



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2020-004820

Application No. SI-2020-001468

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 2/24/21

HEARING DATE OF DEFERRAL: 3/10/21

SUBMITTAL

DESCRIPTION: Updated plan set and comment response memo. Sidewalk width waiver justification.

CONTACT NAME: Michael Vos, AICP or Jim Strozier, FAICP

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com or cp@consensusplanning.com



Memorandum

To: Jolene Wolfley and DRB Members, City of Albuquerque

From: Michael Vos, AICP, Consensus Planning, Inc.

Date: March 5, 2021

Re: Hotel Circle Ramada Apartment Conversion DRB Comment Responses (PR-2020-004820)

This memo outlines our updated response and changes made to the site plan for the proposed apartment conversion based on the comments received and reviewed at the February 24, 2021 DRB meeting. The comments are numbered, and responses are in bold italics.

Code Enforcement

Code Enforcements latest comments indicated they reviewed the previous submittal and no further comment or objection.

Hydrology

1. An approved Grading and Drainage Plan is required before Hydrology can sign.
 - a. ***A new General Note has been added to the Site Plan indicating pre-design communication on February 11, 2021 that a Grading & Drainage Plan is not required unless the area of disturbance/repaving exceeds Hydrology's requirement of 10,000 square feet. The current plan does not meet this threshold.***

Transportation Development

1. The Traffic Study needs to be approved prior to site plan approval. (Any infrastructure recommendations from the approved study shall be incorporated onto an infrastructure list.) One of the improvements includes lengthening of a left turn lane from Hotel Circle onto Lomas Boulevard. Another request includes separating the 40-foot drive into two separate entrances on the west side.
 - a. ***We have received comments from staff on the Traffic Study and it is being resubmitted to staff on Monday, March 8, 2021 by Lee Engineering. We have taken the comments received from staff and created an infrastructure list that includes the modification to the driveways and lengthening the left turn lane at Hotel Circle/Morris.***
2. One foot of sidewalk cannot be added onto an existing sidewalk. This is not constructible. The entire sidewalk would need to be replaced or otherwise, a width waiver may be requested.
 - a. ***A width waiver request is being requested due to existing obstructions, potential damage to the existing street trees, and width of the sidewalk on adjacent properties. A justification for this width waiver is attached to this supplemental submittal.***
3. Clarify what will happen with the gated entrance. There are conflicting notes between the site plan and the comment responses.
 - a. ***The existing gate at the southern entrance that is located at the back of sidewalk will***

be removed as part of this development (see Keynote #36). The two other gates on the north and south sides of the building providing entry to the rear portion of the parking lot are proposed to remain and be retrofitted for automated access with a Knox box provided for emergency access purposes (see Keynote #38).

4. The driveways shall have a 4-foot ADA pathway. Provide details to show connectivity.
 - a. **The driveways have been updated to show a 4-foot pathway. A new detail showing this condition has been added on Sheet AS103.**
5. Where is keyed note 37?
 - a. **This Keynote has been updated and is now #38. These fence/gate locations are on either side of the building providing secured parking on the sides and rear of the site.**
6. How do all of the handicapped parking spaces have access to the building? Identify all existing and new curb ramps and 6-foot pedestrian paths from the handicapped ramps to the doorways. There appear to be accessibility issues for the handicapped spaces.
 - a. **New Keynote #43 identifies the locations of existing curb ramps at the existing accessible parking locations that will remain. 6-foot minimum pathways connect to the nearest building entrances from these spaces, as required.**
7. On the detail for the handicapped ramp that is perpendicular to the parking lot, show a minimum 4-foot pathway at the top of the ramp for turning a wheelchair.
 - a. **This detail has been updated.**
8. Dimension all van accessible aisles and other handicapped aisles.
 - a. **Additional dimensioning has been added.**
9. For the new parking spaces, mark these as "Compact" if they fall below the standard dimensions.
 - a. **Keynote #39 and the Legend clarify that these new spaces compact and the associated detail identifies the required pavement marking.**
10. Is there an existing shared access agreement with the property to the north based on where the property line is?
 - a. **There are easements that straddle the property line, but the proposed parking will remain on the subject site and the adjacent property is not required to meet circulation or fire access requirements.**
11. For listing of dimensions, use similar fonts and prevent overlapping.
 - a. **Fonts and dimensions updated for better readability.**

ABCWUA

1. Availability statement #201213 is in holding as a fire one plan is required.
 - a. **Understood**
2. Currently the single account for the property is for commercial. Given that the use is changing from hotel to multi-family residential, the account shall be adjusted to reflect the multi-family customer class.
 - a. **This account will be updated at the appropriate point in the redevelopment process to identify the correct customer class.**
3. A separate account (commercial class) will be required for the restaurant as each customer class needs its own account and water meter.

Response to comments indicated that the restaurant has been removed from the proposed site at this time.

How will that space be used? Does it need to come back to DRB approval for use of the

restaurant? The Existing Tree Caliper exhibit indicates the restaurant to remain. Please confirm.

The Site Plan calls out utility plans but does not call them out specifically as to what type of easements they are. Please specify any onsite public waterline and/or sanitary sewer easements. Be sure to include the width of easements.

- a. *The easements have been updated on the Site Plan to identify the specifics of each one with widths. All sheets and exhibits have been updated to reflect the intent not to use the restaurant space, which will remain vacant or utilized for common apartment purposes. If the restaurant or another use were to begin operation again, an amendment to the plan to reflect the change of use and impacts to parking would be required and additional services could be determined at that time.***
4. Utility Plan

PREVIOUS COMMENT: Please show existing onsite public waterline and sanitary sewer. The utility plan does not show the existing sanitary sewer along the western property line.

The meter to be used is not shown.

Label buildings.

- a. *The plans have been updated accordingly.***

Planning

Planning noted the building design section was not applicable and the updated parking still met the requirements. No other new comments were received.



March 5, 2021

Jolene Wolfley, Chair
Development Review Board
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Re: Sidewalk Width Waiver for Apartment Conversion at 25 Hotel Circle NE

Dear Ms. Wolfley:

The purpose of this letter is to request approval of the sidewalk width waiver as identified by the comments provided by the Transportation Development Section on February 24, 2021. The comments addressed the existing sidewalk conditions along Hotel Circle NE. The property is legally described as Tract 4-B-1, Horne Development Addition containing approximately 5.04 acres (Figure 1).

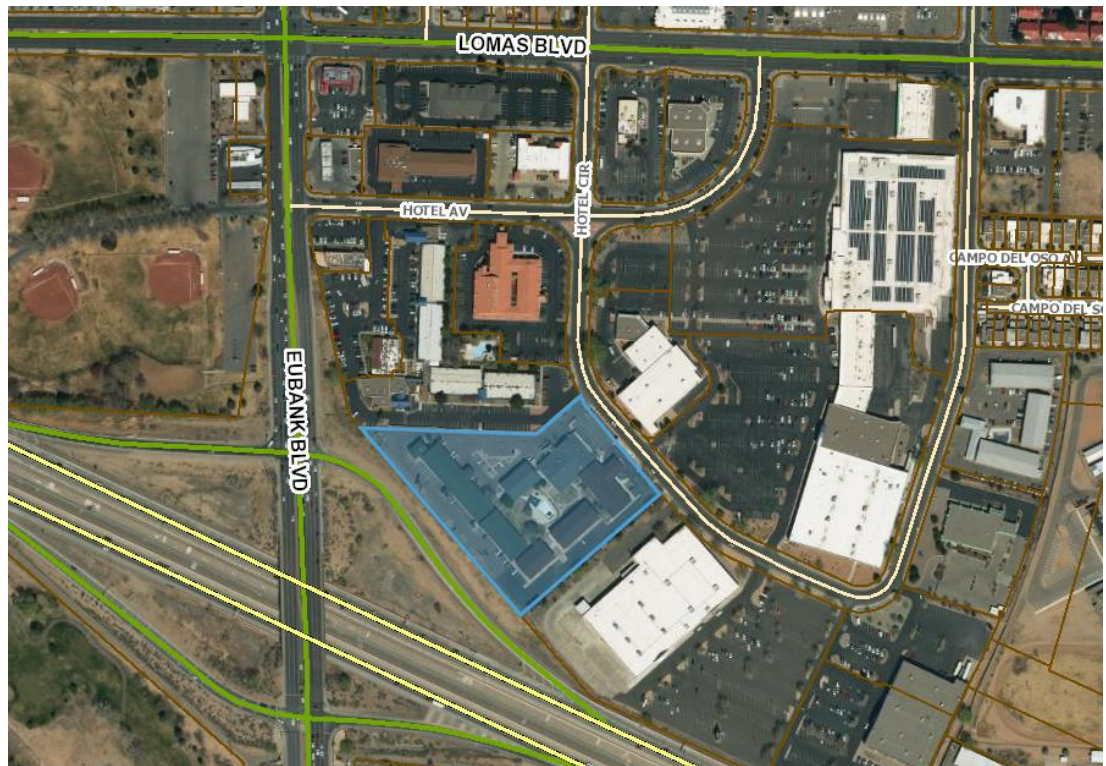


Figure 1: Site Location.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

The site is zoned MX-M: Mixed-use Moderate Intensity, which allows for multi-family residential uses permissively. The site is within the Foothills Community Planning Area and part of the Los Altos/Market Center Activity Center as designated by the Comprehensive Plan. Due to its location within an Activity Center, the site is considered an Area of Change. Lomas Boulevard to the north of the site is a Major Transit Corridor and Interstate 40 is a Commuter Corridor.



The requested waiver is as follows:

1. Waiver of 1-foot to the required 5-foot sidewalk width to allow the continued use of the existing 4-foot-wide sidewalk along Hotel Circle NE.

Regarding the proposed waiver, it meets the requirements for approval as outlined in Section 6-6(P)(3) of the IDO and the requirements of the DPM, as follows:

6-6(P)(3)(a) Any of the following applies:

1. ***There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, water courses, natural topographic features, man-made obstructions, or utility lines.***
3. ***The established neighborhood character or landscaping on the site would be damaged to a degree that outweighs the public interest in the City's normal technical standards in that location.***
4. ***Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity of design of a subdivision, in accordance with accepted principles of site planning.***

Response: The requested waiver is necessary due to existing obstructions and landscaping along the Hotel Circle frontage, as well as providing flexibility for the site planning by not requiring full replacement of the existing sidewalk along just this site's frontage due to the constructability issues associated with a 1-foot expansion. The sidewalks on both adjacent properties to the northwest and southeast are the same width.

On the southeastern portion of the site there are several utility boxes and three existing street trees adjacent to the existing sidewalk that are being preserved by this redevelopment/conversion of the hotel into apartments. Replacing and widening the sidewalk would lead to the potential relocation of the utilities and damage being caused to the trees. Relocation costs and damage to the trees would outweigh the public interest in widening this limited section of the sidewalk on Hotel Circle due to the narrower width on adjacent properties, such that there is no appreciable benefit to the limited areas that would be expanded.

6-6(P)(3)(b) The Waiver will not be materially contrary to the public safety, health, or welfare.

Response: The requested waiver is not materially contrary to the public safety, health, or welfare. The proposed waiver allows for the continuation of existing conditions, while simultaneously allowing for approval of a site plan for the proposed redevelopment of the hotel into another new, affordable housing option. The sidewalks around the site will continue to allow for safe pedestrian access and the waiver to the width and requirement does not undermine this purpose. The existing 4-foot clear pathway provides the required ADA access, and the driveways will be modified to continue this minimum ADA access along the entire frontage of the site regardless of the requested waiver.



6-6(P)(3)(c) The Waiver does not cause significant material adverse impacts on surrounding properties.

Response: The proposed waiver will not cause material adverse impacts on surrounding properties. As described above, the proposed sidewalk matches those in the surrounding neighborhood and at the immediately adjacent properties.

6-6(P)(3)(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

Response: The proposed waiver will not hinder the City's ability to plan, acquire, finance, or build any public infrastructure improvements. Waiving this standard for this singular property will not hinder the City from making any future modifications along Hotel Circle that may improve the conditions at this site and for adjacent properties.

6-6(P)(3)(e) The Waiver will not conflict significantly with provisions of any city, county, or AMAFCA adopted plan, this IDO, or any other City code or ordinance.

Response: The proposed waiver does not conflict with any adopted plans. Sidewalk is provided along the entire frontage of the property, as required by the IDO, and it meets the required minimum width for ADA access.

6-6(P)(3)(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year floodplain.

Response: The subject site is not within a 100-year floodplain.

6-6(P)(3)(g) The Waiver will not materially undermine the intent and purpose of this IDO or applicable zone district.

Response: The proposed waivers will not undermine the intent or purpose of the IDO or the applicable MX-M zone district. The purpose of the MX-M zone "is to provide for a wide array of moderate-intensity retail, commercial, institutional and moderate-density residential uses..." The requested waiver does not undermine this intent and will facilitate the proposed redevelopment that brings additional moderate-density residential uses into an existing Activity Center.

6-6(P)(3)(h) The Waiver does not allow a lot or type of development that does not meet the applicable size, area, and development standards applicable in the zone district where the lot is located, unless a Deviation to such standards is within the thresholds established by Subsection 14-16-6-4(O) (Deviations) and is granted by the DRB as part of this approval.

Response: The waiver does not allow a lot or type of development that does not meet the size, area, and development standards of the IDO. The proposed Site Plan shows that the redevelopment meets the setbacks and building height requirements of the IDO. Adequate parking is being provided and other standards are either met or do not apply since the project is redeveloping and maintaining an existing building as much as possible.



6-6(P)(3)(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Section.

Response: As described, the requested waiver is consistent with this section of the IDO and requirements of the DPM and is necessary to provide redress due to existing utility obstructions, street tree locations, and the sidewalk widths on adjacent properties.

6-6(P)(3)(j) If the request is for a Waiver to IDO sidewalk requirements, the area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property.

Response: This criterion is not applicable to the request. Sidewalks exist such that no gap in the sidewalk network exists or be continued. The waiver is only to the width requirements due to existing obstructions and for flexibility in redevelopment of the underutilized hotel site.

Based upon the information provided, we respectfully request the DRB's review and approval of the waiver request as described and as shown on the Site Plan for this project. Please do not hesitate to contact me if you have any questions or need any additional information.

Sincerely,

A handwritten signature in black ink, which appears to read 'Michael J. Vos', is positioned below the text 'Sincerely,'.

Michael J. Vos, AICP
Senior Planner

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 5-Mar-21

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: _____

DRB Application No.: PR-2020-004820

MCRE Multi-family Conversion

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract 4-B-1, Horne Development Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		5'	PCC Sidewalk Add 1' Decorative Strip to Existing Sdwk.	Hotel Circle	Frontage		/	/	/
		4'	ADA Accessible Way	Hotel Circle	SE Entrance		/	/	/
		24'	PCC Drivepad Modification	Hotel Circle	NW Entrance		/	/	/
		6"	Public FH to Prv't Fire Line	Interior Site - 36" WL	Exist FH Location		/	/	/
		4"	Striping to Lengthen Left-Turn Lane	Hotel Circle/Morris	Exist. Start of LTL	North edge of 1st drvwy to the south	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	


NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Fred C. Arfman, PE
 NAME (print)
ISAACSON & ARFMAN, INC.
 FIRM

 SIGNATURE - date 3/5/2021

 DRB CHAIR - date

 TRANSPORTATION DEVELOPMENT - date

 UTILITY DEVELOPMENT - date

 CITY ENGINEER - date

 PARKS & RECREATION - date

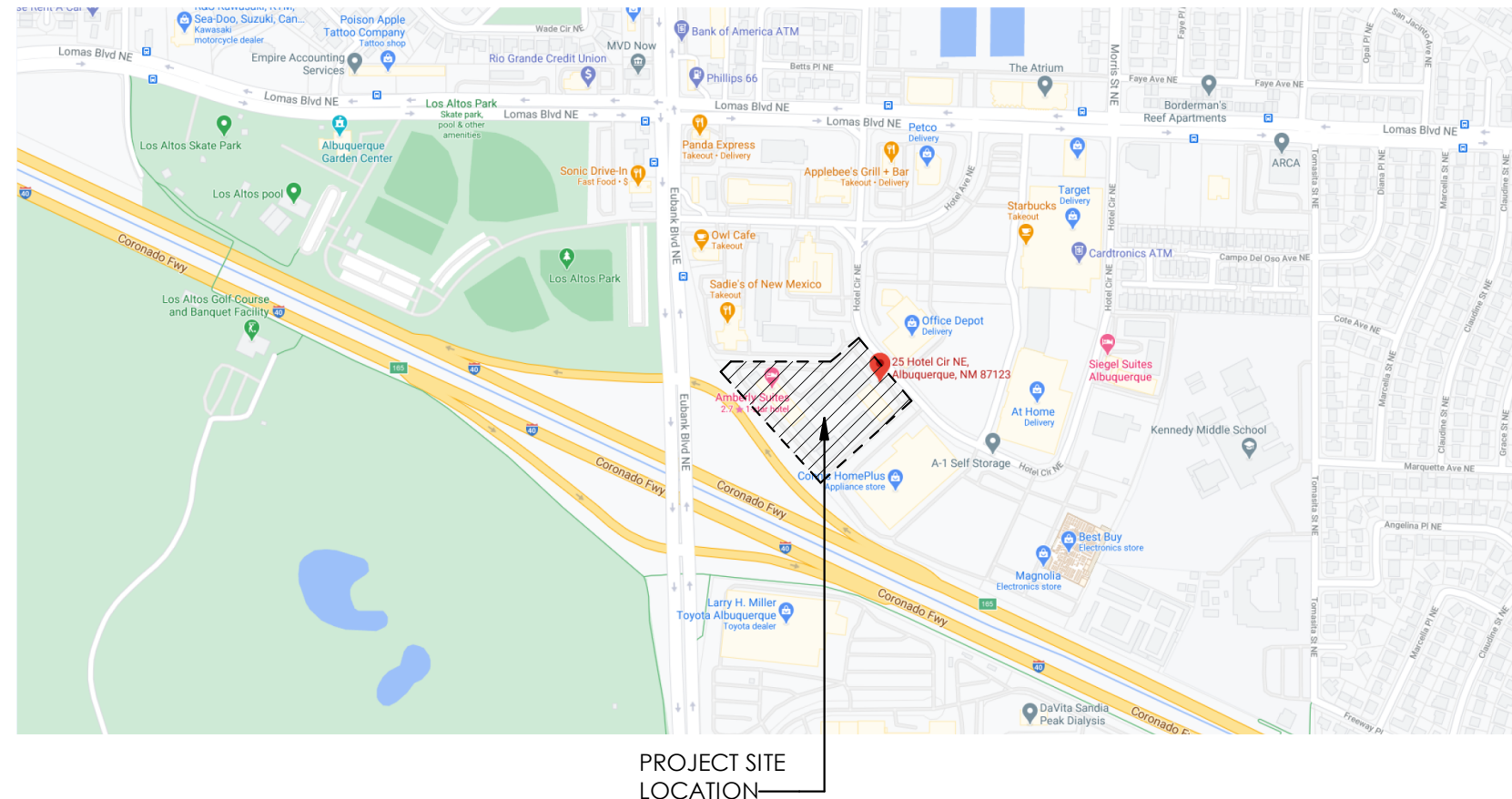
 AMAFCA - date

 CODE ENFORCEMENT - date

 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



D1 SCALED VICINITY MAP
1" = 400'-0"

KEYED NOTES:

- 1 EXISTING 6' TALL WHITE VINYL FENCE TO REMAIN
- 2 EXISTING UTILITY EASEMENTS SHOWN HATCHED
- 3 EXISTING DUMPSTER ENCLOSURE TO REMAIN
- 4 NEW PLANTING BED
- 5 NEW SIDE WALK
- 6 EXISTING POLE SIGN TO REMAIN
- 7 EXISTING Pylon SIGN TO REMAIN
- 8 EXISTING 6' TALL CHAIN LINK FENCE TO REMAIN
- 9 NEW PORTICO & PLANTING BEDS WITH NEW 1:20 MAX. SLOPED CONCRETE PATHWAY TO PROVIDE ACCESS FROM ADJACENT ACCESSIBLE PARKING SPOTS TO EXISTING PEDESTRIAN PATHS.
- 10 EXISTING IN-GROUND POOL TO REMAIN
- 11 EXISTING HOT TUB TO REMAIN
- 12 EXISTING LOADING DOCK TO REMAIN
- 13 EXISTING FLARED CURB CUT TO REMAIN - NEW 4' (ADA) SIDEWALK WITH 1.5% CROSS SLOPE MAX TO BE INSTALLED ADJACENT TO EXISTING DRIVE ACCESS. REMOVE AND REPLACE EXISTING ASPHALT AS REQUIRED TO PROVIDE FOR A SMOOTH TRANSITION.
- 14 EXISTING CONCRETE DRIVEWAY TO BE PARTIALLY DEMOLISHED AND RECONSTRUCTED TO PROVIDE NEW FLARED CURB CUT (EFFECTIVELY SEPARATE DRIVE ENTRANCES WITH ADJACENT PROPERTY) - PLEASE REFER TO PROVIDED INFRASTRUCTURE LIST.
- 15 EXISTING SITE POLE LIGHT TO REMAIN
- 16 EXISTING BILLBOARD TO REMAIN
- 17 EXISTING 5' TALL PAINTED WHITE, STUCCO-COATED SITE WALL TO REMAIN
- 18 EXISTING ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING ENTRANCE
- 19 EXISTING 4' TALL METAL PICKET FENCE PAINTED BLACK AROUND POOL AREA TO REMAIN
- 20 EXISTING CONCRETE PEDESTRIAN WAY PARTIALLY UNDER COVER OF ROOF ABOVE
- 21 EXISTING 6' TALL METAL PICKET FENCE PAINTED WHITE TO REMAIN
- 22 EXISTING PARK STRIP TO REMAIN
- 23 EXISTING CONCRETE PEDESTRIAN PATH TO REMAIN
- 24 EXISTING CONCRETE PEDESTRIAN WAY UNDER COVER OF ROOF ABOVE
- 25 EXISTING STRIPED NO PARKING ZONE TO REMAIN
- 26 EXISTING CURB AND GUTTER TO REMAIN
- 27 EXISTING PUBLIC SIDEWALK TO REMAIN
- 28 EXISTING STORM DRAIN INLETS TO REMAIN
- 29 EXISTING FIRE HYDRANT TO REMAIN
- 30 NEW FLARED CURB CUTS TO CONNECT EXISTING SIDEWALK AND PORTE COCHERE CONCRETE PAD TO ESTABLISH AN ACCESSIBLE PATH CONNECTING EXISTING BUILDING TO THE EXISTING PUBLIC WAY. 6'-0" WIDE CROSSWALK STRIPING IS TO BE PAINTED ON EXISTING PAVEMENT CONNECTING EACH NEW FLARED CURB CUT. SEE TYPICAL FLARED CURB CUT DETAIL ON SHEET AS102.
- 31 6' WIDE ACCESSIBLE PATH TO BUILDING TO BE ESTABLISHED AND MAINTAINED FROM EXISTING PUBLIC WAY TO PRIMARY ENTRANCE AS SHOWN.
- 32 3'-0" TALL SCREENING FENCE ALONG HOTEL CIRCLE FRONTAGE - SEE SITE DETAILS ON SHEET AS102
- 33 NEW BIKE RACKS (SUITABLE SPACE FOR 6 BIKES).
- 34 EXISTING CONCRETE PEDESTRIAN WALKWAY TO BE REMOVED FOR NEW TREE. SEE LANDSCAPE PLAN.
- 35 MOTORCYCLE SPACES (4'X8') WITH SIGN
- 36 EXISTING CRASH GATE AT SOUTH SITE ENTRANCE TO BE REMOVED.
- 37 MINI CLEAR SIGHT TRIANGLE AT EACH DRIVEWAY ONTO SITE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
- 38 EXISTING SECURITY FENCE & GATE TO BE RETROFITTED TO PROVIDE MOTORIZED AUTOMATION (CONTROL VIA KEYPAD OR ACCESS CARD CONTROL) - KNOX BOX WITH MEANS OF FIRE ACCESS TO BE COORDINATED WITH FIRE MARSHAL.
- 39 NEWLY STRIPED COMPACT PARKING STALLS - REFER TO TYP. COMPACT PARKING SPOT DETAIL ON SHEET AS102
- 40 SAW-CUT AND REMOVE EXISTING CONCRETE TO ALLOW FOR NEW POURED CONCRETE SIDEWALK EXTENSION TO PROVIDE A NEW 5' CLEAR PATH TO ACCESS ADJUSTED PUBLIC RIGHT OF WAY.
- 41 DEMOLISH AND POUR NEW CONCRETE SIDEWALK IN THIS LOCATION TO MAINTAIN MINIMUM 4' WIDTH
- 42 EXISTING ACCESSIBLE PEDESTRIAN PATH TO PROVIDE EXTERIOR ENTRY TO TYPE 'A' DWELLING UNITS IN THIS LOCATION.
- 43 EXISTING CURB RAMP AT ACCESSIBLE AISLE TO REMAIN

GENERAL NOTES:

SEE SHEET G1001 FOR DRAWING INDEX.
SEE SHEET G1002 FOR GENERAL NOTES AND ABBREVIATIONS.
DO NOT SCALE DRAWINGS.
CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

SITE LOCATED IN THE LOS ALTOS / MARKET CENTER
ANY GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO THE PNM ELECTRIC SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
PER PREDESIGN E-MAIL FROM RENEE BRISLETTE, PE, COA HYDROLOGY DATED FEB. 11, 2021. THIS PROPERTY IS NOT REQUIRED TO PROVIDE A GRADING & DRAINAGE PLAN UNLESS THE PROPOSED IMPROVEMENTS INCLUDE REPAVING AN AREA LARGER THAN 10,000 SF.

LEGEND:

- NEW CONCRETE SITE WORK**
(NEW SIDEWALKS, CURBS, ACCESSIBLE CURB CUTS, ETC. SEE KEYED NOTES AND ASSOCIATED DETAILS ON SHEET AS102)
- EXISTING PUBLIC UTILITY EASEMENT TO REMAIN**
(SITE WORK AND ONGOING MAINTENANCE TO ABIDE BY RECORDED TERMS AND CONDITIONS OF EASEMENT)
- NEW COMPACT PARKING STALL STRIPING**
- PROPERTY LINE**
- EXISTING FENCE LINE**
- EXISTING STORM DRAIN LINE**
- EXISTING GAS UTILITY LINE**
- EXISTING WATER UTILITY LINE**
- EXISTING ELECTRICAL UTILITY LINE**
- EXISTING SANITARY SEWER UTILITY LINE**
- ACCESSIBLE PATH OF TRAVEL**
- EXISTING WATER METER**
- EXISTING GAS METER**

CURRENT ZONING: 'MX-M' MIXED-USE MODERATE INTENSITY
ABUTTING PARCEL ZONING: 'MX-M' MIXED-USE MODERATE INTENSITY
SITE ACREAGE: 5.0430
SITE LEGAL DESCRIPTION:
TR 4B1 PLAT FOR TRS 1B1, 1C1, 2A, 4B1, 4C1, 4C2 STA STE NO 3A SO 1/2 TR 3 & PAR 4A1A, 4A2, 4A3A, 4A4A HORNE DEV ADD W/ TRS 1A1 & 1B CONT 5.04 AC

LAND USE:
EXISTING - HOTEL
PROPOSED - 206 ONE BED/STUDIO MULTI-FAMILY RESIDENTIAL DWELLING UNITS

REQUIRED USABLE OPEN SPACE
206 ONE BED/STUDIO DWELLING UNITS X 225 SQUARE FEET = 46,350 SQUARE FEET.
PROVIDED OPEN SPACE = 48,956 SQUARE FEET

BUILDING HEIGHT
ALLOWED: 48'-0"
EXISTING/PROPOSED: 27'-8" (TALLEST CURRENT)

PARKING CALCULATIONS:

PROPOSED PARKING TABULATION:
206 One Bed/Studio Dwelling Units X 1.5 Space/Dwelling Unit = 309 Spaces
Adjustment for 20% Reduction Allowance within an Activity Center 309 X 0.8 = 248 Spaces

REQUIRED TOTAL: 248 PARKING SPACES

PROVIDED TOTAL: 265 (INCLUDING +3 FOR CARPOOL CREDIT)
231 Existing Parking Spaces (Includes 1 Carpool Space, Total Credit For 234)
20 Re-Striped Parking Spaces
11 On-Street Parking Credits
2 Motorcycle Parking Spaces

COMPACT PARKING
ALLOWED = 62 PARKING STALLS (25% MAX)
PROVIDED = 19 PARKING STALLS (8.2%)

ACCESSIBLE PARKING - IBC 2018 TABLE 1106.1
REQUIRED: 7 ACCESSIBLE PARKING STALLS (5 CAR + 2 VAN)
PROVIDED: 10 ACCESSIBLE PARKING STALLS (6 CAR + 4 VAN)



NOT FOR CONSTRUCTION

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

RAMADA INN CONVERSION

25 HOTEL CIRCLE NE
ALBUQUERQUE, NM 87123

SHEET NAME:
ARCHITECTURAL SITE PLAN

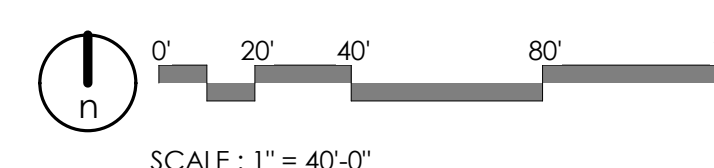
REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 12/18/2020
ISSUE TYPE: DRB SUBMITTAL
DRAWN BY: MS/ZS/LT
CHECKED BY: K. RIGBY
PROJECT#: 2020-64

SHEET NUMBER:

AS101

A1 ARCHITECTURAL SITE PLAN
1" = 40'-0"



PROJECT NUMBER: PR-2020-004820
Application Number: SI-2020-001468

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

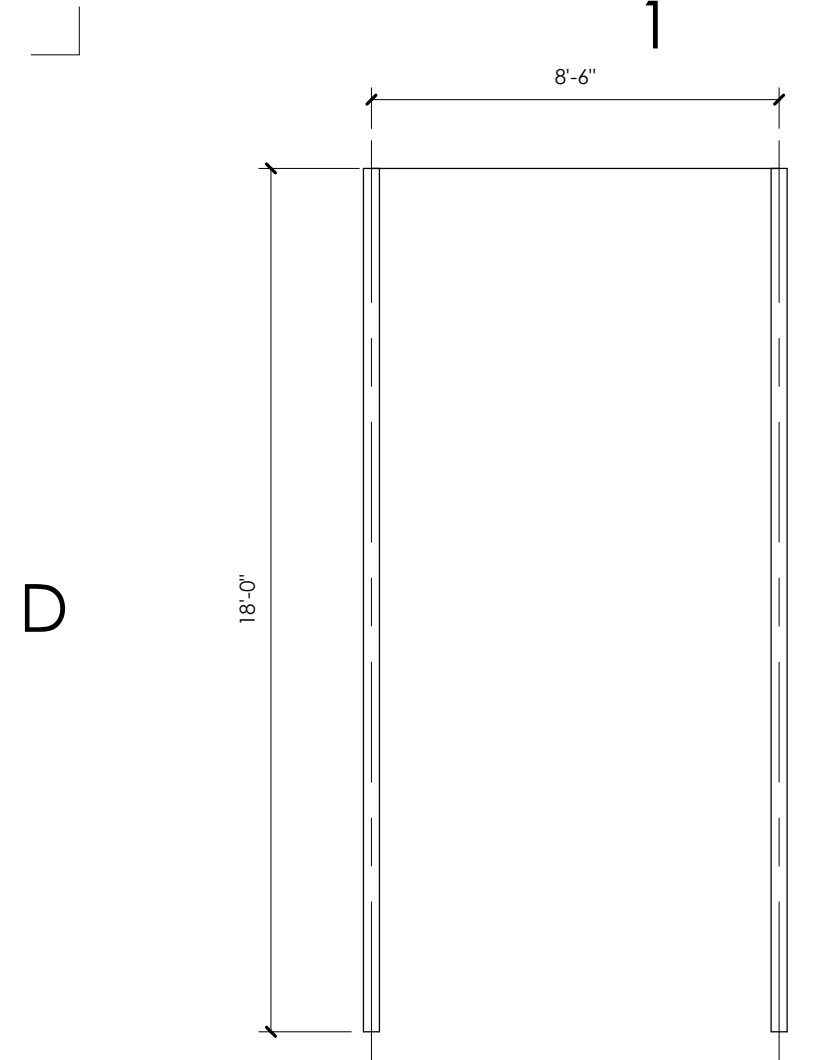
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

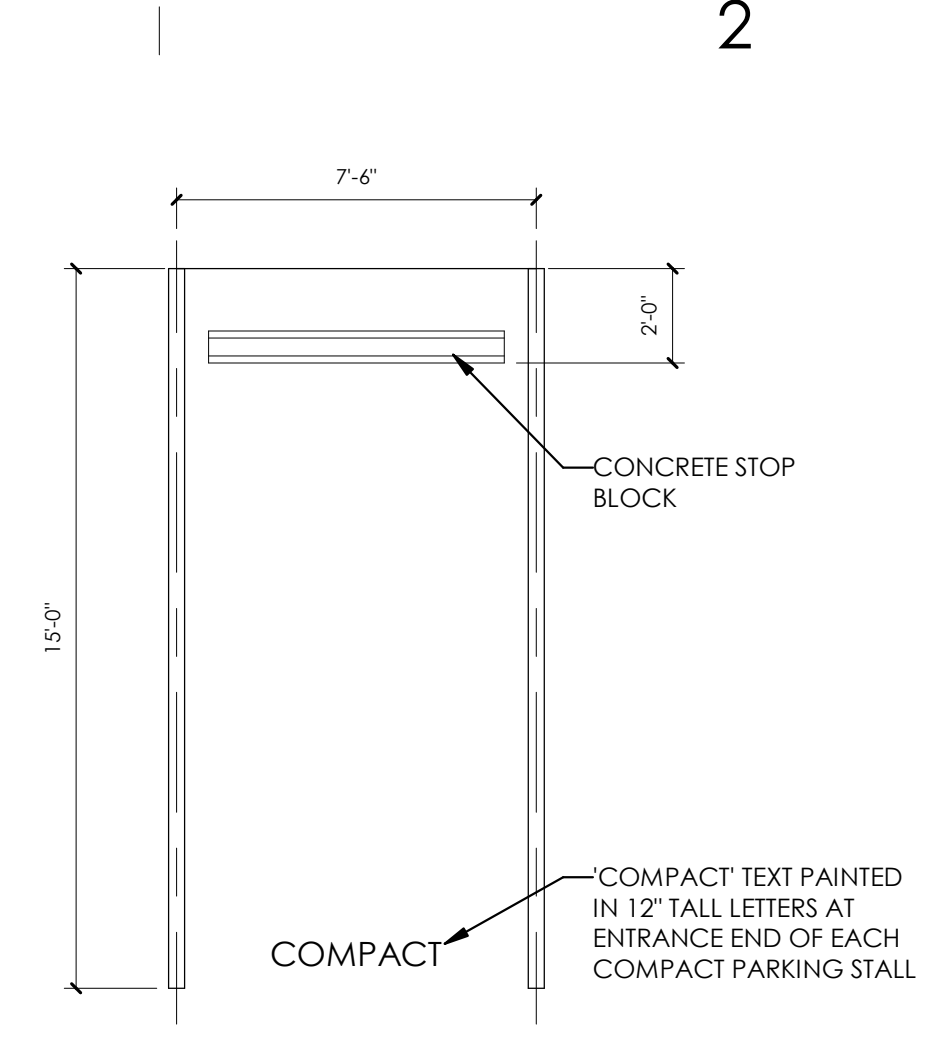
*Environmental Health, if necessary
2162016

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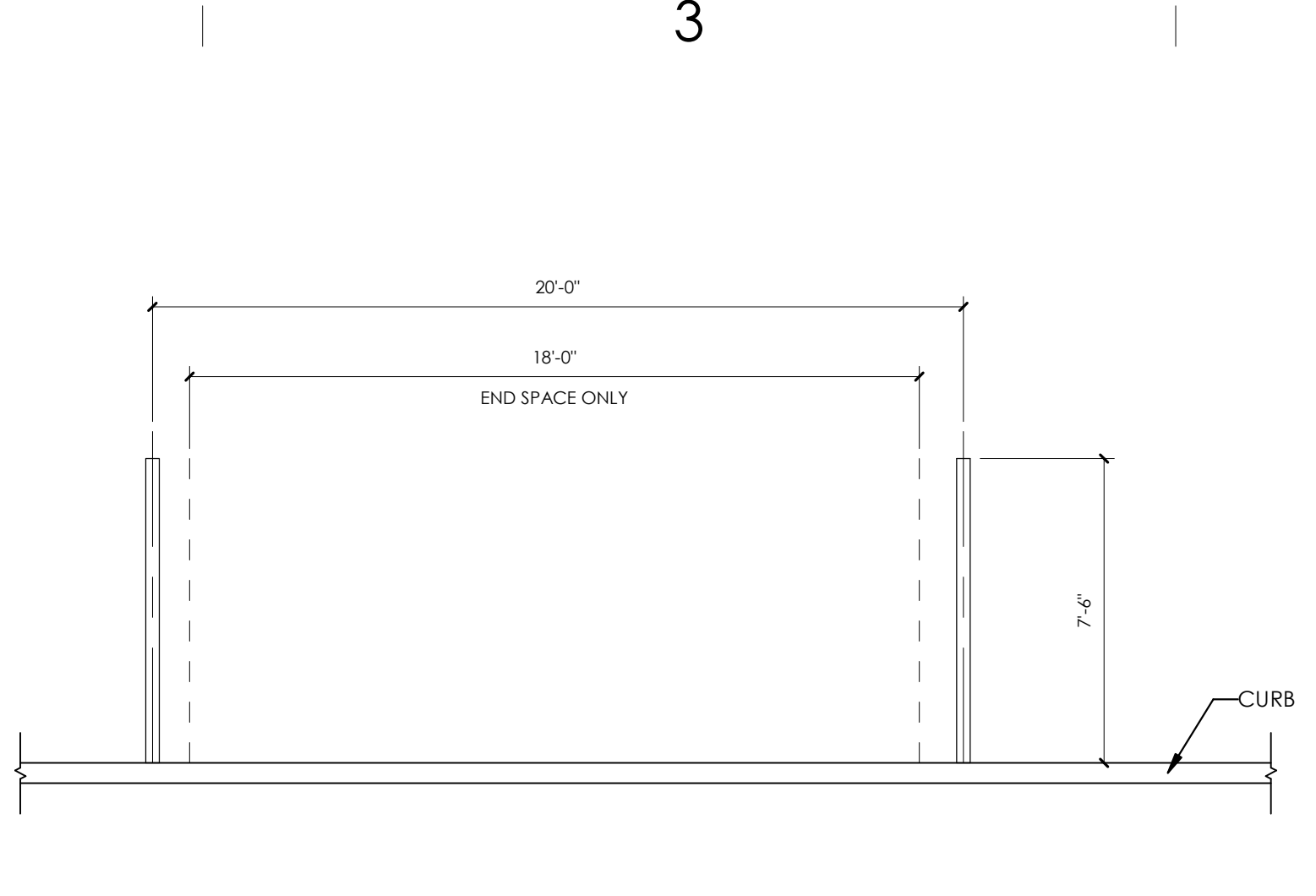
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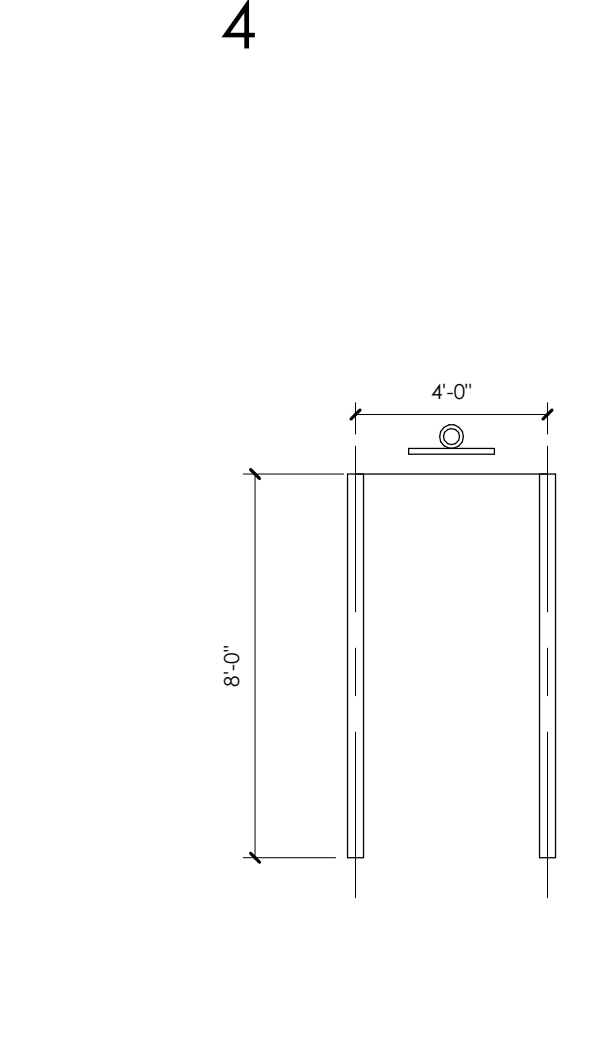
D1 SITE - TYP. PARKING DETAIL
1/4" = 1'-0"



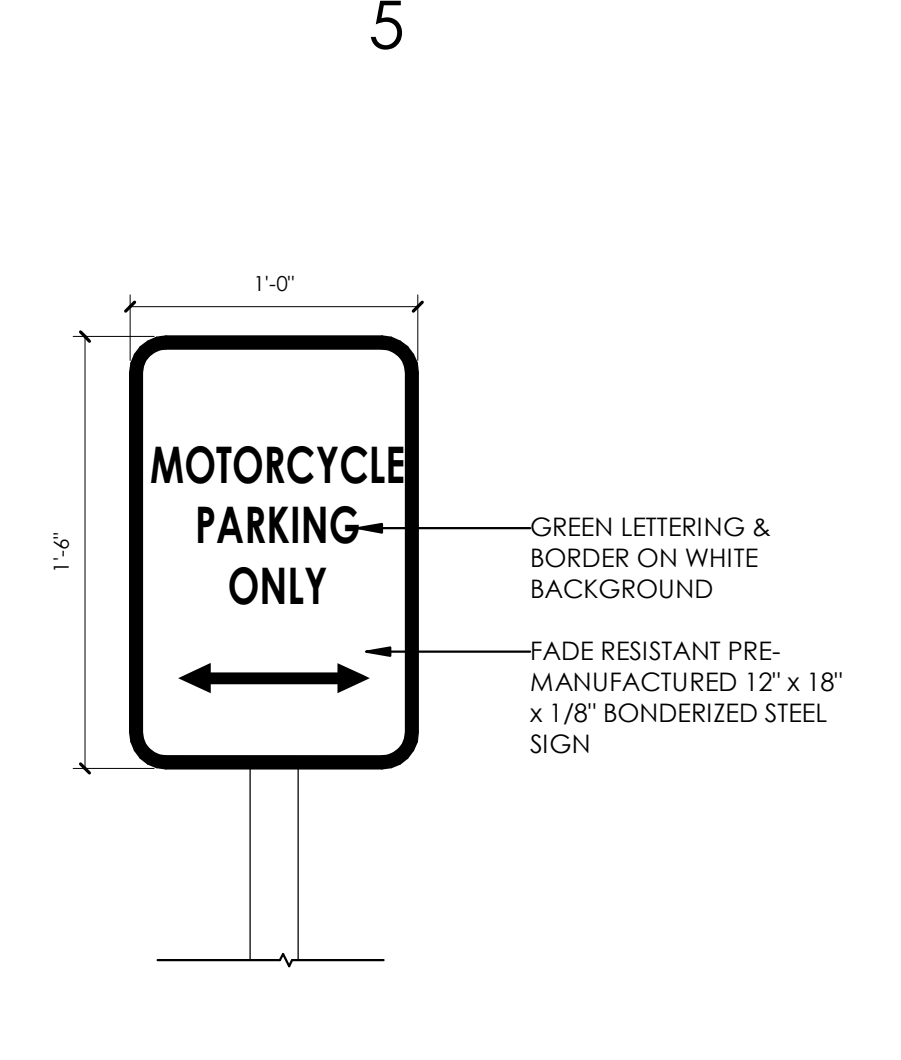
D2 SITE - TYP. COMPACT PARKING SPACE
1/4" = 1'-0"



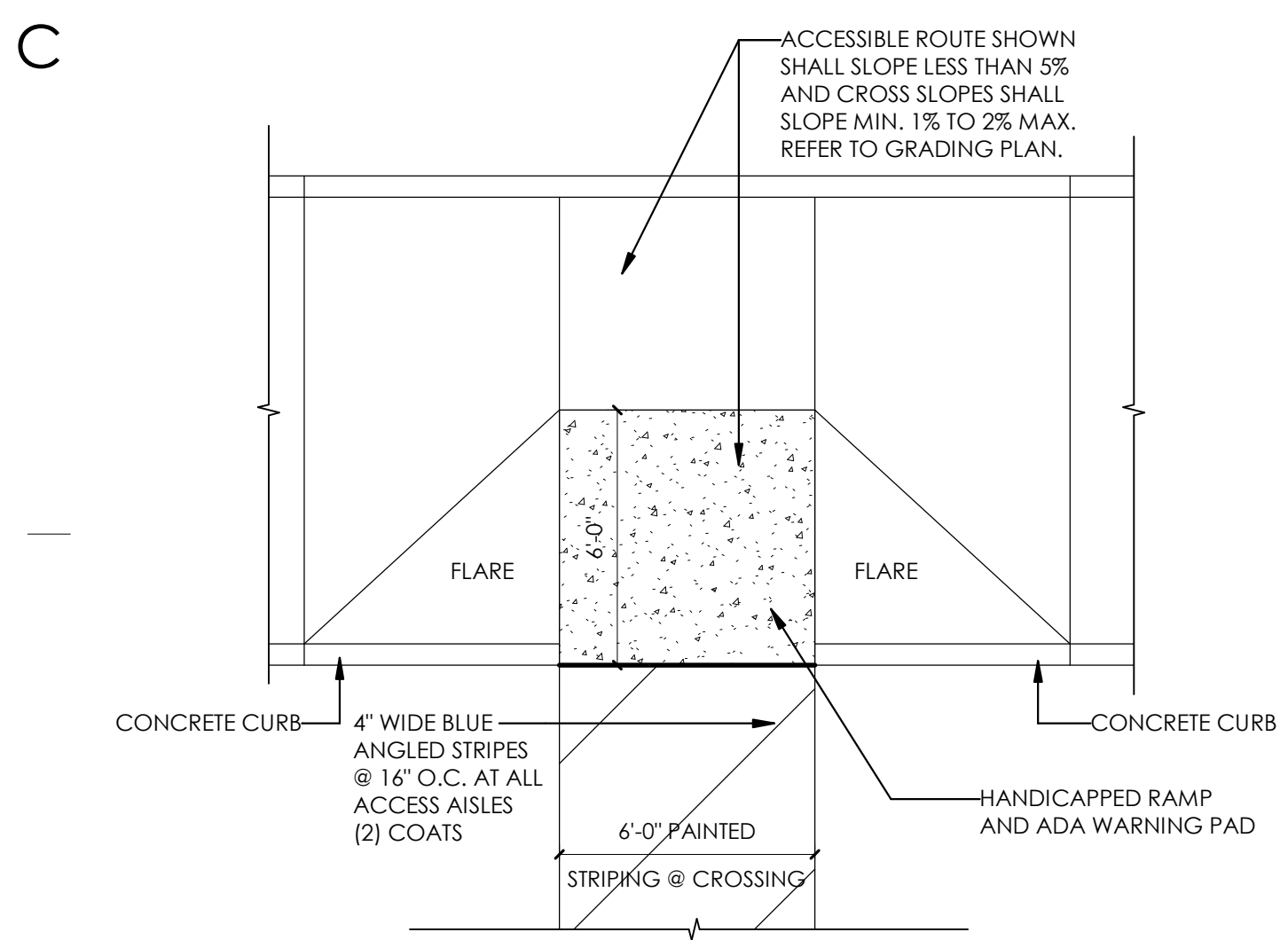
D3 SITE - TYP. STREET PARKING SPACE
1/4" = 1'-0"



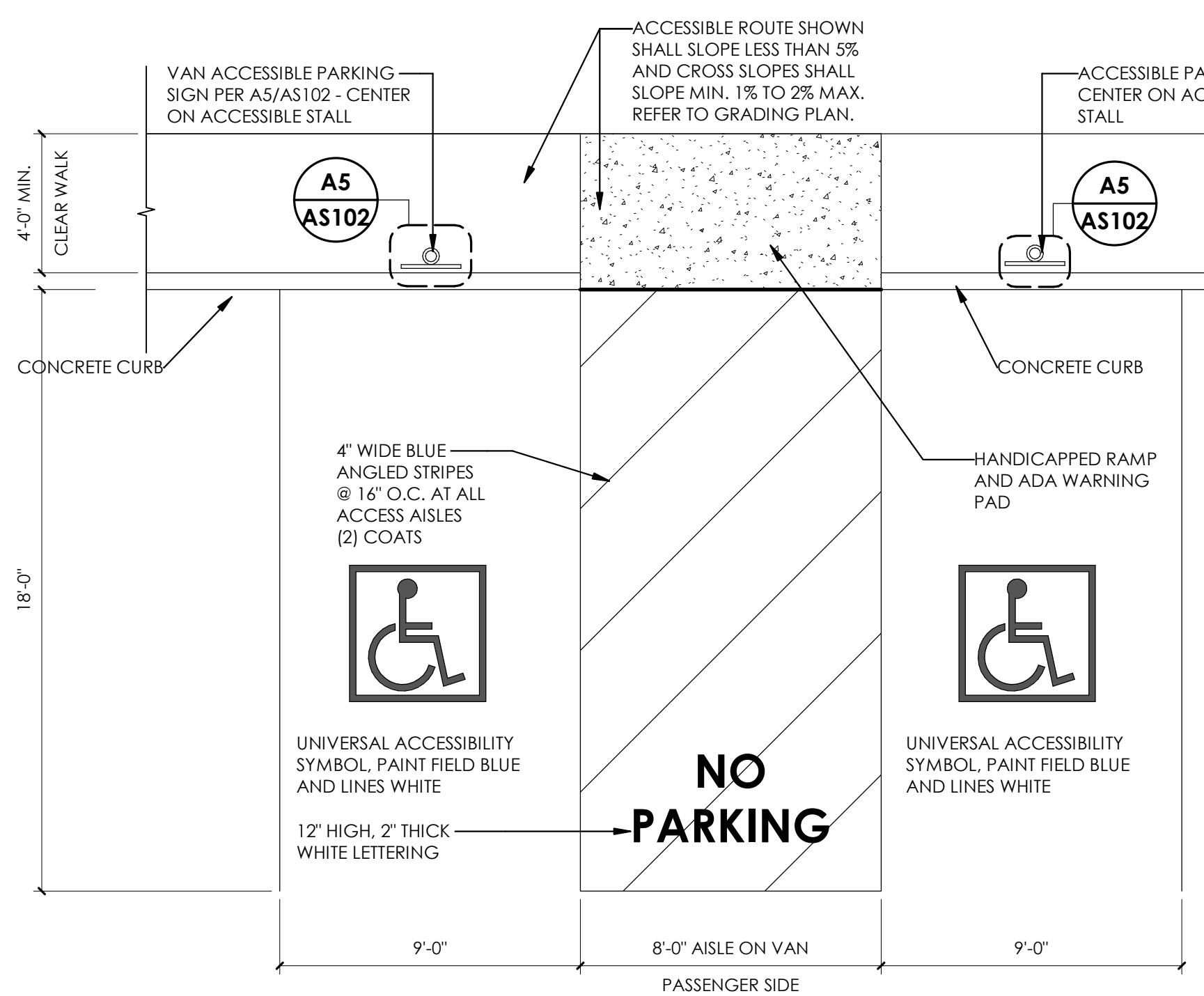
D4 SITE - TYP. MOTOR CYCLE PARKING
1/4" = 1'-0"



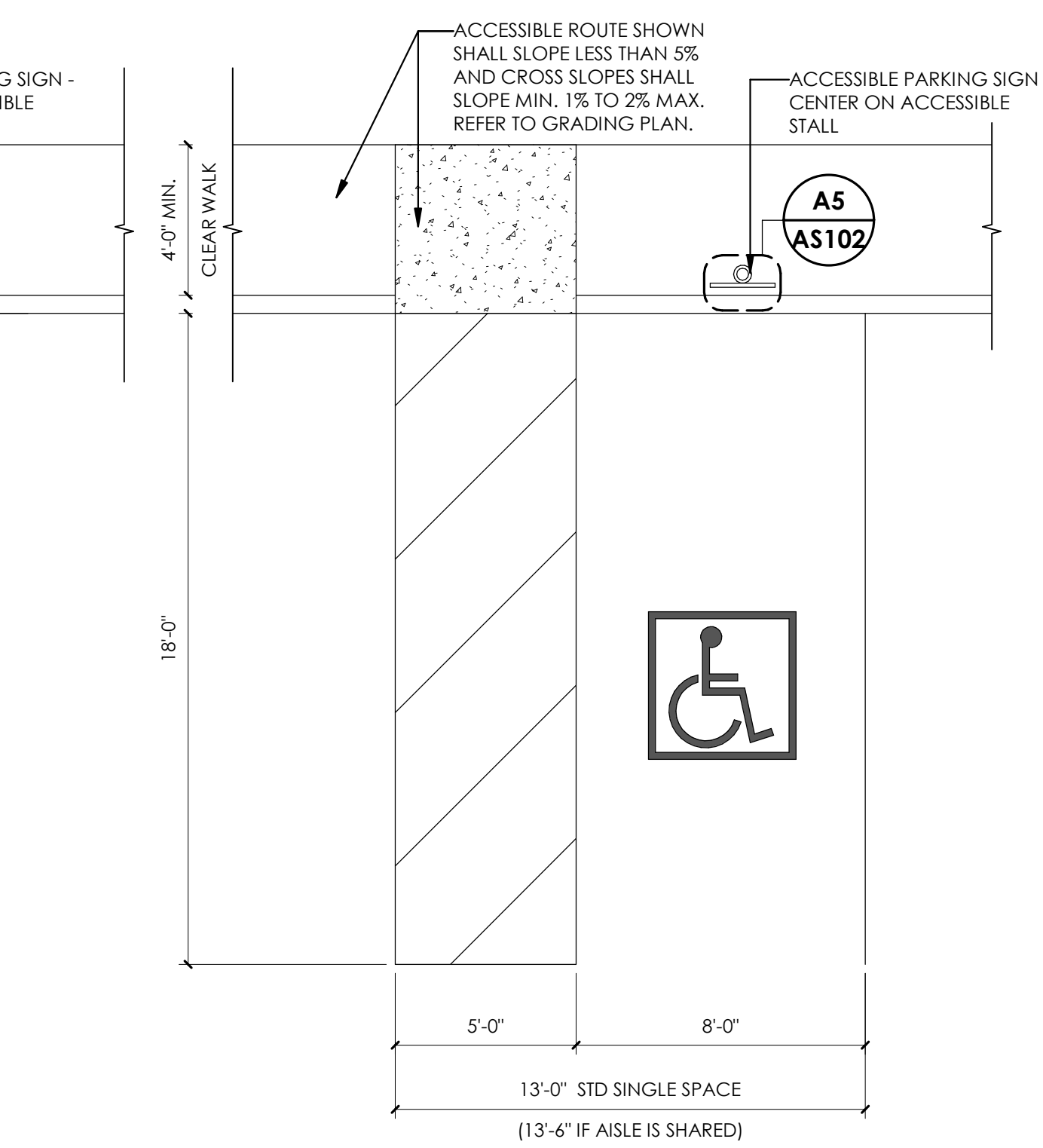
D5 CARPOOL PARKING SIGNAGE
1 1/2" = 1'-0"



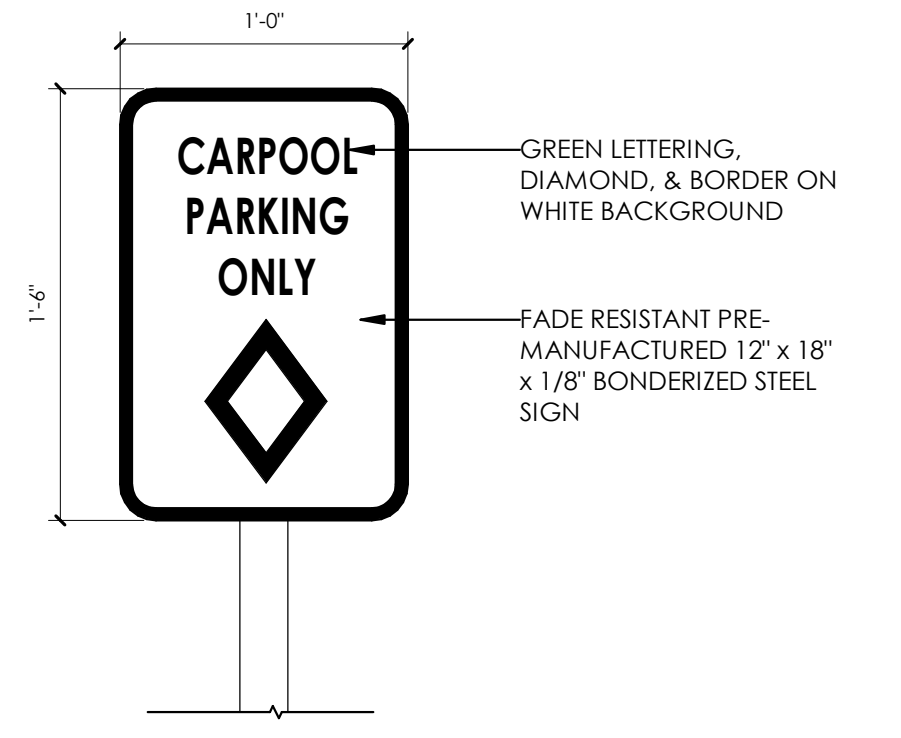
B1 SITE - TYP. FLARED ADA CURB CUT
1/4" = 1'-0"



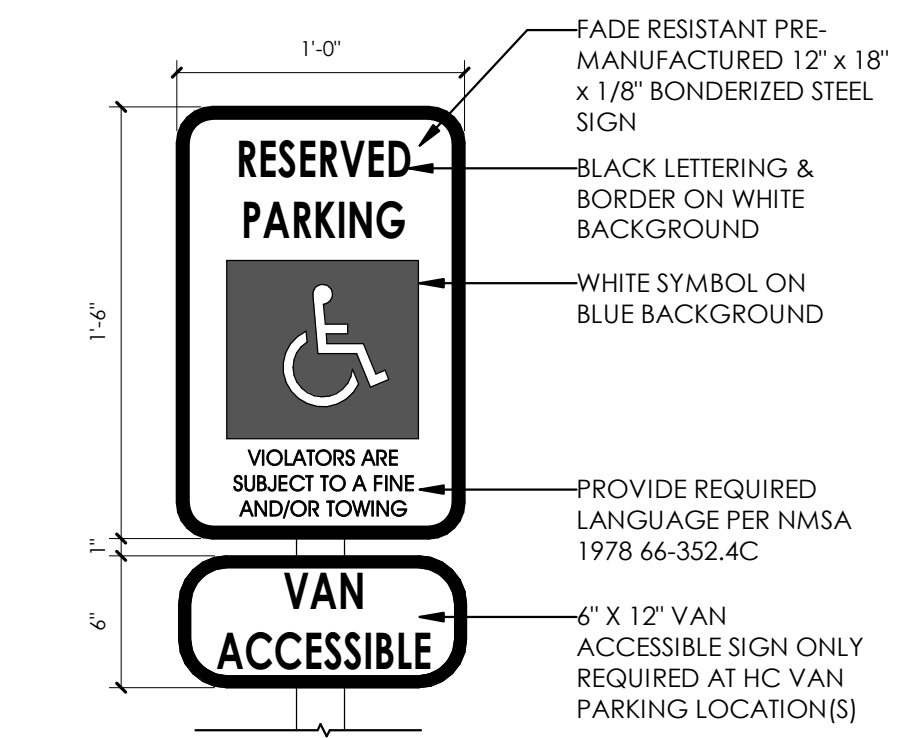
B2 SITE - TYP. VAN ACCESSIBLE ADA PARKING STRIPING
1/4" = 1'-0"



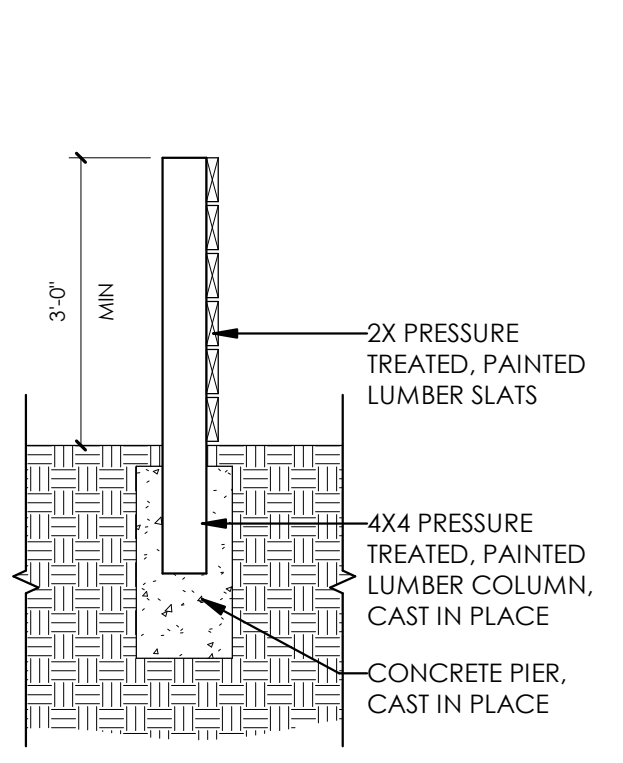
B5 ADA PARKING SIGNAGE
1 1/2" = 1'-0"



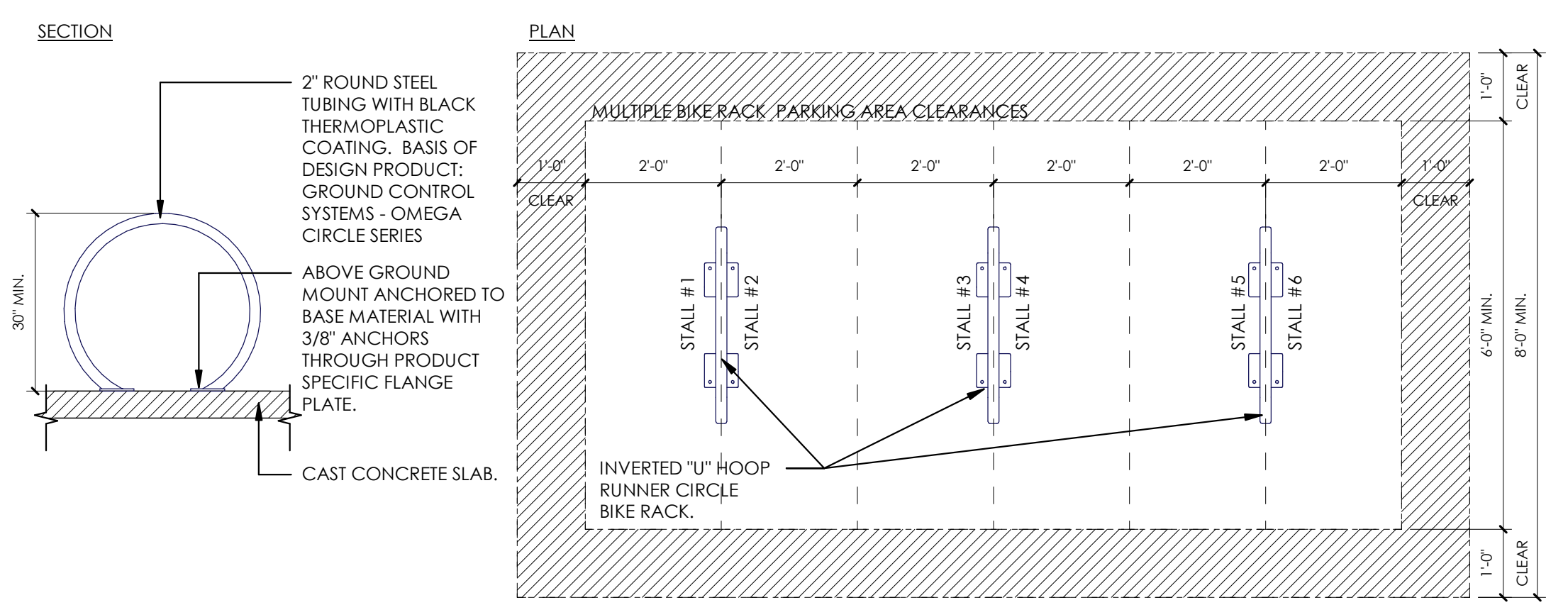
C5 CARPOOL PARKING SIGNAGE
1 1/2" = 1'-0"



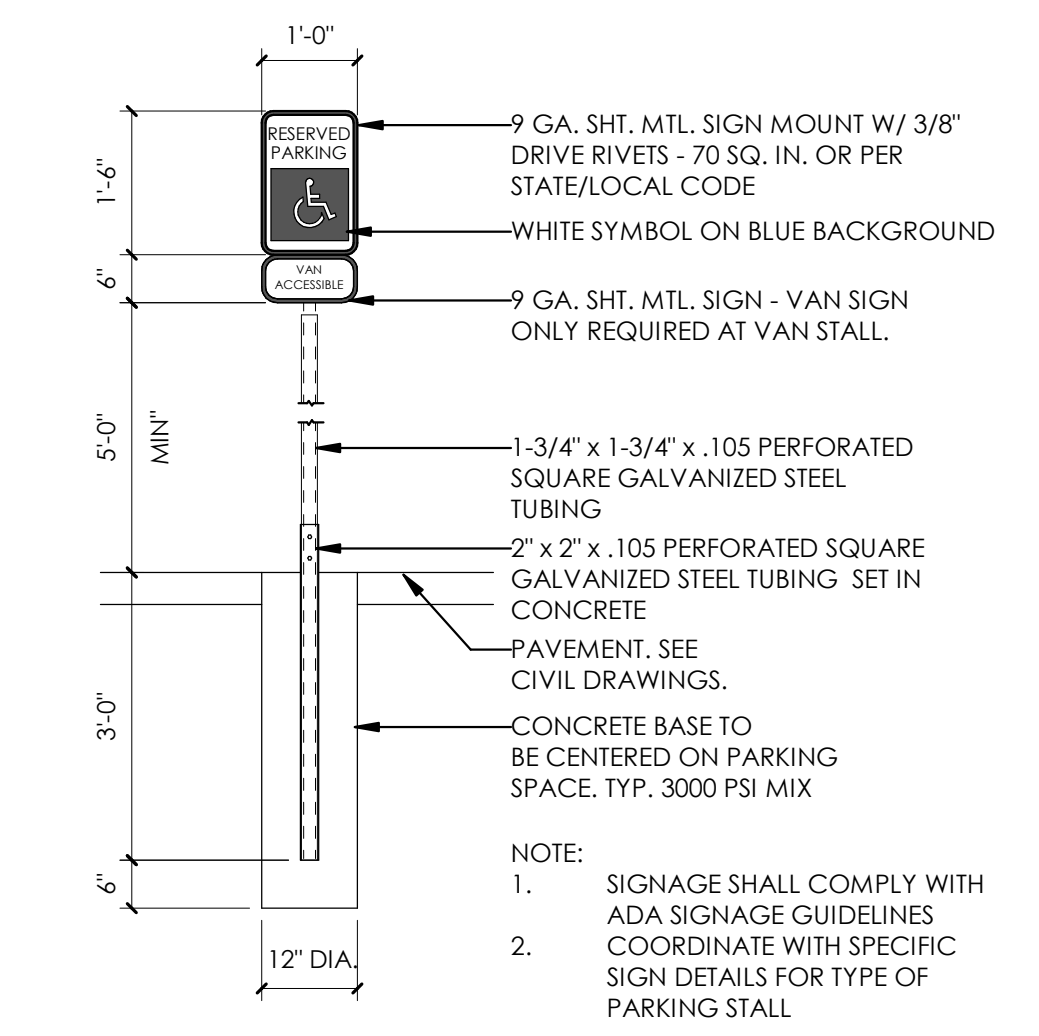
B5 ADA PARKING SIGNAGE
1 1/2" = 1'-0"



A2 SITE - SCREEN WALL DETAIL
1/2" = 1'-0"



A3 SITE - TYP. BIKE RACK
1/2" = 1'-0"



A5 ADA, MOTOR CYCLE, & CARPOOL PARKING SIGNAGE DETAIL
1/2" = 1'-0"

NOT FOR CONSTRUCTION

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION
RAMADA INN CONVERSION

25 HOTEL CIRCLE NE
 ALBUQUERQUE, NM 87123

SHEET NAME:
SITE DETAILS

REVISIONS
 MARK DATE DESCRIPTION

ISSUE DATE: 12/18/2020
 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: MS/ZS/LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

SHEET NUMBER:

AS102

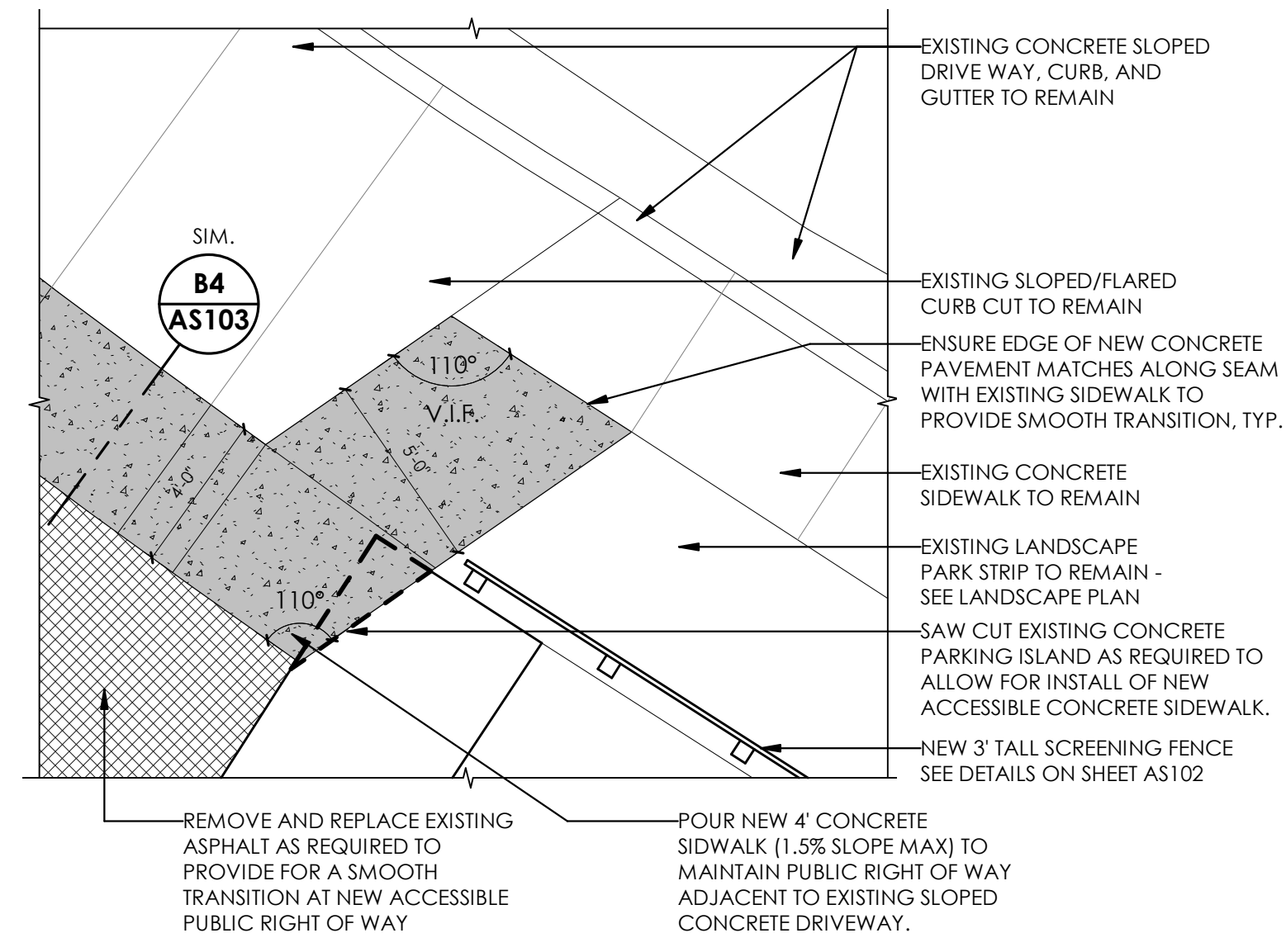
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B

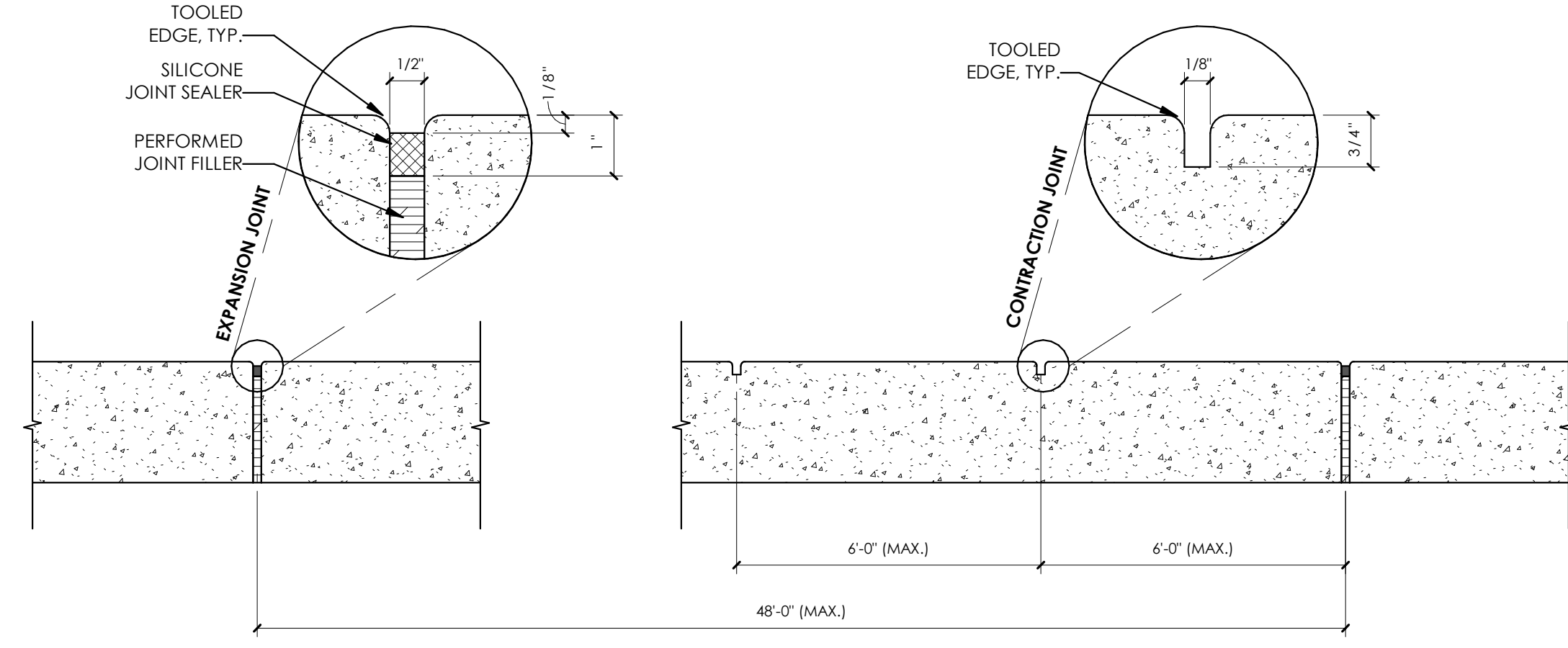
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ENLARGED SITE PLAN DETAIL @ EXISTING DRIVEWAY

D4

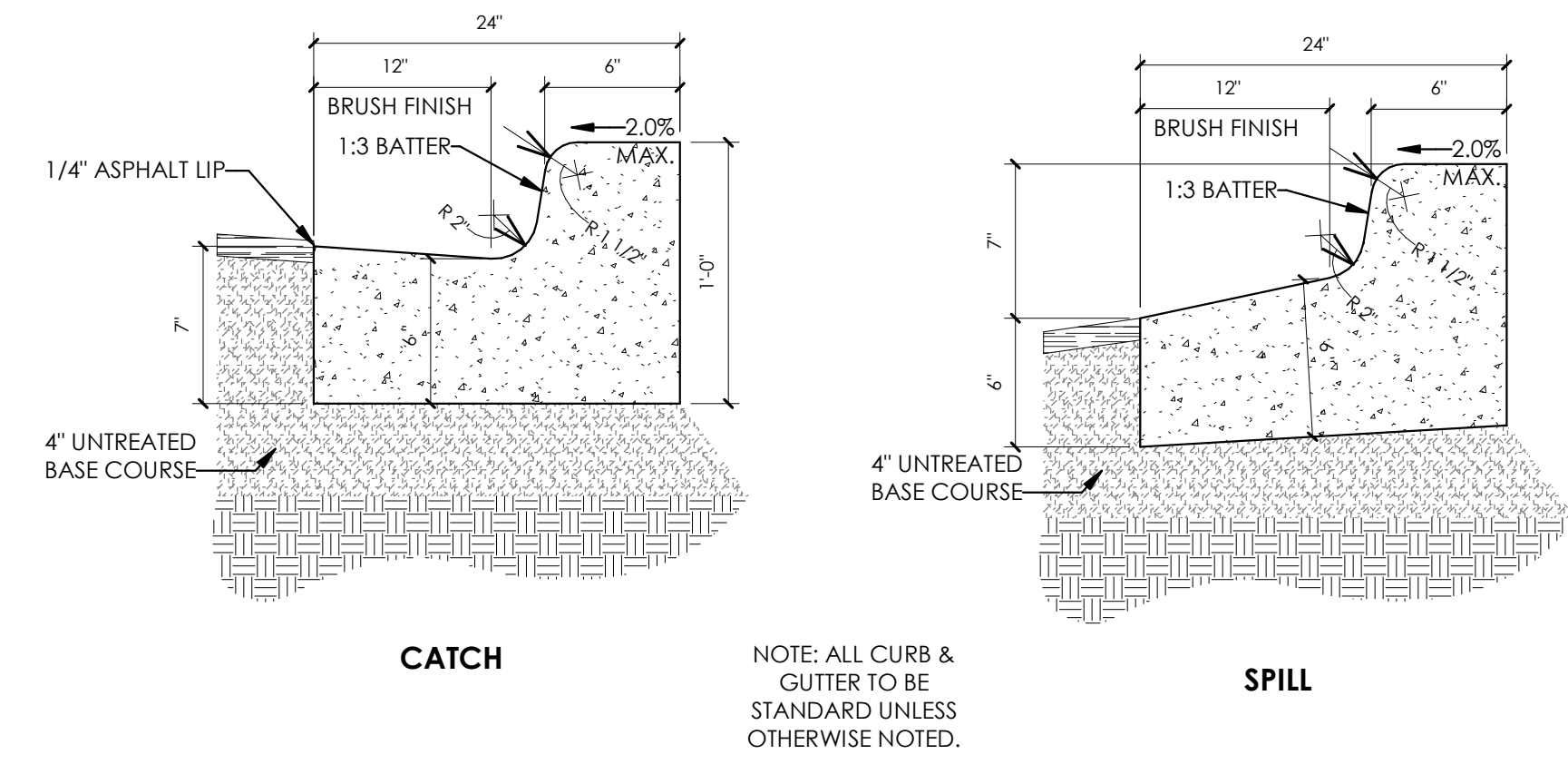
1/4" = 1'-0"



ELEVATION

CROSS SECTION

B4 SITE - TYP. CONCRETE SIDEWALK
NOT TO SCALE



CATCH

SPILL

NOTE: ALL CURB & GUTTER TO BE STANDARD UNLESS OTHERWISE NOTED.

A4 SITE - TYP. 24\"/>NOT TO SCALE

ajc architects
 703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com

NOT FOR CONSTRUCTION

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

RAMADA INN CONVERSION

**25 HOTEL CIRCLE NE
 ALBUQUERQUE, NM 87123**

SHEET NAME:

SITE DETAILS

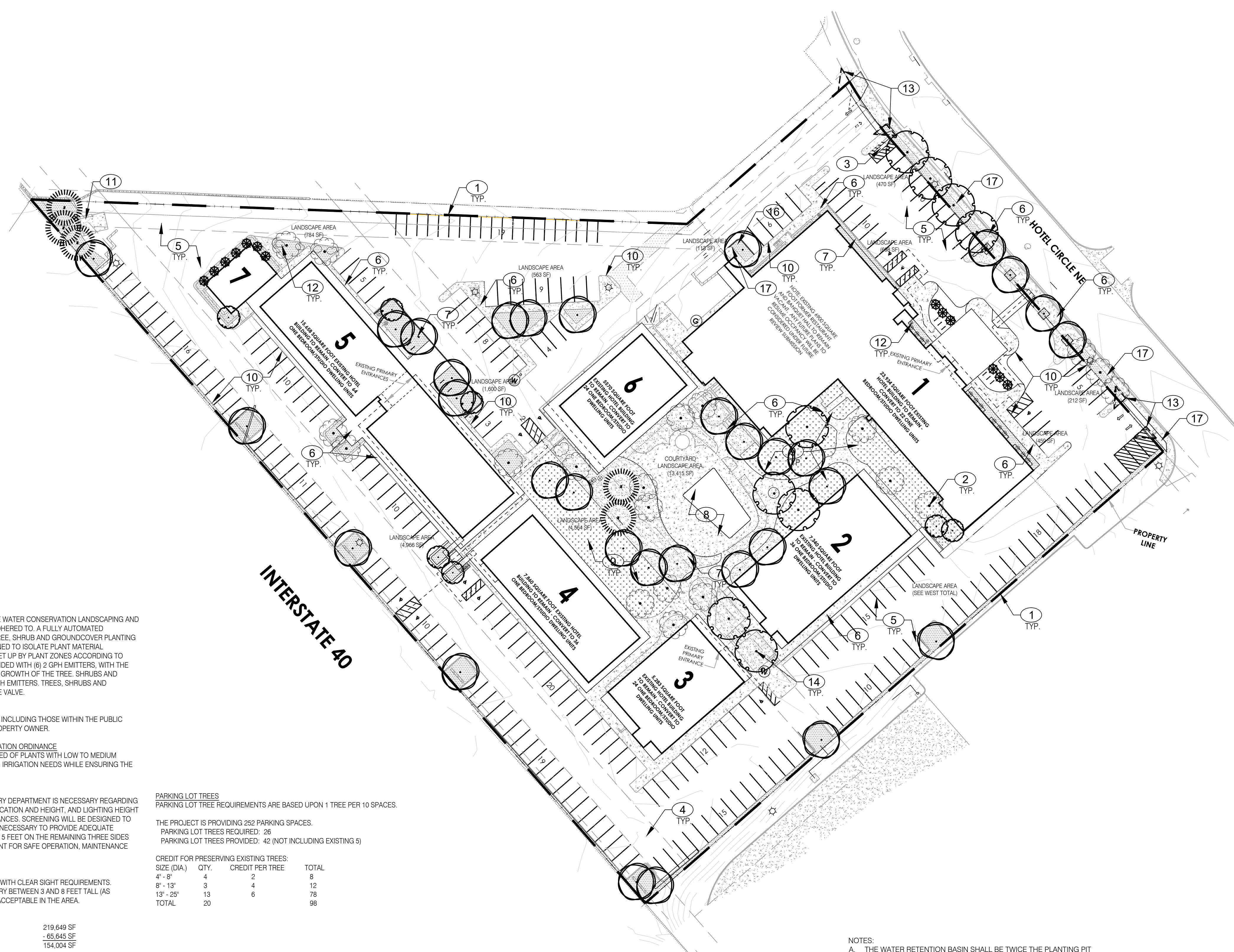
REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATE: **02/18/21**
 ISSUE TYPE: **DRB SUBMITTAL**
 DRAWN BY: **AJC**
 CHECKED BY: **AJC**
 PROJECT#: **2020-64**

SHEET NUMBER:

AS103



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
TREES				
EXISTING TREES TO REMAIN				
7		CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8 HT. X 4 SPR. 15 HT. X 15' SPR.
9		GLEDITSIA TRIACANTHOS IMPERIAL' SKYLINE HONEYLOCUST (M+)	2.5' B&B	8 HT. X 4 SPR. 45 HT. X 35' SPR.
13		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+)	B&B	6 HT. X 2 SPR. 12 HT. X 5 SPR.
5		PINUS NIGRA AUSTRIAN PINE (M+)	B&B	8 HT. X 4 SPR. 35 HT. X 25' SPR.
32		ULMUS PROPINQUA 'FS-BIEBERICH' EMERALD SUNSHINE ELM (M)	2.5' B&B	8 HT. X 4 SPR. 35 HT. X 25' SPR.
MULCHES AND BOULDERS				
17,485 SF		1" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
10,539 SF		EXISTING TURF TO REMAIN		
KEY NOTES:				
1. PROPERTY BOUNDARY				
2. EXISTING TREE TO REMAIN				
3. EXISTING MONUMENT SIGN				
4. EXISTING UTILITY EASEMENT				
5. EXISTING ASPHALT PAVING				
6. EXISTING CONCRETE WALK				
7. EXISTING LANDSCAPE AREA				
8. EXISTING FENCED POOL AND PATIO AREA				
9. EXISTING TURF AREA				
10. EXISTING CURB AND GUTTER				
11. EXISTING DUMPSTER ENCLOSURE				
12. EXISTING SHRUB TO REMAIN				
13. CLEAR SITE TRIANGLES				
14. SHADE TREES 25' O.C. ALONG WALKWAYS ON INTERIOR				
15. CONNECTION TO PUBLIC SIDEWALK TBD.				
16. NEW TREE ISLAND				
17. NEW CONCRETE CURB AND WALK				

GENERAL LANDSCAPE NOTES

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA (5.04 AC):	219,649 SF
BUILDING AREA:	- 85,645 SF
NET AREA:	134,004 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	23,101 SF
PROVIDED LANDSCAPE AREA:	27,121 SF (18%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	20,368 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	44,859 SF (165%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	5,092 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE	10,875 SF (114%)

LANDSCAPE TURF
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

ALLOWABLE TURF	2,310 SF
EXISTING TURF (NON CONFORMING SITE FEATURE)	10,539 SF (46%)

PARKING LOT AREA
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

THE PROJECT IS PROVIDING 252 PARKING SPACES.

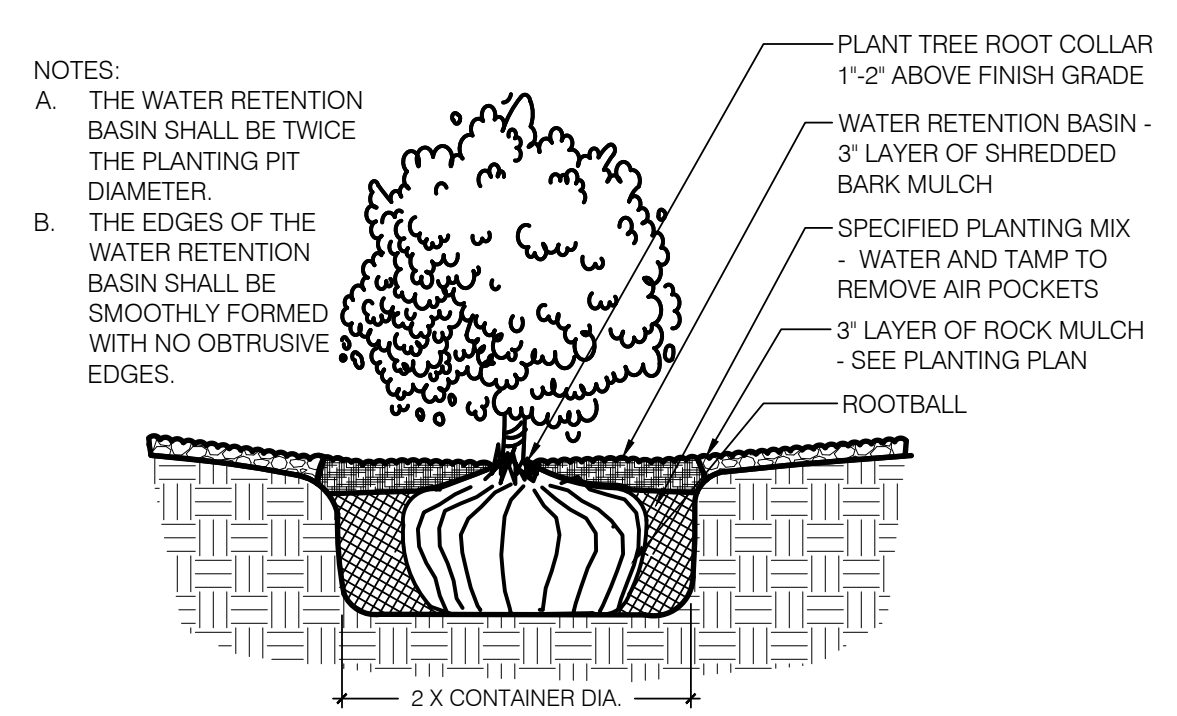
TOTAL PARKING LOT AREA:	107,385 SF
REQUIRED LANDSCAPE AREA:	16,108 SF
PROVIDED LANDSCAPE AREA:	9,103 SF (9%)

PARKING LOT TREES
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

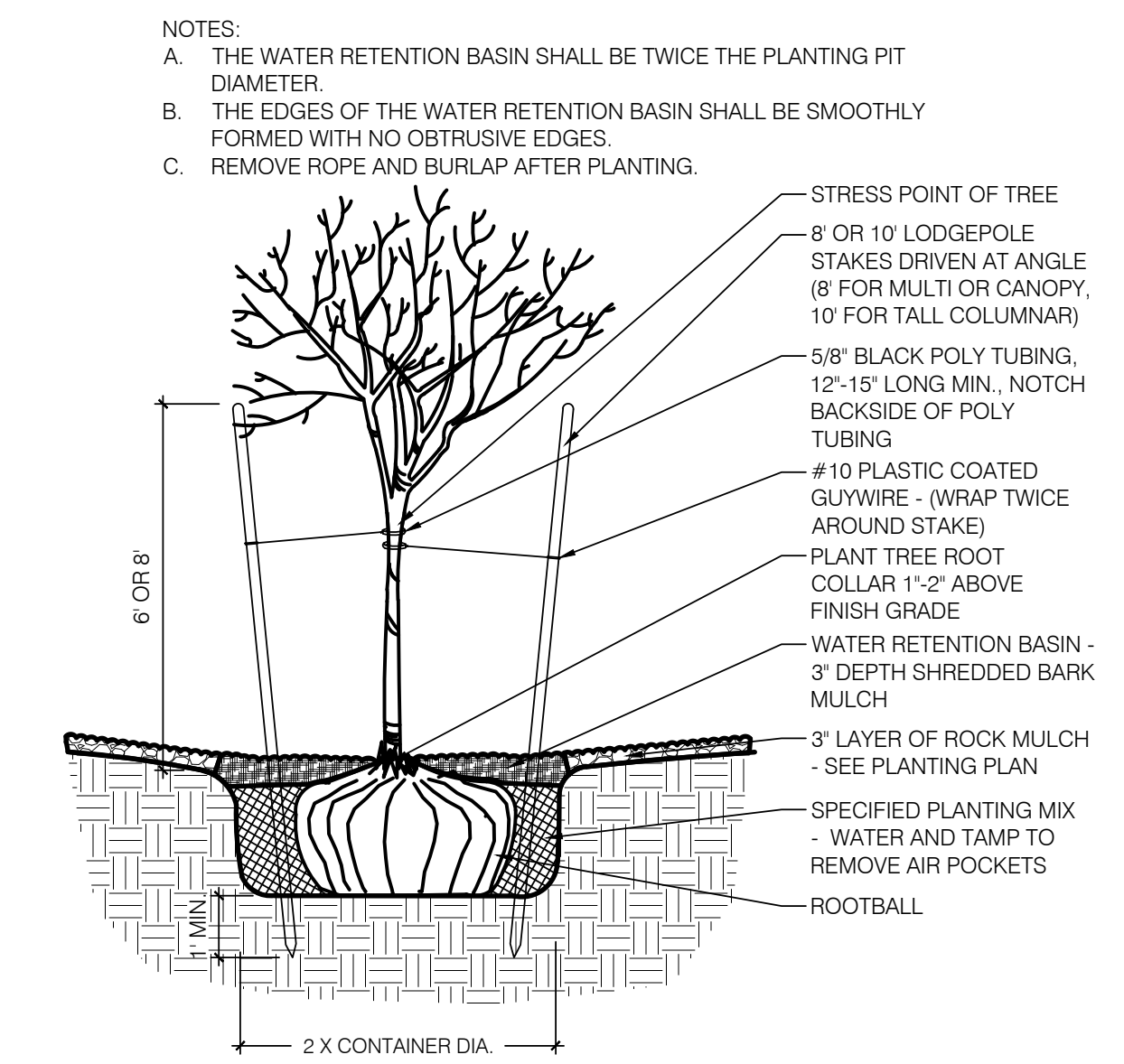
THE PROJECT IS PROVIDING 252 PARKING SPACES.
PARKING LOT TREES REQUIRED: 26
PARKING LOT TREES PROVIDED: 42 (NOT INCLUDING EXISTING 5)

CREDIT FOR PRESERVING EXISTING TREES:

SIZE (DIA.)	QTY.	CREDIT PER TREE	TOTAL
4" - 8"	4	2	8
8" - 13"	3	4	12
13" - 25"	13	6	78
TOTAL	20		98



A SHRUB PLANTING DETAIL
SCALE: N.T.S.



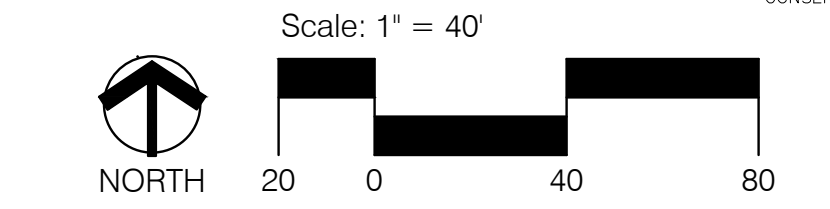
B TREE PLANTING DETAIL
SCALE: N.T.S.

MCRE MULTI-FAMILY CONVERSION

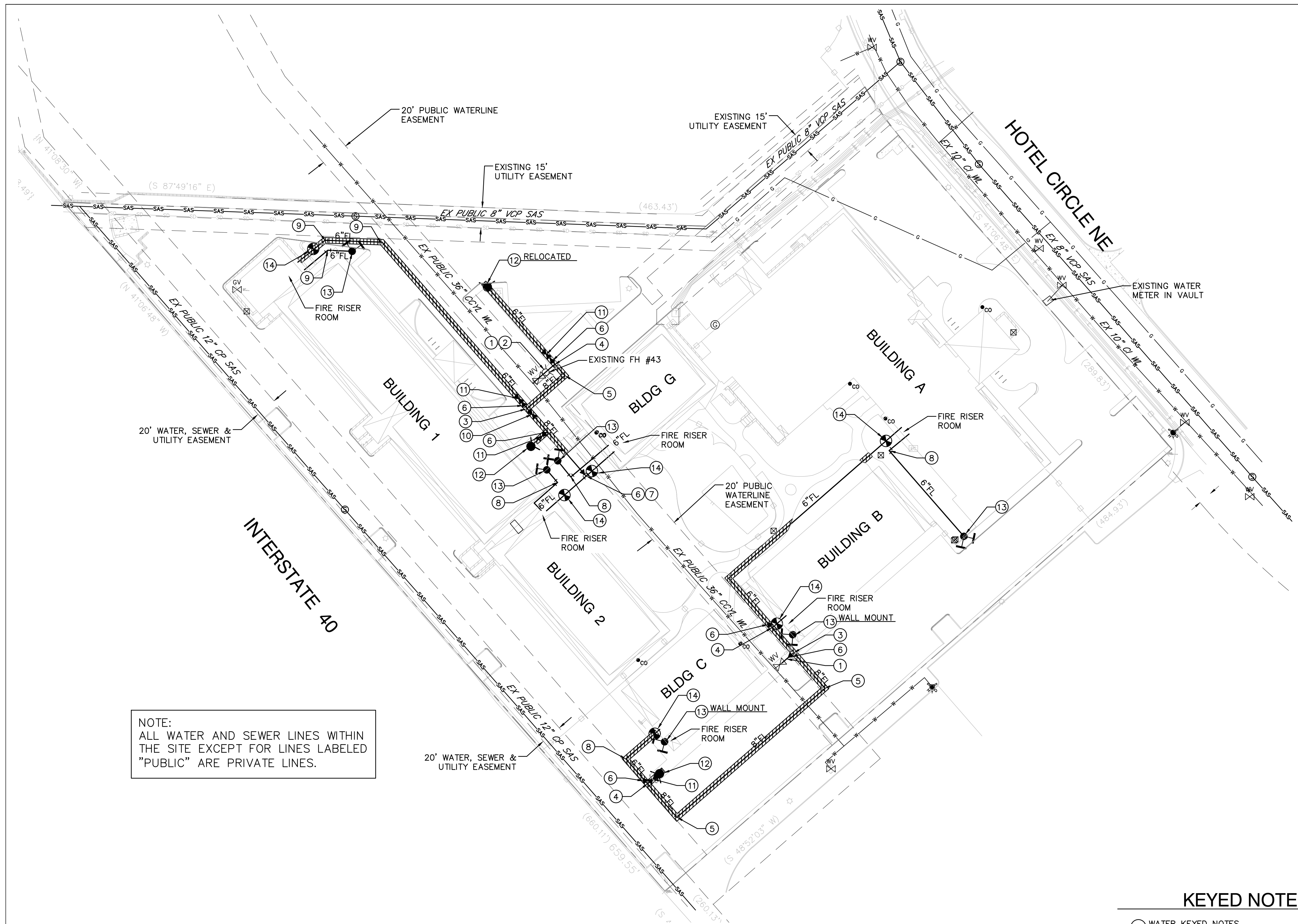
LANDSCAPE PLAN

Prepared for:
Mountain Classic Real Estate,
461 East 200 South Suite 102, Salt Lake
City, UT 84111-2138

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



March 4, 2021



NOTE:
ALL WATER AND SEWER LINES WITHIN THE SITE EXCEPT FOR LINES LABELED "PUBLIC" ARE PRIVATE LINES.

GENERAL NOTES

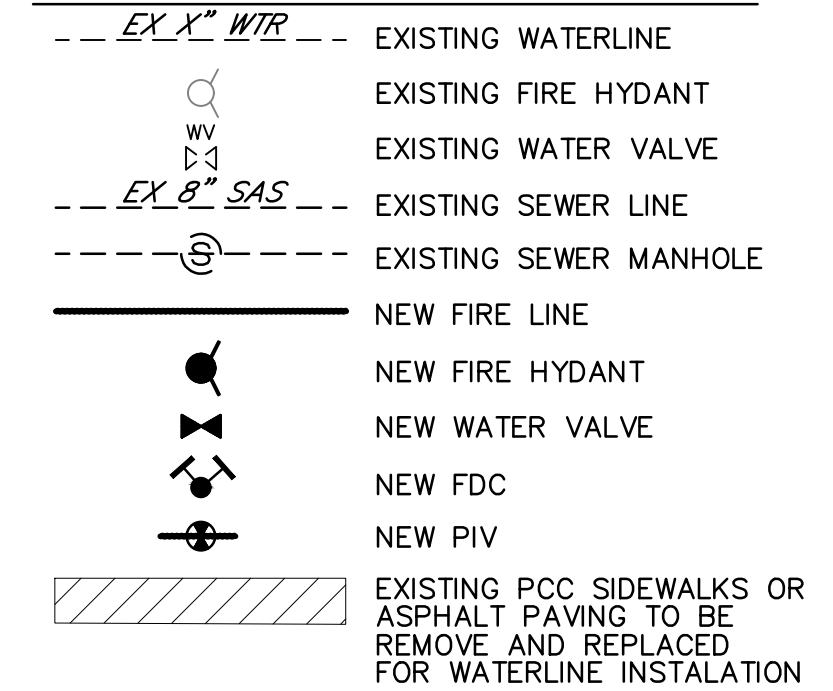
- SEE SHEET C-100 FOR ALL CIVIL GENERAL NOTES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

RESTRAINED JOINT CRITERIA

FOR WATERLINE FITTINGS

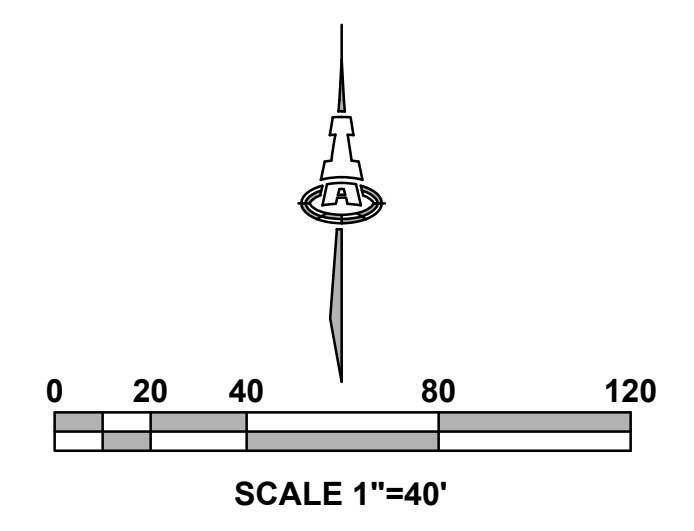
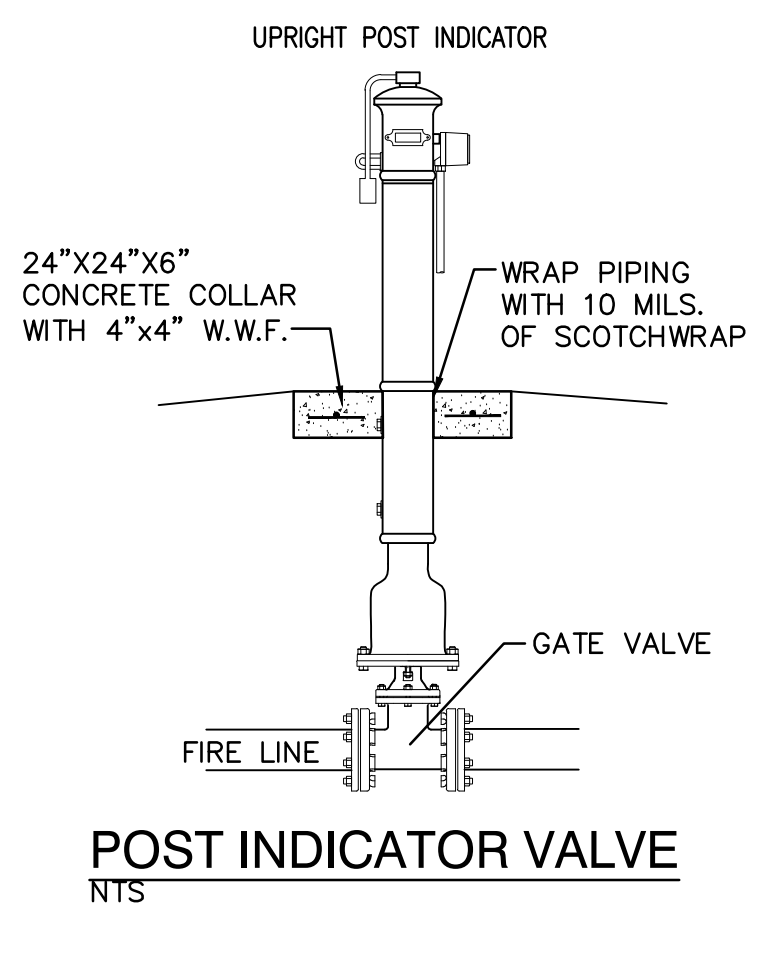
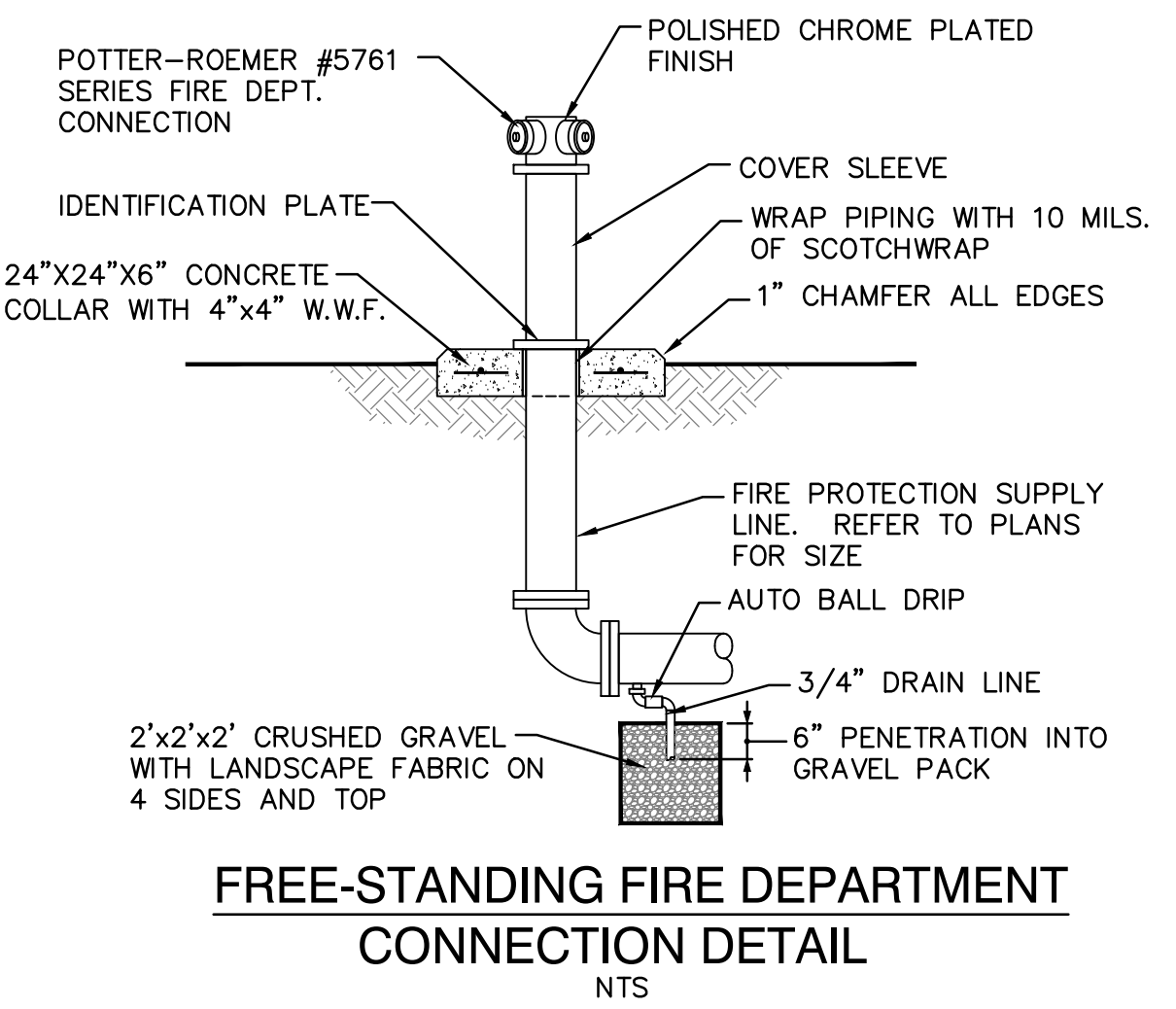
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM
 FACTOR OF SAFETY: 1.50
 MATERIAL: PVC
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

LEGEND



KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 6" WATERLINES TO EXISTING 6" WATER STUBS PER ABCWUA STD DWG 2301.
 - REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
 - 8" TEE.
 - 8"x6" TEE.
 - 8" 90° BEND. (LT=27')
 - 8"x6" REDUCER.
 - 6" TEE.
 - 6" 90° BEND. (LT=20')
 - 6" 45° BEND. (LT=9')
 - 8" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=60')
 - 6" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=46')
 - FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
 - FDC (FIRE DEPARTMENT CONNECTION).
 - PIV (POST INDICATOR VALVE).



Isaacson & Arfman, Inc.
 Civil Engineering Consultants
 128 Monroe Street NE
 Albuquerque, NM 87108
 505-266-8828 | www.iacivil.com

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NOT FOR CONSTRUCTION

Engineer
RAMADA INN CONVERSION
 25 HOTEL CIRCLE NE
 ALBUQUERQUE, NM 87123

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER:	IA 2409
FILE:	DEC
DRAWN BY:	FCA
CHECKED BY:	02/19/2021
DATE:	

No.	Date	Description

SHEET TITLE
SITE UTILITY PLAN

SHEET NUMBER
CU-101

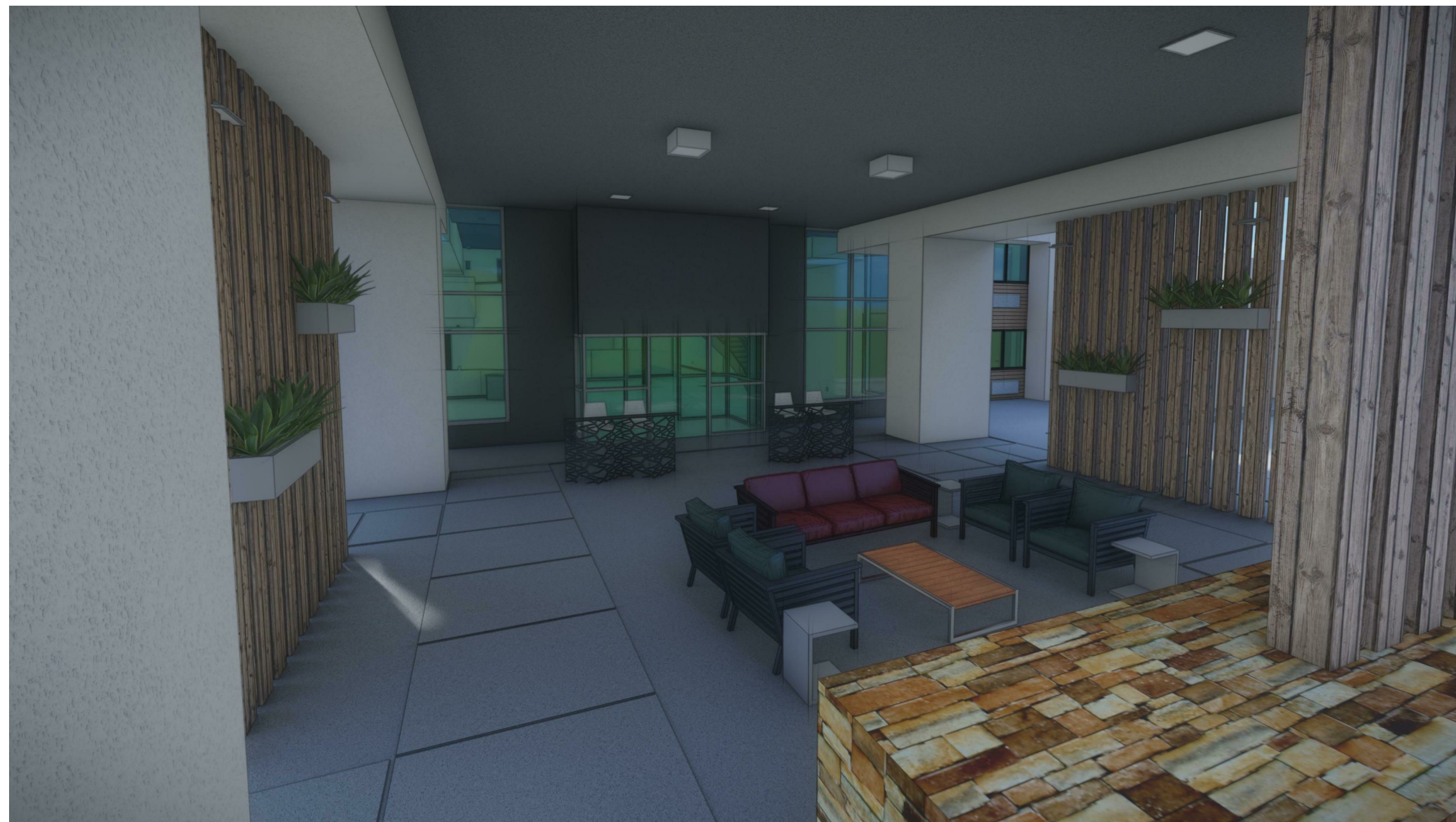
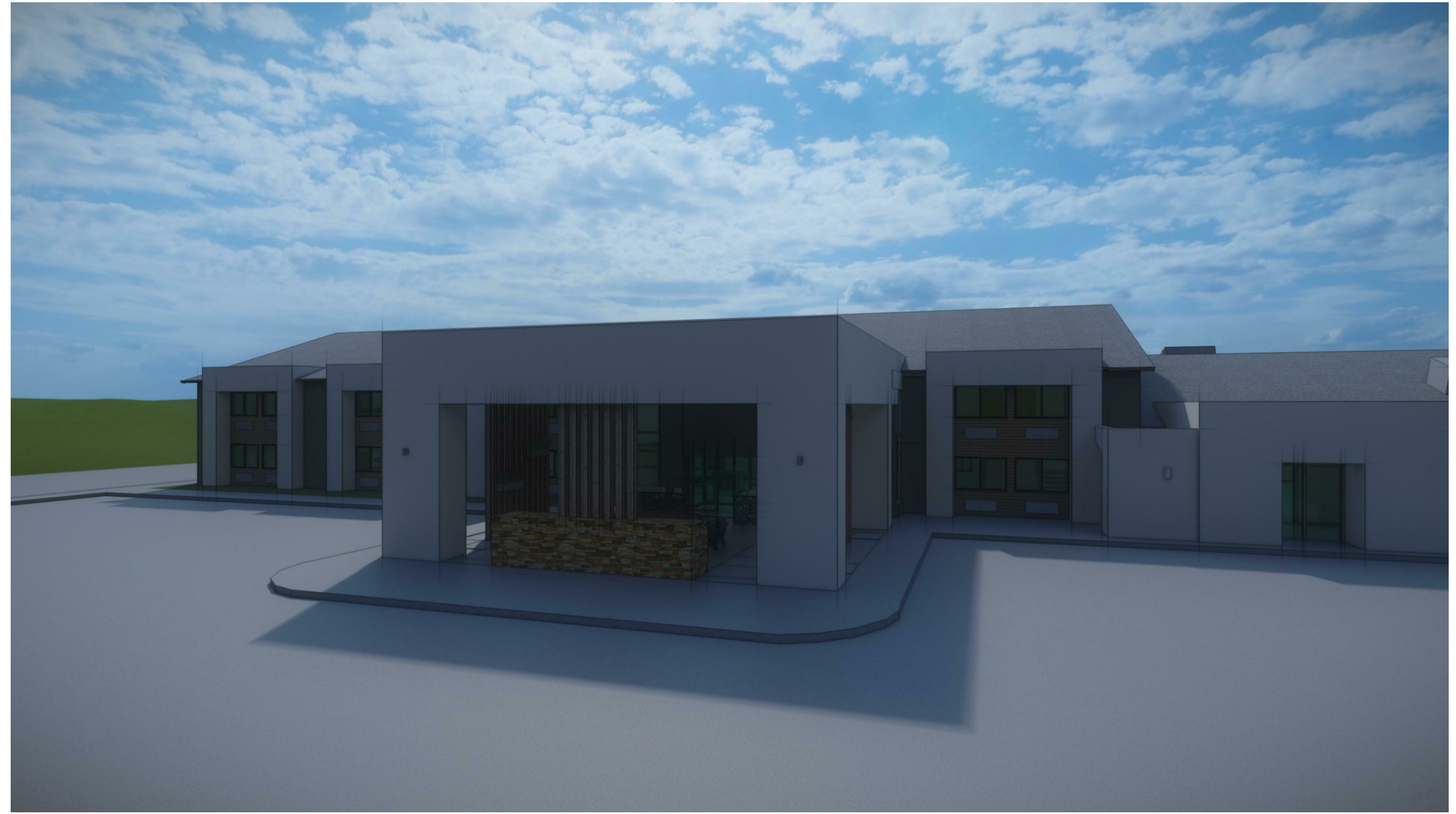
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ajc architects 
 703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com

NOT FOR
 CONSTRUCTION

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN
 CONVERSION**

25 HOTEL CIR NE
 ALBUQUERQUE, NM 87123

SHEET NAME:

**BUILDING A
 RENDERINGS**

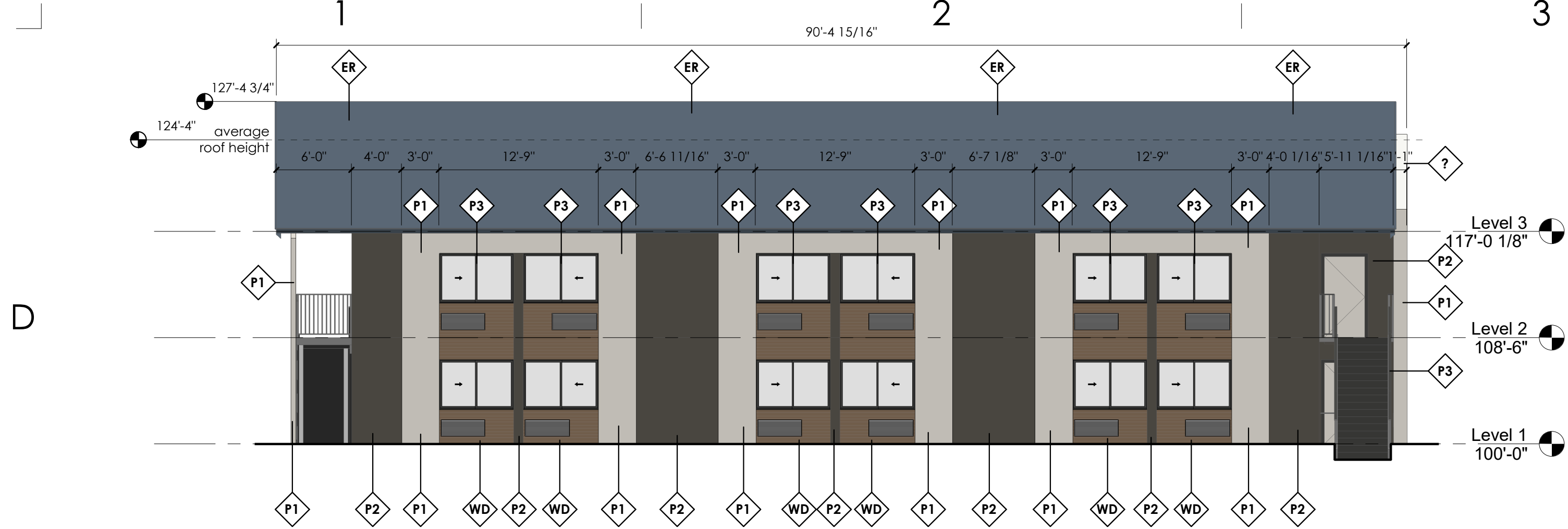
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 MARK DATE DESCRIPTION

ISSUE DATE: 12/18/2020
 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: LT
 CHECKED BY:
 PROJECT#: 2020-64

SHEET NUMBER:

AE001

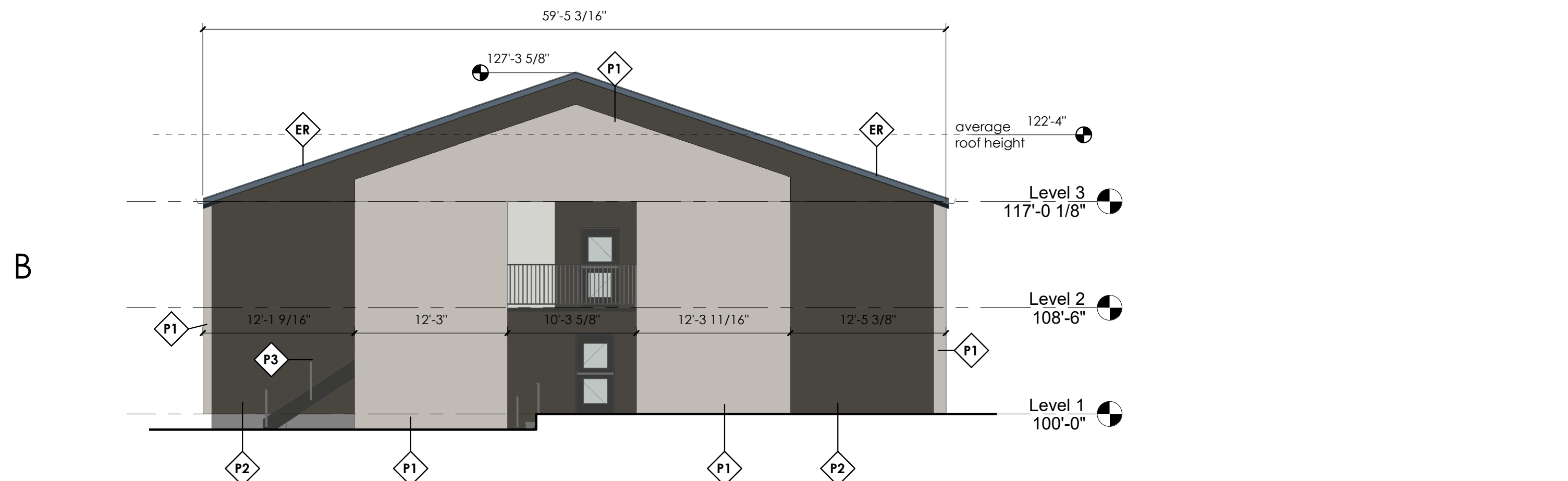
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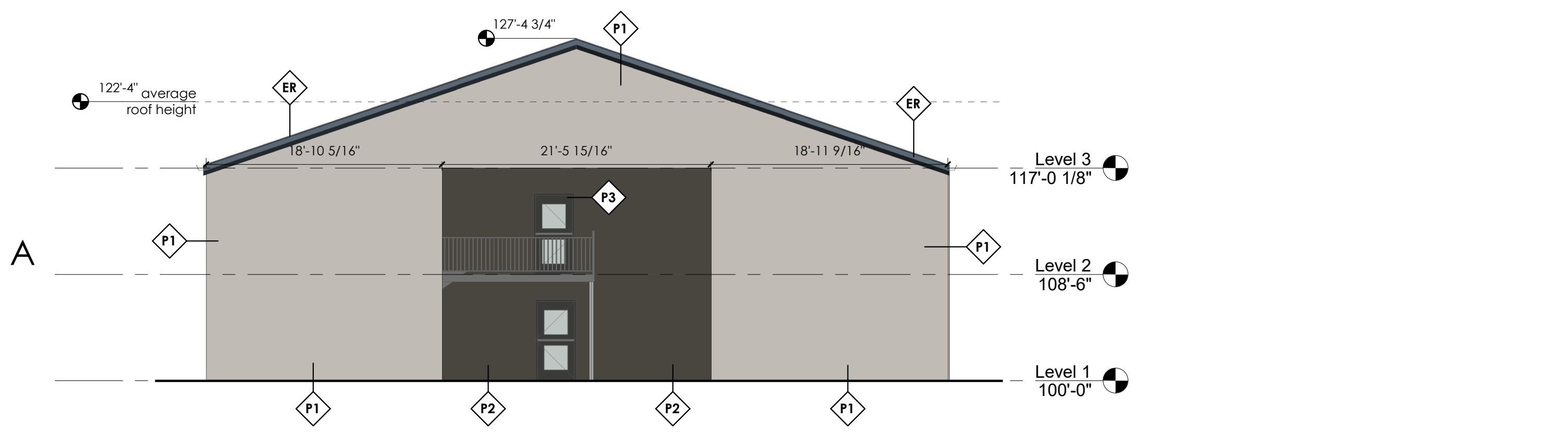
D1 BLDG C - ELEVATION - WEST
 1/8" = 1'-0"



C1 BLDG C - ELEVATION EAST
 1/8" = 1'-0"



B1 BLDG C - ELEVATION - SOUTH
 1/8" = 1'-0"



A1 BLDG C - ELEVATION - NORTH
 1/8" = 1'-0"

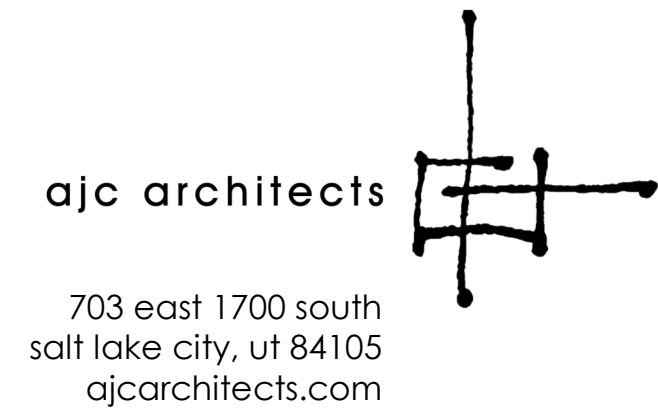
GENERAL NOTES:

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 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

ELEVATION FINISHES

NEW STUCCO FINISH - PAINTED	P1
NEW STUCCO FINISH - PAINTED	P2
NEW STUCCO/TRIM FINISH - PAINTED	P3
NEW HORIZONTAL LAP SIDING	WD
EXISTING ROOF	ER

KEYED NOTES:



NOT FOR CONSTRUCTION

ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN
CONVERSION**

25 HOTEL CIR NE
ALBUQUERQUE, NM 87123

SHEET NAME:

ELEVATIONS

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 12/18/2020
 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: ZS/LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

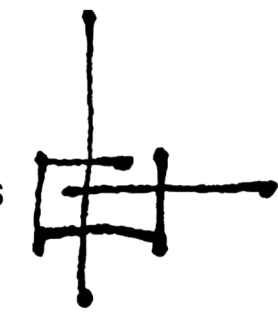
SHEET NUMBER:

AE201.C

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ajc architects 

703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com

NOT FOR CONSTRUCTION

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**RAMADA INN
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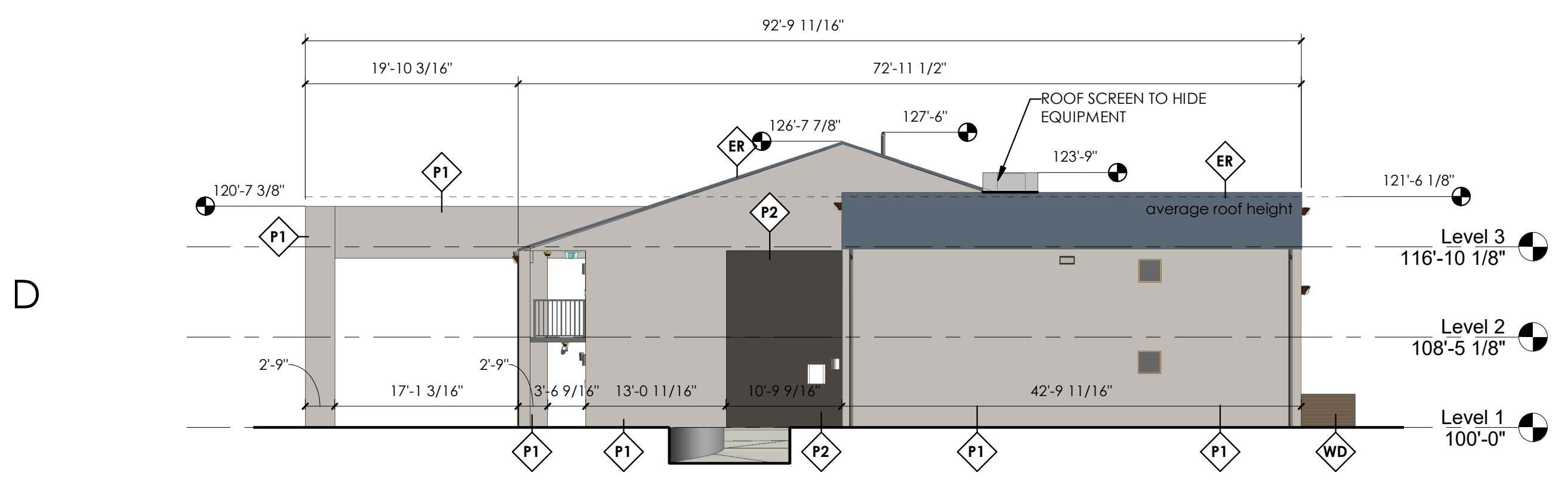
REVISIONS

MARK	DATE	DESCRIPTION

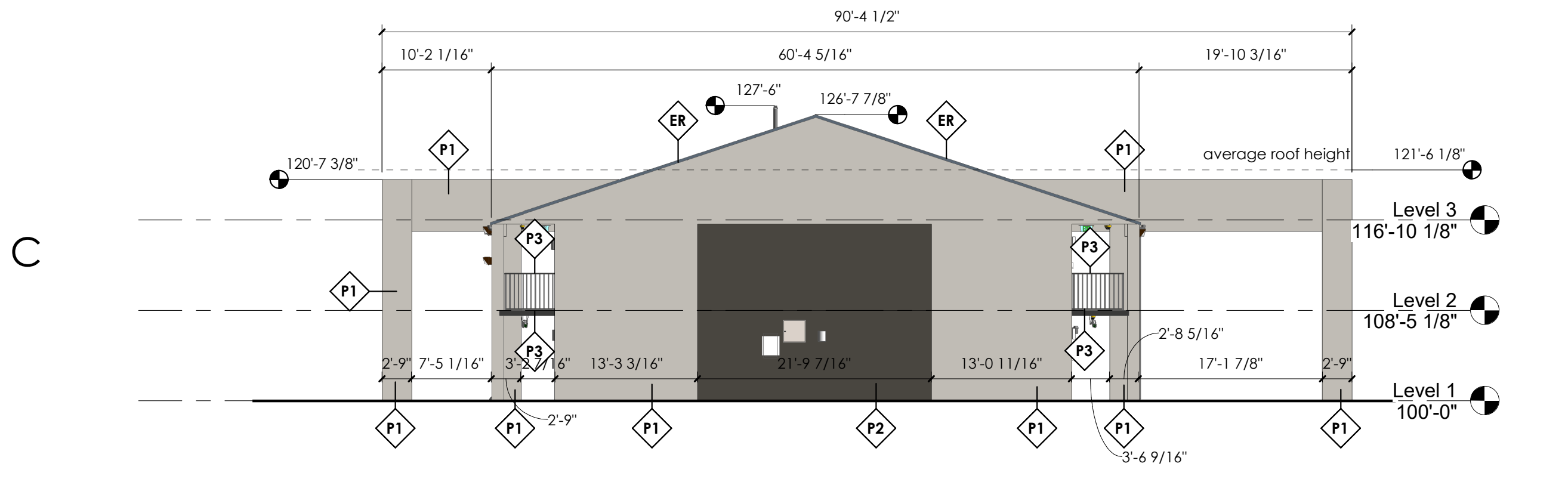
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 DRAWN BY: ZS/LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

SHEET NUMBER:

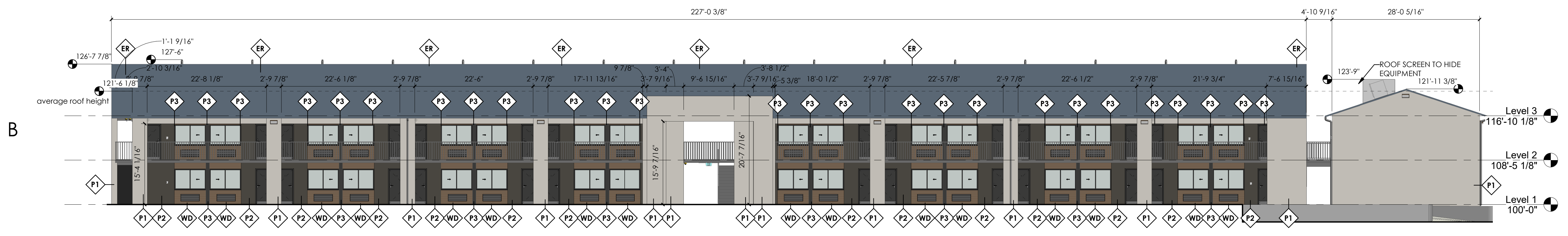
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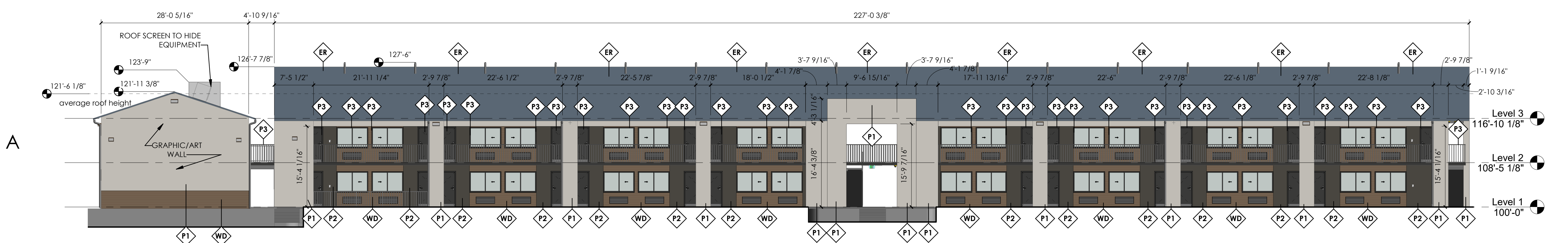
D1 BUILDING 1 - ELEVATION - WEST
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"



C1 BUILDING 1 - ELEVATION - EAST
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"



B1 BUILDING 1 - ELEVATION - NORTH
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"



A1 BUILDING 1 - ELEVATION - SOUTH
 3/32" = 1'-0" SCALE: 3/32" = 1'-0"

12/17/2020 4:31:06 PM \\ajccorps04c1\users\litura\Documents\2020-64 MCRE ABQ Amberley Building 1 litura.rvt
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12/17/2020 4:26:10 PM \\ojccorps04c1\users\littura\Documents\2020-64 MCRC ARQ Amberley Building 2 littura.rvt
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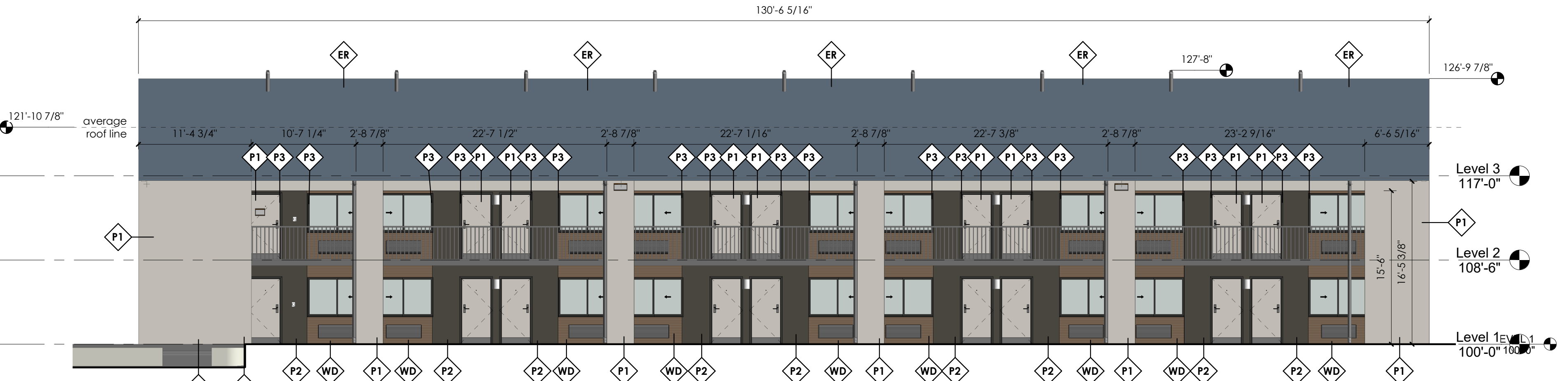
D

C



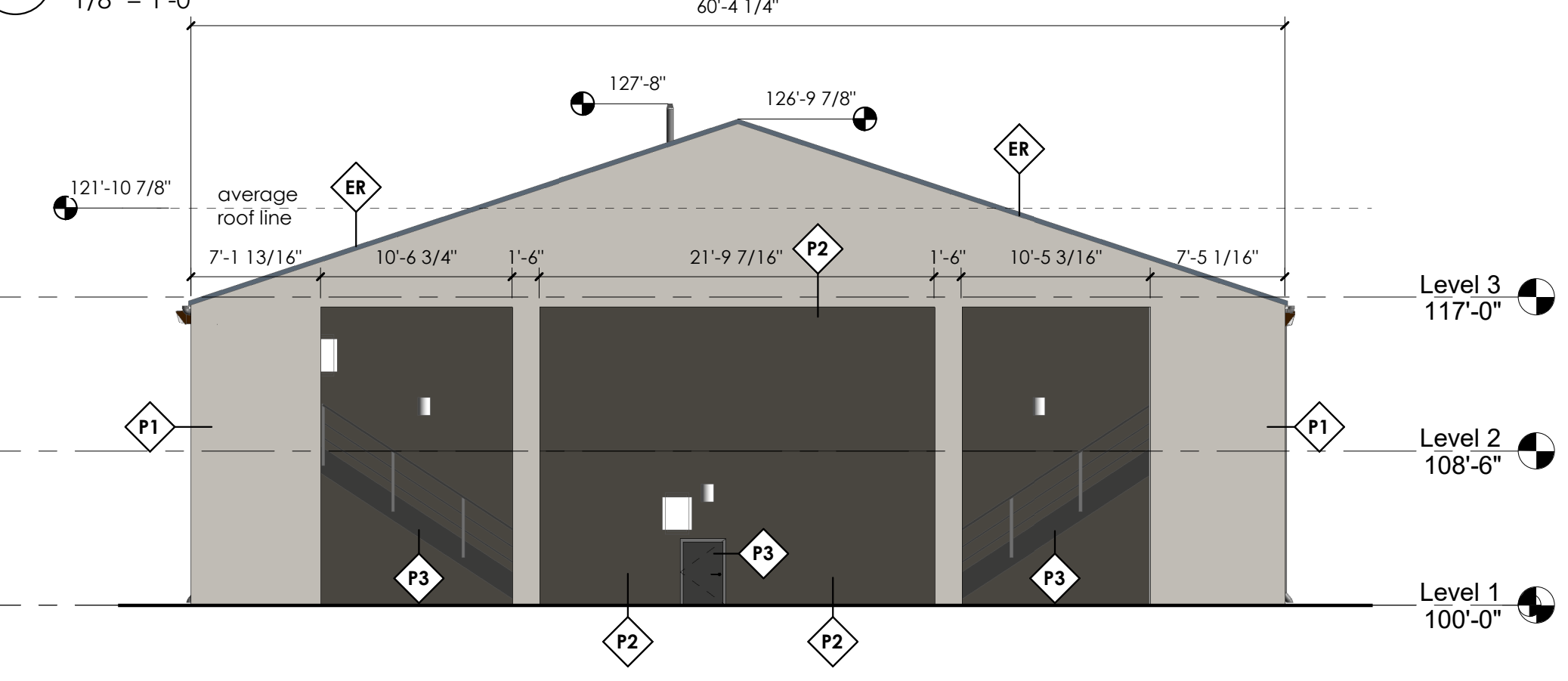
C1 BLDG 2 - ELEVATION - NORTH
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

B

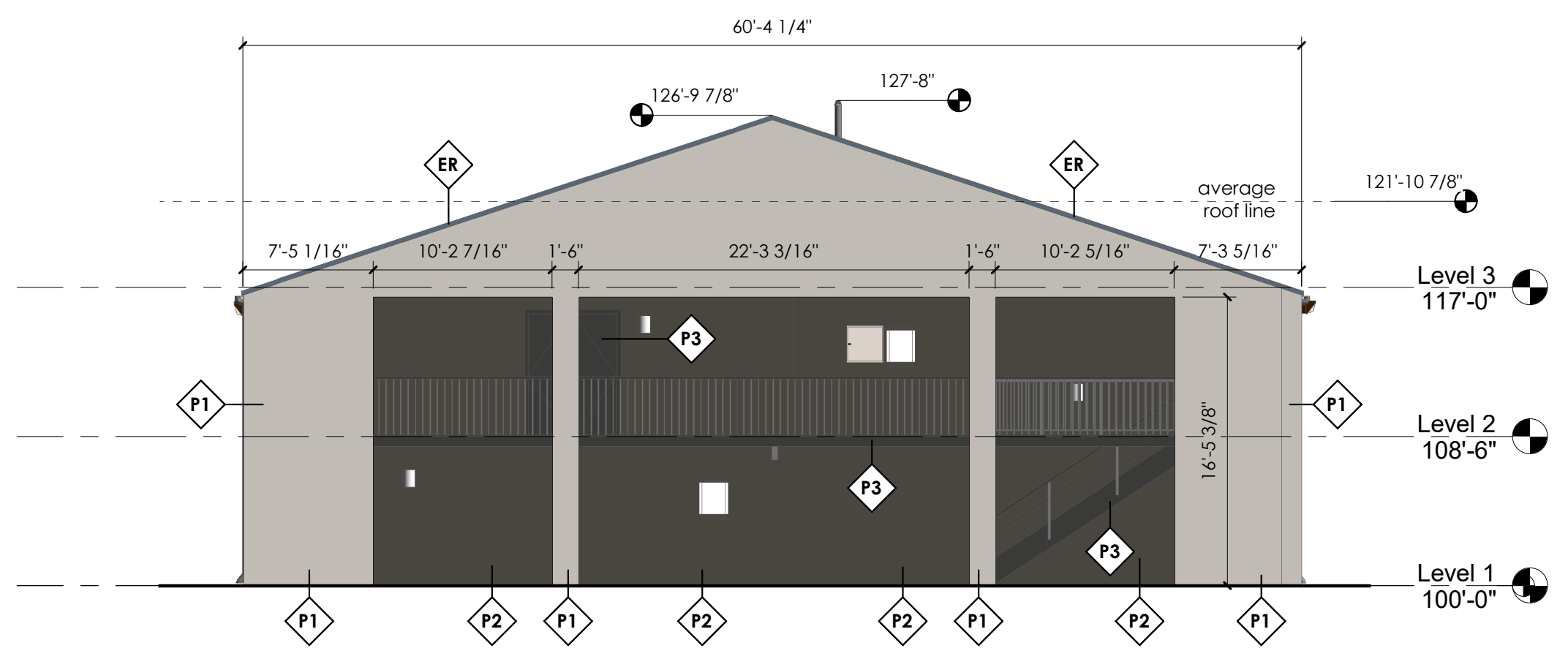


B1 BLDG 2 - ELEVATION - SOUTH
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

A



A1 BLDG 2 - ELEVATION - EAST
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"



A3 BLDG 2 - ELEVATION - WEST
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

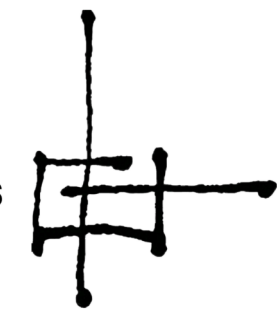
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KEYED NOTES:

ajc architects 
 703 east 1700 south
 salt lake city, ut 84105
 ajcarchitects.com

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ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

RAMADA INN CONVERSION

ENTER PROJECT ADDRESS HERE

SHEET NAME:
ELEVATIONS

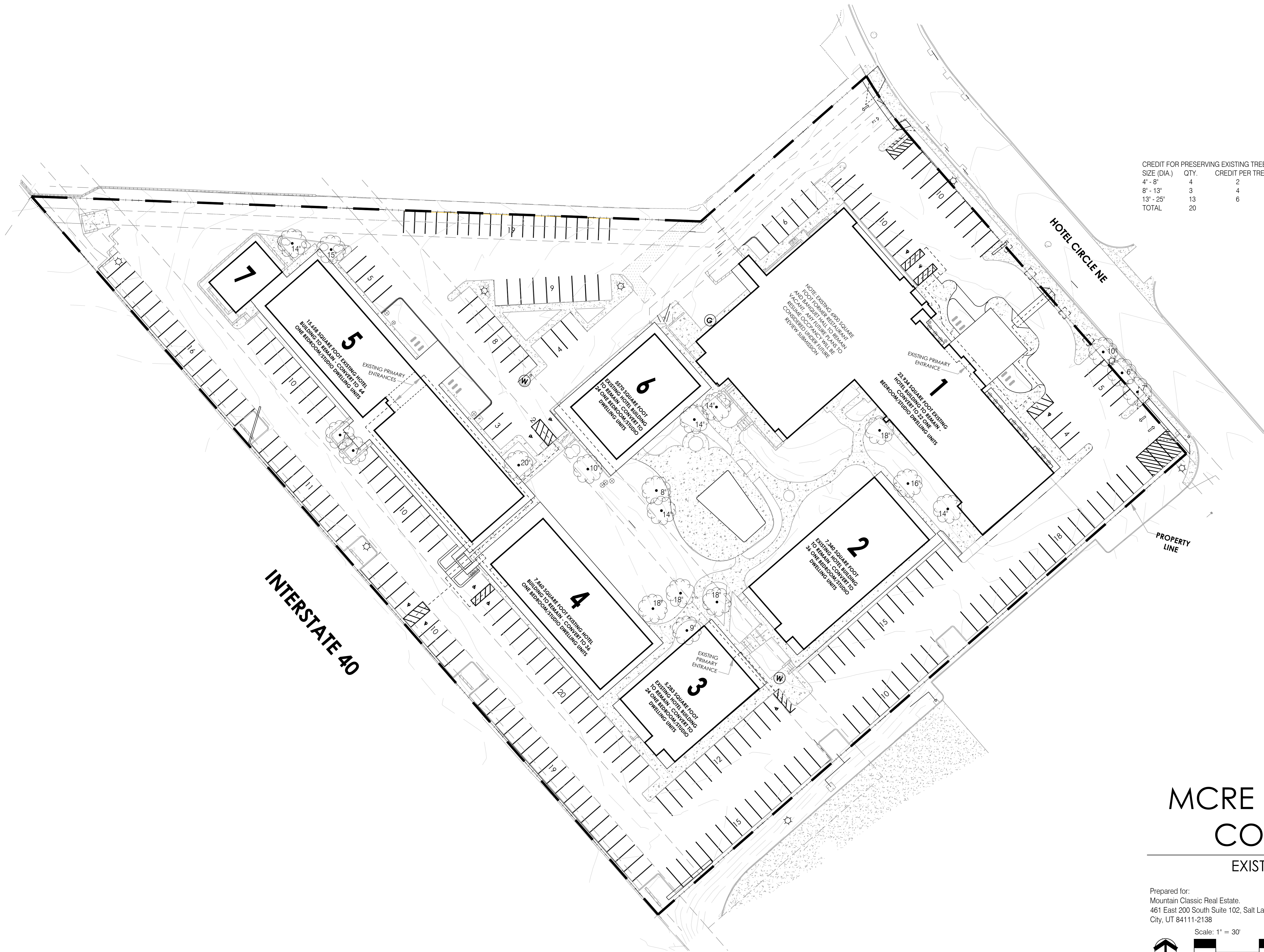
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 ISSUE TYPE: DRB SUBMITTAL
 DRAWN BY: ZS/LT
 CHECKED BY: K. RIGBY
 PROJECT#: 2020-64

SHEET NUMBER:

AE201.2

CREDIT FOR PRESERVING EXISTING TREES:			
SIZE (DIA.)	QTY.	CREDIT PER TREE	TOTAL
4" - 8"	4	2	8
8" - 13"	3	4	12
13" - 25"	13	6	78
TOTAL	20		98

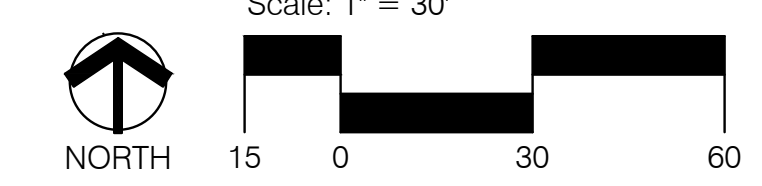


MCRE MULTI-FAMILY CONVERSION

EXISTING TREE CALIPER

Prepared for:
Mountain Classic Real Estate.
461 East 200 South Suite 102, Salt Lake
City, UT 84111-2138

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



March 5, 2021