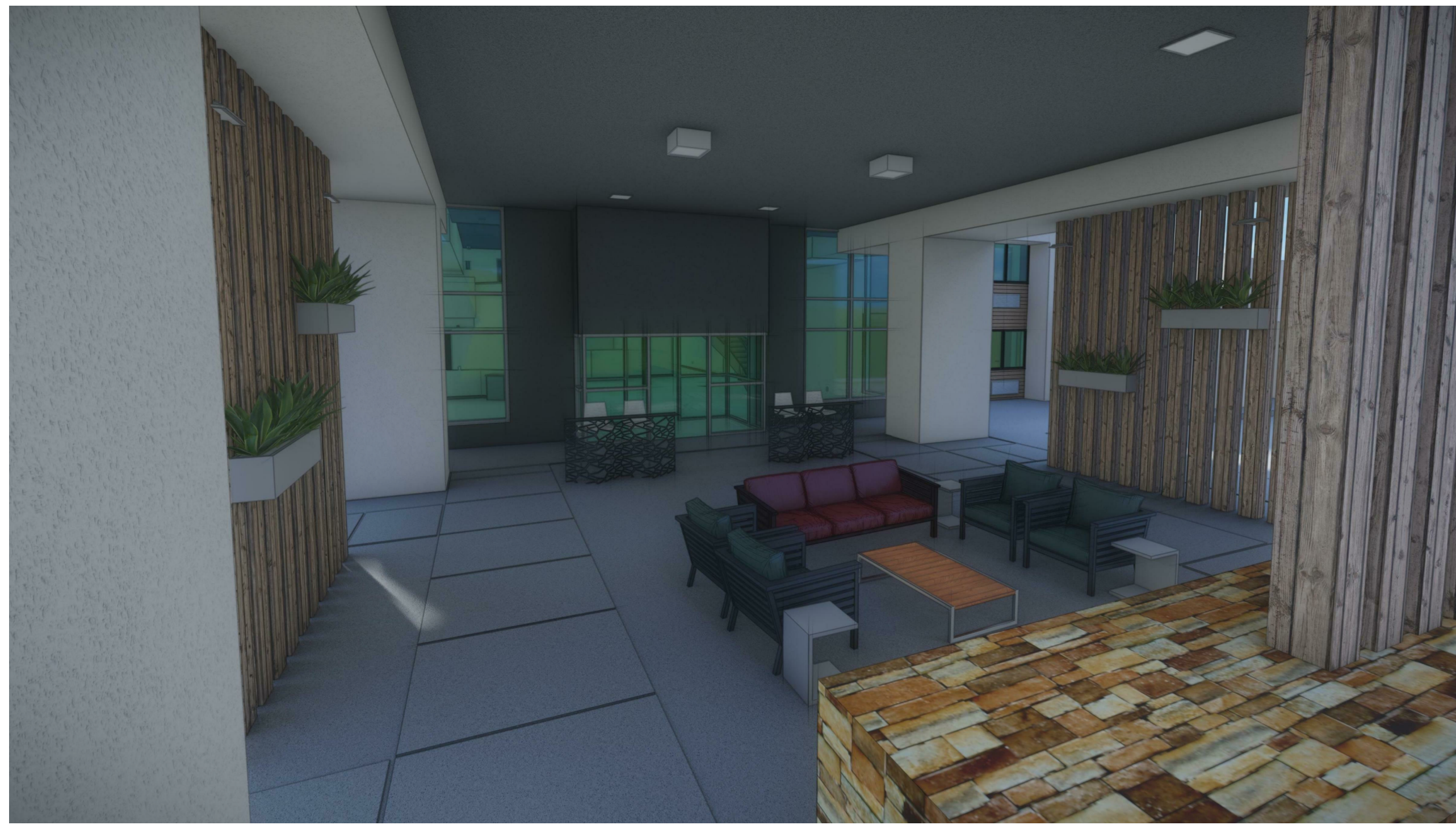
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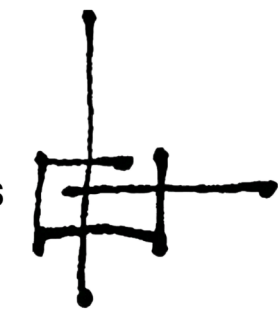


B



A



ajc architects   
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com

**NOT FOR CONSTRUCTION**

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
**RAMADA INN CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:  
**BUILDING A RENDERINGS**

REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE: 12/18/2020  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: LT  
 CHECKED BY:  
 PROJECT#: 2020-64

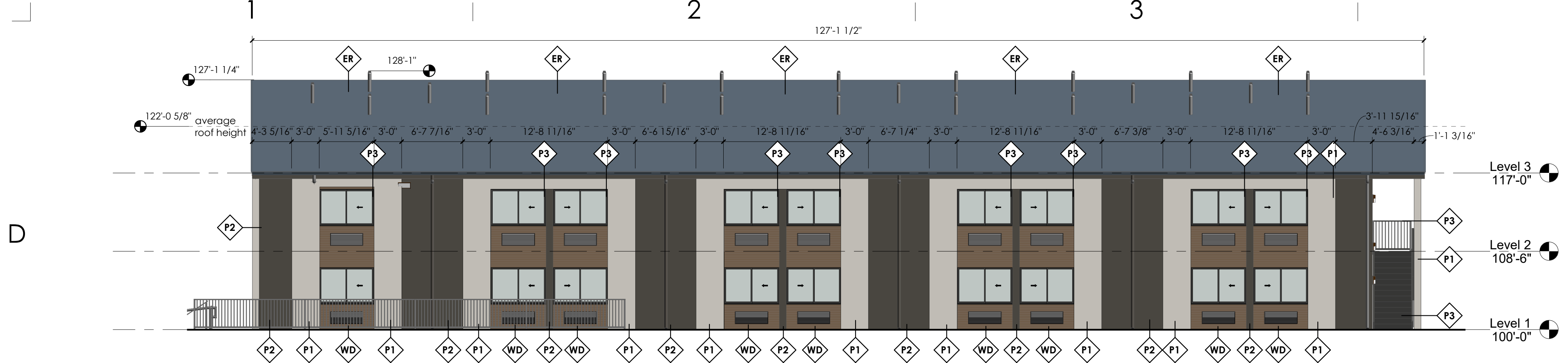
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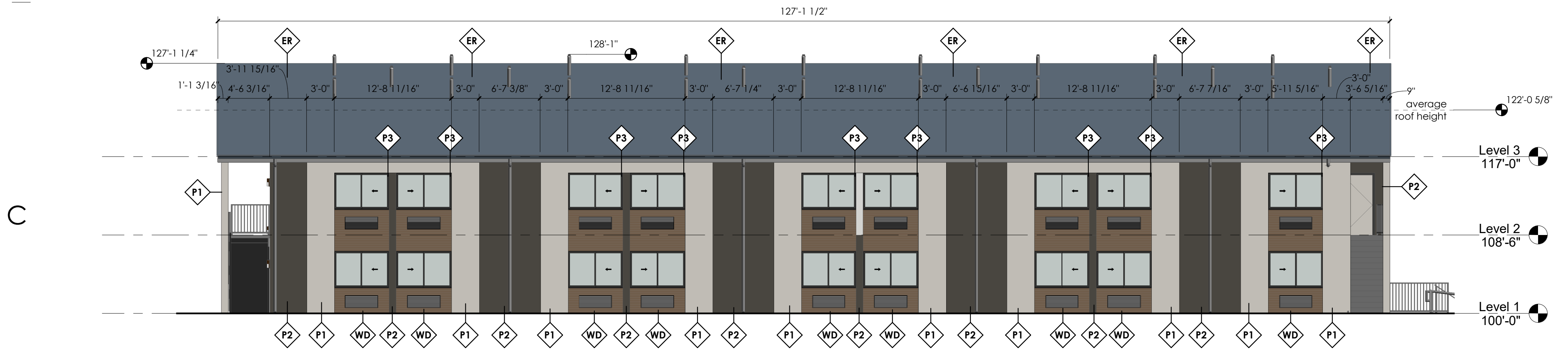




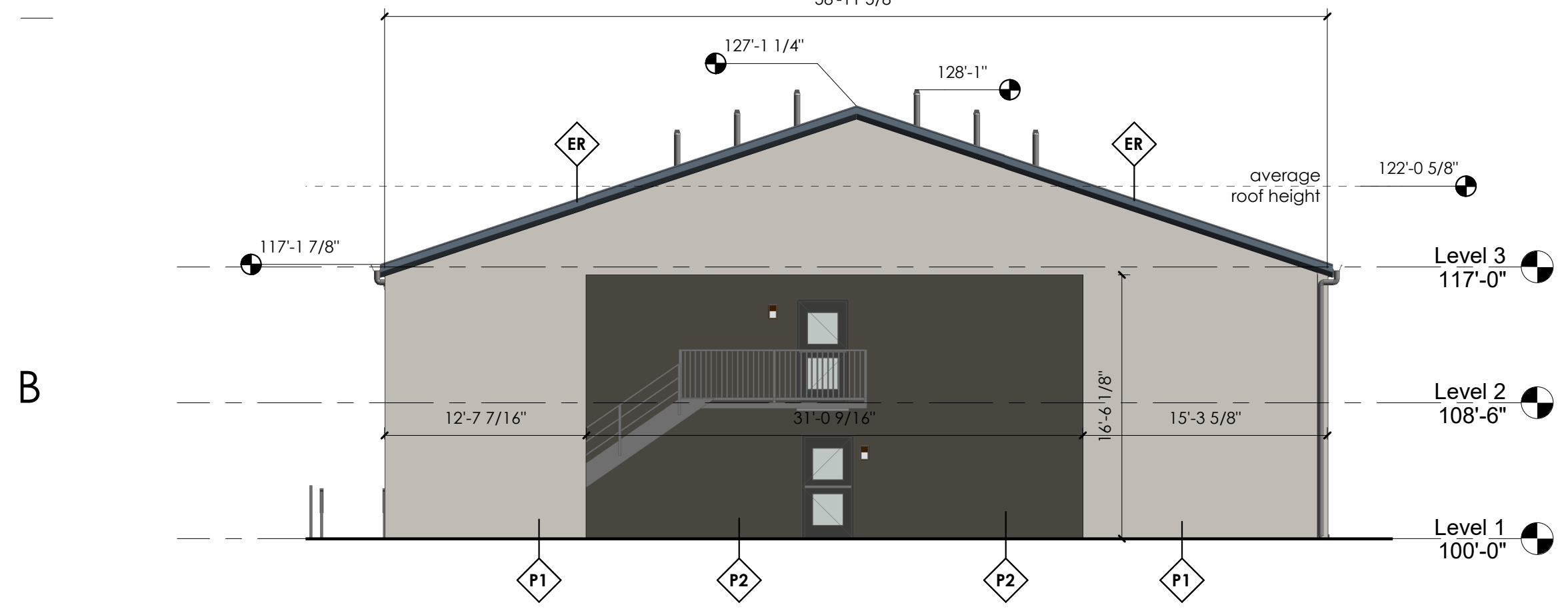
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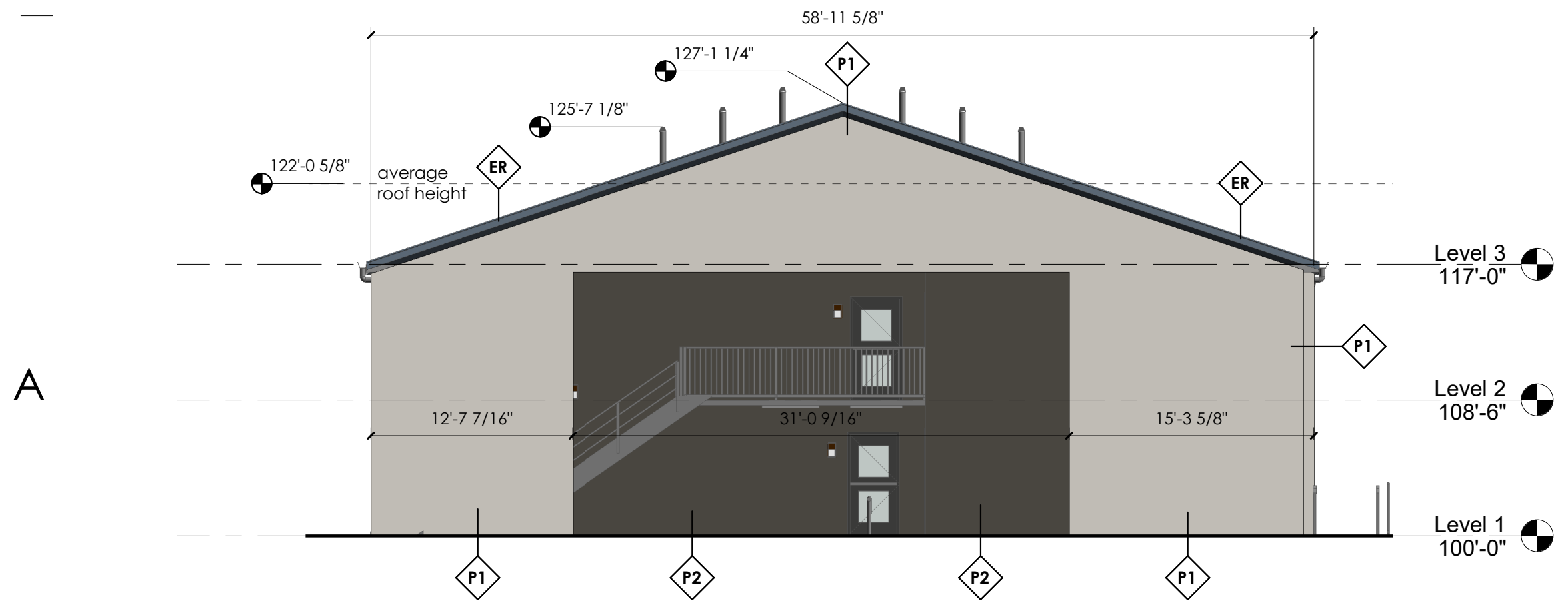
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 1/8" = 1'-0"



**C1 BLDG B - ELEVATION - WEST**  
 1/8" = 1'-0"



**B1 BLDG B - ELEVATION - NORTH**  
 1/8" = 1'-0"



**A1 BLDG B - ELEVATION - SOUTH**  
 1/8" = 1'-0"

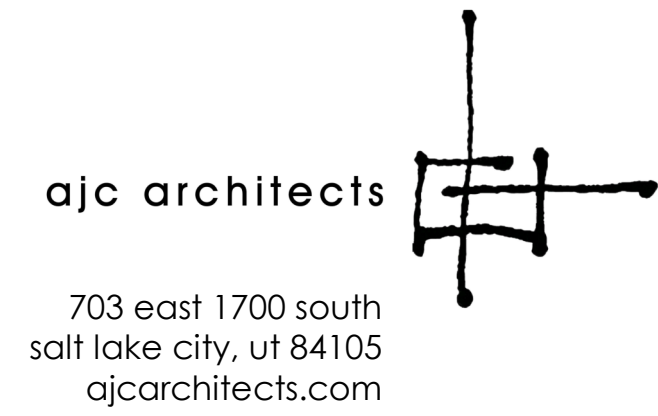
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 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

**ELEVATION FINISHES**

NEW STUCCO FINISH - PAINTED	P1
NEW STUCCO FINISH - PAINTED	P2
NEW STUCCO/TRIM FINISH - PAINTED	P3
NEW HORIZONTAL LAP SIDING	WD
EXISTING ROOF	ER

**KEYED NOTES:**



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ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:

**ELEVATIONS**

REVISIONS	MARK	DATE	DESCRIPTION

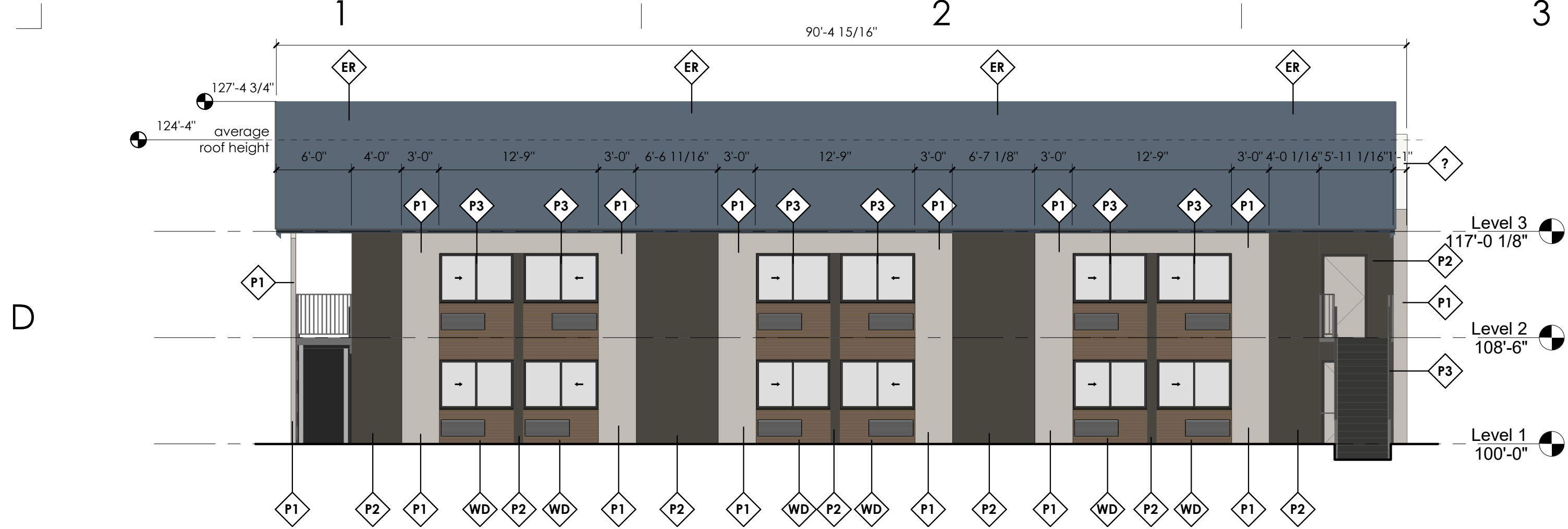
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 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

**AE201.B**



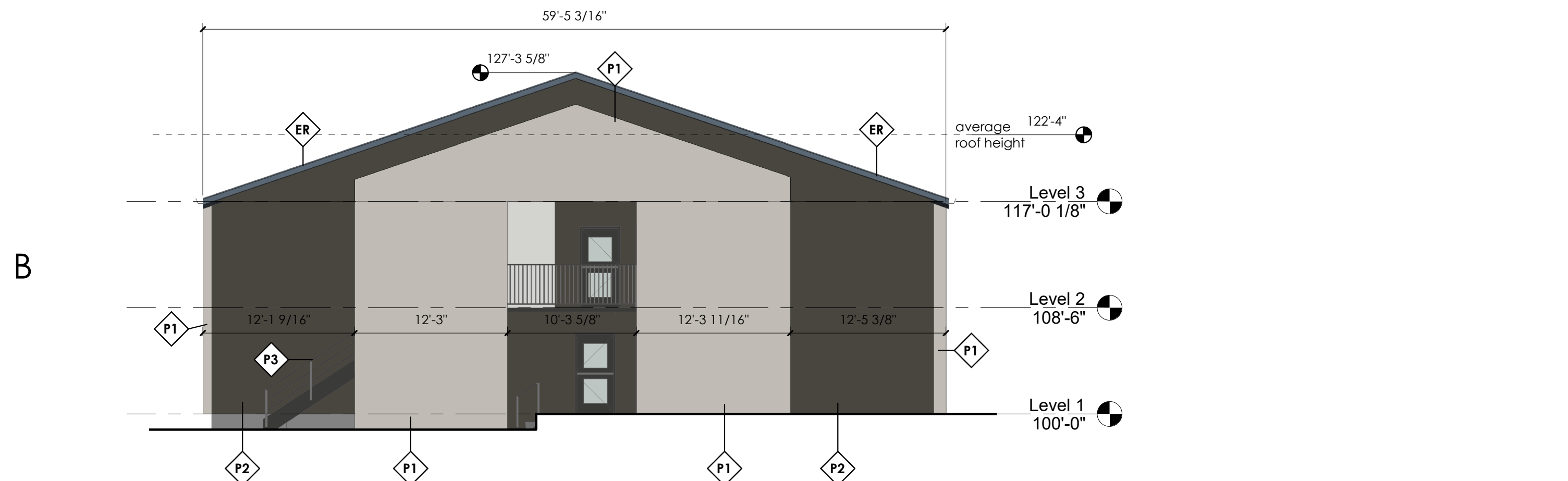
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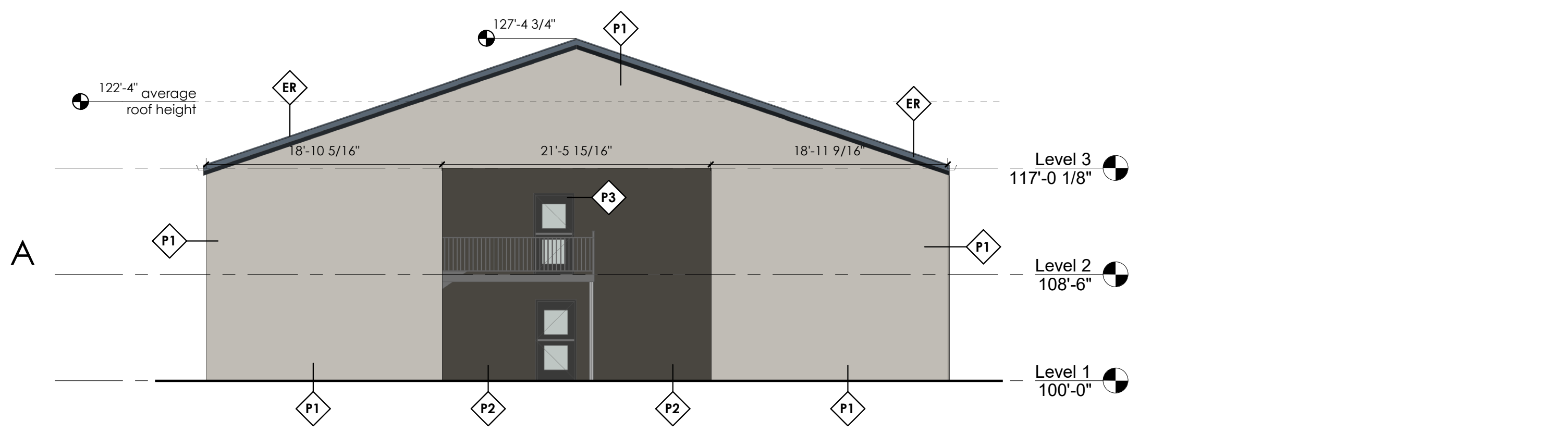
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 SCALE: 1/8" = 1'-0"



**C1 BLDG C - ELEVATION EAST**  
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 SCALE: 1/8" = 1'-0"



**B1 BLDG C - ELEVATION - SOUTH**  
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 SCALE: 1/8" = 1'-0"



**A1 BLDG C - ELEVATION - NORTH**  
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 SCALE: 1/8" = 1'-0"

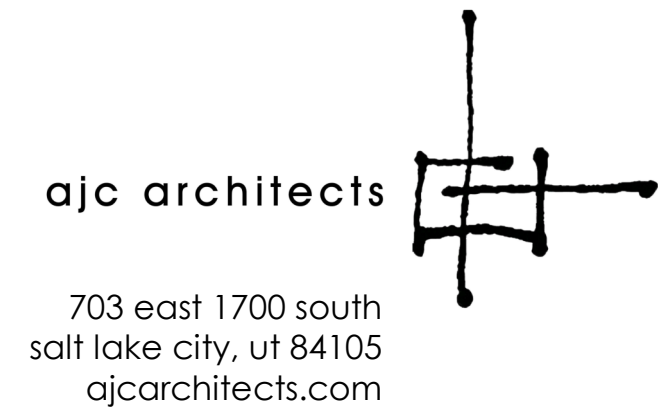
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NEW HORIZONTAL LAP SIDING	WD
EXISTING ROOF	ER

**KEYED NOTES:**



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ARCHITECT / CONSULTANT

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PROJECT DESCRIPTION

**RAMADA INN CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:

**ELEVATIONS**

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 12/18/2020  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

**AE201.C**

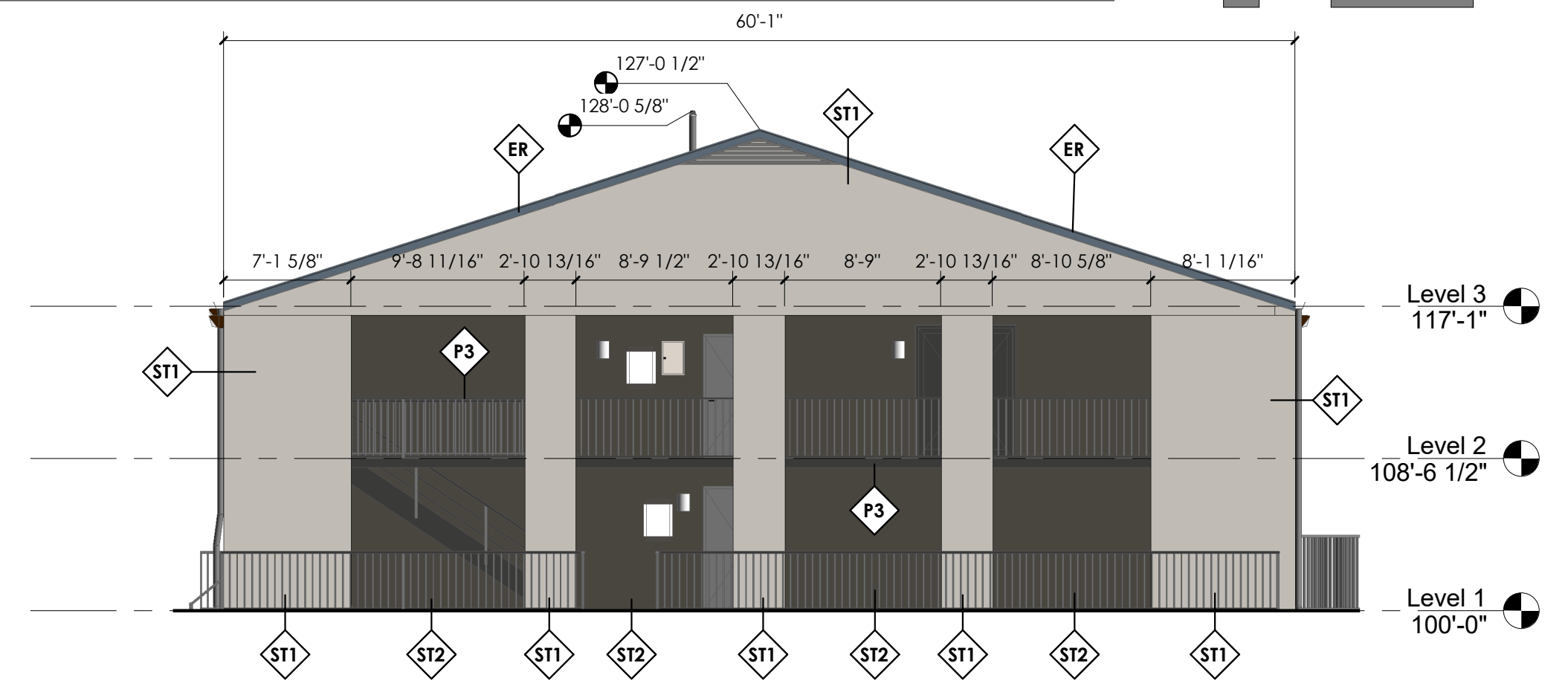
12/17/2020 4:40:38 PM \\ajccorps04c1\users\ltuura\Documents\2020-64\_MCRE\_A&Q\_Ramada\_Building\_G\_Ituura.rvt  
 ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED IN THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS, P.C. AND WERE CREATED, DEVELOPED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS. ANY VIOLATION OF THIS STATEMENT SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS AND STANDARDS OF CONDUCT OF THE ARCHITECTS AND ENGINEERS BOARD OF REGISTRATION IN THE STATE OF UTAH. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, WARNING: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 106. UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET MISAPPROPRIATION IN VIOLATION OF 13 C.F.R. 31.1 ET. SEC. AND OTHER LAWS.



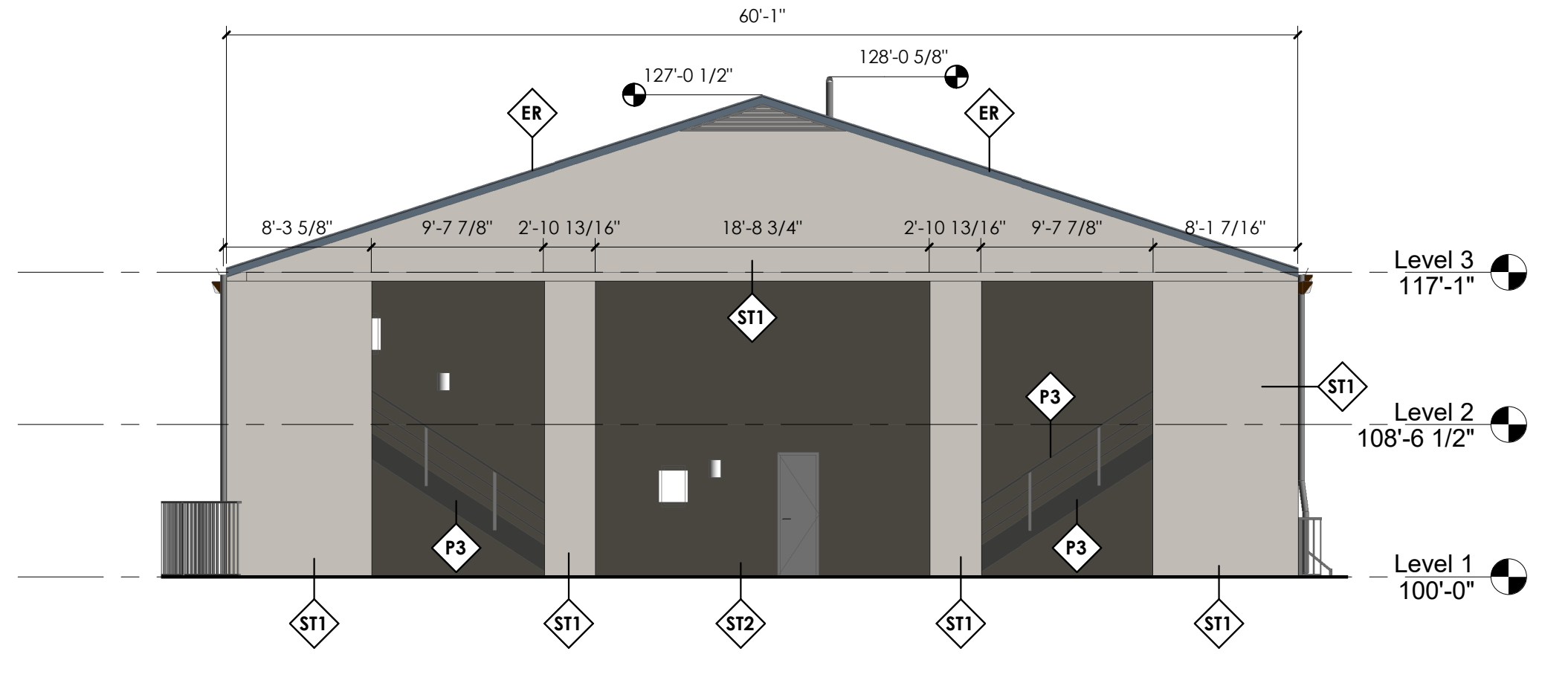
**D1 BLDG G - ELEVATION - WEST**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"



**C2 BLDG G - ELEVATION - EAST**  
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**B2 BLDG G - ELEVATION - SOUTH**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"



**A2 BLDG G - ELEVATION - NORTH**  
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**ELEVATION FINISHES**

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NEW STUCCO FINISH - PAINTED	P2
NEW STUCCO/TRIM FINISH - PAINTED	P3
NEW HORIZONTAL LAP SIDING	WD
EXISTING ROOF	ER

**KEYED NOTES:**

**ajc architects**  
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com

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ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:  
**ELEVATIONS**

REVISIONS

MARK	DATE	DESCRIPTION
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ISSUE DATE: 12/18/2020  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: ZS/LT  
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 PROJECT#: 2020-64

SHEET NUMBER:

**AE201.G**



**KEYED NOTES:**

**GENERAL NOTES:**

SEE SHEET G1001 FOR DRAWING INDEX.  
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 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

ajc architects 

703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com

**NOT FOR CONSTRUCTION**

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN  
 CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:

**ELEVATIONS**

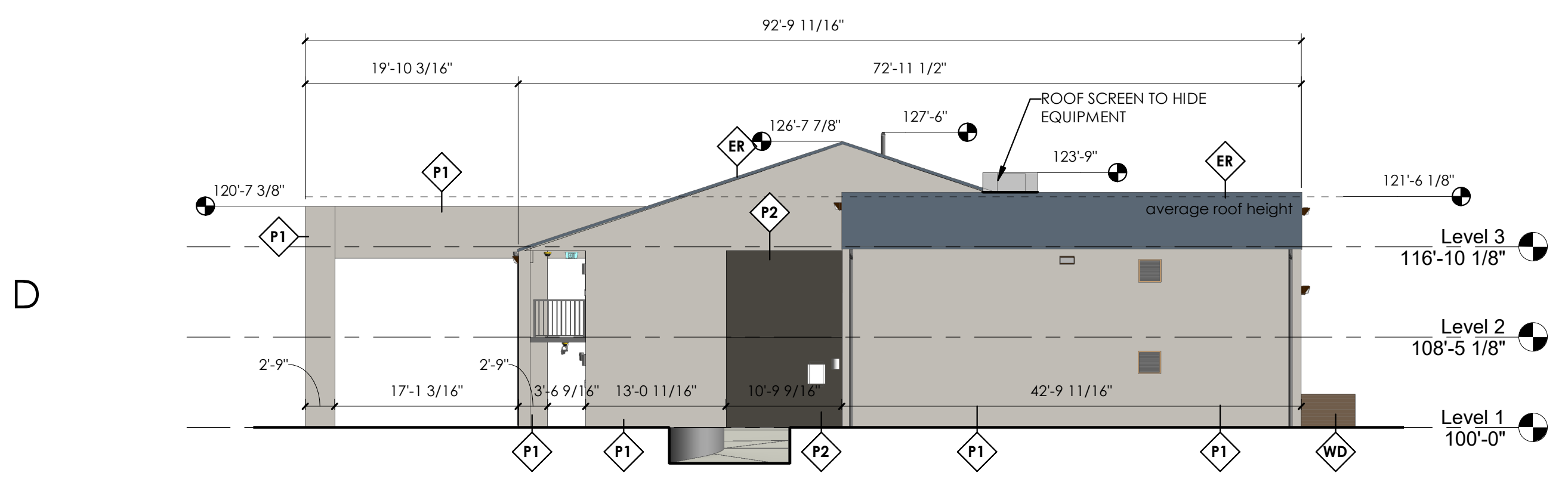
REVISIONS

MARK	DATE	DESCRIPTION

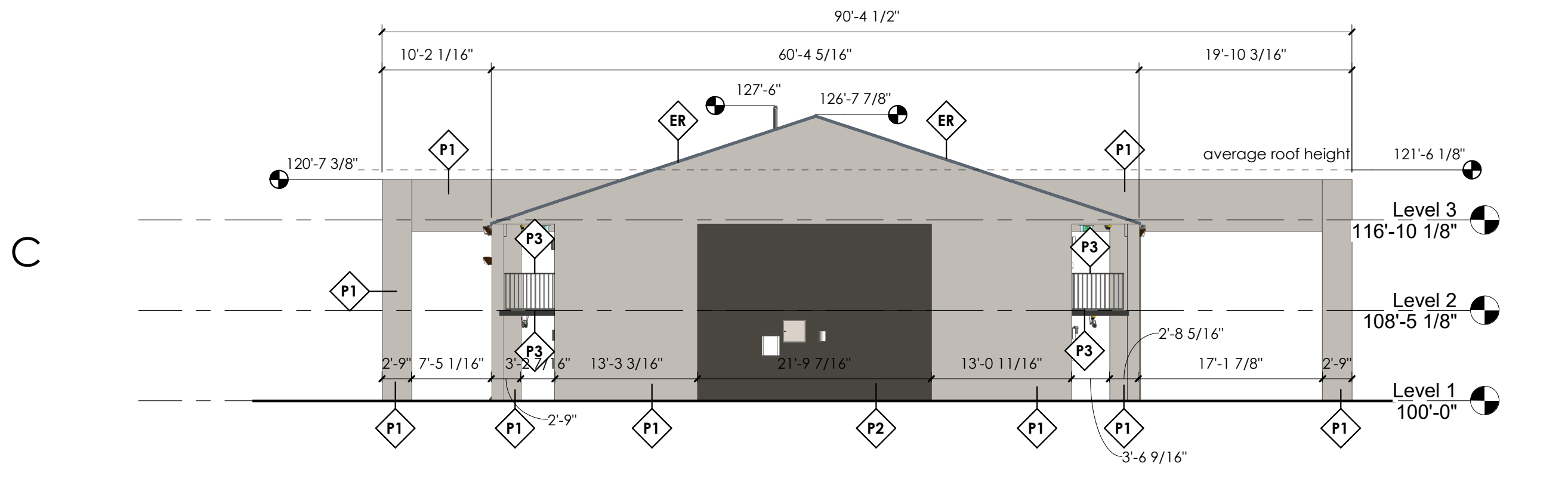
ISSUE DATE: 12/18/2020  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

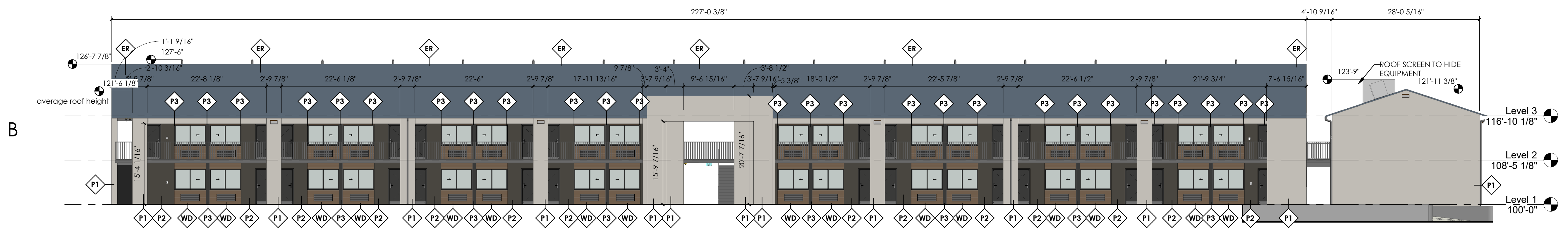
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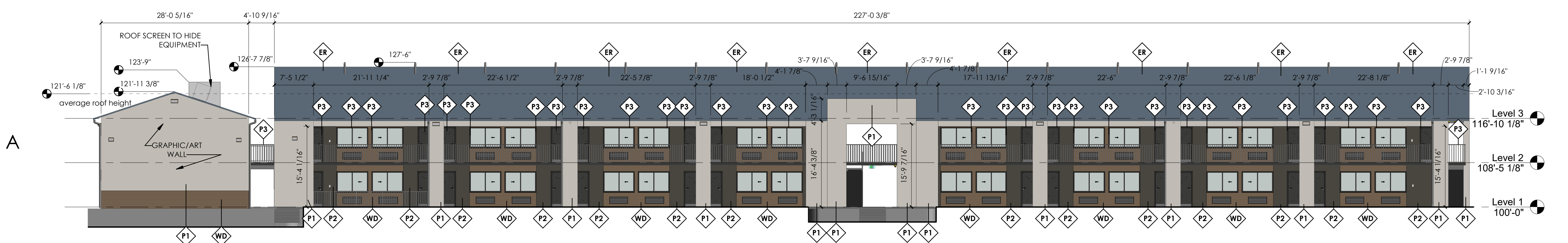
**D1 BUILDING 1 - ELEVATION - WEST**  
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"



**C1 BUILDING 1 - ELEVATION - EAST**  
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"



**B1 BUILDING 1 - ELEVATION - NORTH**  
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"



**A1 BUILDING 1 - ELEVATION - SOUTH**  
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"

12/17/2020 4:31:06 PM \\ajccorps04c1\users\litura\Documents\2020-64\_MCRE\_ABQ\_Amberley\_Building\_1\_litura.rvt  
 ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED IN THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS PC AND WERE CREATED, EXPLAINED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC. ANY VIOLATION OF THIS AGREEMENT SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LEGAL ACTION. THIS DRAWING IS THE PROPERTY OF AJC ARCHITECTS PC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS PC. ANY UNAUTHORIZED DISCLOSURE OR REPRODUCTION OF THIS DRAWING IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 506. UNAUTHORIZED DISCLOSURE OR REPRODUCTION MAY CONSTITUTE TRADE SECRET VIOLATION UNDER 18 U.S.C. SEC. 1839 AND OTHER LAWS.

12/17/2020 4:26:10 PM \\ojccorps04c1\users\littura\Documents\2020-64 MCRE ABQ Amberley Building 2 littura.rvt  
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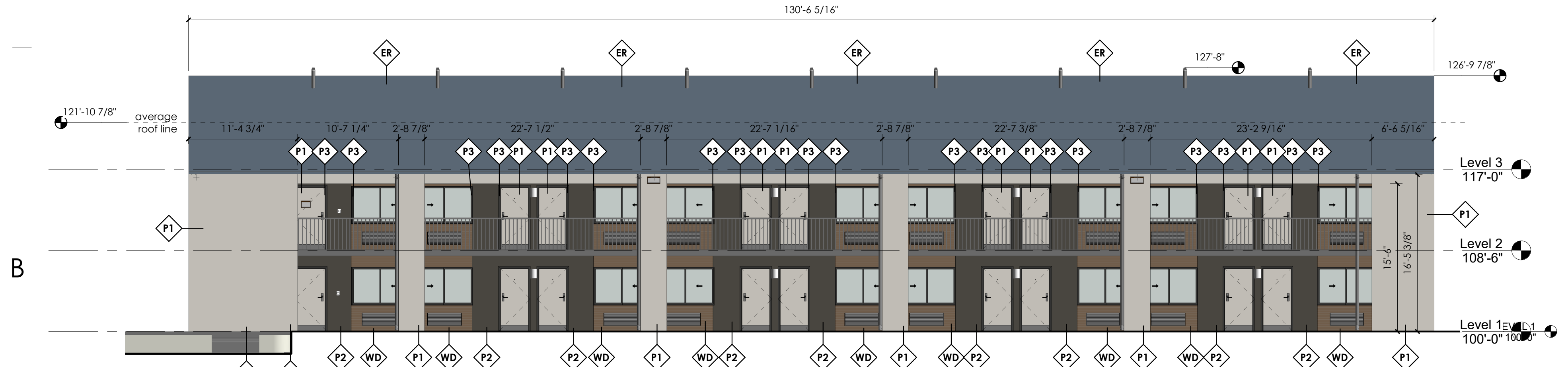
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C



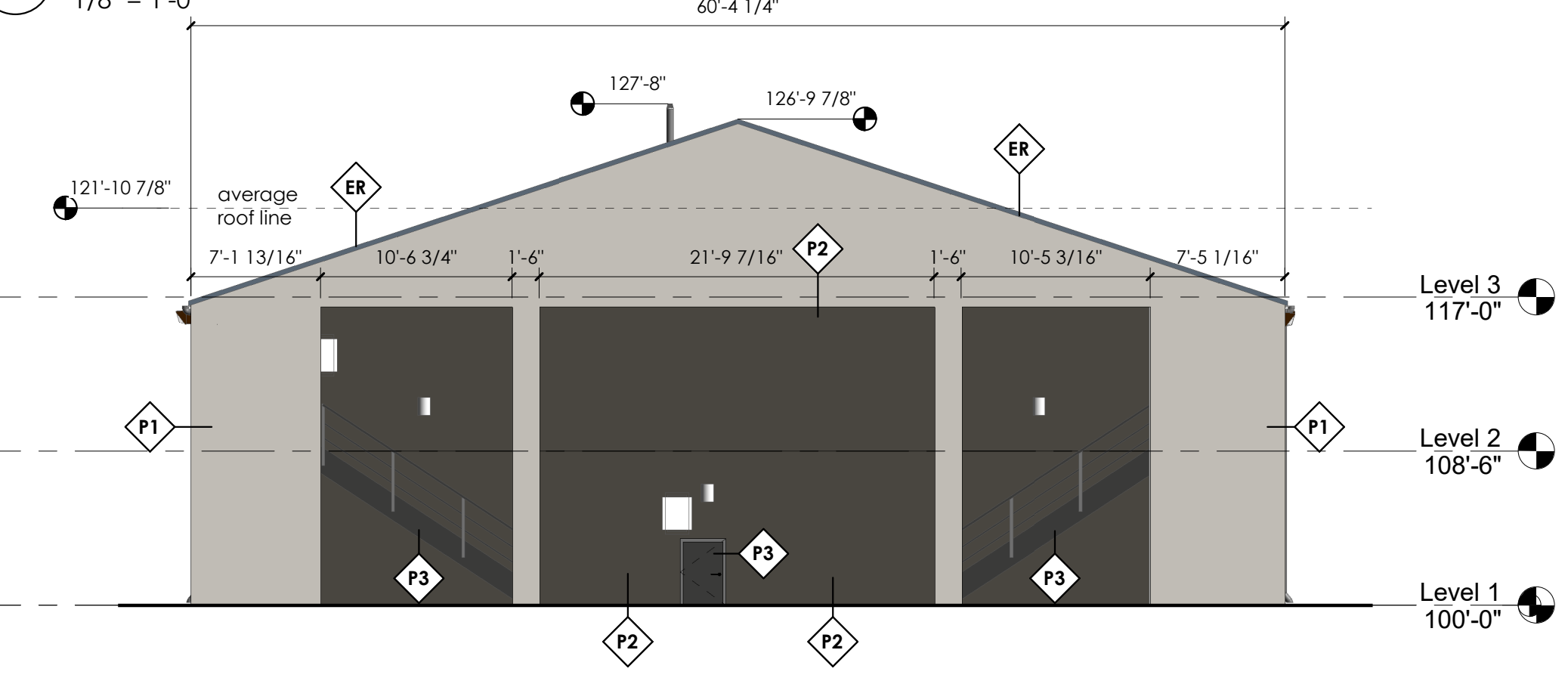
**C1 BLDG 2 - ELEVATION - NORTH**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

B

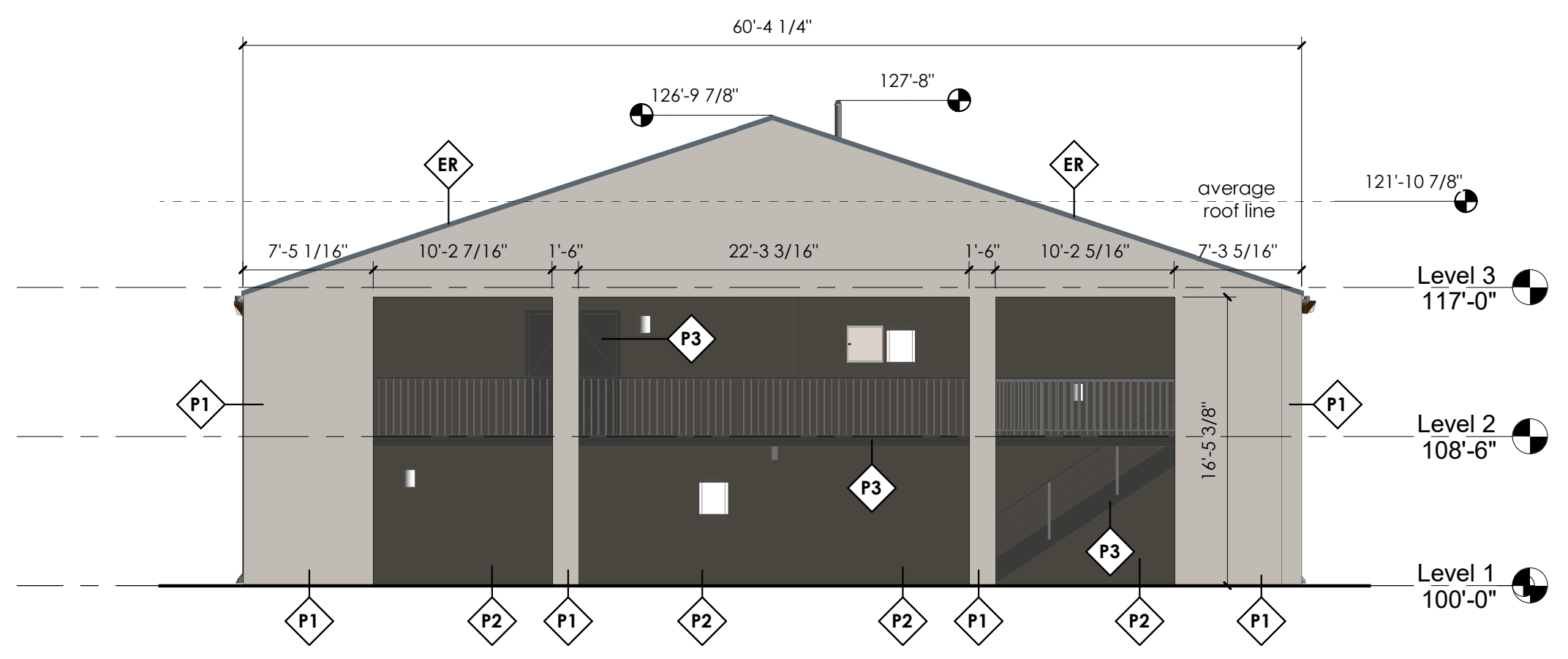


**B1 BLDG 2 - ELEVATION - SOUTH**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

A



**A1 BLDG 2 - ELEVATION - EAST**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"



**A3 BLDG 2 - ELEVATION - WEST**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

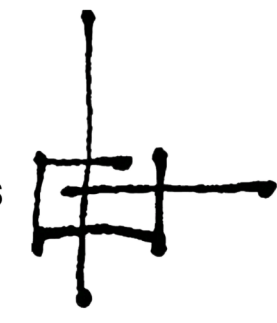
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**ELEVATION FINISHES**

NEW STUCCO FINISH - PAINTED	P1
NEW STUCCO FINISH - PAINTED	P2
NEW STUCCO/TRIM FINISH - PAINTED	P3
HORIZONTAL LAP SIDING	WD
EXISTING ROOF	ER

**KEYED NOTES:**

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 salt lake city, ut 84105  
 ajcarchitects.com

**NOT FOR CONSTRUCTION**

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN CONVERSION**

ENTER PROJECT ADDRESS HERE

SHEET NAME:  
**ELEVATIONS**

REVISIONS	MARK	DATE	DESCRIPTION

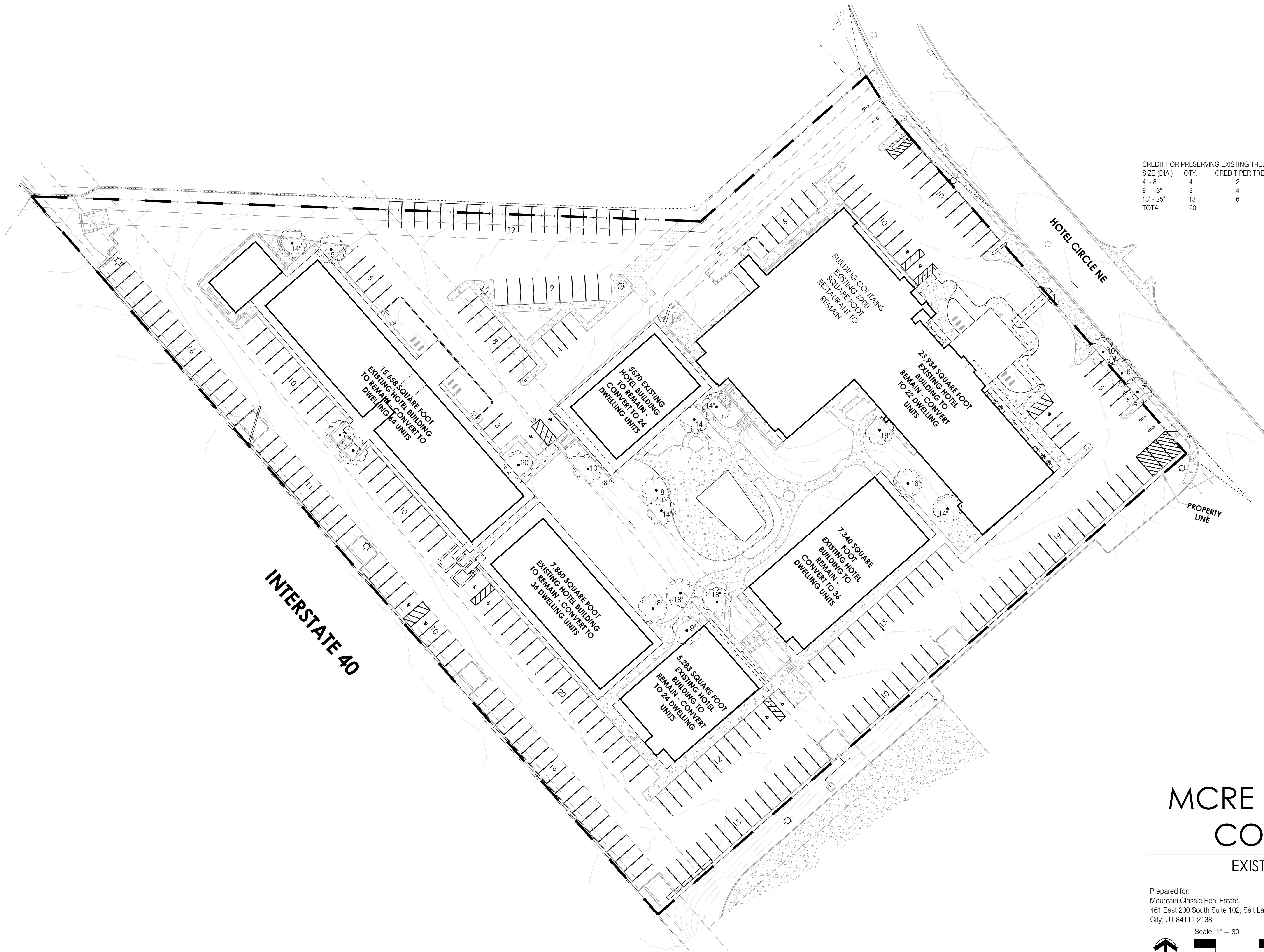
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 DRAWN BY: ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

**AE201.2**



CREDIT FOR PRESERVING EXISTING TREES:			
SIZE (DIA.)	QTY.	CREDIT PER TREE	TOTAL
4" - 8"	4	2	8
8" - 13"	3	4	12
13" - 25"	13	6	78
<b>TOTAL</b>	<b>20</b>		<b>98</b>

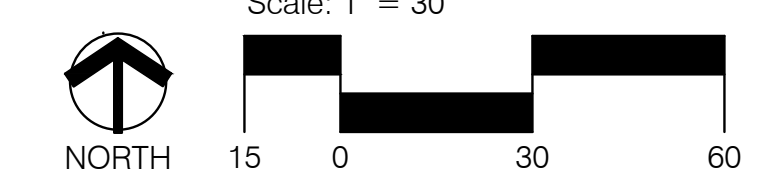


# MCRE MULTI-FAMILY CONVERSION

EXISTING TREE CALIPER

Prepared for:  
Mountain Classic Real Estate.  
461 East 200 South Suite 102, Salt Lake  
City, UT 84111-2138

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102



February 8, 2021