

SAFEWAY STORE NO. 652

6100 CENTRAL AVENUE S.E.

ALBUQUERQUE, NEW MEXICO

FURR'S INCORPORATED

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2	FLOORPLAN
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SITE PLAN
SCALE: 1" = 30'-0"

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. 7-52
Amendment to allow 528 sq ft expansion to grocery store only.
E. Montoya 8.31.88
PLANNING/DIRECTOR DATE

FOSTER HENRY HENRY AND THORPE, INC.
ARCHITECTS AND ENGINEERS
EL PASO, TEXAS

SAFEWAY STORE NO. 652 6100 CENTRAL AVENUE S.E. ALBUQUERQUE NEW MEXICO		FURR'S INCORPORATED	
DATE	SAFEWAY JOB NO.	ARCH. JOB NO.	DRAWN BY
8-30-88	0257-01	0257-04	AL
FOSTER HENRY HENRY AND THORPE, INC. ARCHITECTS AND ENGINEERS 1100 N. 10TH ST. ALBUQUERQUE, N.M. 87102		DATE	
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SAFETY STORE NO. 025
6100 CENTRAL AVENUE S.E.
ALBUQUERQUE, NEW MEXICO

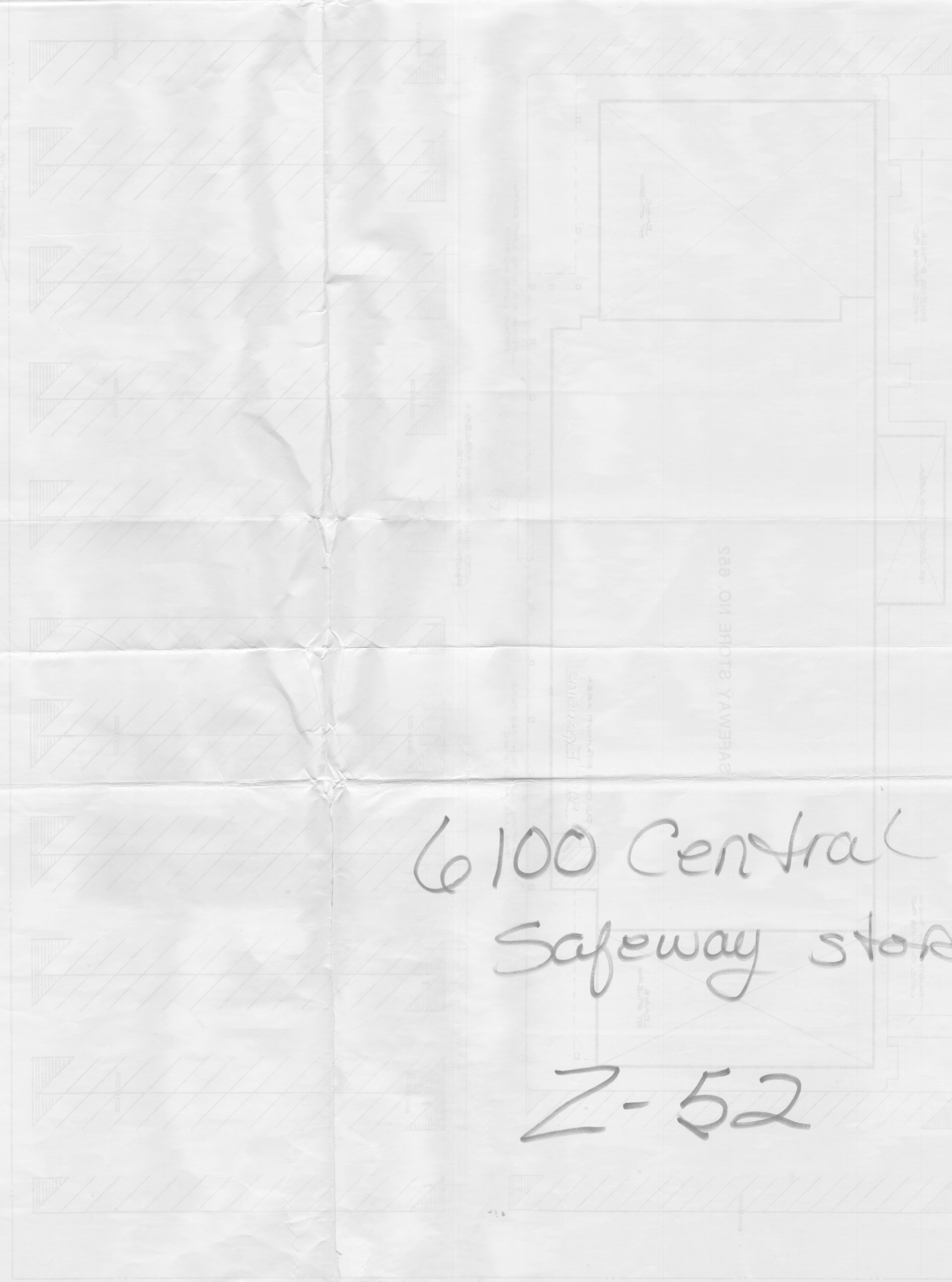
SCALE
SITE PLAN

1" = 20'-0"

3/4" PERFO

DRIVE

SE



6100 Central SE
Safeway store

Z-52

SAFETY STORE NO. 025

ARCHITECTS AND ENGINEERS
FOSTER HENRY AND THORBE, INC.
EL PASO, TEXAS

SAFETY STORE NO. 025
6100 CENTRAL AVENUE S.E.
ALBUQUERQUE, NEW MEXICO

NO.	DESCRIPTION	SHEET NO.
1A	EXISTING BUILDING FOOTPRINT EXCLUDED FROM CONTRACT	
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INDEX TO DRAWINGS

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NO.	DESCRIPTION	SHEET NO.
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GENERAL NOTES

1. MAINTENANCE OF LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER. A SPRINKLER AND DRIP SYSTEM WILL PROVIDE WATERING.
2. BICYCLE RACKS TO BE PROVIDED TO ALLOW FOR 1 BIKE SPACE/20 CAR PARKING SPACES.
3. LANDSCAPING EXCEEDS 7% OF PARKING AREA.

KEYED NOTES

1. FREE STANDING SIGN. SEE ELEVATION.
2. MONUMENT SIGN. SEE ELEVATION.
3. REFUSE DUMPSTER LOCATION PER CITY REQUIREMENTS.
4. HANDICAP PARKING SPACE PER CITY REQUIREMENTS.
5. LANDSCAPE AREA.
6. ASPHALT PAVING.
7. 6" PUBLIC SIDEWALK.
8. CURB CUT FOR HANDICAP ACCESS.
9. CONCRETE SIDEWALKS.
10. PAINTED PARKING STRIPING.
11. POLE AND SHOEBOX FIXTURE.
12. PAINTED PEDESTRIAN CROSSWALK.
13. BICYCLE RACK.
14. EXISTING MEDIAN.
15. DIRECTIONAL SIGN.
16. EXISTING FREESTANDING SIGN TO REMAIN.
17. EXISTING 6" PUBLIC SIDEWALK.
18. SITE LIGHTING POLES.
19. NEW ENTRANCE TO FOX PLAZA.
20. DRAINAGE EASEMENT.
21. EXISTING CONCRETE SIDEWALKS.
22. LARGE PLANTER POTS, 4" DIAMETER.
23. EXISTING FREE STANDING SIGN TO BE REMOVED. NEW SIGN TO BE CONSTRUCTED.
24. CUTS IN LANDSCAPING ISLANDS TO PROVIDE DRAINAGE.
25. EXISTING STANDARDS TO BE RELAMPED AND PAINTED TO MATCH LIGHT POLES.
26. NEW POLES TO BE PAINTED TO MATCH COLOR OF COLUMNS OF BUILDING.
27. CONCRETE BASE PAINTED TO MATCH LIGHT POLE.
28. PLASTIC FACE IN CAN.
29. BASE OF SIGN TO MATCH COLUMNS OF BUILDINGS.
30. BURGUNDY COLORED CAP.
31. REMOVE EXISTING CURB CUT AND REPLACE WITH NEW CONCRETE CURB AND GUTTER AND 6" WIDE SIDEWALK.
32. REMOVE EXISTING CURB CUT, REPLACE WITH NEW ENTRANCE.

TABULATION OF AREAS

TOTAL SITE AREA:	9,5191 AC (414,652 S.F.)
TOTAL BUILDING AREA:	94,079 S.F.
EXISTING BUILDINGS	
SAFeway	47,677 S.F.
SPACE A	7,056 S.F.
SPACE B	13,322 S.F.
EXISTING CAFETERIA	16,271 S.F.
EXISTING OFFICE BUILDING	2,872 S.F.
SUBTOTAL	87,198 S.F.
NEW ADDITION	
TOTAL	6,881 S.F.
PAVED AREA:	292,013 S.F.
LANDSCAPING AREA REQUIRED:	292,013 S.F. X 7% = 20,441 S.F.
LANDSCAPING AREA PROVIDED:	28,560 S.F. (AREA REPRESENTS 9.8% OF PAVED AREA)

OFF-STREET PARKING REQUIREMENTS

PARKING BY AREA		PARKING BY SEATS	
EXISTING BUILDINGS	70,927 S.F.	250 SEATS	
EXISTING CAFETERIA		250 SEATS	
NEW ADDITION	6,881 S.F.	250 SEATS	
	77,808 S.F.	77,808 S.F. ÷ 200 = 389 SPACES	
		250 SEATS ÷ 4 = 63 SPACES REQUIRED	
		TOTAL	452 SPACES REQUIRED
		10% CREDIT FOR BUS STOP	-45 SPACES
		TOTAL	407 SPACES
TOTAL PARKING SPACES REQUIRED:	407		
SMALL CAR SPACES ALLOWED (25%):	102		
HANDICAP SPACES REQUIRED:	12		
TOTAL PARKING SPACES PROVIDED:	631		
SMALL CAR SPACES PROVIDED:	57		
HANDICAP SPACES PROVIDED:	15		

LEGAL DESCRIPTION

TRACT 3-A & TRACT 4, LAND OF THERAS PLACE IMPROVEMENT CO. ALBUQUERQUE, NEW MEXICO.

APPROVED AS TO REQUIREMENTS:

CITY PLANNING DEPARTMENT _____ DATE _____

UTILITY DEVELOPMENT DEPARTMENT _____ DATE _____

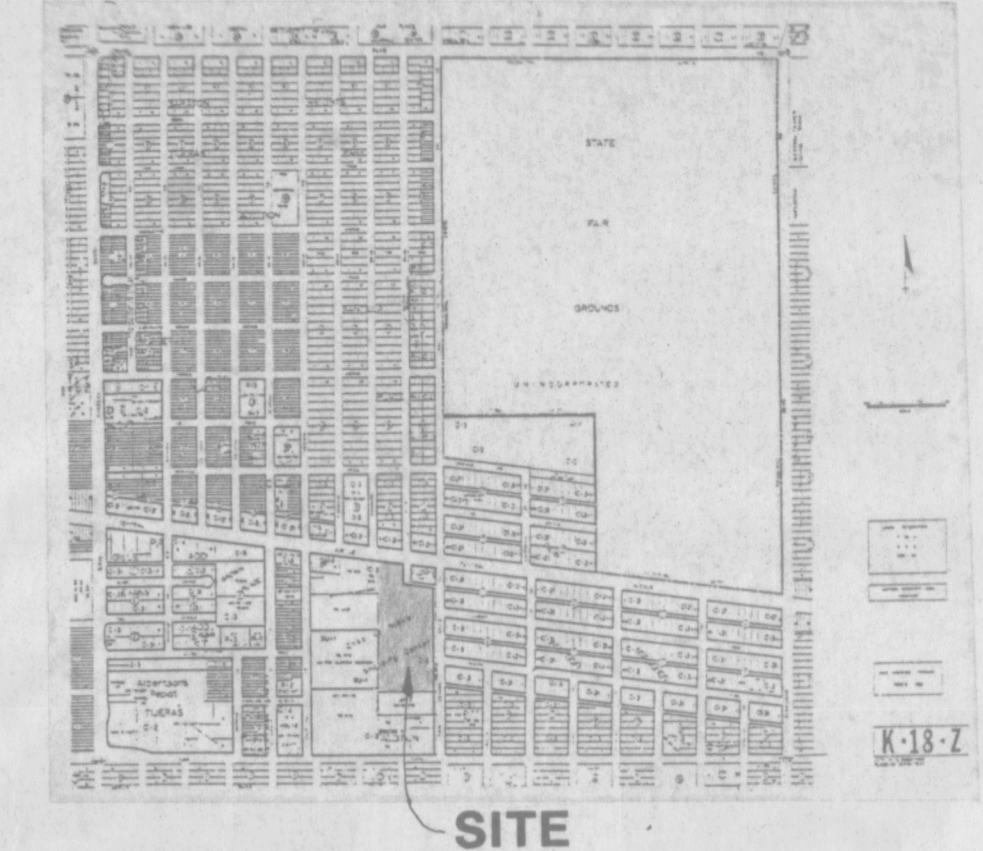
TRAFFIC ENGINEER *James White* 11/1/88
DATE

CITY ENGINEERING DEPARTMENT _____ DATE _____

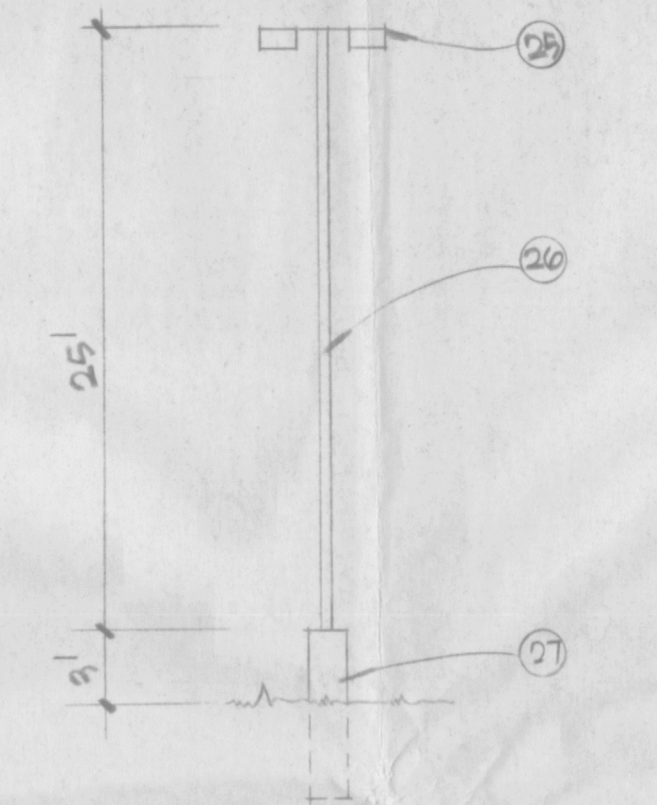
PARKS AND RECREATION DEPARTMENT _____ DATE _____

job title	FOX PLAZA
PROJECT MANAGER	DAVID WEATHERMAN
job no	8854
date	10/18/88
sheet title	SITE DEVELOPMENT PLAN
by	DW

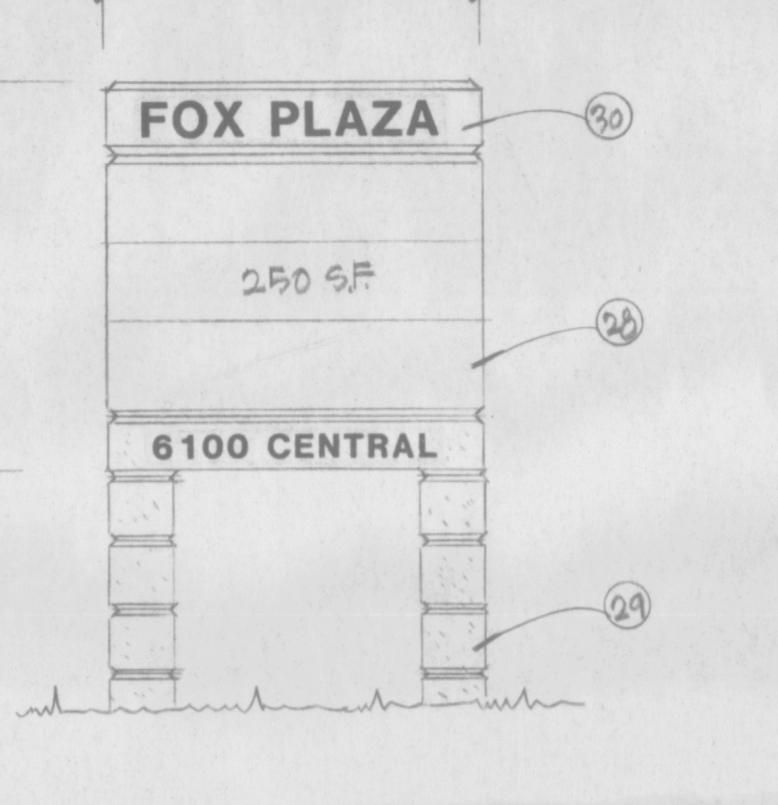
de la to me • rainhart pa
architects
two woodward center 700 lomas ne - suite 200
albuquerque, nm 87102-505 842-9500



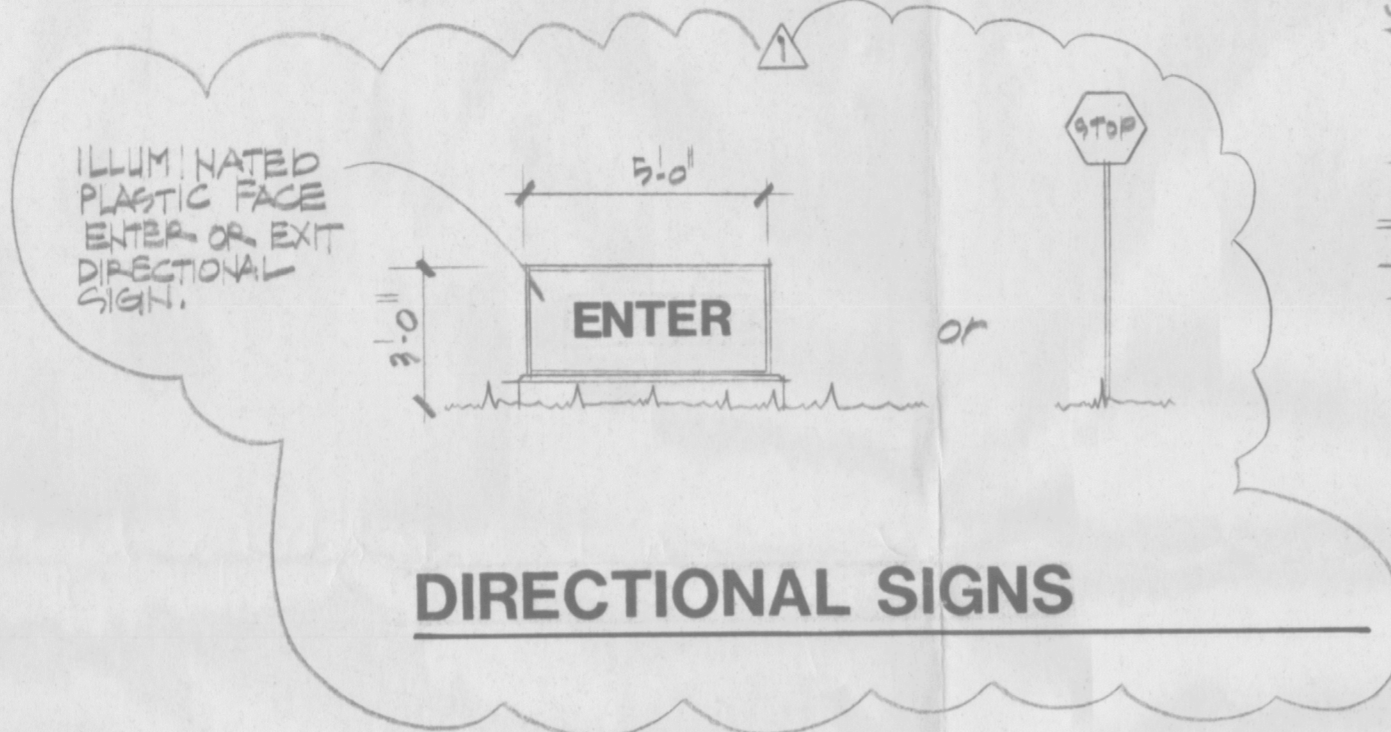
LOCATION MAP



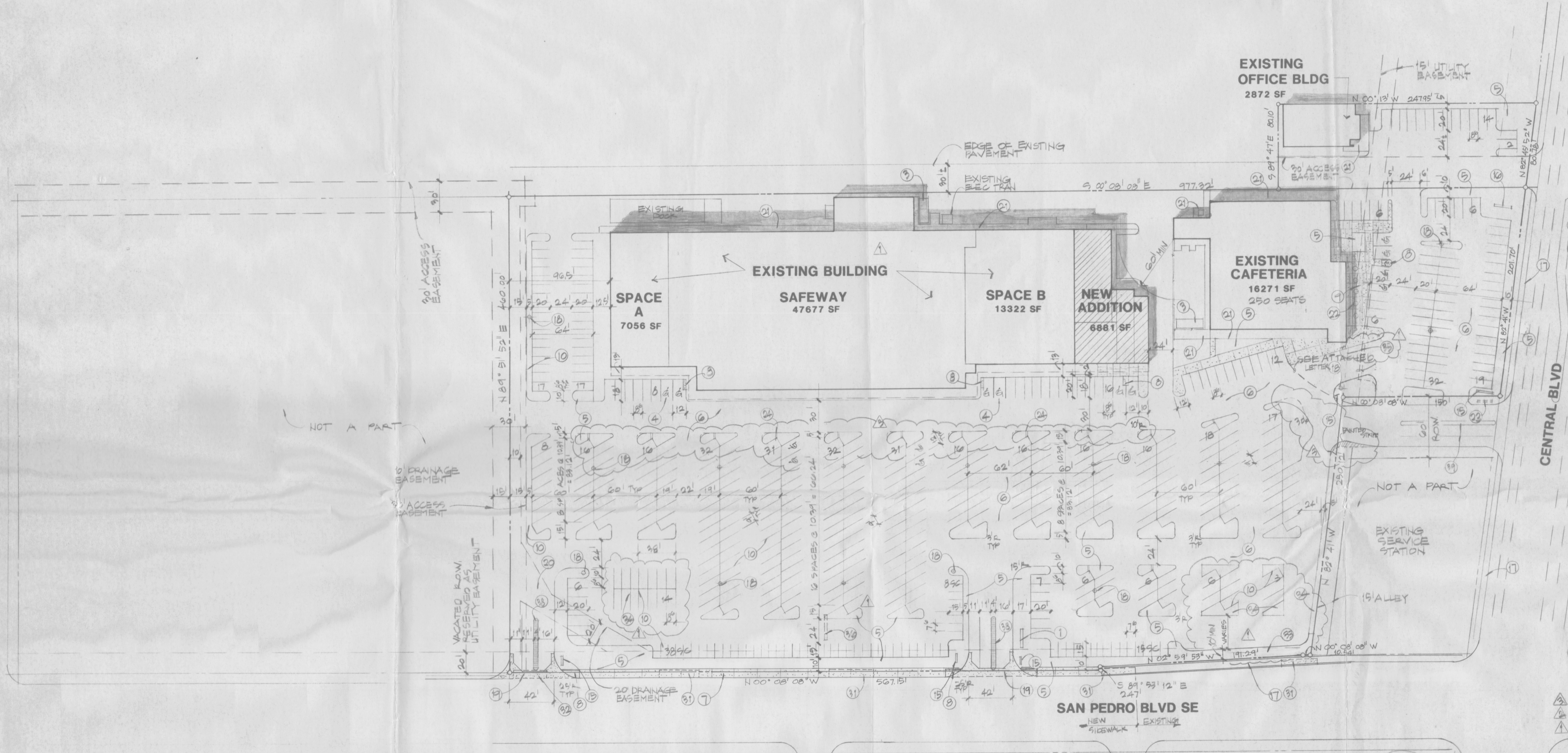
SITE LIGHTING



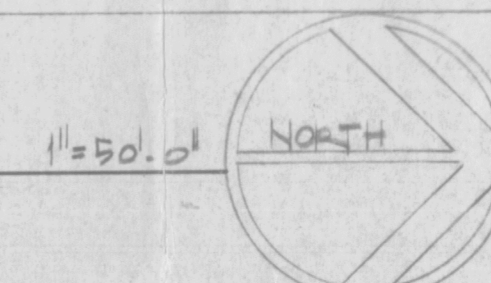
FREE STANDING SIGN



DIRECTIONAL SIGNS



SITE DEVELOPMENT PLAN



0 25 50 100 150 200

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z-52
New miles before
R. Men 11/7/88
PLANNING DIRECTOR DATE

- 33. INCREASED LANDSCAPING TO 10% IN PER STAFF COMMENT
- 34. FUTURE PAD DEVELOPMENT AREA, DEVELOPER WILL COMPLETE LANDSCAPING IN THIS AREA WITHIN ONE YEAR. THIS PAD IS NOT APPROVED BY BPC IN NEXT GENERAL MEETINGS
- 35. 15' VACATED ALLEY BASEMENT PRESERVED AS UTILITY BASEMENT
- 36. REMOVE EXISTING FREESTANDING SIGN.
- 37. EXISTING BUILDING NOTED.
- 38. STAMPED CONCRETE DIVIDER. CONCRETE TO BE BRICK COLOR.
- 39. PAINTED ENTRY AT EXISTING CURB CUT

- REVISIONS PER TRAFFIC COMMENTS 11/4/88
- REVISIONS PER OWNER 10/24/88
- REVISIONS PER STAFF COMMENTS 10/24/88

ZUNI ROAD

CENTRAL BLVD

SAN PEDRO BLVD SE

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NOT A PART

15' DRAINAGE BASEMENT

15' ACCESS BASEMENT

VACATED ROW RESERVED AS UTILITY BASEMENT

20' DRAINAGE BASEMENT

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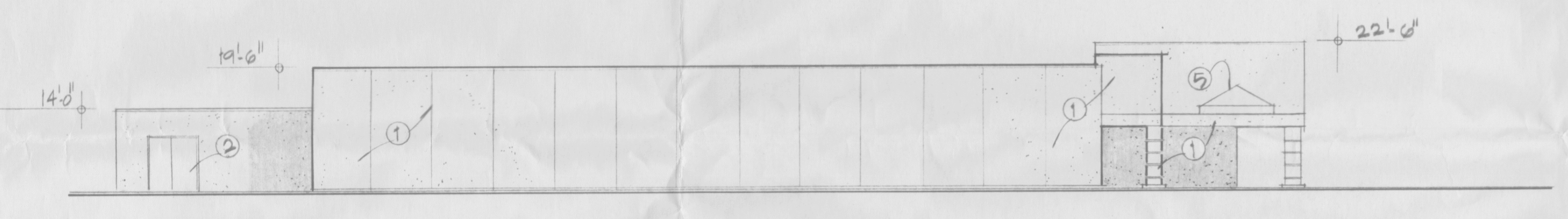
10' MIN

Fox Plaza

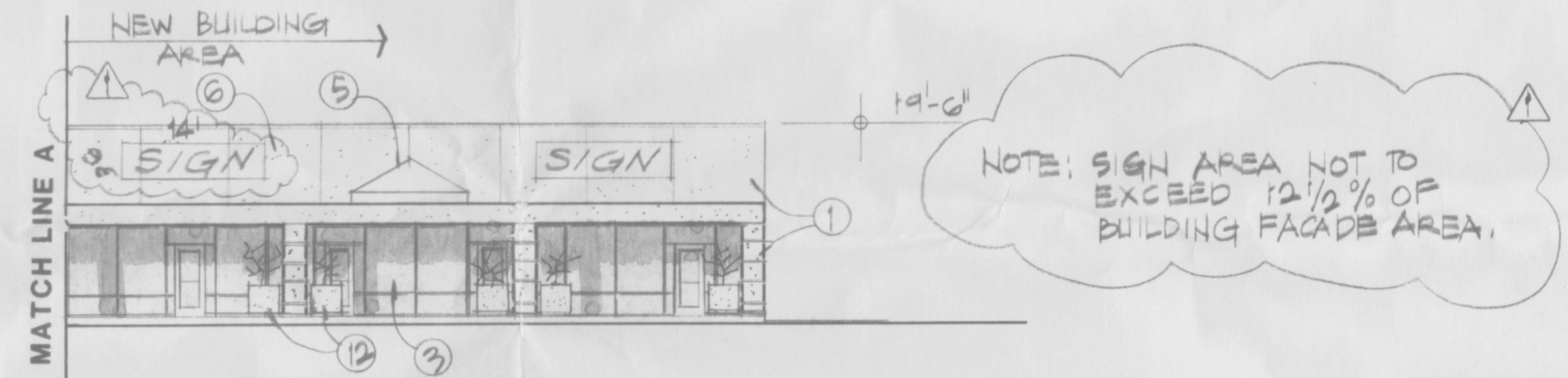
6100 Central NE



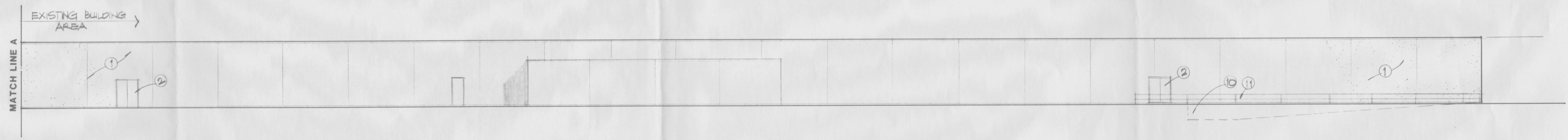
EAST ELEVATION



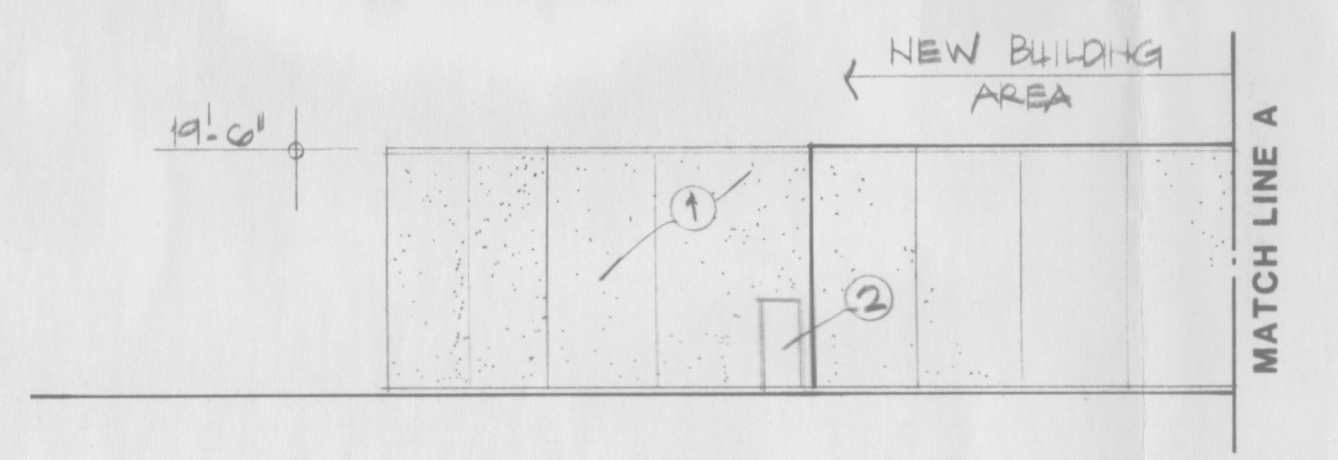
SOUTH ELEVATION



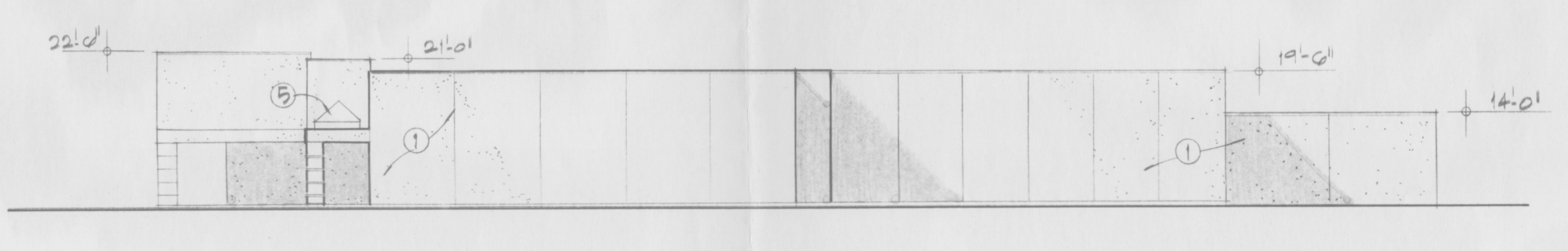
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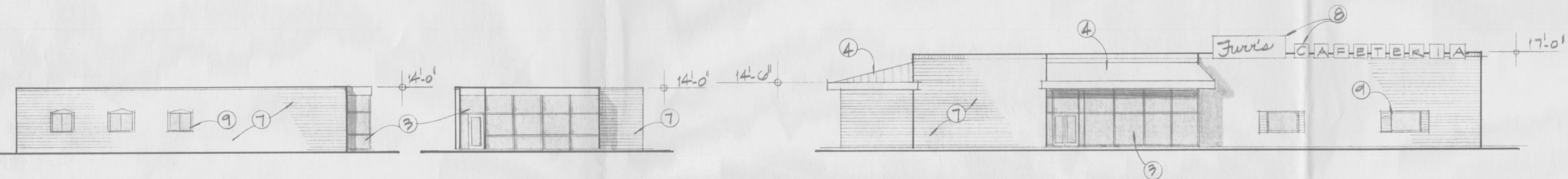
WEST ELEVATION



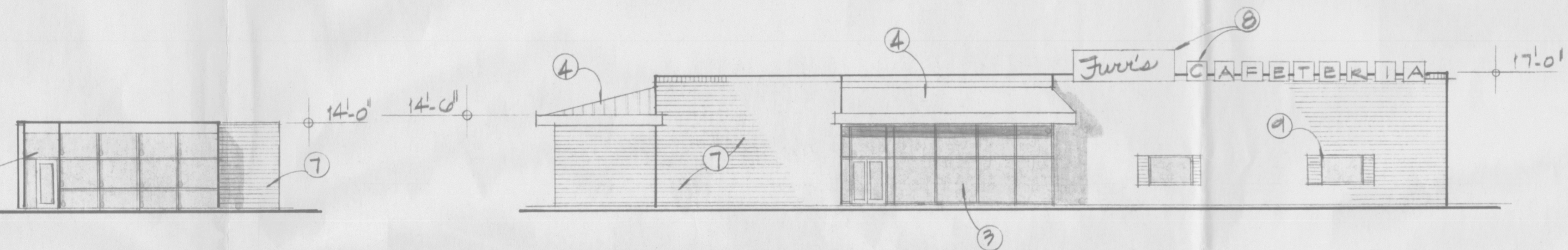
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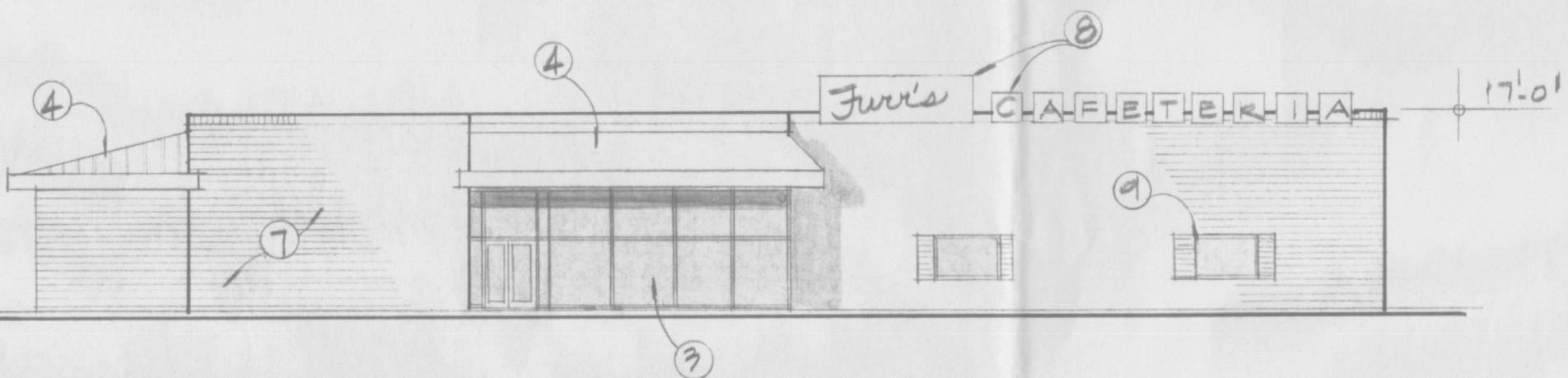
NORTH ELEVATION



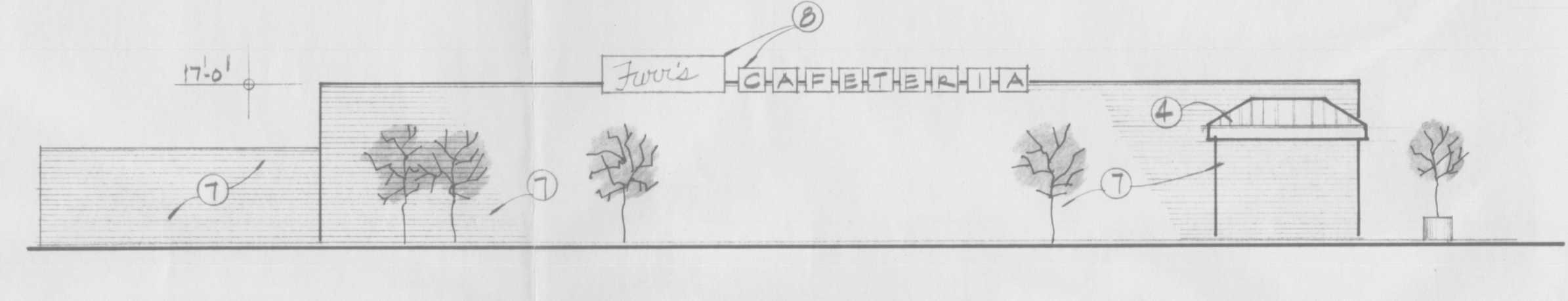
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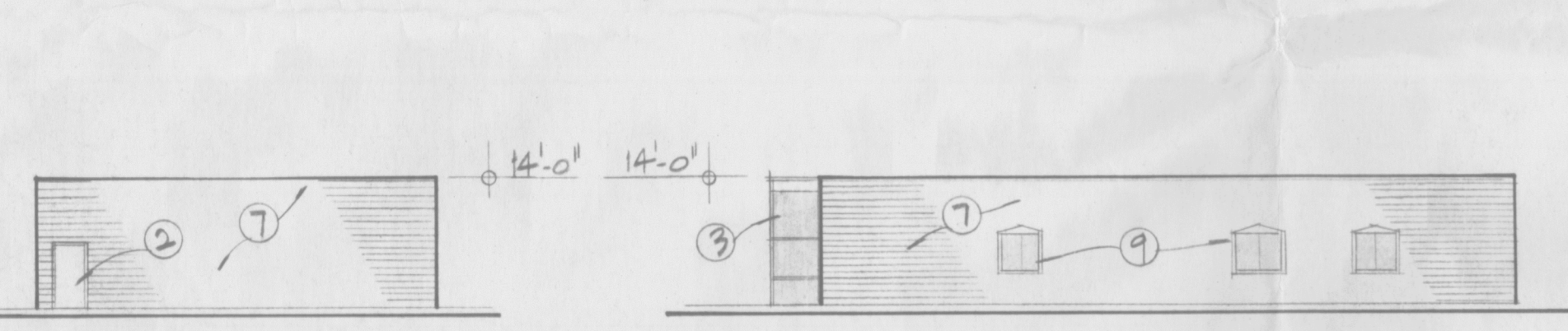
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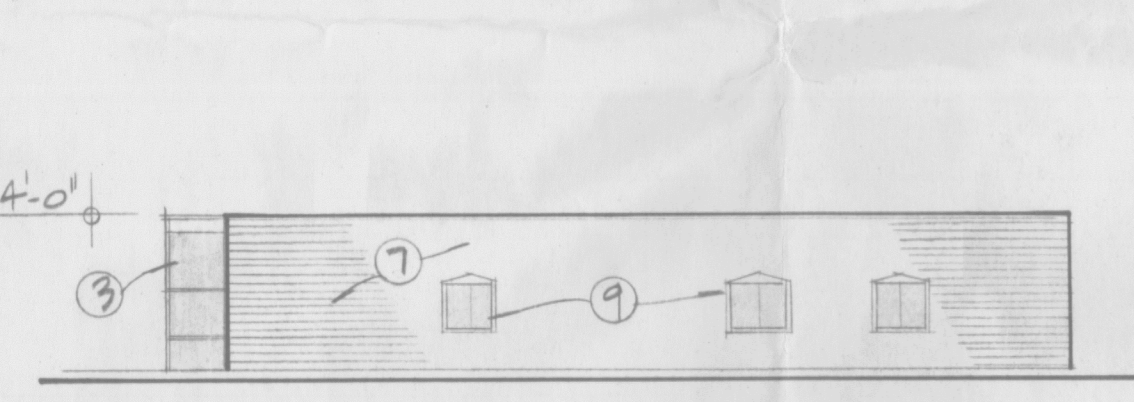
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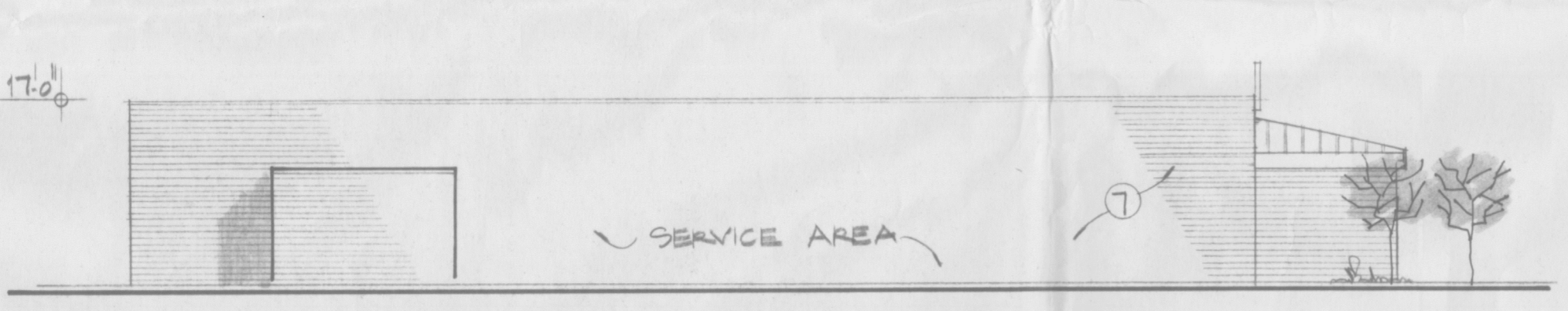
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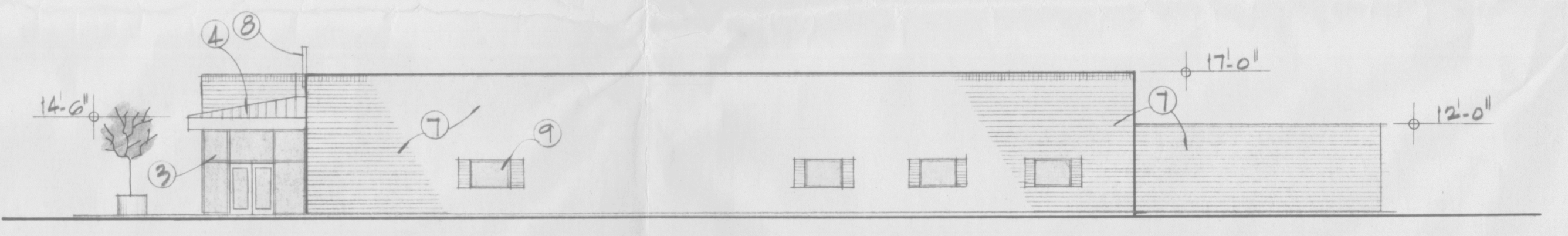
SOUTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

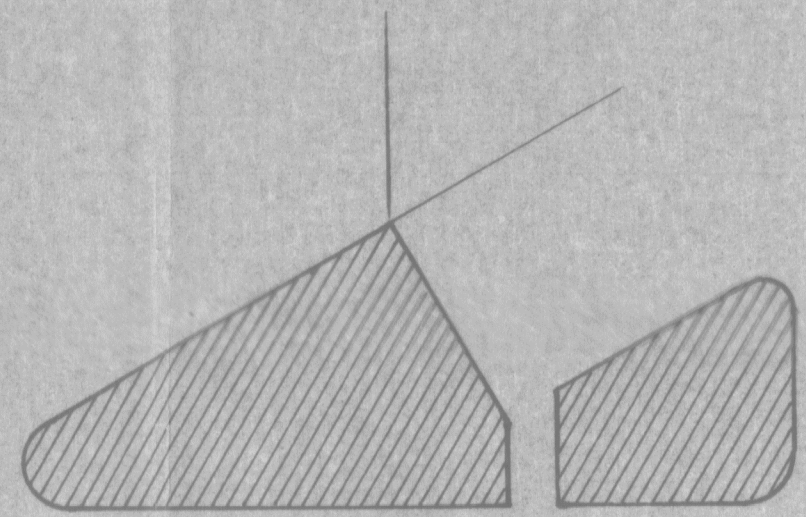


WEST ELEVATION

- KEYED NOTES:**
1. CEMENTITIOUS MATERIAL
 2. PAINTED HOLLOW METAL DOOR & FRAME
 3. ALUMINUM STOREFRONT SYSTEM
 4. COLORED METAL ROOFING (EXISTING)
 5. COLORED CANVAS CANOPY
 6. SIGN BAND
 7. EXISTING PAINTED MASONRY
 8. EXISTING SIGNAGE
 9. EXISTING PAINTED WINDOWS
 10. DOCK AREA (EXISTING)
 11. PAINTED GUARDRAIL (EXISTING)
 12. CONCRETE PLANTERS

▲ BUILDING SIGNAGE CLARIFIED PER CITY STAFF COMMENT 10/24/88

JOB TITLE FOX PLAZA		
PROJECT MANAGER DAVID WEATHERMAN	JOB NO. 8858	DATE 10/17/88
SHEET TITLE BUILDING ELEVATIONS		BY DW



TYPICAL ISLAND DETAIL
APPROX. SCALE: 1" = 10'

MAINTENANCE

THE OWNER AGREES TO MAINTAIN ALL THE LANDSCAPING SHOWN ON THE PLAN.

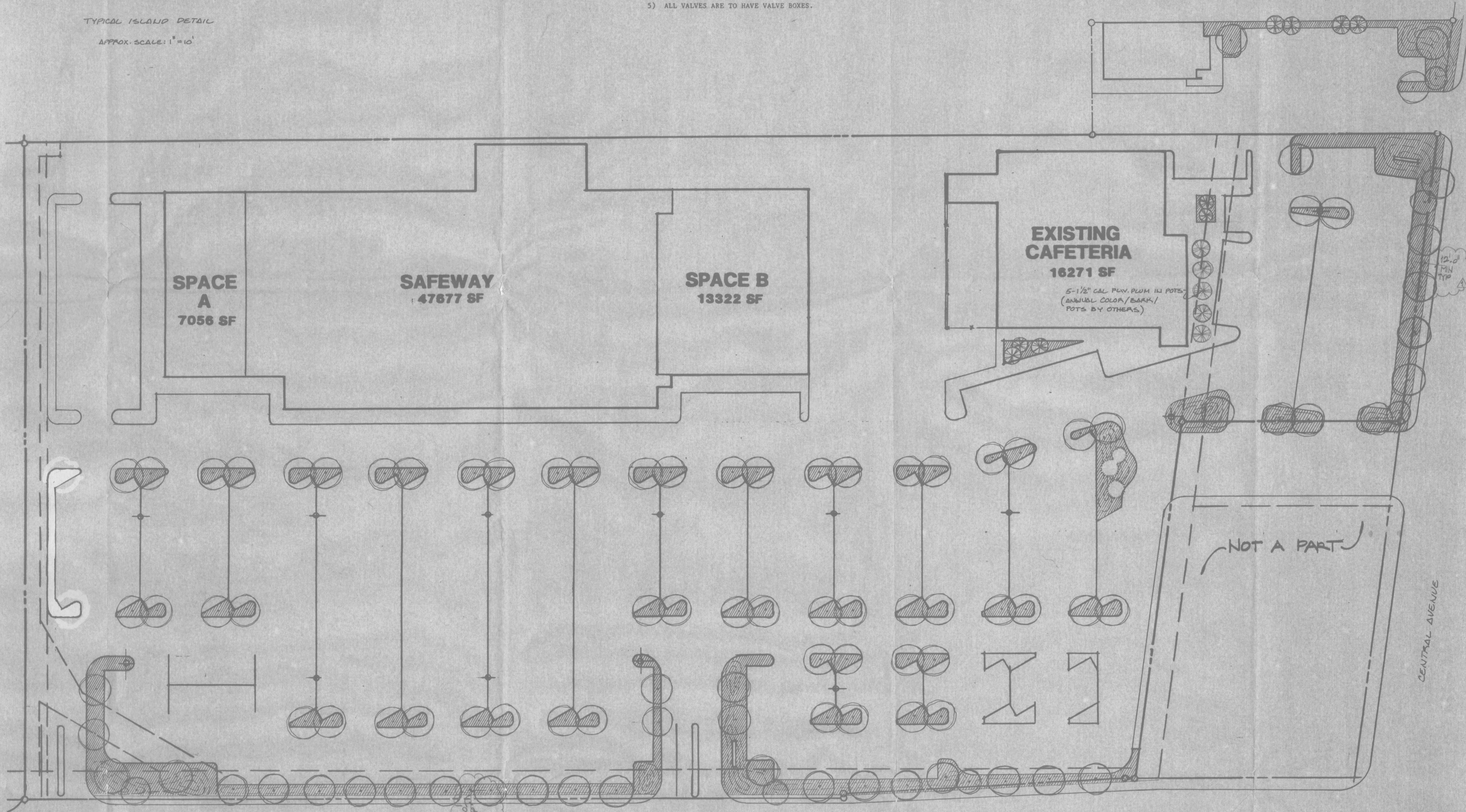
PLANTING AND GENERAL NOTES

- 1) ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR.
- 2) ALL SOD AREAS SHALL BE FERTILIZED WITH SOILTEX BRAND FERTILIZER AT THE RATE OF 1 1/2 POUNDS PER 100 SQUARE FEET.
- 3) SITE GRADING BY OTHERS SHALL BE +/- .10 FEET PRIOR TO INSTALLATION.

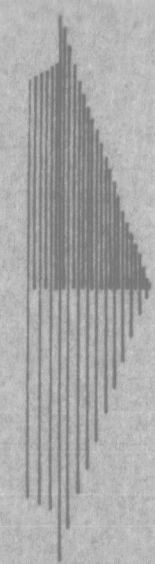
IRRIGATION GENERAL NOTES

ALL PLANTING AND LAWN AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM/RAINBIRD CONTROLLER.

- 1) EXACT FIELD CONDITIONS MAY REQUIRE MINOR ADJUSTMENTS IN HEAD, VALVE AND MAIN LOCATION.
- 2) ALL MAIN LINES SHALL HAVE A MINIMUM DEPTH OF 30 INCHES AND SCHEDULE 40 PVC PIPE.
- 3) ALL CLASS 200 PVC DISTRIBUTION LINES SHALL BE BURIED 18 INCHES.
- 4) ALL POP-UP HEADS SHALL BE MOUNTED FLUSH WITH ALL WALKS AND CURBS AND ONE INCH ABOVE FINISH GRADE ELSEWHERE.
- 5) ALL VALVES ARE TO HAVE VALVE BOXES.



SCALE: 1" = 30'



- 8'-10" AUSTRIAN PINE
- 1 1/2" CAL SHADE TREE
ASH
LONDON PLANE
- 1 1/2" CAL FLOWERING PLUM
- SOD LAWN / SPRINKLERS
- SOD BERM

SAN PEDRO S.E.



The Hilltop
JAMES DE PLON SALLA
REGISTERED LANDSCAPE ARCHITECT
0007
LANDSCAPE ARCHITECTS/CONTRACTORS
PROF. EST. IN N.M. / P.O. BOX 10430 / ALBUQUERQUE, NEW MEXICO 87104 / (505) 898-9090

STREET TREE SETBACK PER STREET TREE ORDINANCE, 10/24/88

CHARTER HOSPITAL
OF ALBUQUERQUE
ZONED C-2

EASEMENT DESCRIPTIONS:

A) SURFACE FLOW AND UNDERGROUND STORM DRAINAGE EASEMENT, FILED FEBRUARY 24, 1981, IN BOOK MISC. 833, PAGE 98, AS DOCUMENT NUMBER 81-3674.

B) DEDICATION OF PRIVATE EASEMENT (30 FOOT NON-EXCLUSIVE, PRIVATE ACCESS, SURFACE EASEMENT), FILED DECEMBER 31, 1981, BOOK MISC. 900, PAGE 325, AS DOCUMENT NUMBER 81-67406.

C) GRANT OF EASEMENT FOR STORM DRAINAGE, FILED JUNE 09, 1982, BOOK MISC. 936, PAGE 129, AS DOCUMENT NUMBER 82-30003.

D) 20 FOOT WIDE UNDERGROUND WATERLINE EASEMENT, FILED APRIL 06, 1990, BOOK BC890-6, PAGE 3277, AS DOCUMENT NUMBER 90-27210.

E) 30 FOOT PRIVATE ACCESS EASEMENT AND A 15 FOOT UTILITY EASEMENT AS CONTAINED IN VACATED ALLEY, AS SHOWN ON PLATS FILED DECEMBER 20, 1985, IN PLAT BOOK C29, FOLIO 38 AND FILED MARCH 12, 1984, IN PLAT BOOK C6, FOLIO 5.

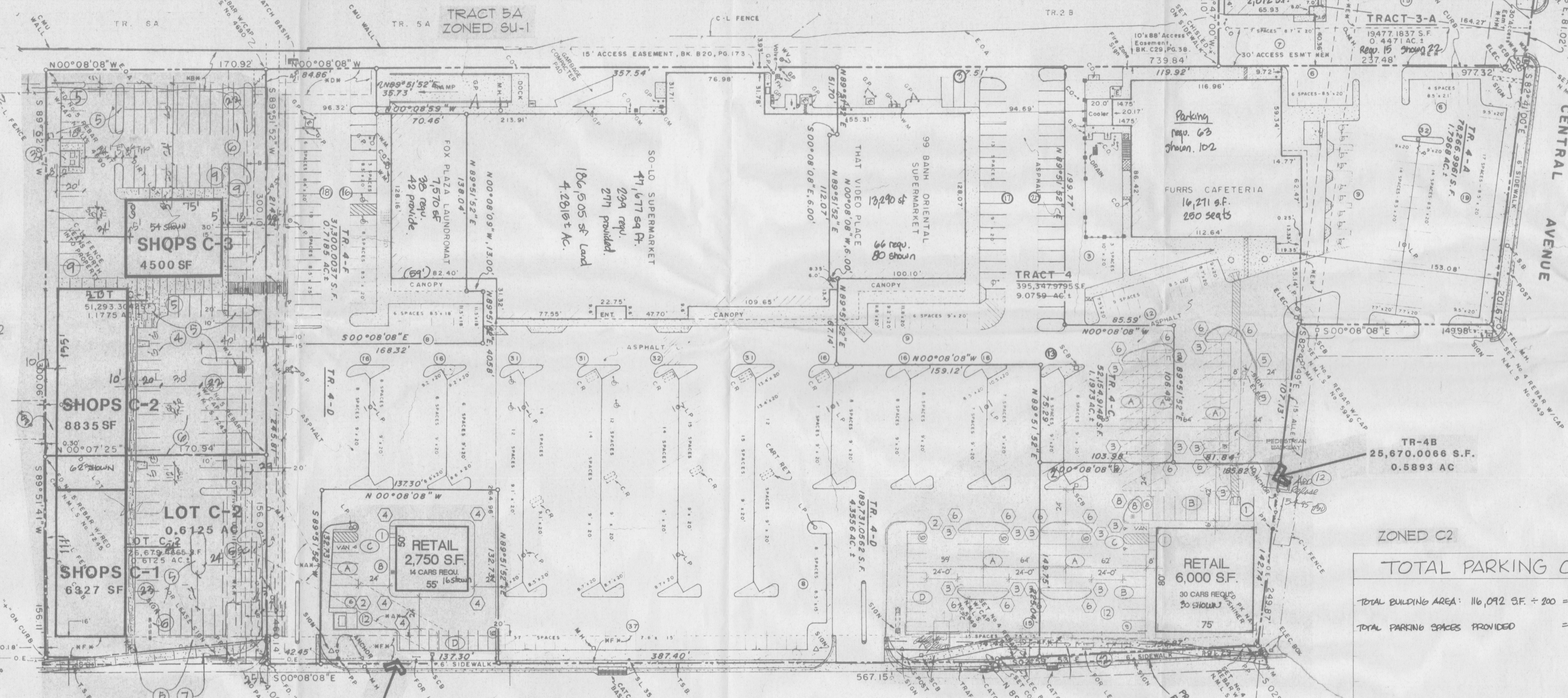
F) EASEMENT FOR PUBLIC AND/OR PRIVATE UTILITIES, RESERVED IN ORDINANCE NUMBER 77-7, FILED MARCH 30, 1977, IN BOOK MISC. 527, PAGE 272, AS DOCUMENT NUMBER 77-17363 AND FILED APRIL 06, 1977, IN BOOK D22A, PAGE 980, AS DOCUMENT NUMBER 77-19058.

G) GRANT OF EASEMENT FOR STORM DRAINAGE, FILED AUGUST 19, 1982 IN BOOK MISC. 952, PAGE 655, AS DOCUMENT NUMBER 8243084.

H) 30 FOOT INGRESS AND EGRESS EASEMENT, FILED JANUARY 10, 1986, IN BOOK MISC. 310A, PAGE 417, AS DOCUMENT NUMBER 862629.

I) 10 FOOT WIDE SURFACE FLOW AND UNDERGROUND STORM DRAINAGE EASEMENT FILED FEBRUARY 24, 1981, IN BOOK MISC. 833, PAGES 95-97.

K) 10' FOOT WIDE PRIVATE UTILITY EASEMENT TO SERVE LOT C-1, FILED OCTOBER 09, 1986, BOOK C-31, PAGE 164.



LOCATION & LEGAL DESCRIPTION

FOX PLAZA
ADMINISTRATIVE AMENDMENT
CONSISTS OF
TRACT 4B & 4-E
LAND OF TIJERAS PLACE IMPROVEMENT COMPANY INC.
LYING WITHIN SECTION 24, T.10N, R.3E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
AUGUST, 1994

ZONING: C-2
TOTAL SQUARE FOOTAGE: 43,895,008 SF. +-
TOTAL ACREAGE: 10.011 AC +-
ZONE A/LAS: K-18-Z

BUILDING AREA AND PARKING CALCULATIONS

BUILDING AREA	CARS
TRACT 4B	6,000 SF. ÷ 100 = 30
TRACT 4-E	2,750 SF. ÷ 200 = 14
REQUIRED PARKING SPACES	44
PROVIDED PARKING SPACES	50

LANDSCAPE CALCULATIONS

TOTAL LAND	43,895,008 SF. +-
LESS BUILDING AREA	
TRACT 4B	
TRACT 4-E	
TOTAL	
LESS ASPHALT & CONCRETE AREA	
REQUIRED	REMAINING
TOTAL LANDSCAPING PROVIDED	
INCLUDES-	
TRACT 4B	
TRACT 4-E	

ZONED C2

TOTAL PARKING CALCS.

TOTAL BUILDING AREA: 116,092 SF. ÷ 200 = 581 REQU.

TOTAL PARKING SPACES PROVIDED = 673 PROVIDED.

SIGNATURE BLOCK

I CERTIFY THAT THIS AREA ZONED AND THIS PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON _____

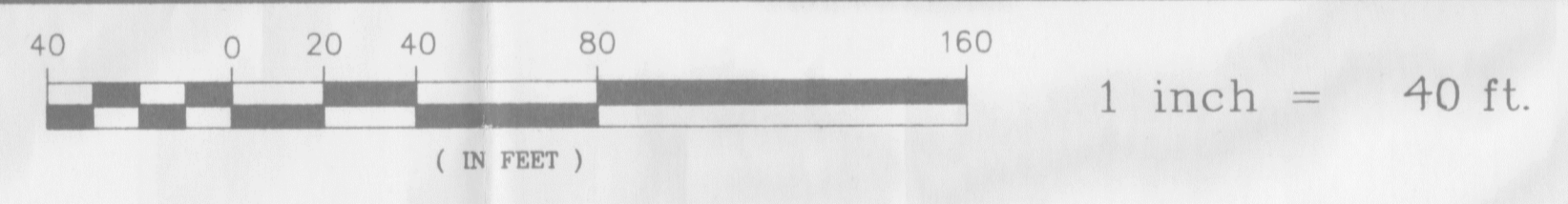
PLANNING DIRECTOR APPROVED AS TO THE REQUIREMENTS	DATE
TRAFFIC ENGINEER	DATE
AMAFCA	DATE
PARKS & RECREATION	DATE
CITY ENGINEER	DATE
WATER RESOURCES	DATE

LEGEND

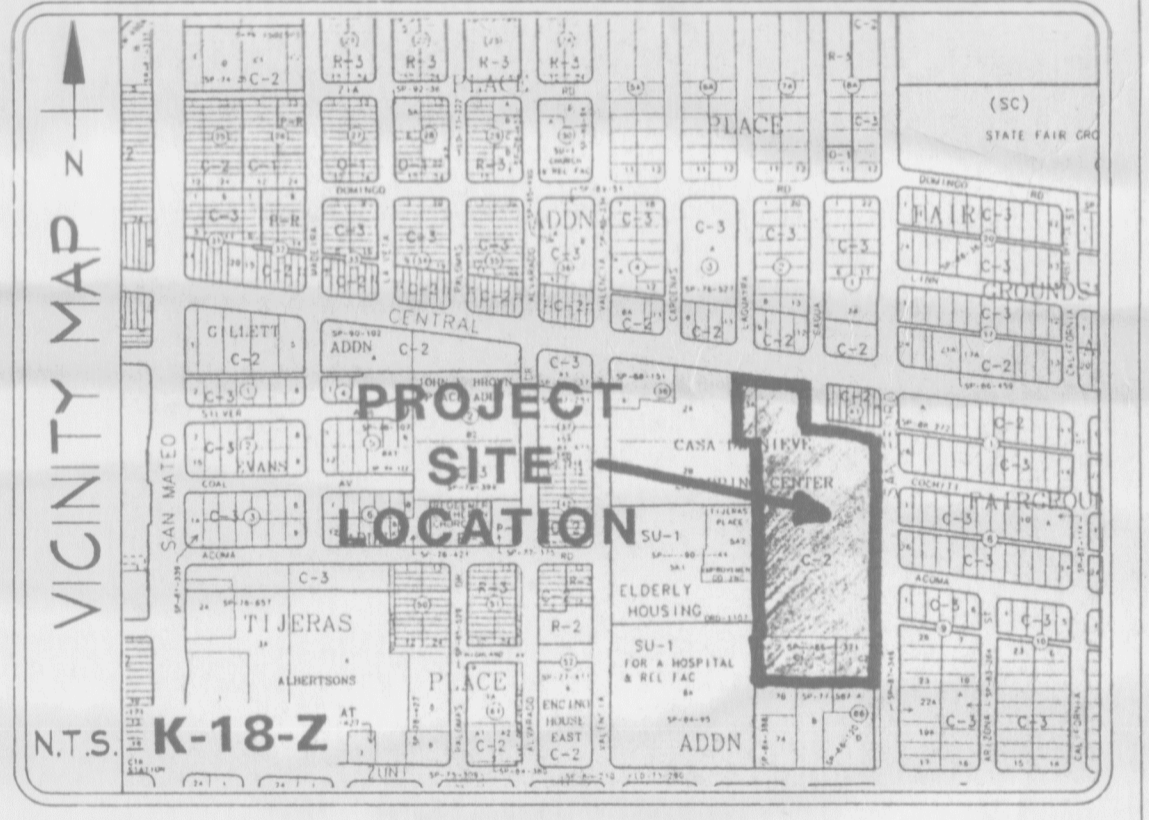
---	EXISTING PROPERTY LINES
---	EXISTING EASEMENTS OF RECORD
---	EXISTING CONCRETE
○ MH	EXISTING MANHOLE
PPH	EXISTING POWER POLE
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
FH	EXISTING FIRE HYDRANT
SCB	EXISTING SPRINKLER CONTROL BOX
E	EXISTING ELEC. BOX OR TRANSFORMER
LPO	EXISTING LIGHT POLES
E.O.A.	EXISTING EDGE OF ASPHALT
ES	EXISTING SIGNS
C.O.	EXISTING CLEAN-OUTS
GP	EXISTING GUARD POSTS
T	EXISTING TREES 3" DIA. OR MORE
L	EXISTING LAWN LANDSCAPE
M	EXISTING MEDIAN CURB
S	EXISTING PAINTED STRIPES
CR	EXISTING CURB RETURNS
CB	EXISTING CATCH BASINS
ET	EXISTING EVERGREEN TREES
PA	EXISTING POWER POLE ANCHORS
○	TOTAL NUMBER OF PAINTED STALLS

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z 92208
6/5/95-34
Planning Director: [Signature]
DATE

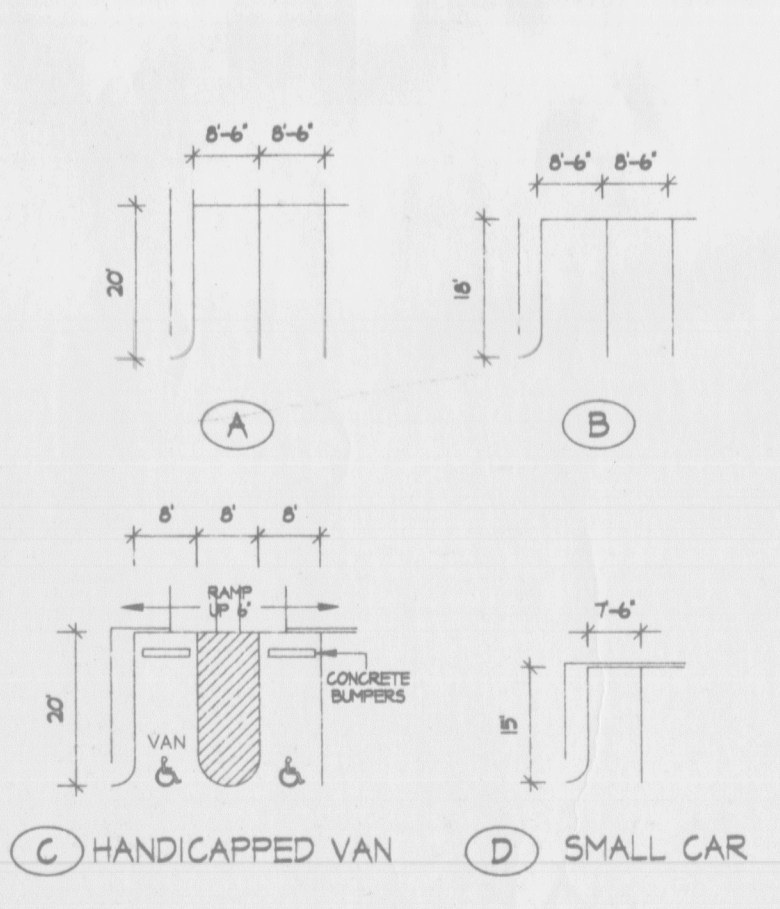
SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT



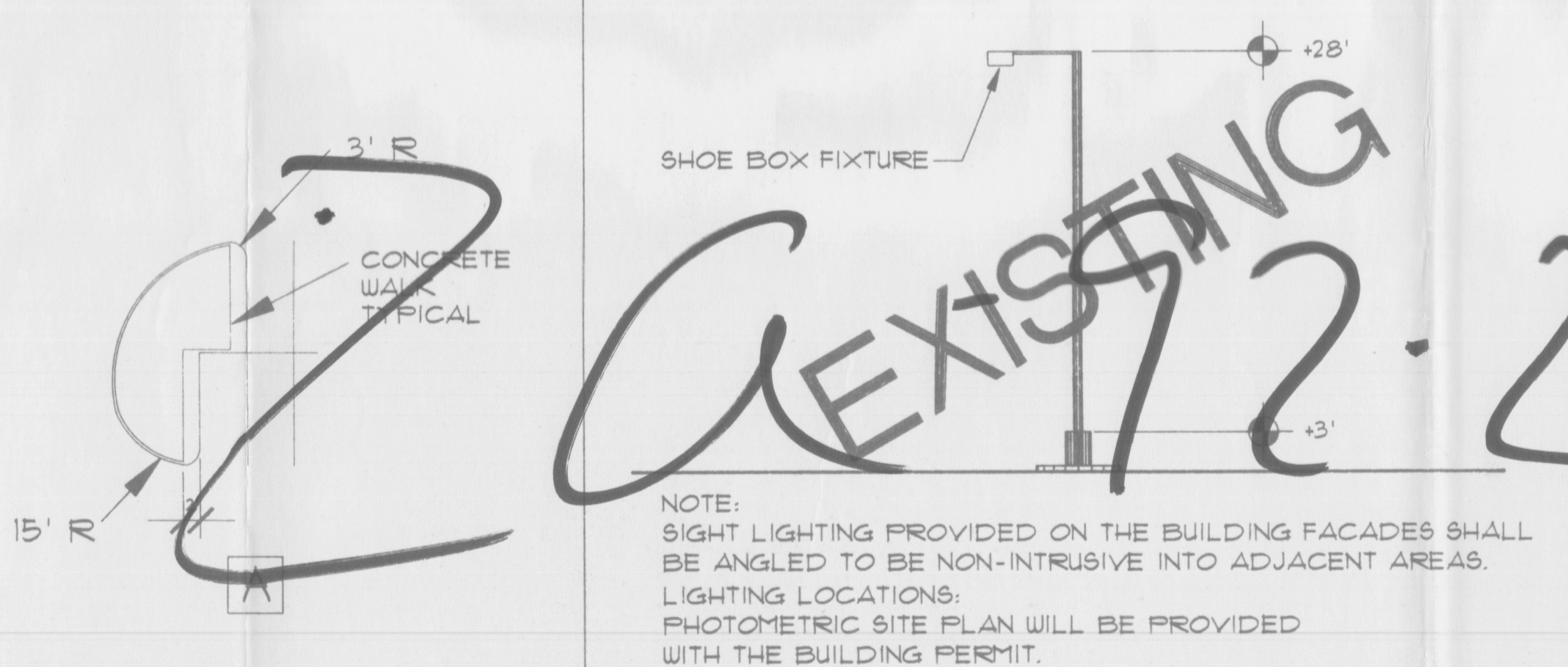
- KEYED NOTES**
- CONCRETE RAMP
 - CONCRETE SIDEWALK
 - STRIPED CROSSWALK
 - STRIPING
 - ASPHALT PAVING
 - FIRE HYDRANT LOCATION (EXISTING)
 - ALL WALKS AT HC PARKING FLUSH WITH HC ACCESS. ALL HC PARKING STALLS TO HAVE PAINTED SYMBOL AND ROLE MOUNTED SIGN. VAN SPACES TO BE IDENTIFIED.
 - BIKE RACK (8 BIKES). SEE DETAIL THIS PAGE.
 - 6" PUBLIC SIDEWALK IN ROW. PROPERTY LINE.
 - 6" PARKING LOT ACCESS SIDEWALK
 - 30' DRIVE WIDTH.
 - REFUSE LOCATION TO CITY OF ALB. STANDARD.
- RADIUS INFORMATION**
- | | |
|----------------------|--------------------|
| ① R = 3'-0" @ 15'-0" | ⑦ RADIUS = 20'-0" |
| ② SEE CURB TYPES | ⑧ RADIUS = 25'-0" |
| ③ RADIUS = 2'-0" | ⑨ RADIUS = 30'-0" |
| ④ RADIUS = 3'-0" | ⑩ RADIUS = 50'-0" |
| ⑤ RADIUS = 5'-0" | ⑪ RADIUS = 15'-0" |
| ⑥ RADIUS = 15'-0" | ⑫ RADIUS = 100'-0" |



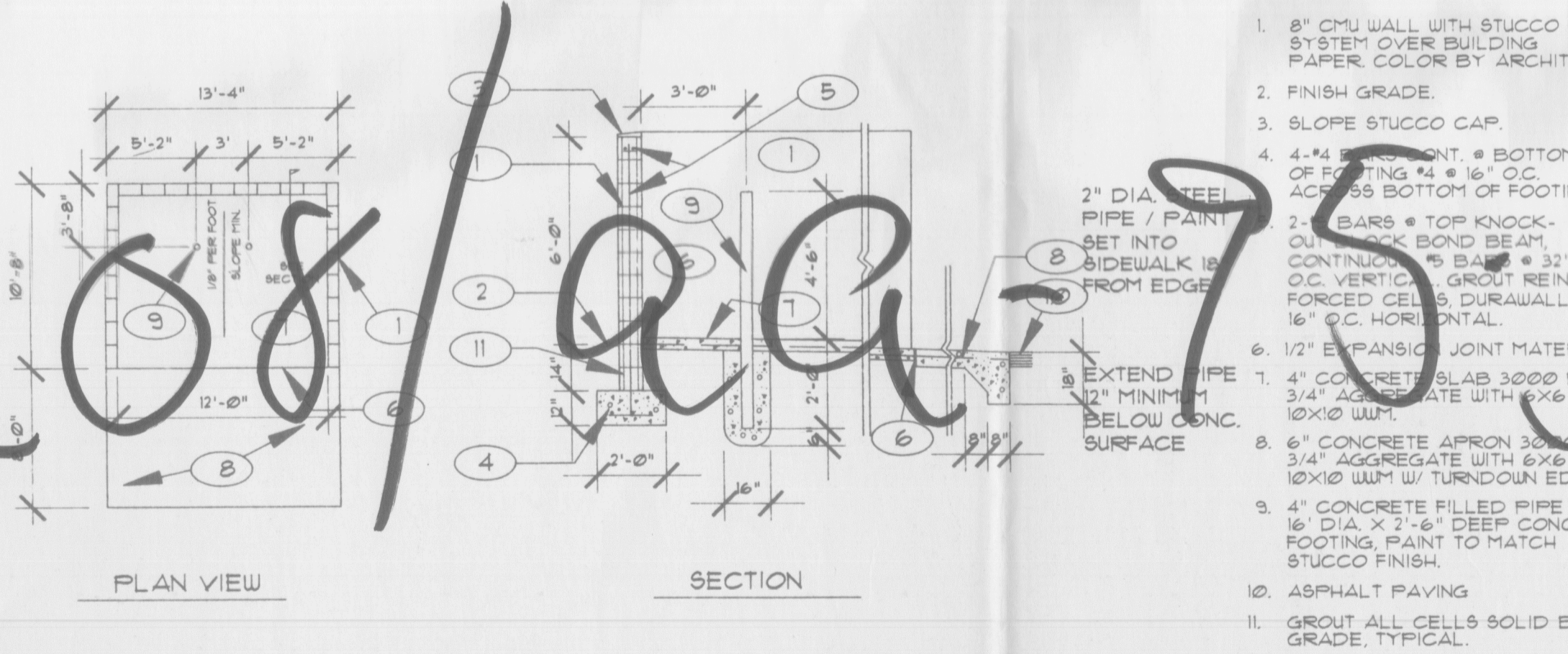
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 UPDATED: _____
 UPDATED: 04/28/95 AS PER CITY COMMENTS (TSV)
 PLOT DATE: 08/10/95



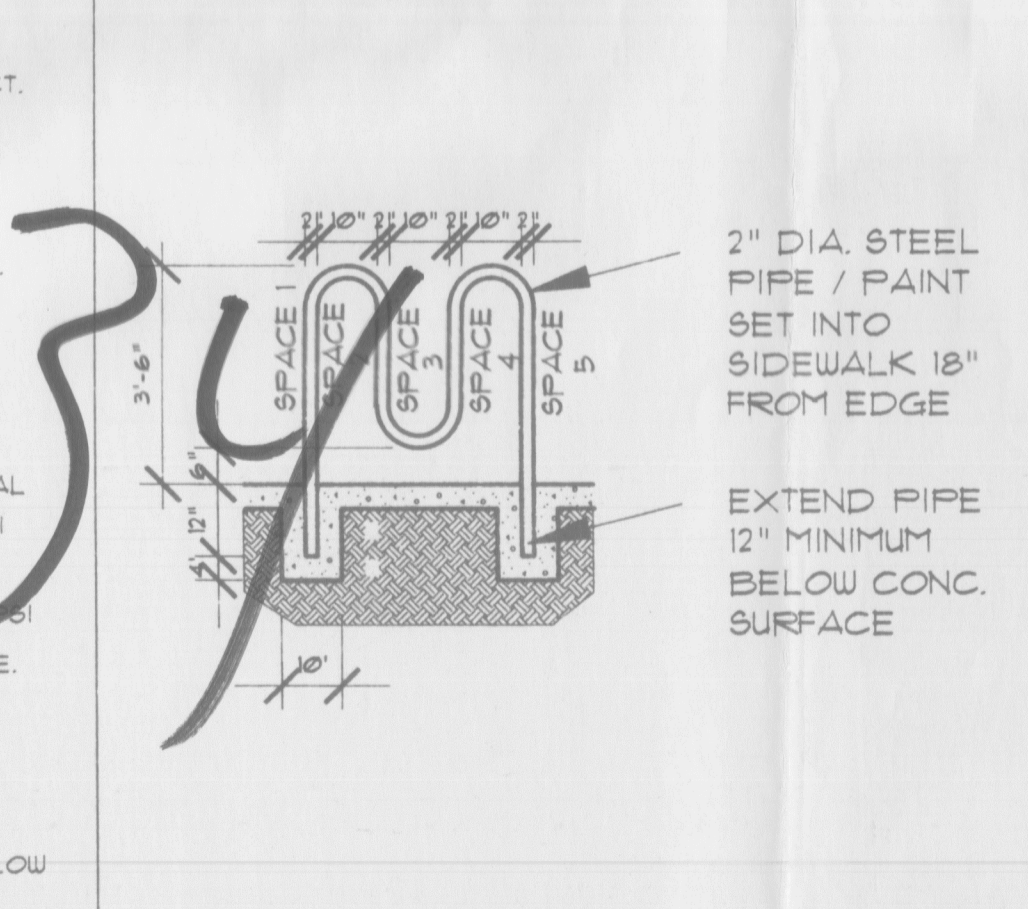
○ PARKING TYPE N.T.S. □ CURB TYPE N.T.S.



○ LIGHTING DETAIL N.T.S.



○ REFUSE DETAIL N.T.S.



○ BIKE RACK DETAIL N.T.S.

job title
FOX PLAZA AMENDMENT
E. CENTRAL AVE. & SAN PEDRO DR. NE.
ALBUQUERQUE, NM

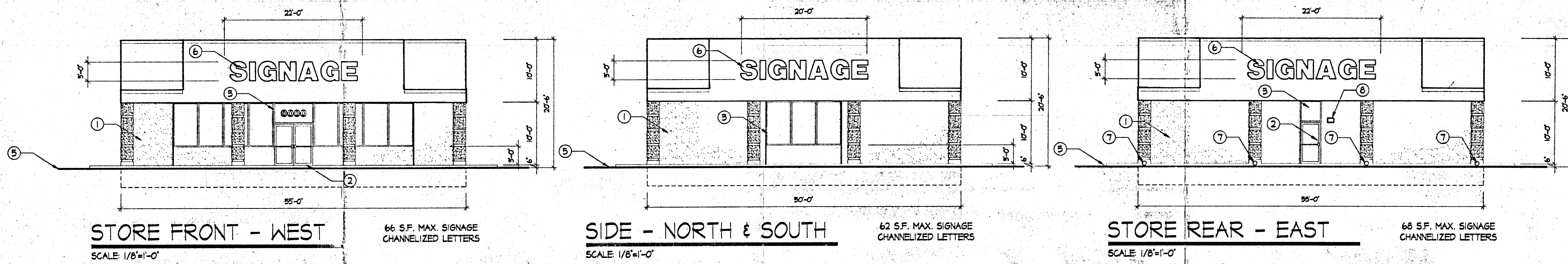
PROJECT MANAGER
GEORGE RAINHART, AIA job no 95087 date 5/10/95

sheet title
SITE DEVELOPMENT PLAN by TSV

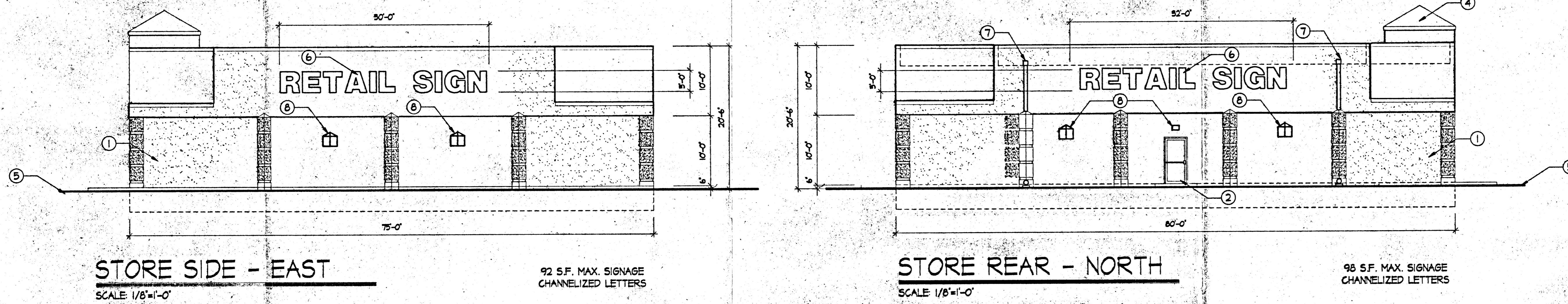
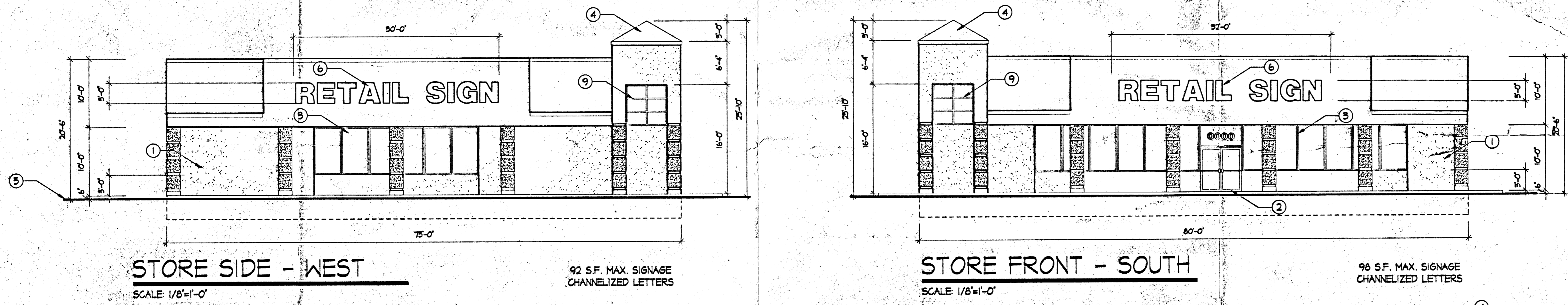
STATE OF NEW MEXICO
JORGE DE LA TORRE
NO. 860
REGISTERED ARCHITECT

de la torre • rainhart, pa
architects
north town office park
7801 academy rd ne, building 2 suite 200
albuquerque, nm 87109 • 505-626-9611

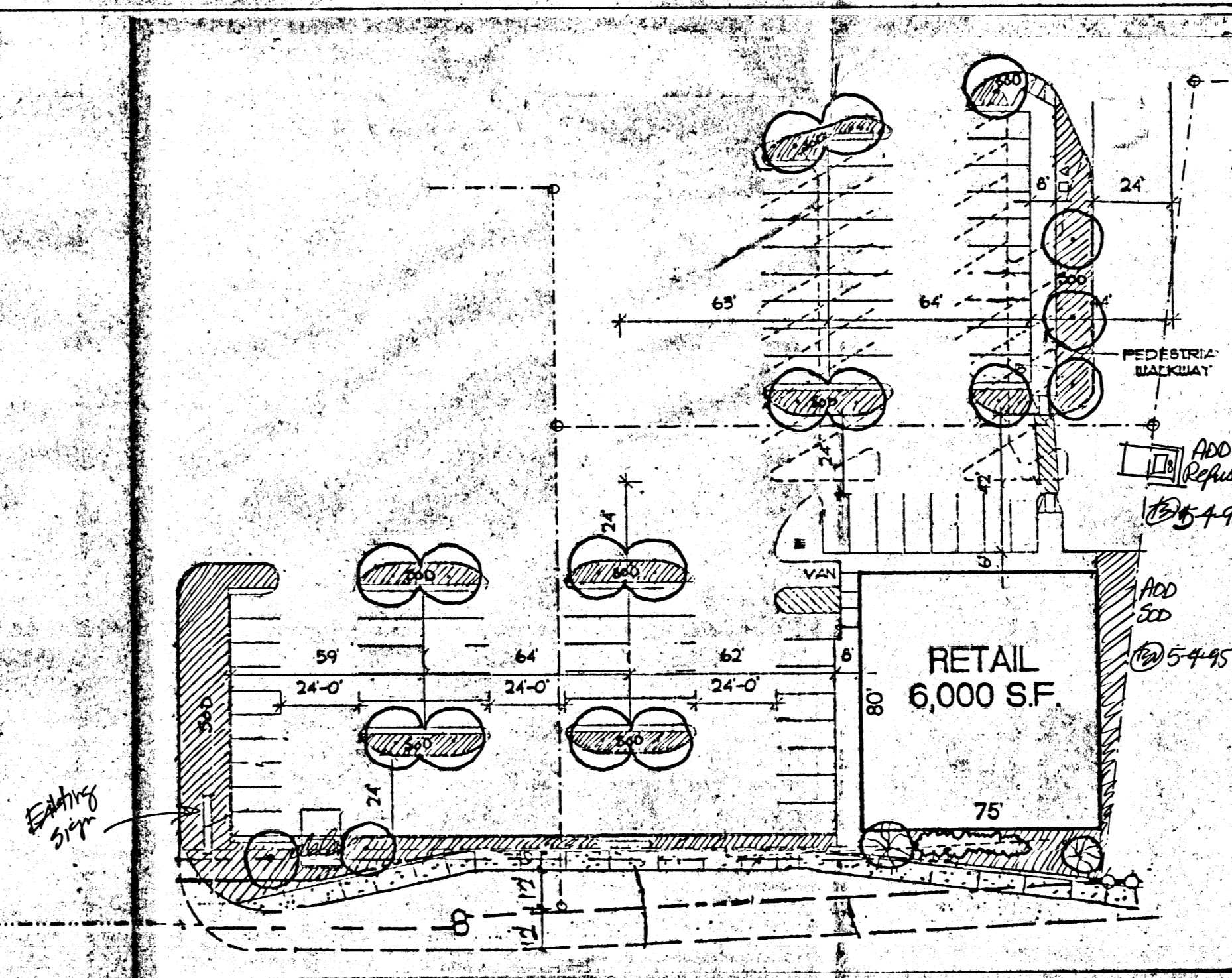
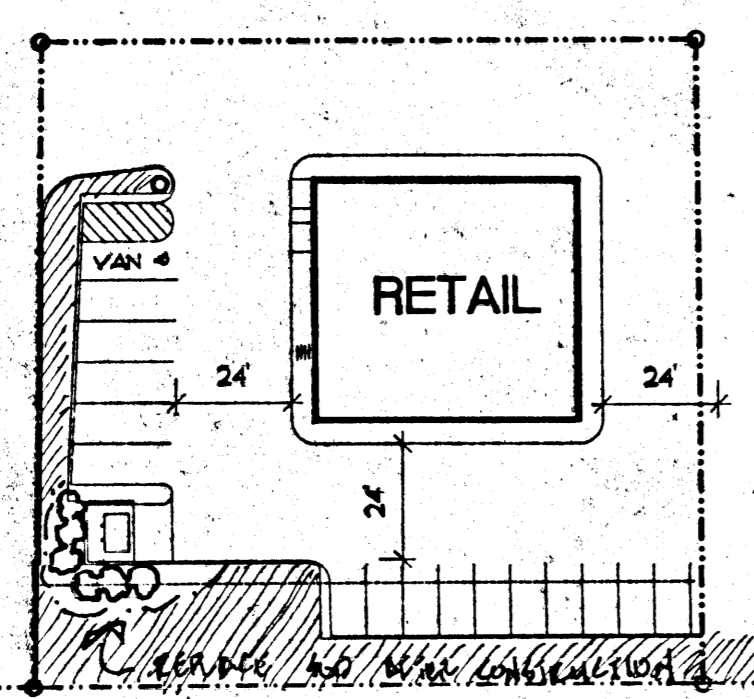
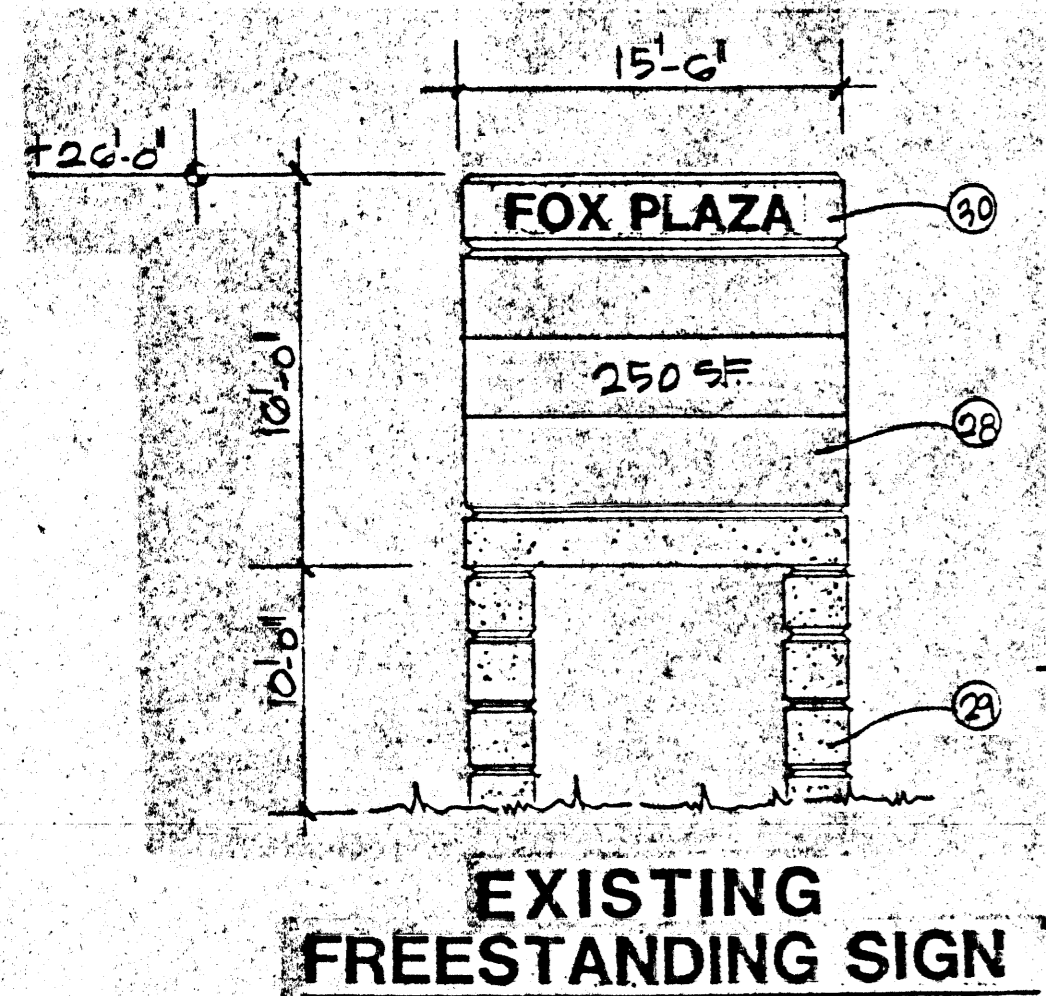
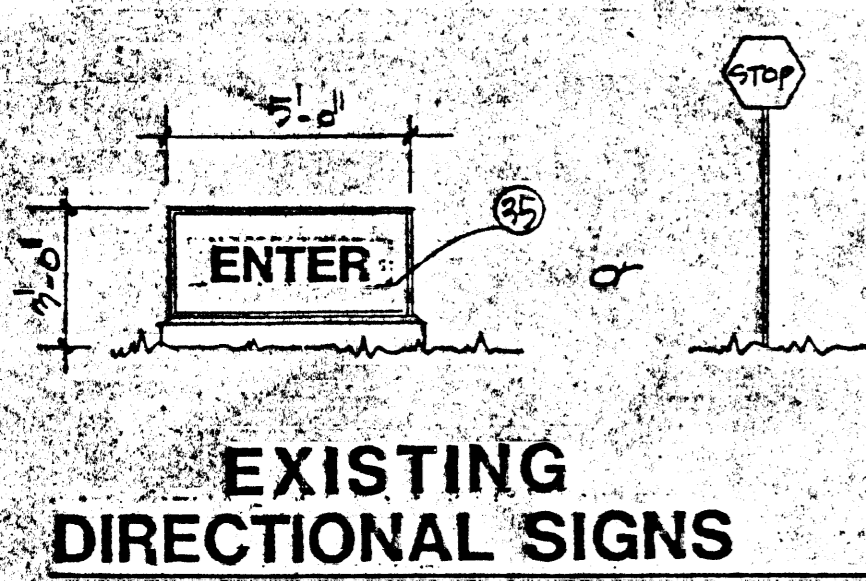
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TRACT 4-E ELEVATIONS

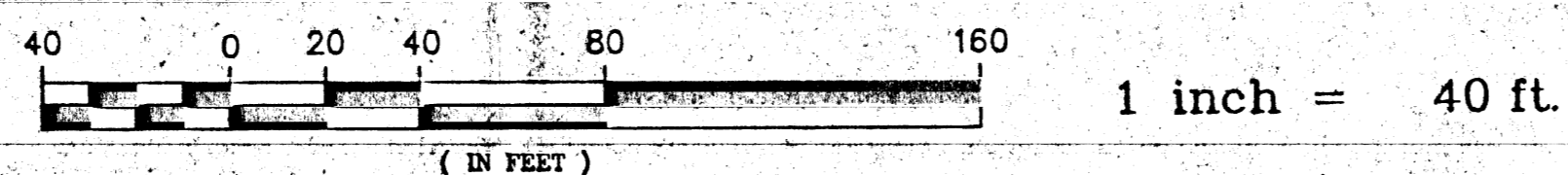


TRACT 4B ELEVATIONS



- NEW PLANT LEVELS**
- 0 8-10 AUSTRALIAN PINE
 - 14 1 1/2" CAL SHUDDER TREE - ASH 'LA WOOD' - LONDON PLANE
 - 4 1 1/2" CAL FLOWERING PLUM
 - 9 SHOOTING STAR LAVENDER / SPRINKLERS
 - 0 300 BEAM
 - 11 GROUND COVER - JUNCIPERS - NUNIPICUS SAGINA - GRAVEL
- LANDSCAPE NOTES**
- ALL LANDSCAPING SHALL BE WATERED BY A COMPLETE UNDERGROUND IRRIGATION SYSTEM OPERATED BY AUTOMATIC TIMER
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.

LANDSCAPING PLAN FOR SUBDIVISION AND BUILDING PERMIT

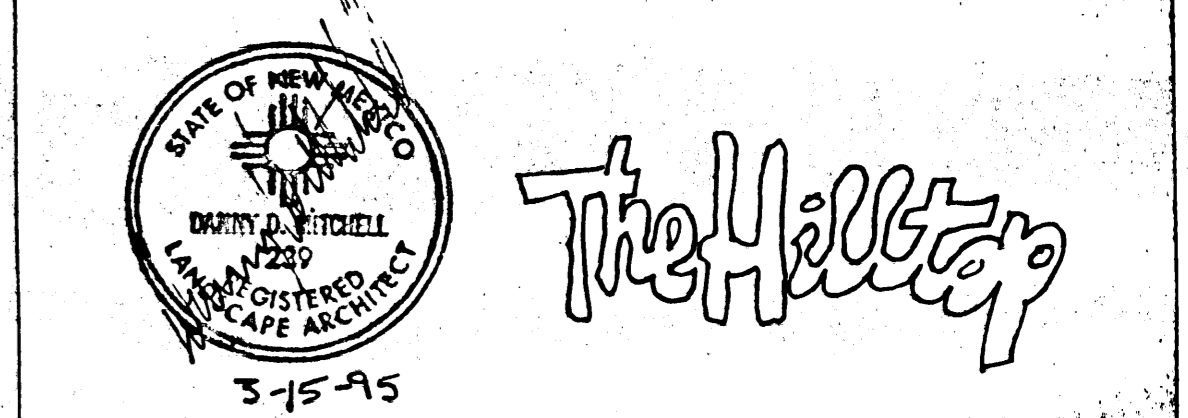


KEYED NOTES

1. CEMENTITIOUS FINISH MATERIAL - MATCH EXISTING
2. PAINTED HOLLOW METAL DOOR & FRAME - MATCH EXISTING
3. ALUMINUM STOREFRONT SYSTEM - MATCH EXISTING
4. COLORED CANVAS CANOPY - MATCH EXISTING
5. ORIGINAL NATURAL GRADE
6. INTERNALLY ILLUMINATED CHANNEL LETTERS
7. CANALES AND SPLASH-BLOCKS, TYPICAL FOR DRAINAGE
8. WALL MOUNTED LIGHT FIXTURE
9. PAINTED GRILLE WORK - MATCH EXISTING

LANDSCAPE CALCULATIONS

TOTAL LAND	43,895.0087 S.F. ±
LESS BUILDING AREA	
TRACT 4B	
TRACT 4-E	
TOTAL -	
LESS ASPHALT + CONCRETE AREA	
REQUIRED	REMAINING -
TOTAL LANDSCAPING PROVIDED	
INCLUDES-	
TRACT 4B	
TRACT 4-E	
AVERAGE LANDSCAPING	



UPDATED: _____
 UPDATED: _____
 UPDATED: _____
 UPDATED: 04/28/95 AS PER CITY COMMENTS (TSV)
 PLOT DATE 03/10/95

Job title: **FOX PLAZA AMENDMENT**
 E. CENTRAL AVE. & SAN PEDRO DR. N.E. ALBUQUERQUE, NM
 PROJECT MANAGER: GEORGE RAINHART, AIA
 Job no: 95037
 date: 5/10/95
 sheet title: ELEVATIONS
 by: TSV

de la torre • rainhart, pa architects
 north town office park
 750 acadmu rd n.c., building 2, suite 200
 albuquerque, nm 87109 • 505-828-9611
 FILE NAME: C:\P\03\03\95\3