



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2020-004820

Application No. SI-2020-001468

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 3/10/21

HEARING DATE OF DEFERRAL: 3/31/21

SUBMITTAL

DESCRIPTION: Updated plan set and comment response memo.

Updated Infrastructure List, TIS Approval, and supporting exhibits.

CONTACT NAME: Michael Vos, AICP or Jim Strozier, FAICP

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com or cp@consensusplanning.com



# Memorandum

**To:** Jolene Wolfley and DRB Members, City of Albuquerque

**From:** Michael Vos, AICP, Consensus Planning, Inc.

**Date:** March 26, 2021

**Re:** Hotel Circle Ramada Apartment Conversion DRB Update (PR-2020-004820)

This memo outlines the most recent changes and updates made to the site plan for the proposed apartment conversion based on the comments received and reviewed at the March 10, 2021 DRB meeting. The comments are numbered, and responses are in bold italics.

## Hydrology

1. The note on the site plan referencing an email from Renee Brissette is awkward. It is preferred to change the note to something more definitive such as: "This site is below the threshold of 500 cy of grading, 1,000 sf of proposed structure or 10,000 sf of proposed paving to require a Grading and Drainage plan."
  - a. ***The note has been updated to state more clearly that the site is below the applicable thresholds, and to note that if it does cross those thresholds at any point an updated Grading and Drainage plan will be required. An exhibit showing the areas of disturbance from the current plan is attached.***

## Transportation Development

1. The sidewalk width waiver is approved.
  - a. ***Understood.***
2. Include an architectural stamp on drawings. The site plan shall be approved for construction, aside from what is needed as part of the work order drawings.
  - a. ***The drawings have been stamped and signed.***
3. The Traffic Study needs to be approved prior to site plan approval. For the striped left turn lane, for clarity, label the length of the new turn bay plus the transition.
  - a. ***The TIS has been approved and a copy of the approval letter is attached. The Infrastructure List has been updated to address the comments provided.***
4. Clarify sidewalk requirement on the infrastructure list since it shows a 5-foot sidewalk whereas the site plan indicates that only parts of it shall be removed for landscaping purposes.
  - a. ***The Infrastructure List has been updated and is attached.***
5. Seek Fire Marshall approval for the new gate locations per Keyed Note 38. These are also blocking parking spaces so this would need to be adjusted. (Provide detail for the gates at this location.)
  - a. ***The approved Fire 1 plan is attached. The gates have been removed from the site plan at this time and will be evaluated later. It is understood an Amendment to the plan will be reviewed by the Fire Marshal and Transportation staff at that time.***

6. All public infrastructure shall be built through the work order process; add this note to the site plan. For information, more detail would be needed for the driveways, and 6" thick concrete is needed for reconstruction and for the addition of an ADA pathway across a drivable surface. Also, the removal of any concrete sidewalk shall be to nearest joint. (These should be detailed in the work order plans.)
  - a. ***This note has been added to the plan, as requested. The details will be shown on the Work Order plans as reviewed and approved by the DRC.***
7. The number of handicapped spaces does not match what is shown in the parking calculations. Add keyed note for clarify on handicapped spaces, and update parking calculations.
  - a. ***The accessible parking spaces have been updated per the comments received.***
8. Not all aisles are shown to have ADA accessibility to the existing building entrances. Show existing doorways, graphically show existing ramps, and for the furthestmost aisles, either place new ramps or a striped out pedestrian way should be shown. Relocations may be necessary to ensure that there is an ADA pathway.
  - a. ***Entrances are called out on the plan and the details sheets have been updated to show all accessible aisles and ramps from the site plan. A few extra ADA spaces were removed due to lack of compliance but the minimum required are still shown.***
9. On the detail for the handicapped ramp that is perpendicular to the parking lot, show a minimum 4-foot pathway at the top of the ramp for turning a wheelchair. (Detail B1)
  - a. ***The details have been dimensioned and updated with greater detail, as requested.***
10. Include a copy of the shared access agreement if it is available as indicated.
  - a. ***After more research, only drainage and utility easement exist along the property line. The site plan has been updated to show the dimensions of the drive aisles to the property line and the fence and they meet the minimum requirements on site without the need for an easement except for in one location. This is an existing condition since the property was developed approximately 50 years ago. Ongoing discussions are occurring with how to resolve this issue, and we would respectfully request approval of the Site Plan with delegation to fully resolve this issue, if necessary.***

#### ABCWUA

1. Availability statement #201213 is in holding as a fire one plan is required.
  - a. ***Understood. The Approved Fire 1 plan has been provided and is attached.***
2. Building #6 appears to be encroaching into the existing 20' public waterline easement. This easement is for an existing 36" water transmission line which is critical infrastructure. Please provide a signed/stamped survey showing the location of the easement, existing waterline, and the encroachment of Building #6. Internal discussions with Legal will take place to determine what needs to take place.
  - a. ***This encroachment appears to have existed for a very long time since development of the site approximately 50 years ago. Discussions are ongoing regarding the possible granting of additional easements opposite the encroachment to provide the minimum 20-foot clear easement for the Water Authority. An exhibit showing these encroachments and possible new easements is attached.***
3. Infrastructure list  
There is a proposed public fire hydrant converted a to private fire line from the existing 36" waterline to the existing fire hydrant location. Is the intent to utilize the exiting public fire hydrant leg and convert to a private fire line for further extension? Please specify the

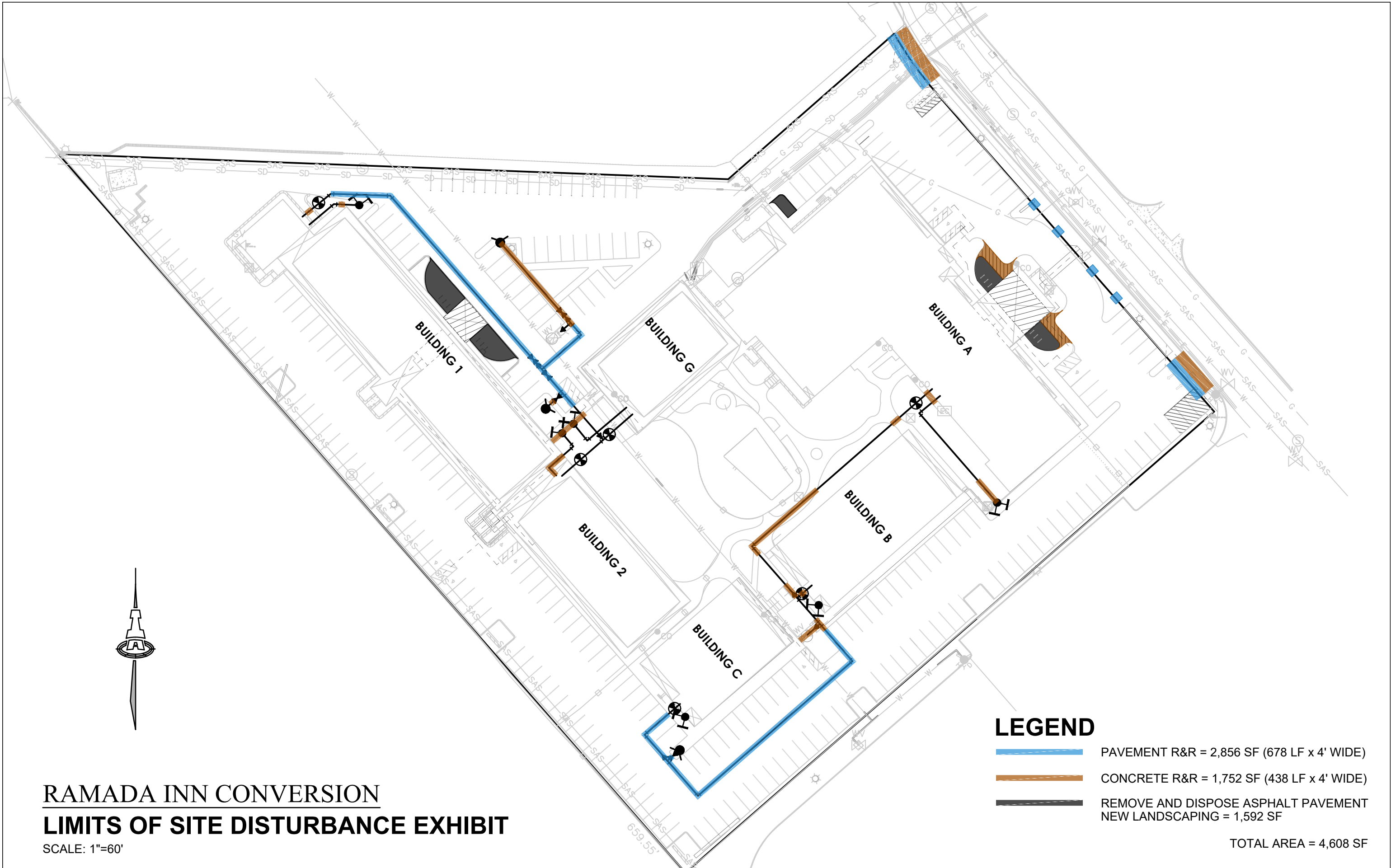
existing 6" fire hydrant leg instead of the existing 36" transmission line on the infrastructure list as connections to the 36" transmission line is prohibited.

It appears most of the proposed private fire line is outside of the existing waterline easement, except for a proposed private valve. Private infrastructure is not allowed to be within the public waterline easement.

***a. The Infrastructure List has been updated to include these items.***

Planning

***Planning noted the building design section was not applicable and the updated parking still met the requirements. No other new comments were received.***



# CITY OF ALBUQUERQUE



Planning Department  
Brennon Williams, Director

Mayor Timothy M. Keller

March 24, 2021

Jonathon Kruse, P.E., PTOE  
Lee Engineering  
8220 San Pedro Drive NE  
Suite 150  
Albuquerque, NM 87113  
Via email jkruse@lee-eng.com

**Re: 25 Hotel Circle NE  
Traffic Impact Study, Final  
HT#K21D015, Dated March 2021**

Dear Mr. Kruse,

The subject Traffic Impact Study for the 25 Hotel Circle NE, Ramada Hotel Apartment Conversion, sealed 3/23/2021 has been accepted and approved by the Transportation Development Section.

The infrastructure improvement required due to this development are as follows:

PO Box 1293

Albuquerque

NM 87103

1. Restripe the left-turn lane centerline for the northbound approach on Hotel Circle NE at Loma Blvd NE. Lengthen the northbound left turn lane to be 150 feet long plus the transition or as far as possible without encroaching on the driveway to the south.
2. CABQ DPM compliance requires that the west access driveway be separated from currently shared driveway. It is recommended to reconstruct the west access to be reduced to 24 feet wide and have curb return radius of 25 feet. The driveway should be five feet or greater from the property line.

www.cabq.gov

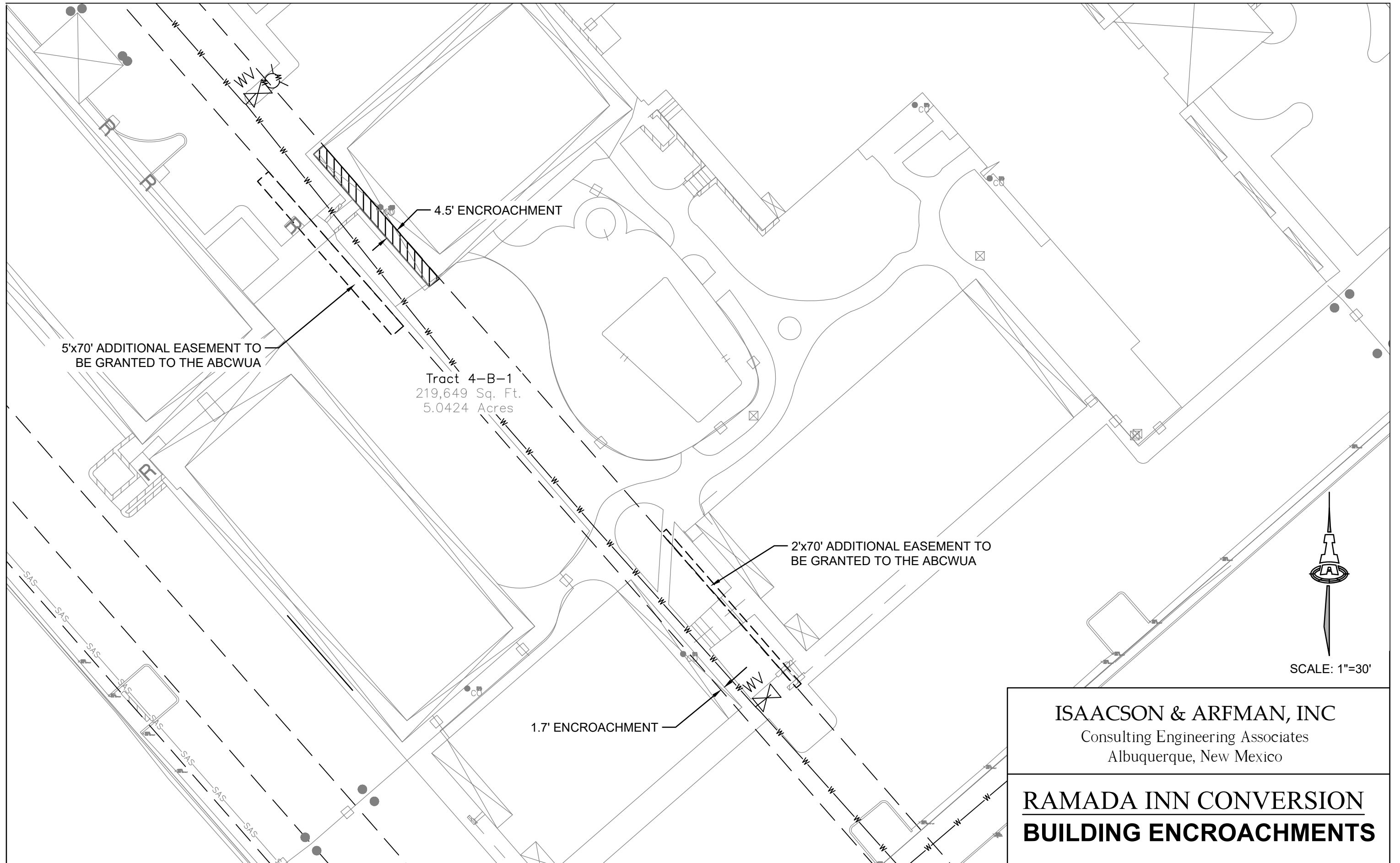
The Traffic Impact Analysis shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

If you have any questions, please feel free to contact me at (505) 924-3264.

Sincerely,

Matt Grush, P.E., PTOE  
Traffic Engineer, Planning Dept.  
Development Review Services

via: email  
C: Applicant, File



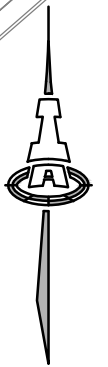
4.5' ENCROACHMENT

5'x70' ADDITIONAL EASEMENT TO BE GRANTED TO THE ABCWUA

Tract 4-B-1  
219,649 Sq. Ft.  
5.0424 Acres

2'x70' ADDITIONAL EASEMENT TO BE GRANTED TO THE ABCWUA

1.7' ENCROACHMENT



SCALE: 1"=30'

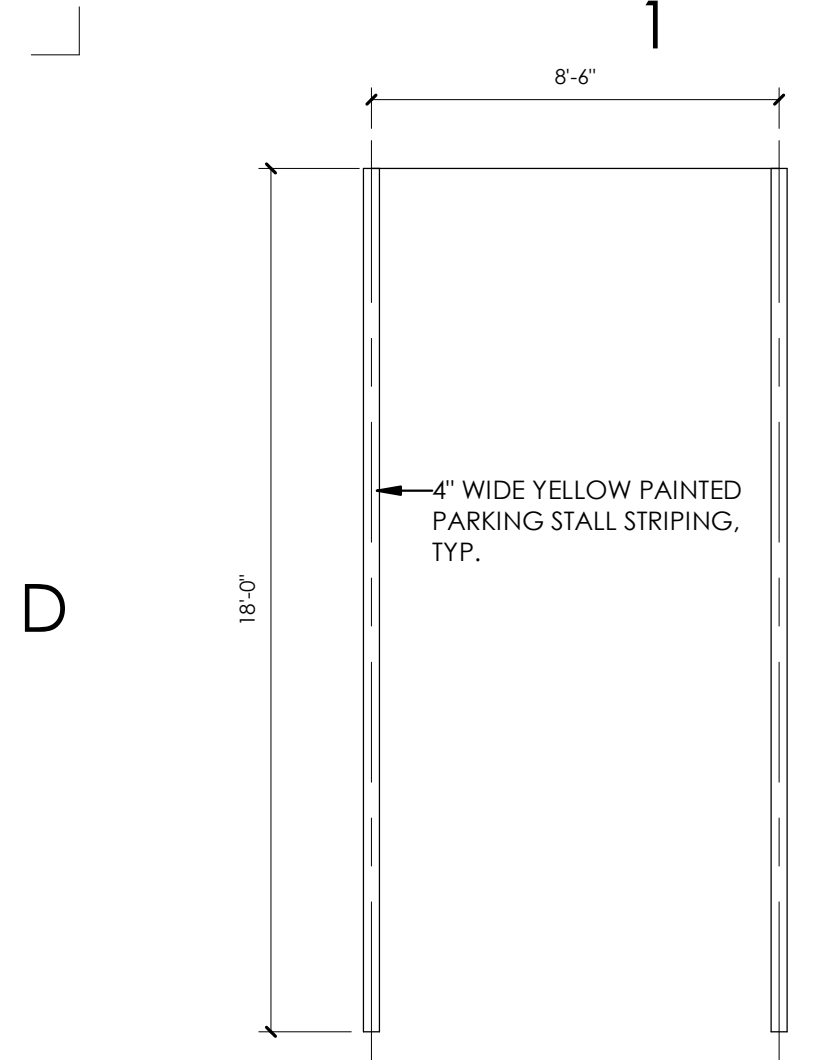
ISAACSON & ARFMAN, INC  
Consulting Engineering Associates  
Albuquerque, New Mexico

**RAMADA INN CONVERSION**  
**BUILDING ENCROACHMENTS**

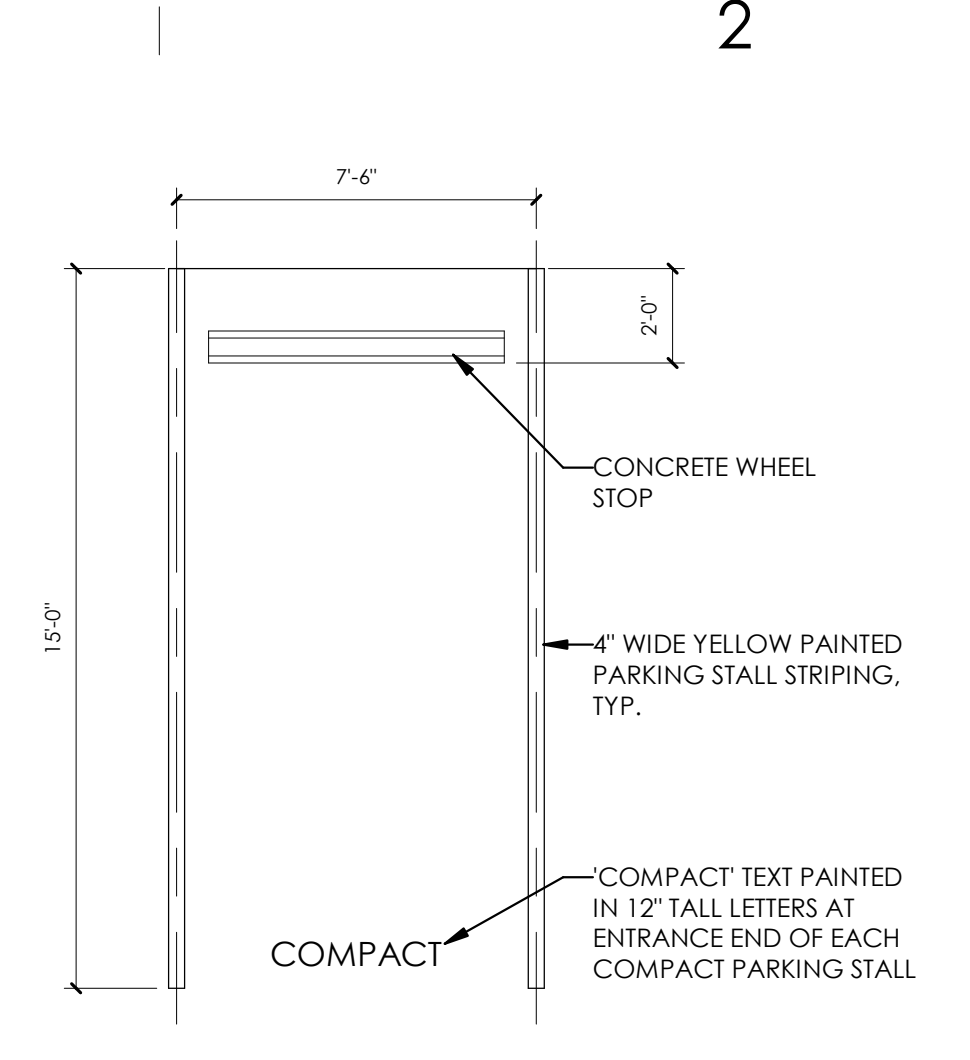




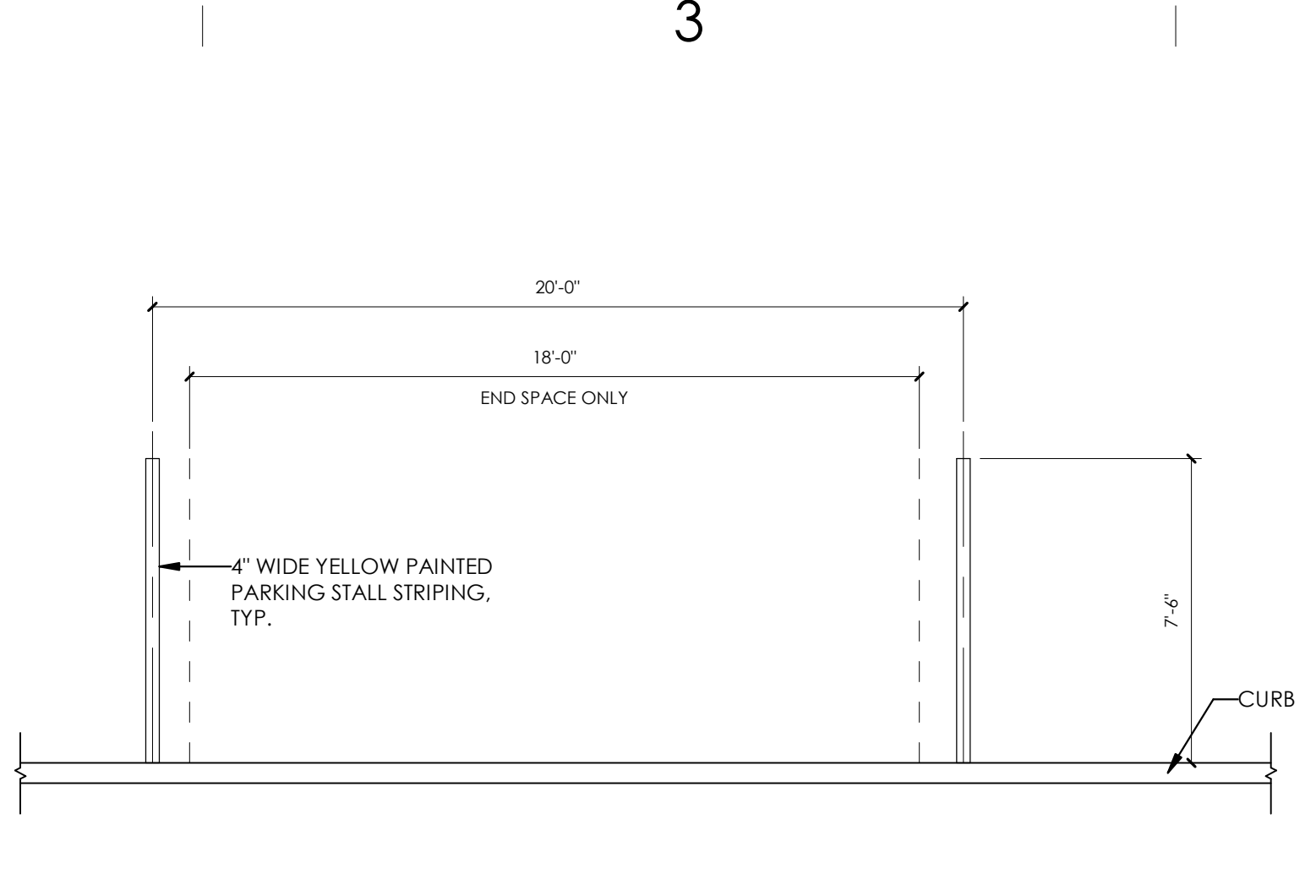
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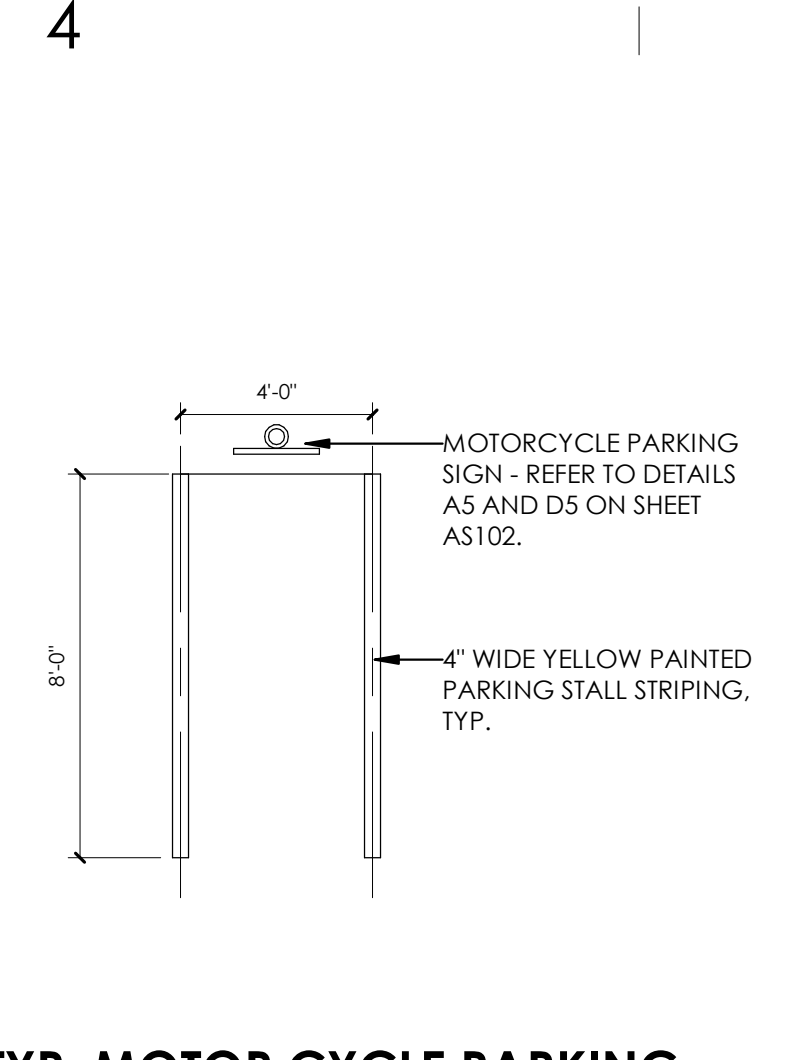
**D1 SITE - TYP. PARKING DETAIL**  
1/4" = 1'-0"



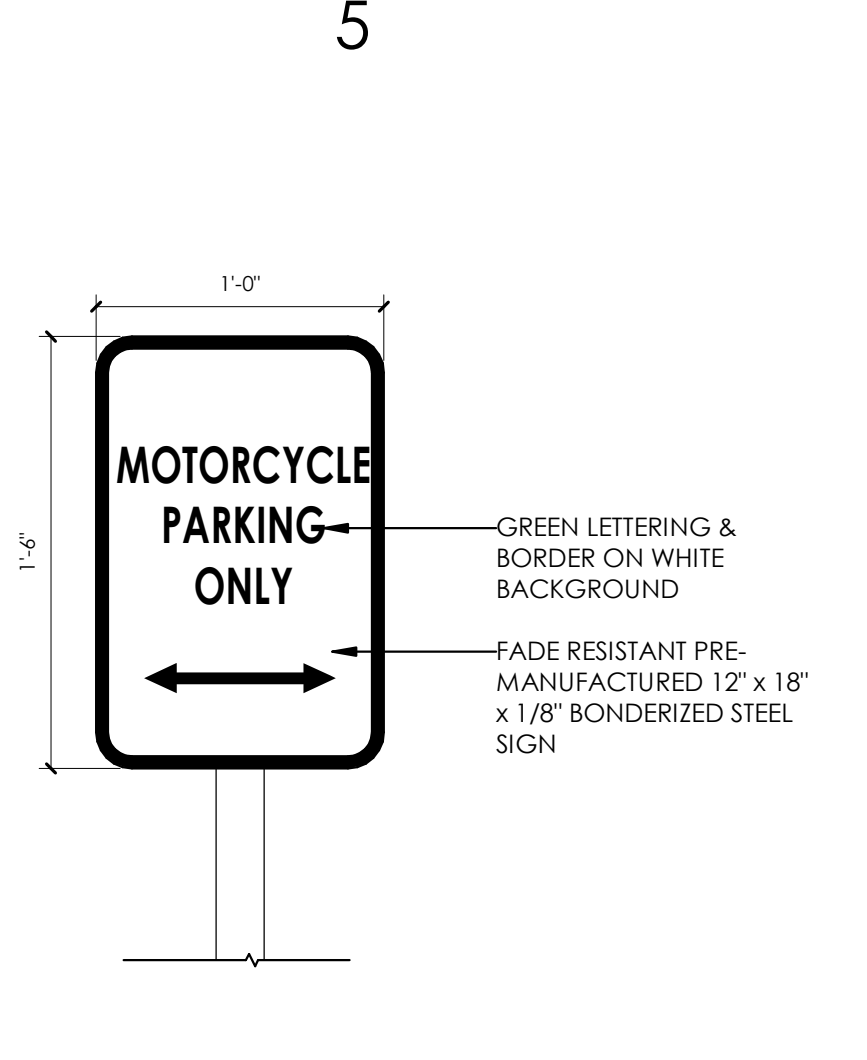
**D2 SITE - TYP. COMPACT PARKING SPACE**  
1/4" = 1'-0"



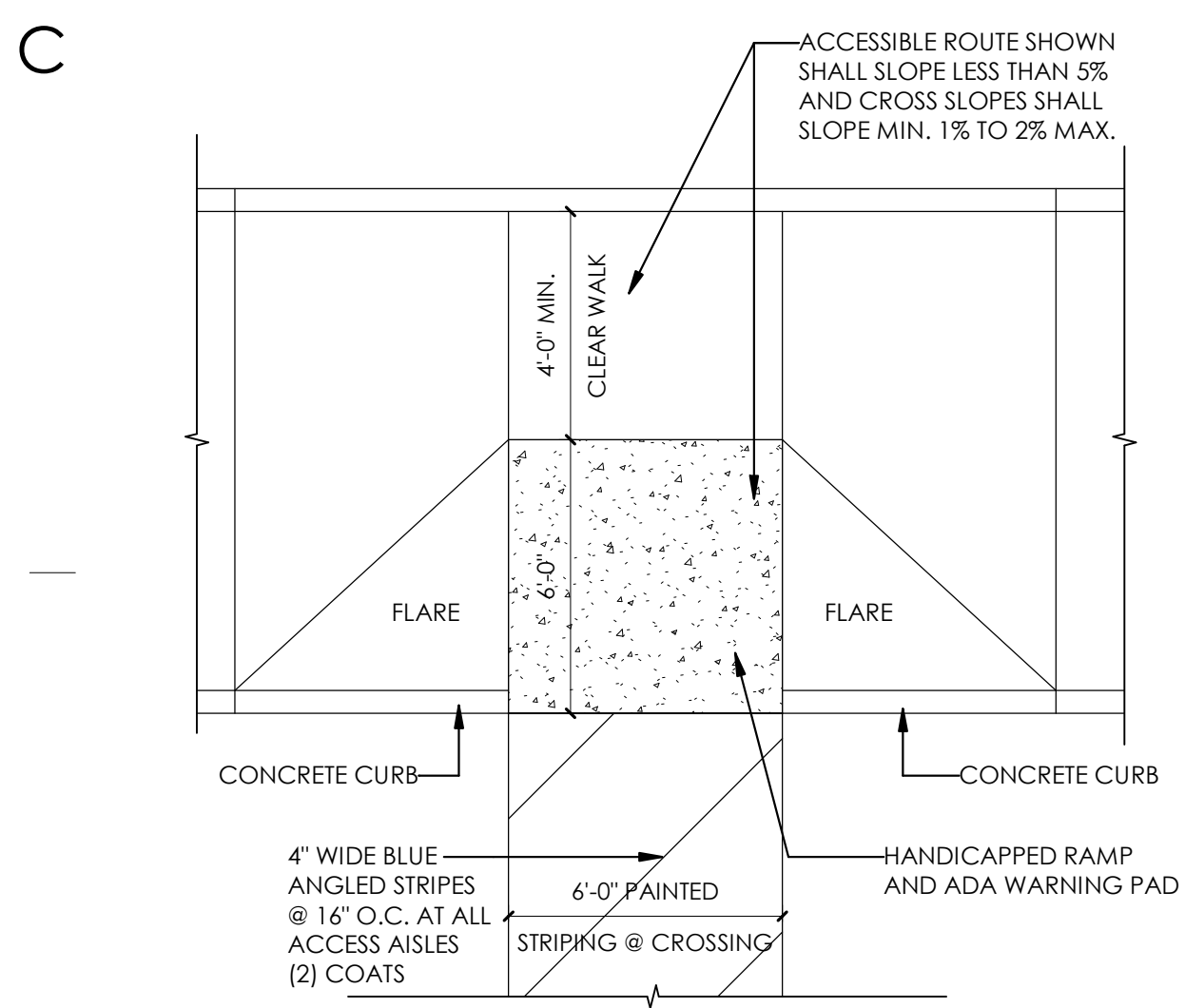
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1/4" = 1'-0"



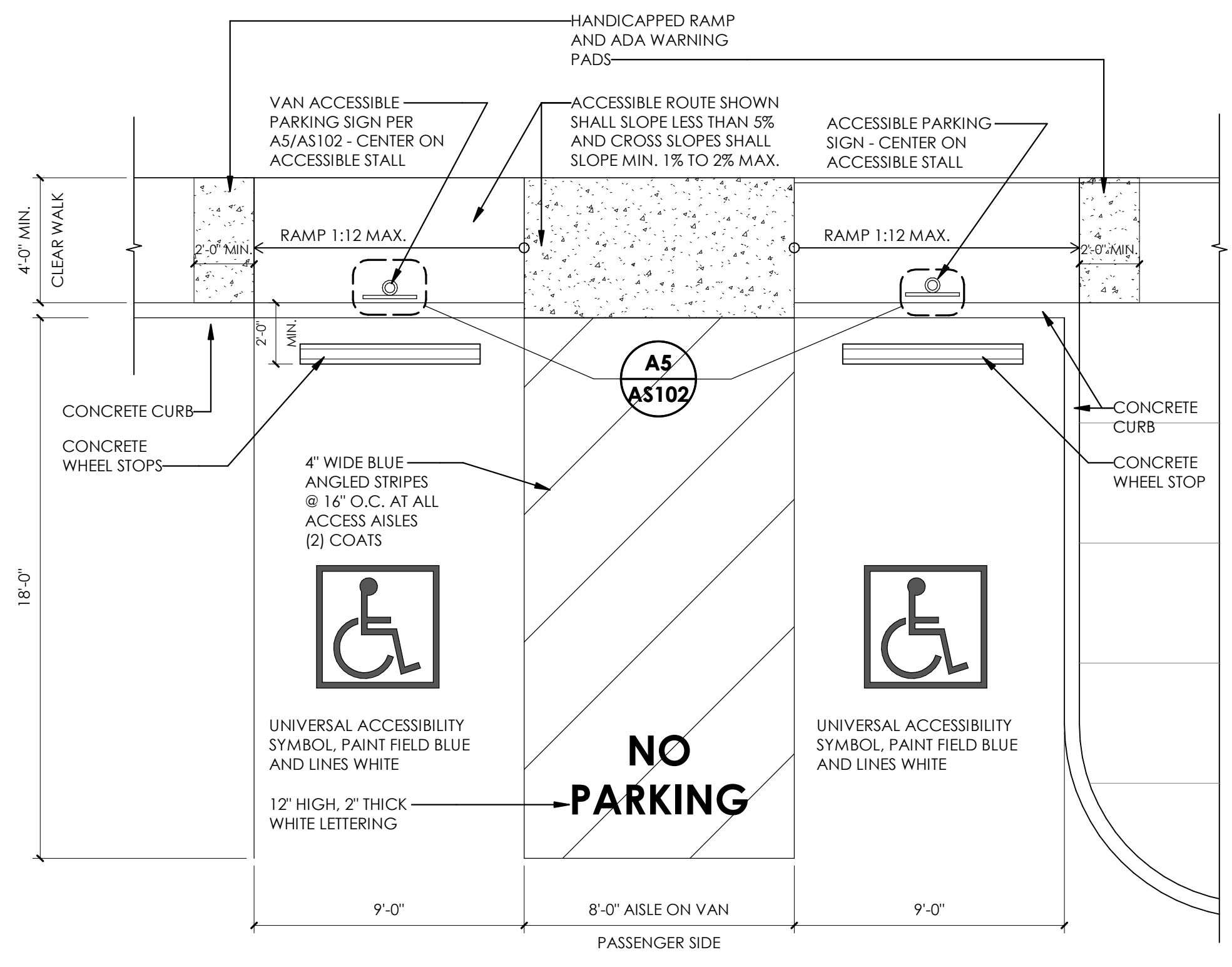
**D4 SITE - TYP. MOTOR CYCLE PARKING STALL**  
1/4" = 1'-0"



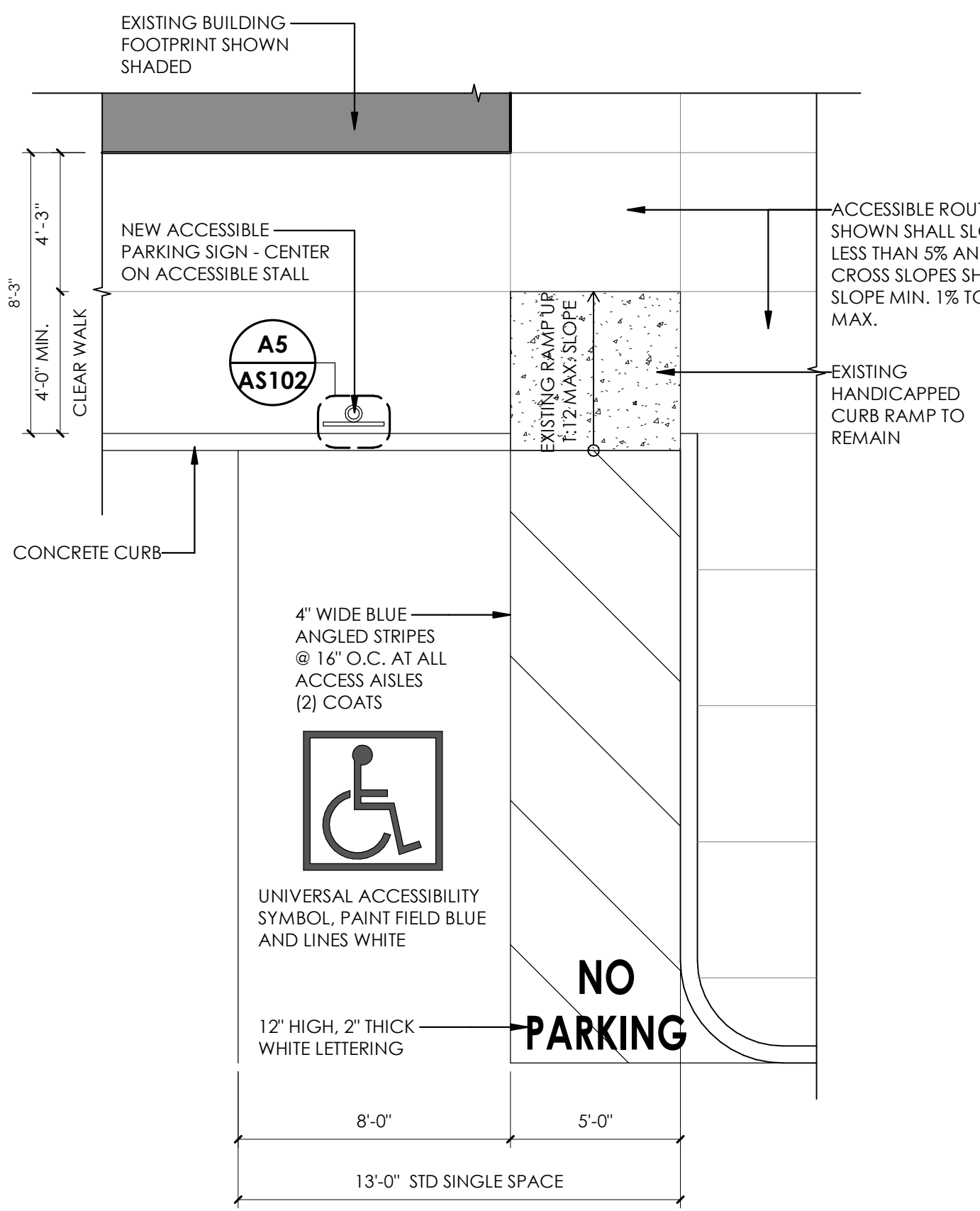
**D5 MOTORCYCLE PARKING SIGNAGE**  
1 1/2" = 1'-0"



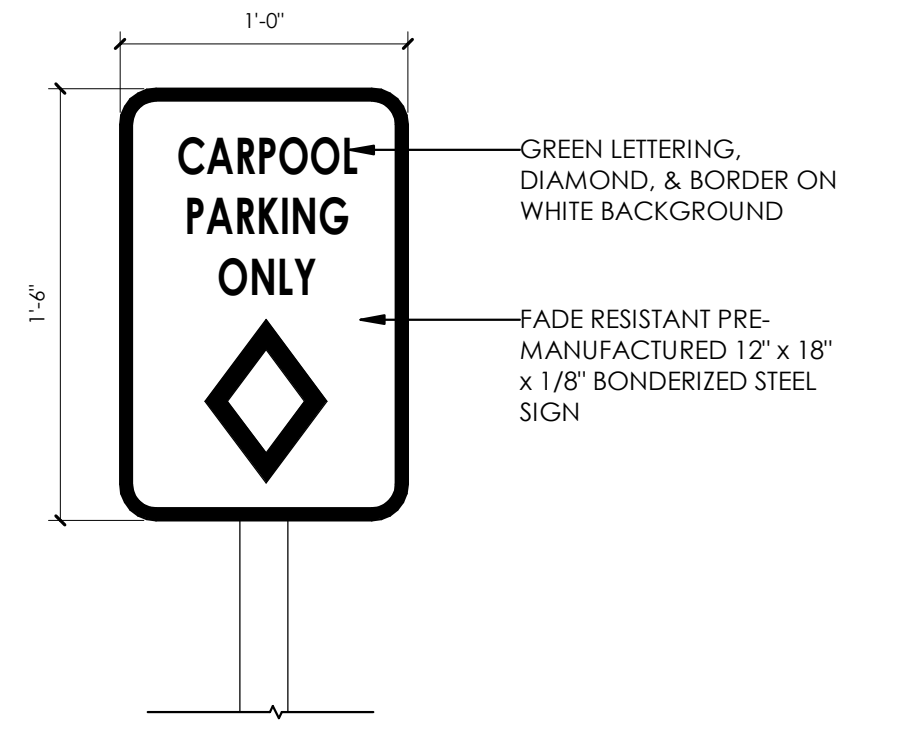
**B1 SITE - TYP. FLARED ADA CURB CUT**  
1/4" = 1'-0"



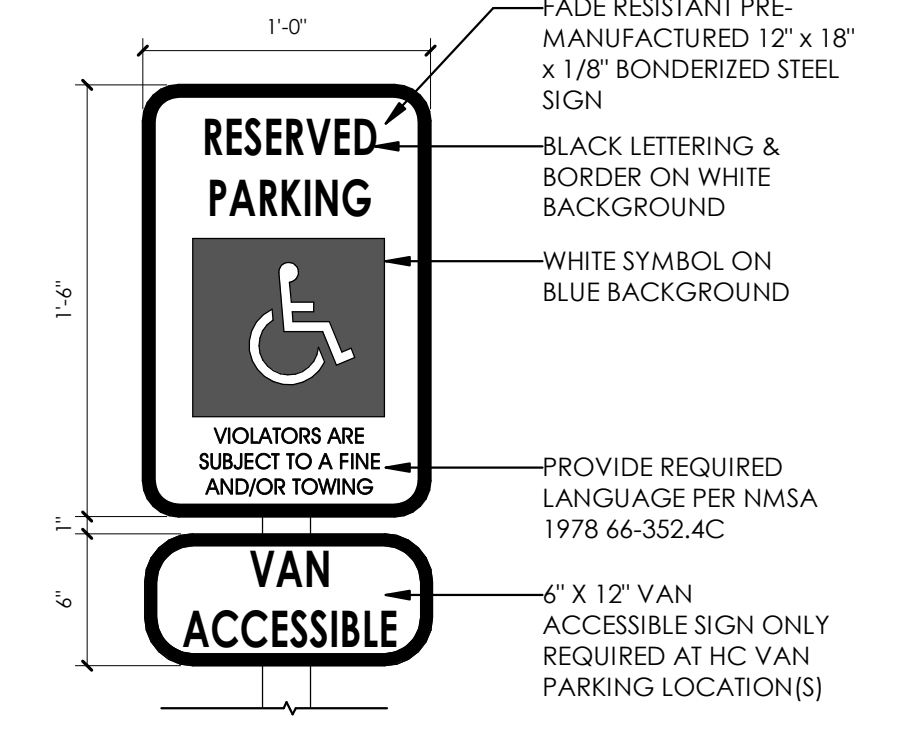
**B2 SITE - ADA CURB RAMP LOCATION 1**  
1/4" = 1'-0"



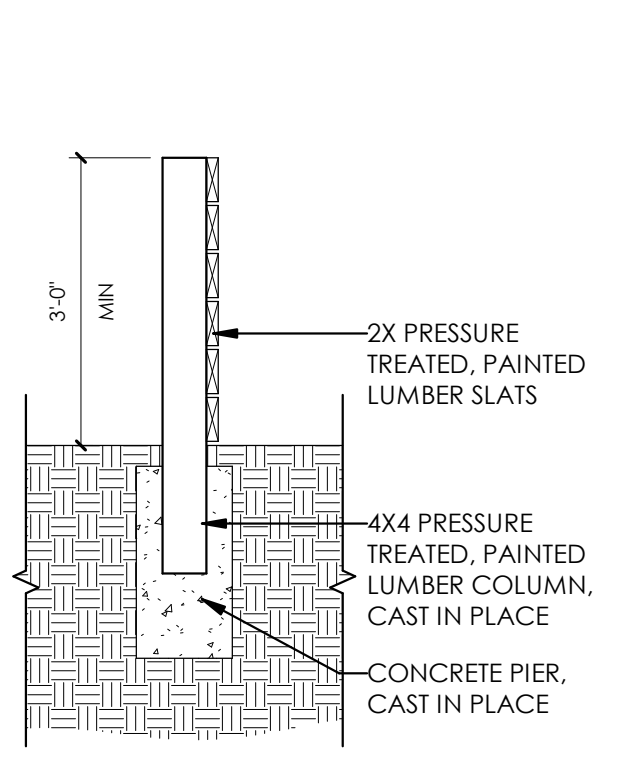
**B4 SITE - ADA CURB RAMP LOCATION 2 - RE-STRIPE @ EXISTING RAMP**  
1/4" = 1'-0"



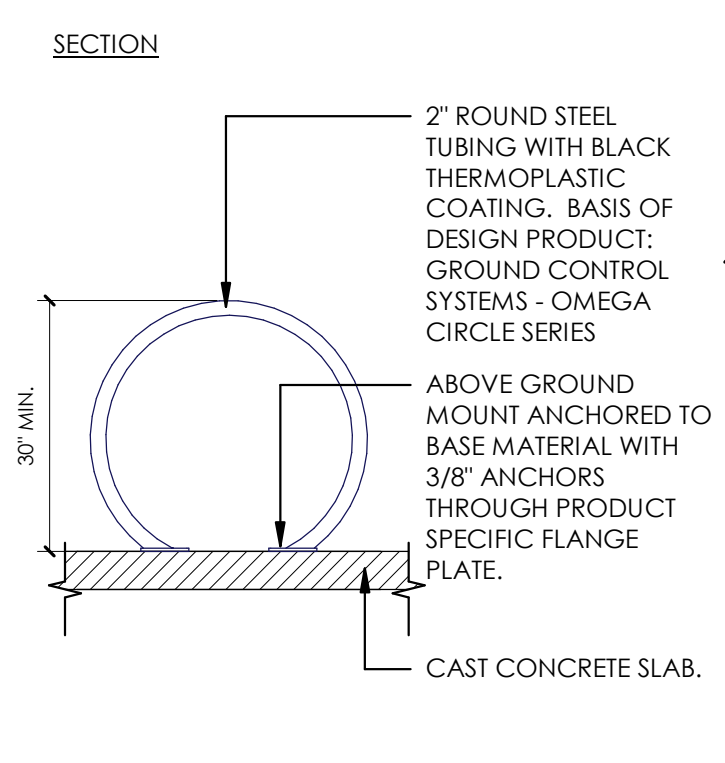
**C5 CARPOOL PARKING SIGNAGE**  
1 1/2" = 1'-0"



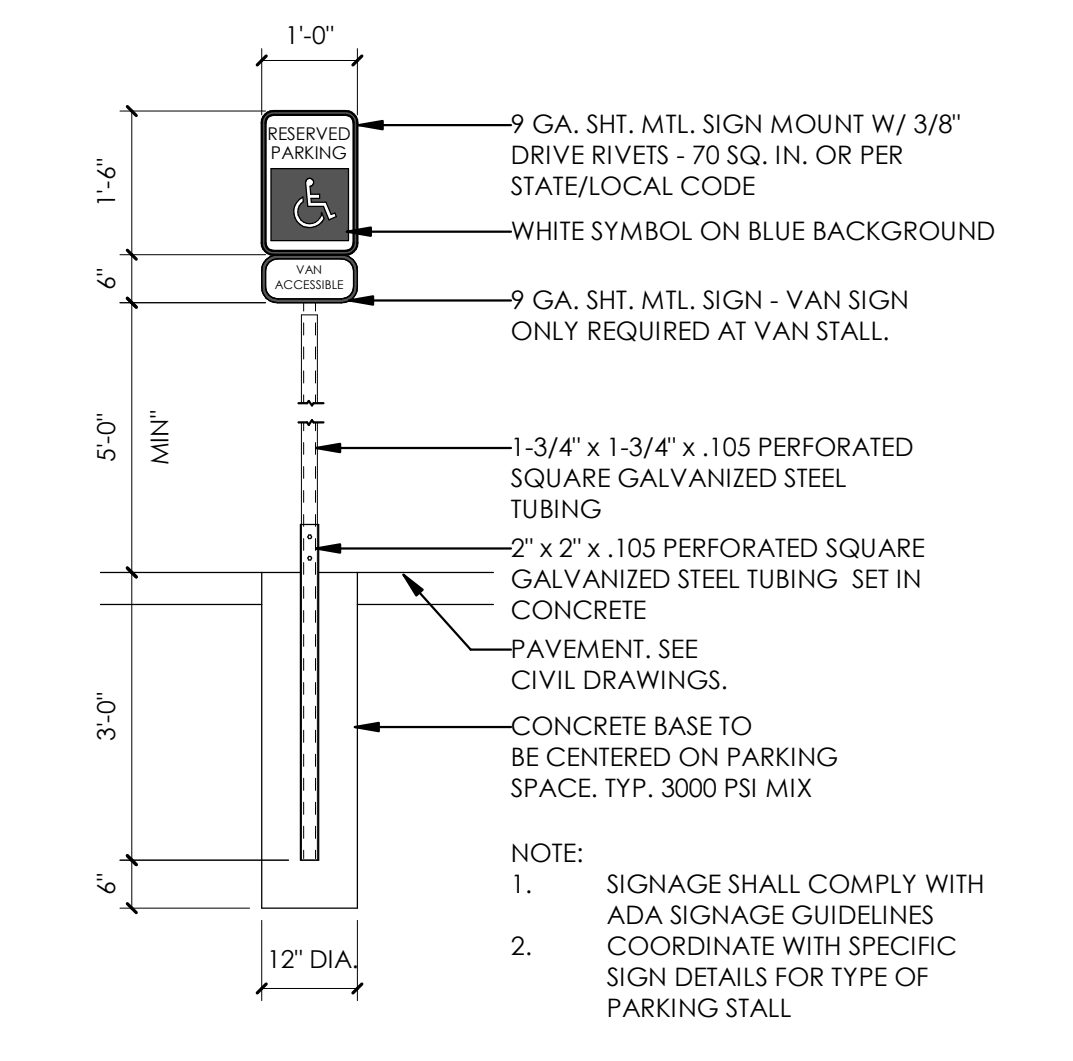
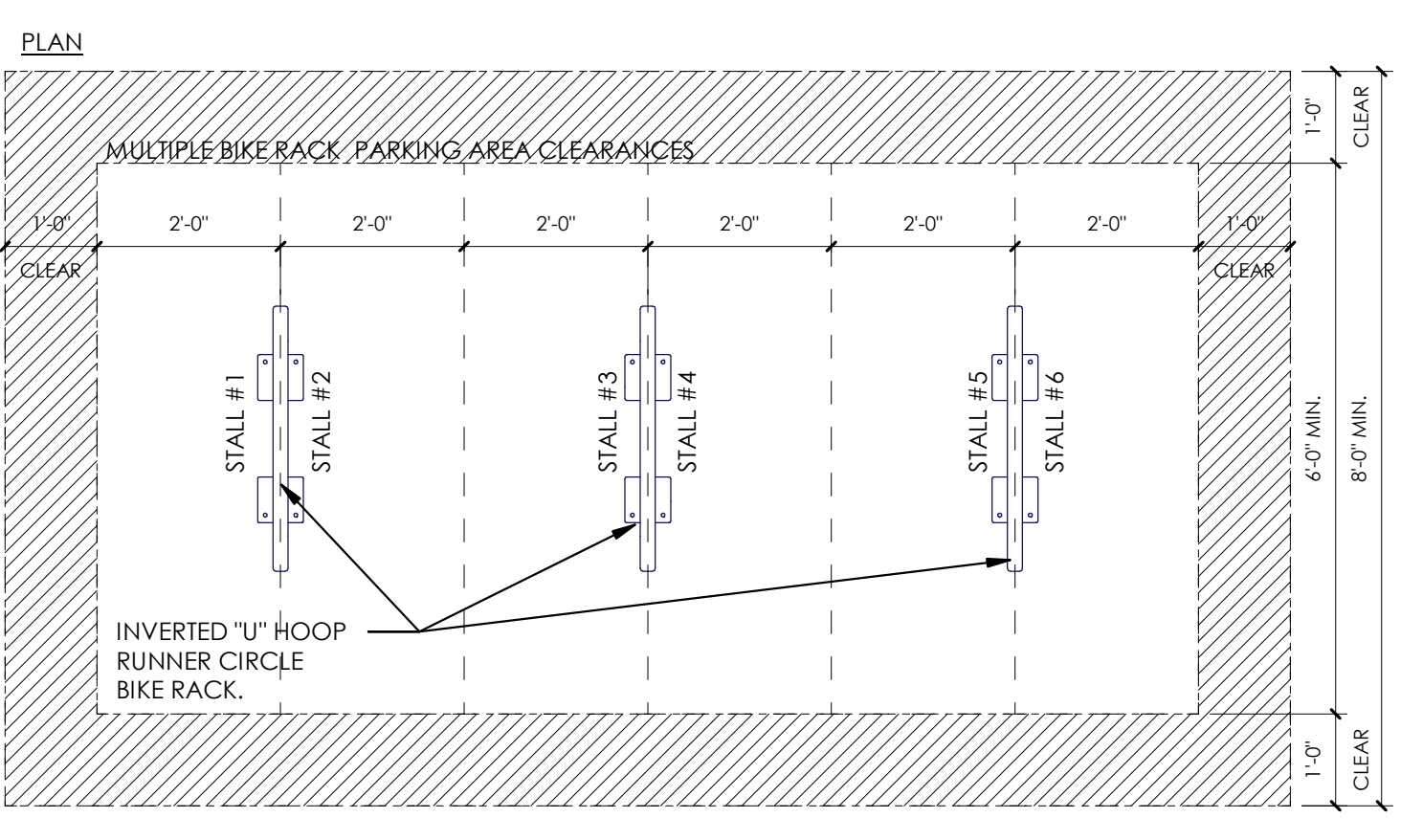
**B5 ADA PARKING SIGNAGE**  
1 1/2" = 1'-0"



**A2 SITE - SCREEN WALL DETAIL**  
1/2" = 1'-0"



**A3 SITE - TYP. BIKE RACK**  
1/2" = 1'-0"



**A5 ADA, MOTOR CYCLE, & CARPOOL PARKING SIGNAGE DETAIL**  
1/2" = 1'-0"

ajc architects  
703 east 1700 south  
salt lake city, ut 84105  
ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
**RAMADA INN CONVERSION**

25 HOTEL CIRCLE NE  
ALBUQUERQUE, NM 87123

SHEET NAME:  
**SITE DETAILS**

REVISIONS  
MARK DATE DESCRIPTION

ISSUE DATE: 3/26/2021  
ISSUE TYPE: DRB SUBMITTAL  
DRAWN BY: MS/ZS/LT  
CHECKED BY: K. RIGBY  
PROJECT#: 2020-64

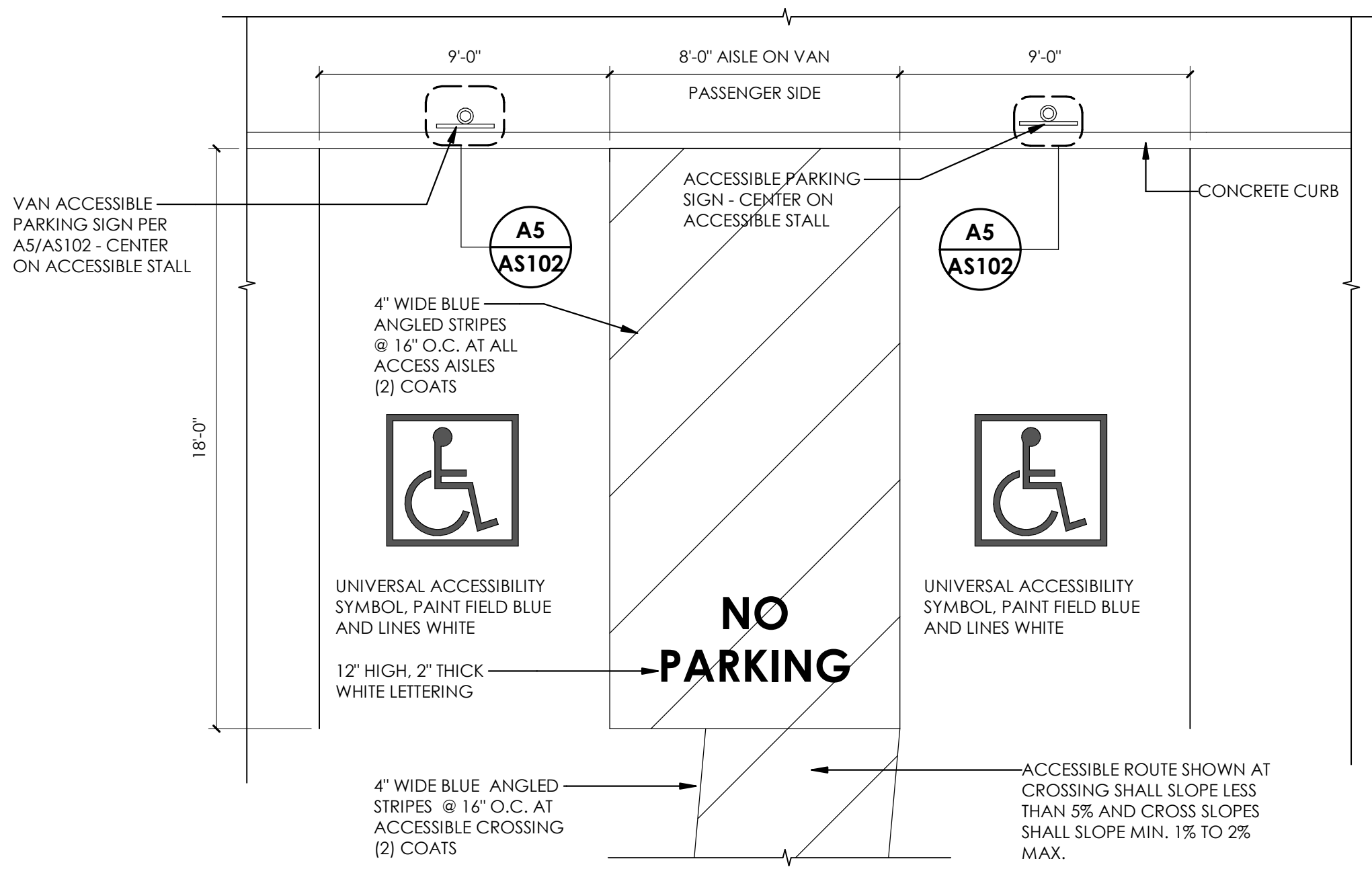
SHEET NUMBER:

**AS102**

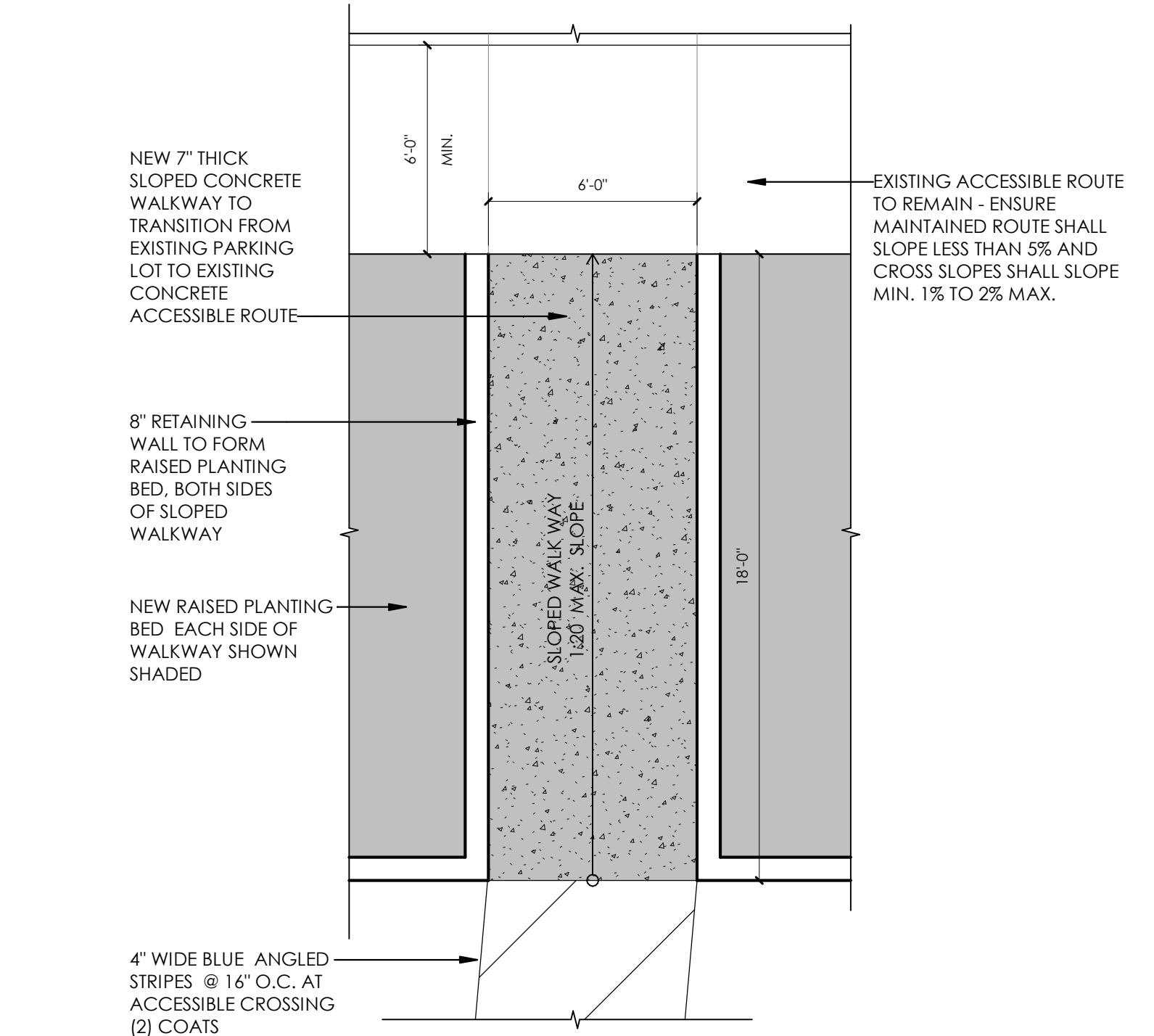
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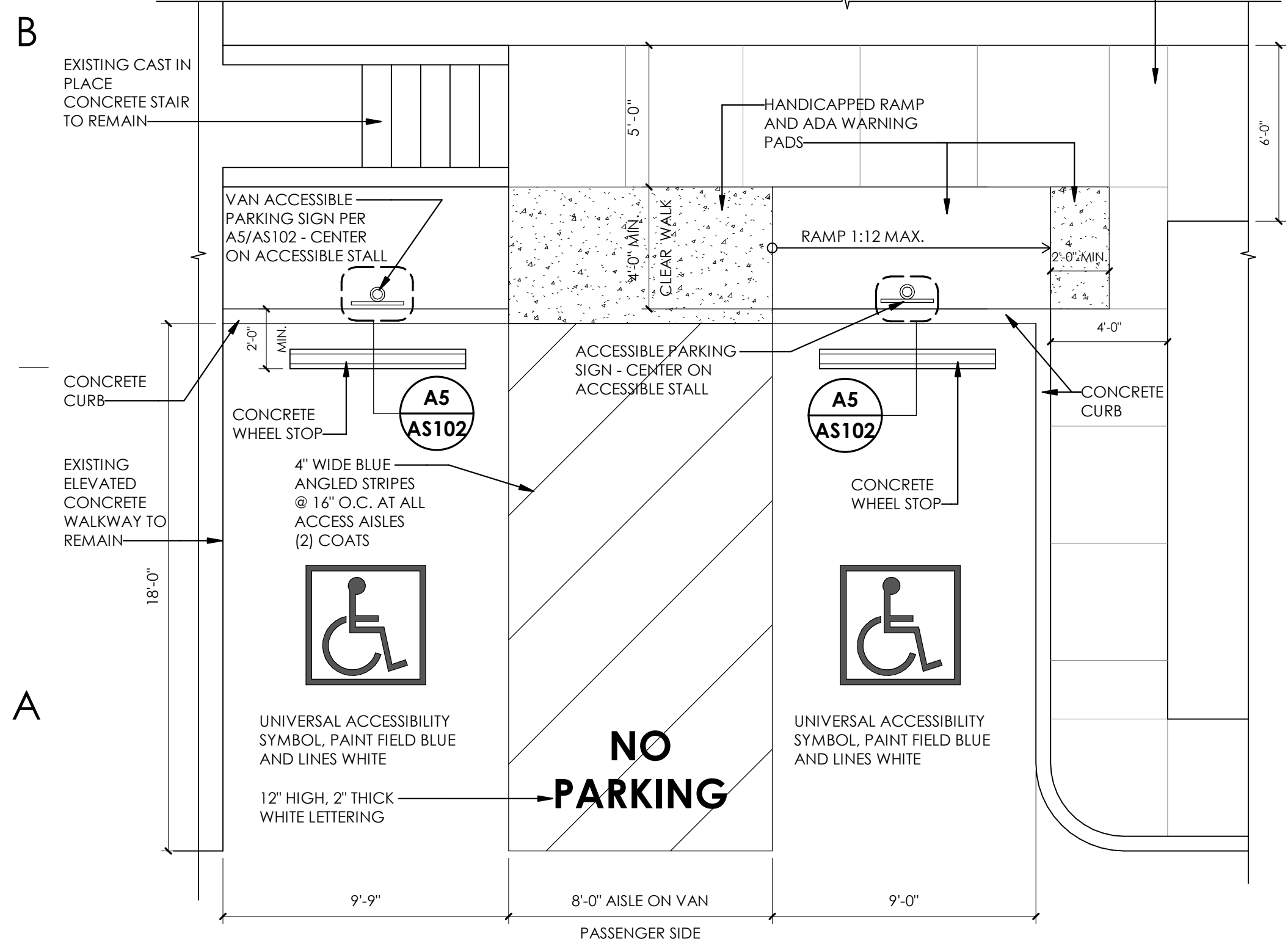
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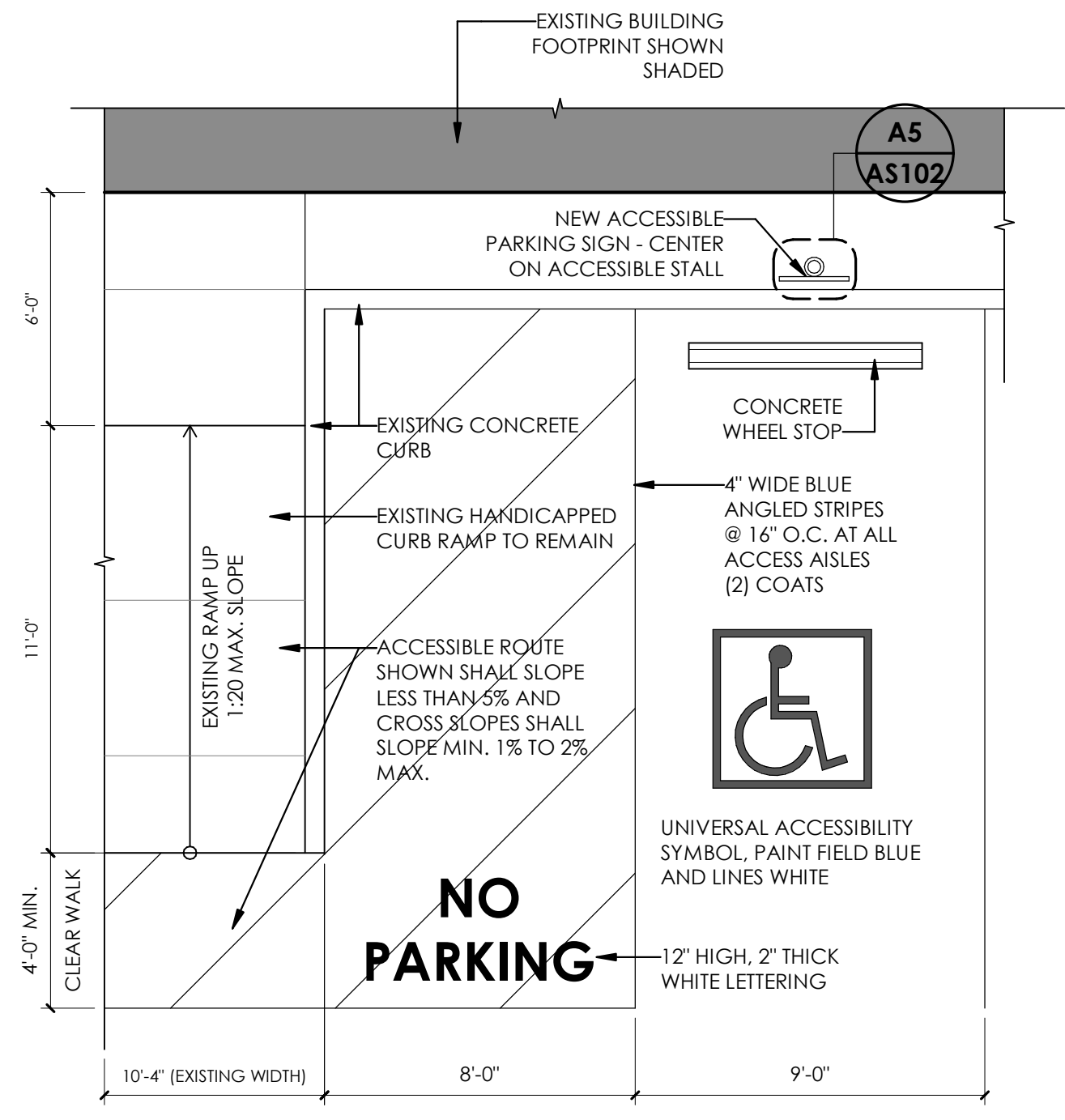
**C1 SITE - ADA PARKING STRIPING W/ STRIPED AISLE CROSSING**  
1/4" = 1'-0"



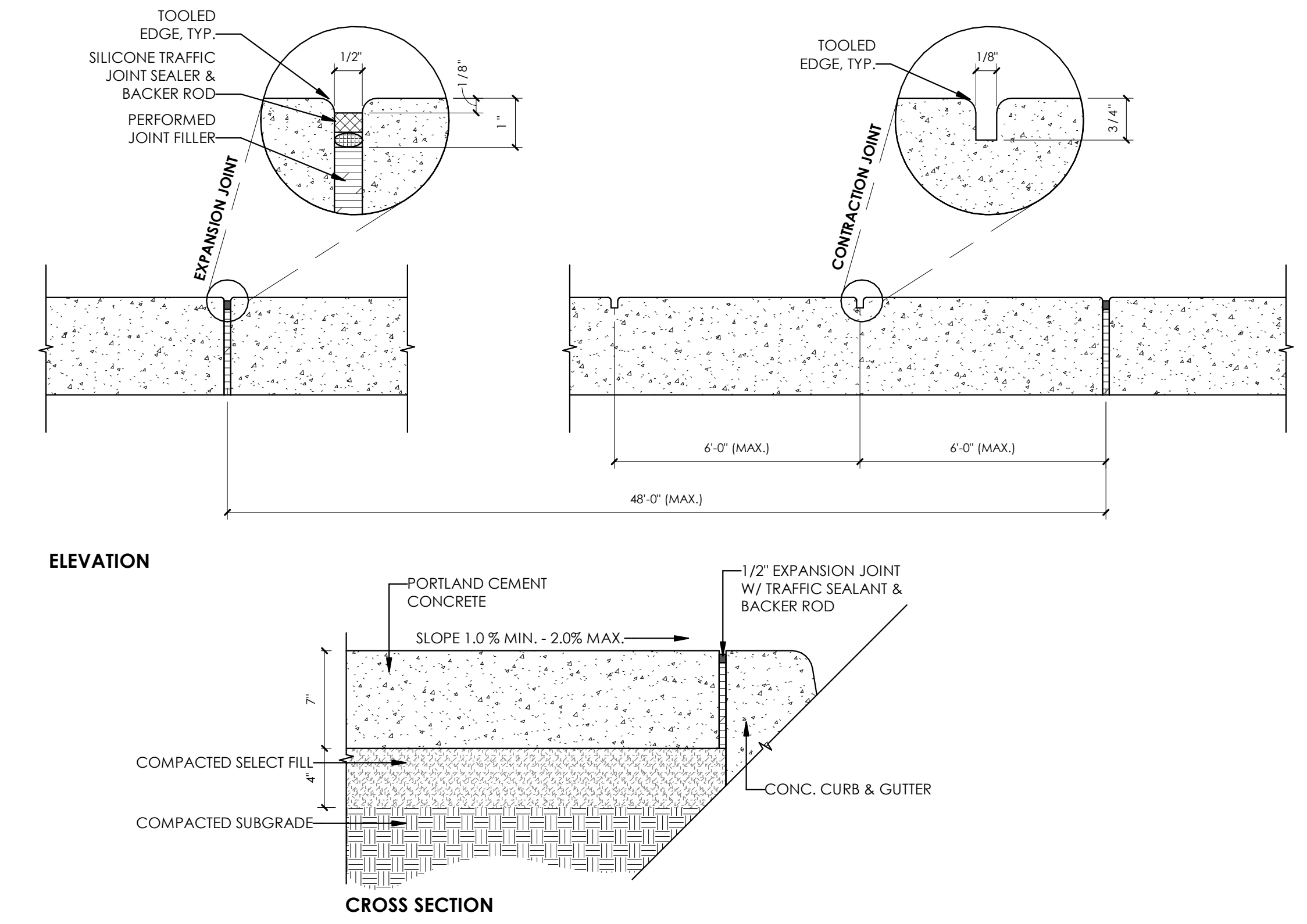
**C3 SITE - SLOPED ACCESSIBLE ROUTE AT NEW RAISED PLANTERS**  
1/4" = 1'-0"



**A1 SITE - ADA CURB RAMP LOCATION 3**  
1/4" = 1'-0"

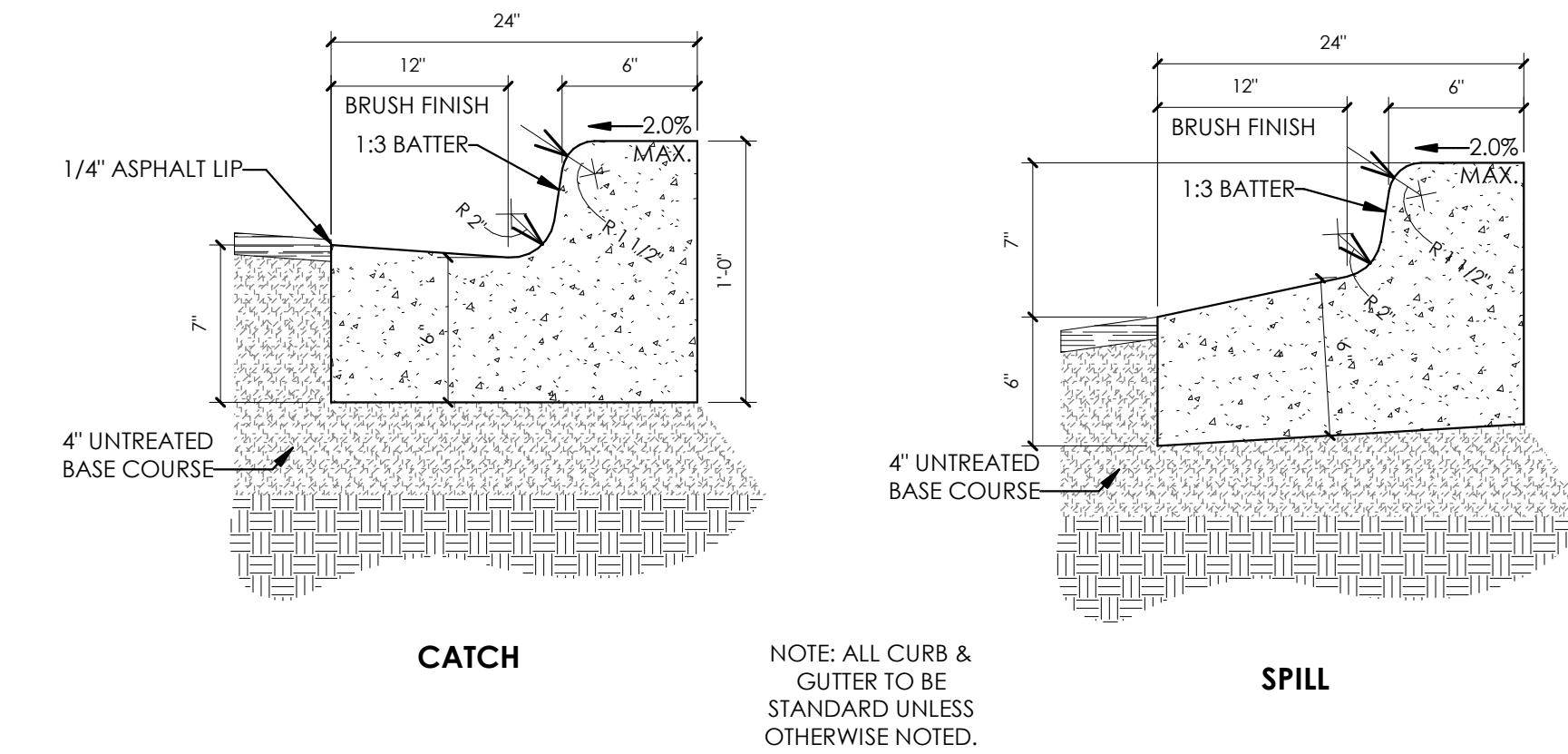


**A3 SITE - ADA CURB RAMP LOCATION 4 - RE-STRIPED @ EXISTING RAMP**  
1/4" = 1'-0"

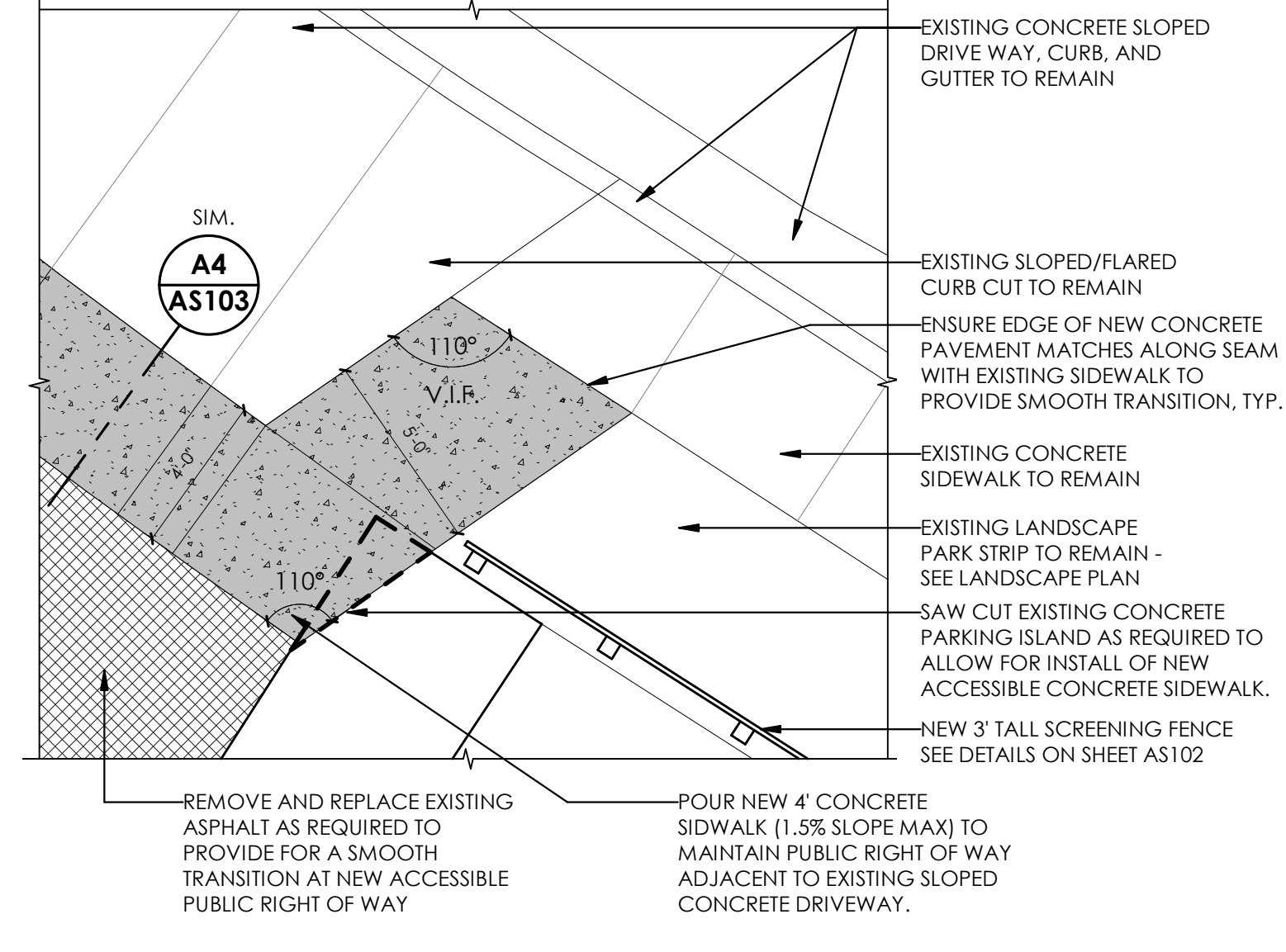


**A4 SITE - TYP. CONCRETE SIDEWALK**  
NOT TO SCALE

**D4 ENLARGED SITE PLAN DETAIL @ EXISTING DRIVEWAY**  
1/4" = 1'-0"



**D4 ENLARGED SITE PLAN DETAIL @ EXISTING DRIVEWAY**  
1/4" = 1'-0"



**D4 ENLARGED SITE PLAN DETAIL @ EXISTING DRIVEWAY**  
1/4" = 1'-0"

ajc architects  
703 east 1700 south  
salt lake city, ut 84105  
ajcarchitects.com



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AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
**RAMADA INN CONVERSION**

25 HOTEL CIRCLE NE  
ALBUQUERQUE, NM 87123

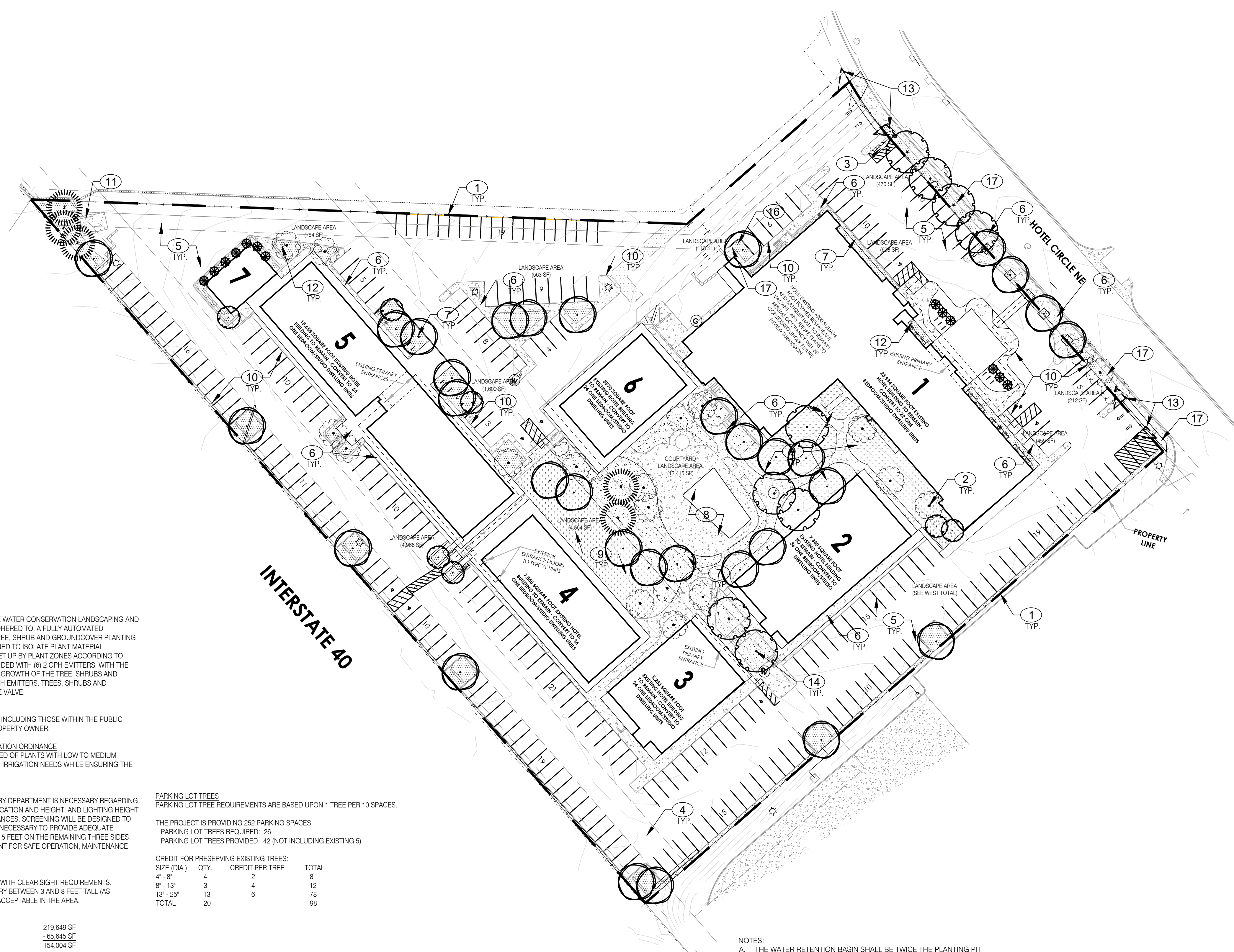
SHEET NAME:  
**SITE DETAILS**

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 3/26/2021  
ISSUE TYPE: DRB SUBMITTAL  
DRAWN BY: AJC  
CHECKED BY: AJC  
PROJECT#: 2020-64

SHEET NUMBER:

**AS103**



**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
<b>TREES</b>				
	(Symbol)	EXISTING TREES TO REMAIN		
7	(Symbol)	CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8 HT. X 4 SPR. 15 HT. X 15' SPR.
9	(Symbol)	GLEDITSIA TRICANTHOS IMPERIAL SKYLINE HONEYLOCUST (M+)	2.5' B&B	8 HT. X 4 SPR. 45 HT. X 35' SPR.
13	(Symbol)	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+)	B&B	6 HT. X 2 SPR. 12 HT. X 5 SPR.
5	(Symbol)	PINUS NIGRA AUSTRIAN PINE (M+)	B&B	8 HT. X 4 SPR. 35 HT. X 25' SPR.
32	(Symbol)	ULMUS PROPINQUA 'SFS-BIEBERICH' EMERALD SUNSHINE ELM (M)	2.5' B&B	8 HT. X 4 SPR. 35 HT. X 25' SPR.
<b>MULCHES AND BOULDERS</b>				
17,485 SF	(Symbol)	1" SANTA FE BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
10,539 SF	(Symbol)	EXISTING TURF TO REMAIN		

- KEY NOTES:**
- PROPERTY BOUNDARY
  - EXISTING TREE TO REMAIN
  - EXISTING MONUMENT SIGN
  - EXISTING UTILITY EASEMENT
  - EXISTING ASPHALT PAVING
  - EXISTING CONCRETE WALK
  - EXISTING LANDSCAPE AREA
  - EXISTING FENCED POOL AND PATIO AREA
  - EXISTING TURF AREA
  - EXISTING CURB AND GUTTER
  - EXISTING DUMPSTER ENCLOSURE
  - EXISTING SHRUB TO REMAIN
  - CLEAR SITE TRIANGLES
  - SHADE TREES 25' O.C. ALONG WALKWAYS ON INTERIOR
  - CONNECTION TO PUBLIC SIDEWALK TBD.
  - NEW TREE ISLAND
  - NEW CONCRETE CURB AND WALK

**GENERAL LANDSCAPE NOTES**

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ACHIEVED TO A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES. SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE AREA COVERAGE**

TOTAL SITE AREA (5.04 AC):	219,649 SF
BUILDING AREA:	- 85,645 SF
NET AREA:	134,004 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA):	23,101 SF
PROVIDED LANDSCAPE AREA	27,121 SF (18%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.

REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	20,368 SF
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	44,859 SF (165%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	5,092 SF
PROVIDED GROUND-LEVEL PLANT COVERAGE	10,875 SF (114%)

**LANDSCAPE TURF**  
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.

ALLOWABLE TURF	2,310 SF
EXISTING TURF (NON CONFORMING SITE FEATURE)	10,539 SF (46%)

**PARKING LOT AREA**  
AT LEAST 10% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES, AND AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

THE PROJECT IS PROVIDING 252 PARKING SPACES.

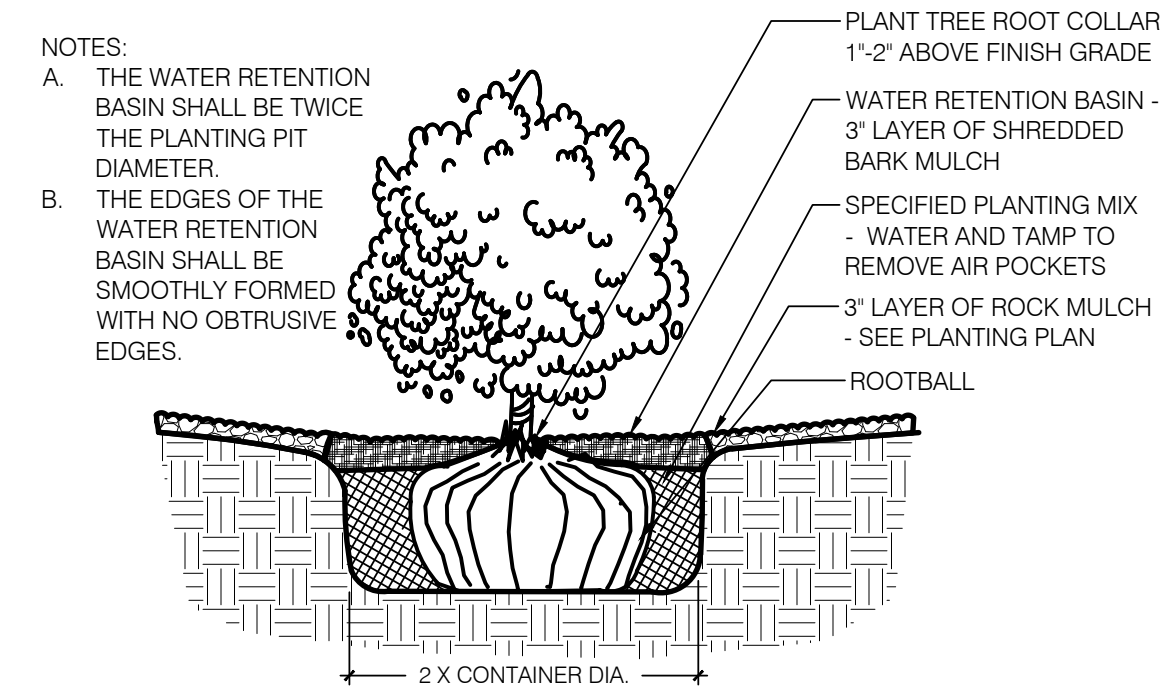
TOTAL PARKING LOT AREA:	107,385 SF
REQUIRED LANDSCAPE AREA:	16,108 SF
PROVIDED LANDSCAPE AREA:	9,103 SF (9%)

**PARKING LOT TREES**  
PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

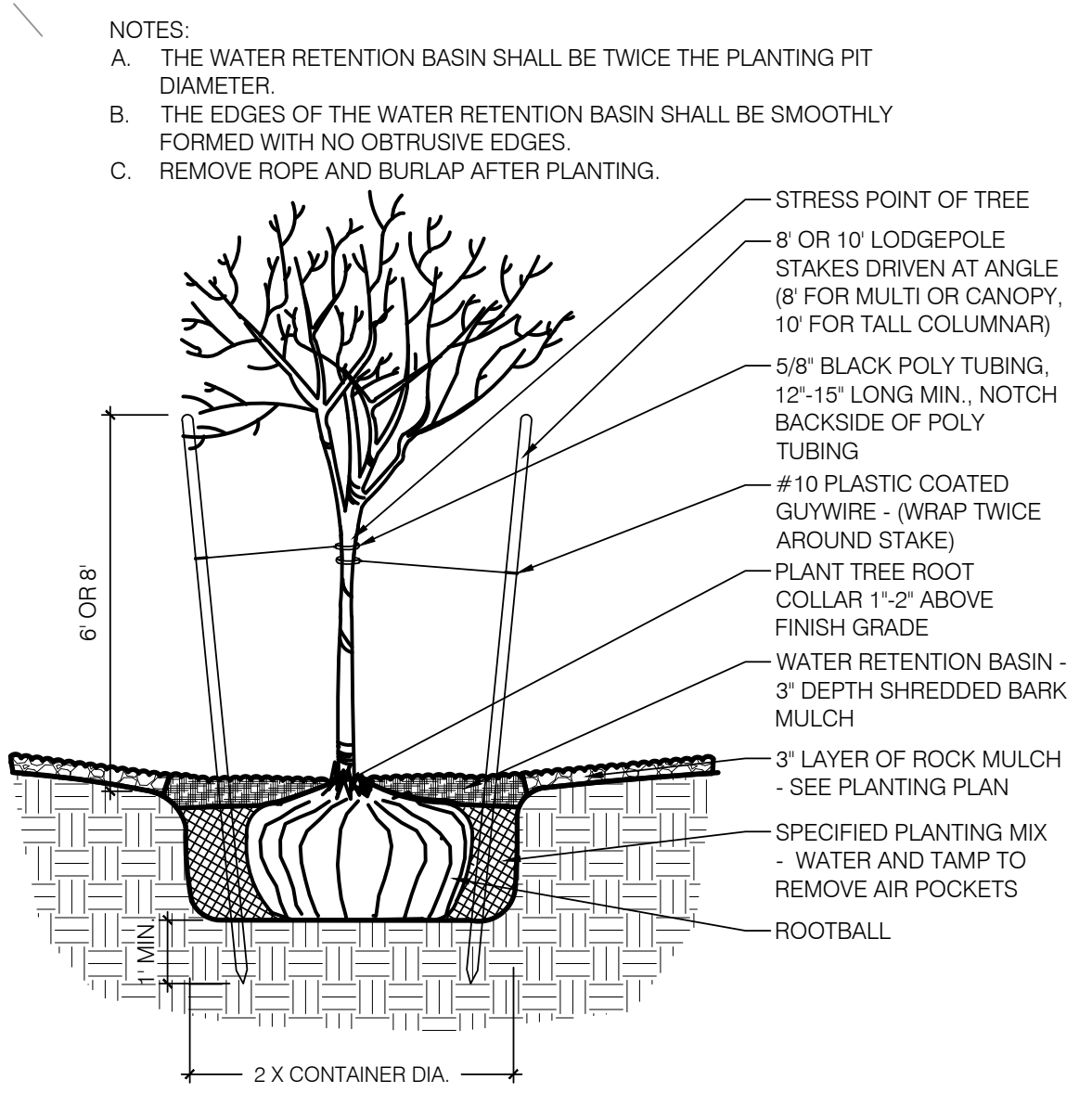
THE PROJECT IS PROVIDING 252 PARKING SPACES.  
PARKING LOT TREES REQUIRED: 26  
PARKING LOT TREES PROVIDED: 42 (NOT INCLUDING EXISTING 5)

**CREDIT FOR PRESERVING EXISTING TREES:**

SIZE (DIA.)	QTY.	CREDIT PER TREE	TOTAL
4" - 8"	4	2	8
8" - 13"	3	4	12
13" - 25"	13	6	78
<b>TOTAL</b>	<b>20</b>		<b>98</b>



**A SHRUB PLANTING DETAIL**  
SCALE: N.T.S.



**B TREE PLANTING DETAIL**  
SCALE: N.T.S.

NOT FOR CONSTRUCTION

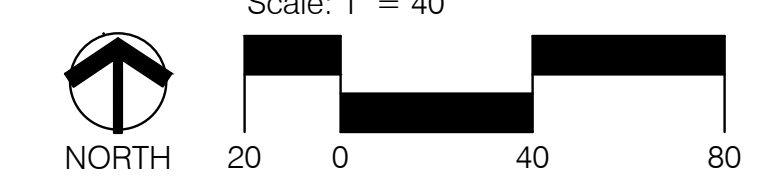
03/26/21

# MCRE MULTI-FAMILY CONVERSION

## LANDSCAPE PLAN

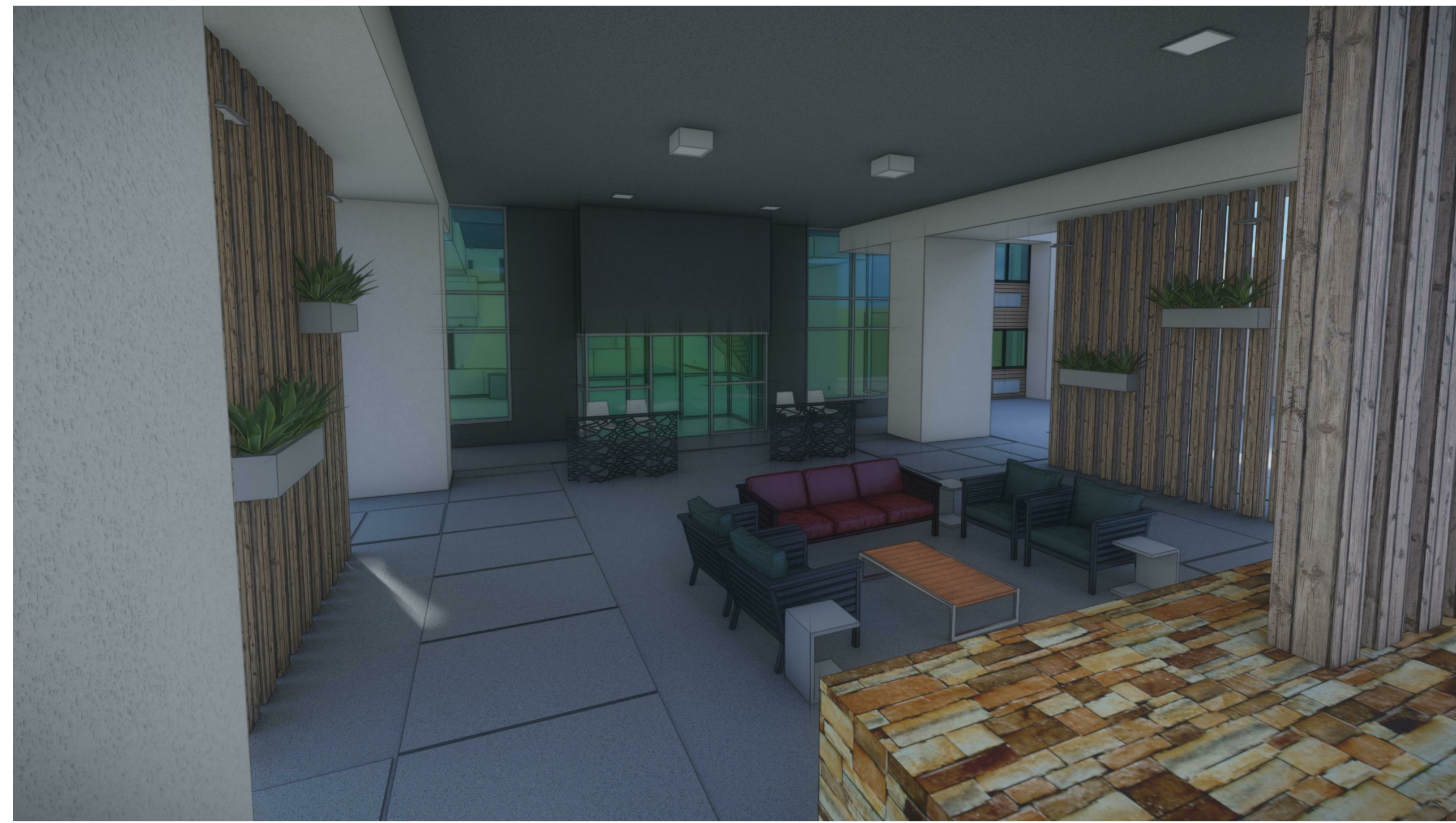
Prepared for:  
Mountain Classic Real Estate.  
461 East 200 South Suite 102, Salt Lake City, UT 84111-2138

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102



3/25/2021 9:45:38 PM \\ajccorps04c1\users\msommer\Documents\2020-64\_ACRE\_A&Q\_Building 1\_v20\_msommer\BMDr.rvt  
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM AJC ARCHITECTS, P.C. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. REPRODUCTION OF THESE DRAWINGS WITHOUT PERMISSION IS STRICTLY PROHIBITED. ANY VIOLATION OF THESE TERMS SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

1 2 3 4 5



ajc architects  
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN  
 CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:

**BUILDING 1  
 RENDERINGS**

REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE: 3/26/2021  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

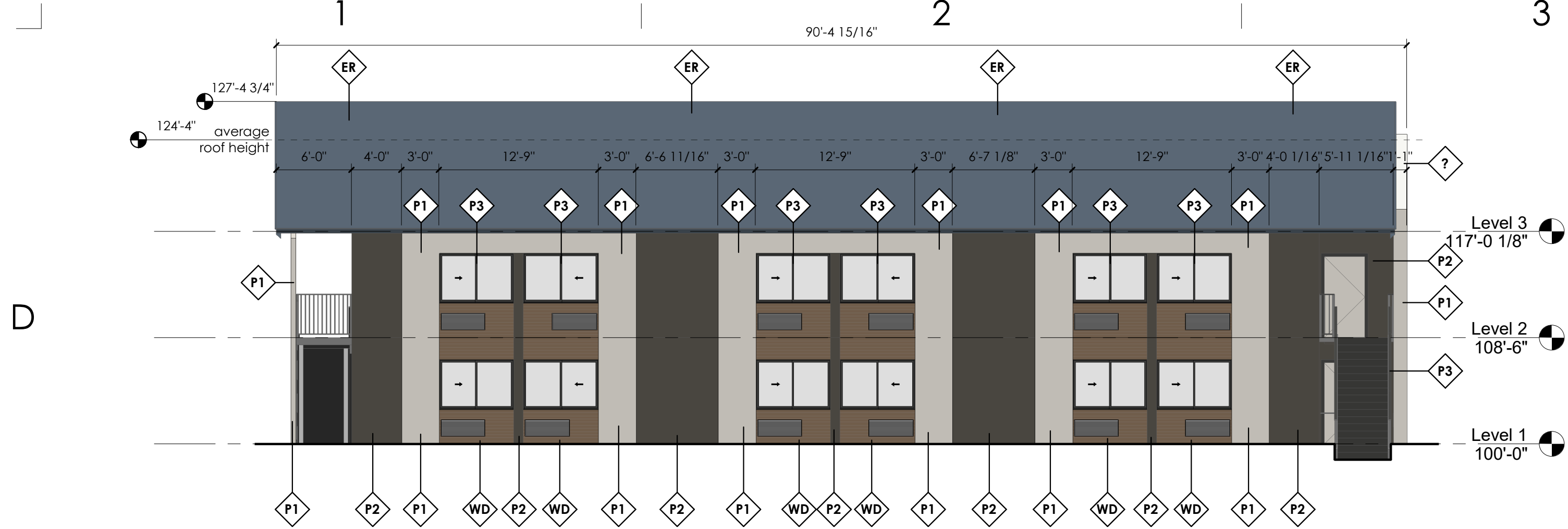
**AE001**

1 2 3 4 5





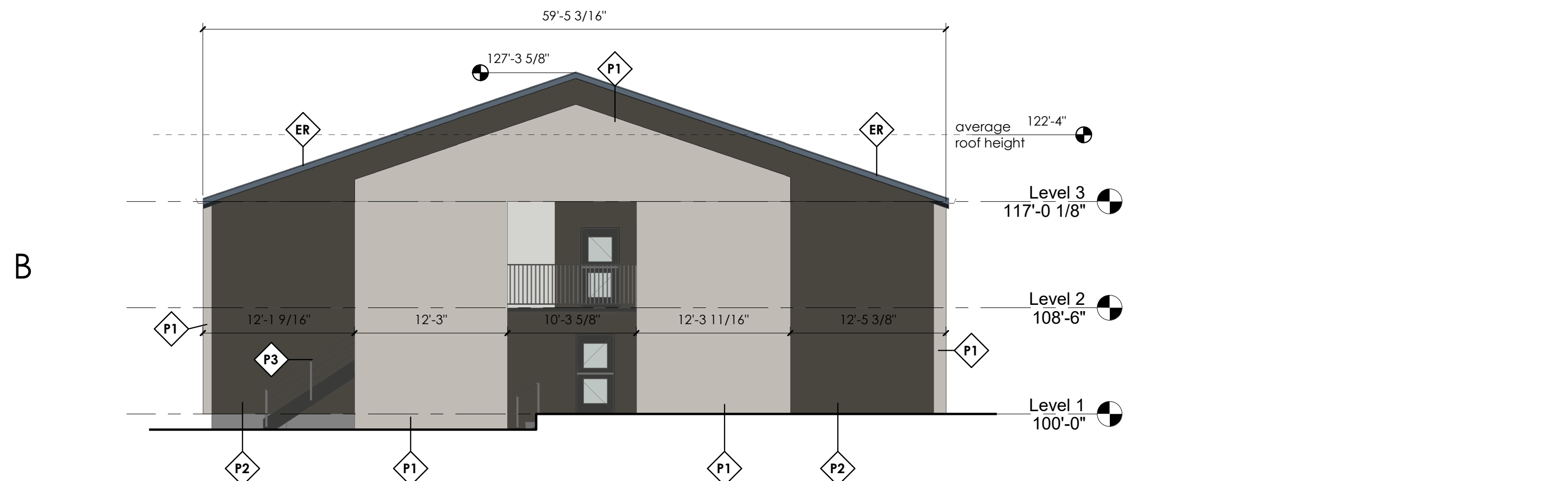
3/25/2021 5:49:16 PM \\ajccorps04c1\users\msommer\Documents\2020-64\MCRE ABQ Building 3 v20.msommer\BMDR.rvt  
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS. THIS DOCUMENT IS THE PROPERTY OF AJC ARCHITECTS. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. WARNING: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER U.S.C. SEC. 506. UNAUTHORIZED REPRODUCTION IS PROHIBITED. ANY COPIES OF THIS DOCUMENT ARE UNLAWFUL AND VOID.



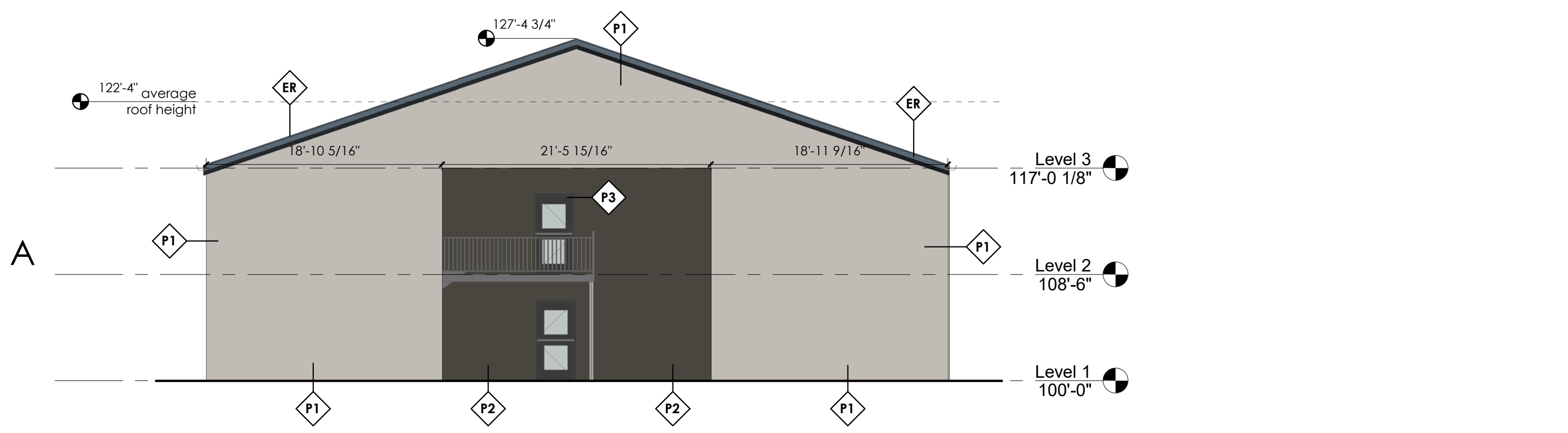
**D1 BUILDING 3 - ELEVATION - WEST**  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"



**C1 BUILDING 3 - ELEVATION EAST**  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"



**B1 BUILDING 3 - ELEVATION - SOUTH**  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"



**A1 BUILDING 3 - ELEVATION - NORTH**  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

DO NOT SCALE DRAWINGS.  
 CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.  
 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

**ELEVATION FINISHES**

NEW STUCCO FINISH - PAINTED	P1
NEW STUCCO FINISH - PAINTED	P2
NEW STUCCO/TRIM FINISH - PAINTED	P3
NEW HORIZONTAL LAP SIDING	WD
STONE VENEER CLADDING	
EXISTING ROOF	ER

**KEYED NOTES:**

**ajc architects**  
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN  
 CONVERSION**

25 HOTEL CIR NE  
 ALBUQUERQUE, NM 87123

SHEET NAME:

**BUILDING 3  
 ELEVATIONS**

REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE: 3/26/2021  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

SHEET NUMBER:

**AE201.3**

3/25/2021 5:57:58 PM \\ajccorps04c1\users\msommer\Documents\2020-64\MCRE ABQ Building 4.v20.msommer\BMDR.rvt  
 ALL DIMENSIONS, MATERIALS, FINISHES, AND CONDITIONS ARE TO BE CHECKED BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS TO VERIFY THAT THE CONTRACTOR HAS PROVIDED ALL NECESSARY INFORMATION AND TO REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS NOT TO VERIFY THE ACCURACY OF THE CONTRACTOR'S INFORMATION. THE ARCHITECT'S RESPONSIBILITY IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS NOT TO VERIFY THE ACCURACY OF THE CONTRACTOR'S INFORMATION. THE ARCHITECT'S RESPONSIBILITY IS TO REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS NOT TO VERIFY THE ACCURACY OF THE CONTRACTOR'S INFORMATION.

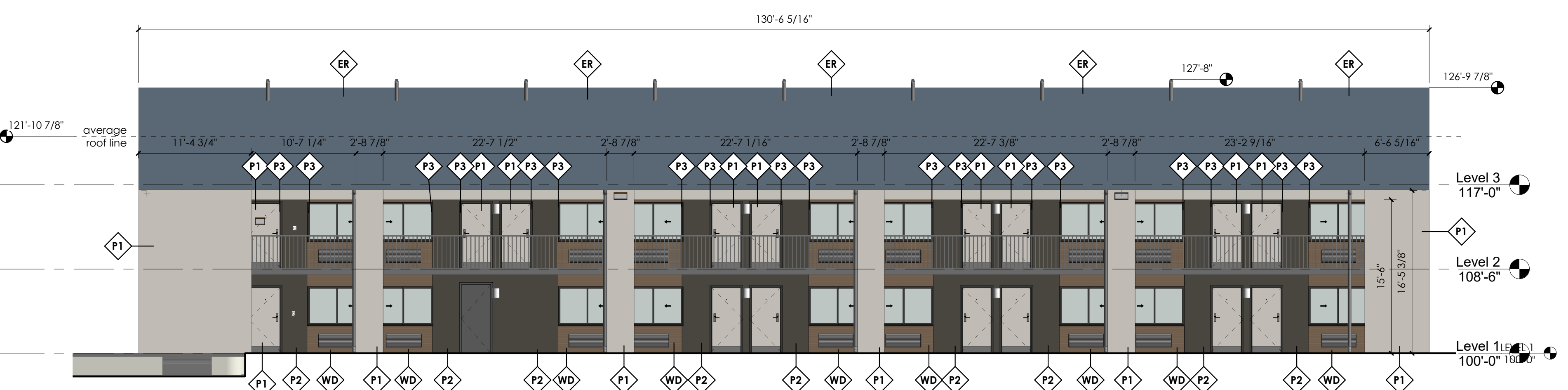
D

C



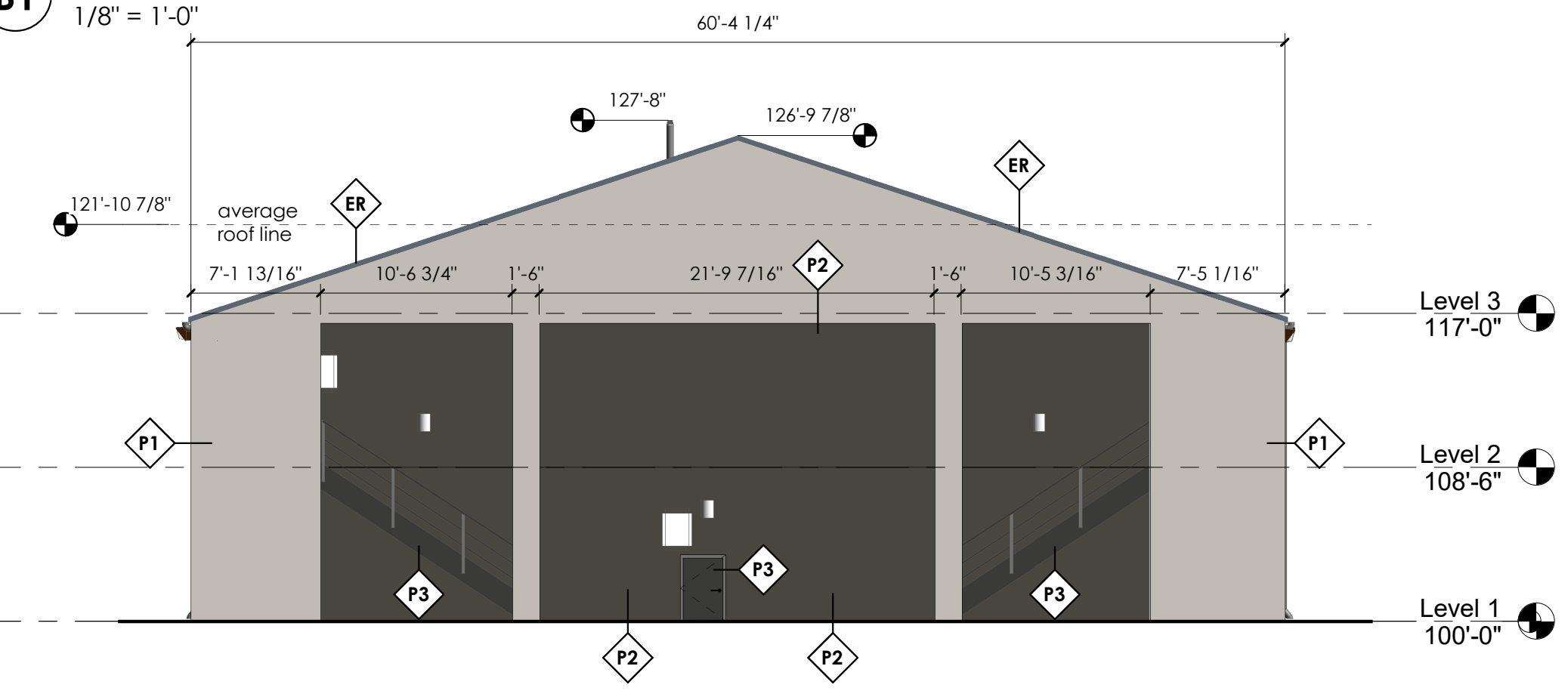
**C1 BUILDING 4 - ELEVATION - NORTH**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

B

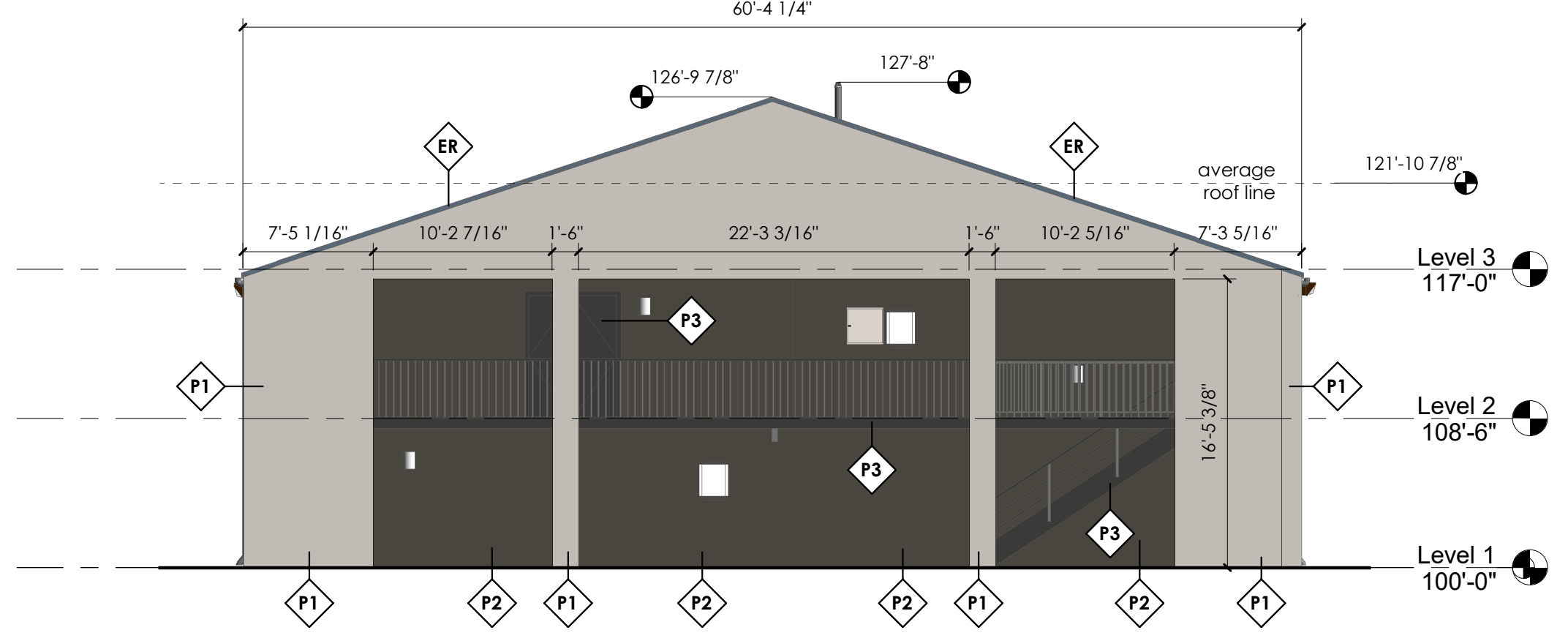


**B1 BUILDING 4 - ELEVATION - SOUTH**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

A



**A1 BUILDING 4 - ELEVATION - EAST**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"



**A3 BUILDING 4 - ELEVATION - WEST**  
 1/8" = 1'-0" SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

DO NOT SCALE DRAWINGS.  
 CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.  
 ALL MECHANICAL EQUIPMENT VISIBLE FROM PUBLIC SIDEWALK TO BE SCREENED

**ELEVATION FINISHES**

NEW STUCCO FINISH - PAINTED	P1
NEW STUCCO FINISH - PAINTED	P2
NEW STUCCO/TRIM FINISH - PAINTED	P3
HORIZONTAL LAP SIDING	WD
STONE VENEER CLADDING	ST
EXISTING ROOF	ER

**KEYED NOTES:**

ajc architects

703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN  
 CONVERSION**

ENTER PROJECT  
 ADDRESS  
 HERE

SHEET NAME:

**BUILDING 4  
 ELEVATIONS**

REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE: 3/26/2021  
 ISSUE TYPE: DRB SUBMITTAL  
 DRAWN BY: ZS/LT  
 CHECKED BY: K. RIGBY  
 PROJECT#: 2020-64

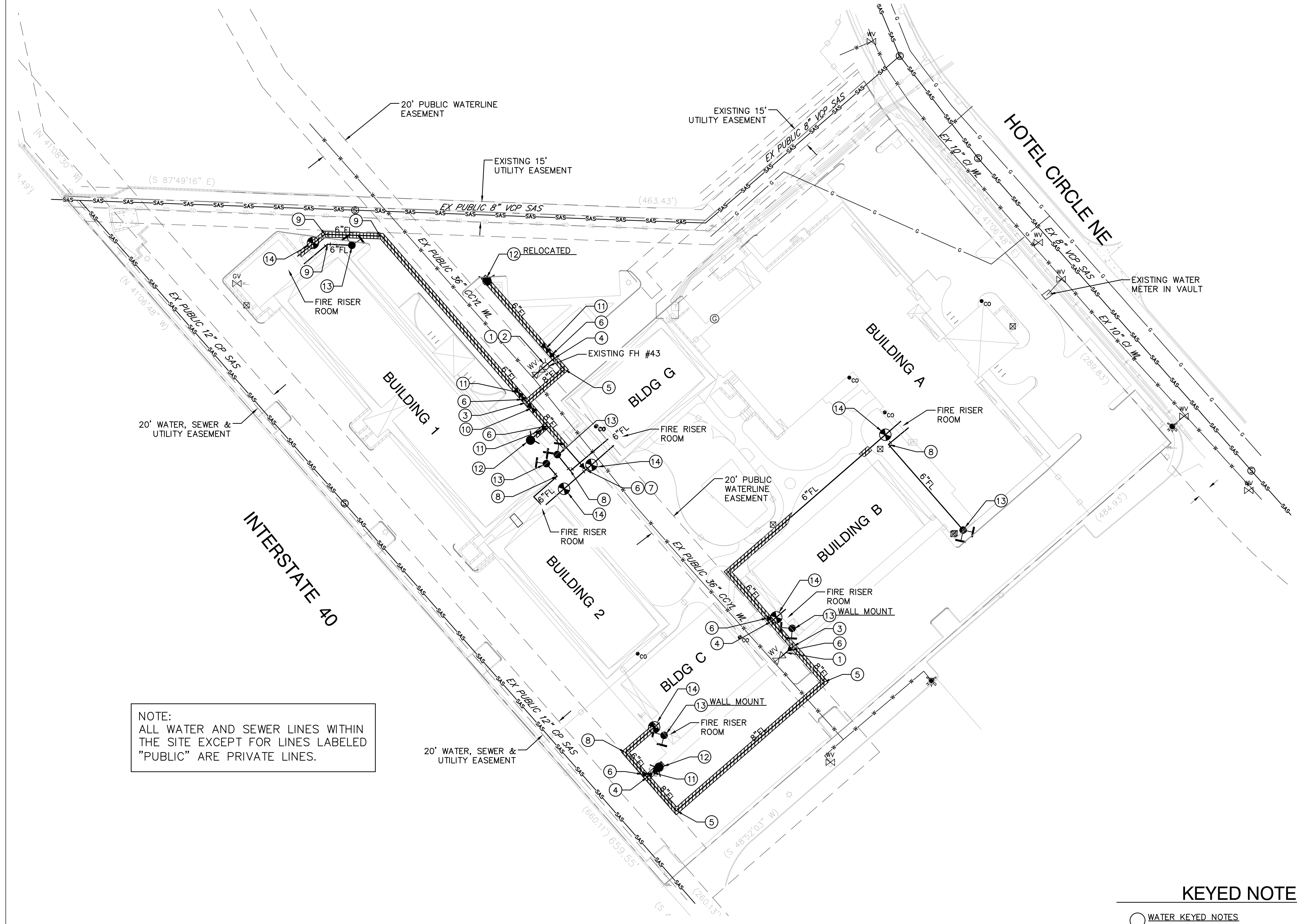
SHEET NUMBER:

**AE201.4**









NOTE:  
ALL WATER AND SEWER LINES WITHIN THE SITE EXCEPT FOR LINES LABELED "PUBLIC" ARE PRIVATE LINES.

### GENERAL NOTES

- SEE SHEET C-100 FOR ALL CIVIL GENERAL NOTES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

### RESTRAINED JOINT CRITERIA

#### FOR WATERLINE FITTINGS

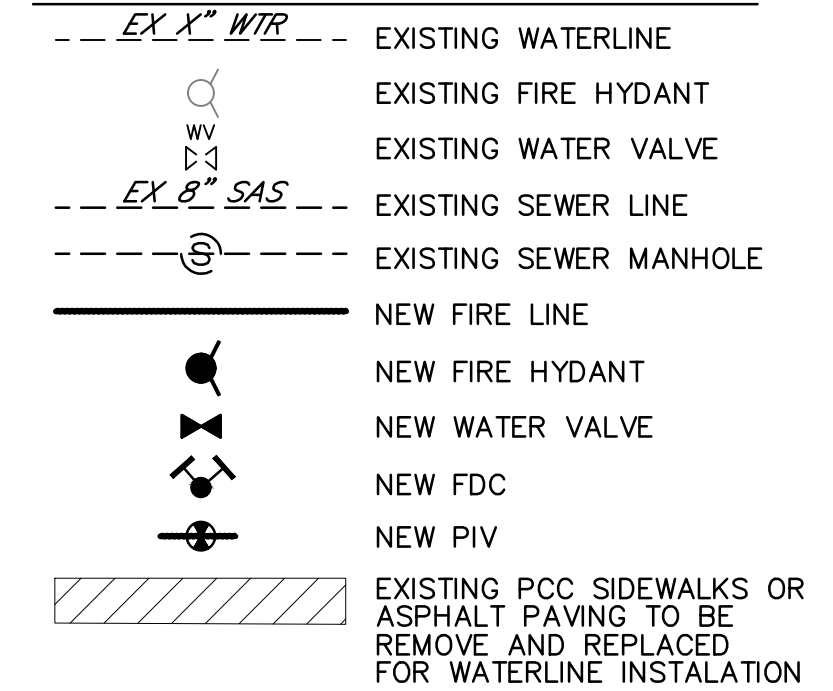
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.50  
 MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.

TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

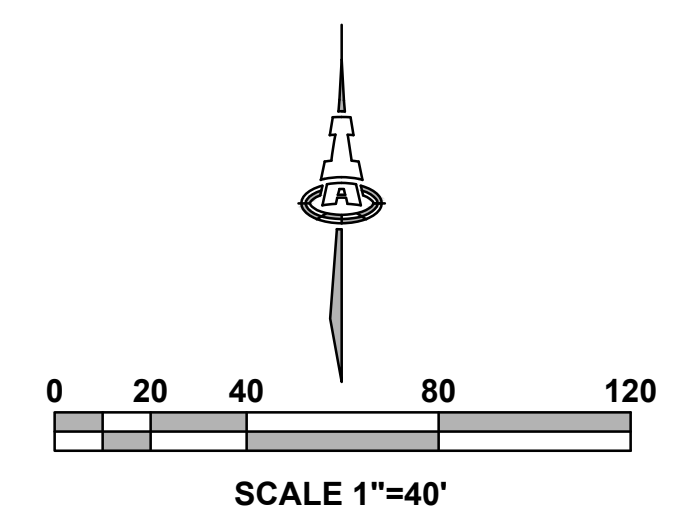
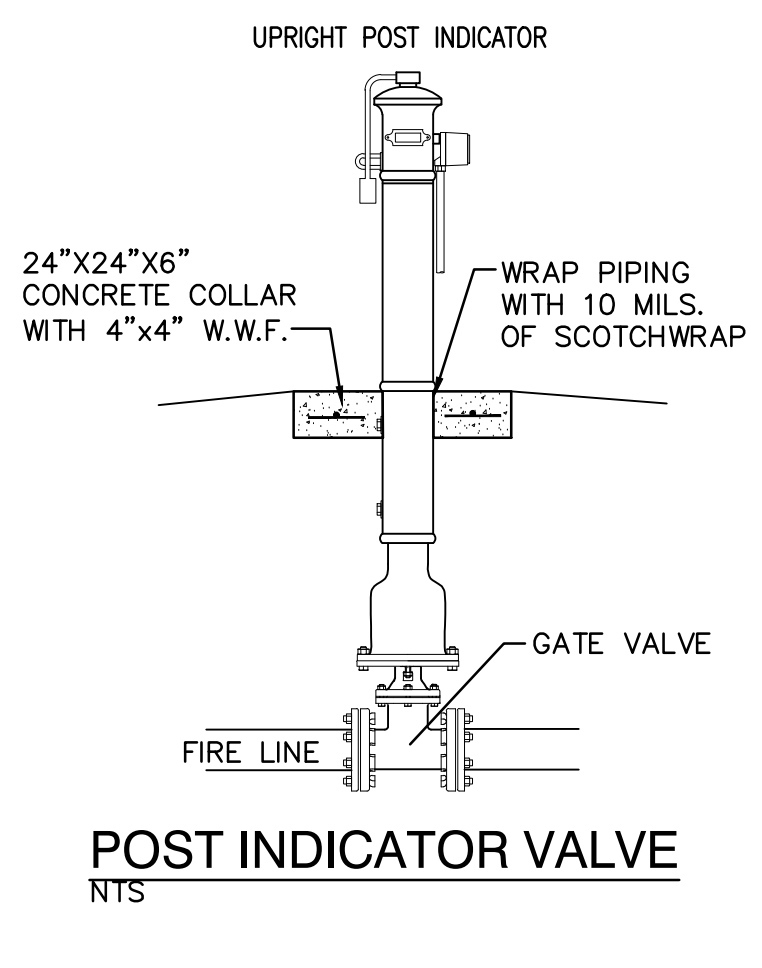
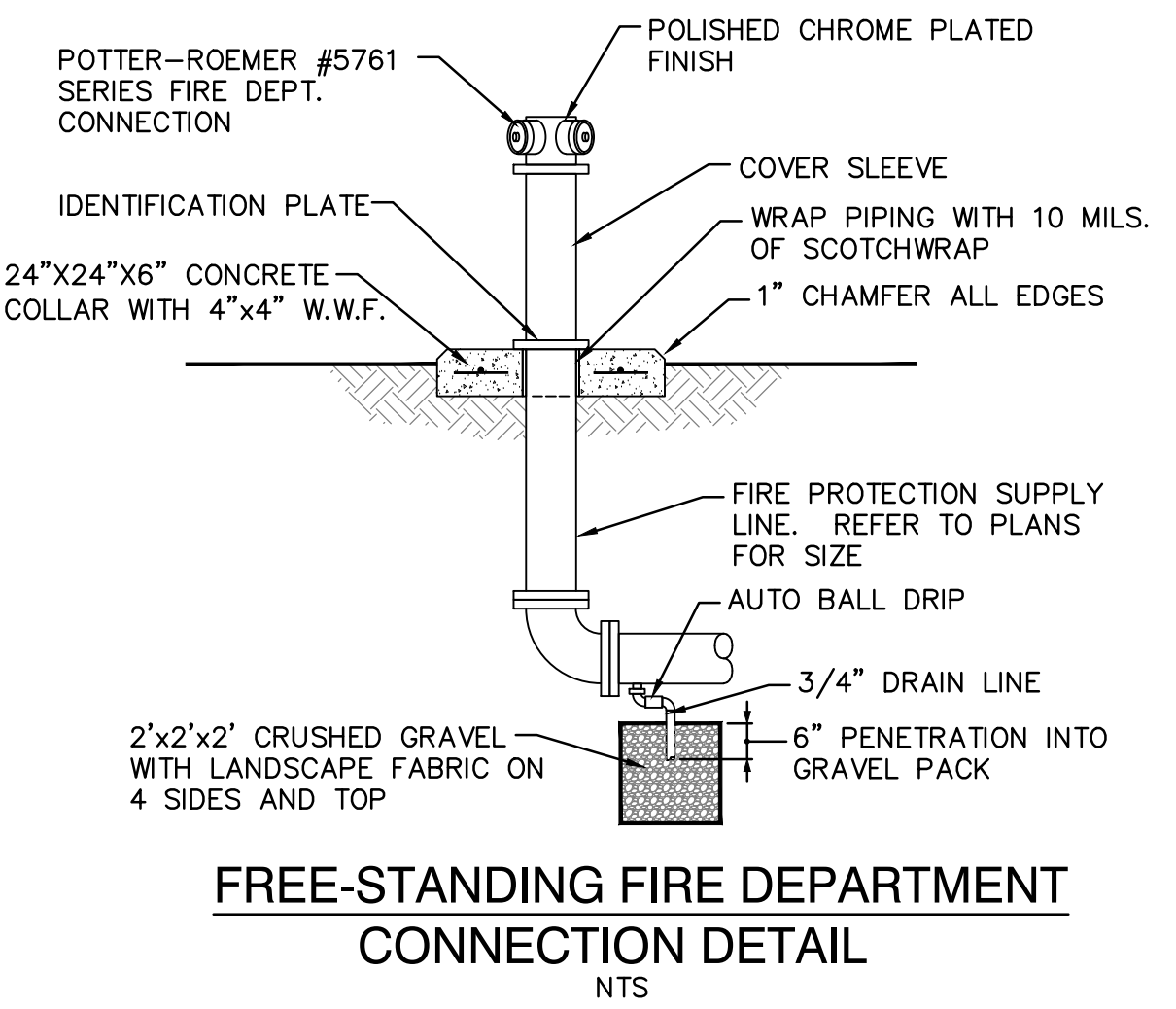
DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

### LEGEND



### KEYED NOTES

- WATER KEYED NOTES**
- CONNECT NEW 6" WATERLINES TO EXISTING 6" WATER STUBS PER ABCWUA STD DWG 2301.
  - REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
  - 8" TEE.
  - 8"x6" TEE.
  - 8" 90° BEND. (LT=27°)
  - 8"x6" REDUCER.
  - 6" TEE.
  - 6" 90° BEND. (LT=20°)
  - 6" 45° BEND. (LT=9°)
  - 8" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=60°)
  - 6" GATE VALVE W/ BOX. PER ABCWUA STD DWG 2326 & 2329. (LT=46°)
  - FIRE HYDRANT PER ABCWUA STD DWG 2340. PAINTED SAFETY ORANGE.
  - FDC (FIRE DEPARTMENT CONNECTION).
  - PIV (POST INDICATOR VALVE).



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NOT FOR CONSTRUCTION

Engineer  
**RAMADA INN CONVERSION**  
 25 HOTEL CIRCLE NE  
 ALBUQUERQUE, NM 87123

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER:	IA 2409
FILE:	
DRAWN BY:	DEC
CHECKED BY:	FCA
DATE:	02/19/2021

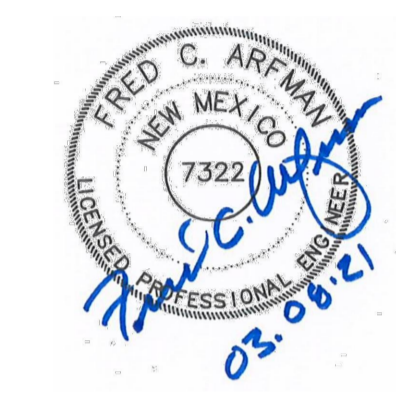
No.	Date	Description

SHEET TITLE  
**SITE UTILITY PLAN**  
 SHEET NUMBER  
**CU-101**



703 east 1700 south  
salt lake city, ut 84105  
ajcarchitects.com

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AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION

**RAMADA INN  
CONVERSION**

**25 HOTEL CIRCLE NE  
ALBUQUERQUE, NM 87123**

SHEET NAME:

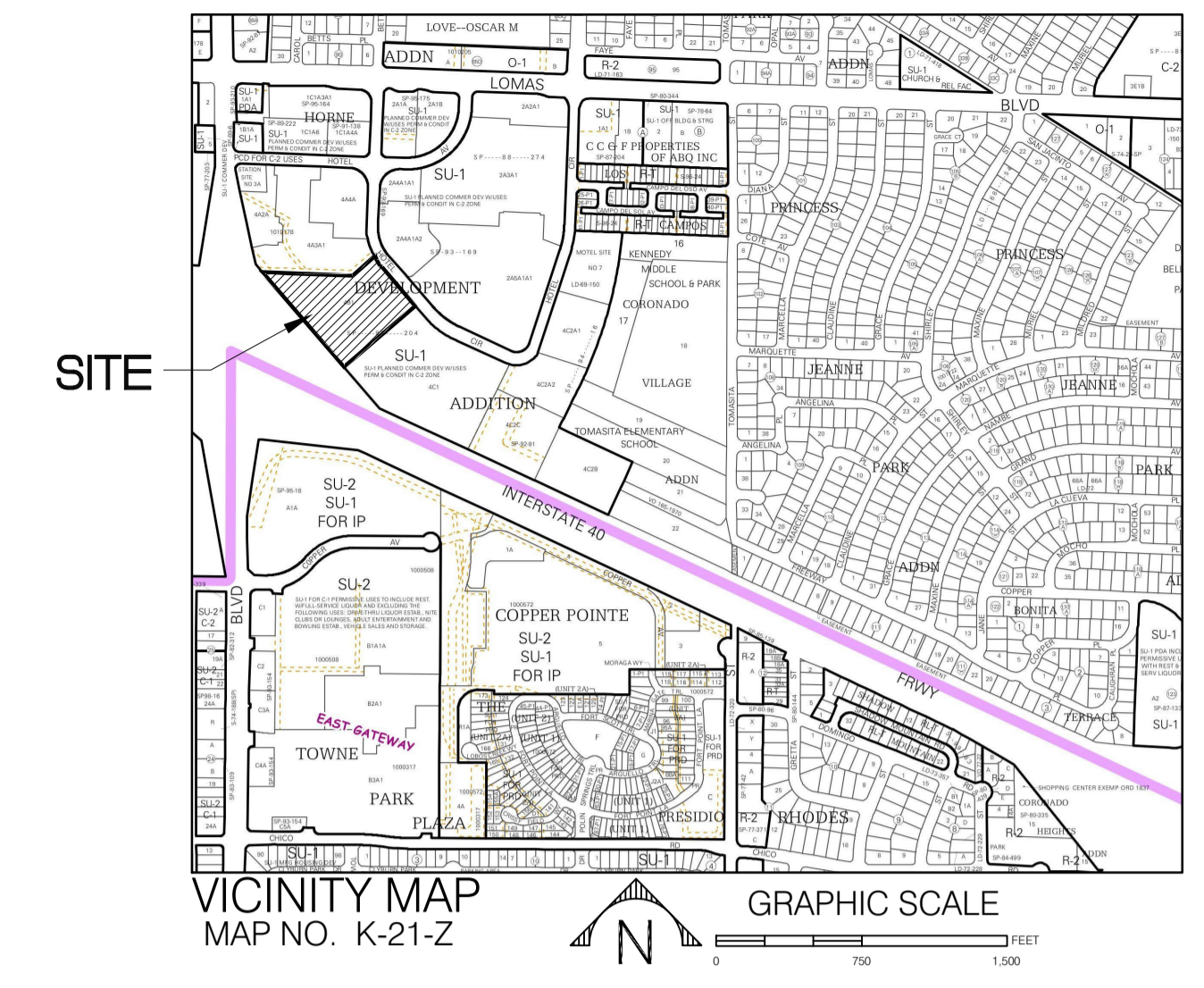
**FIRE HYDRANT  
LOCATION  
AND  
ACCESS  
PLAN**

REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 1/14/2021  
ISSUE TYPE: DRB SUBMITTAL  
DRAWN BY: -  
CHECKED BY: -  
PROJECT#: 2020-64

SHEET NUMBER:

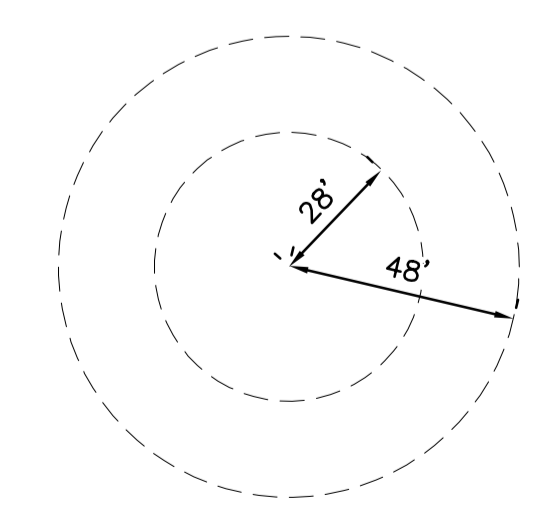
**FIRE1**



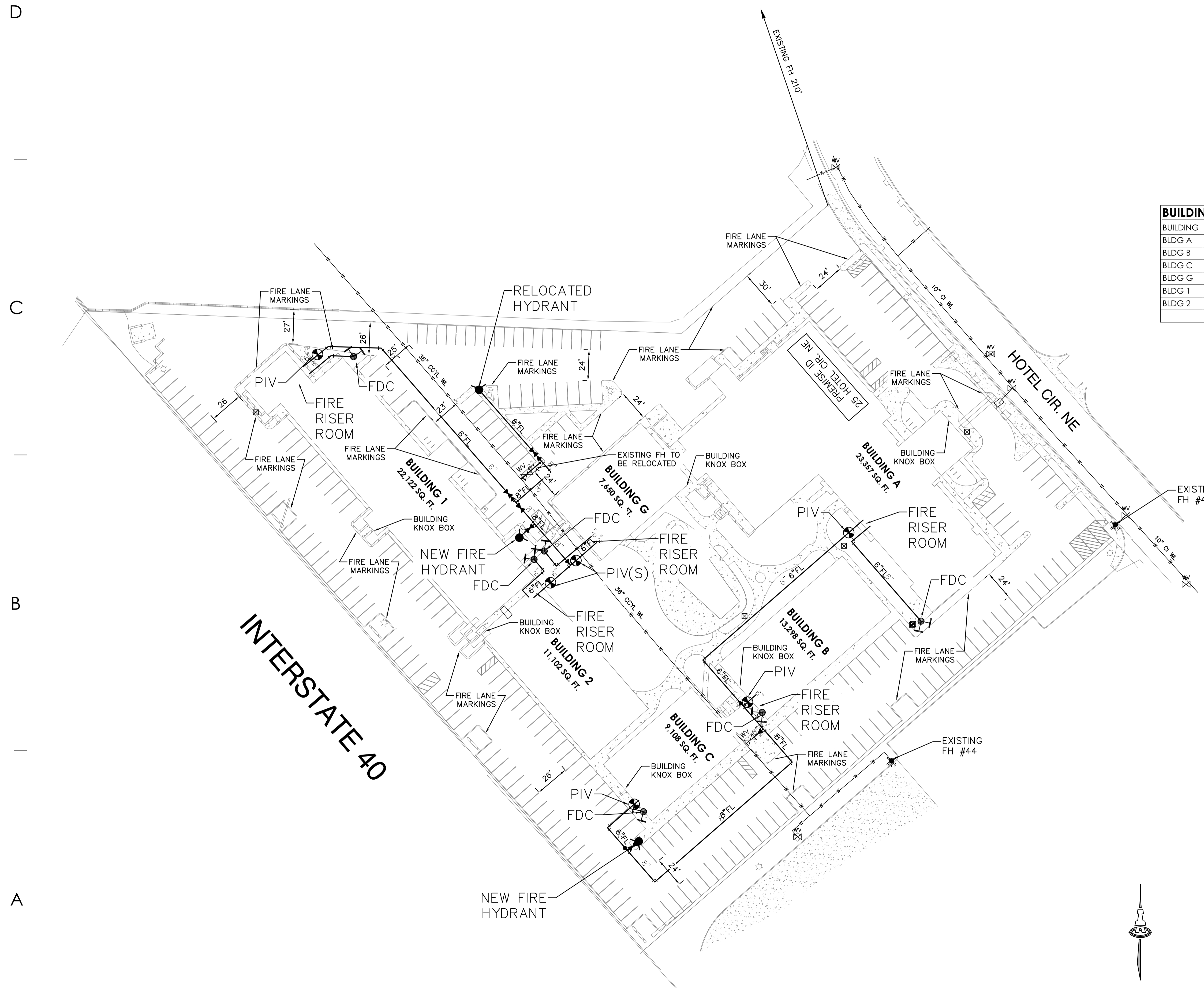
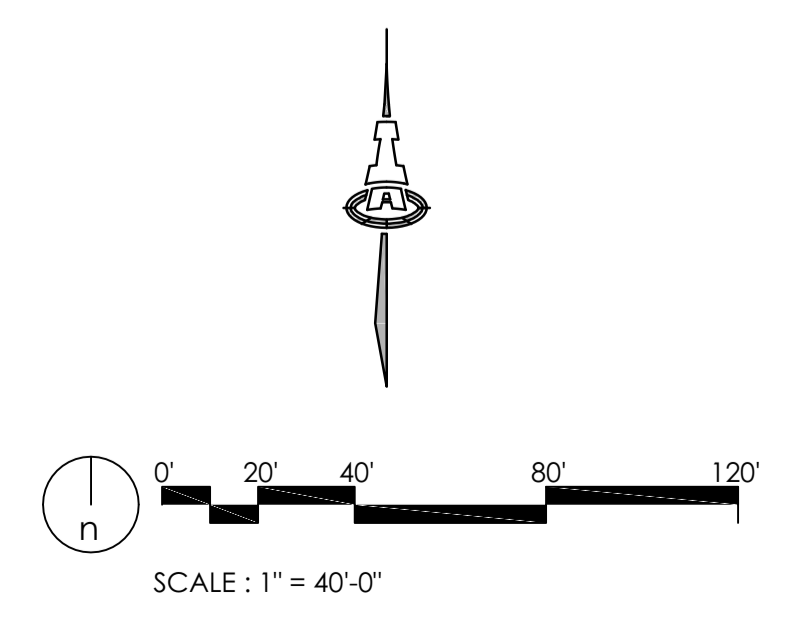
BUILDING DATA					
BUILDING	TYPE	HEIGHT	SQR. FT.	USE	
BLDG A	TYPE V-B	2-STORY   27'-8"	29,357 SF	APARTMENT COMPLEX AND RESTAURANT	
BLDG B	TYPE V-B	2-STORY   27'-2"	13,298 SF	APARTMENT COMPLEX	
BLDG C	TYPE V-B	2-STORY   27'-6"	9,108 SF	APARTMENT COMPLEX	
BLDG G	TYPE V-B	2-STORY   27'-0"	7,650 SF	APARTMENT COMPLEX	
BLDG 1	TYPE V-B	2-STORY   26'-8"	22,122 SF	APARTMENT COMPLEX	
BLDG 2	TYPE V-B	2-STORY   26'-8"	11,102 SF	APARTMENT COMPLEX	
TOTAL			92,637 SF		

**FIRE ONE NOTES**

1. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED.
2. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
3. THE MINIMUM DRIVE AISLE WIDTH SHALL BE 24' UNLESS OTHERWISE SPECIFIED.
4. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
5. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
6. FIRE DEPARTMENT CONNECTION'S (FDC) SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
7. POST INDICATOR VALVES (PIV) SHALL BE PROVIDED PER NFPA 13.
8. ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAINS SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON PLANS.
9. A KNOX BOX SHALL BE PROVIDED AT THE ENTRANCE OF EACH PROPOSED GATE LOCATION (IF APPLICABLE).
10. WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWINGS SHALL BE ON SITE FOR INSPECTION.
11. FIRE FLOWS:  
29,357 SQ FT / TYPE VB = 29,357 SQ FT = 4,750 GPM  
4750/2 (SPRINKLERED) = 2375 GPM = 3 FIRE HYDRANTS
12. 5 EXISTING FIRE HYDRANTS ON OR NEAR SITE.



FIRE APPARATUS TURNING RADIUS  
1" = 40'



**A1 FIRE ONE PLAN**  
1" = 40'-0"

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: 5-Mar-21

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: SI-2020-001468

DRB Application No.: PR-2020-004820

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**MCRE Multi-family Conversion**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Tract 4-B-1, Horne Development Addition**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		4'	ADA Accessible Way	Hotel Circle	SE Entrance		/	/	/
		24'	PCC Drivepad Modifications (reduction from 39' wide drvpd.)	Hotel Circle	NW Entrance		/	/	/
		6"	Public FH to Prv't Fire Line	Interior Site - 6" WL leg off of 36" WL	Exist FH Location		/	/	/
		6"	Add Public Valve to Exist 6" Stub	Interior Site - 6" WL stub off of 36" WL	Exist. 6" stub - NE		/	/	/
		4"	Re-striping for a 150 feet storage length plus transition length	Hotel Circle/Morris	Lomas Stop Bar	200'± South	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.


Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
							/	/	/	
<input type="text"/>	<input type="text"/>									
<input type="text"/>	<input type="text"/>									
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature	Date	City User Dept. Signature	Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_

**AGENT / OWNER**

**Fred C. Arfman, PE**  
NAME (print)  
**ISAACSON & ARFMAN, INC.**  
FIRM  
 3/5/2021  
SIGNATURE - date

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

DRB CHAIR - date  
PARKS & RECREATION - date  
TRANSPORTATION DEVELOPMENT - date  
AMAFCA - date  
UTILITY DEVELOPMENT - date  
CODE ENFORCEMENT - date  
CITY ENGINEER - date  
\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER