



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
No change to the site plan or footprint to the three structures. Modified glazing and shade structure to south and east elevations of Building D. Garage and operable windows are incorporated into the design of the future restaurant.		

APPLICATION INFORMATION		
Applicant: IPMI 6 LLC		Phone: 505-724-3518
Address: 2400 12TH STREET NW		Email: mthompson@indianpueblo.com
City: ALBUQUERQUE	State: NM	Zip: 87104
Professional/Agent (if any): Daniel Solares Jr. (Studio Southwest Architects)		Phone: 505-843-9639
Address: 2101 MOUNTAIN RD NW		Email: dsolares@studioswarch.com
City: ALBUQUERQUE	State: NM	Zip: 87106
Proprietary Interest in Site: REPRESENT AND MANAGE	List all owners: IPMI 6 LLC / 19 Pueblos	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: TRACT A	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-13-Z	Existing Zoning: MX-M	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 5
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 2500 12TH STREET	Between: 12TH STREET	and: MENAU
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
1000649, BP 2020-30554		

Signature:	Date: 12/15/2020
Printed Name: Daniel Solares Jr.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2020-01481	AA	\$50			
Meeting Date: N/A	Fee Total: \$50				
Staff Signature:	Date: 12/22/2020	Project # PR-2020-004857			

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CONSULTANTS

Architect: _____ Engineer: _____

DRB SUBMITTAL

AVANYU NORTH - BUILDINGS D, E & F



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	ARCH	
CHECKED BY:	ARCH	
DATE:	12/01/2018	

SHEET TITLE

FIRST FLOOR PLAN - OVERALL

A-101D

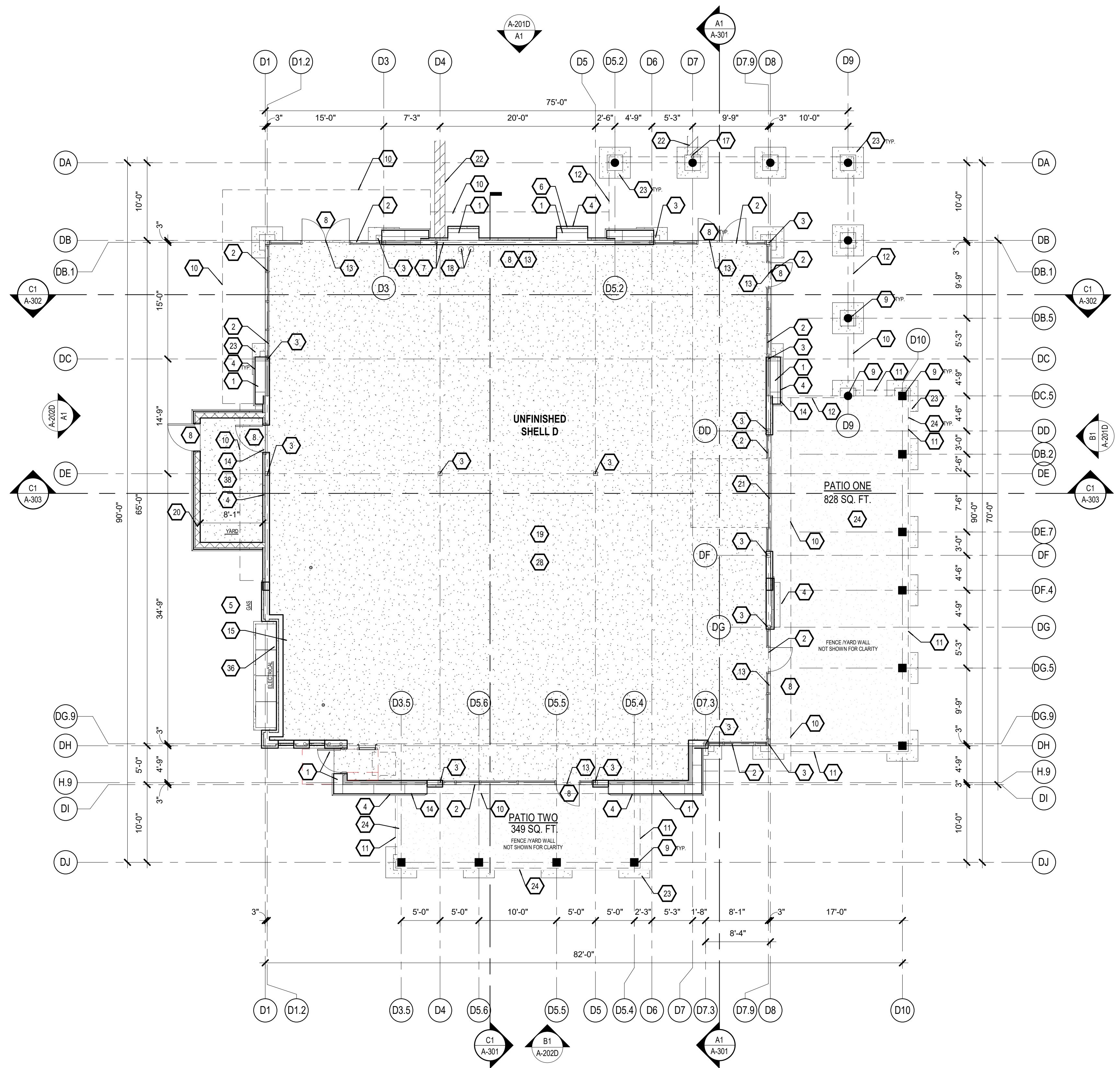
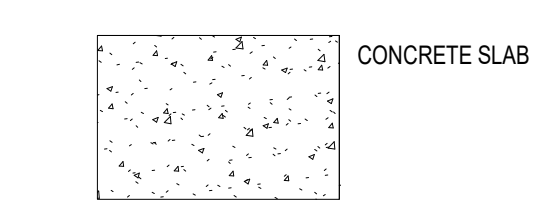
GENERAL NOTES

- A) COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B) UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C) UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D) REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS
- E) COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.
- F) REFER TO A-601 FOR DOOR AND FRAME TYPES. FINAL DOOR LOCATIONS TBD WITH OCCUPANT.
- G) UNDER FLOOR UTILITIES COMPLETED IN TENANT IMPROVEMENT.

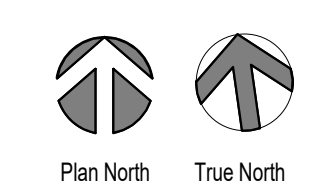
KEYED NOTES

1. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS AND ELEVATIONS FOR ADDL. INFORMATION
2. ALUMINUM STOREFRONT - TYPICAL
3. STEEL COLUMN - TYPICAL. SEE STRUCTURAL
4. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)
5. GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS
6. KNOX BOX
7. ROOF DRAIN AND OVERFLOW WITHIN WALL. TAKE ROOF DRAIN THROUGH STEM WALL TO CULVERT. COORDINATE CONCRETE CULVERT TO ALIGN WITH OVERFLOW DRAIN. PROVIDE BRASS COW TONGUE AT OVERFLOW AND STEEL GRATE AND CULVERT.
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9. WOOD COLUMN - TYP
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11. OUTLINE OF SHADE STRUCTURE ABOVE.
12. OUTLINE OF PORTAL ABOVE.
13. PROVIDE ELECTRICAL AT ALL POTENTIAL EXITS FOR FUTURE EXIT SIGNAGE.
14. KEY OPERATED TAMPER PROOF HOSE BIBB LOCATED AT EXTERIOR WALL.
15. OUTLINE OF ROOF ACCESS HATCH ABOVE. VERIFY FINAL LOCATION.
16. PAINTED STEEL FENCE
17. FACTORY PAINTED METAL DOWNSPOUT
18. FIRE RISER LOCATION COORDINATE
19. COORDINATE CONCRETE SLAB SAW CUT PATTERN, COLOR AND FINISH WITH ARCHITECT. SEE SLAB PLAN SHEET A-100 FOR ADDL. INFO.
20. 8' TALL YARDWALL
21. ROLL-UP DOOR TO MATCH ALUMINUM SF FINISH.
22. CONCRETE CULVERT AND STEEL GRATE PER DETAIL
23. CONCRETE FOOTING - SEE STRUCTURAL
24. CONCRETE PATIO SLAB, SCORED W/ INTERGRATED COLOR. SEE SHEET A-100 FOR ADDL. INFO.
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26. FLOOR DRAIN AT TOILET ROOM - VERIFY WITH FUTURE T.I. TOILET ROOM PLAN
27. EDGE OF PERIMETER STEM WALL - SEE STRUCTURAL FOR BALANCE OF INFORMATION
28. CONCRETE SLAB - COORDINATE WITH TENANT IMPROVEMENTS DRAWINGS FOR FINAL PENETRATION LOCATIONS AND UNDERGROUND UTILITIES - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
29. POINT OF ORIGIN - ALIGN WITH CENTER OF DOOR OPENING
30. 10' X 10' SAW CUT CONTROL JOINT. REFER TO STRUCTURAL FOR DEPTH OF JOINT.
31. 38" RECESS AT CONCRETE SLAB FOR WALKOFF MAT
32. RECESS AREA FOR FUTURE TILE.
33. SLOPE TO DRAIN
34. ELECTRICAL STUB UP PENETRATION
35. PLUMBING STUB-UP PENETRATION
36. FLOOR SINK LOCATION
37. MOP SINK DRAIN
38. OPTIONAL YARD

LEGEND



A1 1ST FLOOR PLAN
1/8" = 1'-0"



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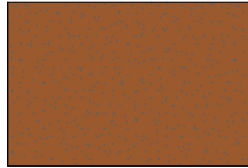
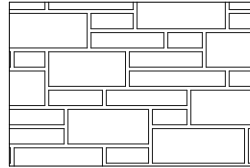



GENERAL NOTES

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- B. GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.
- C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
- D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5X9' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL.

KEYED NOTES

1. ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
2. STOREFRONT GLAZING SYSTEM.
3. BACK OF HOUSE EMPLOYEE ACCESS.
4. FUTURE SIGNAGE LOCATION, SEPARATE PERMIT REQUIRED.
5. PROVIDE ELECTRICAL AT WALL.
6. YARD WALL.
7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
9. PORTAL.
10. TRELIS SHADE STRUCTURE.
11. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
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13. WOOD COLUMN.
14. BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN.
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18. WOOD BEAM.
19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
20. PAINTED METAL COPING.
21. ROOF SLOPE.

LEGEND

	EXTERIOR INSULATING AND FINISH SYSTEM		STONE VENEER
	EXTERIOR INSULATING AND FINISH SYSTEM		METAL PANEL. REFER TO ELEVATIONS FOR PANEL DIMENSIONS
	CONCRETE		

MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED. FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

CONSULTANTS

Architect Engineer

DRB SUBMITTAL

AVANYU NORTH - BUILDINGS D, E & F



2500 12th Street
ALBUQUERQUE, NM

Key Plan

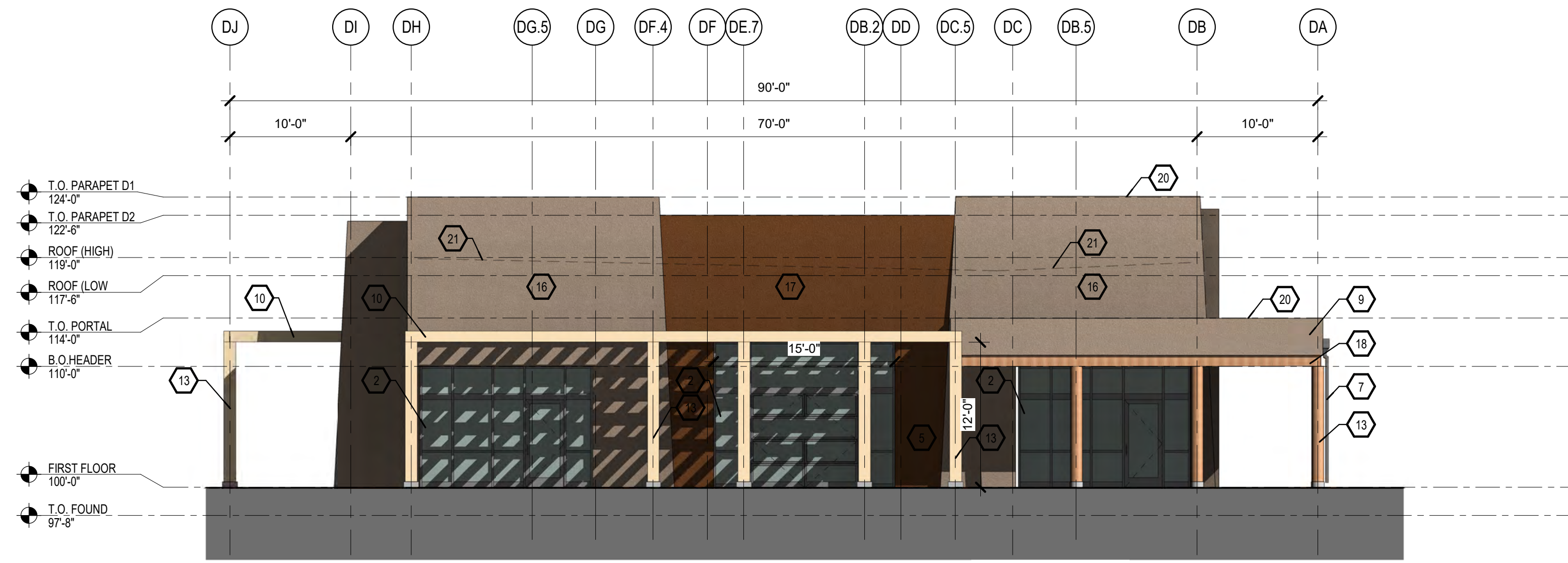
NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

SHEET TITLE

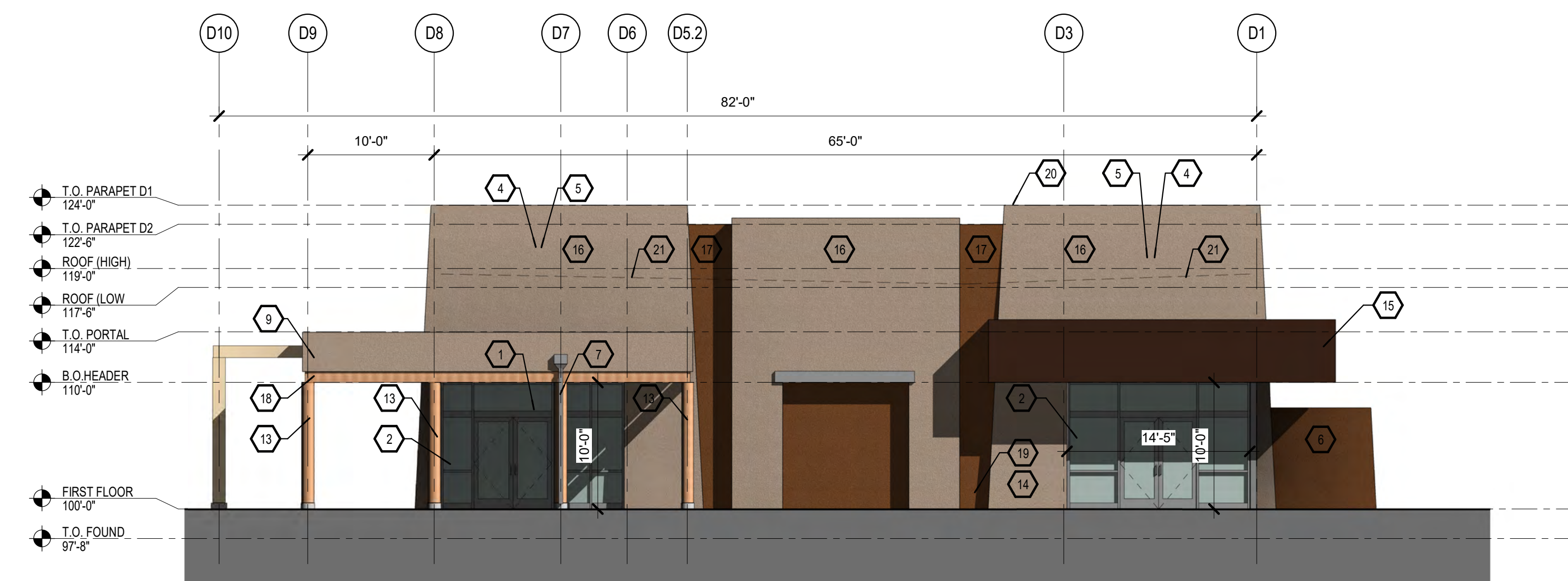
EXTERIOR BUILDING ELEVATIONS

A-201D



B1 EAST BUILDING ELEVATION

1/8" = 1'-0"



A1 NORTH

1/8" = 1'-0"

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CONSULTANTS

Architect Engineer

DRB SUBMITTAL

AVANYU NORTH -
BUILDINGS D, E & F



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DESIGN DEVELOPMENT	
PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

SHEET TITLE
EXTERIOR BUILDING ELEVATIONS

A-202D

GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B. GRADE VARIES. REFER TO CIVIL FOR EXTERIOR FINISH GRADES.
- C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
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- 6. YARD WALL.
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- 8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
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- 17. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION.
- 18. WOOD BEAM.
- 19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- 20. PAINTED METAL COPING.
- 21. ROOF SLOPE.

LEGEND

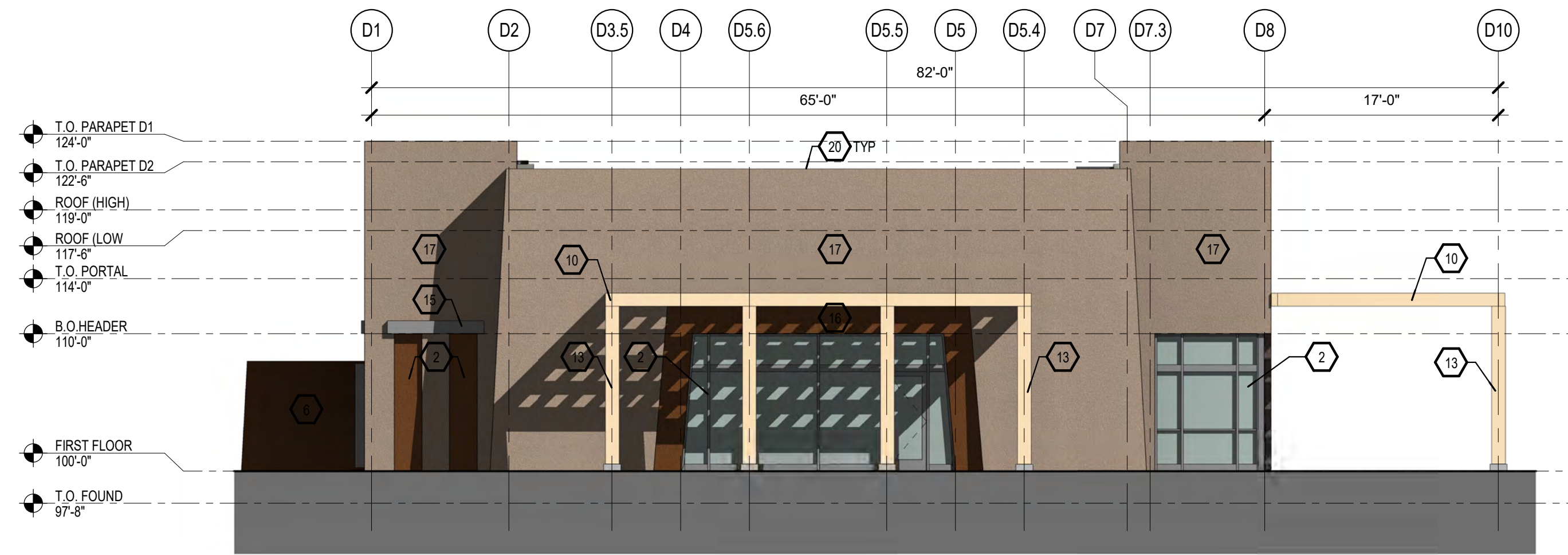
	EXTERIOR INSULATING AND FINISH SYSTEM		STONE VENEER
	EXTERIOR INSULATING AND FINISH SYSTEM		METAL PANEL. REFER TO ELEVATIONS FOR PANEL DIMENSIONS
	CONCRETE		

MATERIALS AND COLORS

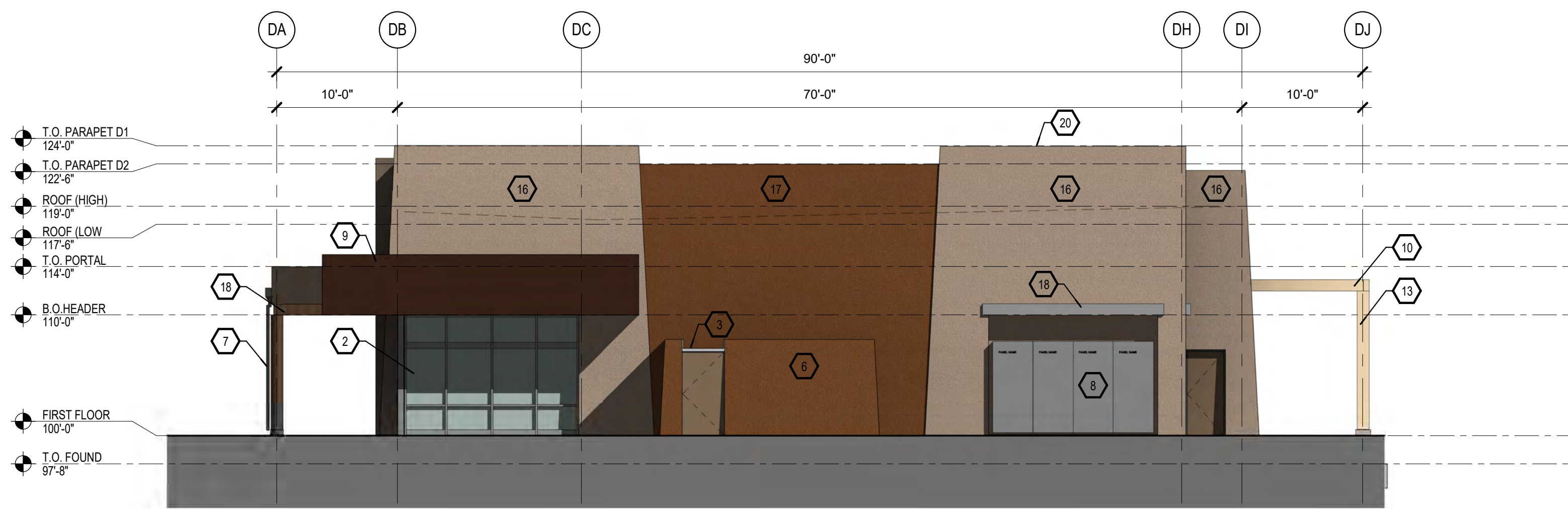
COLORS SHOWN ARE IPFDC AND SSWA APPROVED.
FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

REQUIRED GLAZING

TOTAL FACADE AREA FACING PLAZA: 1,020 SF
40% MIN. OF AREA REQUIRED TO BE GLAZED: 408 SF
TOTAL PROPOSED AREA OF GLAZING
FACING PLAZA: 410 SF (40%)



B1 SOUTH
1/8" = 1'-0"

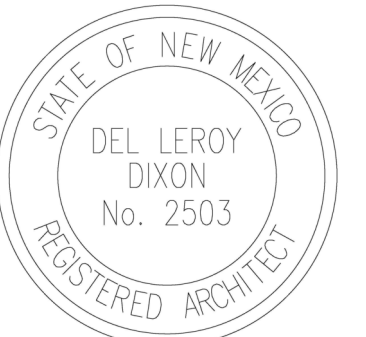


A1 WEST
1/8" = 1'-0"

CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDING D



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Modifications
2	12/1/2020	Modifications
1	08-31-2020	BD Comments

Revision Schedule

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

SHEET TITLE

BLDG D - FLOOR PLAN

A-101 D

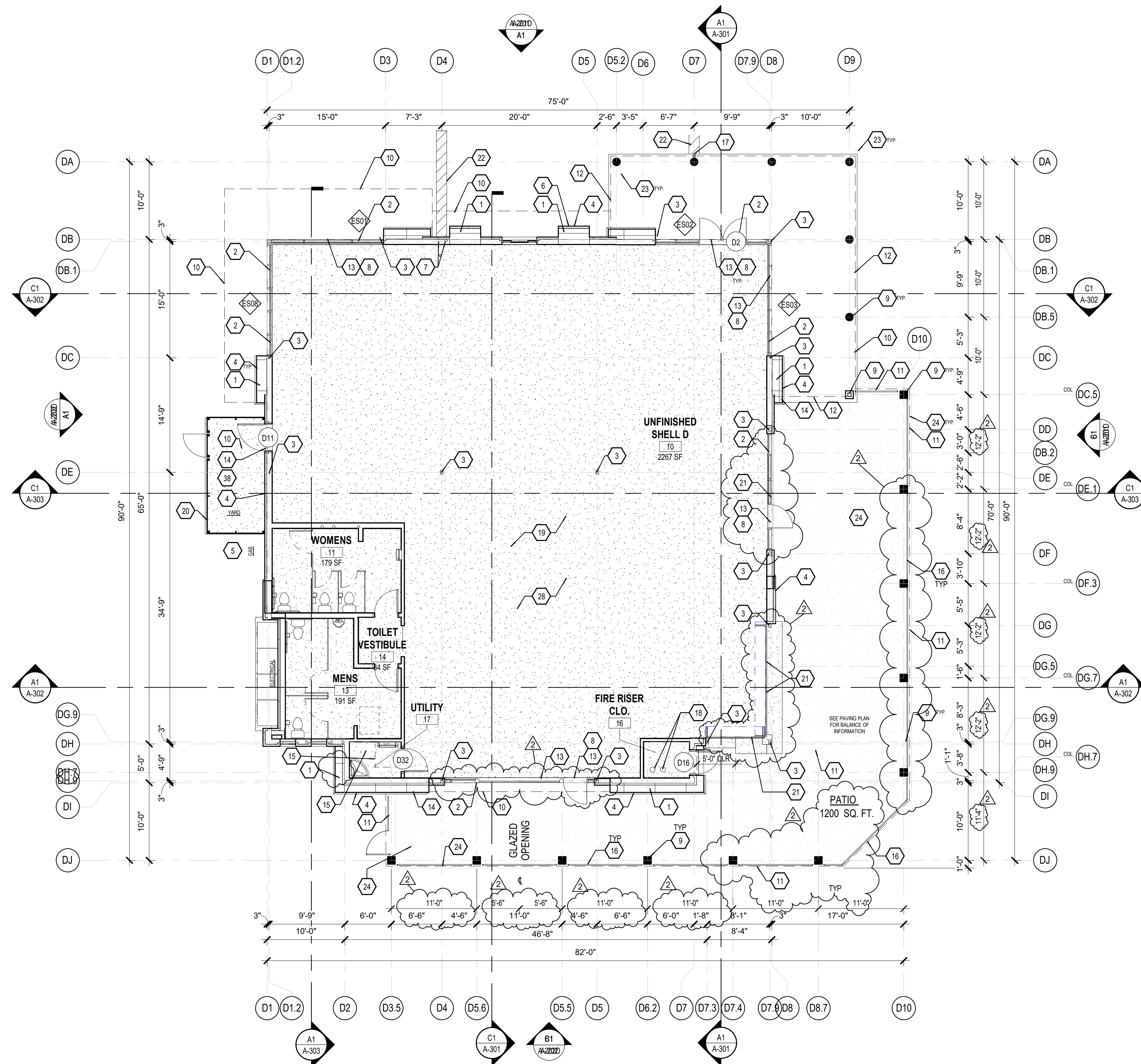
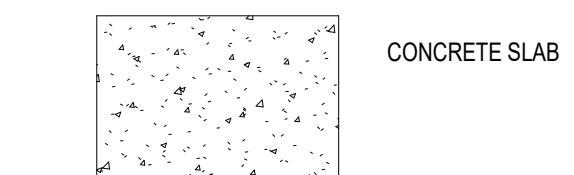
GENERAL NOTES

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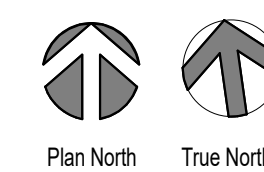
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- 4. TWO COAT SYNTHETIC STUCCO W/C CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 12" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL INFO.)
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- 14. KEY OPERATED TAMPER PROOF HOSE BIBB LOCATED AT EXTERIOR WALL.
- 15. OUTLINE OF ROOF ACCESS HATCH ABOVE. VERIFY FINAL LOCATION.
- 16. PAINTED STEEL FENCE/ GUARDRAIL. REFER TO GUARDRAIL OPTIONS DETAILS CS, DS, ES, & ES SHEET AS-105.
- 17. FACTORY PAINTED METAL DOWNSPOUT
- 18. FIRE RISER LOCATION COORDINATE.
- 19. COORDINATE CONCRETE SLAB SAW CUT PATTERN, COLOR AND FINISH WITH ARCHITECT. SEE SLAB PLAN SHEET A-100 FOR ADDL. INFO.
- 20. 6'-6" TALL YARDWALL
- 21. ROLL-UP DOOR TO MATCH ALUMINUM SF FINISH.
- 22. CONCRETE CULVERT AND STEEL GRATE PER DETAIL
- 23. CONCRETE FOOTING - SEE STRUCTURAL
- 24. CONCRETE PATIO SLAB. SCORED W/ INTERGRATED COLOR. SEE SHEET A-100 FOR ADDL. INFO.
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- 30. 10' X 10' SAW CUT CONTROL JOINT. REFER TO STRUCTURAL FOR DEPTH OF JOINT.
- 31. 3/8" RECESS AT CONCRETE SLAB FOR WALKOFF MAT
- 32. RECESS AREA FOR FUTURE TILE.
- 33. SLOPE TO DRAIN
- 34. ELECTRICAL STUB UP PENETRATION
- 35. PLUMBING STUB UP PENETRATION
- 36. FLOOR SINK LOCATION
- 37. MOP SINK DRAIN
- 38. OPTIONAL YARD

LEGEND

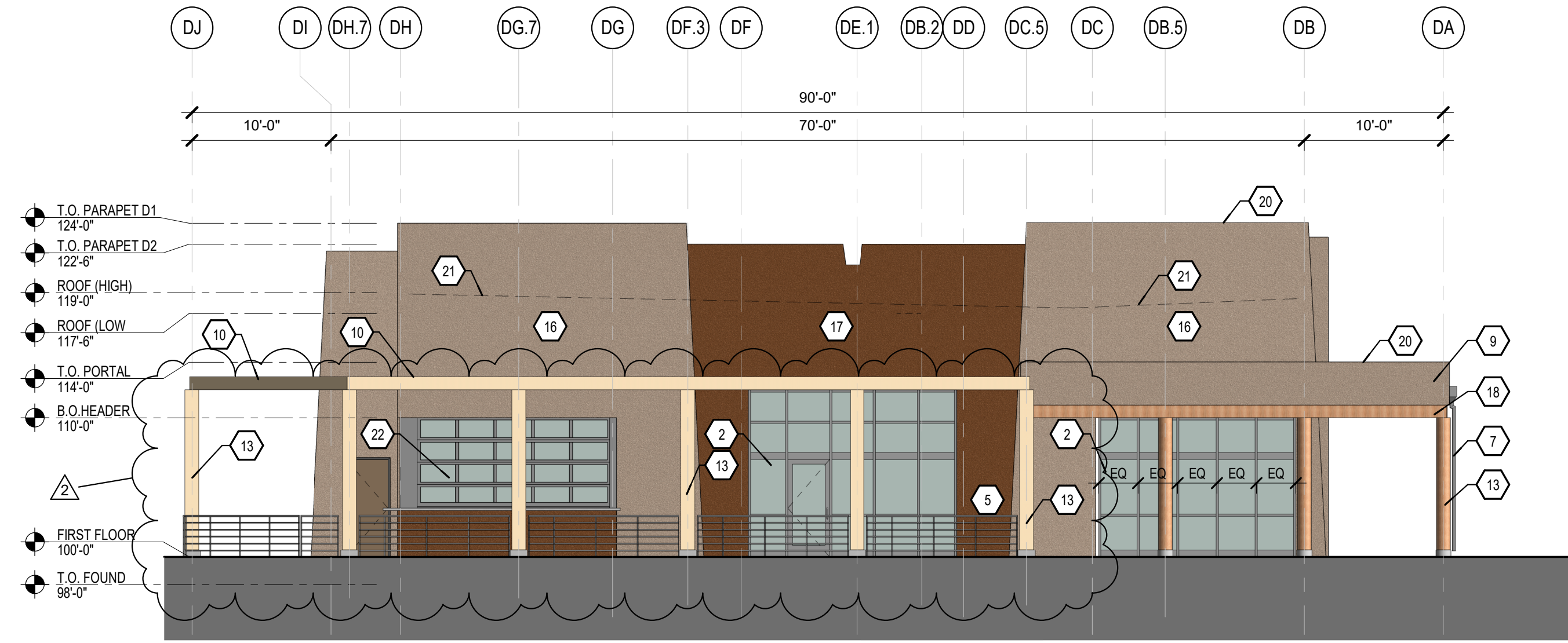


A1 1ST FLOOR PLAN
1/8" = 1'-0"

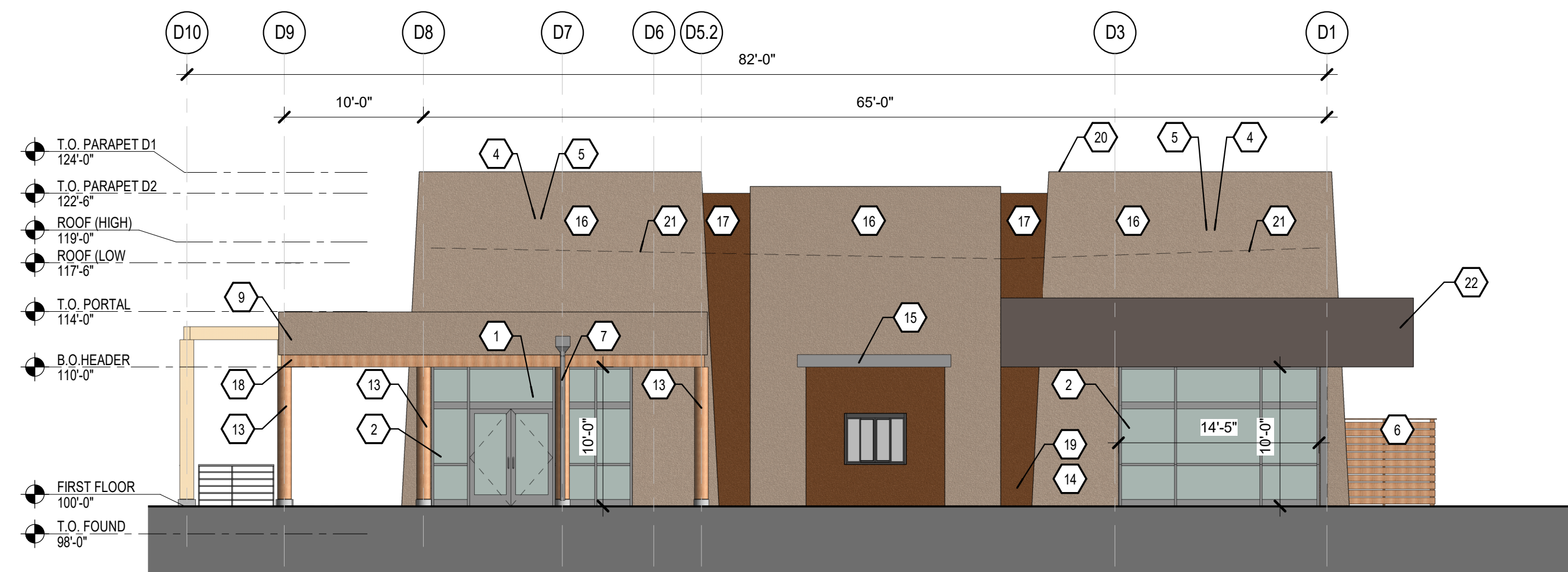


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B1 EAST BUILDING ELEVATION
1/8" = 1'-0"



A1 NORTH BUILDING ELEVATION
1/8" = 1'-0"

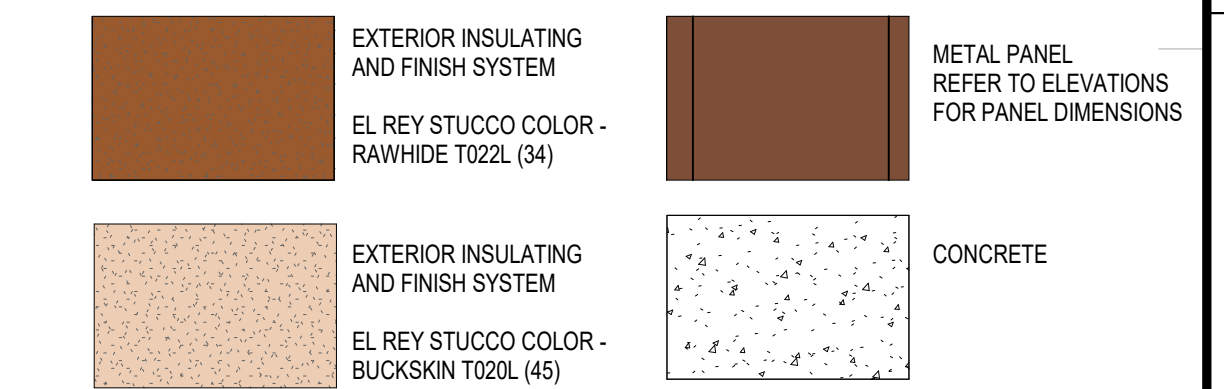
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KEYED NOTES

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- 2. STOREFRONT GLAZING SYSTEM.
- 3. BACK OF HOUSE EMPLOYEE ACCESS.
- 4. FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.
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- 18. WOOD BEAM.
- 19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- 20. PAINTED METAL COPING.
- 21. ROOF SLOPE.
- 22. OPERABLE GLAZING / ROLL UP - GARAGE DOOR TYPE.

LEGEND



MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED. FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

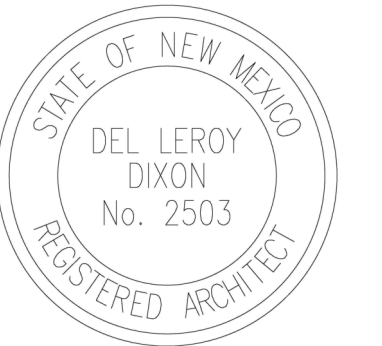
REQUIRED GLAZING

TOTAL FACADE AREA FACING PLAZA: 1,020 SF
40% MIN. OF AREA REQUIRED TO BE GLAZED: 408 SF
TOTAL PROPOSED AREA OF GLAZING FACING PLAZA: 410 SF (40%)

CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDING D



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Modifications	Description
2	12/1/2020	Modifications	

Revision Schedule

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

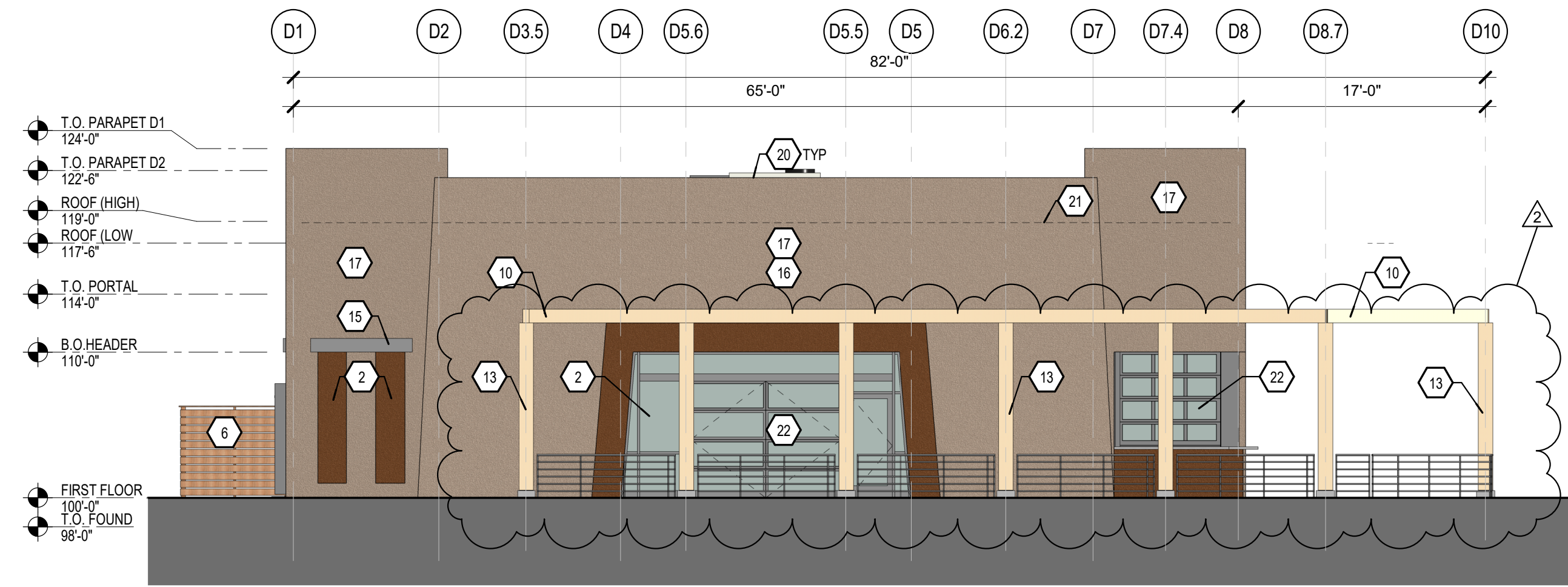
SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

A-201D

12/18/2020 12:11:11 AM

C:\Users\adolares\Documents\1836 Avanyu D - Central_dsolares.rvt



B1 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



A1 WEST BUILDING ELEVATION
1/8" = 1'-0"

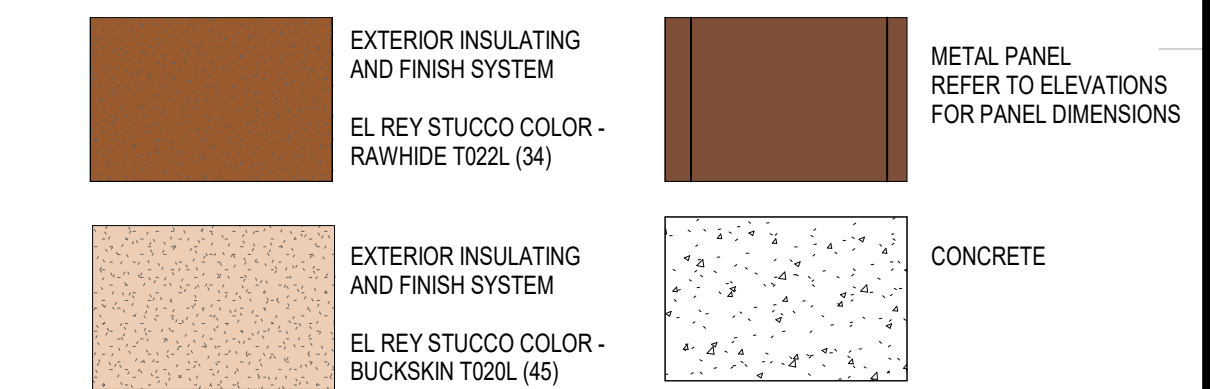
GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES.
- C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
- D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5X5 AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL. SEE DETAIL E61A-501 FOR ADDL. INFO.

KEYED NOTES

- 1. ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
- 2. STOREFRONT GLAZING SYSTEM.
- 3. BACK OF HOUSE EMPLOYEE ACCESS.
- 4. FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.
- 5. PROVIDE ELECTRICAL AT WALL.
- 6. YARD WALL.
- 7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
- 8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
- 9. PORTAL.
- 10. TRELIS SHADE STRUCTURE.
- 11. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
- 12. EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.
- 13. WOOD COLLIMN.
- 14. BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN.
- 15. ALUMINUM EYEBROW AT WINDOW.
- 16. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGI ISNULTIONA ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.) EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION.
- 18. WOOD BEAM
- 19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- 20. PAINTED METAL COPING.
- 21. ROOF SLOPE
- 22. OPERABLE GLAZING / ROLL UP - GARAGE DOOR TYPE

LEGEND



MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED. FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

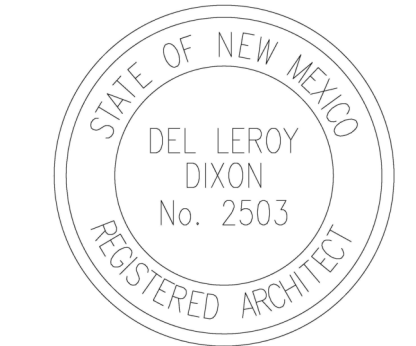
REQUIRED GLAZING

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40% MIN. OF AREA REQUIRED TO BE GLAZED: 408 SF
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CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDING D



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Modifications	Description
2	12/1/2020		

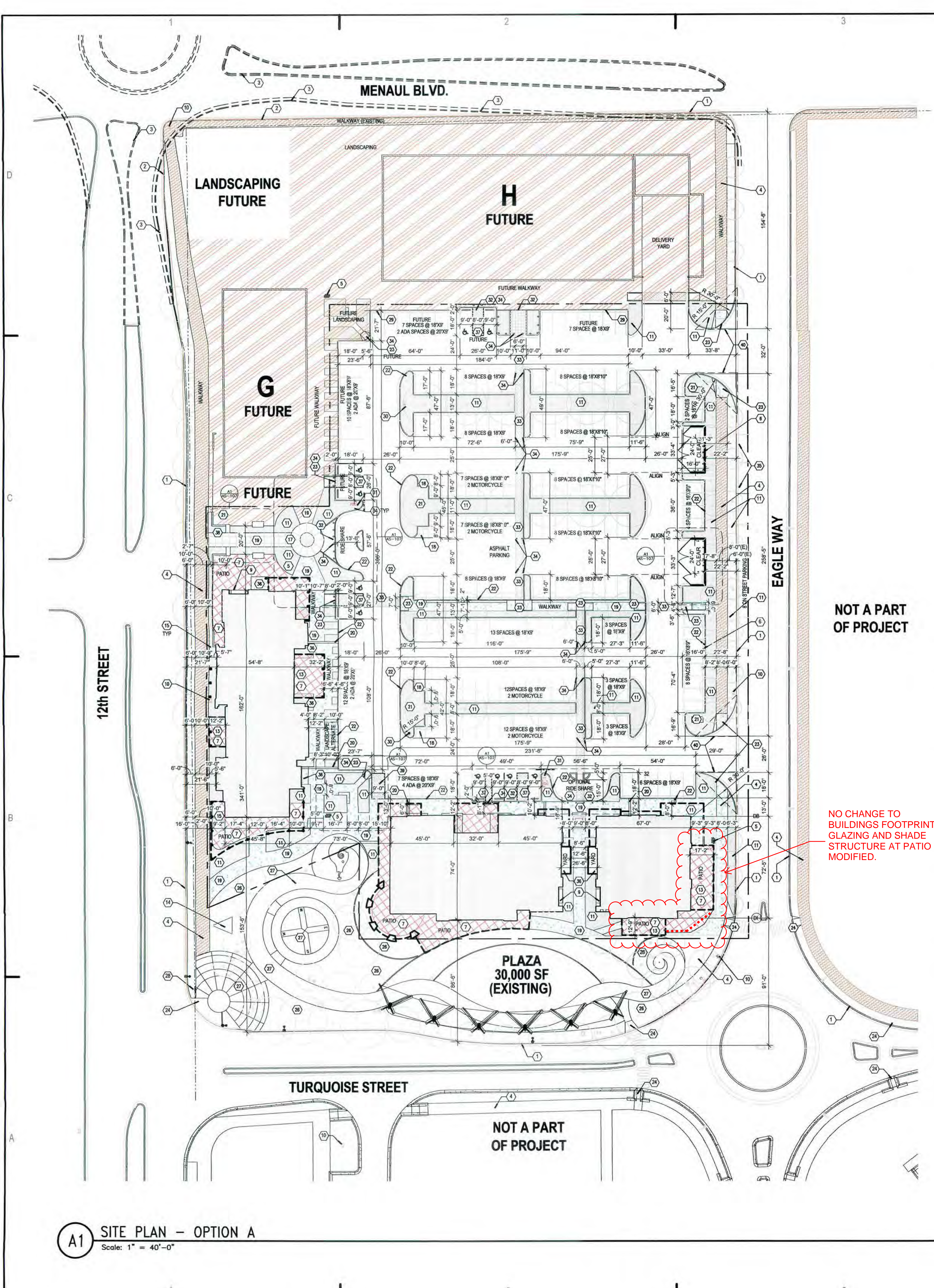
Revision Schedule

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

A-202D



PROJECT NUMBER: PR-2018-001470
 APPLICATION NUMBER:
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 Traffic Engineer, Transportation Division Date: 1/27/20
 Water Utility Development Date: Jul 16, 2020
 Parks & Recreation Department Date: 1-29-20
 City Engineer Date: 1-29-20
 N/A Date: 7/6/2020
 * Environmental Health Department (conditional) Date:
 See attached sheet
 Solid Waste Management Date:
 DRB Chairperson, Planning Department Date: Jul 14, 2020
 * Environmental Health, if necessary

PARKING SPACE TABULATIONS

10 ACCESSIBLE SPACES AT 20' X 9'-0"
 119 SPACES AT 18' X 9'-0"
 54 SPACES AT 18' X 8'-10"
 14 SPACES AT 16' X 8'-9" (COMPACT)
 197 TOTAL OFF STREET PARKING SPACES

8 ON STREET PARKING
 205 TOTAL PARKING SPACES

ACCESSIBLE SPACES
 6 SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1
 150 REQUIRED SPACES
 REQUIRED: 6 SPACES
 ACTUAL: 10 SPACES

MOTORCYCLE
 5 SPACES REQ. (151-300) IDO 5-5-D
 REQUIRED: 5 SPACES
 ACTUAL: 8 SPACES

BICYCLE SPACES
 12TH & MENAUL ORDINANCE:
 1 SPACE PER 20 SPACES
 REQUIRED: 10 SPACES
 ACTUAL: 16 SPACES

IDO REQUIRED PARKING

BUILDING D - 4,500SF
 E - 8,000SF
 F - 8,500SF
 PROPOSED SF: 21,000 SF (BLDGS D, E, F)

FUTURE H - 8,000SF
 FUTURE G - 20,000SF
 PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:
 RETAIL: 4 SPACES/1000SF
 RESTAURANT: 8 SPACES/1000SF
 PHASE 2 (PROPOSED)
 10,000 GSF: 40 SPACES
 11,000 GSF : 80 SPACES

PHASE 3 (FUTURE)
 24,000 GSF: 96 SPACES
 4,000 GSF : 32 SPACES
 RETAIL: 4 SPACES/1000SF
 RESTAURANT: 8 SPACES/1000SF

ORDINANCE 0-16-22: (PARKING REDUCTION)

0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)
 REDUCTION - 64 SPACES
 REQUIRED: 192 TOTAL
 ACTUAL : 197 PARKING SPACES (OFF STREET)

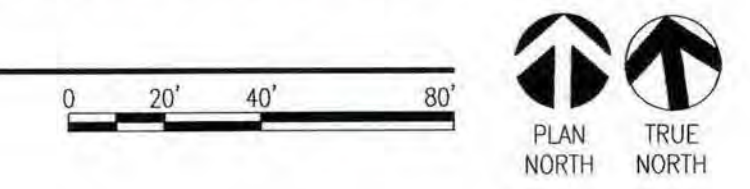
SITE TABULATIONS:

TOTAL ACREAGE OF PAD: 5.9 ACRES
 EXISTING PLAZA : .7 ACRES
 FUTURE STAGE OF WORK: 2.4 ACRES
 TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

LEGEND

- FUTURE BUILDING PAD
- NEW CONCRETE WALKWAY
- NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
- NEW LANDSCAPE
- EXISTING CONCRETE WALKWAY
- EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS



GENERAL NOTES

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- 2) SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- 7) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- 8) CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

SHEET KEYED NOTES

1. EXISTING EDGE OF CURB.
2. EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
3. FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MENAUL BLVD STREET IMPROVEMENT DRAWINGS.
4. EXISTING CONCRETE WALKWAY.
5. FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
6. TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
7. COLORED PATTERNED CONCRETE.
8. PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
9. PROPOSED BUILDING UTILITY LOCATION.
10. EXISTING FIRE HYDRANT LOCATION.
11. NEW LANDSCAPING.
12. FUTURE 6" CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
13. WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
14. PROPOSED ENTRY MONUMENT @ 12TH STREET.
15. 5'-6" MINIMUM CAFE SPACE.
16. NEW PATIO CONCRETE PAD.
17. PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
18. NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
19. NEW CONCRETE WALKWAY.
20. NEW ROOF DRAIN CULVER. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
21. NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
22. NEW CONCRETE CURB.
23. NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
24. EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
25. EXISTING BIKE RACK LOCATION.
26. EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
27. EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
28. EXISTING TRAFFIC SIGNAL.
29. TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
30. PROPOSED FIRE HYDRANT LOCATION.
31. REMOTE FDC LOCATION.
32. FLUSH CURB FOR PEDESTRIAN ACCESS.
33. ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
34. BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
35. ON STREET PARKING.
36. OPTIONAL EMPLOYEE YARD T.B.D.
37. ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
38. ENTRY ARCH
39. LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
40. CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



STUDIO SW ARCHITECTS
 2101 Mountain Road NW Suite B | Albuquerque NM 87104
 505-843-9639 | www.studioswarch.com
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CONSULTANTS

DRB SUBMITTAL

Architect: Fnnineer
 STATE OF NEW MEXICO
 DEL LEROY DYON
 Digitally signed by Del L. Dyon
 DN: cn=Del L. Dyon, o=Del L. Dyon, ou=Del L. Dyon, email=del@del.com

AVANYU RETAIL
 2400 12TH STREET
 ALBUQUERQUE, NM 87104

Key Plan
 NTS

No	Date	Description
Revision Schedule		
ISSUE:		DRB
PROJECT NUMBER:		1836
FILE:		1836 SP01.DWG
DRAWN BY:		DS
CHECKED BY:		RH
DATE:		Project Issue Date

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT
AS-101

A1 SITE PLAN - OPTION A
 Scale: 1" = 40'-0"



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
No change to the site plan or footprint to the three structures. Modified glazing and shade structure to south and east elevations of Building D. Garage and operable windows are incorporated into the design of the future restaurant.			

APPLICATION INFORMATION			
Applicant: IPMI 6 LLC		Phone: 505-724-3518	
Address: 2400 12TH STREET NW		Email: mthompson@indianpueblo.com	
City: ALBUQUERQUE	State: NM	Zip: 87104	
Professional/Agent (if any): Daniel Solares Jr. (Studio Southwest Architects)		Phone: 505-843-9639	
Address: 2101 MOUNTAIN RD NW		Email: dsolares@studioswarch.com	
City: ALBUQUERQUE	State: NM	Zip: 87106	
Proprietary Interest in Site: REPRESENT AND MANAGE		List all owners: IPMI 6 LLC / 19 Pueblos	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: TRACT A		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-13-Z	Existing Zoning: MX-M	Proposed Zoning:	
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 5	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 2500 12TH STREET		Between: 12TH STREET	and: MENAUL
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
1000649, BP 2020-30554			

Signature:	Date: 12/15/2020
Printed Name: Daniel Solares Jr.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:			Fee Total:		
Staff Signature:			Date:		
			Project #		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.



Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
<p>Signature: </p>	<p>Date: 12/17/2020</p>	
<p>Printed Name: Daniel Solares Jr.</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>	
<p>FOR OFFICIAL USE ONLY</p>		
<p>Project Number:</p>	<p>Case Numbers</p>	
	-	
	-	
	-	
Staff Signature:		
Date:		



December 15, 2020

Jolene Wolfley, DRB Chair, Planning Department
Development Review Board
600 Second Street, NW
Albuquerque, NM 87102

Development Review Board – City of Albuquerque

Re: Request for a Minor Amendment to the approved Site Development Plan for Building Permit for the proposed new construction at 2500 12th Street NW

Dear Mrs. Wolfley:

As the authorized submitting agent for property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects requests your consideration for a Minor Amendment of an approved Site Development Plan located at 2500 12th Street in Albuquerque. Identified as PR-2018-001470_SI-2019-00421. We are requesting an approval for the slight modification of two facades at Building D located at the southeast corner of the proposed project. Building D has been leased to a new tenant who is going with a friendly and inviting theme to their proposed restaurant. The requested changes will not change or modify the buildings footprint nor add square footage. The storefront openings along the east façade will be modified to account for a new operable window/glazing and relocate a garage door type to the south façade. The existing garage door opening will now be all storefront matching the style color and pattern of the approved storefront. The southeast corner will be modified from a storefront system to an operable glazing unit with a bar counter at 42". Please refer to the provided elevations for a clear and concise representation of the changes. The storefront opening along the south façade will incorporate the garage door that was located originally on the east façade. There is no change to the opening square footage. A single shade structure will now wrap around the corner of the building connecting the two separate structures into one cohesive whole. There is no change in the material or look. The patio square footage at Building D along with all site tabulations will remain the same with no changes to the site amenities, parking, or landscaping.

Thank you for your time and consideration

A handwritten signature in blue ink, appearing to read 'Daniel Solares Jr.', is written over a white background.

Daniel Solares Jr.
Senior Designer & Project Manager SSWA
(505) 843-9639

Enter Name
Enter Date
Page 2

Sincerely,

Enter Signator Name,
Enter Signatory Title

cc: [Click here to enter names.](#) Delete line if none.

Enclosure/s: [Click here to enter attachments.](#) Delete line if none.

File: document1



INDIAN PUEBLOS MARKETING, INC.

Acoma

Cochiti

Isleta

Jemez

Laguna

Nambe

Ohkay
Owingeh

Picuris

Pojoaque

Sandia

San
Felipe

San
Ildefonso

Santa
Ana

Santa
Clara

Santo
Domingo

Taos

Tesuque

Zia

Zuni

August 15, 2018

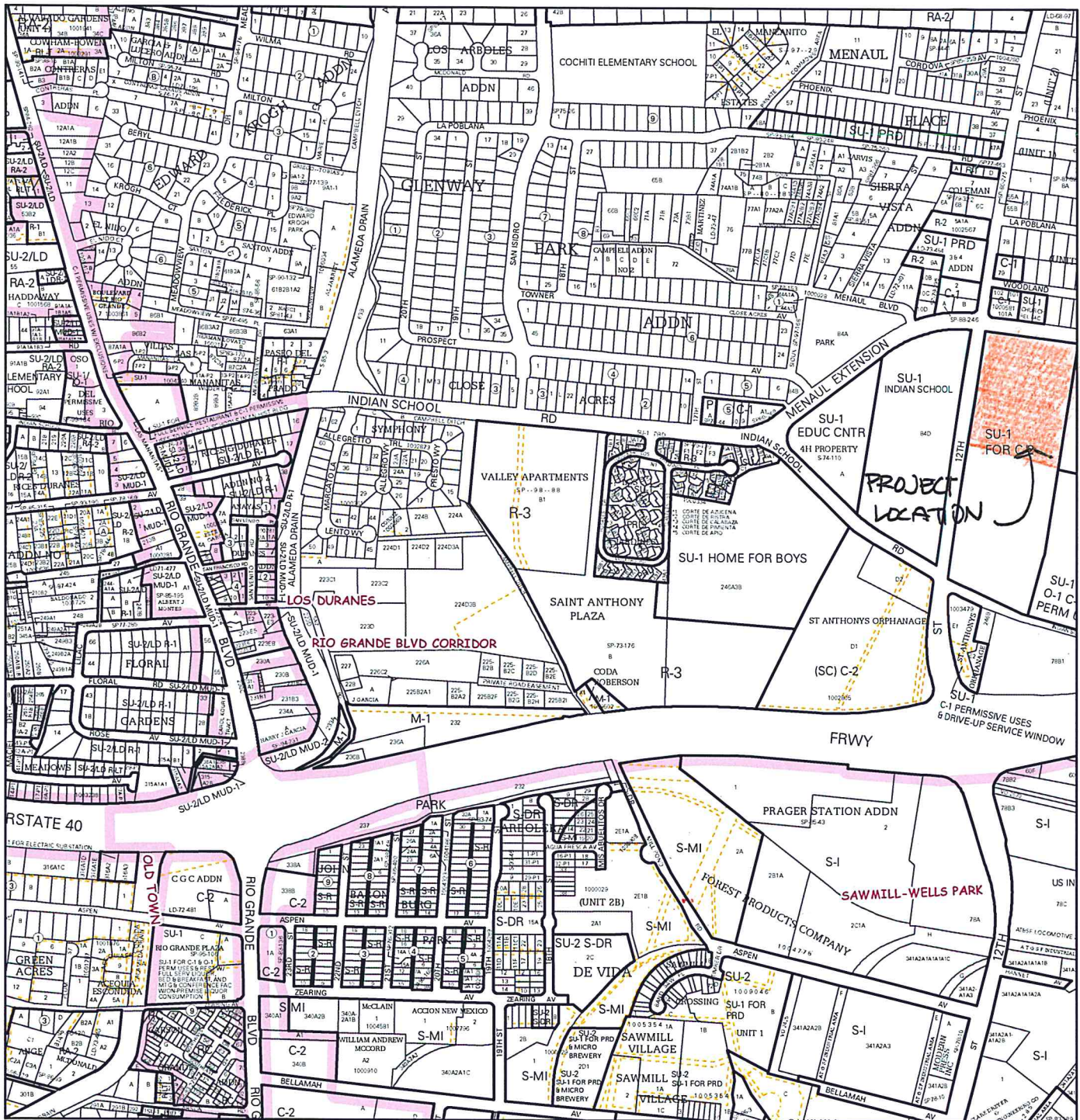
RE: IPMI 6, LLC
2401 12th Street NW
Albuquerque, NM 87104

To Whom It May Concern:

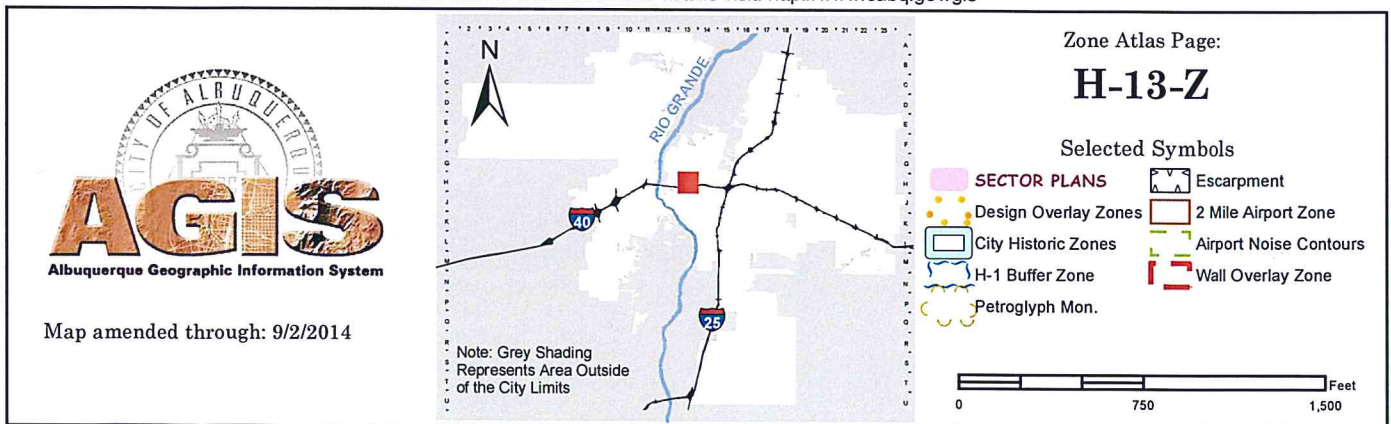
IPMI 6, LLC authorizes Danny Solares, of Studio Southwest Architects, to act as an authorized agent for the development project to be constructed at 2500 12th Street NW, Albuquerque, New Mexico. Mr. Solares shall be authorized to act on all matters regarding this property.

IPMI 6, LLC

Mark Thompson, Property Development Director



For more current information and details visit: <http://www.cabq.gov/gis>






PR-2018-001470_SI-2019-00421_Site_Plan_Approved_2-5-20

Final Audit Report

2020-07-16

Created:	2020-07-14
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAHAHFAh3SJ_aU8vmwWPPEpMhzNS3oze6CPS

"PR-2018-001470_SI-2019-00421_Site_Plan_Approved_2-5-20" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2020-07-14 - 3:50:50 AM GMT- IP address: 198.175.173.4
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
2020-07-14 - 3:56:10 AM GMT
-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature
2020-07-14 - 3:56:10 AM GMT
-  Email viewed by Jolene Wolfley (jwolfley@cabq.gov)
2020-07-14 - 2:29:05 PM GMT- IP address: 198.175.173.4
-  Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)
Signature Date: 2020-07-14 - 2:30:57 PM GMT - Time Source: server- IP address: 198.175.173.4
-  Email viewed by Kristopher Cadena (kcadena@abcwua.org)
2020-07-16 - 4:24:19 PM GMT- IP address: 216.243.115.198
-  Document e-signed by Kristopher Cadena (kcadena@abcwua.org)
Signature Date: 2020-07-16 - 9:46:25 PM GMT - Time Source: server- IP address: 216.243.115.198- Signature captured from device with phone number XXXXXXXX9912
-  Signed document emailed to Jolene Wolfley (jwolfley@cabq.gov), Kristopher Cadena (kcadena@abcwua.org) and Jay Rodenbeck (jrodenbeck@cabq.gov)
2020-07-16 - 9:46:25 PM GMT