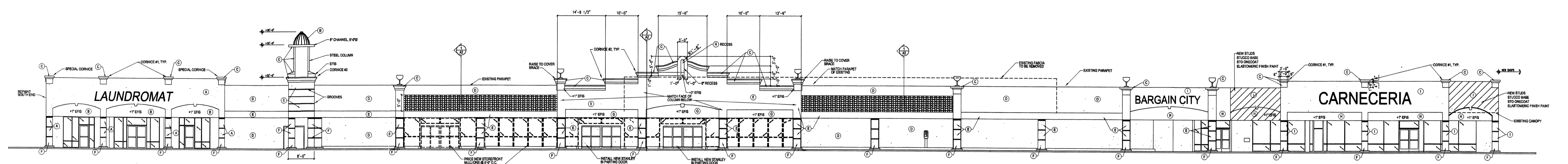
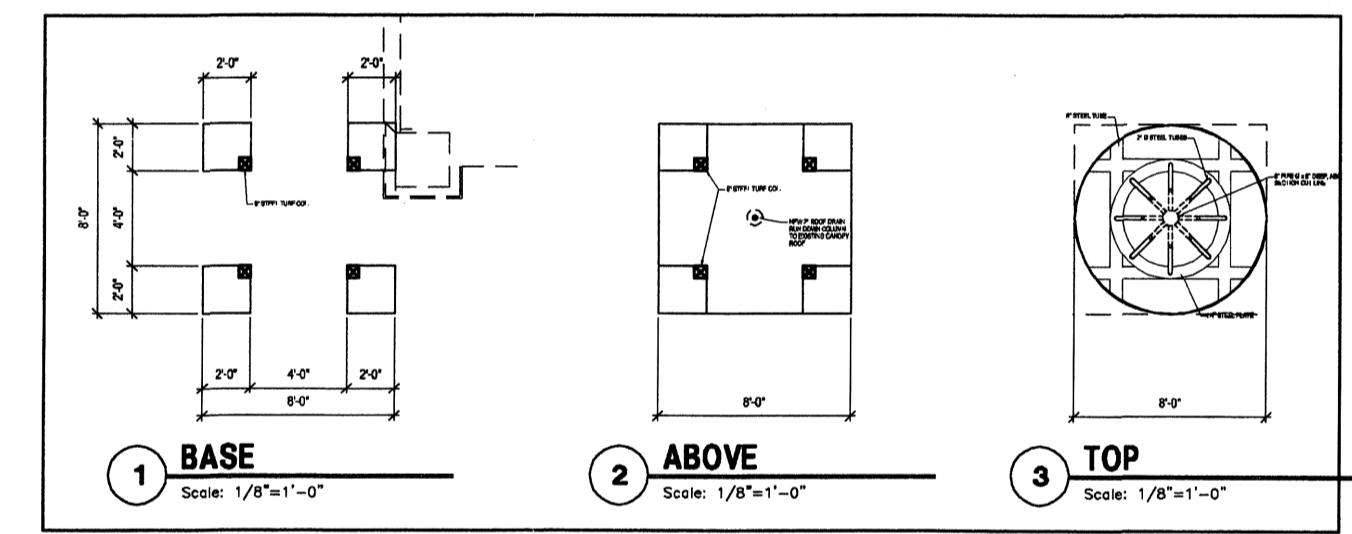


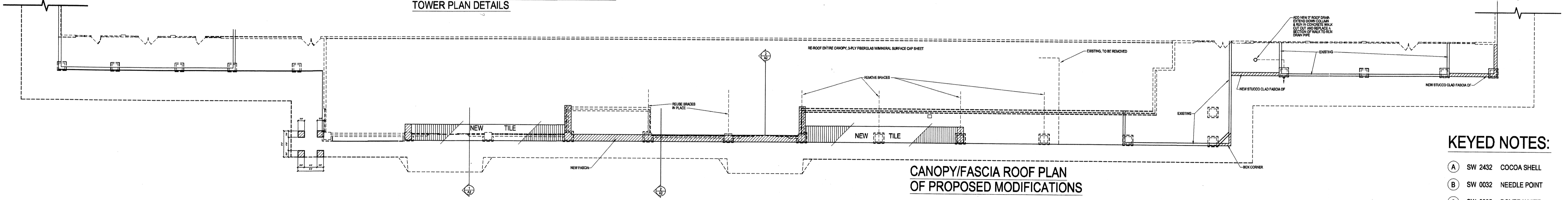
EXISTING EAST ELEVATION



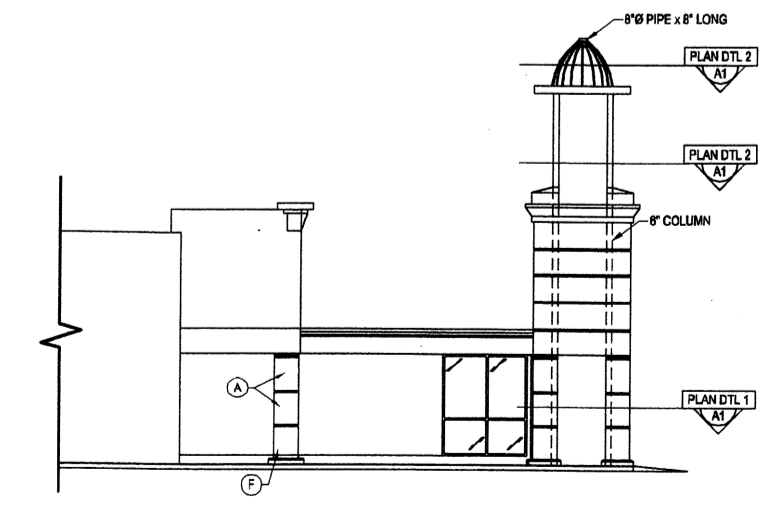
PROPOSED EAST ELEVATION



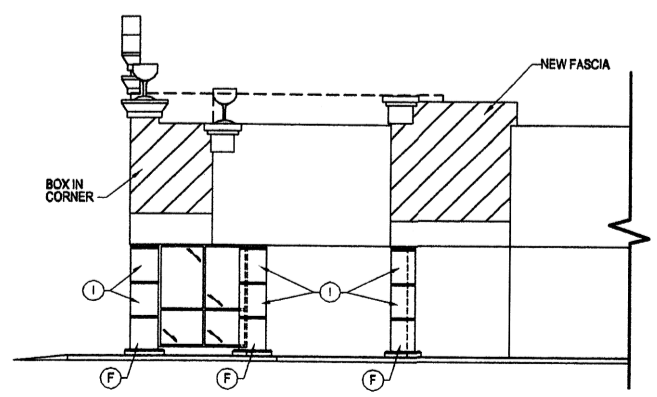
TOWER PLAN DETAILS



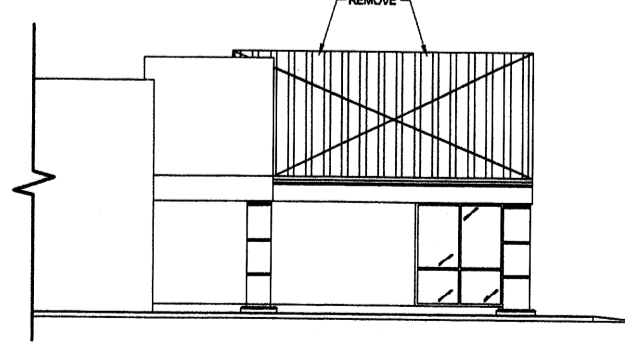
CANOPY/FASCIA ROOF PLAN OF PROPOSED MODIFICATIONS



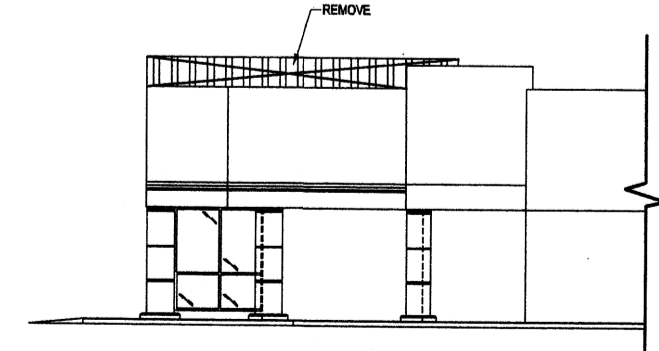
PROPOSED PARTIAL S. ELEV.



PROPOSED PARTIAL N. ELEV.



EXISTING PARTIAL SOUTH ELEVATION



EXISTING PARTIAL NORTH ELEVATION

KEYED NOTES:

- (A) SW 2432 COCOA SHELL
- (B) SW 0032 NEEDLE POINT
- (C) SW 6385 DOVER WHITE
- (D) SW 0033 REMBRANDT RUBY
- (E) SW 6147 PANDA WHITE
- (F) SW 2155 GEORGETOWN
- (G) SW 6675 AFTERNOON
- (H) SW 6240 WINDY BLUE LRV
- (I) SW 6378 CRISP LINEN
- (J) SW 2058 BARCELONA BEIGE

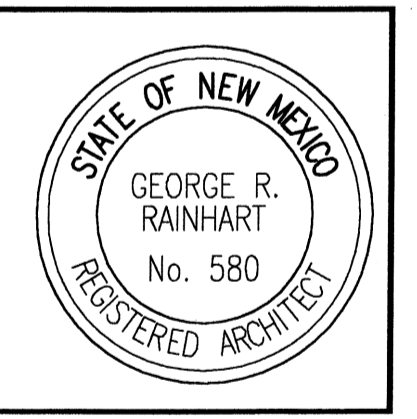
ROOF TILE: MONIER LIFETILE SOUTHERN NEVADA HOPI BLEND 1 ESS 0 644 SLURRY FINISH

ADMINISTRATIVE AMENDMENT

File # 011A-00499 Project # 1003367
 Remodel facade as shown
 APPROVED BY: [Signature] DATE: 4-12-04

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: **FOX PLAZA REMODEL**
 SAN PEDRO ROAD SOUTHEAST
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER: SHAWN W. ANDERSON
 DRAWN BY: SVA
 JOB NO.: 318A
 SHEET TITLE: **REMODEL ELEVATIONS**

DATE: sheet-
 SCALE: **A5**
 AS NOTED of

PETERSON PROPERTIES, LLC

201 SAN PEDRO BLVD S.E., ALBUQUERQUE, NM

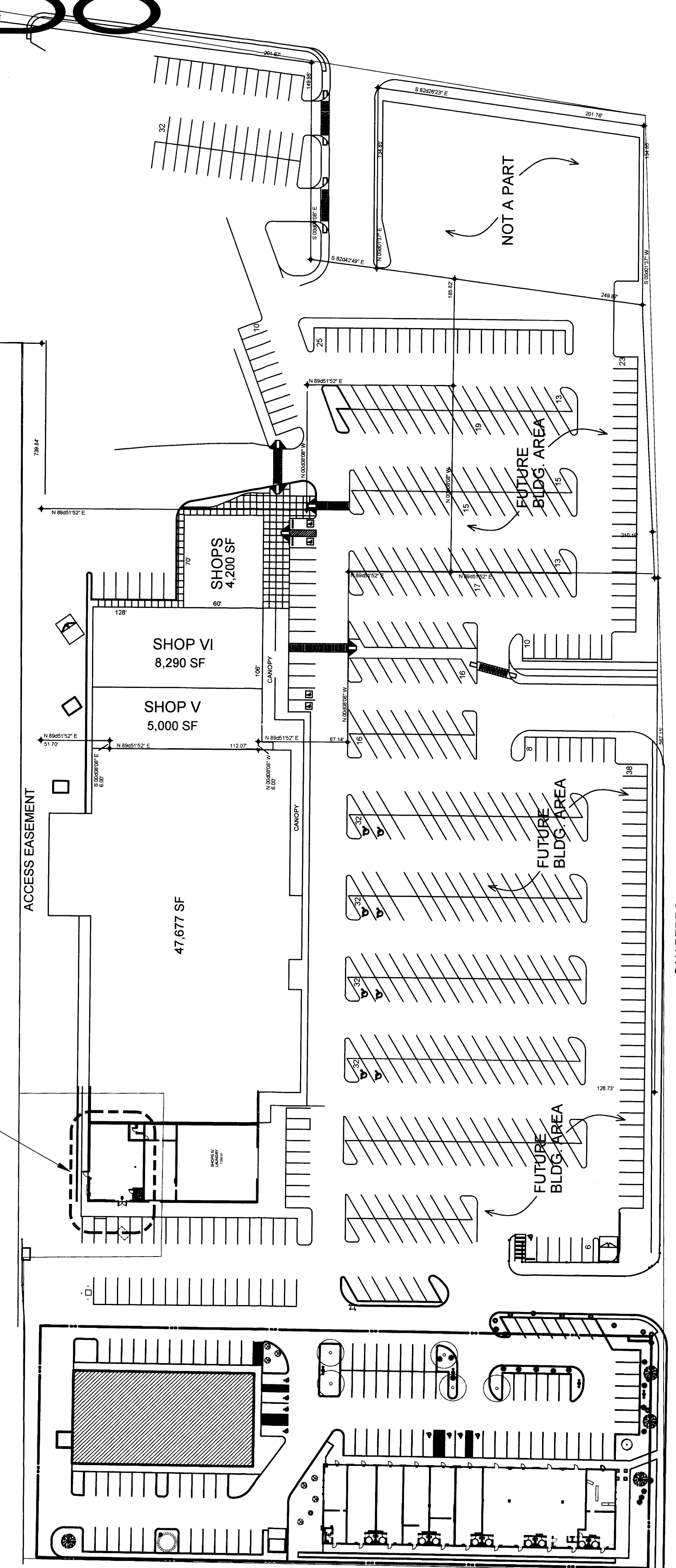
CENTRAL MERCADO

SHELL IMPROVEMENT

ADDRESS	
201 SAN PEDRO DRIVE SE ALBUQUERQUE, NEW MEXICO 87108	
LEGAL DESCRIPTION	
LOT 4F, BLOCK 0000 TIJERAS PLACE IMPROVEMENT CO INC ALBUQUERQUE, NM UPC: 101805722705731324	
ZONING	
C2	
BUILDING AREAS	
EXISTING BUILDING	2,440 SF
PARKING	
EXISTING - NO CHANGE	

AREA OF RENOVATION

ADMINISTRATIVE AMENDMENT
 FILE # 16 AA PROJECT # 1003247
 NEW SOUTH BUILDING
 ELEVATION
 APPROVED BY *[Signature]* DATE 12-19-16



SITE PLAN

1" = 60'-0"



MARTIN F.M. GRUMMER
 ARCHITECT
 137 WILKEY PLACE NE
 ALBUQUERQUE, NEW MEXICO 87106
 (505) 265-2507



PETERSON
 PROPERTIES

201 SAN PEDRO BLVD. SE
 CENTRAL MERCADO
 ALBUQUERQUE, NM 87108

SITE PLAN

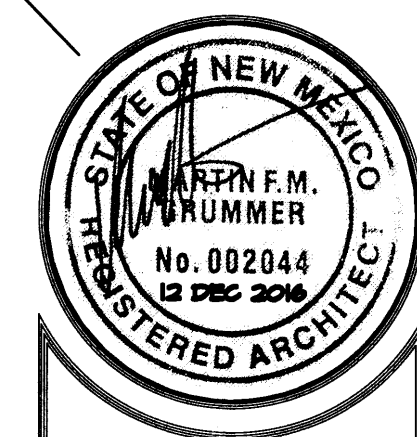
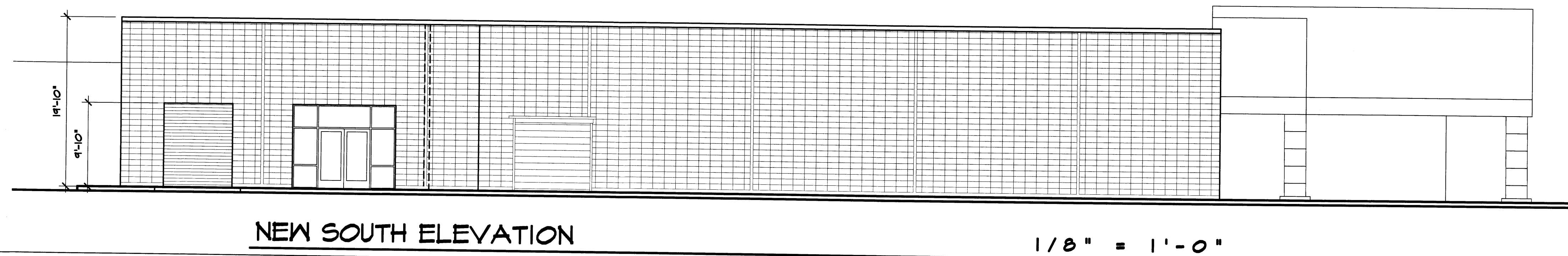
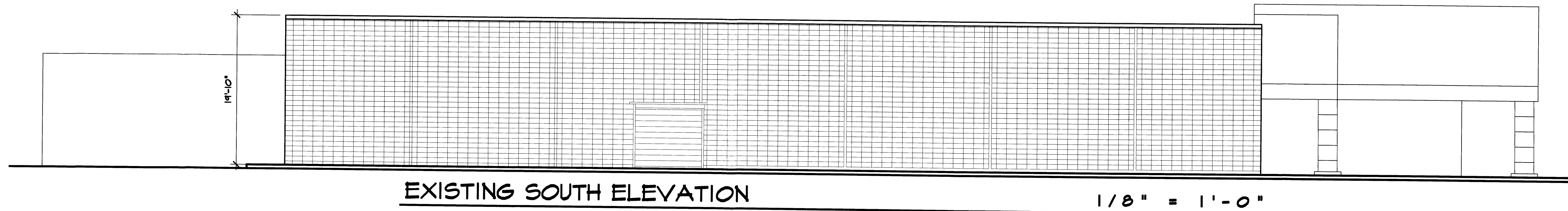
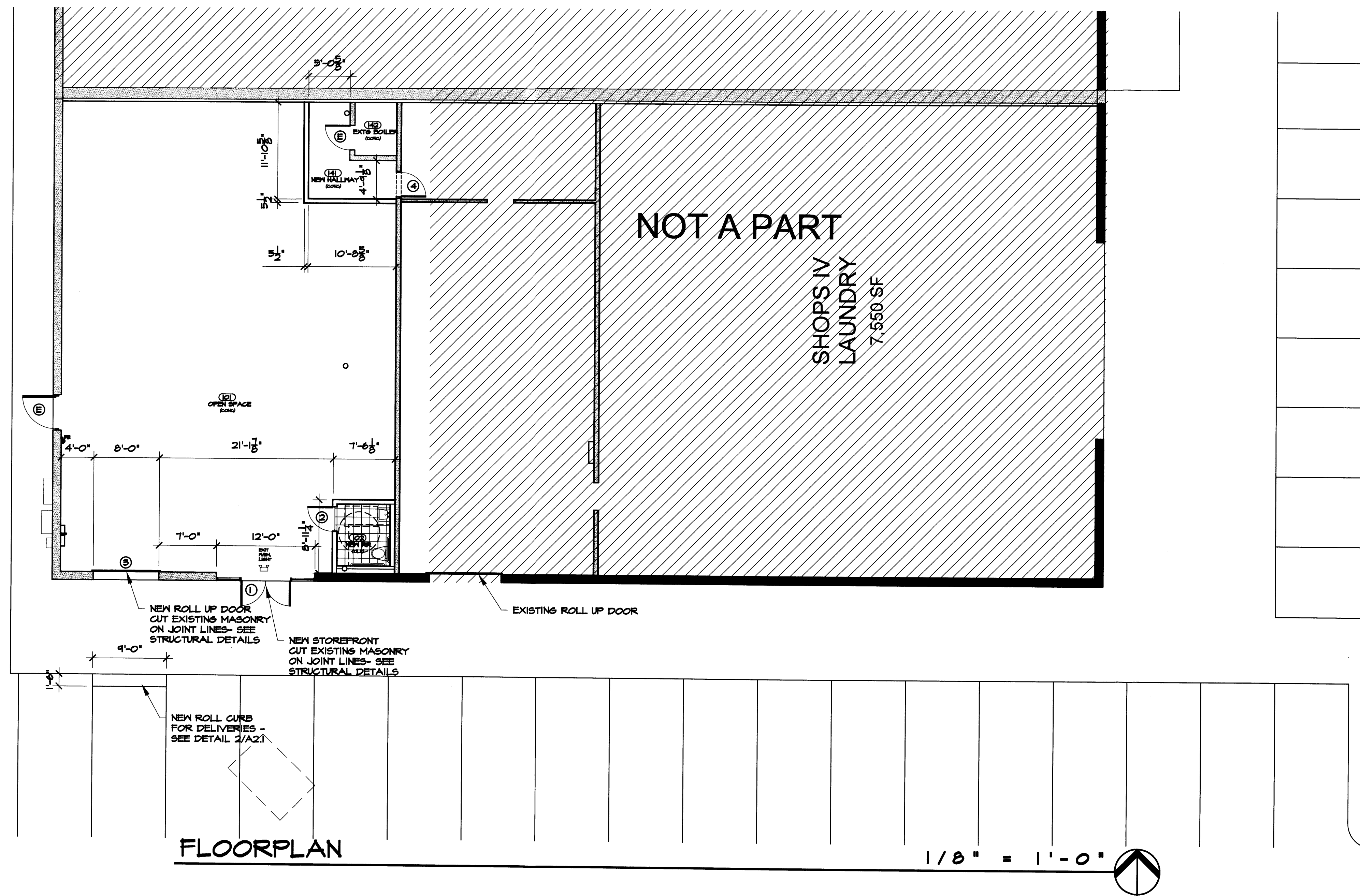
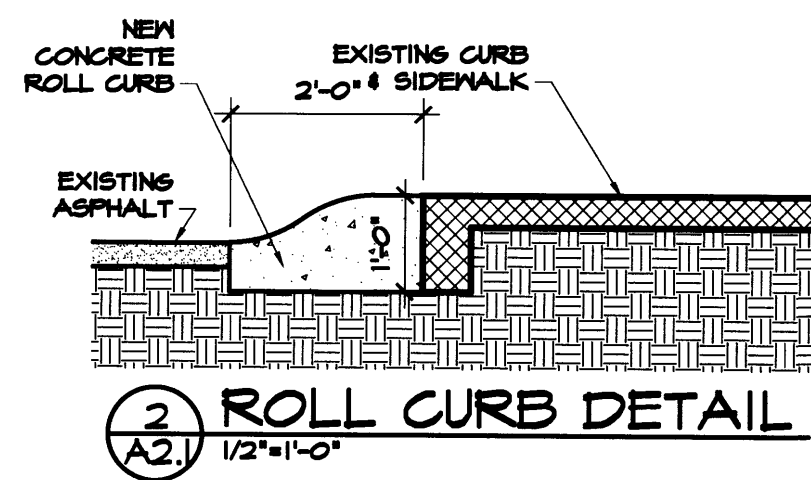
DATE:	12 DEC 2016
DRAWN BY:	MFMG
CHECKED BY:	
VERIFIED BY:	

REVISIONS

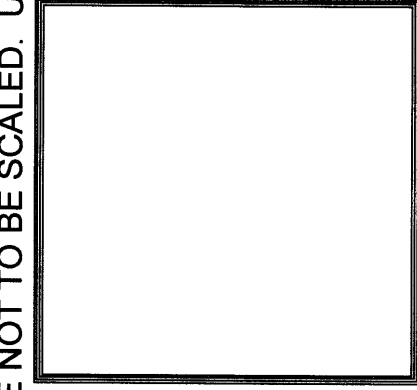
SHEET NO:
A1.2

201 San Pedro Blvd SE

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



MARTIN F.M. GRUMMER
ARCHITECT
333 WILSON PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507



201 SAN PEDRO BLVD. SE
CENTRAL MERCADO
ALBUQUERQUE, NM 87108

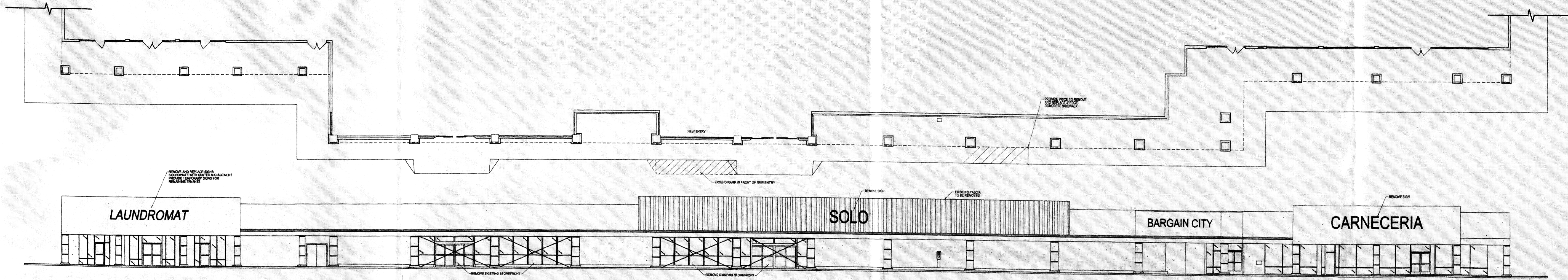
FLOORPLAN

DATE: 12 DEC 2016
DRAWN BY: MFM
CHECKED BY:
VERIFIED BY:

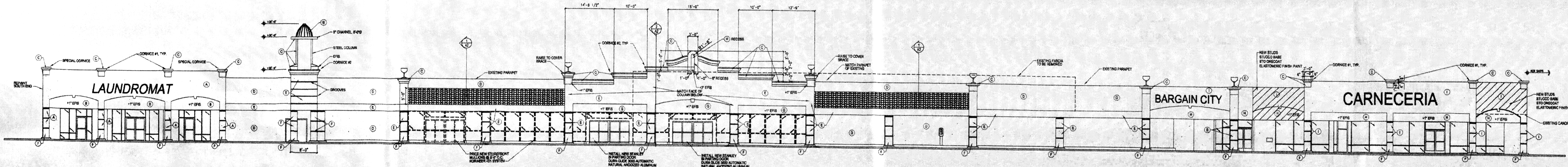
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SHEET NO:
A2.1

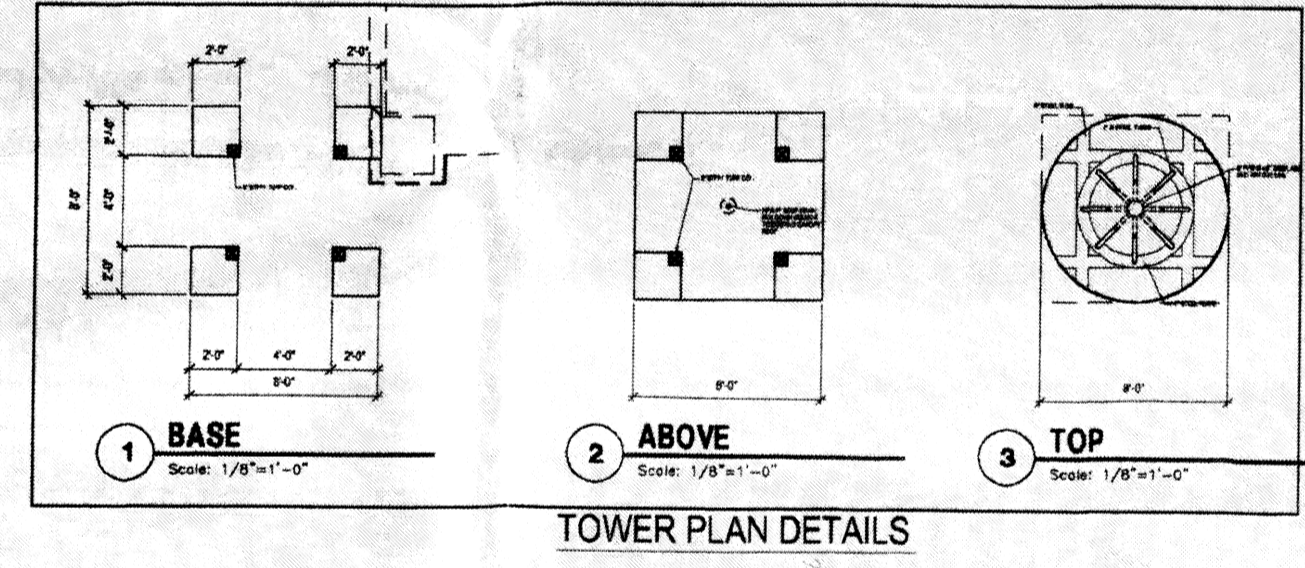
ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



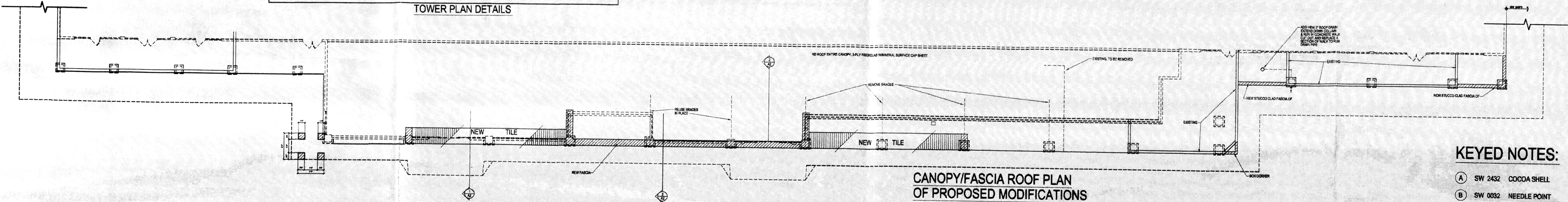
EXISTING EAST ELEVATION



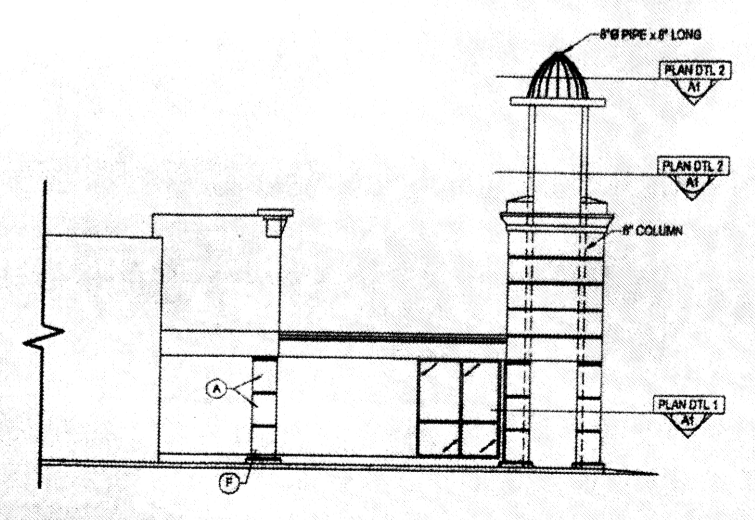
PROPOSED EAST ELEVATION



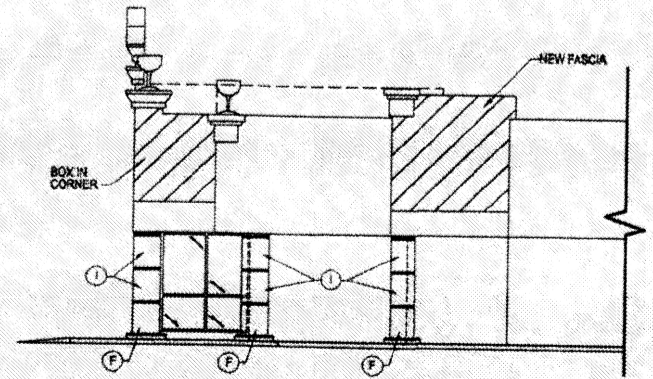
TOWER PLAN DETAILS



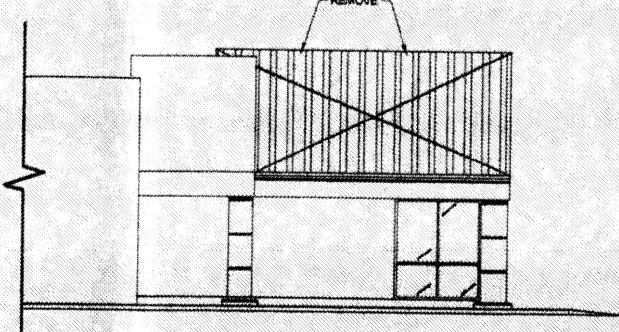
CANOPY/FASCIA ROOF PLAN OF PROPOSED MODIFICATIONS



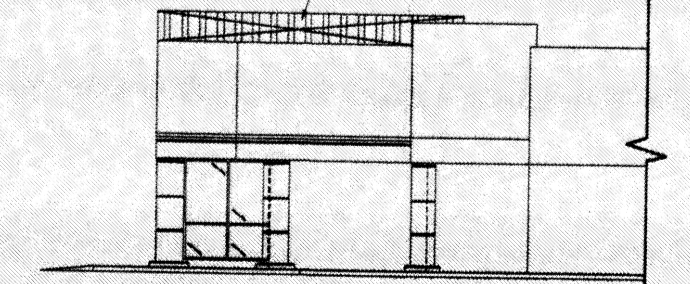
PROPOSED PARTIAL S. ELEV.



PROPOSED PARTIAL N. ELEV.



EXISTING PARTIAL SOUTH ELEVATION



EXISTING PARTIAL NORTH ELEVATION


KEYED NOTES:

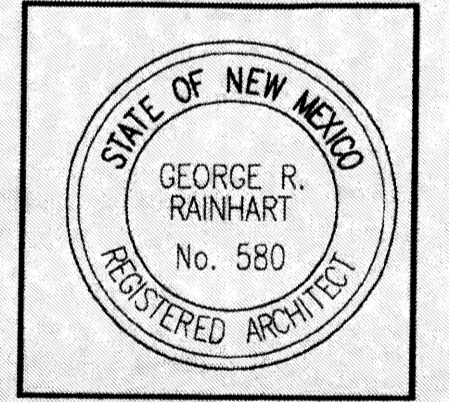
- A SW 2432 COCOA SHELL
- B SW 0032 NEEDLE POINT
- C SW 6386 DOVER WHITE
- D SW 0033 REMBRANDT RUBY
- E SW 6147 PANDA WHITE
- F SW 2155 GEORGETOWN
- G SW 6676 AFTERNOON
- H SW 6240 WINDY BLUE LRV
- I SW 6376 CRISP LINEN
- J SW 2058 BARCELONA BEIGE

ROOF TILE: MONIER LIFETILE SOUTHERN NEVADA
HOPK BLEND 1 ESS 0 644
SLURRY FINISH

ADMINISTRATIVE AMENDMENT
 File # 042A-00199 Project # 1003367
Remodel facade as shown
 APPROVED BY: *[Signature]* DATE: 2-12-04

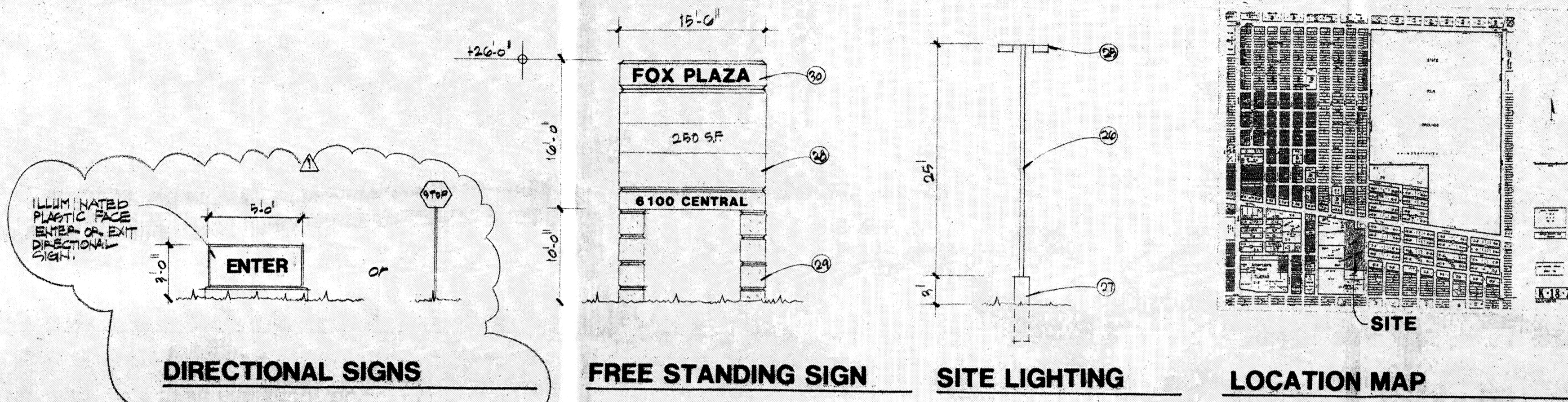
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			


 GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
 2325 SAN PEDRO NE., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE FOX PLAZA REMODEL		DRAWN BY: SMA
SAN PEDRO ROAD SOUTHEAST ALBUQUERQUE, NEW MEXICO		
PROJECT MANAGER SHAWN LANGRISH	JOB NO. 3104	SHEET TITLE REMODEL ELEVATIONS
DATE: _____		
SCALE: AS NOTED	sheet: A5	

1003367



- GENERAL NOTES**
1. MAINTENANCE OF LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER. A SPRINKLER AND Drip SYSTEM WILL PROVIDE WATERING.
 2. BYCYCLE RACKS TO BE PROVIDED TO ALLOW FOR 1 BIKE SPACE/20 CAR PARKING SPACES.
 3. LANDSCAPING EXCEEDS 7% OF PARKING AREA.
- KEYED NOTES**
1. FREE STANDING SIGN. SEE ELEVATION.
 2. MONUMENT SIGN. SEE ELEVATION.
 3. REFUSE DUMPSTER LOCATION PER CITY REQUIREMENTS.
 4. HANDICAP PARKING SPACE PER CITY REQUIREMENTS.
 5. LANDSCAPE AREA.
 6. ASPHALT PAVING.
 7. 6" PUBLIC SIDEWALK.
 8. CURB CUT FOR HANDICAP ACCESS.
 9. CONCRETE SIDEWALKS.
 10. PAINTED PARKING STRIPING.
 11. POLE AND SHOEBOX FIXTURE.
 12. PAINTED PEDESTRIAN CROSSWALK.
 13. BICYCLE RACK.
 14. EXISTING MEDIAN.
 15. DIRECTIONAL SIGN.
 16. EXISTING FREESTANDING SIGN TO REMAIN.
 17. EXISTING 6" PUBLIC SIDEWALK.
 18. SITE LIGHTING POLES.
 19. NEW ENTRANCE TO FOX PLAZA.
 20. DRAINAGE EASEMENT.
 21. EXISTING CONCRETE SIDEWALKS.
 22. LARGE PLANTER POTS. 4" DIAMETER.
 23. EXISTING FREE STANDING SIGN TO BE REMOVED. NEW SIGN TO BE CONSTRUCTED.
 24. CUTS IN LANDSCAPING ISLANDS TO PROVIDE DRAINAGE. EXISTING STANDARDS TO BE RELAINED AND PAINTED TO MATCH LIGHT POLES.
 25. NEW POLES TO BE PAINTED TO MATCH COLOR OF COLUMNS OF BUILDING.
 26. CONCRETE BASE PAINTED TO MATCH LIGHT POLE.
 27. PLASTIC FACE IN CAN.
 28. BASE OF SIGN TO MATCH COLUMNS OF BUILDINGS.
 29. BURGUNDY COLORED CAP.
 30. REMOVE EXISTING CURB CUT AND REPLACE WITH NEW CONCRETE CURB AND GUTTER AND 6" WIDE SIDEWALK.
 31. REMOVE EXISTING CURB CUT AND 6" WIDE SIDEWALK.
 32. REMOVE EXISTING CURB CUT, REPLACE WITH NEW ENTRANCE.

TABULATION OF AREAS

TOTAL SITE AREA:	9.5191 AC (414,652 S.F.)
TOTAL BUILDING AREA:	94,079 S.F.

EXISTING BUILDINGS

SAFeway	47,677 S.F.
SPACE A	7,056 S.F.
SPACE B	13,322 S.F.
EXISTING CAFETERIA	16,271 S.F.
EXISTING OFFICE BUILDING	2,872 S.F.
SUBTOTAL	87,198 S.F.

NEW ADDITION

TOTAL	6,881 S.F.
TOTAL	94,079 S.F.

PAVED AREA: 292,013 S.F.

LANDSCAPING AREA REQUIRED: 292,013 S.F. X 7% = 20,441 S.F.

LANDSCAPING AREA PROVIDED: 26,560 S.F. (AREA REPRESENTS 9.6% OF PAVED AREA)

OFF-STREET PARKING REQUIREMENTS

PARKING BY AREA		PARKING BY SEATS	
EXISTING BUILDINGS	70,927 S.F.	EXISTING CAFETERIA	250 SEATS
EXISTING CAFETERIA	16,271 S.F.	NEW ADDITION	250 SEATS
NEW ADDITION	6,881 S.F.	77,808 S.F.	250 SEATS
OF BUILDING	77,808 S.F.	250 SEATS + 4 = 254 SPACES	492 SPACES REQUIRED
TOTAL	94,079 S.F.	TOTAL	492 SPACES REQUIRED

10% CREDIT FOR BUS STOP = 49 SPACES

TOTAL 407 SPACES

TOTAL PARKING SPACES REQUIRED: 407

SMALL CAR SPACES ALLOWED (25%): 102

HANDICAP SPACES REQUIRED: 12

TOTAL PARKING SPACES PROVIDED: 531

SMALL CAR SPACES PROVIDED: 57

HANDICAP SPACES PROVIDED: 15

LEGAL DESCRIPTION

TRACT 3-A & TRACT 4, LAND OF TERAS PLACE IMPROVEMENT CO. ALBUQUERQUE, NEW MEXICO.

APPROVED AS TO REQUIREMENTS:

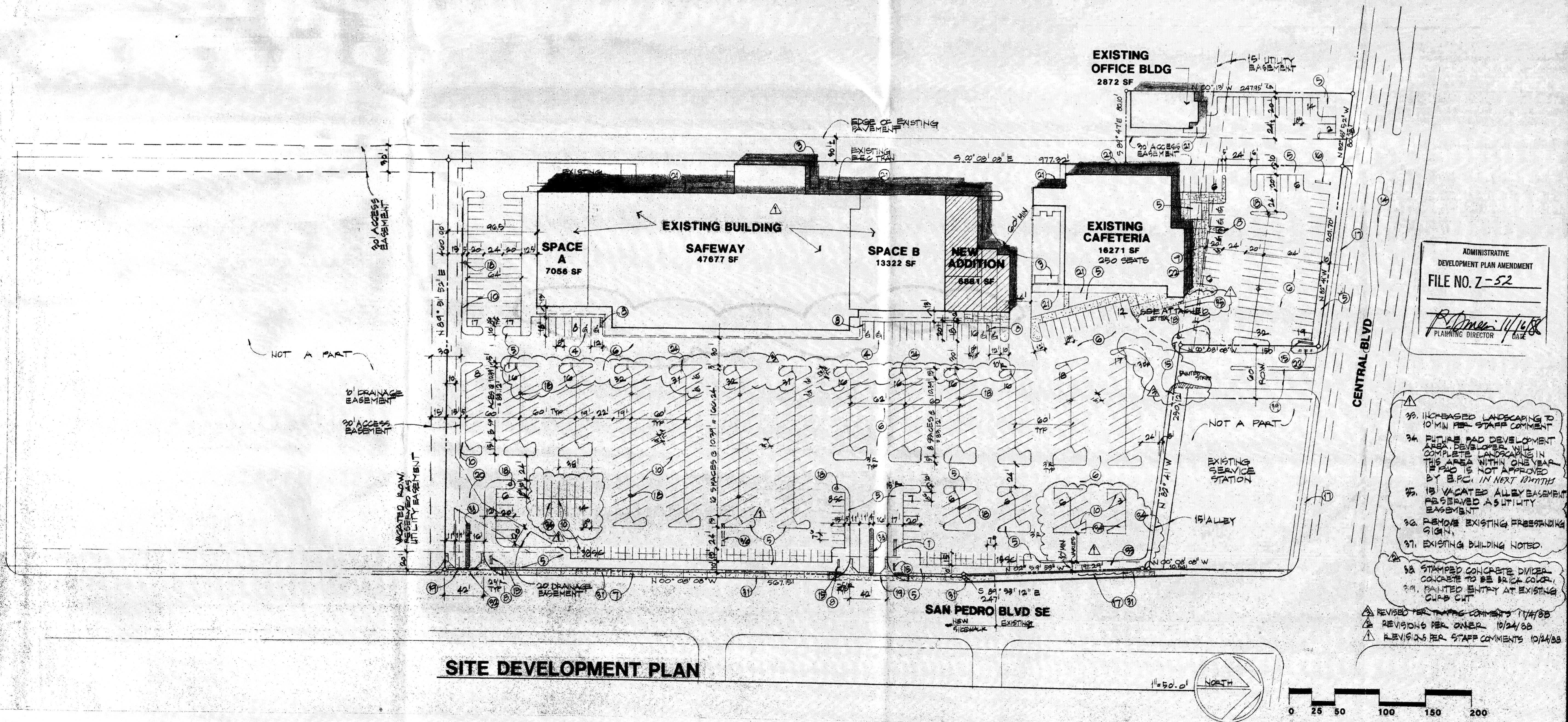
CITY PLANNING DEPARTMENT _____ DATE _____

UTILITY DEVELOPMENT DEPARTMENT _____ DATE _____

TRAFFIC ENGINEER _____ DATE _____

CITY ENGINEERING DEPARTMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____



ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. 7-52
Patricia 11/18/08
PLANNING DIRECTOR DATE

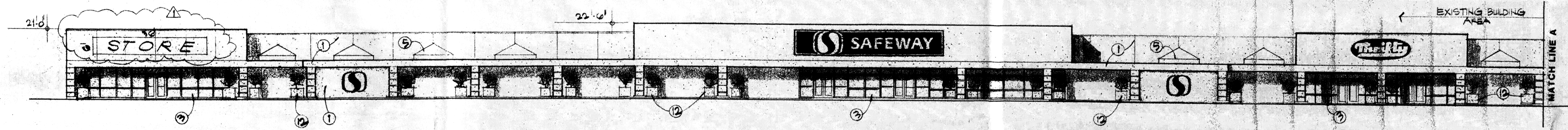
- 30. INCREASED LANDSCAPING TO 10% MIN PER STAFF COMMENT
 - 34. FUTURE PAD DEVELOPMENT AREA DEVELOPER WILL COMPLETE LANDSCAPING IN THIS AREA WITHIN ONE YEAR IF PAD IS NOT APPROVED BY B.P.C. IN NEXT 18 MONTHS
 - 35. 15' VACATED ALLEY BASEMENT RESERVED AS UTILITY BASEMENT
 - 36. REMOVE EXISTING FREESTANDING SIGN
 - 37. EXISTING BUILDING NOTED
 - 38. STAMPED CONCRETE DIVIDER CONCRETE TO BE BRICK COLOR
 - 39. PAINTED ENTRY AT EXISTING CURB CUT
- REVISIONS PER TRAFFIC COMMENTS 11/14/08
REVISIONS PER OWNER 10/24/08
REVISIONS PER STAFF COMMENTS 10/24/08

job title: FOX PLAZA

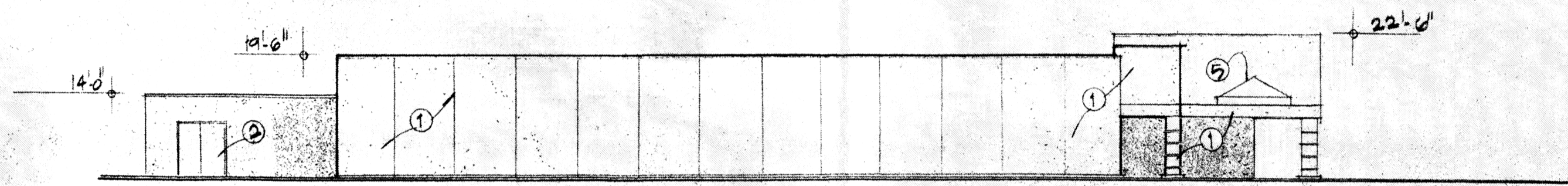
PROJECT MANAGER: DAVID WEATHERMAN | job no: 8854 | date: 10/18/08

sheet title: SITE DEVELOPMENT PLAN | by: DW

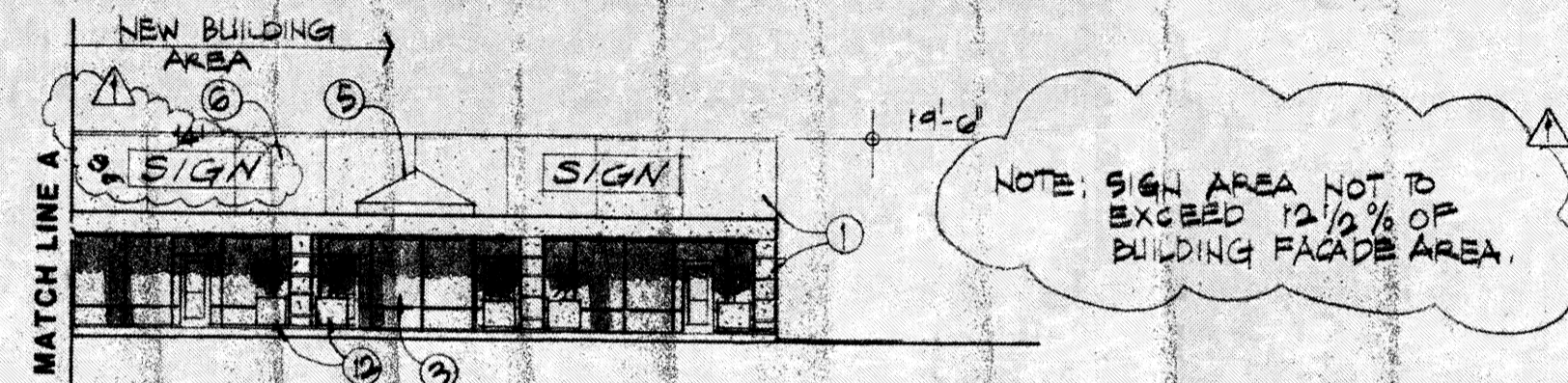
de la torre • rainhart pa architects
200 woodward center 700 lomas ave. suite 200
albuquerque, nm 87102-6668-842-0500



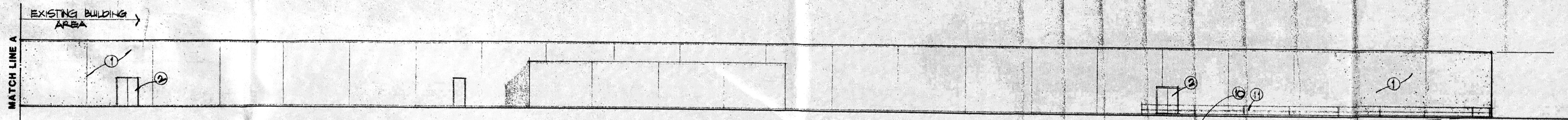
EAST ELEVATION



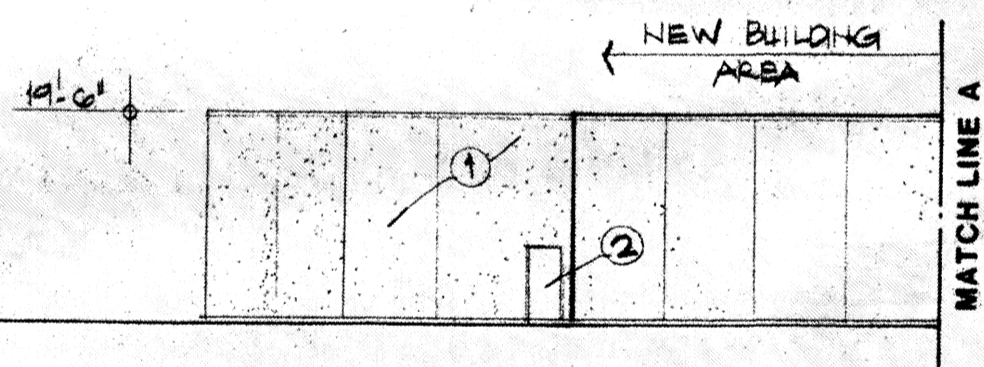
SOUTH ELEVATION



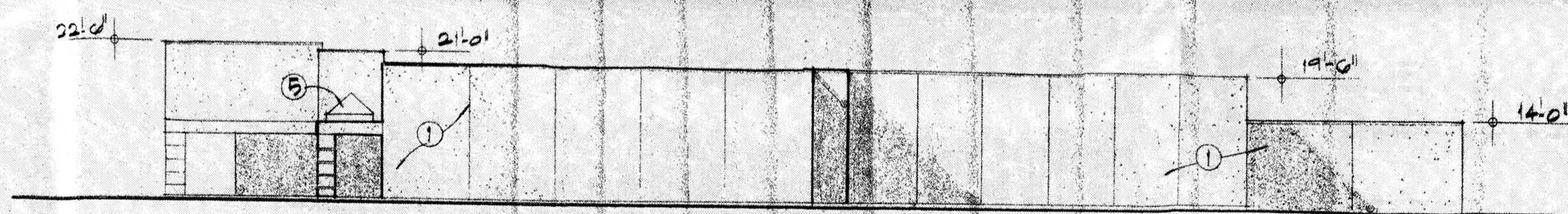
EAST ELEVATION



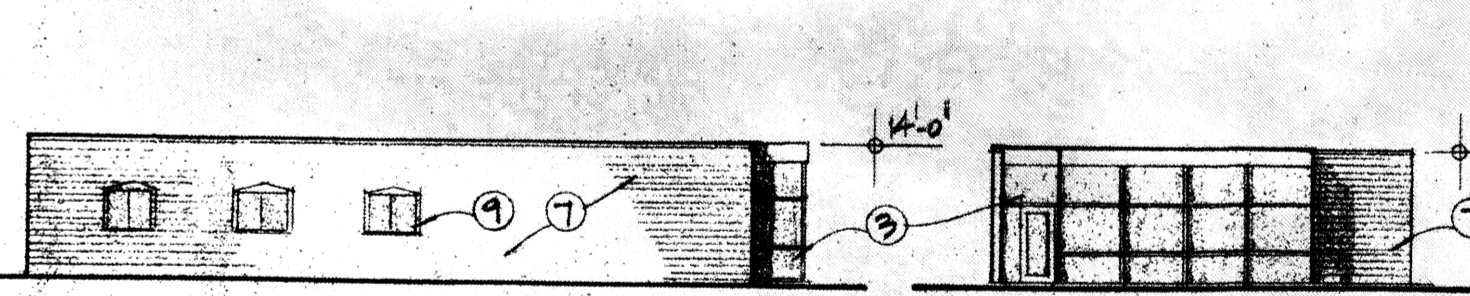
WEST ELEVATION



WEST ELEVATION

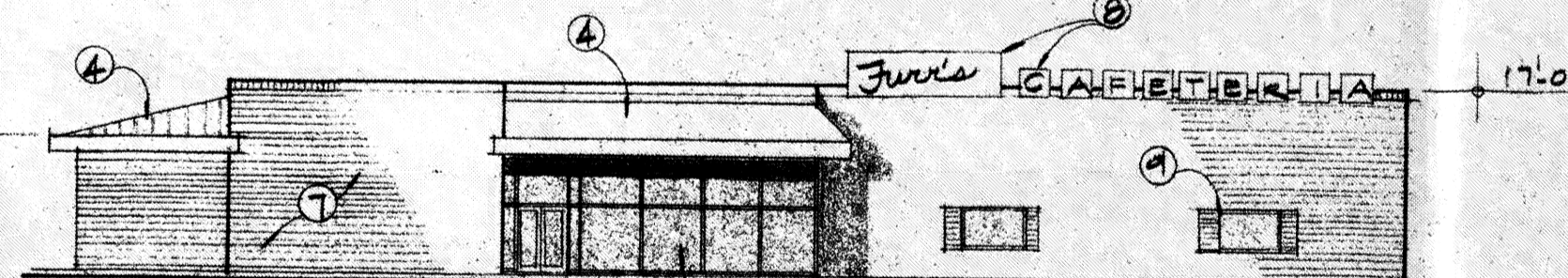


NORTH ELEVATION

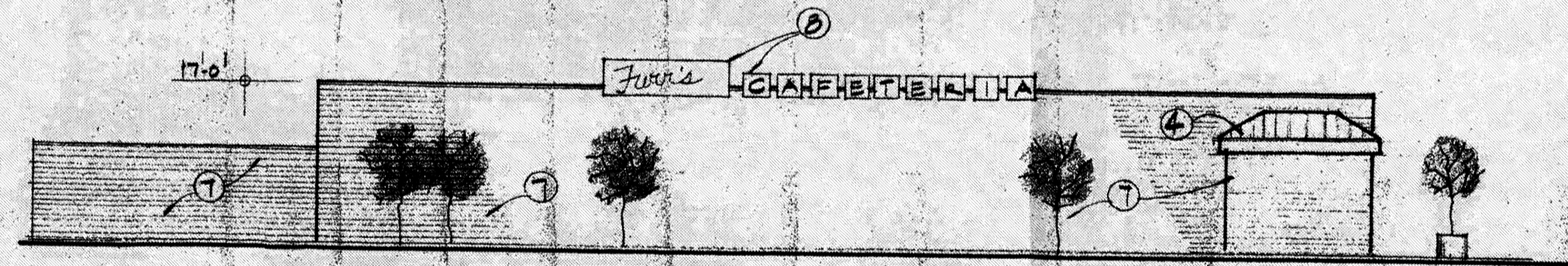


EAST ELEVATION

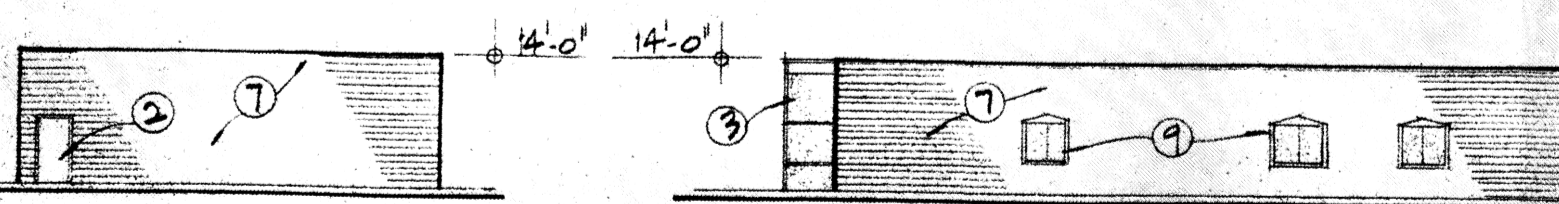
NORTH ELEVATION



NORTH ELEVATION

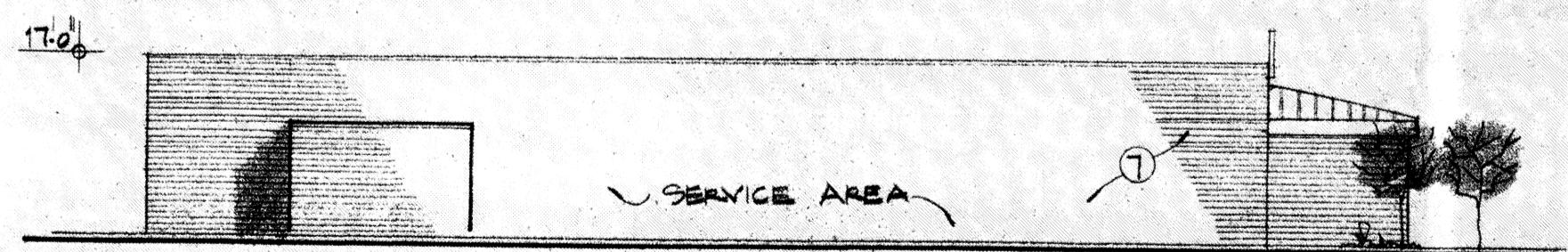


EAST ELEVATION

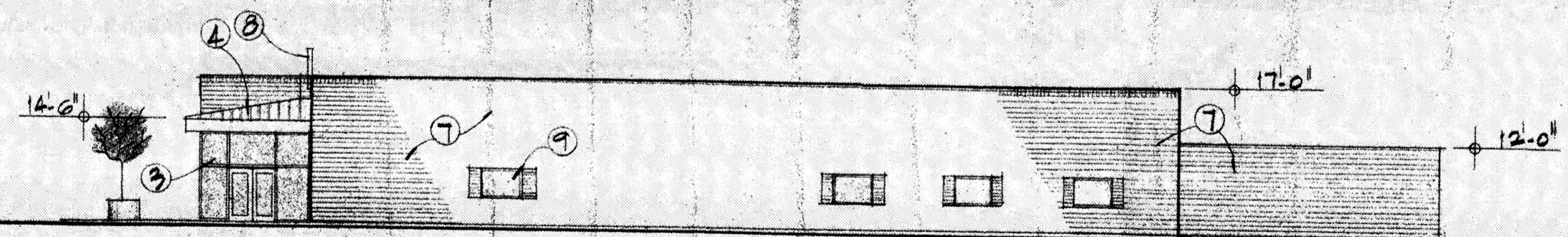


SOUTH ELEVATION

WEST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

- KEYED NOTES:**
1. CEMENTITIOUS MATERIAL
 2. PAINTED HOLLOW METAL DOOR & FRAME
 3. ALUMINUM STOREFRONT SYSTEM
 4. COLORED METAL ROOFING, (EXISTING)
 5. COLORED CANVAS CANOPY
 6. SIGN HAND
 7. EXISTING PAINTED MASONRY
 8. EXISTING SIGNAGE
 9. EXISTING PAINTED WINDOWS
 10. DOCK AREA (EXISTING)
 11. PAINTED GUARDRAIL (EXISTING)
 12. CONCRETE PLANTERS

▲ BUILDING SIGNAGE CLARIFIED PER CITY STAFF COMMENT 10/24/88

job title FOX PLAZA		
PROJECT MANAGER DAVID WEATHERMAN	job no 8858	date 10/17/88
sheet title BUILDING ELEVATIONS		by DU