

ADMINISTRATIVE AMENDMENT

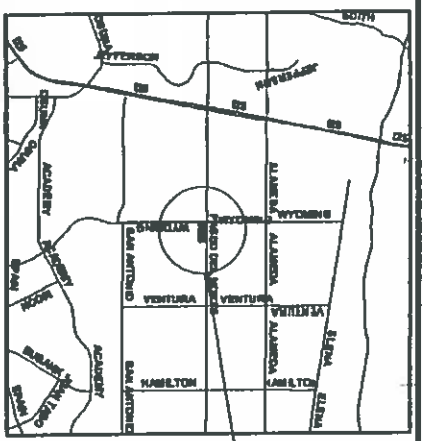
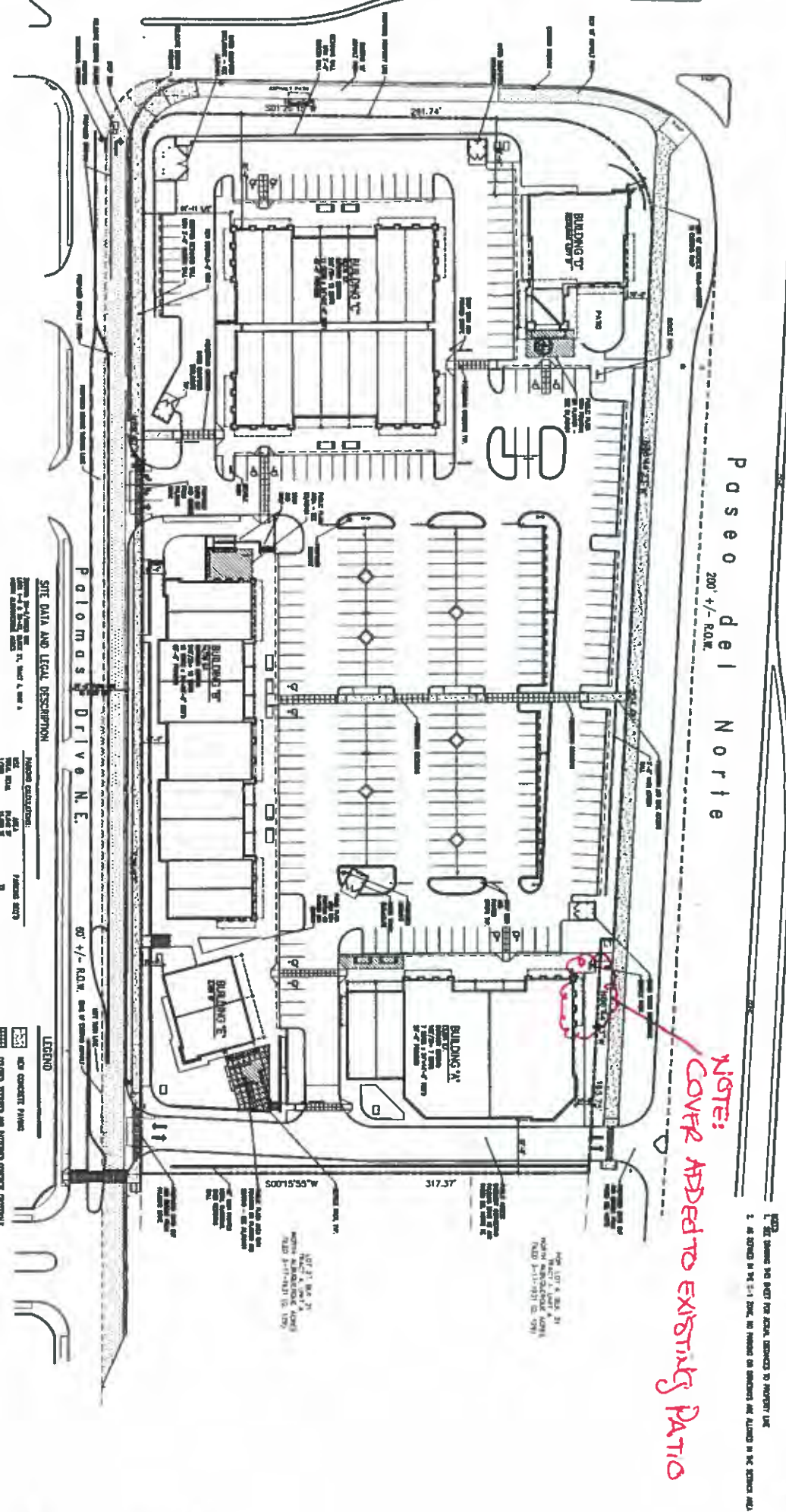
FILE # _____ PROJECT # _____

APPROVED BY

DATE

Wyoming Boulevard N.E.
156' +/- R.O.W.

A1 SITE PLAN - A
SCALE: 1/8" = 1'-0"



PROJECT NUMBER: 1029112
ASSIGNMENT NUMBER: 10-08-01351-258-508-24-02-2

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated October 21, 2008, and the Findings and Conditions in the Official Modification of Decision are satisfied. In an Information List (referred to as 'I-List'), there is a list of approved DDC items with a note that any changes to any conditions upon which DDC approval or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SPOKESMAN APPROVAL

DRB Spokesman	Date
Tony Anderson, Planning Director	4-13-10
John Anderson, Planning Director	4-13-10
John Anderson, Planning Director	4-13-10
John Anderson, Planning Director	4-13-10
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DRB SITE DEVELOPMENT PLAN SPOKESMAN APPROVAL

DRB Spokesman: *John Anderson*
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GENERAL INFORMATION

GROSS SITE AREA *	5.81 ACRES	4/-254,133 SQ. FT.
TOTAL PROPOSED BUILDING FOOTPRINT - FLOOR AREA (BAF) (F.A.B.)		54,198 SQ. FT.
MAXIMUM FLOOR AREA (F.A.B.)		30
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MAXIMUM ALLOWABLE BUILDING HEIGHT EXCEPT THAT THE MAXIMUM BUILDING HEIGHT = 36'-0"		
ACTUAL BUILDING HEIGHTS INCLUDING TERRACED SPACES (INCLUDING TERRACED SPACES, BUILDINGS WILL NOT EXCEED)		36'-0"
BUILDING A		34'-0"
BUILDING B		25'-8"
BUILDING C		26'-0"
BUILDING D		27'-6"
BUILDING E		19'-10"
MAXIMUM PERMITTED BUILDING HEIGHTS		
TOTAL BUILDING HEIGHT		36'-0"
MAXIMUM PERMITTED BUILDING HEIGHTS		36'-0"
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NOTES:
 1. SEE SHEET 1029112-2 FOR THE SPOKESMAN APPROVAL LIST.
 2. AS SHOWN IN 1029112-2, THERE ARE NUMBER OF SPACES ARE ALLOWED IN THE SPACES AND.

NOTE:
COVER ADDED TO EXISTING PATIO

DRB SUBMITTAL

PASEO CROSSING Shopping Center For Solid Gold Classic, Ltd.

8000 PASEO DEL NORTE NE ALBUQUERQUE, NM

Architect: _____
 Engineer: _____

DCSW ARCHITECTS

DESIGN CONSULTANTS ARCHITECTS INC.
 200 Grand Ave., SW, Albuquerque, NM 87102
 505 843 9437 Fax: 505 843 7463
 Web Site: www.dcsww.com
 E-Mail: dcsww@dcsw.com

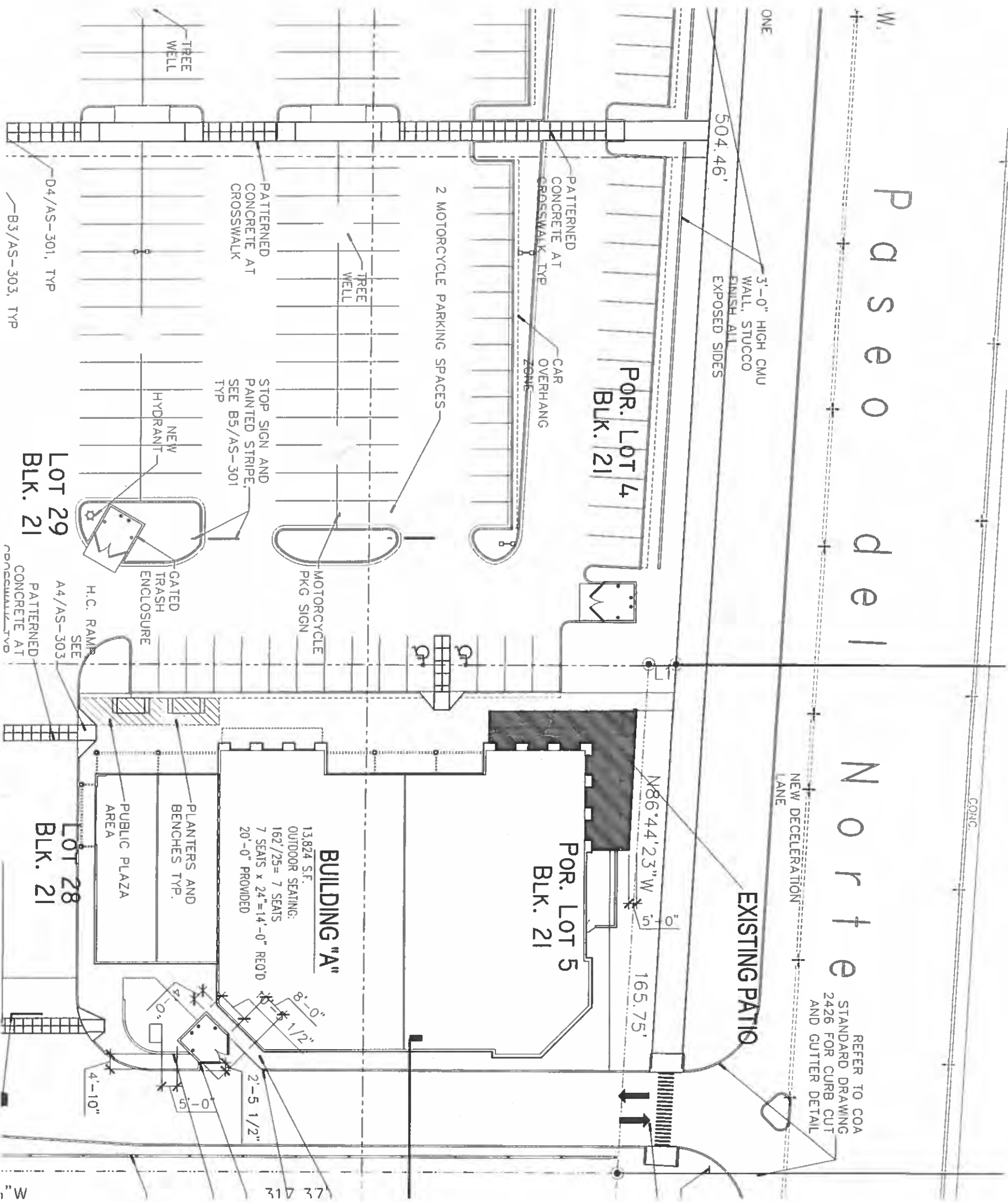
CONSULTANTS

MARK	DATE	DESCRIPTION
DRB SET	01/08	
PROJECT NO.	0108	
DWG FILE	DCSW	
DRAWN BY	FLH	
CHECKED BY	NE	
DATE	March 31, 2006	

SHEET TITLE

SITE PLAN FOR SUBDIVISION

AS101A



PROJECT DATA:

ADDRESS: 8000 PASSEO DEL NORTE ALBUQUERQUE, NM
LEGAL DESCRIPTION: LOTS 1-5 & 28-32 BLOCK 21, TRACT A NORTH ALBUQUERQUE ACRES
ZONE ATLAS: D19
ZONING: SU2/MIXED USE V/B
CONSTRUCTION TYPE: 1,011 SF
AREA OF NEW ROOF:

DESCRIPTION OF WORK: THIS PERMIT TO ADD A STEEL CANOPY OVER AN EXISTING ROOF DECK WITH A GUTTER SYSTEM TO DRAIN ROOF ONTO OWNERS PROPERTY.

CONC

NEW DECELERATION LANE

EXISTING PATIO

REFER TO COA STANDARD DRAWING 2426 FOR CURB CUT AND GUTTER DETAIL

POR. LOT 5 BLK. 21

BUILDING "A"

13,824 S.F.
 OUTDOOR SEATING:
 162' / 25" = 7 SEATS
 7 SEATS x 24" = 14'-0" REVD
 20'-0" PROVIDED

PUBLIC PLAZA
 PLANTERS AND BENCHES TYP.

LOT 28 BLK. 21

H.C. RAMP SEE A4/AS-303

LOT 29 BLK. 21

PATTERNED CONCRETE AT CROSSWALK TYP

CAR OVERHANG ZONE

2 MOTORCYCLE PARKING SPACES

MOTORCYCLE PKG SIGN

STOP SIGN AND PAINTED STRIPE SEE B5/AS-301 TYP

NEW HYDRANT

GATED TRASH ENCLOSURE

D4/AS-301, TYP
 B3/AS-303, TYP

EXISTING ROOF DECK PLAN
 SCALE: 1/8"=1'-0"

H+W
 architecture llc
 661D Garcia St
 Santa Fe NM 87505
 tel: 858.754.7735
 email: casowildersci@gmail.com

VINTAGE 423
 OUTDOOR DECK

San Mateo
 Albuquerque, NM
 Sheet Title:
 PATIO ROOF SITEPLAN
 Date: 8/24/2020
 Drawn: S T WILDER
 Checked: S T WILDER
 Revision:
 Seal:



JOB NUMBER: H211001
C001