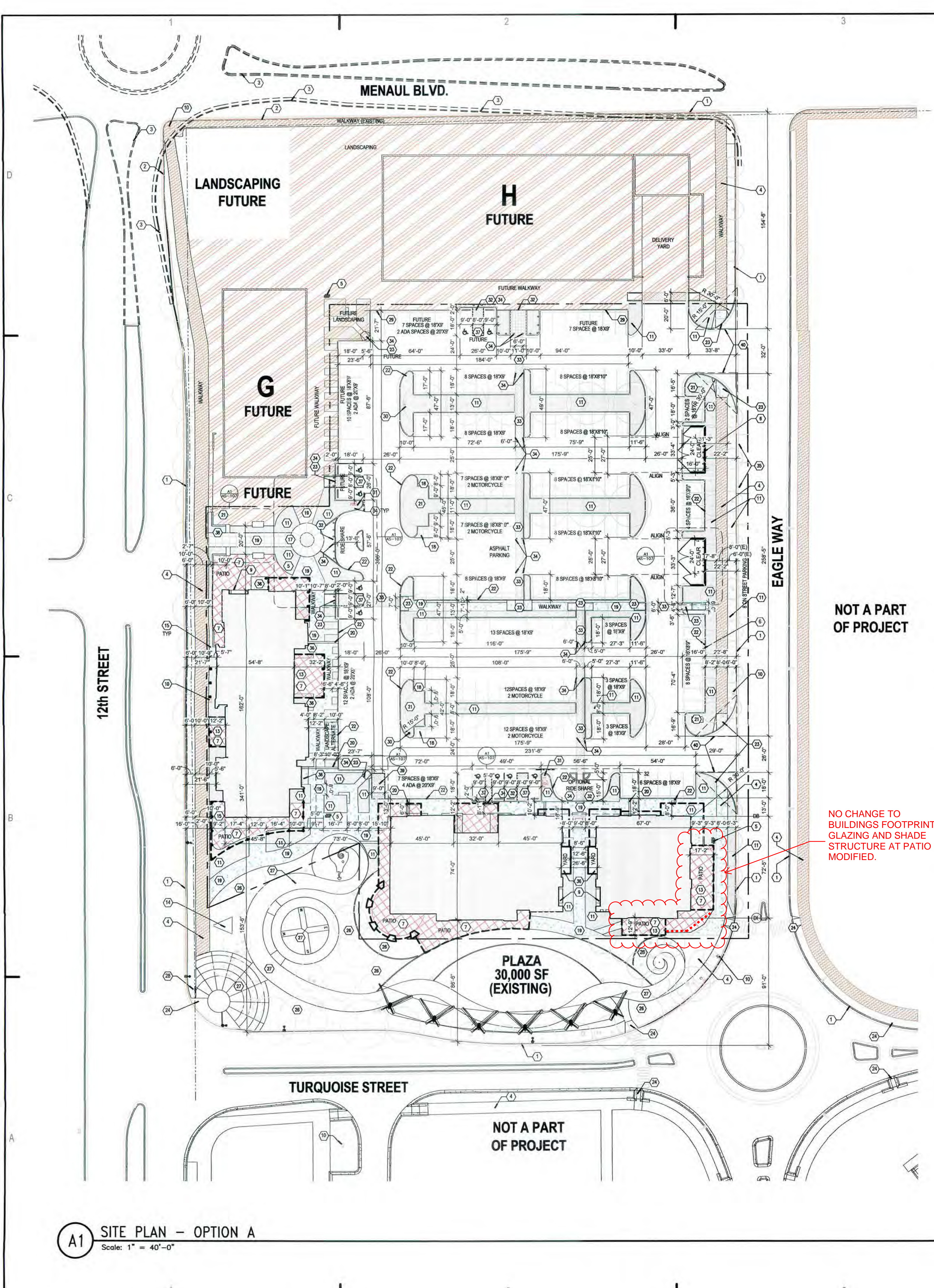


ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE



PROJECT NUMBER: PR-2018-001470
 APPLICATION NUMBER:
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 Traffic Engineer, Transportation Division Date: 1/27/20
 Water Utility Development Date: Jul 16, 2020
 Parks & Recreation Department Date: 1-29-20
 City Engineer Date: 1-29-20
 N/A Date: 7/6/2020
 * Environmental Health Department (conditional) Date:
 See attached sheet
 Solid Waste Management Date:
 DRB Chairperson, Planning Department Date: Jul 14, 2020
 * Environmental Health, if necessary

PARKING SPACE TABULATIONS

10	ACCESSIBLE SPACES AT 20' X 9'-0"
119	SPACES AT 18' X 9'-0"
54	SPACES AT 18' X 8'-10"
14	SPACES AT 16' X 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

ON STREET PARKING

205	TOTAL PARKING SPACES
-----	----------------------

ACCESSIBLE SPACES
 6 SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1
 150 REQUIRED SPACES
 REQUIRED: 6 SPACES
 ACTUAL: 10 SPACES

MOTORCYCLE
 5 SPACES REQ. (151-300) IDO 5-5-D
 REQUIRED: 5 SPACES
 ACTUAL: 8 SPACES

BICYCLE SPACES
 12TH & MENAUL ORDINANCE:
 1 SPACE PER 20 SPACES
 REQUIRED: 10 SPACES
 ACTUAL: 16 SPACES

IDO REQUIRED PARKING

BUILDING D - 4,500SF
 E - 8,000SF
 F - 8,500SF
 PROPOSED SF: 21,000 SF (BLDGS D, E, F)

FUTURE H - 8,000SF
 FUTURE G - 20,000SF

PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:

RETAIL:	4 SPACES/1000SF	PHASE 2 (PROPOSED)	10,000 GSF: 40 SPACES
RESTAURANT:	8 SPACES/1000SF	PHASE 3 (FUTURE)	11,000 GSF : 80 SPACES
RETAIL:	4 SPACES/1000SF		24,000 GSF: 96 SPACES
RESTAURANT:	8 SPACES/1000SF		4,000 GSF : 32 SPACES

TOTAL 256 SPACES

ORDINANCE 0-16-22: (PARKING REDUCTION)
 0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)
 REDUCTION - 64 SPACES
 REQUIRED: 192 TOTAL
 ACTUAL : 197 PARKING SPACES (OFF STREET)

SITE TABULATIONS:
 TOTAL ACREAGE OF PAD: 5.9 ACRES
 EXISTING PLAZA : .7 ACRES
 FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

LEGEND

[Hatched Box]	FUTURE BUILDING PAD
[Dotted Box]	NEW CONCRETE WALKWAY
[Cross-hatched Box]	NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
[White Box]	NEW LANDSCAPE
[Light Blue Box]	EXISTING CONCRETE WALKWAY
[Light Green Box]	EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS

STUDIO SW ARCHITECTS
 2101 Mountain Road NW Suite B | Albuquerque NM 87104
 505-843-9639 | www.studioswarch.com

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Code Enforcement Date: Jul 6, 2020

- GENERAL NOTES**
- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
 - SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
 - ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
 - ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
 - ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
 - IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
 - ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
 - CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

- SHEET KEYED NOTES**
- EXISTING EDGE OF CURB.
 - EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
 - FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MENAUL BLVD STREET IMPROVEMENT DRAWINGS.
 - EXISTING CONCRETE WALKWAY.
 - FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
 - TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
 - COLOR PATTERNED CONCRETE.
 - PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
 - PROPOSED BUILDING UTILITY LOCATION.
 - EXISTING FIRE HYDRANT LOCATION.
 - NEW LANDSCAPING.
 - FUTURE 6" CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
 - WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
 - PROPOSED ENTRY MONUMENT @ 12TH STREET.
 - 5'-6" MINIMUM CAFE SPACE.
 - NEW PATIO CONCRETE PAD.
 - PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
 - NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
 - NEW CONCRETE WALKWAY.
 - NEW ROOF DRAIN CULVERT. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
 - NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
 - NEW CONCRETE CURB.
 - NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
 - EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
 - EXISTING BIKE RACK LOCATION.
 - EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
 - EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
 - EXISTING TRAFFIC SIGNAL.
 - TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
 - PROPOSED FIRE HYDRANT LOCATION.
 - REMOTE FDC LOCATION.
 - FLUSH CURB FOR PEDESTRIAN ACCESS.
 - ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
 - BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
 - ON STREET PARKING.
 - OPTIONAL EMPLOYEE YARD T.B.D.
 - ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING"
 - ENTRY ARCH
 - LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
 - CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

AVANYU RETAIL
 2400 12TH STREET
 ALBUQUERQUE, NM 87104

Key Plan
 NTS

No	Date	Description
Revision Schedule		
ISSUE:		DRB
PROJECT NUMBER:		1836
FILE:		1836 SP01.DWG
DRAWN BY:		DS
CHECKED BY:		RH
DATE:		Project Issue Date

SITE PLAN FOR BUILDING PERMIT

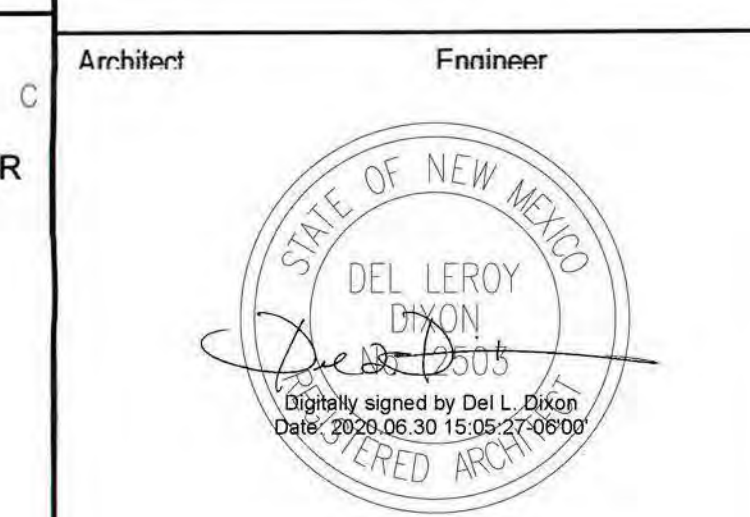
AS-101

PROJECT LOCATION: [Aerial map showing site location]

Scale: 1" = 40'-0"

PLAN NORTH TRUE NORTH

DRB SUBMITTAL



CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDING D



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS		
2	12/1/2020	Modifications
1	08-31-2020	BD Comments
No	Date	Description
Revision Schedule		

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

SHEET TITLE
BLDG D - FLOOR PLAN

A-101 D

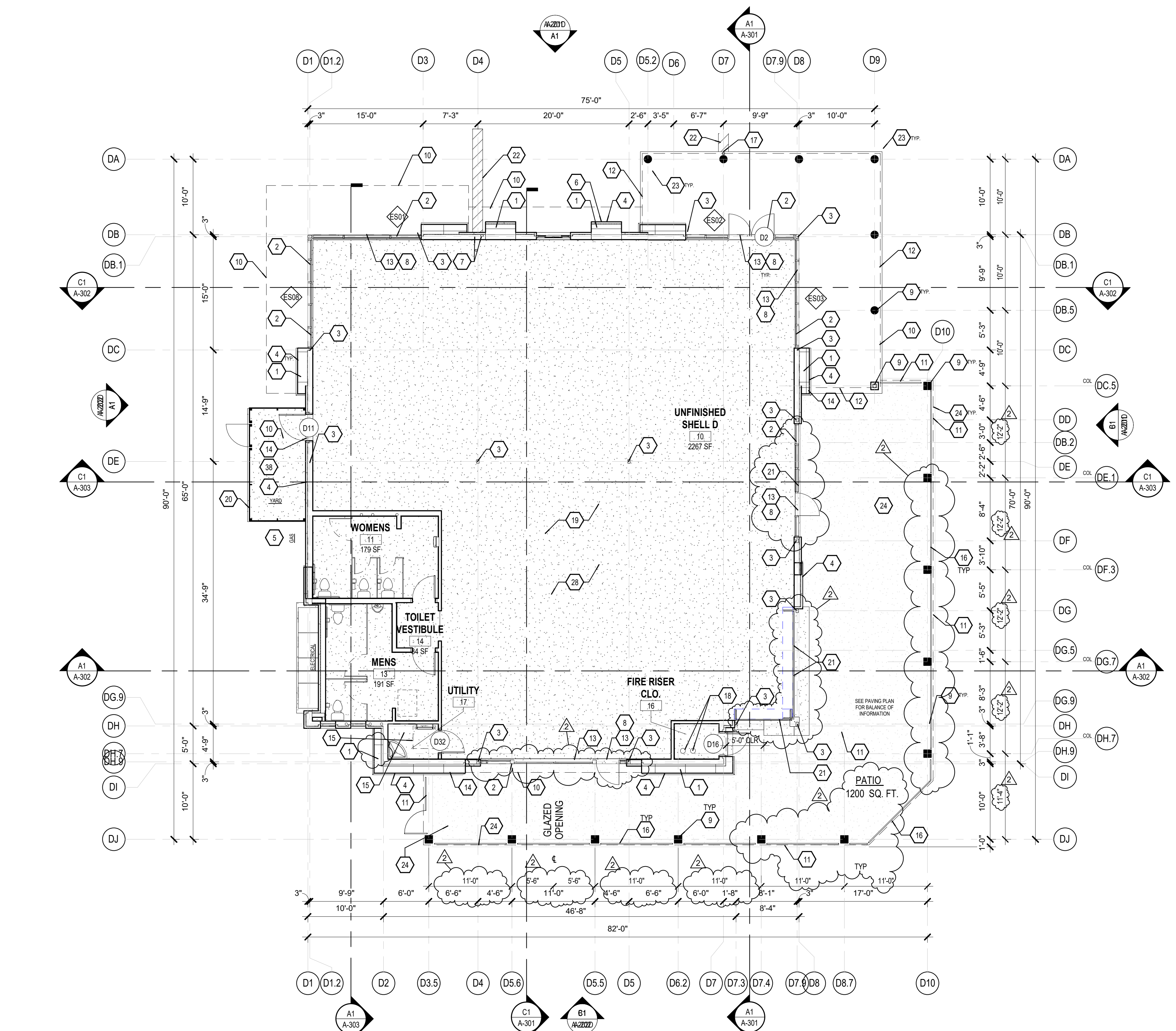
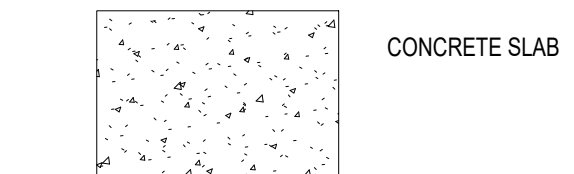
GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B. UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C. UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D. REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS.
- E. COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.
- F. REFER TO A-601 FOR DOOR AND FRAME TYPES. FINAL DOOR LOCATIONS TBD WITH OCCUPANT.
- G. UNDER FLOOR UTILITIES COMPLETED IN TENANT IMPROVEMENT.

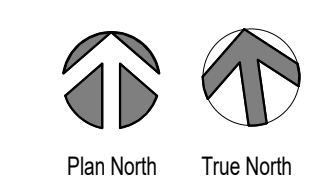
KEYED NOTES

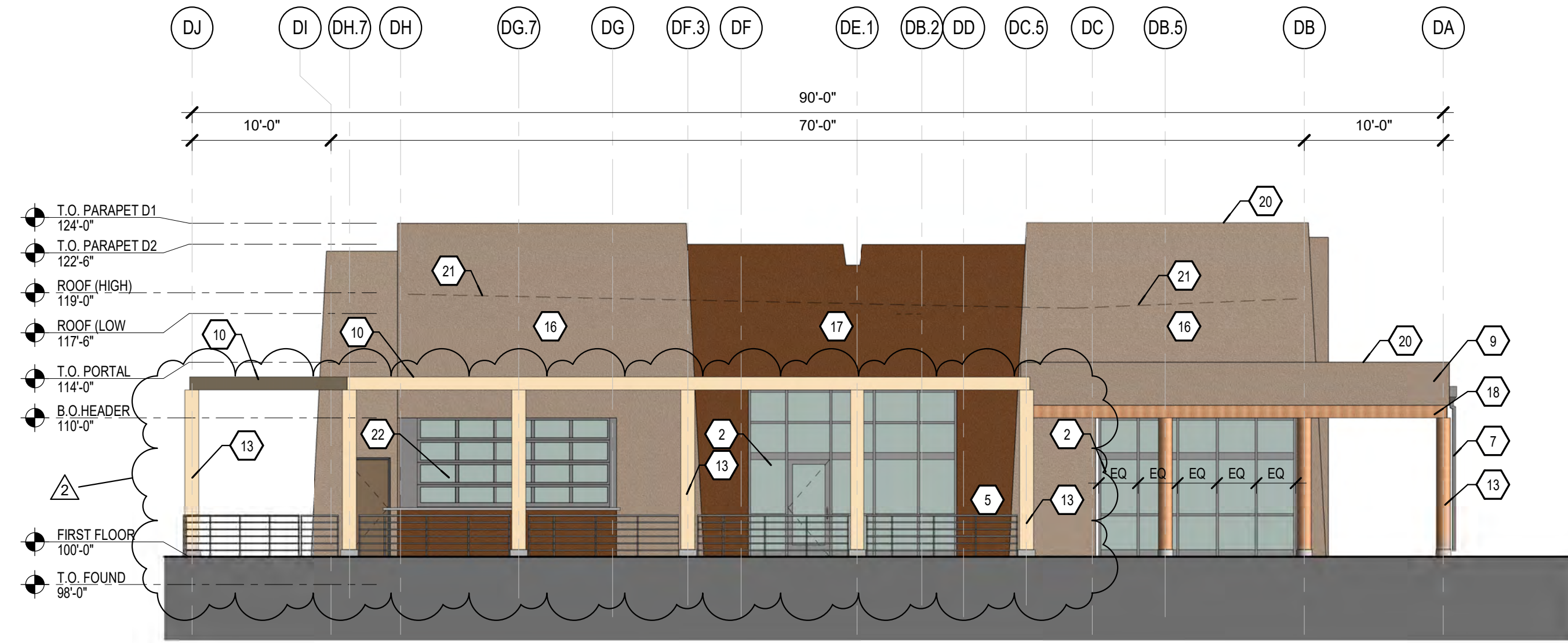
- 1. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS AND ELEVATIONS FOR ADDL INFORMATION
- 2. ALUMINUM STOREFRONT - TYPICAL
- 3. STEEL COLUMN - TYPICAL. SEE STRUCTURAL
- 4. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGID INSULATION ADHERED TO 12" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL INFO.)
- 5. GAS METER / UTILITY METER - SEE MECHANICAL AND PLUMBING DRAWINGS
- 6. KNOX BOX
- 7. ROOF DRAIN AND OVERFLOW WITHIN WALL. TAKE ROOF DRAIN THROUGH STEM WALL TO CULVERT. COORDINATE CONCRETE CULVERT TO ALIGN WITH OVERFLOW DRAIN. PROVIDE BRASS COW TONGUE AT OVERFLOW AND STEEL GRATE AND CULVERT.
- 8. DOOR/GATE PER SCHEDULE
- 9. WOOD COLUMN - TYP
- 10. OUTLINE OF ROOF STRUCTURE ABOVE
- 11. OUTLINE OF SHADE STRUCTURE ABOVE.
- 12. OUTLINE OF PORTAL ABOVE.
- 13. PROVIDE ELECTRICAL AT ALL POTENTIAL EXITS FOR FUTURE EXIT SIGNAGE.
- 14. KEY OPERATED TAMPER PROOF HOSE BIBB LOCATED AT EXTERIOR WALL.
- 15. OUTLINE OF ROOF ACCESS HATCH ABOVE. VERIFY FINAL LOCATION.
- 16. PAINTED STEEL FENCE/ GUARDRAIL. REFER TO GUARDRAIL OPTIONS DETAILS CS, DS, ES, & ES SHEET AS-105.
- 17. FACTORY PAINTED METAL DOWNSPOUT
- 18. FIRE RISER LOCATION COORDINATE.
- 19. COORDINATE CONCRETE SLAB SAW CUT PATTERN, COLOR AND FINISH WITH ARCHITECT. SEE SLAB PLAN SHEET A-100 FOR ADDL. INFO.
- 20. 6'-6" TALL YARDWALL
- 21. ROLL-UP DOOR TO MATCH ALUMINUM SF FINISH.
- 22. CONCRETE CULVERT AND STEEL GRATE PER DETAIL
- 23. CONCRETE FOOTING - SEE STRUCTURAL
- 24. CONCRETE PATIO SLAB. SCORED W/ INTERGRATED COLOR. SEE SHEET A-100 FOR ADDL. INFO.
- 25. SANITARY PIPE PENETRATION TO TOILET
- 26. FLOOR DRAIN AT TOILET ROOM - VERIFY WITH FUTURE T.I. TOILET ROOM PLAN
- 27. EDGE OF PERIMETER STEM WALL - SEE STRUCTURAL FOR BALANCE OF INFORMATION
- 28. CONCRETE SLAB - COORDINATE WITH TENANT IMPROVEMENTS DRAWINGS FOR FINAL PENETRATION LOCATIONS AND UNDERGROUND UTILITIES - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- 29. POINT OF ORIGIN - ALIGN WITH CENTER OF DOOR OPENING
- 30. 10' X 10' SAW CUT CONTROL JOINT. REFER TO STRUCTURAL FOR DEPTH OF JOINT.
- 31. 3/8" RECESS AT CONCRETE SLAB FOR WALKOFF MAT
- 32. RECESS AREA FOR FUTURE TILE.
- 33. SLOPE TO DRAIN
- 34. ELECTRICAL STUB UP PENETRATION
- 35. PLUMBING STUB-UP PENETRATION
- 36. FLOOR SINK LOCATION
- 37. MOP SINK DRAIN
- 38. OPTIONAL YARD

LEGEND



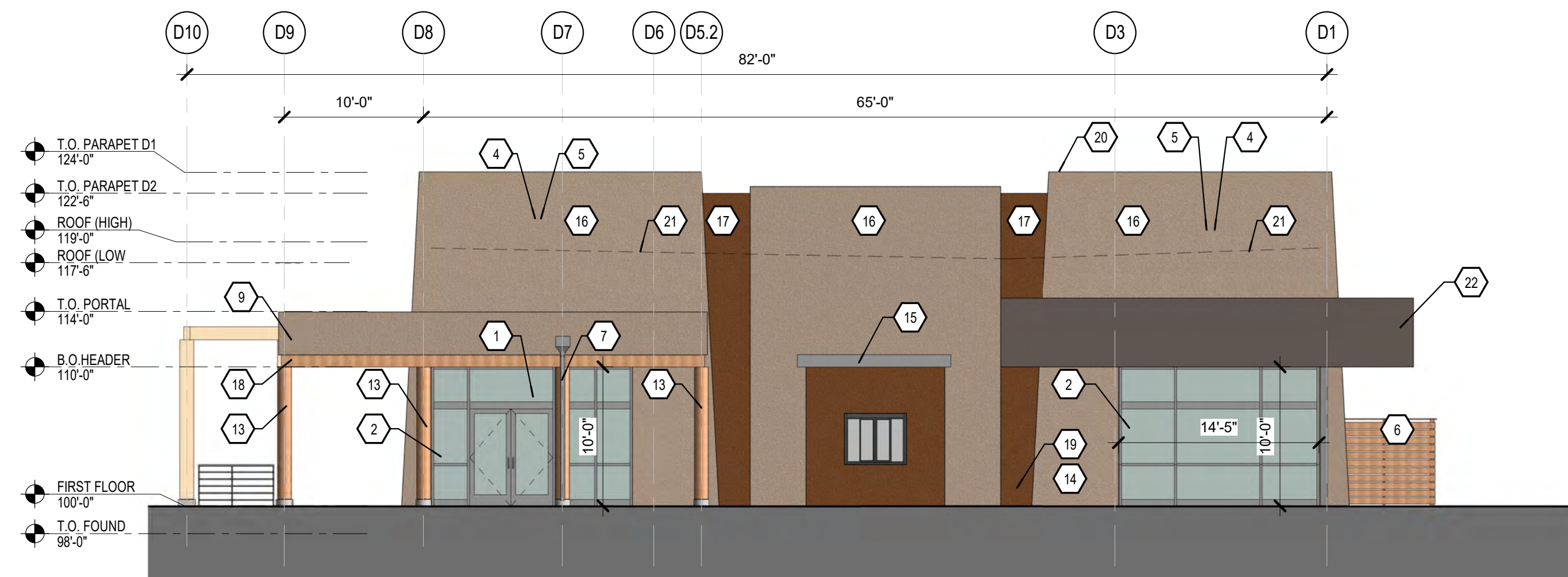
A1 1ST FLOOR PLAN
1/8" = 1'-0"





B1 EAST BUILDING ELEVATION

1/8" = 1'-0"



A1 NORTH BUILDING ELEVATION

1/8" = 1'-0"

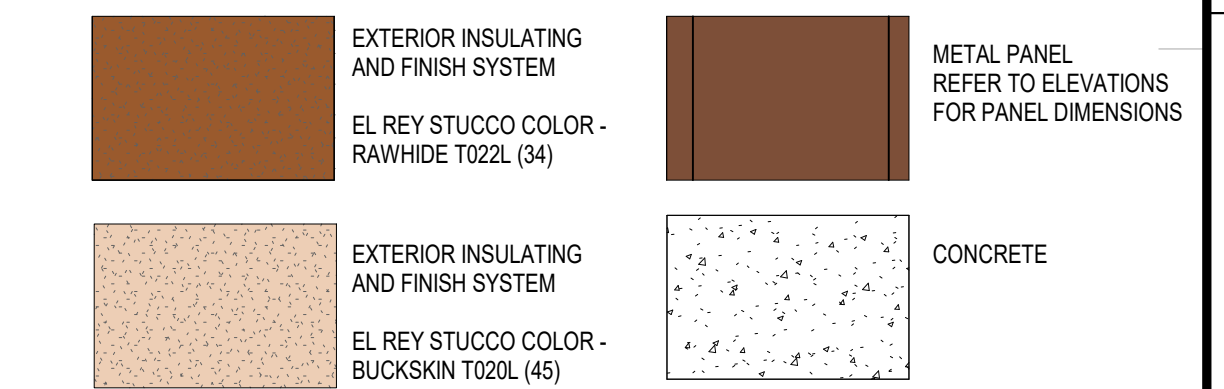
GENERAL NOTES

- A. COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B. GRADE VARIES, REFER TO CIVIL FOR EXTERIOR FINISH GRADES.
- C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
- D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5'X3' AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL. SEE DETAIL E6A-S01 FOR ADDL. INFO.

KEYED NOTES

- 1. ADDRESS IDENTIFICATION CENTERED ABOVE DOORWAY. LETTERING SHALL BE MINIMUM OF 12 INCHES HIGH WITH A MINIMUM BRUCH STROKE WIDTH OF 2 INCHES.
- 2. STOREFRONT GLAZING SYSTEM.
- 3. BACK OF HOUSE EMPLOYEE ACCESS.
- 4. FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.
- 5. PROVIDE ELECTRICAL AT WALL.
- 6. YARD WALL.
- 7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
- 8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
- 9. PORTAL.
- 10. TRELLIS SHADE STRUCTURE.
- 11. STEEL FENCE AT PATIO YARD PAINTED BLACK 42" TALL.
- 12. EXIT ACCESS GATE ONLY WITH PANIC HARDWARE.
- 13. WOOD COLUMN.
- 14. BRASS COW TONGUE AT WALL. FOR OVERFLOW DRAIN.
- 15. ALUMINUM EYEBROW AT WINDOW.
- 16. TWO COAT SYNTHETIC STUCCO W/CRACKMASTER OVER 1" RIGI ISN/JALTONA ADHERED TO 1/2" SHEATHING OVER 2X WOOD FURRING OVER WALL FRAMING (SEE WALL TYPES FOR ADDL. INFO.)
- 17. EXTERIOR WALL VARIES IN THICKNESS AND FORM REFER TO WALL SECTIONS FOR ADDL. INFORMATION.
- 18. WOOD BEAM.
- 19. ROOF DRAIN AND OVERFLOW AT PORTAL - INSTALL SPLASH BLOCK BELOW.
- 20. PAINTED METAL COPING.
- 21. ROOF SLOPE.
- 22. OPERABLE GLAZING / ROLL UP - GARAGE DOOR TYPE.

LEGEND



MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED. FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

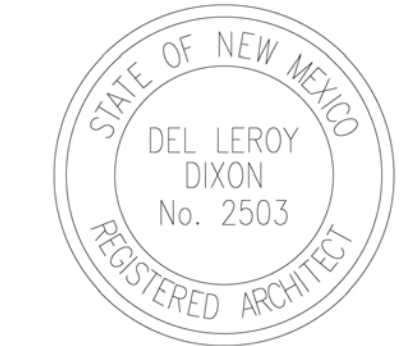
REQUIRED GLAZING

TOTAL FACADE AREA FACING PLAZA: 1,020 SF
40% MIN. OF AREA REQUIRED TO BE GLAZED: 408 SF
TOTAL PROPOSED AREA OF GLAZING FACING PLAZA: 410 SF (40%)

CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDING D



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Modifications	Description
2	12/1/2020	Modifications	

Revision Schedule

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

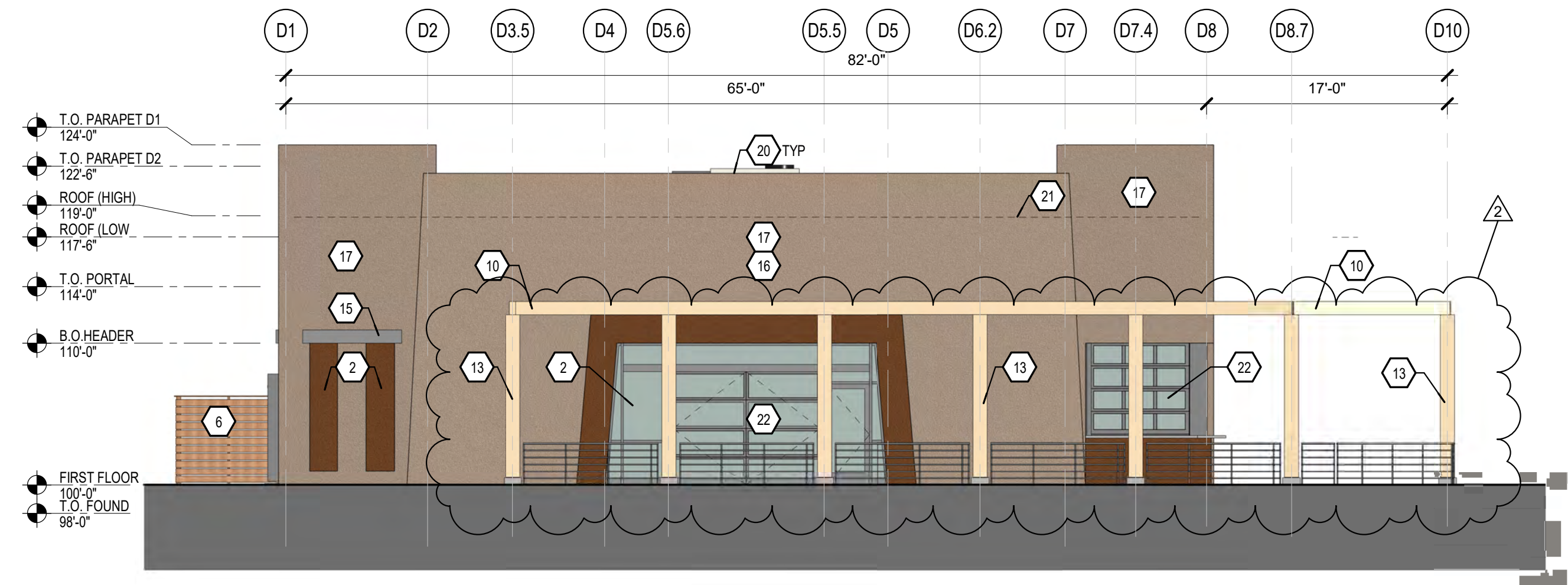
SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

A-201D

12/18/2020 12:11:11 AM

C:\Users\adolares\Documents\1836 Avanyu D - Central_dsolares.rvt



B1 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



A1 WEST BUILDING ELEVATION
1/8" = 1'-0"

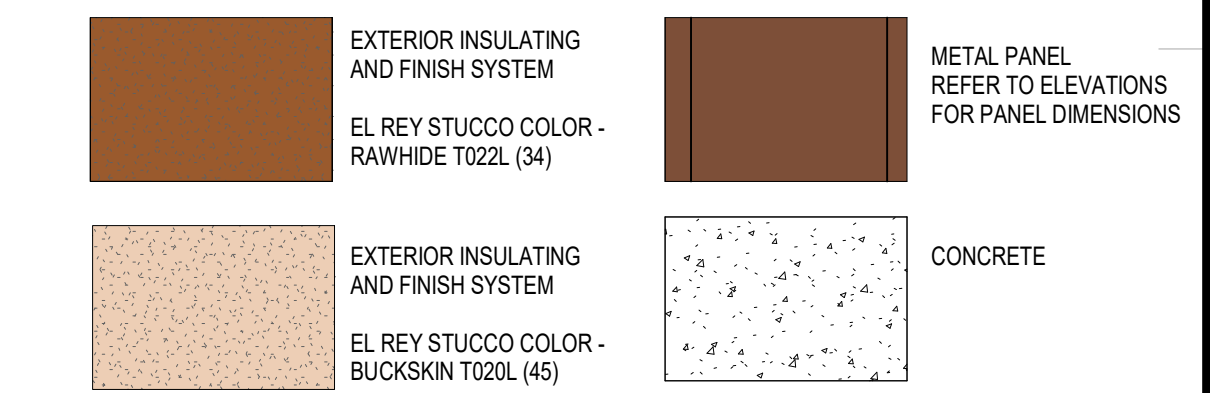
GENERAL NOTES

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- C. FINAL DOOR LOCATIONS T.B.A. COORDINATE WITH FUTURE TENANT.
- D. BUILDING MOUNTED SIGNS SHALL NOT EXCEED AN AREA OF 6 PERCENT OF THE FACADE. LOGO SIZE SHALL NOT EXCEED 5X5 AND 2 FEET IN HEIGHT. 6 PERCENT OF THE AREA INCLUDES THE SIGNAGE AND THE LOGO. SIGNAGE IS NOT A PART OF THIS SUBMITTAL. SEE DETAIL E6/A-301 FOR ADDL. INFO.

KEYED NOTES

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- 2. STOREFRONT GLAZING SYSTEM.
- 3. BACK OF HOUSE EMPLOYEE ACCESS.
- 4. FUTURE SIGNAGE LOCATION. SEPARATE PERMIT REQUIRED.
- 5. PROVIDE ELECTRICAL AT WALL.
- 6. YARD WALL.
- 7. PAINTED DOWNSPOUT AND LEADER HEAD WITH OVERFLOW. SEE DETAIL.
- 8. METER LOCATION - EXPOSED LINES PAINTED TO MATCH EIFS COLOR CODE.
- 9. PORTAL.
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- 21. ROOF SLOPE.
- 22. OPERABLE GLAZING / ROLL UP - GARAGE DOOR TYPE.

LEGEND



MATERIALS AND COLORS

COLORS SHOWN ARE IPFDC AND SSWA APPROVED. FINISHES AND COLORS ON ELEVATIONS ARE FOR REFERENCE ONLY.

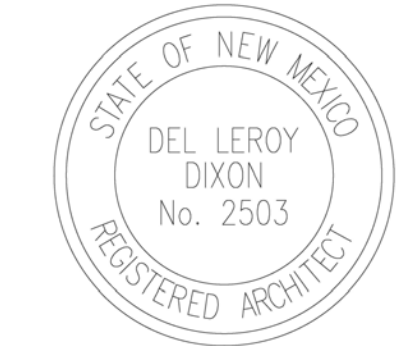
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TOTAL PROPOSED AREA OF GLAZING FACING PLAZA: 410 SF (40%)

CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDING D



2500 12th Street
ALBUQUERQUE, NM

Key Plan

NTS

No	Date	Modifications	Description
2	12/1/2020	Modifications	

Revision Schedule

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

A-202D