



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<b>Appeals</b>		
<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)		

**APPLICATION INFORMATION**

Applicant: Jason Daskalos	Phone: 505-228-245
Address: 5319 Marquis Blvd NE	Email: Katrina.Sigala@gmail.com
City: Albuquerque	State: NM
Professional/Agent (if any):	Zip: 87111
Address:	Phone:
City:	State:
Proprietary Interest in Site:	Zip:
	List all owners:

**BRIEF DESCRIPTION OF REQUEST**

Making a permanent cover for 2nd floor Deck

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: 28-A	Block: 21	Unit: A North
Subdivision/Addition: N. Alm Acres	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): D19	Existing Zoning:	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 5319 Marquis Blvd NE Between: Wyoming and: Paseo Del Norte

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

Signature: Jason Daskalos Date: 12/7/20

Printed Name: Jason Daskalos  Applicant or  Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-01430	AA				

Meeting/Hearing Date: Fee Total:

Staff Signature: Date: Project # PR-2020-004825

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

*Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.*


**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

*Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.*

**ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
  - Sign Posting Agreement

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <u>Jason Daskalos</u>	Date: <u>12/7/20</u>
Printed Name: <u>Jason Daskalos</u>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Project Number: <u>PR-2020-004825</u>	Case Numbers: <u>SI-2020-01430</u>
Staff Signature: _____	
Date: _____	



December 1, 2020

Mr. Brennon Williams  
City of Albuquerque Planning Department  
600 2nd Street  
Albuquerque, NM 87102

RE: Amendment to Site Development Plan  
Vintage 423 – 8000 Paseo Del Norte Blvd NE, Suite A1

Dear Mr. Williams:

This letter is in reference to our attached application and site plans for a remodel of the existing Vintage 423 restaurant at 8000 Paseo Del Norte Blvd NE, near the southeast corner of the intersection with Wyoming Blvd. NE. The site was developed under the DRB Application Number DRB-01933, and project number 1002112.

The scope of work with this plan includes making a permanent cover over the existing deck. I have submitted for a building permit and was rejected by Zoning, stating that an Administrative Amendment is required. The reason for applying for a building permit is due to the Governor's Covid orders. In order to comply with outside requirement's and weather changes I have changed from temporary shade covers to a permanent cover. In order to stay open for business Vintage is willing to comply the Governor's health orders. This is for the comfort of our customers and any weather changes for exterior dining. By allowing us to build a permanent cover would allow us to stay open for business during this pandemic and make outside dining a little more comfortable.

The scope of all work has been approved in the attached letter by Walla Engineering Ltd. This request does not affect the existing layout, parking or landscaping.

Should you have any questions or need additional information, please do not hesitate to reach out to Katrina at 505-228-8245.

Thank you,

Jason Daskalos

September 25, 2020

Jason Daskalos  
Landmark Construction  
5319 Menaul Blvd. NE  
Albuquerque, NM 87110

Re: Vintage Restaurant Outdoor Deck Roof  
8000 Paseo Del Norte NE, Suite A1  
Albuquerque, NM

Mr. Daskalos,

At your request, I met you at the above referenced site to review the construction of structural elements of a new permanent roof constructed over the outdoor deck at this facility. The roof structure was designed and detailed by Walla Engineering. These drawings were completed and stamped with a date of July 14, 2020. The final design utilized some of the existing shade structure elements in conjunction with new steel columns, braces and beams to support a new roof structure.

The following is a list of observations from my site visit and review of construction made on September 24, 2020:

1. I reviewed photos of the column connections to the existing main roof beams and the columns are properly located and bolted.
2. The braced frame on the building side of the new roof is bolted and welded adequately.
3. New knee braces are properly installed at the existing steel frame on the street side of the new roof. Two pair of knee braces were eliminated due to a conflict with operable shades. These eliminated braces were redundant to the design and can be deleted from the project.
4. New roof beams are correctly installed.
5. New roof deck is properly installed and anchored.
6. Connection of a new column extension adjacent to the stair was completed in compliance with the design drawings.
7. New reinforcing of existing column connections to deck framing has been completed per the design drawings.

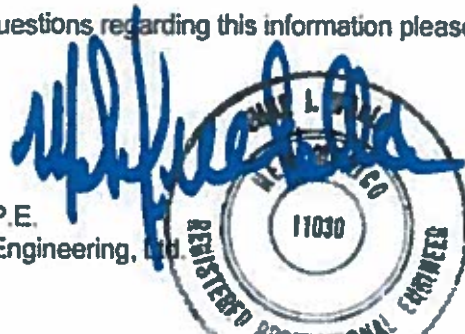
Overall, the new structural construction of the outdoor deck roof is in compliance with the structural design drawings prepared by Walla Engineering and their design intent. I observed no deficiencies with the construction of this roof structure and can verify the adequacy of the completed structural work.

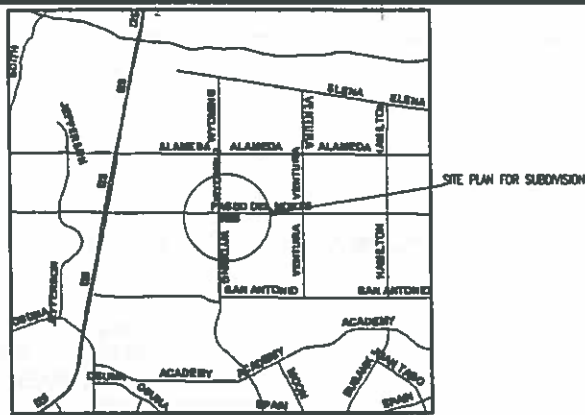
If you have any questions regarding this information please do not hesitate to contact me.

Sincerely,

Michael J. Walla P.E.  
President, Walla Engineering, Ltd.

MJW/Hs





(NOTE SCALE APPROXIMATE)  
ZONE ATLAS MAP: D-19-Z

PROJECT NUMBER: 1002112  
Application Number: 06 DRB-01083 1/26/2006-94924

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated October 21, 2005, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*[Signatures and Dates]*

City Engineer: *[Signature]* Date: 4/11/06

**GENERAL INFORMATION**

GROSS SITE AREA = 5.88 ACRES = +/- 256,133 SQ FT  
TOTAL PROPOSED BUILDING FOOTPRINT = 56,186 SQ FT  
FLOOR AREA RATIO (F.A.R.) = .22  
MAXIMUM FLOOR AREA RATIO (F.A.R.) = .30

MAXIMUM ALLOWABLE BUILDING HEIGHT REQUIREMENTS OF THE O-1 ZONE APPLY EXCEPT THAT THE MAXIMUM BUILDING HEIGHT = 36'-0"

ACTUAL BUILDING HEIGHTS EXCLUDING MECHANICAL SCREENS (INCLUDING MECHANICAL SCREENS, BUILDINGS WILL NOT EXCEED 36'-0")

BUILDING A	24'-0"
BUILDING B	23'-8"
BUILDING C	26'-0"
BUILDING D	27'-6"
BUILDING E	19'-10"

MINIMUM REQUIRED BUILDING SETBACKS

FRONT	5'-0"
CORNER	5'-0"
JUNCTION OF DRIVEWAY AND PUBLIC SIDEWALK	11'-0"

MINIMUM REQUIRED LANDSCAPE BUFFER SETBACKS

PASEO DEL NORTE	12'-0"
WYOMING	6'-0"
PALOMAS	6'-0"

NOTES:  
1. SEE DRAWING THIS SHEET FOR ACTUAL SETBACKS TO PROPERTY LINE  
2. AS SETBACK IN THE O-1 ZONE, NO PARKING OR DRIVEWAYS ARE ALLOWED IN THE SETBACK AREA



DESIGN COLLABORATIVE SOUTHWEST, INC.  
320 Central Ave., SW, Albuquerque, NM 87102  
505.843.9639 Fax: 505.843.9683  
Web Site: www.dcswwest.com  
E-Mail: dcswwest@dcswwest.com

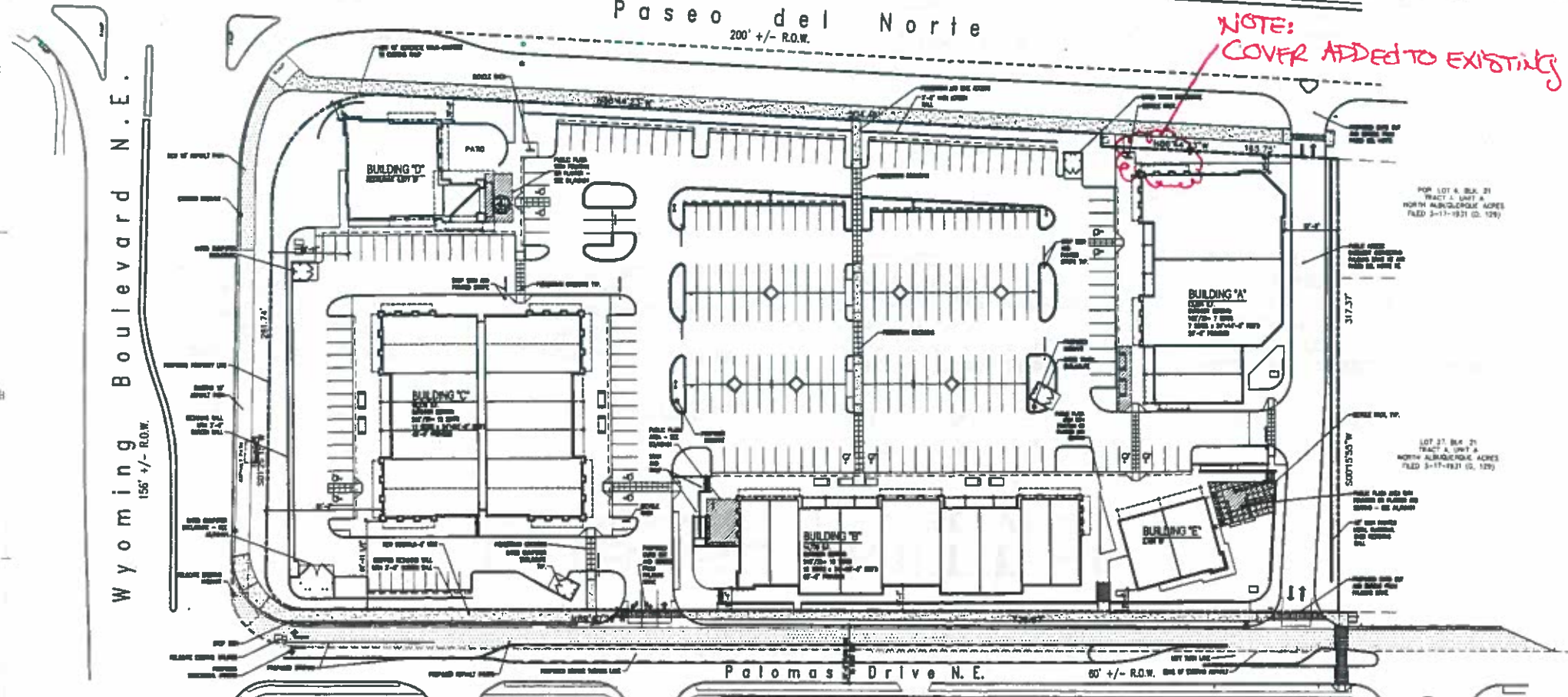
**CONSULTANTS**

Architect: *[Blank]*  
Engineer: *[Blank]*

**DRB SUBMITTAL**

**PASEO CROSSING Shopping Center For Solid Gold Classic, Ltd.**

8000 PASEO DEL NORTE NE ALBUQUERQUE, NM



**SITE DATA AND LEGAL DESCRIPTION**

APPROXIMATE 20' WIDE SIDE DRIVEWAY TO BE LOCATED ON THE WEST SIDE OF THE SITE.

USE	AREA	PARKING SPOTS
TOTAL RETAIL	14,778 SF	70
1/200	14,778 SF	1.00
1/200	14,778 SF	1.00
RETAIL	14,778 SF	70
1/200	14,778 SF	1.00
1/200	14,778 SF	1.00
TOTAL	14,778 SF	70

RETAIL SPOTS REQUIRED: 1/200 GROSS = 70 SPOTS  
RETAIL SPOTS PROVIDED: 1 SPOT AT 8 SPOTS/SPACE = 8 SPOTS  
RETAIL SPOTS PROVIDED: 3 SPOTS RETAIL, 4 SPOTS PARKING

**LEGEND**

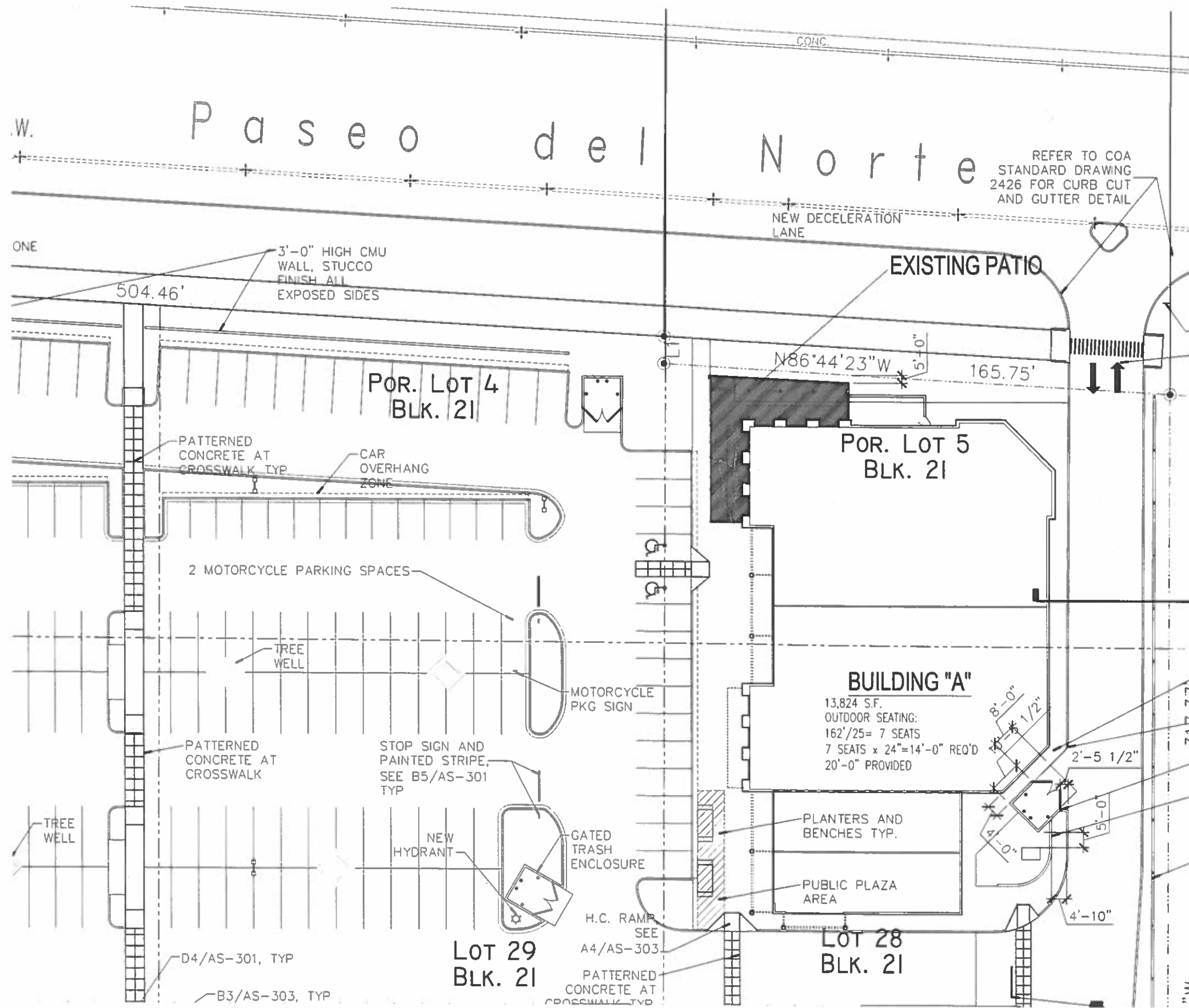
- NEW CONCRETE PAVING
- COLORS, REPAIRED AND REPAIRED CONCRETE CRACKS
- NEW ASPHALT PAVING
- BI-CYCLE BACK - SEE 84/ACROSS
- POLY IMBEDDED SITE LIGHTING-18'-0" HIGH - SEE 61/ACROSS
- PUBLIC PLAZA SPACE
- TRANSFORMER
- PAINT CURB BED, PAINT "TUNE LANE - NO PARKING" IN WHITE EVERY 50 FEET.

**(A1) SITE PLAN - A**  
SCALE: 1"=40'-0"

MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0108
CAD DWG FILE:		DCSW
DRAWN BY:		FMR
CHECKED BY:		RB
DATE:		March 31, 2006

**SHEET TITLE**  
SITE PLAN FOR SUBDIVISION

**AS101A**



PROJECT DATA:

ADDRESS: 8000 PASEO DEL NORTE  
ALBUQUERQUE, NM

LEGAL DESCRIPTION: LOTS 1-5 & 28-32  
BLOCK 21, TRACT A  
NORTH ALBUQUERQUE ACRES

ZONE ATLAS: D19

ZONING: SU2/MIXED USE

CONSTRUCTION TYPE: V-B

AREA OF NEW ROOF: 1,011 SF

DESCRIPTION OF WORK: THIS PERMIT TO ADD A STEEL CANOPY OVER AN EXISTING ROOF DECK WITH A GUTTER SYSTEM TO DRAIN ROOF ONTO OWNERS PROPERTY.

**H+W**  
architecture llc  
661D Garcia St.  
Santa Fe, NM 87505  
tel. 858.754.7735  
email: casawildersd@gmail.com

**VINTAGE 423**  
OUTDOOR DECK

San Mateo  
Albuquerque, NM

Sheet Title:

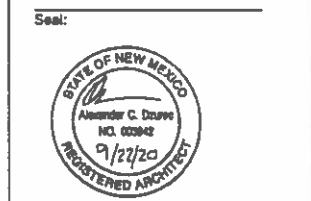
PATIO ROOF SITEPLAN

Date: 8/24/2020

Drawn: S.T. WILDER

Checked: S.T. WILDER

Revision:



EXISTING ROOF DECK PLAN  
SCALE: 1/16"=1'-0"

JOB NUMBER: H211001  
**C001**