



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: KMD Albuquerque LLC		Phone: 214.235.0367
Address: 2424 N. Federal Hwy #101		Email: jake@9mileinvestments.com
City: Boca Raton	State: FL	Zip: 33431
Professional/Agent (if any): CUMULUS DESIGN		Phone: 214.235.0367
Address: 2080 North Highway 360 Suite #240		Email: carlos@cumulusdesign.net
City: Grand Prairie	State: Texas	Zip: 75050
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

The current plan is to redevelop the site into a Financial Center with drive-up atm. Made Site re-configurations. Relocated dumpster and rotated ATM drive-up 180 degrees. Remainder of site remained the same.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TRACT 1-D-1A1	Block:	Unit:
Subdivision/Addition: PARK SQUARE ADDITION	MRGCD Map No.:	UPC Code: 101805850751811622
Zone Atlas Page(s): J-18	Existing Zoning: MX-H	Proposed Zoning: MX-H
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.762

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 6670 INDIAN SCHOOL RD NE	Between: LOUISIANA BLVD	and: AMERICAS PKWY
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

EPC-1008660, 1008660, Z-1461, V-8949

Signature: Carlos Iglesias	<small>Digitally signed by Carlos Iglesias DN: cn=Carlos Iglesias, o=Cumulus Design, ou, email=carlos@cumulusdesign.net, c=US Date: 2021.07.15 17:26:44 -0700</small>	Date: 07/15/2021
Printed Name: CARLOS IGLESIAS	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01129	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2020-004864

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.


Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: Carlos Iglesias <small>Digitally signed by Carlos Iglesias DN: cn=Carlos Iglesias, o=Cumulus Design, ou, email=carlos@cumulusdesign.net, c=US Date: 2021.07.15 17:23:11 -0500</small>	Date:
Printed Name: CARLOS IGLESIAS	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2020-004864	SI-2021-01129
	-
	-
Staff Signature:	
Date:	

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Carlos Iglesias

Digitally signed by Carlos Iglesias
DN: cn=Carlos Iglesias, o=Cumulus Design, ou,
email=carlos@cumulusdesign.net, c=US
Date: 2021.07.15 17:36:28 -05'00'

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- N/A E. Off-Street Loading
 - N/A 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

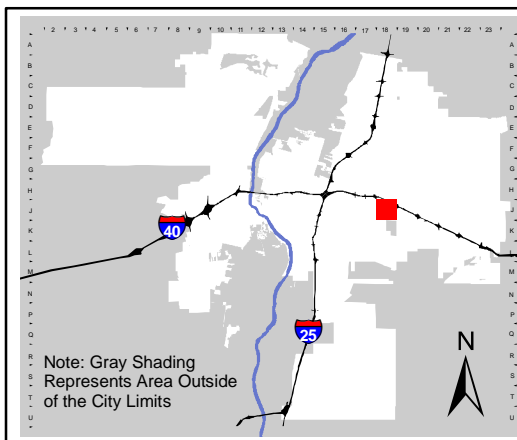
- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



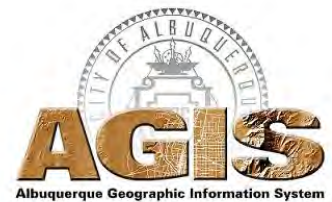
For more current information and details visit: www.cabq.gov/gis



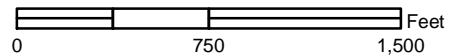
Address Map Page:

J-18-Z

Map Amended through:
3/17/2017



These addresses are for informational purposes only and are not intended for address verification.



Note: Gray Shading Represents Area Outside of the City Limits



July 15, 2021

Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque NM 87102

RE: Justification Letter
6670 Indian School Rd NE
Albuquerque, NM 87110

Dear Sir or Madam,

Please accept this letter as a request for approval of an Administrative Amendment to the Park Square Site Development Plan for Building Permit for the Construction of a Chase Bank at 6670 Indian School Rd NE Albuquerque, NM. As explained below and demonstrated with the submitted plans, we believe this request is within the thresholds of a minor amendment approval since the change meets all of the original requirements of the approved SDP for Park Square, the proposed bank building gross square footage is 63.9% less than the originally approved gross square footage for the Pier 1 Imports building, and the new bank building also meets the current design requirements of the Integrated Development Ordinance for Urban Centers and the Development Process Manual.

The intent is to redevelop the existing abandoned Pier 1 Imports retail store into a Financial Center with one drive-up ATM. The existing 0.762-acre site is fully developed and has a 9,332 S.F. one-story building, with 32 parking spaces to include two ADA accessible parking spaces.

The client intends to demolish the existing structure and convert the site into a 3,361 S.F. one-story Financial Center with one ATM drive-thru lane. The site will be modified to meet current codes for parking, ADA accessibility, lighting, etc. When completed, the site will provide 35 parking spaces with two ADA accessible space, two-motorcycle parking spaces and a bicycle rack that can accommodate six bicycles. The client is also adding an ADA access ramp along Indian School Road NE and Louisiana Boulevard.

The project has an approved Administrative Amendment to the Site Plan dated 4/19/2021. We have made some site modifications requested by the developer. The new site plan relocated the dumpster enclosure to the vicinity of the South-West corner of the building. We also modified and rotated the drive-up ATM 180-degrees. The city of Albuquerque Solid Waste and Planning Department has reviewed and approved the site modifications for Solid Waste, Traffic Circulation Layout and Hydrology.

The Administrative Amendment submittal seeks elevations approval for the proposed Chase Bank building. The façade elements meet or exceed original approved Site Plan for Pier 1 Imports and comply

with the URBAN CENTER (UC) regulation of the IDO. Additionally, we seek approval for signage elevations for the proposed Chase Bank.

Thank you in advance for your review and consideration. Should you have any questions or need additional information, contact me at carlos@cumulusdesign.net or by phone at 214.235.0367 ext:101.

Sincerely,

Signature: Carlos Iglesias
Carlos J. Iglesias

Digitally signed by Carlos Iglesias
DN: cn=Carlos Iglesias, o=Cumulus Design, ou,
email=carlos@cumulusdesign.net, c=US
Date: 2021.07.16 07:49:50 -05'00'

Date: 7/15/2021

PERMIT # BP-2020-40424

A permit, license, or certificate inadvertently issued in conflict with the provisions of the Zoning Code or other City ordinances, rules or regulations is null and void. See, e.g., § 14-16-4-5, ROA 1994, § 6-5-3-6, ROA 1994, § 14-5-1-15, ROA 1994, § 14-6-5 (B), ROA 1004, and others. Also, a permit, license, or certificate issued based upon false or materially incorrect statement or omission in the application is null and void.

The undersigned has express authority from the owner to obtain this permit and is acting as the owner's agent in obtaining this permit:

I HAVE READ THE ABOVE AND HERE BY AGREE TO ACCEPT THE RESPONSIBILITY FOR ANY CHANGES IN CONSTRUCTION NECESSARY TO MEET ALL CITY OF ALBUQUERQUE CODE OR ORDINANCE REQUIREMENTS AFTER PLAN CHECKING HAS BEEN COMPLETED.

PROJECT: CHASE BANK

PROJECT ADDRESS: 2125 LOUISIANA BLYD. NE

OWNER: KMD ALBUQUERQUE LLC

ARCHITECT: ROUCH ARCHITECTS

CONTRACTOR: JMSTITT CONSTRUCTION

SIGNATURE OF OWNER/AGENT: Mark A. Rouch DATE: 2/26/2021

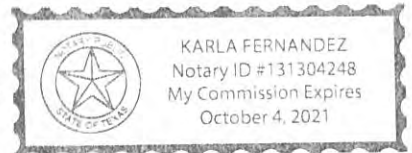
STATE OF NEW MEXICO CITY
OF ALBUQUERQUE

SUBSCRIBED AND SWORN TO before me on this

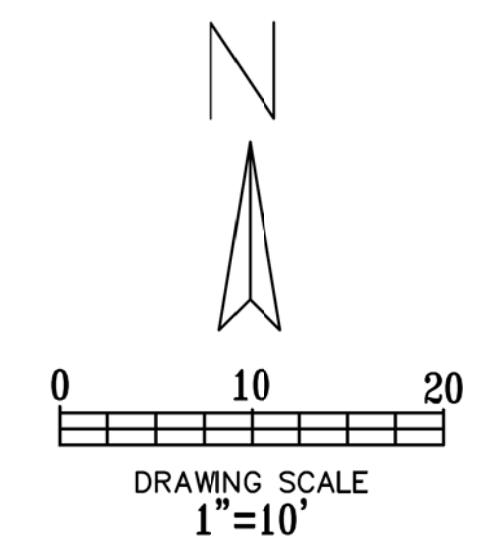
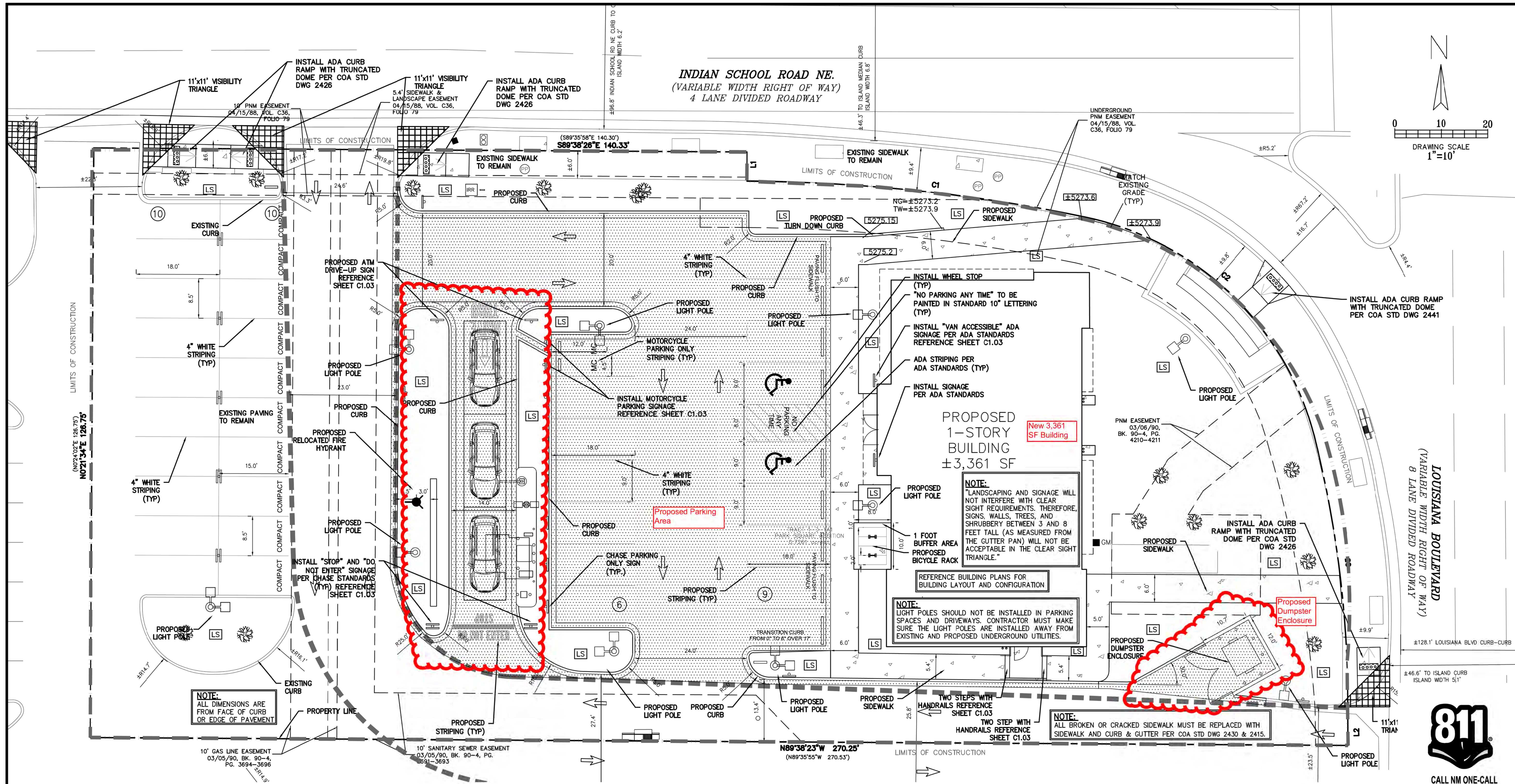
26 day of February, 20 21.

Notary Public

Karla Fernandez



My commission expires: 10/4/2021



Cumulus Design
DESIGN
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel. 214.235.0367



SITE PLAN
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PLOT DATE	07/16/21
DRAWING SCALE	1" = 10'
PROJECT NUMBER	CDC20013
SHEET NUMBER	C1.01

INDIAN SCHOOL ROAD NE.
 (VARIABLE WIDTH RIGHT OF WAY)
 4 LANE DIVIDED ROADWAY

PROPOSED 1-STORY BUILDING
 ±3,361 SF
 New 3,361 SF Building

NOTE:
 "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE."

NOTE:
 LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

NOTE:
 ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STD DWG 2430 & 2415.

NOTE:
 ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 - FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
 - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
 - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
 - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
 - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

LEGEND

- EXISTING CURB
- PROPOSED CURB
- PARKING COUNT
- PROPOSED PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED LIGHT POLE
- LIMITS OF CONSTRUCTION
- PROPOSED LANDSCAPE AREA

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

- BENCHMARK**
- ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88
 - ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00'11"00.11" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

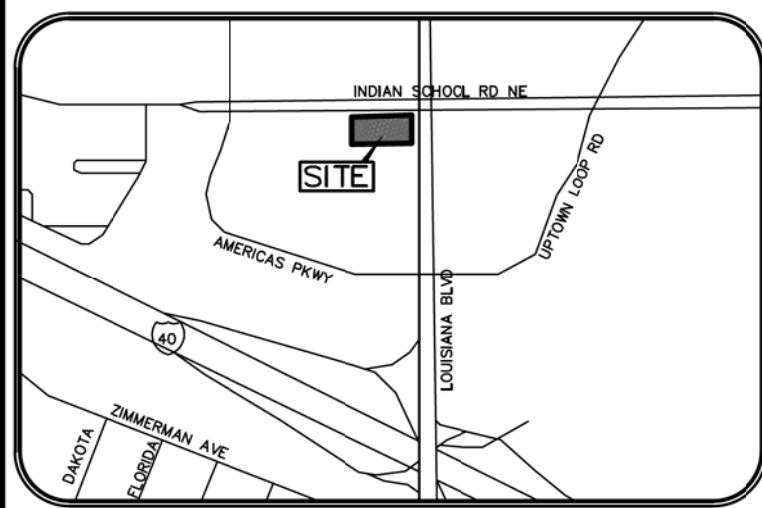
!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	35 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	3 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES



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CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 15, 2021

Paul Cragun, P.E.
Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, TX 75050

**RE: Chase Bank – Indian School Rd.
6670 Indian School Rd. NE
Revised Grading and Drainage Plans
Engineer’s Stamp Date: 06/30/21
Hydrology File: J18D001C**

Dear Mr. Cragun:

PO Box 1293
Based upon the information provided in your submittal received 06/29/2021, the Revised Grading and Drainage Plans are approved for Building Permit and action by the DRB on Site Plan for Building Permit.

Albuquerque
Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103
www.cabq.gov
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner’s certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

The Payment in Lieu payment of **\$2,028.80** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (sdcordova@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette

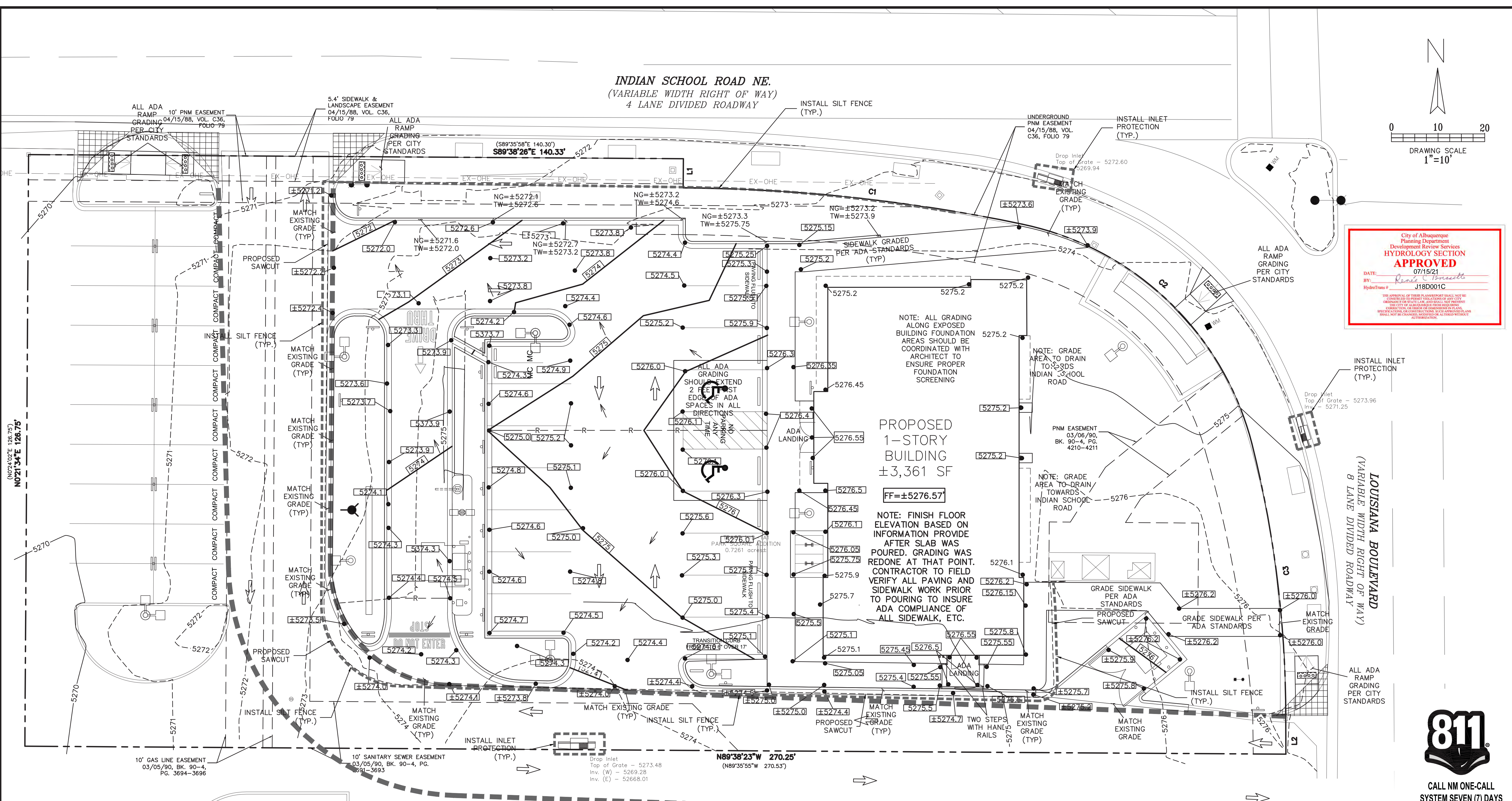
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 07/15/21
 BY: *Renee C. Gonzalez*
 HydroTeam # J18D001C

NOTE: ALL GRADING ALONG EXPOSED BUILDING FOUNDATION AREAS SHOULD BE COORDINATED WITH ARCHITECT TO ENSURE PROPER FOUNDATION SCREENING

NOTE: GRADE AREA TO DRAIN TO SDDS INDIAN SCHOOL ROAD

NOTE: GRADE AREA TO DRAIN TOWARDS INDIAN SCHOOL ROAD

PROPOSED 1-STORY BUILDING
 ±3,361 SF
 FF=±5276.57

NOTE: FINISH FLOOR ELEVATION BASED ON INFORMATION PROVIDED AFTER SLAB WAS POURED. GRADING WAS REDONE AT THAT POINT. CONTRACTOR TO FIELD VERIFY ALL PAVING AND SIDEWALK WORK PRIOR TO POURING TO INSURE ADA COMPLIANCE OF ALL SIDEWALK, ETC.

- GRADING NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
 - BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
 - THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL AND SOLE RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
 - BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARKS PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKERS ARE LOST OR DISTURBED AND ARE NEEDED TO BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

- EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
- ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
- DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
- ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
- SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.

THE EXISTING SITE TOPOGRAPHY WITHIN THE PROPERTY HAS A VERY GENTLE SLOPE. THE GROUND SLOPES DOWN TOWARDS THE NORTH, SOUTH AND WEST. THE PARKING LOT LOCATED IN THE WESTERN PORTION OF THE PROPERTY SLOPES DOWN TO THE NORTH-WEST AND WEST-SOUTHWEST. THE NORTHERN PORTION OF THE SITE HAS A VERY GENTLE SLOPE AS THE GROUND ELEVATION DECREASES BY APPROXIMATELY TWO FEET TO MATCH THE EXISTING ELEVATION ON INDIAN SCHOOL ROAD. THE REMAINING PROPERTY HAS THE SAME GENTLE SLOPE AS THE EXISTING PAVEMENT SLOPES TOWARDS THE WEST-SOUTHWEST. 100 FEET WEST OF THE PROPERTY ALONG INDIAN SCHOOL ROAD, THE GROUND SLOPES TOWARDS TO THE WEST. TO THE EAST OF THE SITE, LOUISIANA BOULEVARD RUNS NORTH/SOUTH. 100 FEET SOUTH OF THE SITE ALONG LOUISIANA BLVD., THE GROUND SLOPES TO THE SOUTH. THE PROPOSED CHASE BANK WILL NOT MAKE CHANGES TO THE EXISTING GENERAL TOPOGRAPHY OF THE SITE OR THE AREA.

LEGEND

	- EXISTING CURB
	- PROPOSED CURB
	- EXISTING SPOT ELEVATION
	- PROPOSED SPOT ELEVATION
	- PROPOSED NATURAL GROUND SPOT ELEVATION
	- PROPOSED CONTOUR
	- LIMITS OF CONSTRUCTION
	- PROPOSED RIDGE
	- SILT FENCE
	- INLET PROTECTION
	- DIRECTIONAL FLOW ARROW
	- PROPOSED SAWCUT
	- NATURAL GROUND
	- TOP OF WALL/CURB

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK
 ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88
 ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=15454048.21 CF=0.999661580 DELTA ALPHA = - 00'11"00.11" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

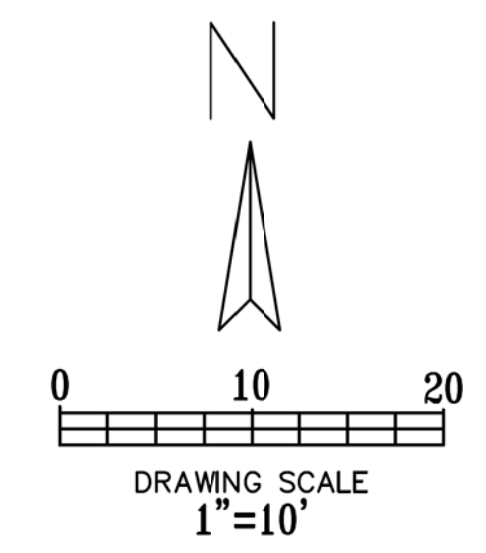
!!! CAUTION !!!

UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

INDIAN SCHOOL ROAD NE.
(VARIABLE WIDTH RIGHT OF WAY)
4 LANE DIVIDED ROADWAY



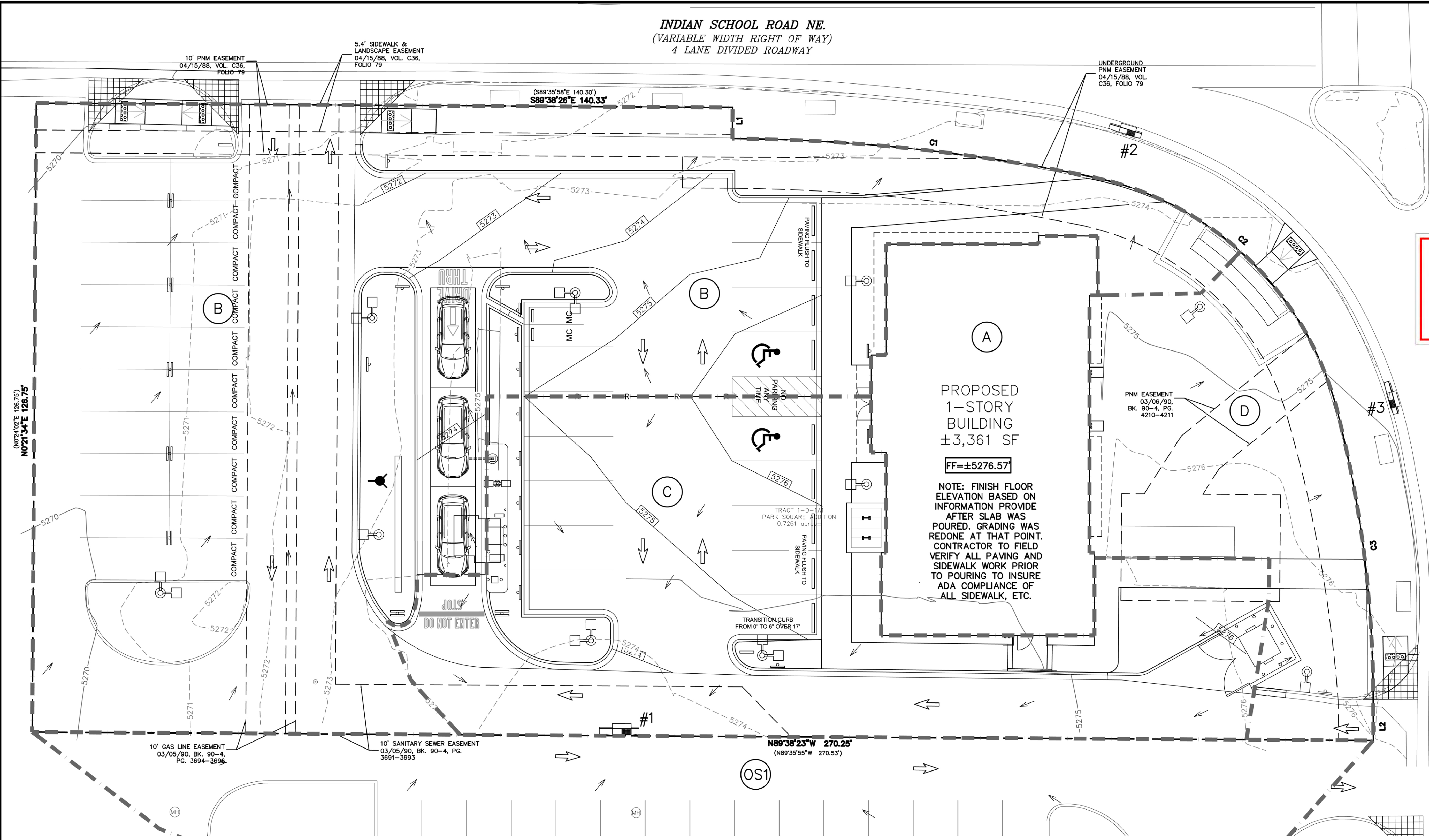
Cumulus Design
DESIGN
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



DRAINAGE AREA MAP
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY



PLOT DATE	07/15/21
DRAWING SCALE	1" = 10'
PROJECT NUMBER	CDC20013
SHEET NUMBER	C8.01



PROPOSED
1-STORY
BUILDING
±3,361 SF
FF=±5276.57

NOTE: FINISH FLOOR
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AFTER SLAB WAS
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CONTRACTOR TO FIELD
VERIFY ALL PAVING AND
SIDEWALK WORK PRIOR
TO POURING TO INSURE
ADA COMPLIANCE OF
ALL SIDEWALK, ETC.

LOUISIANA BOULEVARD
(VARIABLE WIDTH RIGHT OF WAY)
8 LANE DIVIDED ROADWAY

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

LEGEND

	- EXISTING CURB
	- PROPOSED CURB
	- EXISTING CONTOUR ELEVATION
	- PROPOSED CONTOUR
	- DRAINAGE AREA DIVIDE
	- AREA DESCRIPTION
	- FLOW ARROW
	- PROPOSED VALLEY
	- PROPOSED RIDGE

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK
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!!! CAUTION !!!

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CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION

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DRAINAGE CRITERIA
 ZONE 3
 $Q=C*I*A$
 $I_2=1.94$ in/hr
 $I_{10}=3.12$ in/hr
 $I_{100}=4.96$ in/hr
 $t_c=12$ min.

PROPOSED DRAINAGE DATA CHART													
DRAINAGE ID	AREA (SQ. FT.)	AREA (AC.)	C ₂	C ₁₀	C ₁₀₀	T _c (min)	I ₂ (in/hr)	I ₁₀ (in/hr)	I ₁₀₀ (in/hr)	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	COMMENT
A	3361.09	0.08	0.89	0.54	0.91	5.0	1.94	3.12	4.96	0.13	0.13	0.35	ROOF DRAINS TO AREA "C" THEN TO INLET #1
B	16735.87	0.38	0.73	0.50	0.83	5.0	1.94	3.12	4.96	0.54	0.60	1.58	DRAINS TO INDIAN SCHOOL RD THEN TO INLET #2
C	8006.12	0.18	0.79	0.51	0.86	5.0	1.94	3.12	4.96	0.28	0.29	0.78	DRAINS TO INLET #1
D	3524.34	0.08	0.20	0.37	0.56	5.0	1.94	3.12	4.96	0.03	0.09	0.22	DRAINS TO LOUISIANA BLVD THEN TO INLET #3
OS1	7709.17	0.18	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.05	0.20	0.47	DRAINS TO AREA "C"
TOTAL	31627.41	0.73								1.05	1.31	3.41	

CALCULATIONS ARE BASED ON THE RATIONAL METHOD FROM CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 6 – DRAINAGE, FLOOD CONTROL AND EROSION CONTROL. DATED 06/08/2020

COMPOSITE ANALYSIS FOR RUNOFF COEFFICIENT												
DRAINAGE ID	PERCENT IMPERVIOUS	PERCENT PERVIOUS	C IMPERVIOUS (2 year)	C PERVIOUS (2 year)	C IMPERVIOUS (10 year)	C PERVIOUS (10 year)	C IMPERVIOUS (100 year)	C PERVIOUS (100 year)	COMPOSITE C (2 year)	COMPOSITE C (10 year)	COMPOSITE C (100 year)	
A	100.0	0.0	0.89	0.08	0.54	0.34	0.91	.50	0.89	0.54	0.91	
B	79.8	20.2	0.89	0.08	0.54	0.34	0.91	.50	0.73	0.50	0.83	
C	87.2	12.8	0.89	0.08	0.54	0.34	0.91	.50	0.79	0.51	0.86	
D	14.3	85.7	0.89	0.08	0.54	0.34	0.91	.50	0.20	0.37	0.56	
OS1	9.9	90.1	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	

80TH PERCENTILE STORMWATER QUALITY VOLUME TABLE			
DRAINAGE ID	NEW IMPERVIOUS AREA (SQ. FT.)	REDEVELOPMENT SITE FACTOR	80TH PERCENTILE STORM VOLUME (GFS)
A	3362.0	0.26	72.8
B	4980.0	0.26	107.9
C	3362.0	0.26	72.8
D	0.0	0.26	0.0
			253.6

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

WEIGHTED ANALYSIS FOR 6-HOUR EXCESS PRECIPITATION, 'E'						
DRAINAGE ID	LAND TREATMENT B	LAND TREATMENT D	AREA LAND TREATMENT B	AREA LAND TREATMENT D	WEIGHTED E (100 year) (IN)	VOLUME (100 year) (ACRE-FT)
A	0.86	2.58	0.000	0.080	2.580	0.045
B	0.86	2.58	0.077	0.303	2.233	0.007
C	0.86	2.58	0.016	0.023	1.882	0.044
D	0.86	2.58	0.011	0.0686	2.334	0.016
					TOTAL VOLUME	0.112



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSP, CENTRAL ZONE, NAD 83 ELEVATION=5309.898 NAVD88

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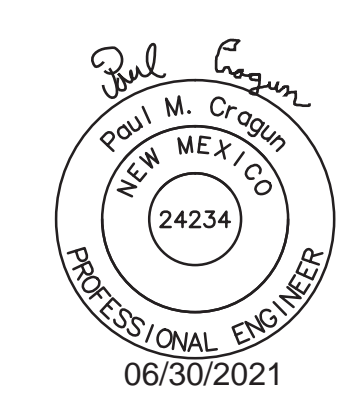
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UNDERGROUND UTILITIES

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CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

CUMULUS DESIGN
 Cumulus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel. 214.235.0367



DRAINAGE AREA MAP
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PLOT DATE
 06/29/21
 DRAWING SCALE
 PROJECT NUMBER
 CDC20013
 SHEET NUMBER
 C8.02

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CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 14, 2021

Carlos Iglesias
Cumulus Design
2080 N. Highway 360, Ste. 240
Grand Prairie, TX 75050

**Re: Chase Bank – Indian School Road
6670 Indian School Road NE
Traffic Circulation Layout
Architect's Stamp 07-12-2021 (J18-D001C)**

Dear Mr. Iglesias,

The TCL submittal received 07-13-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

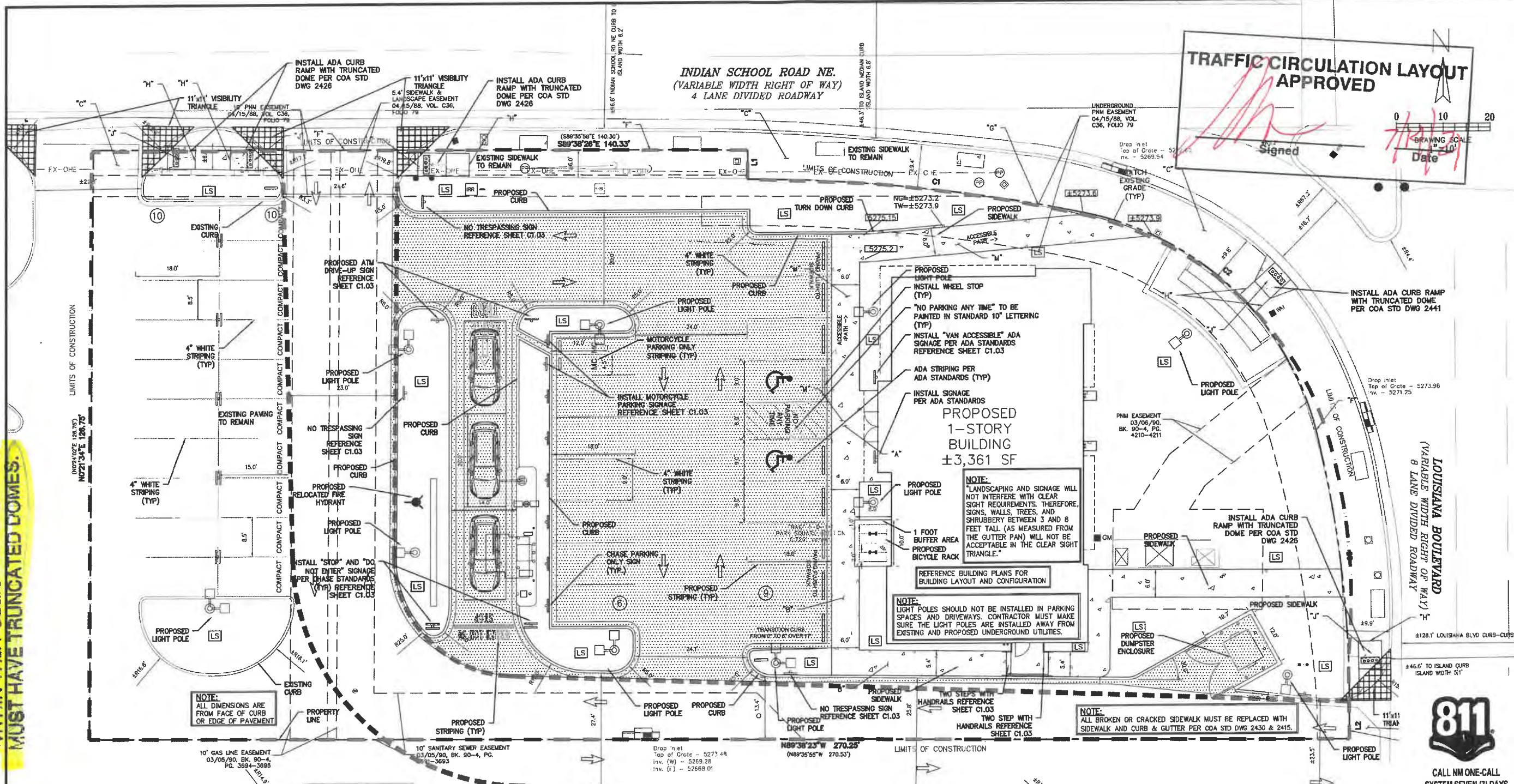
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

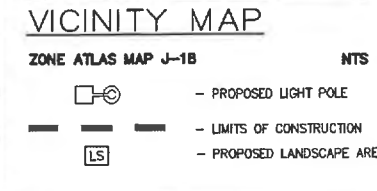


TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: _____ Date: _____

Drawing Scale: 1" = 10'

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	35 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	4/5 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	2/2 SPACES



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PARKING COUNT
 - PROPOSED REINFORCED CONCRETE PAVEMENT ON AN AGGREGATE SUBGRADE. (REFERENCE GEOTECHNICAL REPORT)
 - PROPOSED REINFORCED CONCRETE PAVEMENT ON AN AGGREGATE SUBGRADE. R.O.W. (WORK TO BE DONE PER CITY OF ALBUQUERQUE STANDARD)
 - PROPOSED REINFORCED CONCRETE PAVEMENT ON AN AGGREGATE SUBGRADE. (REFERENCE GEOTECHNICAL REPORT)
 - PROPOSED REINFORCED CONCRETE (AC) NMDOT TYPE SP-III OR IV OVER 8" GRANULATED BASE IN MEDIUM DUTY AREAS (REFERENCE GEOTECHNICAL REPORT)

- CONSTRUCTION NOTES**
- A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
 - B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
 - C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
 - D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
 - E. WALKWAY VARIABLE (4' MINIMUM).
 - F. PROPERTY LINE.
 - G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
 - H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
 - I. CONTRACTION JOINTS.
 - J. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
 - K. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
 - L. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 3.3% MAX. SLOPE, 7% PREFERRED SLOPE.
 - M. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- GENERAL NOTES**
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
 4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
 5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
 6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
 7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVITEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 0011'00.07" NMSF, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 0011'00.11" NMSF, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

III CAUTION III

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO UTILITY CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

Cumulus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel. 214.235.0367



TRAFFIC CIRCULATION PLAN
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY

CHASEO

PLOT DATE: 07/12/21
 DRAWING SCALE: 1" = 10'
 PROJECT NUMBER: CDC20013
 SHEET NUMBER: C1.02

CJ18-0001C

\\SERVER-PC\SERVER\2022 CDC PROJECTS\20220713 - INDIAN SCHOOL ROAD, ALBUQUERQUE\PLANS\TRAFFIC CIRCULATION LAYOUT CDC00013.DWG



TRAFFIC CIRCULATION PLAN
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PLOT DATE	07/12/21
DRAWING SCALE	
PROJECT NUMBER	CDC20013
SHEET NUMBER	C1.03



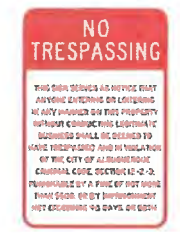
TYPICAL ADA SIGNAGE FOR VAN ACCESSIBLE SPACES
 N.T.S.



TYPICAL ADA SIGNAGE
 N.T.S.



MOTORCYCLE PARKING SIGN
 N.T.S.



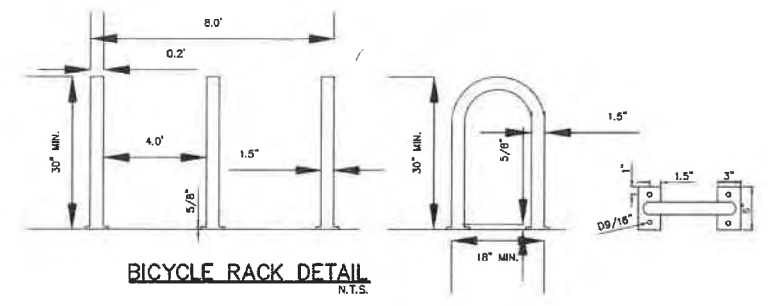
NO TRESPASSING SIGN
 N.T.S.



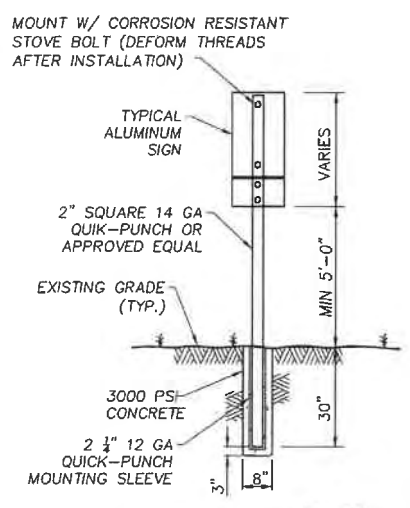
R5-1 (SIZE: 30"x30")
DO NOT ENTER SIGN
 N.T.S.



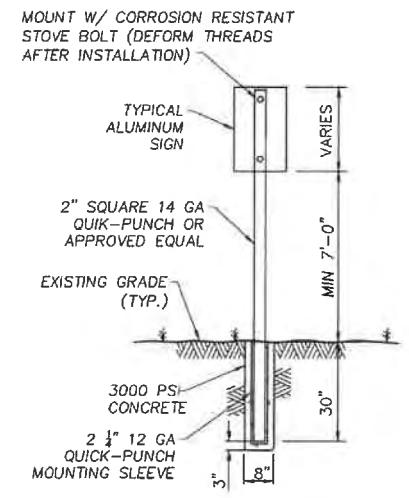
R1-1 (SIZE: 30"x30")
STOP SIGN
 N.T.S.



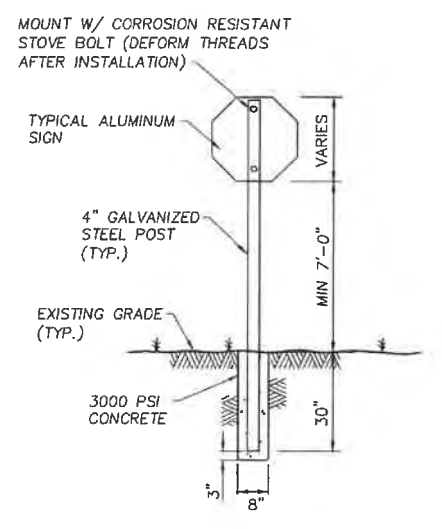
BICYCLE RACK DETAIL
 N.T.S.
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



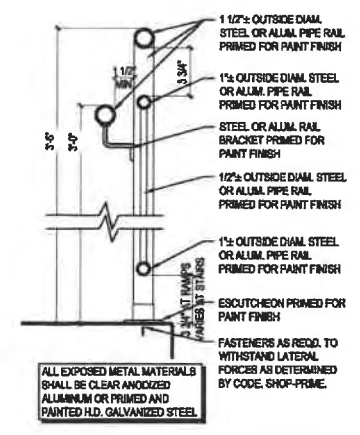
ADA DUAL SIGNAGE MOUNTING DETAIL
 N.T.S.



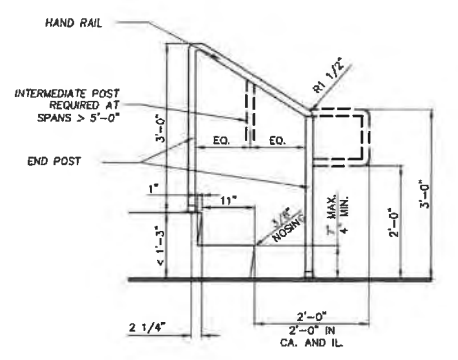
SINGLE ADA AND MOTORCYCLE SIGNAGE MOUNTING DETAIL
 N.T.S.



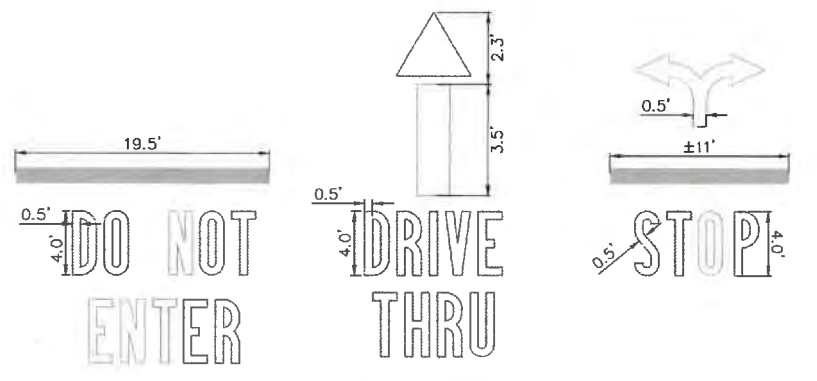
"STOP" AND "DO NOT ENTER" SIGNAGE MOUNTING DETAIL
 N.T.S.



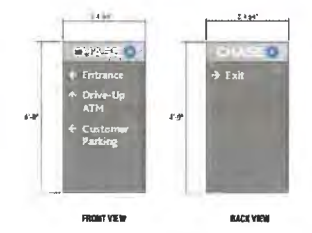
ADA RAMP HAND RAIL DETAIL
 N.T.S.



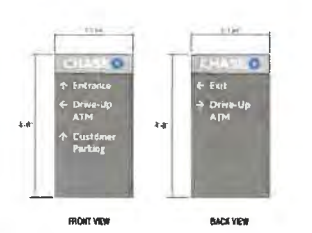
HANDRAIL DETAIL
 N.T.S.



TEXT DETAILS
 N.T.S.



ENTRANCE SIGN #1 DETAIL
 N.T.S.



ENTRANCE SIGN #2 DETAIL
 N.T.S.



DRIVE-THRU ATM SIGNAGE DETAIL
 N.T.S.

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVEX CONSULTING SURVEYORS

BENCHMARK
 ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 0011'00.07" NMSF, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

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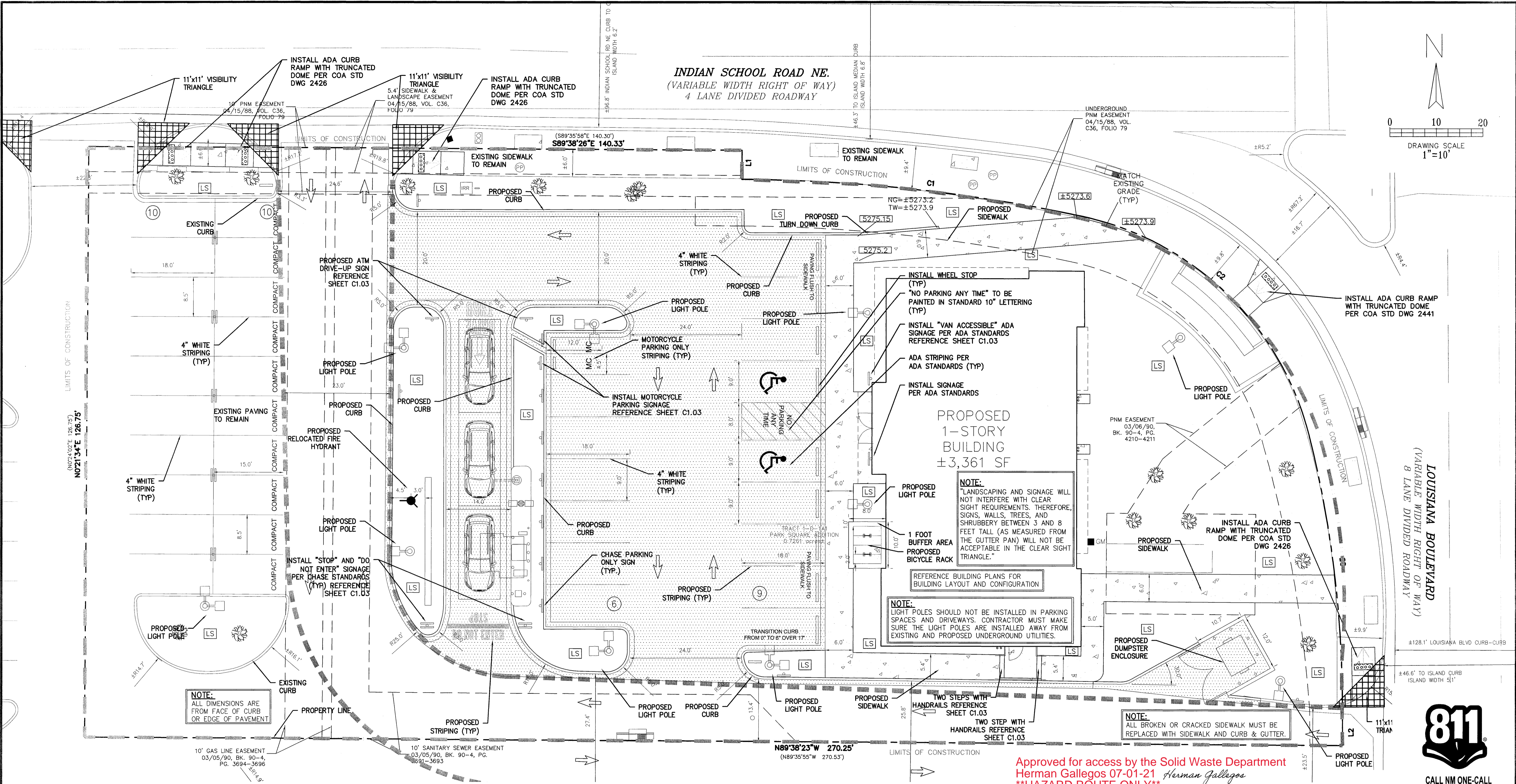
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III CAUTION III
UNDERGROUND UTILITIES

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 CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

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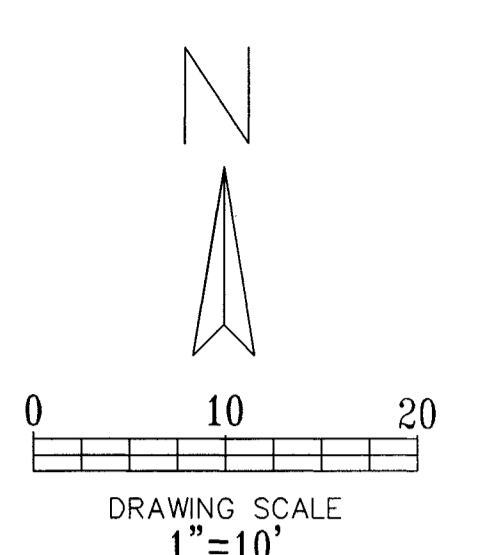
J18-D001C



Cumulus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel: 214.235.0367



SITE PLAN
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PROPOSED 1-STORY BUILDING
 ±3,361 SF

NOTE:
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE:
 LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

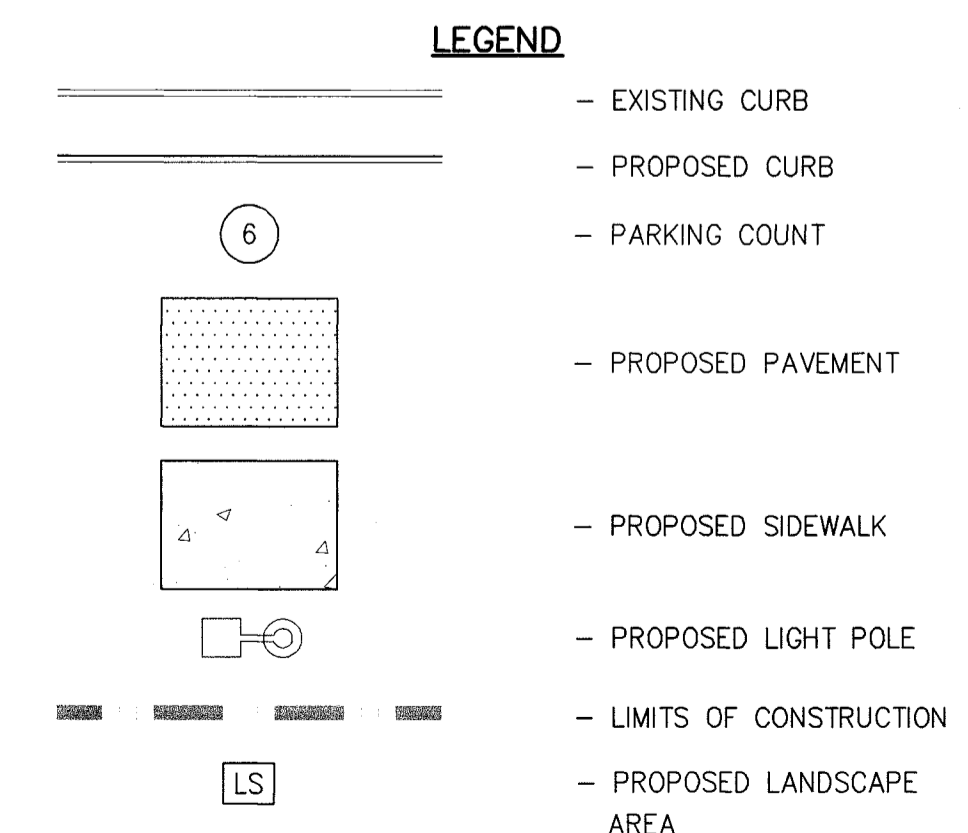
NOTE:
 ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

Approved for access by the Solid Waste Department
 Herman Gallegos 07-01-21
 HAZARD ROUTE ONLY



SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	35 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	3 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	3/4 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

- GENERAL NOTES**
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 - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
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 - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.



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BENCHMARK

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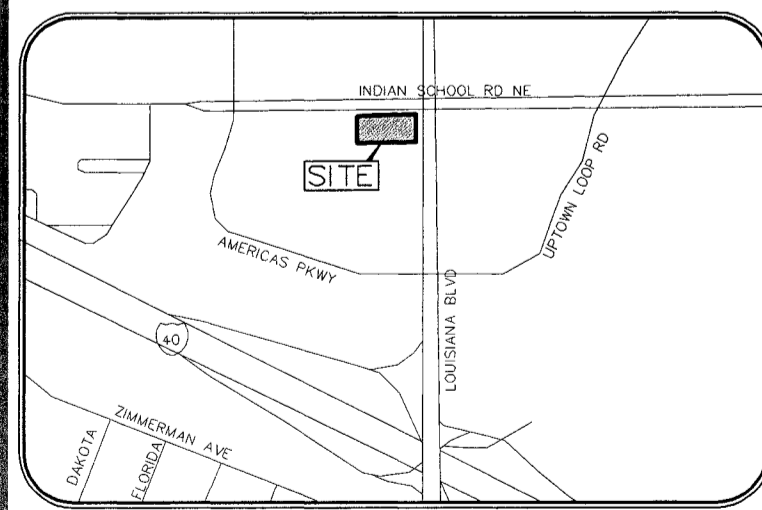
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!!! CAUTION !!!

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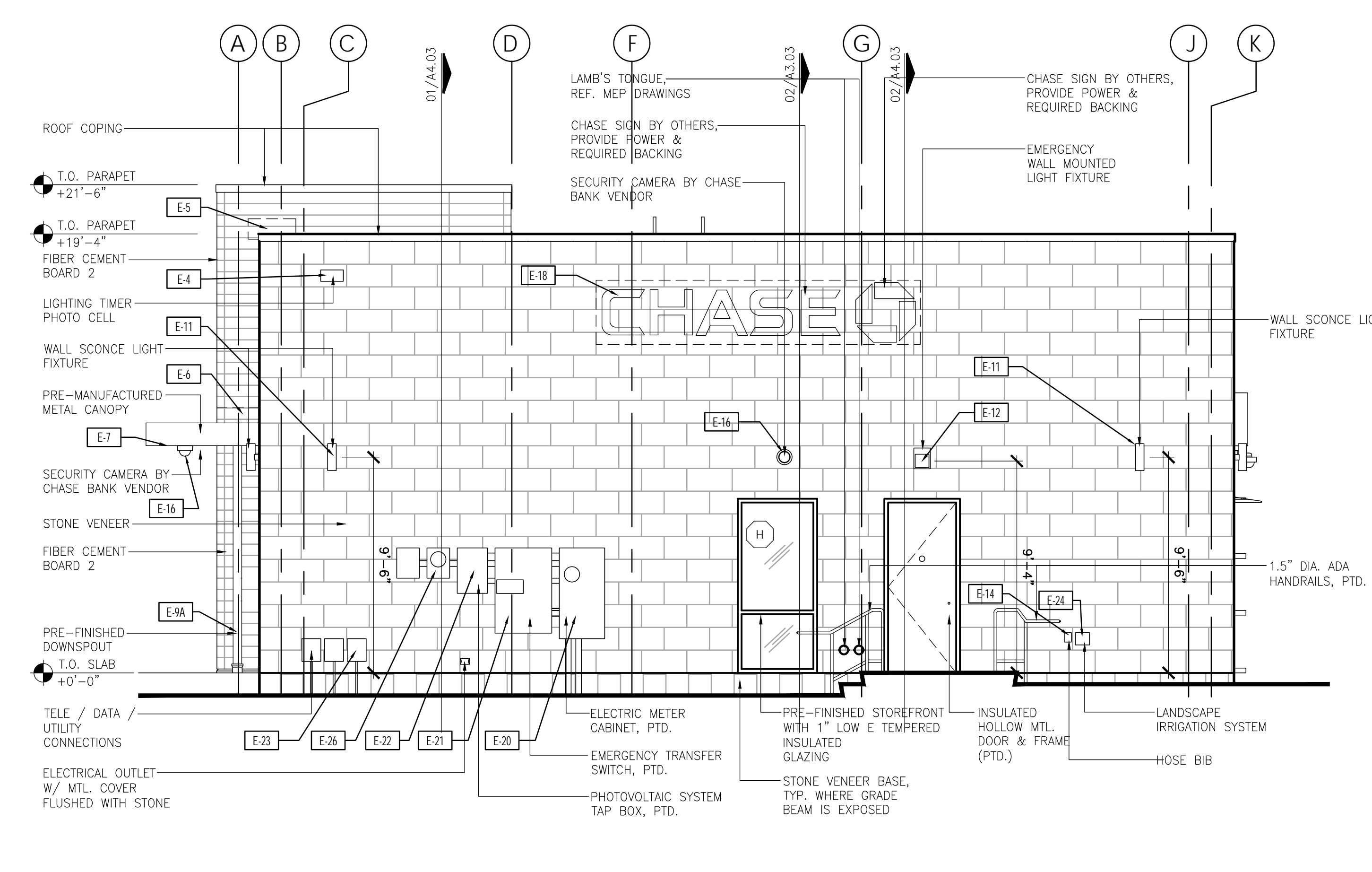
VICINITY MAP
 ZONE ATLAS MAP J-18 NTS

CHASE

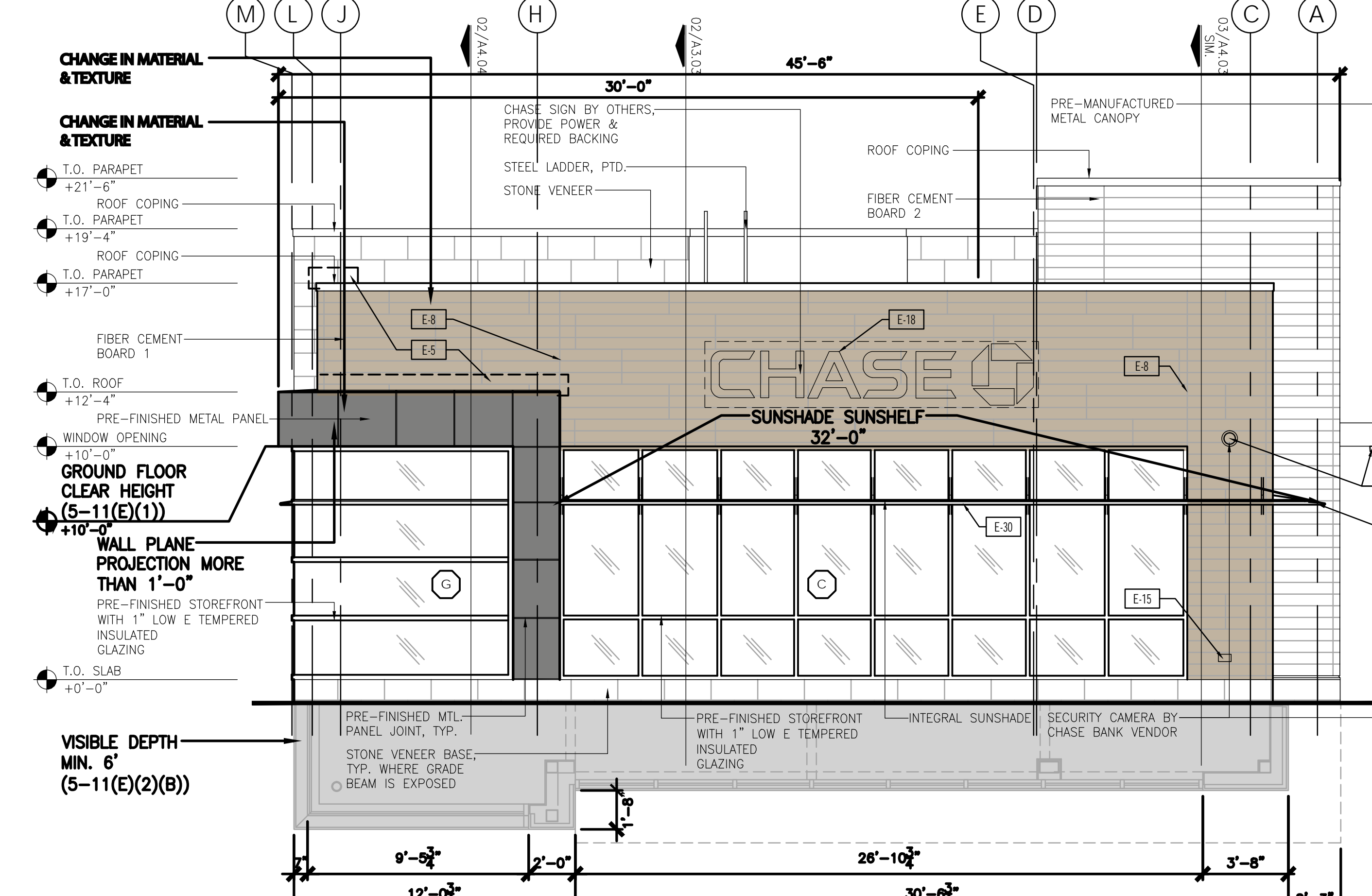
PLOT DATE
 06/30/21
 DRAWING SCALE
 1" = 10'
 PROJECT NUMBER
 CDC20013
 SHEET NUMBER
 C1.01

**NORTH ELEVATION
 CLEAR TRANSPARENT WINDOWS CALCULATION**
 FACADE AREA = 707 SF
 CLEAR TRANSPARENT WINDOWS AREA = 361 SF
 CLEAR TRANSPARENT WINDOWS PERCENTAGE = 51%

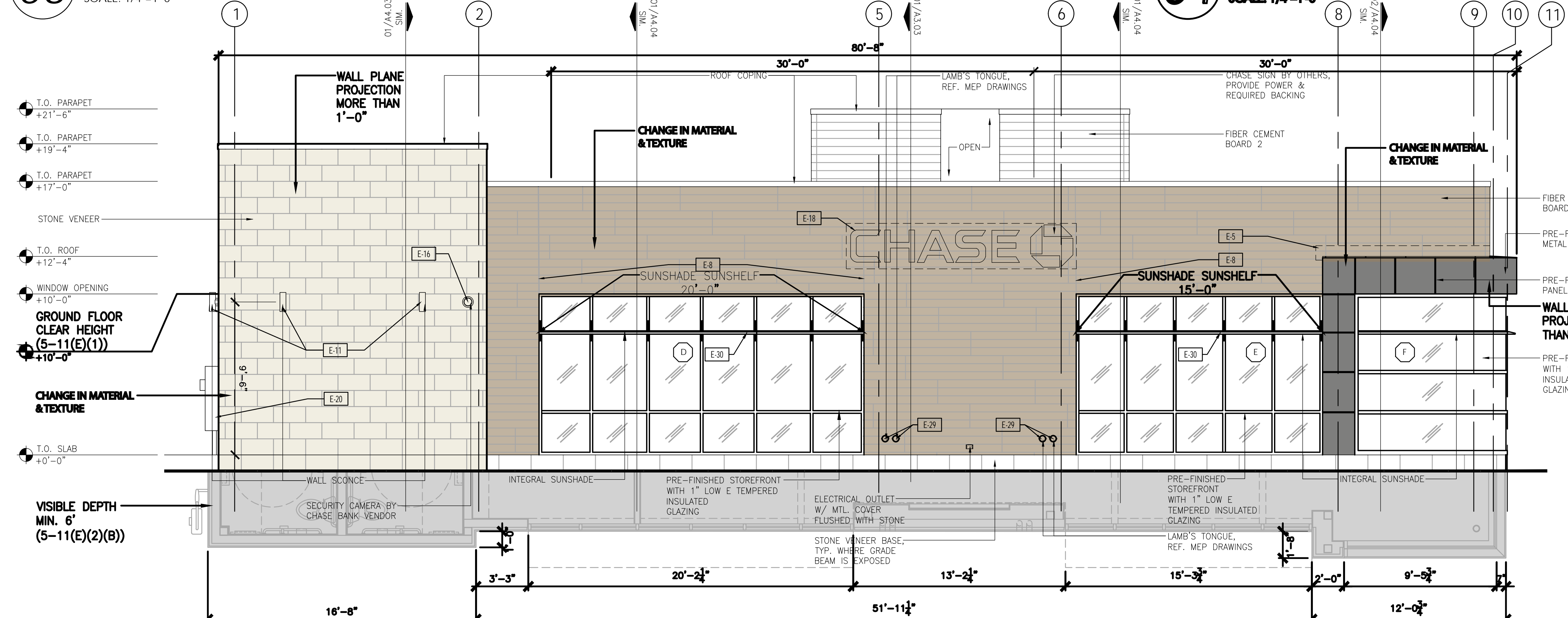
**EAST ELEVATION
 CLEAR TRANSPARENT WINDOWS CALCULATION**
 FACADE AREA = 1,396 SF
 CLEAR TRANSPARENT WINDOWS AREA = 449 SF
 CLEAR TRANSPARENT WINDOWS PERCENTAGE = 31%



03 SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



04 NORTH ELEVATION - INDIAN SCHOOL ROAD
 SCALE 1/4"=1'-0"



02 EAST ELEVATION - LOUISIANA ROAD
 SCALE 1/4"=1'-0"



01 WEST ELEVATION
 SCALE: 1/4"=1'-0"

NOTE:
 1. GENERAL CONTRACTOR TO PROVIDE 4'-0" X 4'-0" MOCK-UP FOR ARCHITECT & DEVELOPER EXTERIOR FINISH APPROVAL.
 2. INSTALL WALL MOUNTED SENSORS ON PARAPET SIDE OF PARAPET.
 3. ALL EXPOSED GRADE BEAM TO HAVE STONE VENEER FINISH.

EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF: ALCOA ARCH PRODUCTS PRODUCT: REYNOLDBOND COLOR: CHURCH LASS 300 CHASE PROGRAM SILVER
FIBER CEMENT BOARD 1	MANUF: NICHHA PRODUCT: VILAGE WOOD AWP 1818 COLOR: BARK SIZE: 2' X 2' (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF: NICHHA PRODUCT: VILAGE WOOD AWP 3030 COLOR: ASH SIZE: 2' X 2' (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF: CONCRETE STONE PRODUCTS PRODUCT: MANUFACTURED STONE VENEER COLOR: CREAM FINISH: CHISELED SIZE: 12" WIDE X 12" HIGH X 1" THICK PATTERN: RUNNING BOND MORTAR: 1/2" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT NOTES: FIELD CUT TO MAX LENGTHS POSSIBLE WITH BUTED AND LAPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS - MITERED CORNERS NOT ACCEPTABLE - CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF: PAC-CLAD PRODUCT: PAC-CONTINUOUS COLOR: TB FINISH: KAWNEER ANODIZED BLACK
STOREFRONT 1	MANUF: KAWNEER COLOR: ANODIZED BLACK
STOREFRONT 2	MANUF: KAWNEER COLOR: CLEAR ANODIZED

ELEVATION NOTES	
E-1	CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS.
E-2	CONCRETE CURBS AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN
E-3	EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY. RECESS MOUNT IN WALL CONSTRUCTION AS RECD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION.
E-4	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS
E-5	METAL FLASHING AND COUNTER FLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
E-6	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING CONCEALED BEHIND WALL FINISH. REFER TO WALL SECTIONS AND DETAILS. COLOR TO MATCH EPT-4. VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS.
E-7	ENTRANCE / ATM CANOPY: SHOP FABRICATED SITE ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPARED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPYS SUPER LUMBERCK WITH LATH SOFFIT AND 1/2" FASCIA, OR APPROVED EQUAL. REFER TO ROOF PLAN AND WALL SECTIONS. INSTALLED BY G.C.
E-8	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH VENEER. MATCH SURFACE COLOR TO VENEER COLOR.
E-9A	SMALL CANOPY DOWNSPOUT/OVERFLOW: 3" DIA ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM. REFER TO SITE PLAN.
E-9B	LARGE CANOPY DOWNSPOUT/OVERFLOW: ROUND ALUMINUM DOWNSPOUT. SIZED AS REQUIRED WITH ATTACHMENT HARDWARE AS REQUIRED. PAINTED TO MATCH ADJACENT WALL/COLUMN FINISH. SPLASH TO CONCRETE DRIVE UP ISLAND.
E-10	SCUPPER: REFER TO ROOF PLAN.
E-11	SURFACE MOUNT DECORATIVE LIGHT FIXTURE: REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
E-12	SURFACE MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT. REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE.
E-13	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE MOUNT.
E-14	HOSE BIB: SET FLUSH WITH FACE OF MASONRY VENEER. REFER TO PLUMBING FIXTURE SCHEDULE.
E-15	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER. PROVIDE METAL COVER COMPLIANT WITH N.E.C.
E-16	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNERS SECURITY CONSULTANT DRAWINGS.
E-17	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR. COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA.
E-18	SIGNAGE: BY OWNERS SIGN VENDOR. N.I.C. PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS RECD. FOR VENDOR INSTALLATION.
E-19	BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM. MIN. 6" HEIGHT OR AS RECD. BY LOCAL CODE.
E-20	ELECTRICAL SERVICE CT / METER CABINET: REFER TO ELECTRICAL DRAWINGS
E-21	EMERGENCY TRANSFER SWITCH: REFER TO ELECTRICAL DRAWINGS
E-22	PHOTOVOLTAIC SYSTEM FUSED DISCONNECT SWITCH: REFER TO ELECTRICAL DRAWINGS
E-23	TELE DATA / UTILITY CONNECTIONS: REFER TO ELECTRICAL DRAWINGS
E-24	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN AND ELECTRICAL PLAN
E-25	GAS METER: REFER TO SITE PLAN AND PLUMBING DRAWINGS
E-26	FUTURE PHOTOVOLTAIC SYSTEM DISCONNECT SWITCH AND PERFORMANCE METER: REFER TO ELECTRICAL DRAWINGS
E-27	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION.
E-28	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE RECD. BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION.
E-29	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND DESIGN INTENT ARCHITECTURAL SITE PLAN
E-30	SUN SHADE: GLAZING SYSTEM MANUFACTURERS STANDARD INTEGRAL SHADE ACCESSORY. REFER TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH BASIS OF DESIGN IS KAWNEER VERSOLEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES
E-31	BOLLARD: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN

- T.O. PARAPET
+21'-6"
- T.O. PARAPET
+19'-4"
- T.O. PARAPET
+17'-0"
- T.O. ROOF
+12'-4"
- WINDOW OPENING
+10'-0"
- T.O. SLAB
+0'-0"



EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF ALCOA ARCH PRODUCTS
	PRODUCT REYNOLBOND
FIBER CEMENT BOARD 1	COLOR DURAGLOSS 500 CHASE PROGRAM SILVER
	MANUF NICHHA
	PRODUCT VINTAGE WOOD AWP 1818
	COLOR BARK
	SIZE 18" X 22" (NOMINAL)
NOTES PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM	
FIBER CEMENT BOARD 2	MANUF NICHHA
	PRODUCT VINTAGE WOOD AWP 3030
	COLOR ASH
	SIZE 18" X 20" (NOMINAL)
	NOTES PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF CORONADO STONE PRODUCTS
	PRODUCT MANUFACTURED STONE VENEER
	COLOR CREAM
	FINISH CHISELED
	SIZE 24" WIDE x 12" HIGH x 1" THICK
	PATTERN RUNNING BOND
	MORTAR 1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT
	NOTES FIELD CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS- MITERED CORNERS NOT ACCEPTABLE - CONTROL JOINTS AS RECOMMENDED BY MANUF.
	MANUF PAC-CLAD
	PRODUCT PAC-CONTINUOUS
ROOF COPING	COLOR TBD
STOREFRONT 1	MANUF KAWNEER
	COLOR ANODIZED BLACK
STOREFRONT 2	MANUF KAWNEER
	COLOR CLEAR ANODIZED

02 WEST ELEVATION
SCALE: 1/4"=1'-0"

- T.O. PARAPET
+21'-6"
- T.O. PARAPET
+19'-4"
- T.O. SLAB
+0'-0"

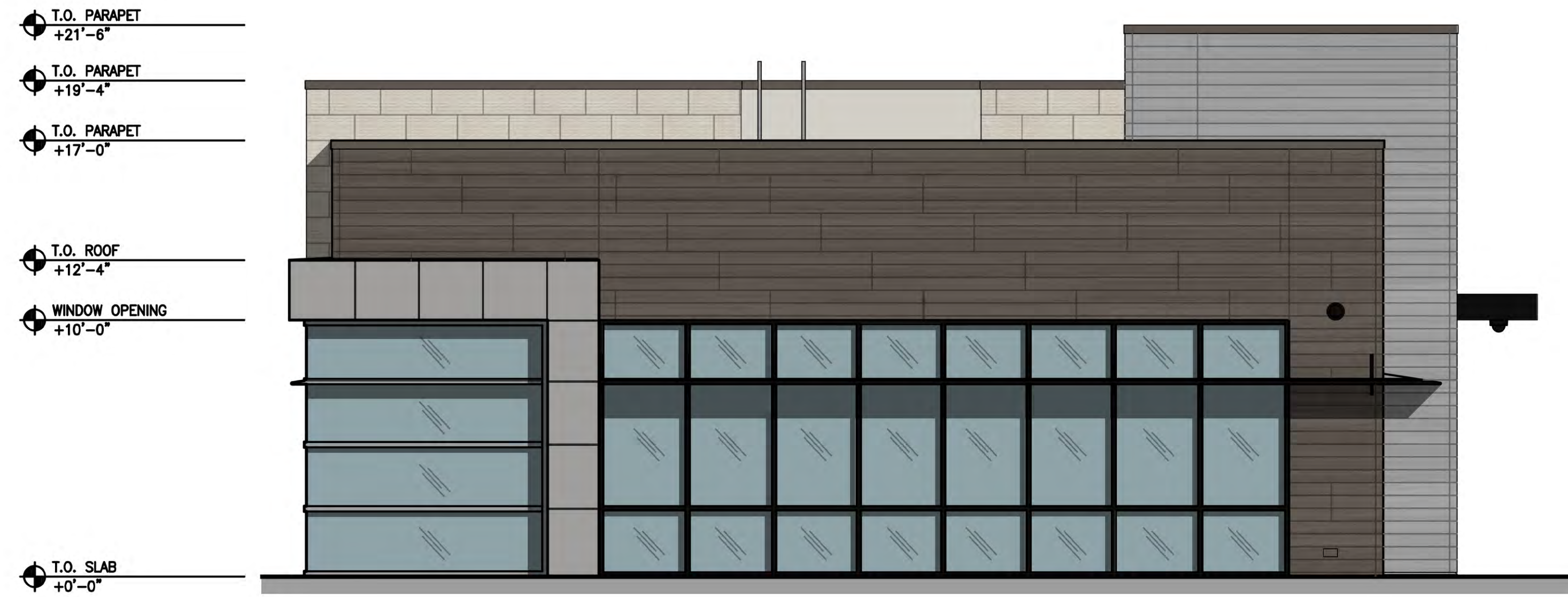


01 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



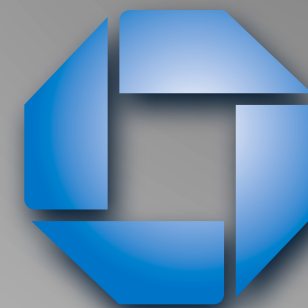
EXTERIOR MATERIAL LEGEND		
METAL PANEL 1	MANUF	ALCOA ARCH PRODUCTS
	PRODUCT	REYNOBOND
FIBER CEMENT BOARD 1	COLOR	DURAGLOSS 500 CHASE PROGRAM SILVER
	MANUF	NICHIHA
	PRODUCT	VINTAGE WOOD AWP 1818
	COLOR	BARK
	NOTES	PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF	NICHIHA
	PRODUCT	VINTAGE WOOD AWP 3030
	COLOR	ASH
	NOTES	PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF	CORONADO STONE PRODUCTS
	PRODUCT	MANUFACTURED STONE VENEER
	COLOR	CREAM
	FINISH	CHISELED
	SIZE	24" WIDE x 12" HIGH x 1" THICK
	PATTERN	RUNNING BOND
	MORTAR	1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT
	NOTES	FIELD CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS- MITERED CORNERS NOT ACCEPTABLE- CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF	PAC-CLAD
	PRODUCT	PAC-CONTINUOUS
	COLOR	TBD
STOREFRONT 1	MANUF	KAWNEER
	COLOR	ANODIZED BLACK
STOREFRONT 2	MANUF	KAWNEER
	COLOR	CLEAR ANODIZED

02 EAST ELEVATION
SCALE: 1/4"=1'-0"



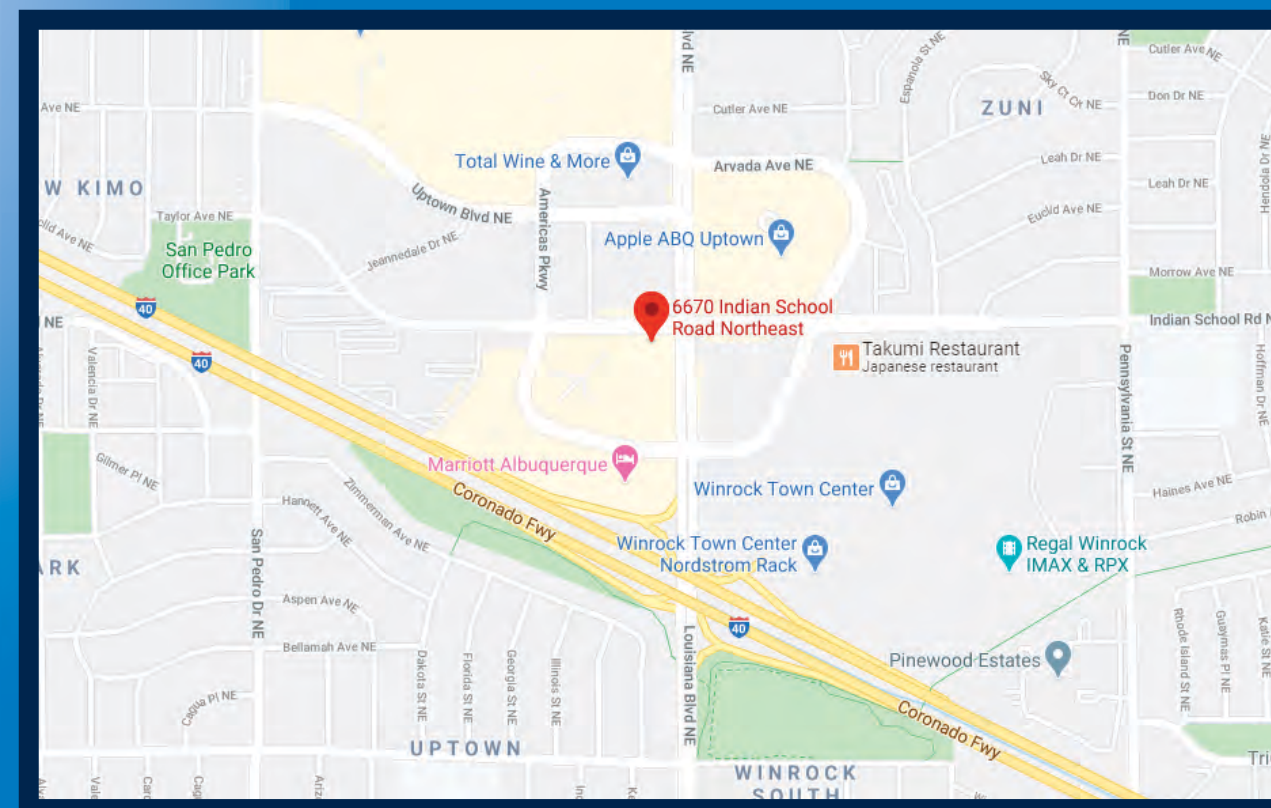
01 NORTH ELEVATION
SCALE: 1/4"=1'-0"

CHASE



#38200P367111

**Indian School Rd NE and Louisiana Rd
6670 Indian School Rd NE
Albuquerque, NM 87110**



REVISION NOTES:

- R1: Customer Drawing - add additional approval tenant panels - 08.13.20 - AS
- R2: Customer Drawing - Added motorcycle post signs and updated site plan. - AS - 09/04/20
- R5: Detail Drawing - E7 and 8 changed to stop dot sign. E9 and 10 changed to custom ada handicap signs. - AS - 10/02/20
- R7: Detail Drawing - Added two coming soon signs. - AS - 10/15/20
- R9: Detail Drawing - Removed signs E25,26,27,28 from scope of work. - AS -10/22/20
- R11: Detail Drawing - New site plan updated, HB-U shown at drive-up entrance and added 6 TC-P-A signs. - AS - 06/03/21
- R13: Detail Drawing - Added Replacement vinyl for existing D/F Temp Coming Soon signs and 2 coming soon banners. Removed BTWR from E1/4. TC signs AFF heights updated per Civil engineering. - AS - 06/08/21
- R15: Detail Drawing - Site plan updated, E5 location adjusted and copy on signs E11/E12 adjusted to new site plan layout. - AS - 07/20/21



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**JP Morgan Chase Bank
#38200P367111**

**Indian School Rd NE &
Louisiana Rd
6670 Indian School Rd NE
Albuquerque, NM 87110**

Initial Date: 08/10/20
Salesperson: Arthur Navarro
Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

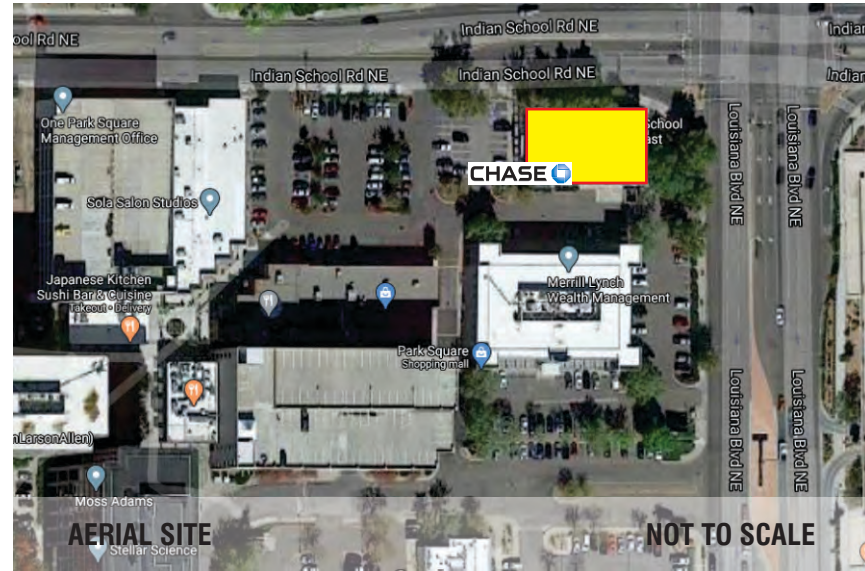
Page:

DRC Page 1

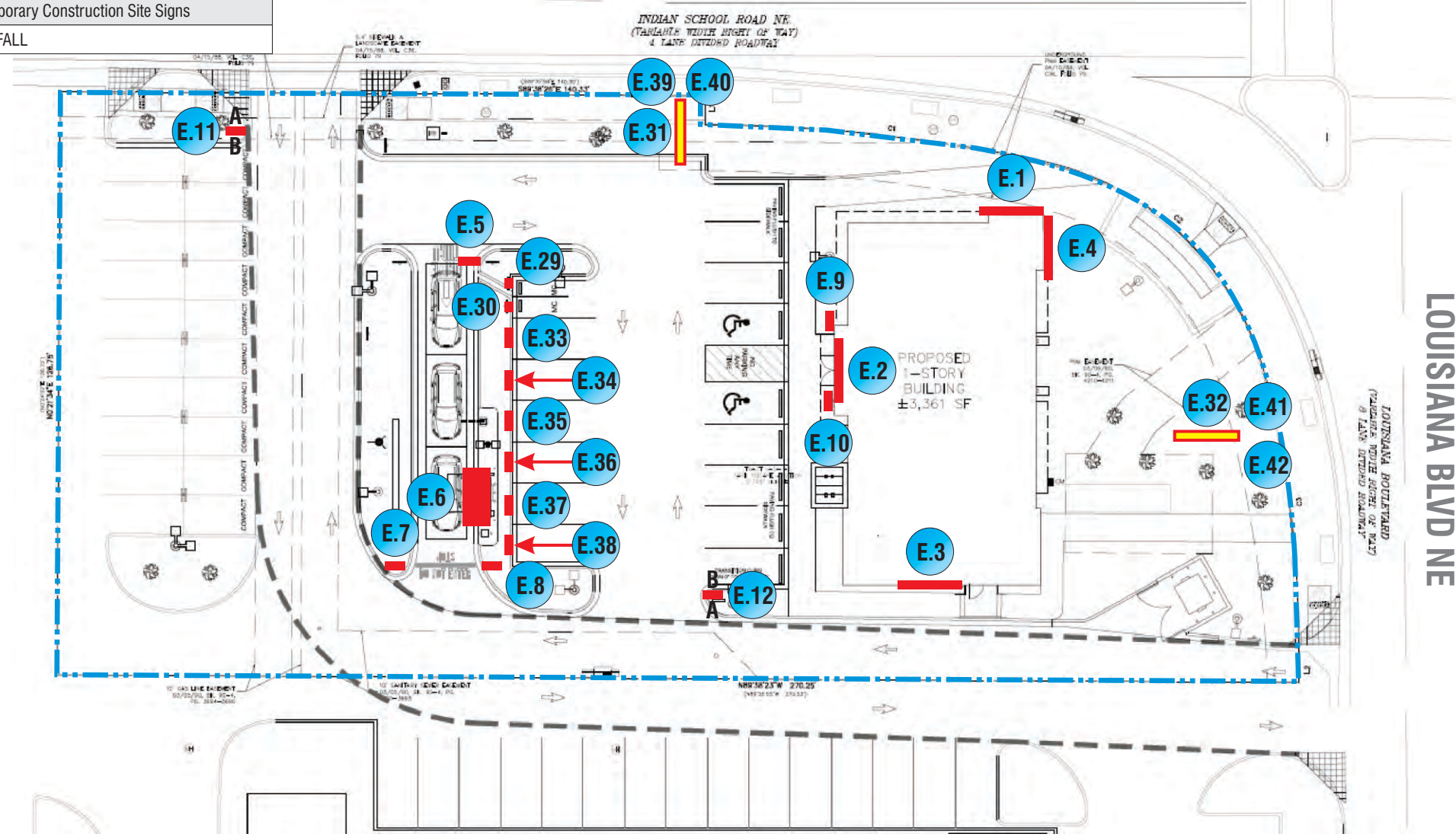
EXTERIOR SIGN LEGEND - ALLOWED

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
North	E.1	LIF-WBO-24	24" White Channel Letters and Logo	36.9
West	E.2	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
South	E.3	LIF-WBO-24	24" White Channel Letters and Logo	36.9
East	E.4	LIF-WBO-24	24" White Channel Letters and Logo	36.9
	E.5	HB-U-R	Headache Bar - Right	
	E.6	CAN-ATM-SIG-OCT	ATM Signature Canopy w/ Octagon	
	E.7	TC-P-STOP-DNE-DOT-RE	Post Mount Do Not Enter Sign - STOP/DOT Standard	
	E.8	TC-P-STOP-DNE-DOT-RE	Post Mount Do Not Enter Sign - STOP/DOT Standard	
	E.9	CUSTOM TC-P-ADA-NM-V-RE	Post Mount Handicap Stall Sign - Van Accessible - City Specific	
	E.10	CUSTOM TC-P-ADA-NM-RE	Post Mount Handicap Stall Sign - City Specific	
	E.11	D-7.6-RE	Non-Illuminated Directional Monument	
	E.12	D-7.6-RE	Non-Illuminated Directional Monument	
	E.25-28	NONE	REMOVED FROM SCOPE OF WORK	
	E.29	TC-P-MOTORCYCLE	Post Mount Motorcycle Stall Sign	
	E.30	TC-P-MOTORCYCLE	Post Mount Motorcycle Stall Sign	
	E.31	COMING SOON	Temporary Construction Site Sign	
	E.32	COMING SOON	Temporary Construction Site Sign	
	E.33-38	TC-P-A-RE	Post Mount Parking for Bank Patrons Only	
	E.39-42	CHA-TEMP-CS-RF-DP-48x96-FALL	Replacement Vinyl for existing Temporary Construction Site Signs	
	E.43-44	CHA-TEMP-CS-48x96-BANNER-FALL	Temporary Coming Soon Banner - FALL	

147.6 Total Proposed Sq Ft



INDIAN SCHOOL RD NE



SITE PLAN SCALE: 1/32" = 1'-0"

----- PROPERTY LINE



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Initial Date: 08/10/20
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 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

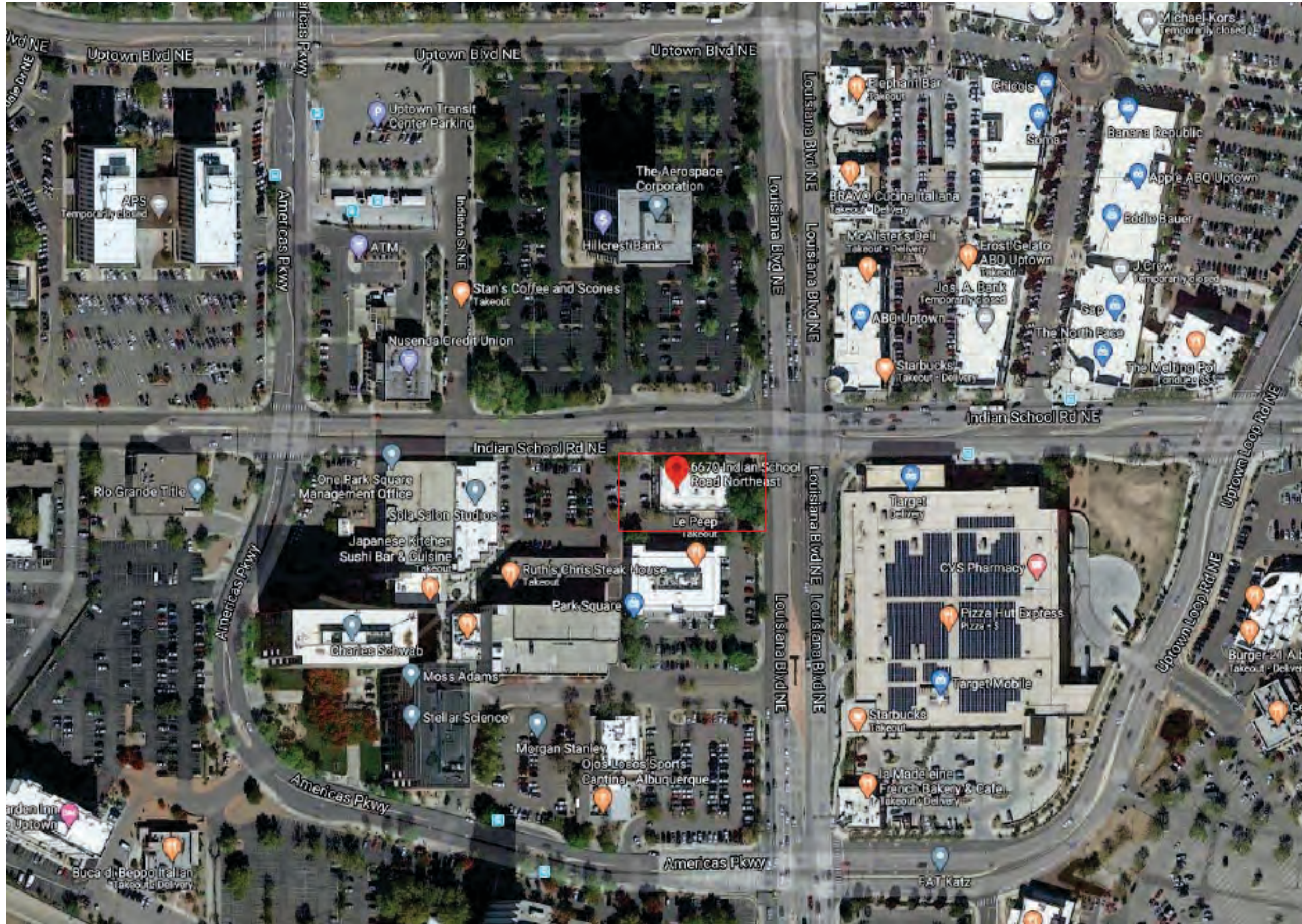
Customer Signature _____ Date _____
COPY, COLORS & SIZES

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Customer Signature _____ Date _____
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Sign Legend / Site Plan



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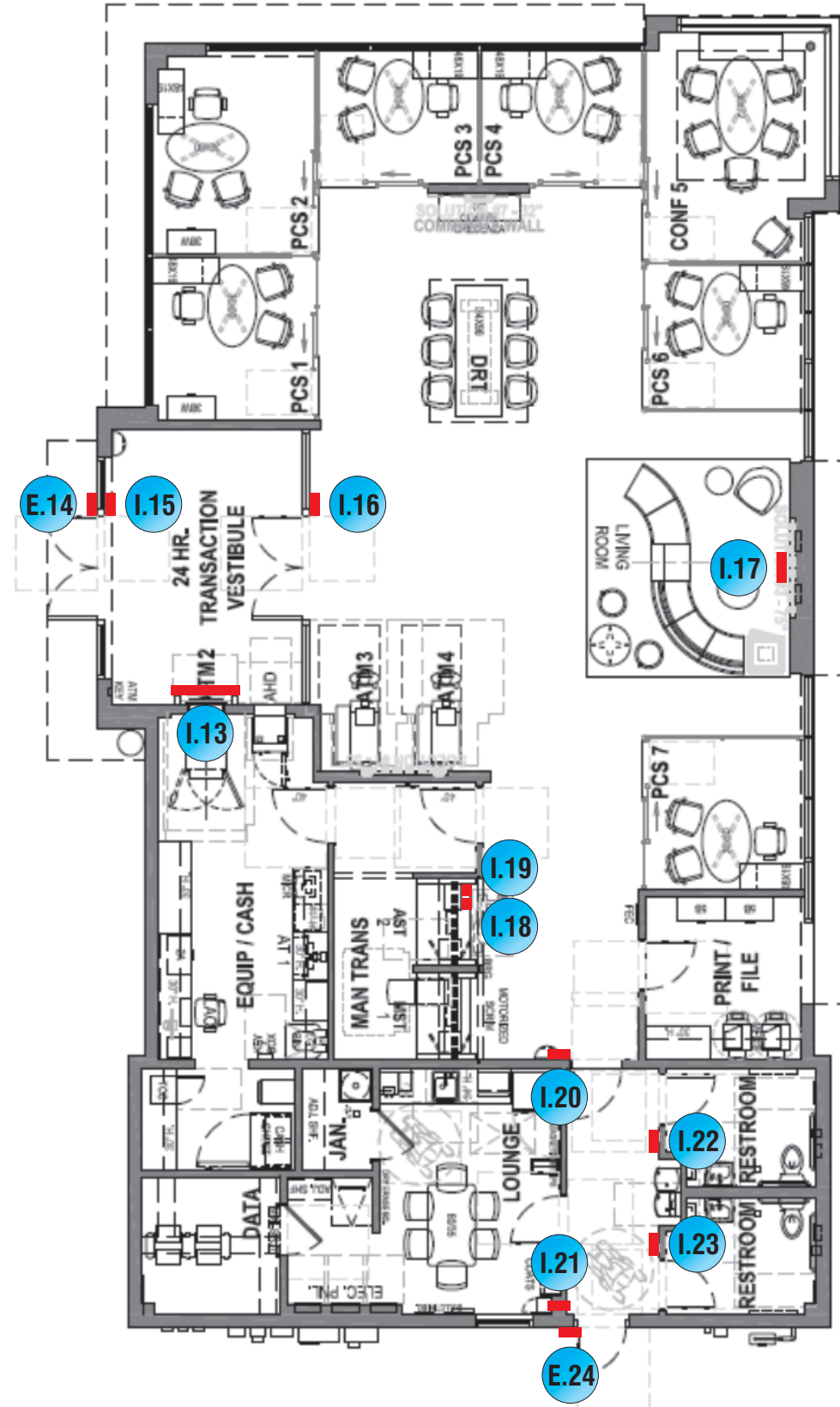
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Enlarged Aerial Site

INTERIOR SIGN LEGEND

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
	I.13	SUR-TTW-U-4-TP	Universal Thin-Profile ATM Surround	
	E.14	ADA-EP	ADA Accessible Entrance Plaque	
	I.15	ADA-EX	ADA Exit Plaque	
	I.16	ADA-EX	ADA Exit Plaque	
	I.17	OCT-24-INT	Illuminated Blue Bitro Interior Octagon	
	I.18	ADA-TW	ADA Accessible Teller Window Plaque	
	I.19	ADA-TW-ALS	ADA Assisted Listening System Plaque	
	I.20	ADA-EEX	ADA Emergency Exit Plaque	
	I.21	ADA-EEX	ADA Emergency Exit Plaque	
	I.22	ADA-RRAG-A-G	ADA Accessible All-Gender Restroom Plaque	
	I.23	ADA-RRAG-A-G	ADA Accessible All-Gender Restroom Plaque	
	E.24	ADA-E0	ADA Exit Only Plaque	



FLOOR PLAN **SCALE: 3/32" = 1'-0"**

DESIGN STANDARDS	HARDINESS ZONE	7B	(1) OFFICE SHALL RECEIVE DUAL MONITORS & ARMS FOR CPC OR FUTURE CPC.
20.2	OVERHEAD DOOR ACCEPTABLE *		

* HARDINESS ZONES >= 7A

DATE	DESIGNER
07/02/2020	MJB



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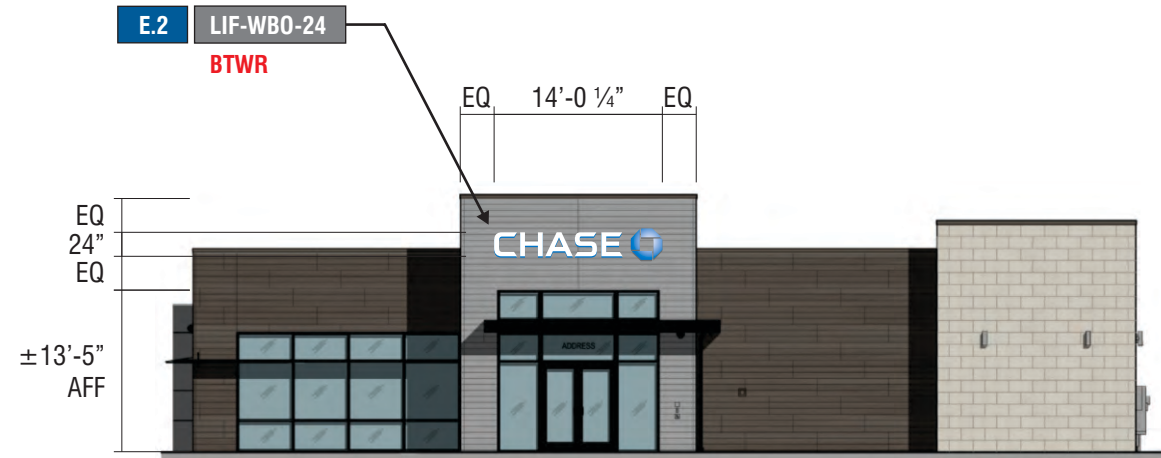
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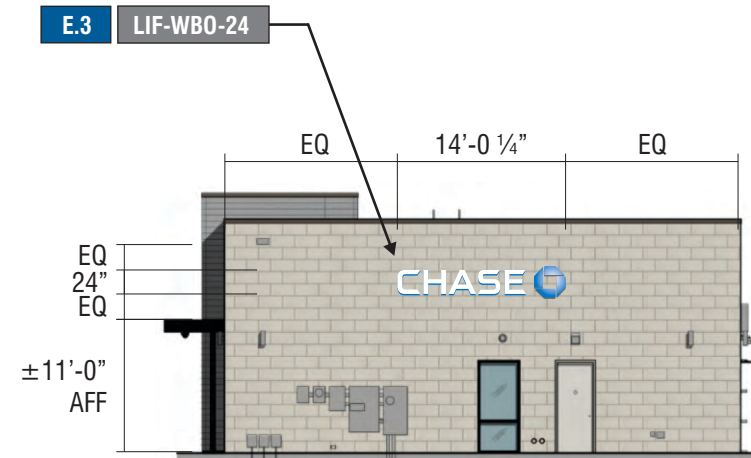
Drawing Number: 20-01032
Project ID: CHASE_38000P123456_1
Revision: R13 - 06.08.21

Sign Legend / Floor Plan

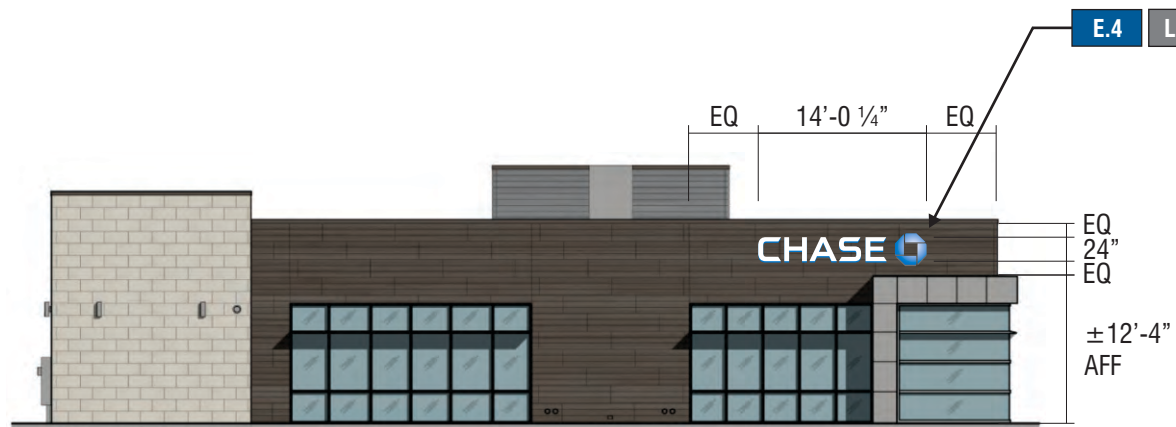
SIGNAGE OVERVIEW - ALLOWED



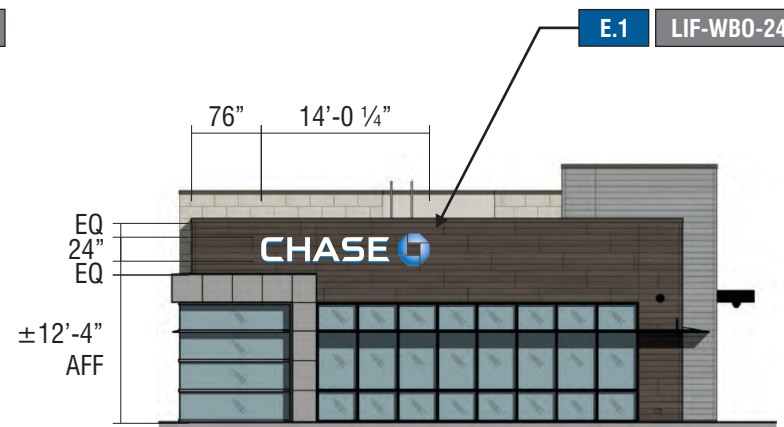
WEST ELEVATION SCALE: 1/16" = 1'-0"



SOUTH ELEVATION SCALE: 1/16" = 1'-0"



EAST ELEVATION SCALE: 1/16" = 1'-0"



NORTH ELEVATION SCALE: 1/16" = 1'-0"



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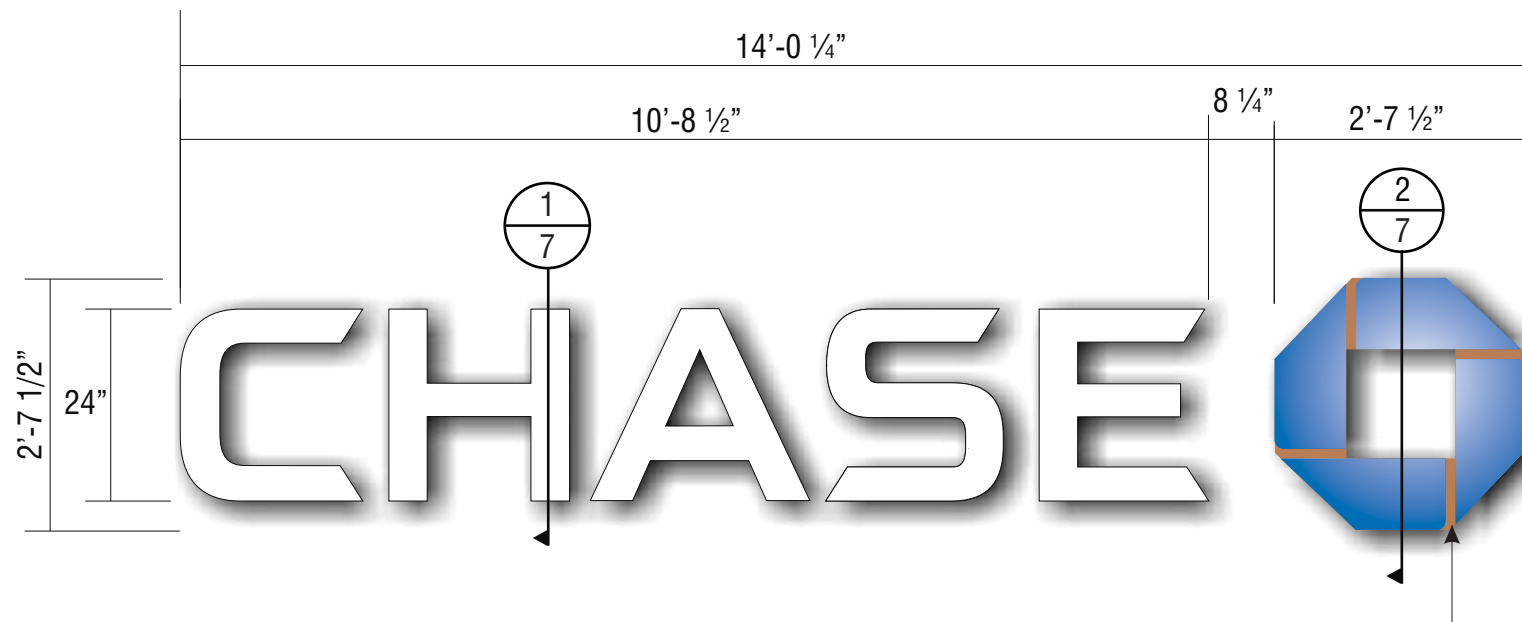
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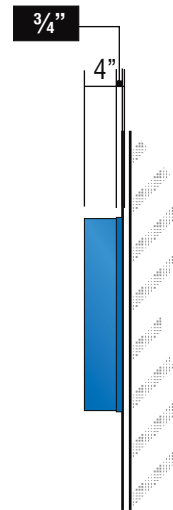
Revision: R13 - 06.08.21

Exterior Elevations

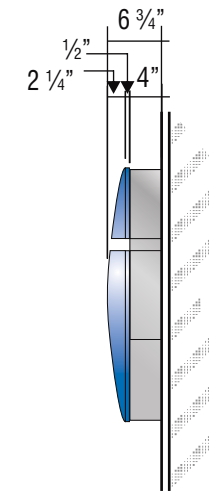


FRONT VIEW SCALE : 1/2" = 1'-0"

PAINT OCTAGON BRIDGE TO MATCH WALL COLOR
SW - 7045 INTELLECTUAL GRAY



ENDVIEW OF LETTER
SCALE : 1/2" = 1'-0"



ENDVIEW OF LOGO
SCALE : 1/2" = 1'-0"



3D VIEW OF OCTAGON

ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR SURFACE FINISH

ELECTRICAL REQUIREMENTS FOR LED ILLUMINATION
As required by standard #2161, Signtech Electrical Advertising, Inc., exclusively uses secondary Ground fault-Interrupted (GFI) transformers.
Each Sign MUST have: - A dedicated branch circuit
- Three wires : Line, Ground, and Neutral.
- Wire Size : Min 12 GA THHN Copper Wire.
NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.
- The ground wire must be continuous & go from the sign to the panelboard ground bus.

E.2

SIGN TYPE LIF-WB0-24 **BEHIND THE WALL RACEWAY**

MANUFACTURE AND INSTALL ONE (1) SETS OF ILLUMINATED LETTERS & LOGO w/PLEX FACES & RETURNS

LETTERS:

FACE: .177" ARISTECH #7328 P-95 WHITE PLEX (MATTE SIDE TO BE 1ST SURFACE) CHEM WELDED TO RETURNS
RETURNS: 0.118" x 4" DEEP ARISTECH #6046 BLUE WITH 3635-70 DIFFUSER VINYL ON 2ND (INTERIOR) SURFACE.
BACKS: .080" ALUM BACK WITH 3/4" x .080" OUTSIDE ALUM RETURN AND 1/2" x 1/8" ALUM ANGLE CLIPS ON INTERIOR OF LETTER FOR FACE ATTACHMENT
PAINT: EXTERIOR PAINTED MATTHEWS MP-00366 CHASE BLUE SEMI-GLOSS FINISH (60-70 UNITS) AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
ILLUMINATION: SLOAN PRISM 7100K #701269-7WSJ1-MB WHITE LEDs AND SLOAN POWER SUPPLY REQUIRED FOR PROPER EVEN ILLUMINATION.

LOGO:

BACKS: .080" ALUM BACK WITH STACK WELDED 4" x .080" ALUM RETURNS.
LOGO CAN FACE: .080" ALUM BRIDGE ELEMENTS WELDED TO INSIDE & OUTSIDE RETURNS
PLEX FACE: .118" THERMO FORMED ARISTECH #6046 BLUE LOGO ELEMENTS CHEM WELDED TO 3/4" CLEAR PLEX 2ND SURFACE FACES.
PAINT: EXTERIOR PAINT MATTHEWS "CHASE NICKEL" #MP-19891 GLOSS FINISH AND INTERIOR PAINTED SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
ILLUMINATION: SLOAN PRISM #701269-BLSJ1-MB BLUE LEDs AND SLOAN POWER SUPPLY AS REQUIRED FOR PROPER EVEN ILLUMINATION



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CUSTOMER APPROVAL

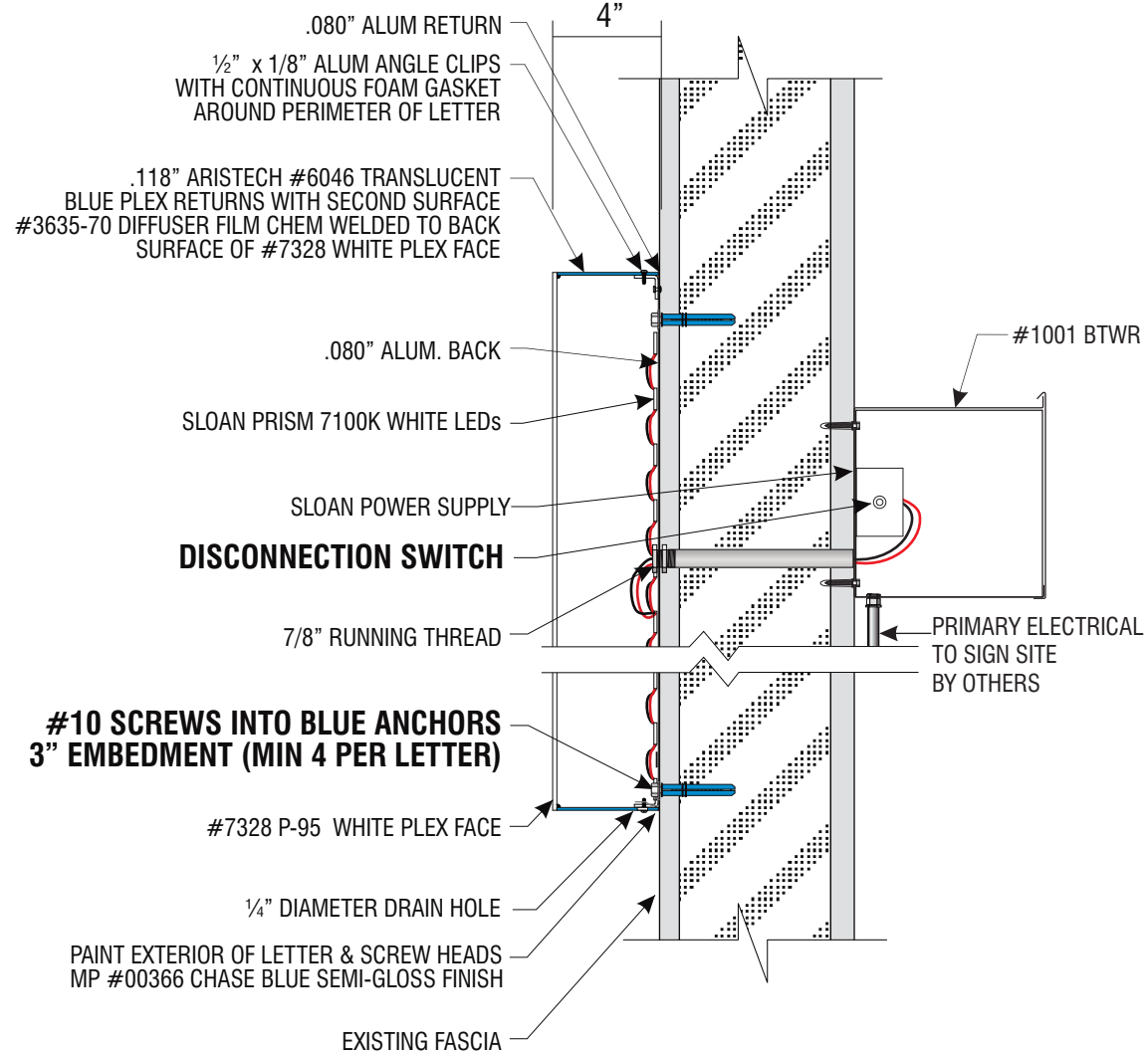
Customer Signature _____ Date _____
COPY, COLORS & SIZES

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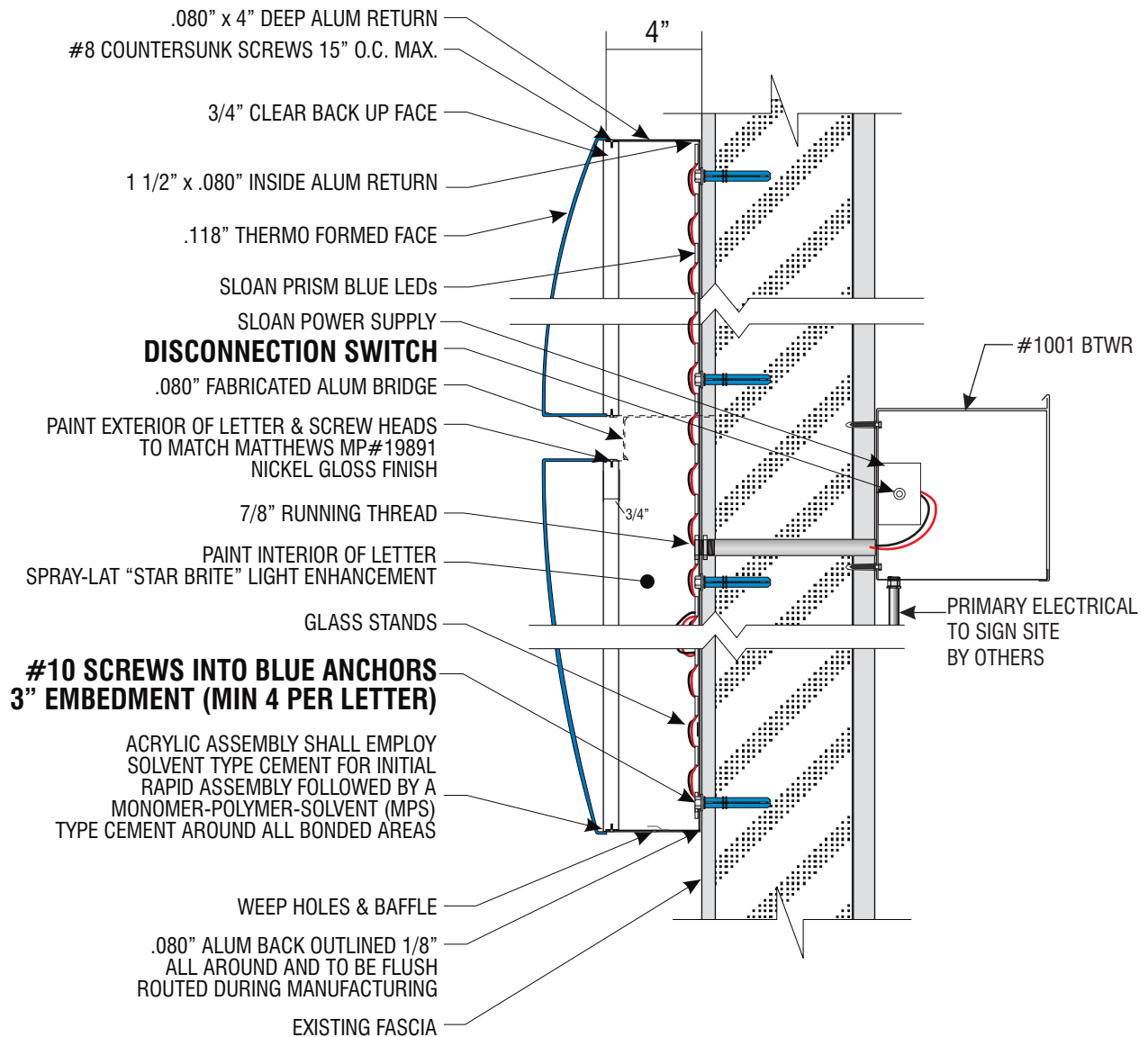
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Project ID: CHASE_38000P123456_1
Revision: R13 - 06.08.21

**ATTACHMENT METHOD TO BE VERIFIED BY INSTALLER
AT THE FIELD DEPENDING ON WALL TYPE AND ACCESS.**



1
7 **PLEX LETTER SECTION DETAIL** **SCALE: 1 1/2" = 1'-0"**



2
7 **LOGO SECTION DETAIL** **SCALE: 1 1/2" = 1'-0"**



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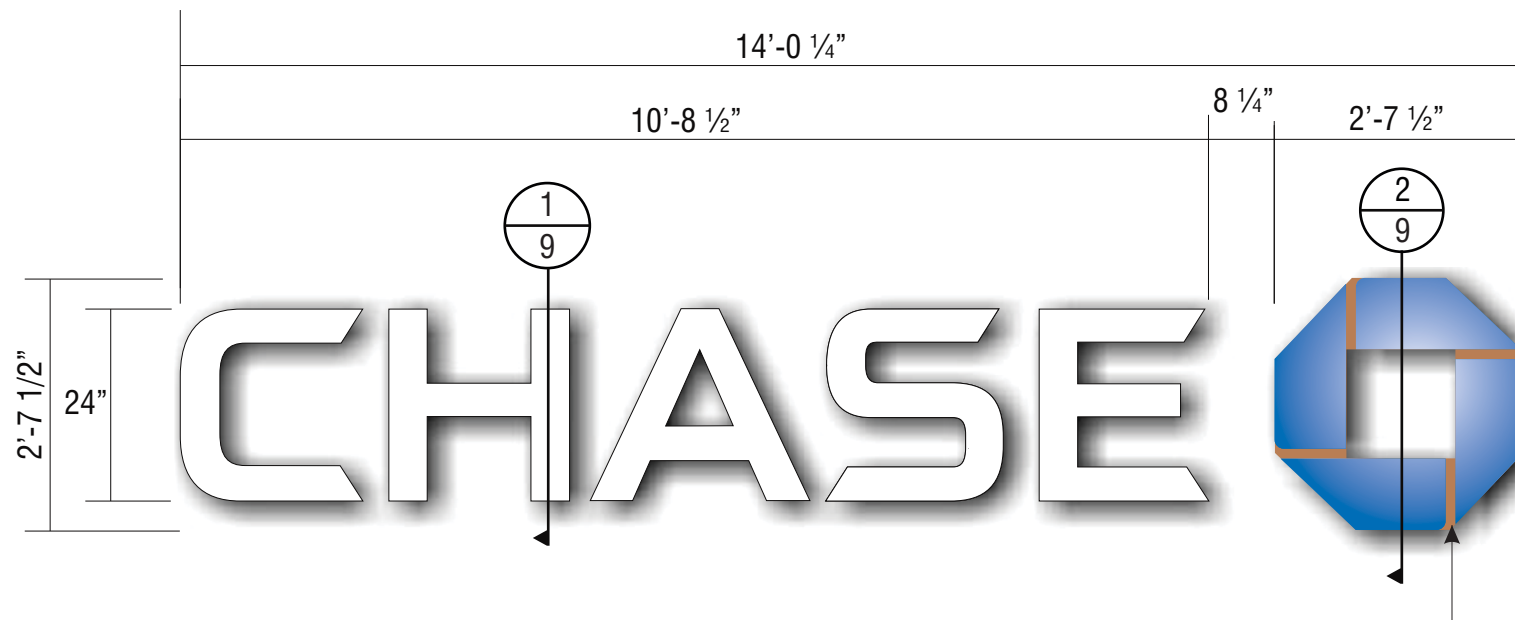
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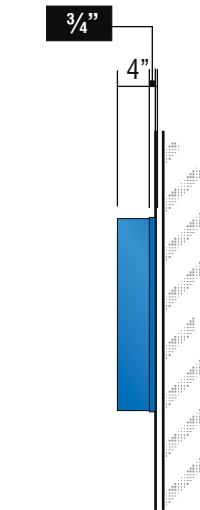
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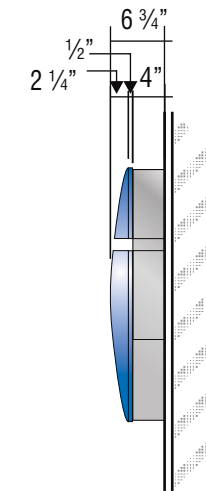


FRONT VIEW SCALE : 1/2" = 1'-0"

PAINT OCTAGON BRIDGE
TO MATCH WALL COLOR
E.1 AND E.4 - SW 7020 BLACK FOX
E.3 SW 6119 ANTIQUE WHITE



**ENDVIEW
OF LETTER**
SCALE : 1/2" = 1'-0"



**ENDVIEW
OF LOGO**
SCALE : 1/2" = 1'-0"



3D VIEW OF OCTAGON

**ALL EXPOSED FASTENER HEADS
SHALL BE PAINTED TO MATCH
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NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.
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E.1	E.3	E.4
SIGN TYPE LIF-WB0-24		

MANUFACTURE AND INSTALL THREE (3) SETS OF ILLUMINATED LETTERS & LOGO w/PLEX FACES & RETURNS

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CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

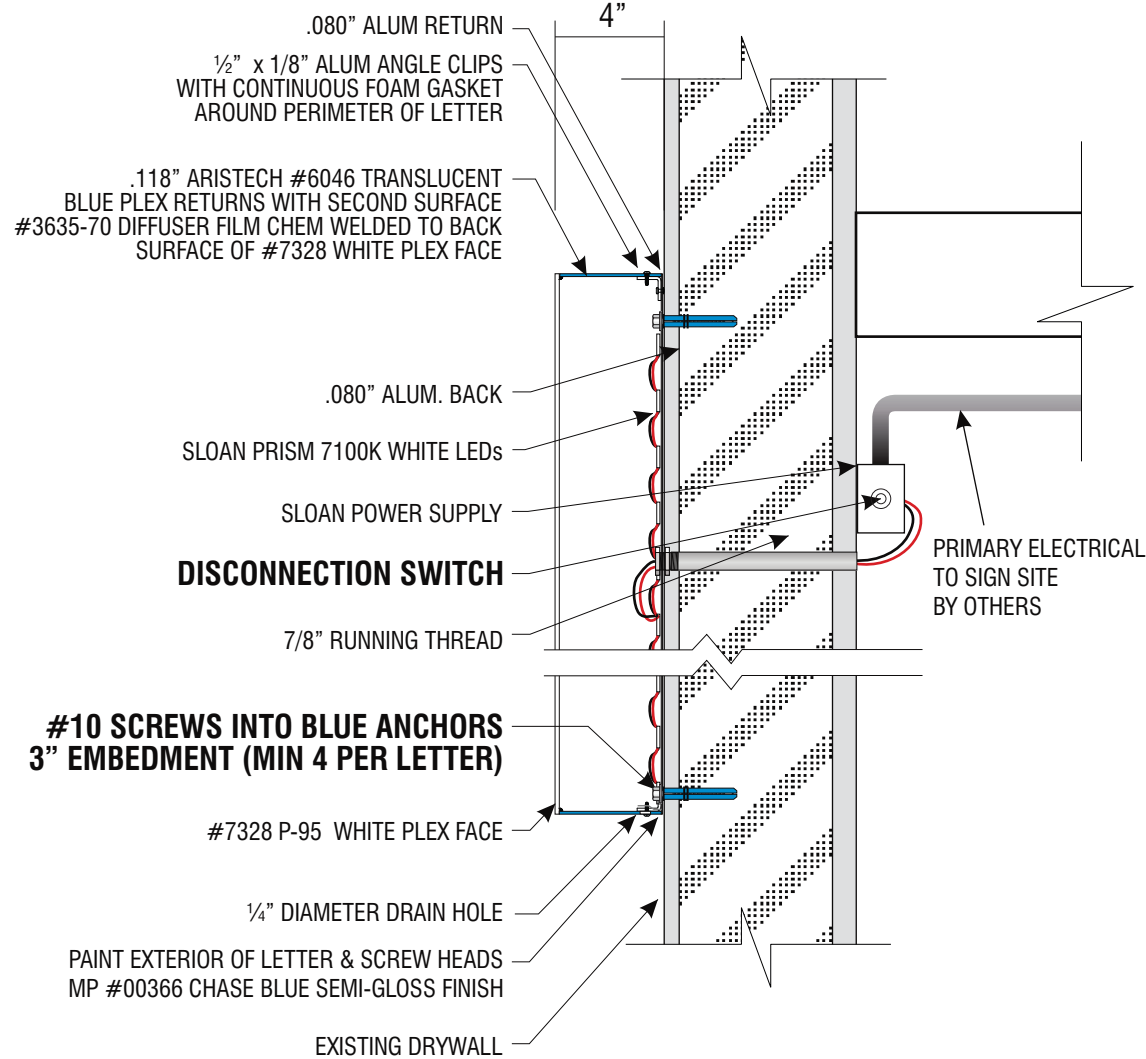
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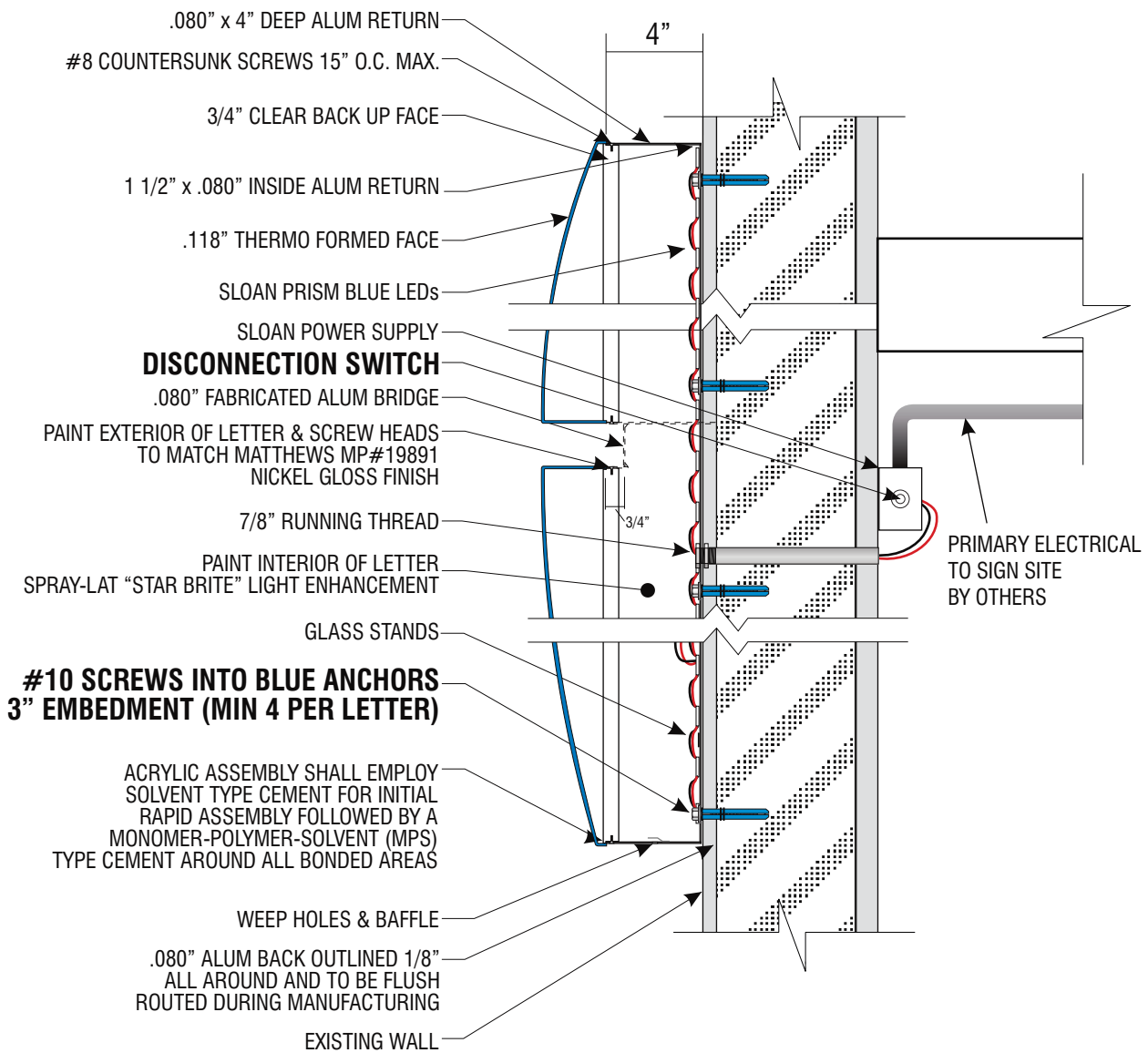
Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

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AT THE FIELD DEPENDING ON WALL TYPE AND ACCESS.**



1
9 **PLEX LETTER SECTION DETAIL** **SCALE: 1 1/2" = 1'-0"**



2
9 **LOGO SECTION DETAIL** **SCALE: 1 1/2" = 1'-0"**



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Drawing Number: 20-01032

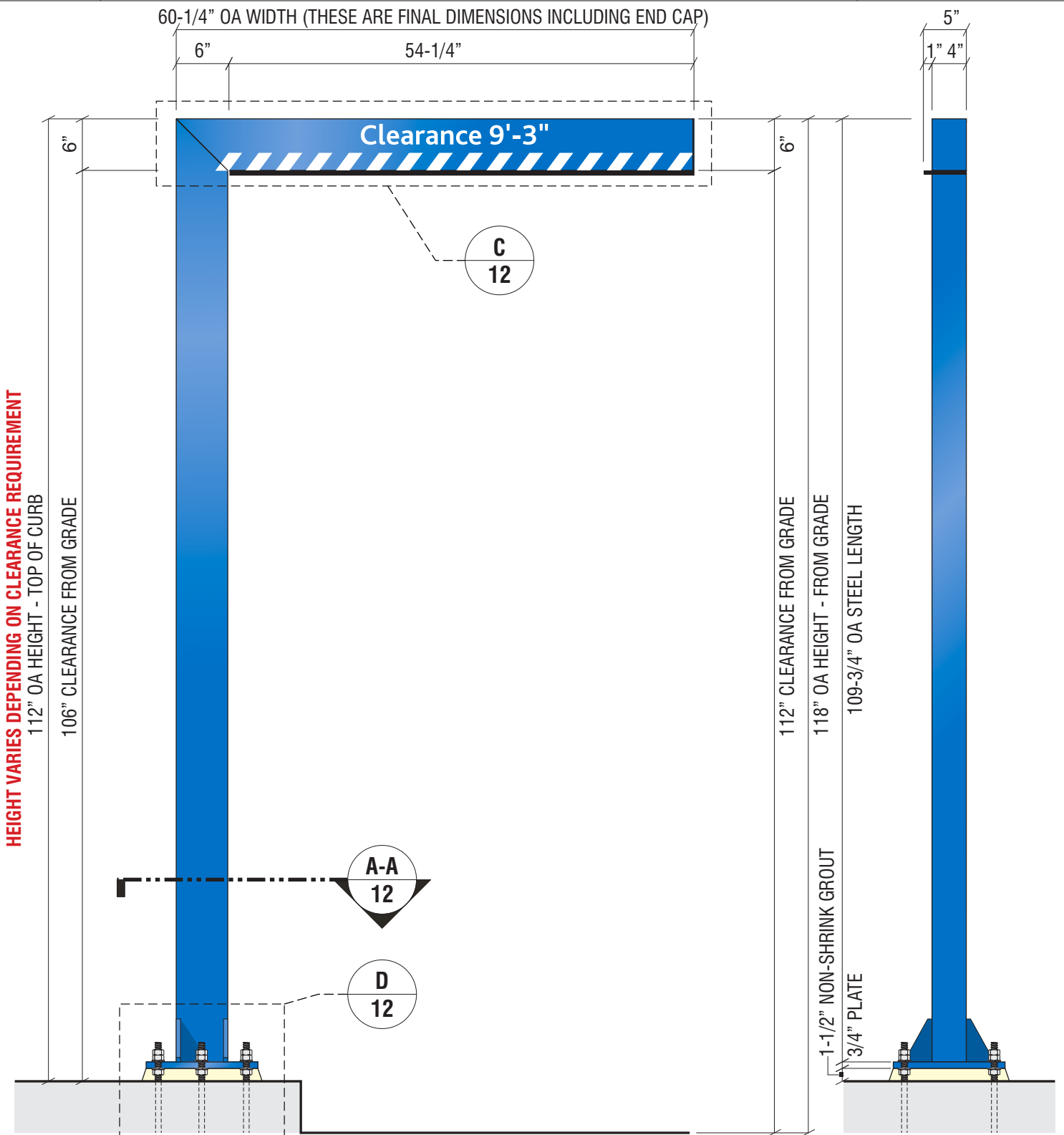
Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



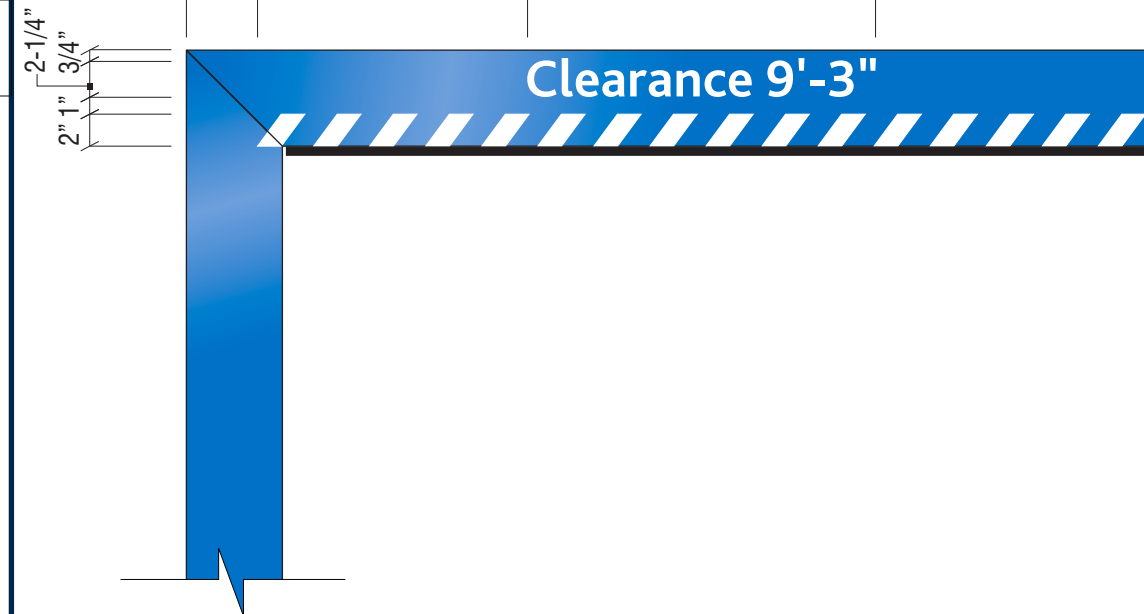
2 TOP ELEVATION

SCALE: 3/4" = 1'-0"



1 ELEVATION

SCALE: 3/4" = 1'-0"



3 VINYL DETAIL

SCALE: 1 = 1'-0"

E.5 SIGN TYPE HB-U-R

CLEARANCE BAR DISPLAY
MANUFACTURE AND INSTALL ONE (1) NON-ILLUMINATED DRIVE UP CLEARANCE BAR

- PLATE:** 13" x 13" x 3/4" STEEL PLATE WITH 1" DIA. MOUNTING HOLES. SEE DETAIL FOR WELDING AND ANCHORS.
- BAR:** 4" x 6" x 1/4" STEEL RECTANGLE TUBE MITRED CUT CORNER AND 1/8" END CAP.
- RUBBER:** HORIZONTAL CLEARANCE BAR TO HAVE 1/2" x 5" x 54-1/4" RUBBER SAFETY BUMPER ATTACHED TO BOTTOM OF BAR.
- VINYL:** HORIZONTAL CLEARANCE BAR TO HAVE SCOTCHLITE WHITE 680-10 WHITE VINYL.
- PAINT:** HORIZONTAL, VERTICAL CLEARANCE BARS, BASE PLATE, NUTS AND BOLTS PAINTED CHASE "METALLIC BLUE" MATTHEWS MP-49353, GLOSS FINISH.

VERIFY CLEARANCE HEIGHT PRIOR TO PRODUCTION. CLEARANCE HEIGHT SHOWN SHOULD BE 1" LOWER THAN ACTUAL HEIGHT TO BOTTOM OF CANOPY DECK.

SIGN DESCRIPTION, DETAILS & SPECIFICATIONS



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JP Morgan Chase Bank #38200P367111

Indian School Rd NE & Louisiana Rd
 6670 Indian School Rd NE
 Albuquerque, NM 87110

Initial Date: 08/10/20
 Salesperson: Arthur Navarro
 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

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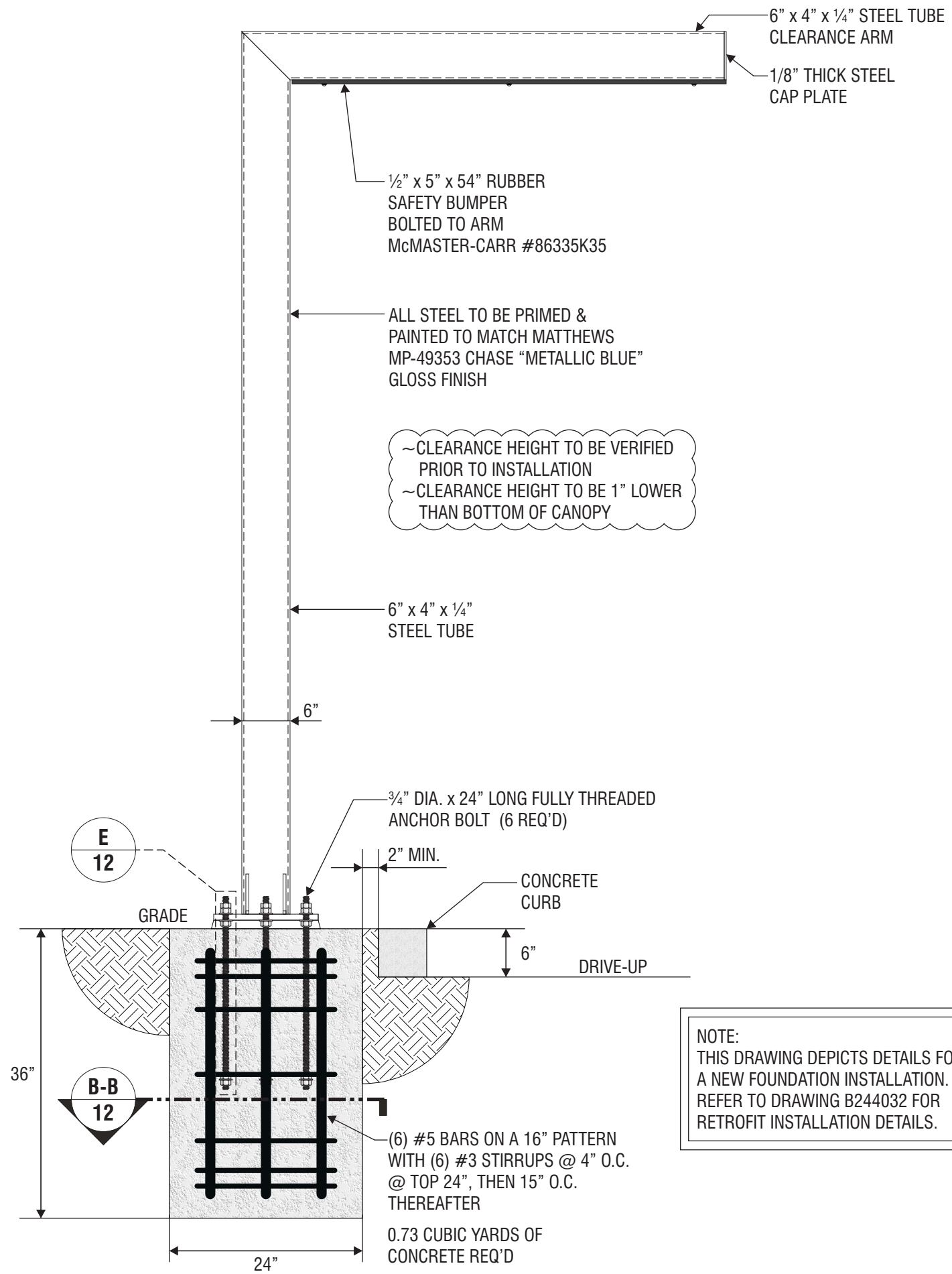
Customer Signature _____ Date _____

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Revision: R13 - 06.08.21



~CLEARANCE HEIGHT TO BE VERIFIED PRIOR TO INSTALLATION
 ~CLEARANCE HEIGHT TO BE 1" LOWER THAN BOTTOM OF CANOPY

NOTE:
 THIS DRAWING DEPICTS DETAILS FOR A NEW FOUNDATION INSTALLATION. REFER TO DRAWING B244032 FOR RETROFIT INSTALLATION DETAILS.

- NOTES:
- Design is based on guidelines provided by the International Building Code 2006 Edition.
 - Foundation is based on a safe lateral soil bearing pressure minimum of 300 psf per foot of depth. Soil report was not furnished. Allowable bearing pressure should be verified prior to placement of concrete. Do not place foundation in fill.
 - Concrete shall be mixed to attain a minimum compressive strength of 3000 psi in 28 days.
 - Support member shall be free from defects and shall meet ASTM A500 grade B with a minimum yield strength of 46000 psi for tube. Plate and angle shall meet ASTM A36.
 - Structural bolts shall be zinc coated A307 unless otherwise noted.
 - Anchor bolts shall be cut from A36 round stock. Exposed surfaces shall be galvanized or coated to prevent corrosion.
 - All voids between column base plate and foundation surface shall be completely filled with high strength, non-shrink grout.
 - Welds shall be made with E70xx electrodes by persons qualified in accordance with AWS standards within the past two years.
 - Steel reinforcing bars shall conform to ASTM 615 grade 60 with deformations in accordance with ASTM A-305. Welding of reinforcing bars is prohibited.
 - This design is prototypical and should not be used for site specific applications unless deemed suitable by a competent Professional Engineer.



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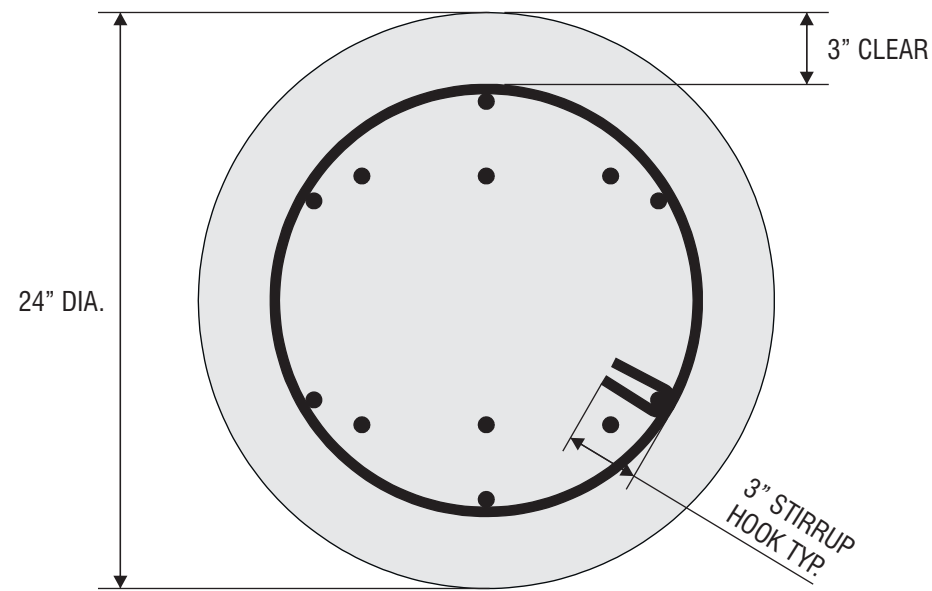
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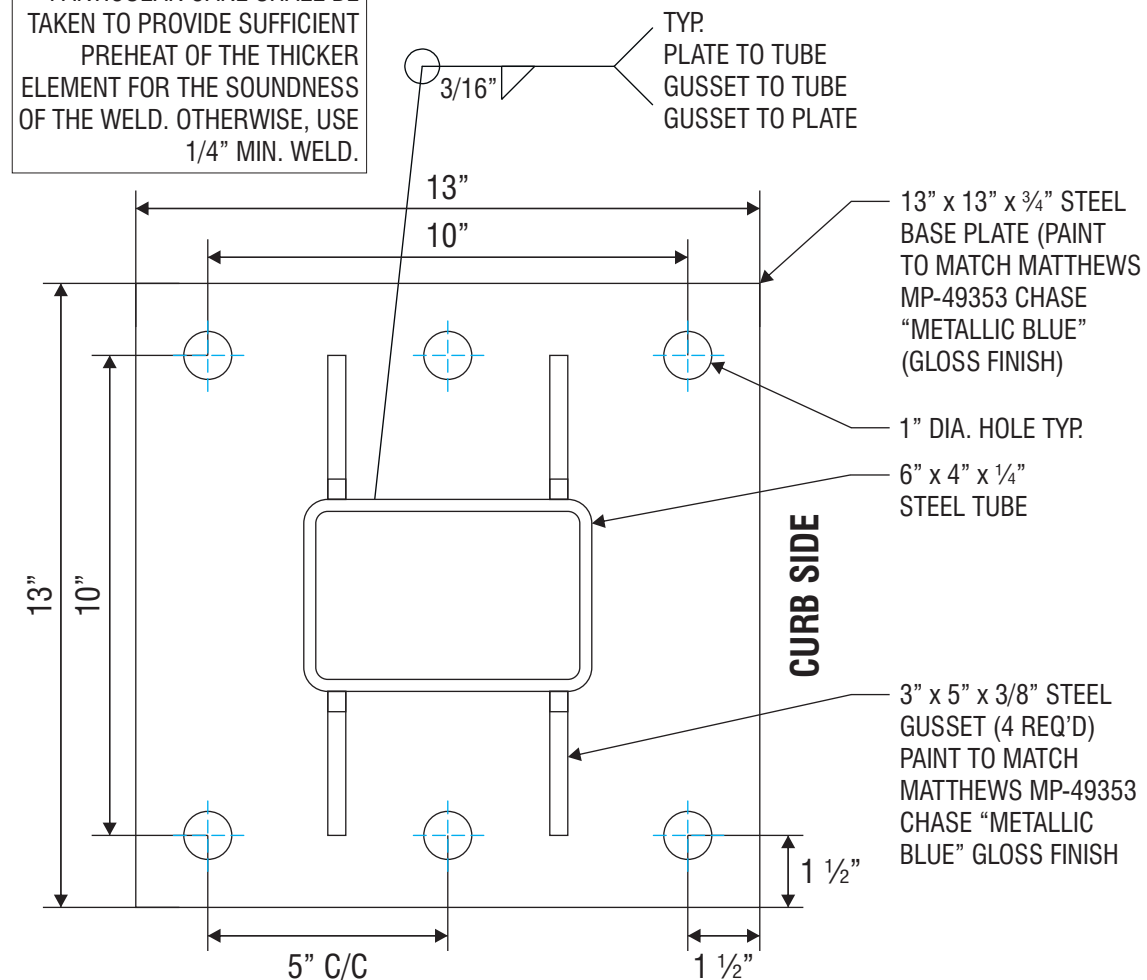
Customer Signature _____ Date _____
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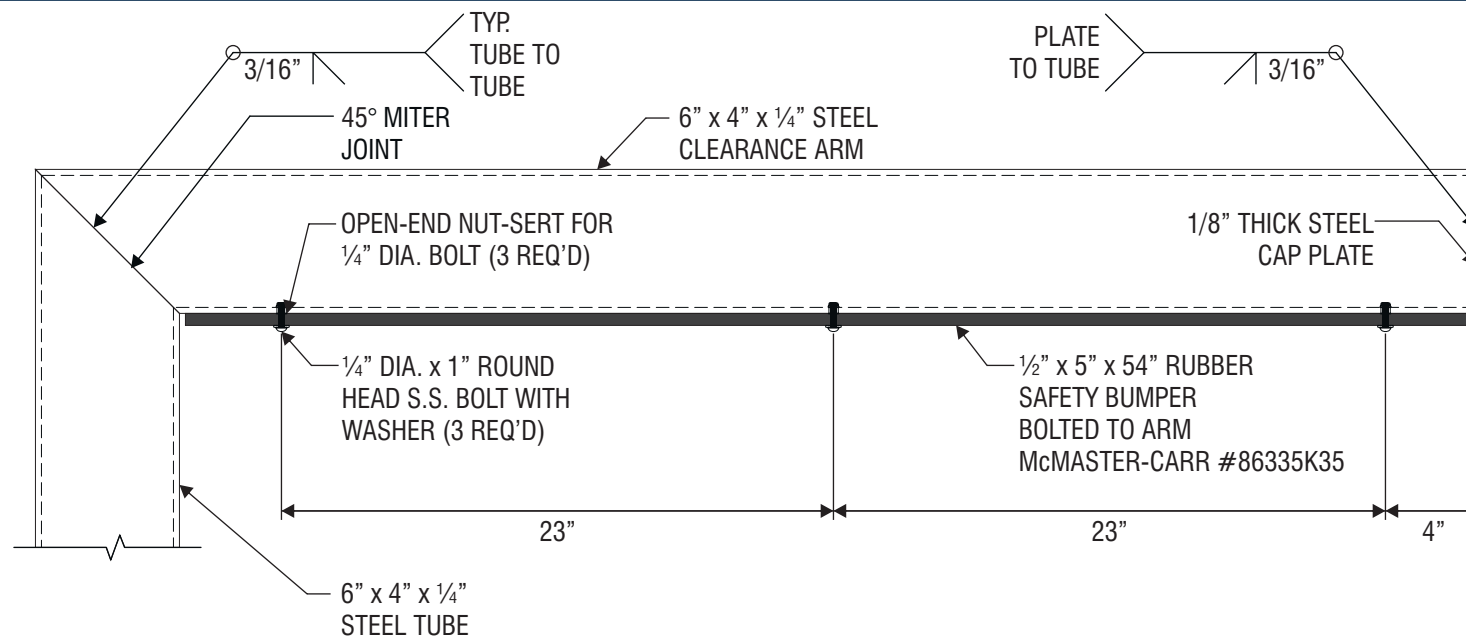


B-B SECTION THROUGH CAISSON SCALE: 1 1/2" = 1'-0"

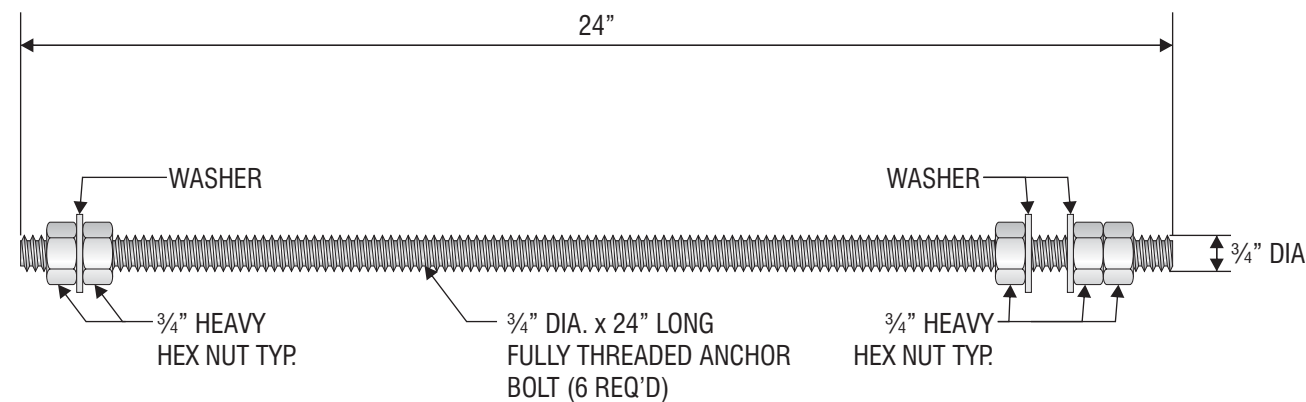
PARTICULAR CARE SHALL BE TAKEN TO PROVIDE SUFFICIENT PREHEAT OF THE THICKER ELEMENT FOR THE SOUNDNESS OF THE WELD. OTHERWISE, USE 1/4" MIN. WELD.



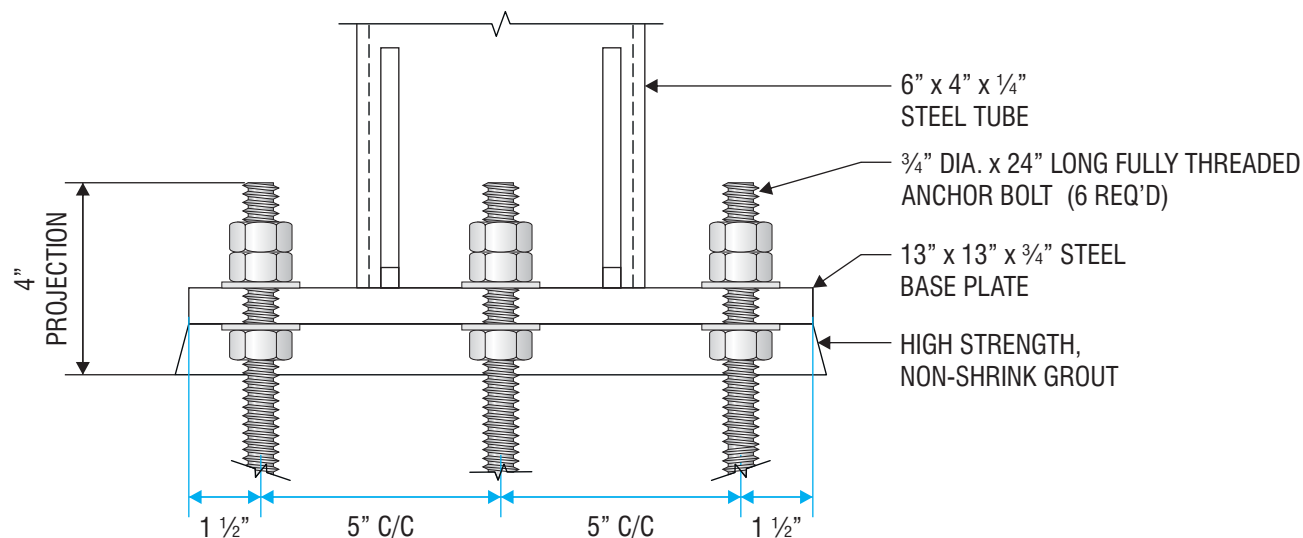
A-A BASE PLATE DETAIL SCALE: 3" = 1'-0"



C CLEARANCE ARM DETAIL SCALE: 1 1/2" = 1'-0"



E ANCHOR BOLT DETAIL SCALE: 3" = 1'-0"



D ANCHOR BOLT PROJECTION DETAIL SCALE: 3" = 1'-0"



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Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

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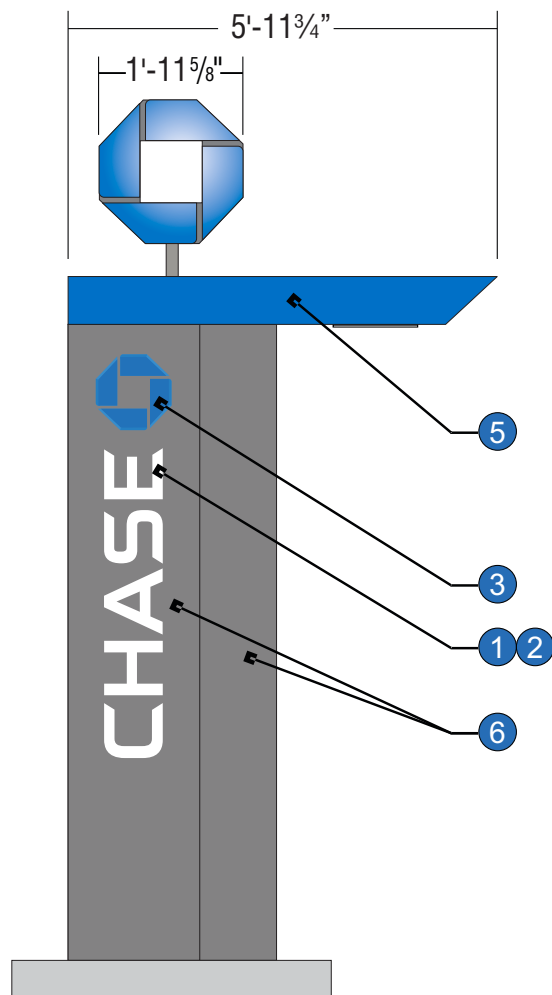
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**GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY
USE ONLY APPROVED
ARTWORK FOR PRODUCTION.**

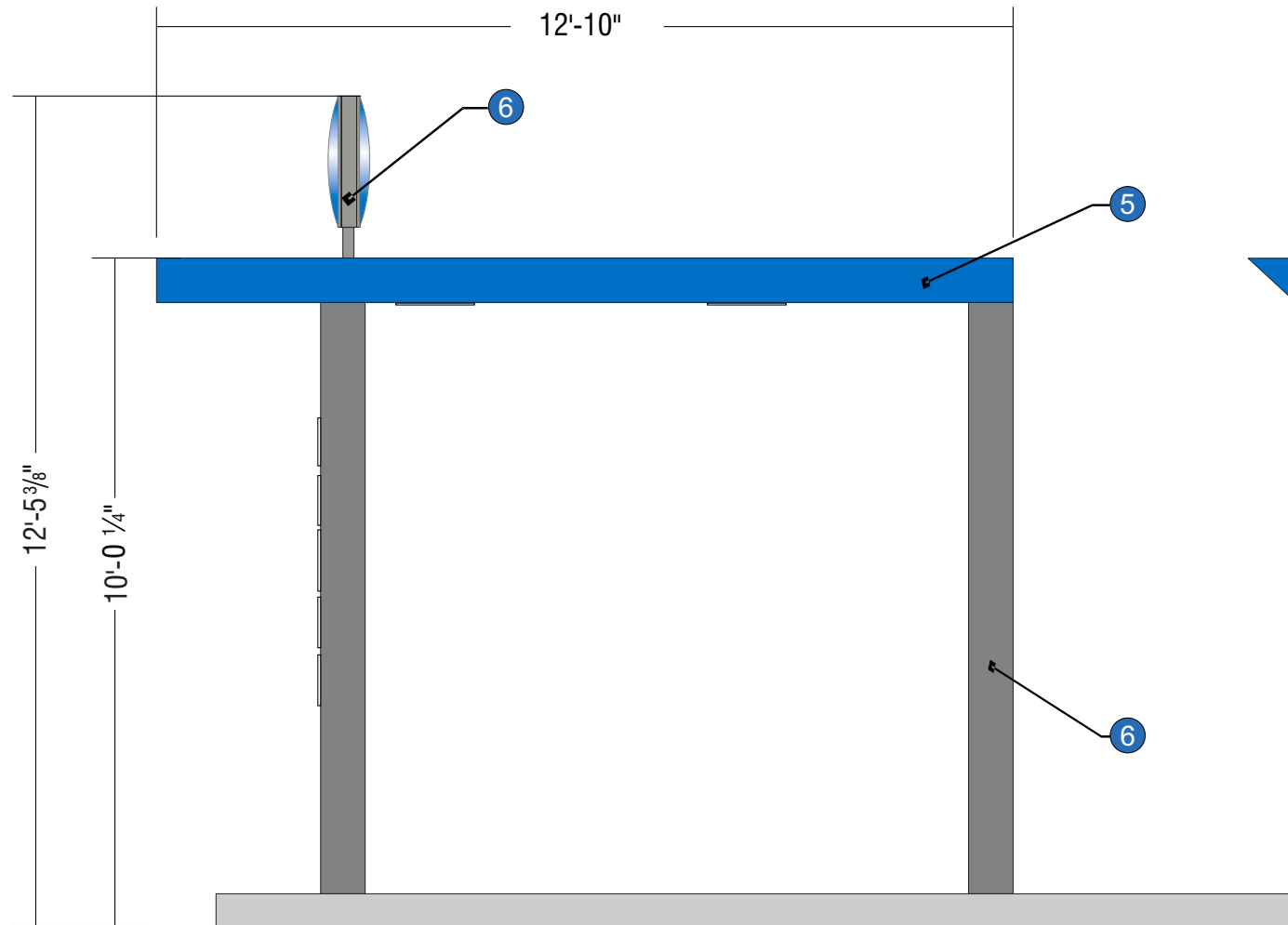
1	2	3	4	5	6
White Translucent 3M 3632-20	White Diffuser 3M 3635-70	Intense Blue 3M 3632-127	Translucent Blue Aristech 6046 Matte Finish	Chase Metallic Blue Paint to match MP-49353 Metallic Gloss Finish	Chase Dark Nickel Paint to match MP-18248

ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR CABINET FINISH

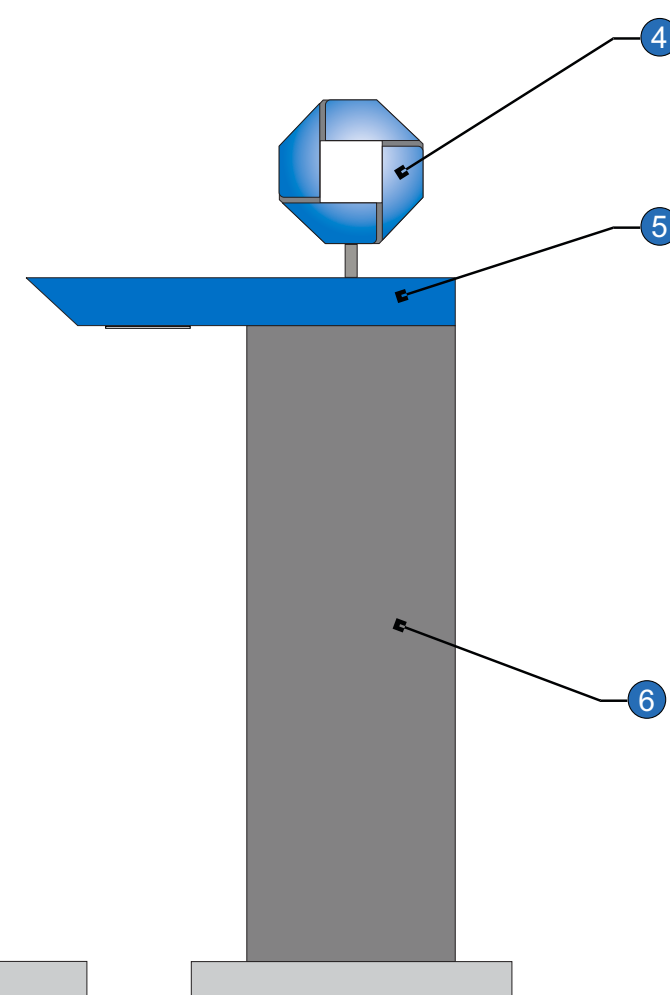
ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-208SP VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.



APPROACH ELEVATION
SCALE: 3/8" = 1'-0"



FRONT VIEW CAN-ATM
SCALE: 3/8" = 1'-0"



DEPARTURE ELEVATION
SCALE: 3/8" = 1'-0"



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Customer Signature _____ Date _____

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E.6 SIGN TYPE CAN-ATM-SIG-OCT

MANUFACTURE AND INSTALL ONE (1) ILLUMINATED SIGNATURE ATM CANOPY w/ OCTAGON

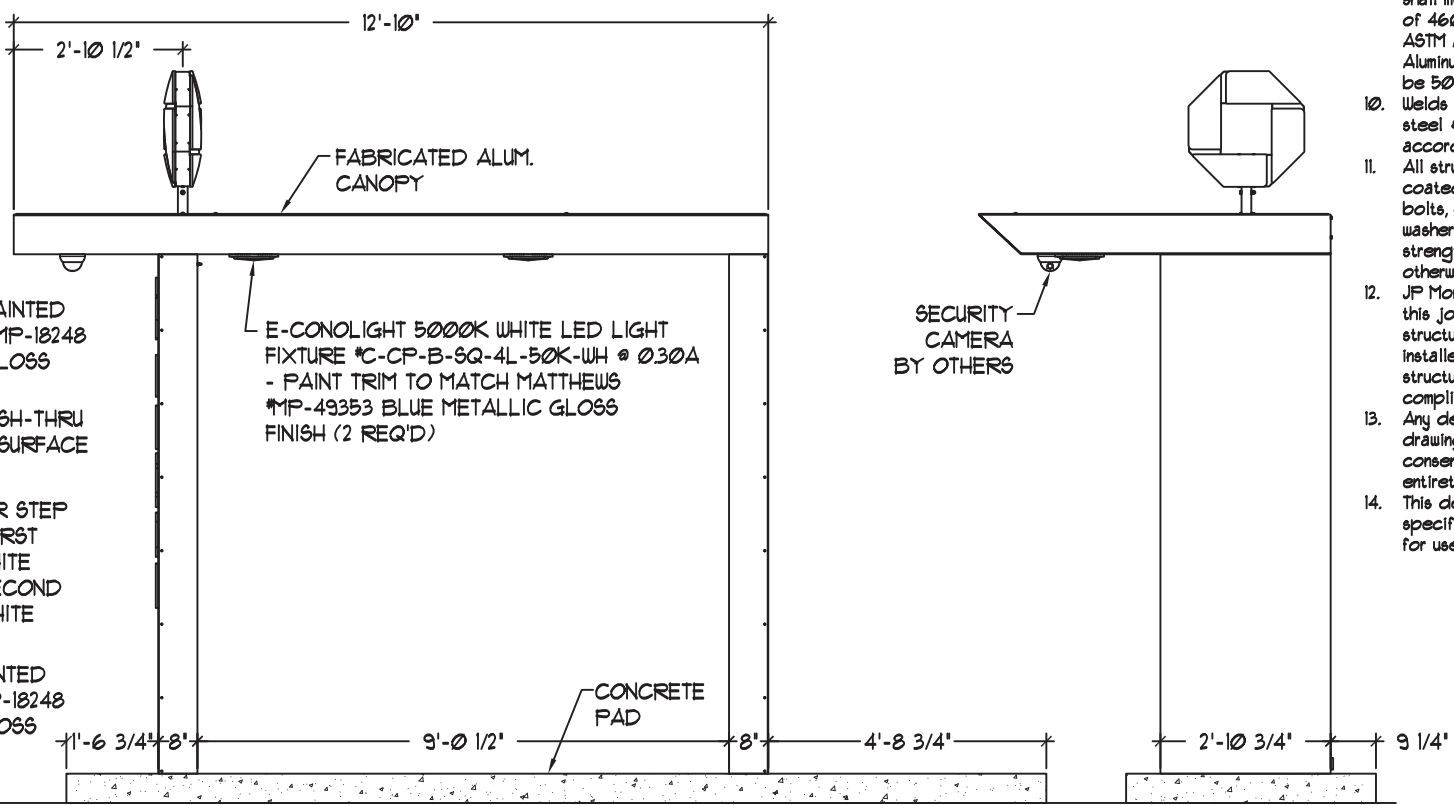
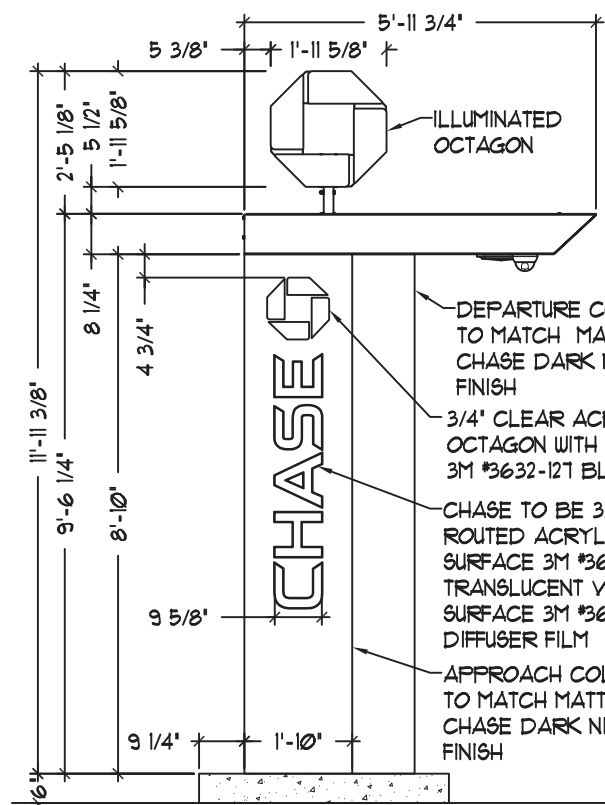
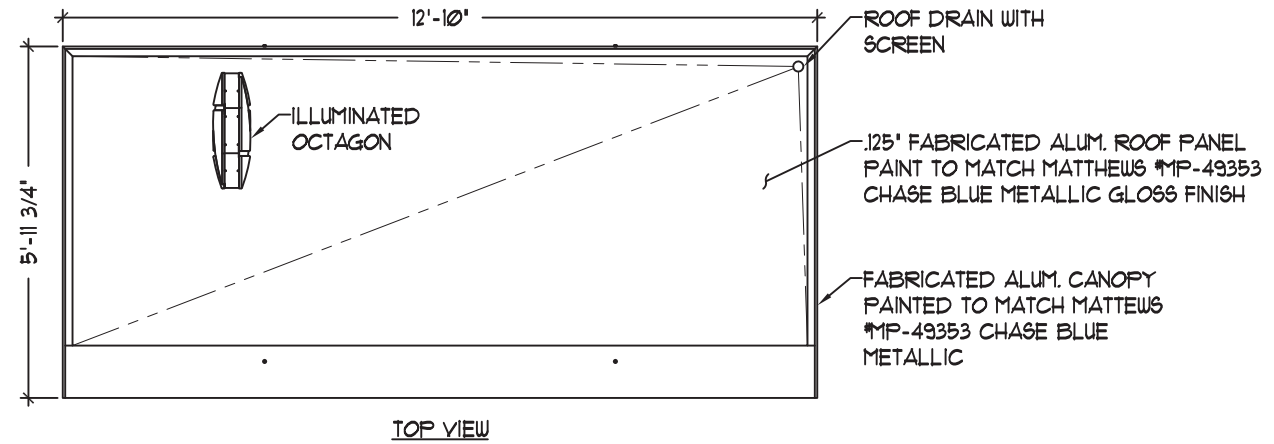
2/24/20 MOVED CANOPY ELECT. STUB-UP TO APPROACH LEG TRR IK

Page:

CANOPY ELECTRICAL REQUIREMENTS (NOT INCLUDING ATM MACHINE, SECURITY CAMERA & RELATED APPLIANCES):

LEDs: (4) 1100°K WHITE SLOAN PRISM #101269-1W6J1-MB
 (4) 3 BLUE SLOAN PRISM #101269-BL6J1-MB
DOWNLIGHTS: (2) E-CONOLIGHT 5000K WHITE LED LIGHT FIXTURE #C-CP-B-9Q-4L-50K-WH @ 0.30A
LED POWER SUPPLY: (3) SLOAN #101501-60C1 @ 0.70A
TOTAL LOAD: 2.70 AMPS @ 120VAC
CIRCUITS: (1) 20 AMP REQ'D.

ALL EXPOSED PAINTED SURFACES SHALL BE COATED WITH MATTHEWS #282-2086P VOC GLOSS CLEAR, WITH MINIMUM 2 MILS DRY FILM THICKNESS (DFT) PER MATTHEWS APPLICATION SPECIFICATIONS.



APPROACH ELEVATION

ELEVATION

DEPARTURE ELEVATION

General Notes:

- Design is based on a 115 mph, 3 second gust wind design per IBC 2015, Category II, Exposure C. 40psf Ground Snow Load.
- Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf.
- A soil report was not provided. Foundation analysis assumes Soil Classification 4. Allowable bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact the project manager.
- Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
- Steel reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
- All voids between column base plate and foundation surface shall be completely filled with high-strength, non-shrink grout.
- Anchor bolts shall meet ASTM F1554 Grade 36. Exposed surfaces shall be galvanized or coated to prevent corrosion.
- All support members shall be free from defects. Steel tube shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel angle, channel and plate shall meet ASTM A36. Extruded aluminum shapes shall be 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
- Welds shall be made with E70xx low hydrogen electrodes for steel & with 5356 filler for aluminum by persons qualified in accordance with AWS standards within the past two years.
- All structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural bolts, heavy hex nuts shall conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
- JP Morgan Chase will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
- Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from JP Morgan Chase voids this drawing in its entirety.
- This design is prototypical and should not be used for site specific applications unless reviewed and deemed suitable for use at that site by a competent Professional Engineer.

Z. 6/5/20 - CHANGED #E-CSA04A-W50W LIGHT FIXTURE TO THE #C-CP-B-9Q-4L-50K-WH LIGHT FIXTURE



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 Albuquerque, NM 87110

Initial Date: 08/10/20
 Salesperson: Arthur Navarro
 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

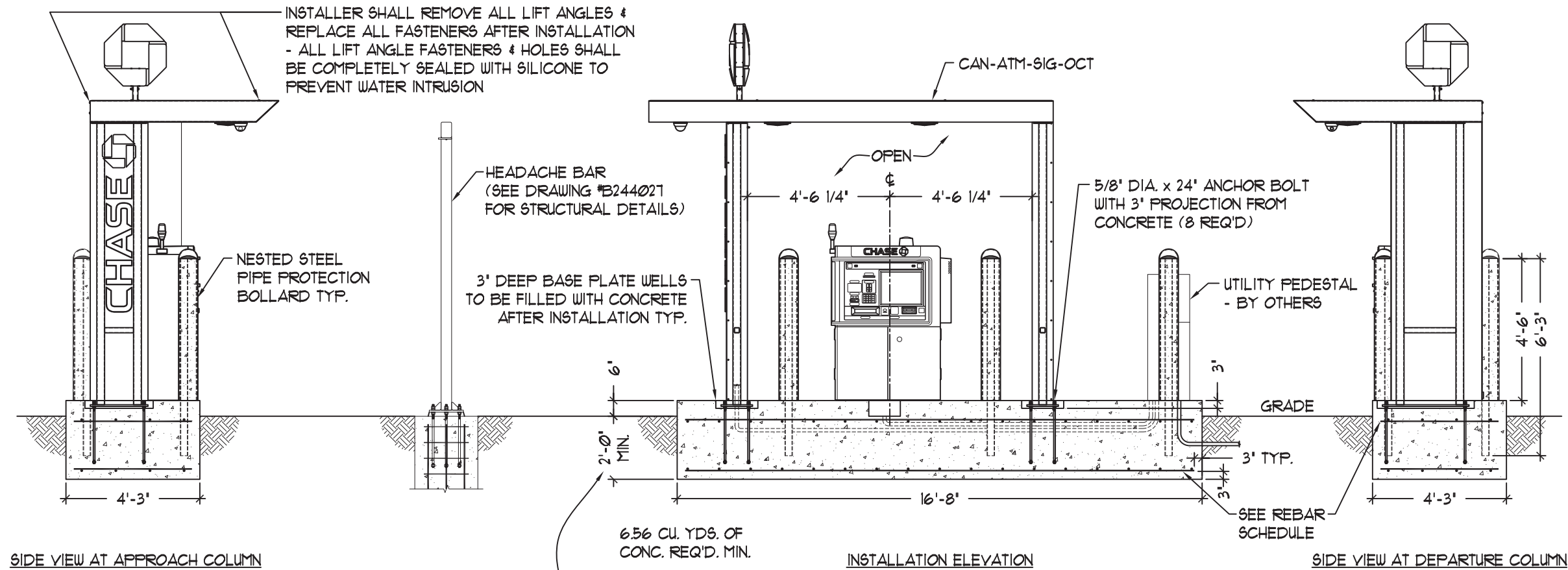
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Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

BOLLARDS TO BE MANUFACTURED / INSTALLED BY OTHERS



INSTALLER SHALL REMOVE ALL LIFT ANGLES & REPLACE ALL FASTENERS AFTER INSTALLATION - ALL LIFT ANGLE FASTENERS & HOLES SHALL BE COMPLETELY SEALED WITH SILICONE TO PREVENT WATER INTRUSION

HEADACHE BAR (SEE DRAWING #B244027 FOR STRUCTURAL DETAILS)

NESTED STEEL PIPE PROTECTION BOLLARD TYP.

3' DEEP BASE PLATE WELLS TO BE FILLED WITH CONCRETE AFTER INSTALLATION TYP.

5/8" DIA. x 24" ANCHOR BOLT WITH 3" PROJECTION FROM CONCRETE (8 REQ'D)

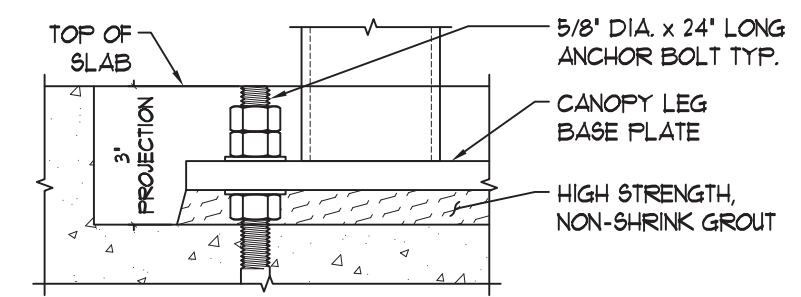
UTILITY PEDESTAL - BY OTHERS

6.56 CU. YDS. OF CONC. REQ'D. MIN.

SEE REBAR SCHEDULE

WHERE THE EXTREME FROST PENETRATION DEPTH REQUIREMENT IS GREATER THAN THE SPECIFIED DEPTH OF THE FOUNDATION SHOWN ON THIS SHEET, THE FOUNDATION DESIGN SHOULD BE ALTERED TO MEET THE LOCAL FROST DEPTH REQUIREMENTS. SEE MAP ON SHEET 12 OF 12 FOR GENERAL DEPTH GUIDELINES.

REBAR SCHEDULE		DO NOT WELD REBAR	
SPREAD FOUNDATION	SIZE	SPACING	QUANTITY
OVERTURN BOTTOM STEEL	#5	12'	17
OVERTURN TOP STEEL	#5	12'	17
BOTTOM CROSS STEEL	#5	13'	4
TOP CROSS STEEL	#5	13'	4



Z. 6/5/20 - CHANGED *E-CSA04A-W50W LIGHT FIXTURE TO THE *C-CP-B-SQ-4L-50K-WH LIGHT FIXTURE



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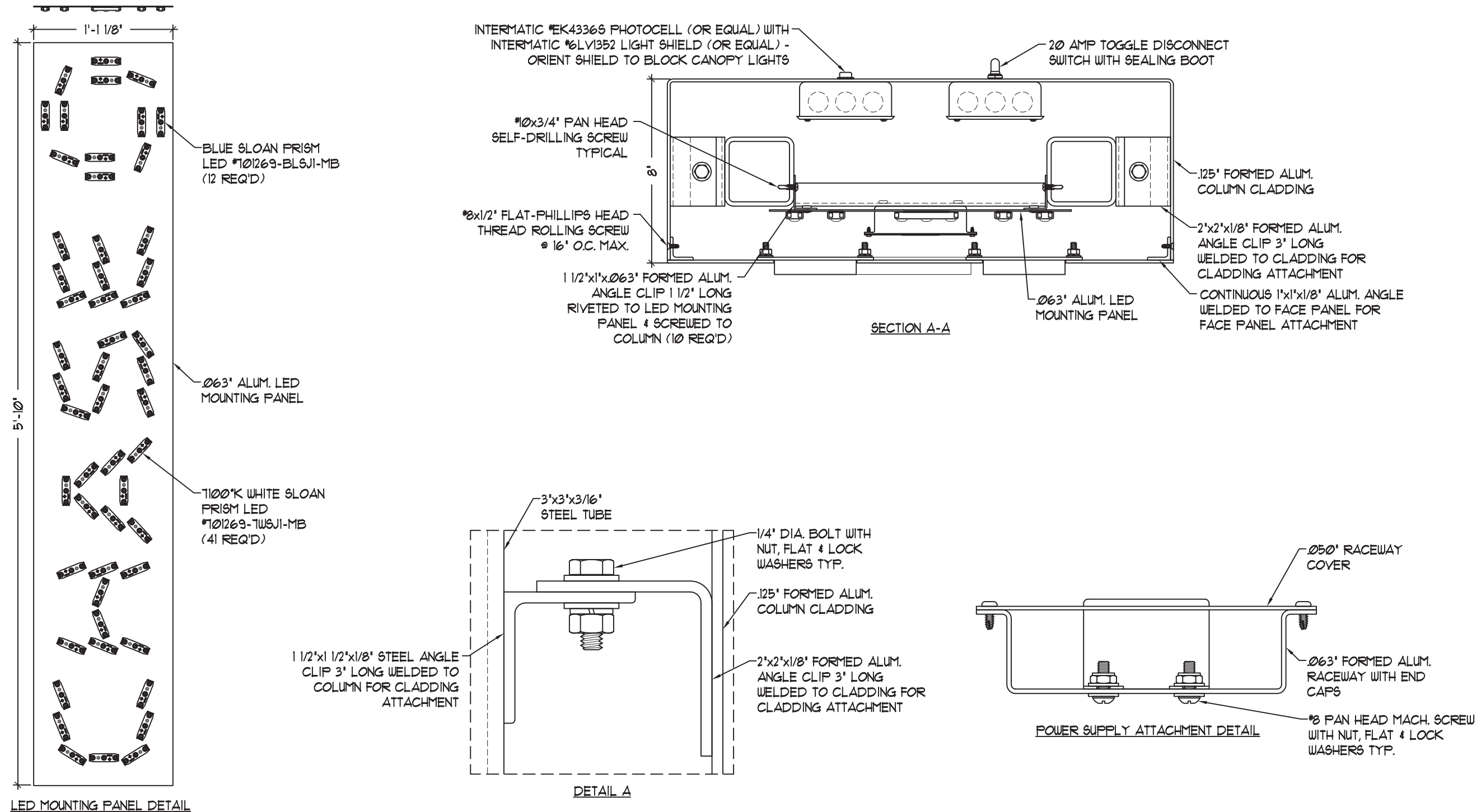
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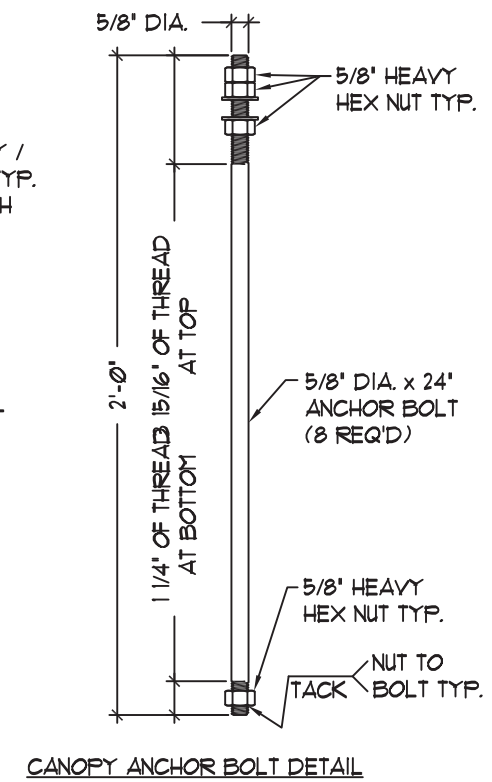
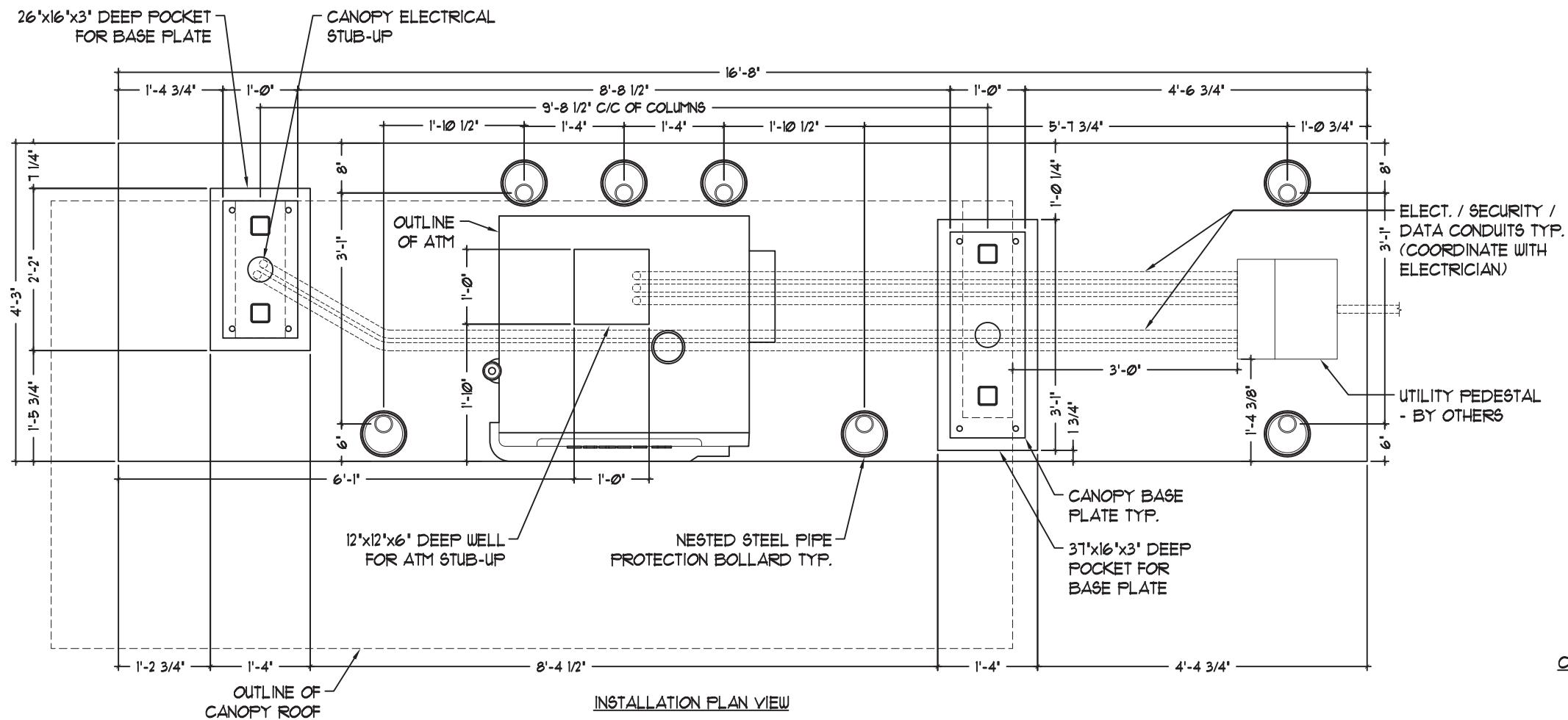
Page:

DRC Page 16



Z. 6/5/20 - CHANGED #E-CSA04A-W50W LIGHT FIXTURE TO THE #C-CP-B-SQ-4L-50K-WH LIGHT FIXTURE

BOLLARDS TO BE MANUFACTURED / INSTALLED BY OTHERS



CONDUITS ARE TO BE PROVIDED & SET BY THE ELECTRICIAN PRIOR TO THE PLACEMENT OF CONCRETE

Z. 6/5/20 - CHANGED *E-CSA04A-W50W LIGHT FIXTURE TO THE *C-CP-B-SQ-4L-50K-WH LIGHT FIXTURE



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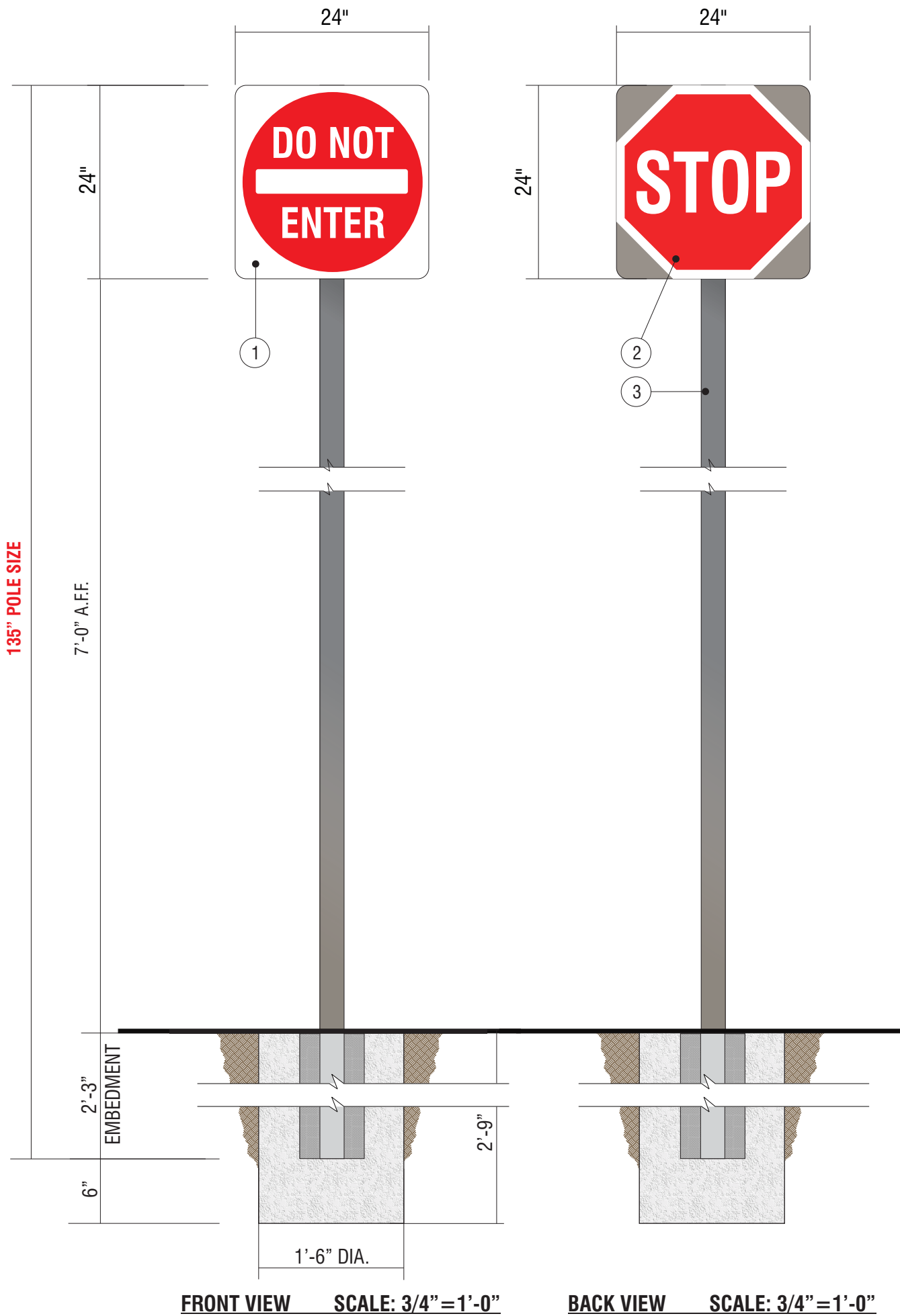
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135" POLE SIZE

FRONT VIEW SCALE: 3/4" = 1'-0"

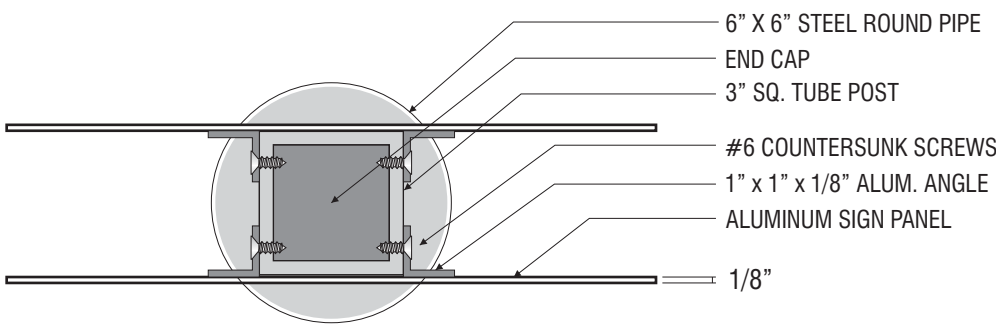
BACK VIEW SCALE: 3/4" = 1'-0"

E.7 E.8

SIGN TYPE CUSTOM TC-P-H DOT STOP/DO NOT ENTER

MANUFACTURE AND INSTALL TWO (2) D/F NON-ILLUMINATED SIGNS

1. .125" ALUMINUM SIGN FACE, D.O.T. STANDARD "DO NOT ENTER"
PAINT FINISH BACK SIDE SURFACE DARK NICKEL
MATTHEWS MP #18248, GLOSS FINISH.
2. .125" ALUMINUM SIGN FACE, D.O.T. STANDARD "STOP"
PAINT FINISH BACK SIDE SURFACE DARK NICKEL
MATTHEWS MP #18248, GLOSS FINISH.
3. SQ. ALUM. TUBE POST, 3" x 3" x 1/8" x 135" LONG
W/ .063" THICK ALUM. CAP PLATE @ TOP.



TOP SECTION SCALE: 1" = 1'-0"



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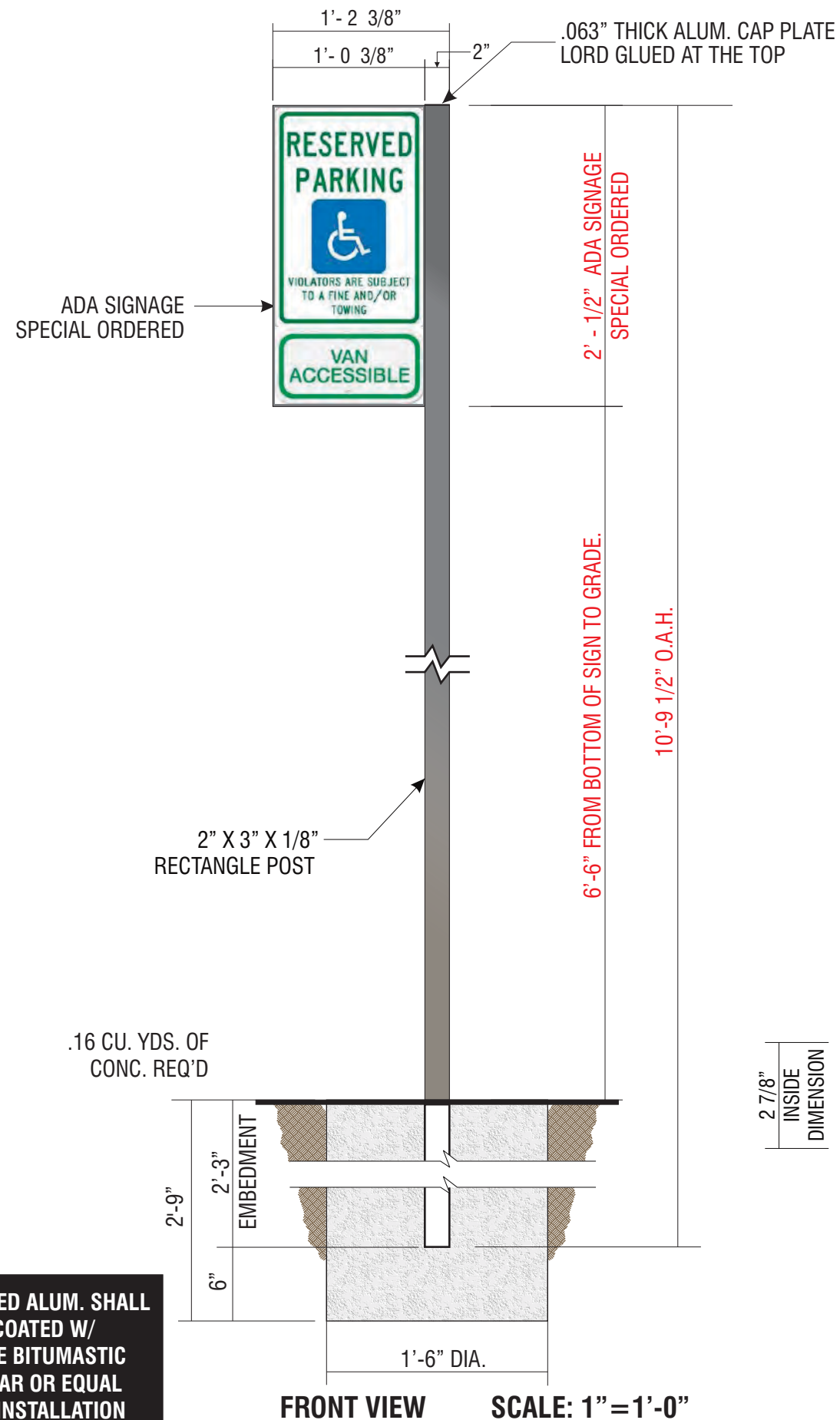
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ALL EMBEDDED ALUM. SHALL TO BE COATED W/ CARBOLINE BITUMASTIC 50 COAL TAR OR EQUAL PRIOR TO INSTALLATION

E.9

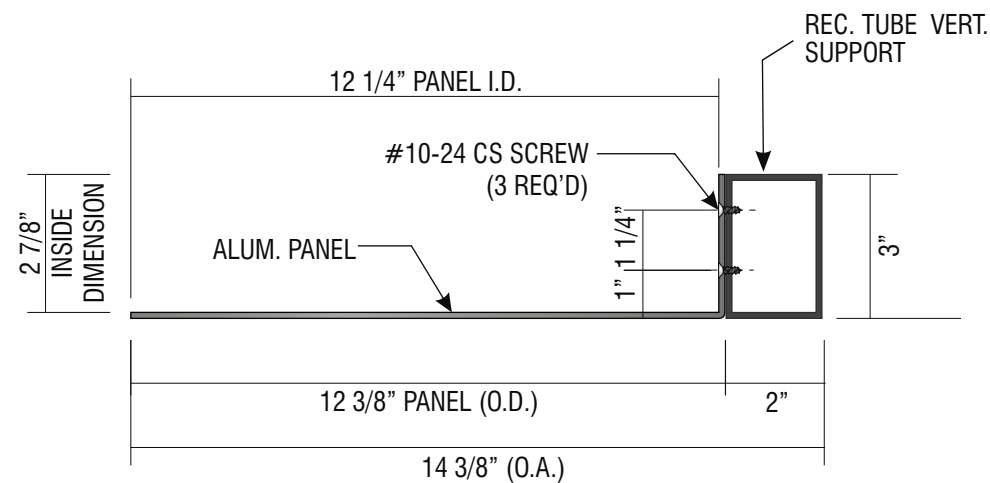
SIGN TYPE CUSTOM TC-P-ADA-NM-V-RE **CITY SPECIFIC**

MANUFACTURE AND INSTALL ONE (1) N-I POLE MOUNTED PARKING SIGN

- .125" BRAKE FORMED ALUMINUM SIGN FACE. PAINT FINISH ALL EXPOSED SURFACES DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH (85-90 UNITS). FORM AS SHOWN.
- SIGN FACE TO BE ORDERED BY "COMPLIANCE SIGNS" 800.578.1245 FACE TO BE LORDS GLUE TO .125" BRAKE FORM ALUM. SIGN FACE
- 2" X 3" X 1/8" X 11'-9 1/2" LONG EXTRUDED ALUM. POST W/ .063" THICK ALUM. CAP PLATE @ TOP. PAINT FINISH ALL EXPOSED SURFACES TO MATCH DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH (60-70 UNITS). SET SUPPORT INTO CONCRETE FOUNDATION. NO DIRECT EARTH BURIAL ALLOWED.



ALL FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.



A HORIZONTAL SECTION
SCALE: 3" = 1'-0"



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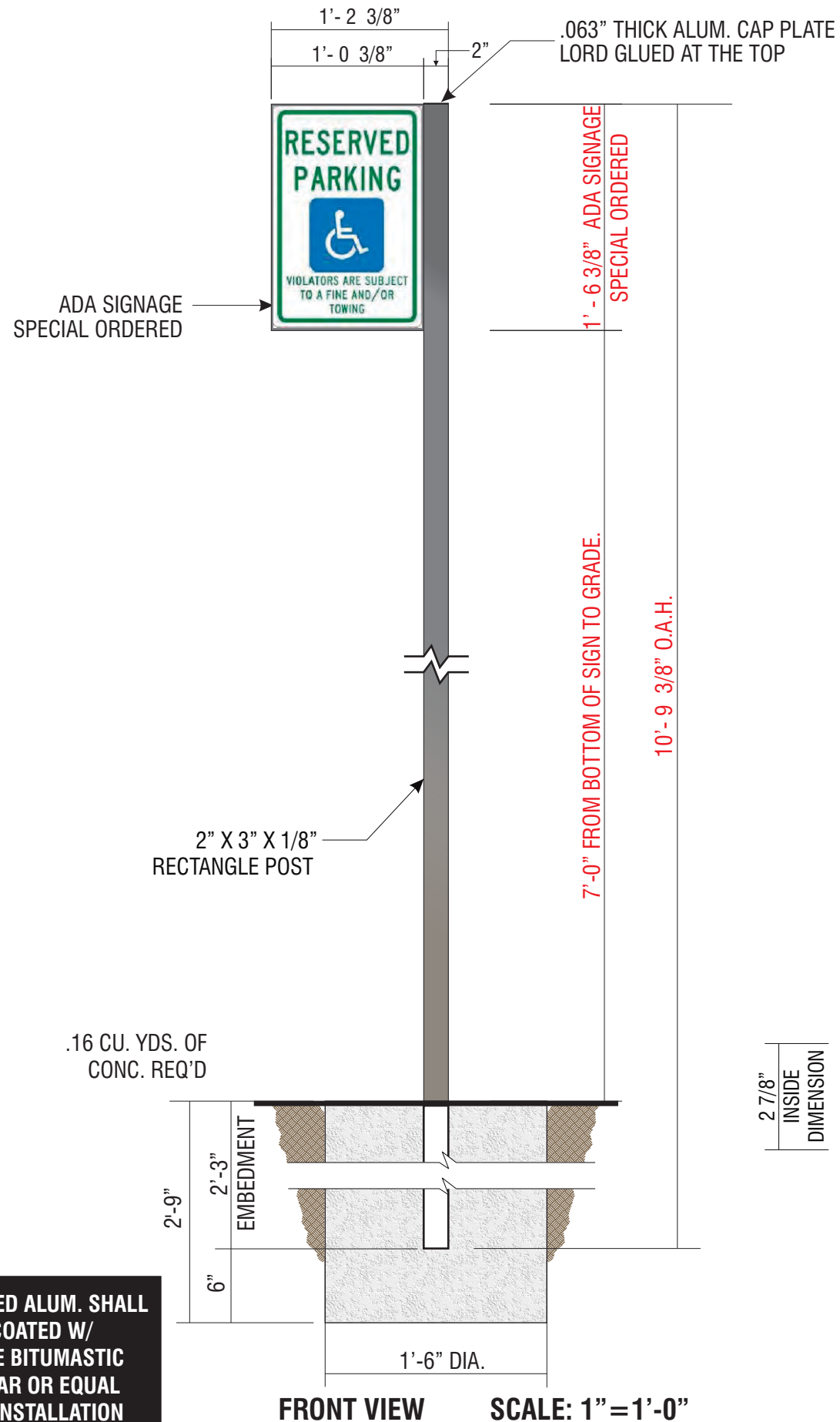
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Revision: R13 - 06.08.21



E.10

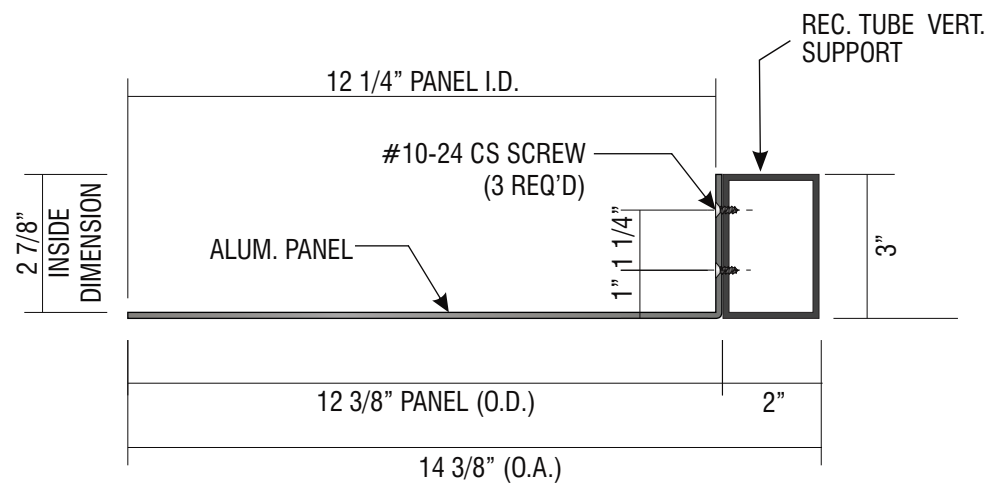
SIGN TYPE CUSTOM TC-P-ADA-NM-RE CITY SPECIFIC

MANUFACTURE AND INSTALL ONE (1) N-I POLE MOUNTED PARKING SIGN

- .125" BRAKE FORMED ALUMINUM SIGN FACE. PAINT FINISH ALL EXPOSED SURFACES DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH (85-90 UNITS). FORM AS SHOWN.
- SIGN FACE TO BE ORDERED BY "COMPLIANCE SIGNS" 800.578.1245 FACE TO BE LORDS GLUE TO .125" BRAKE FORM ALUM. SIGN FACE
- 2" X 3" X 1/8" X 10'-9 3/8" LONG EXTRUDED ALUM. TRIANGULAR POST W/ .063" THICK ALUM. CAP PLATE @ TOP. PAINT FINISH ALL EXPOSED SURFACES TO MATCH DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH (60-70 UNITS). SET SUPPORT INTO CONCRETE FOUNDATION. NO DIRECT EARTH BURIAL ALLOWED.



ALL FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.



A HORIZONTAL SECTION SCALE: 3" = 1'-0"



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JP Morgan Chase Bank #38200P367111

Indian School Rd NE & Louisiana Rd
 6670 Indian School Rd NE
 Albuquerque, NM 87110

Initial Date: 08/10/20
 Salesperson: Arthur Navarro
 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

Customer Signature _____ Date _____

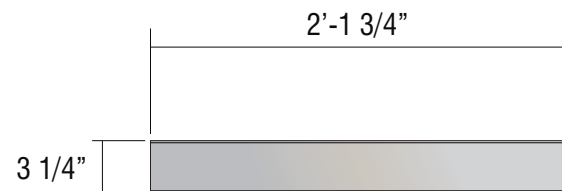
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Drawing Number: 20-01032

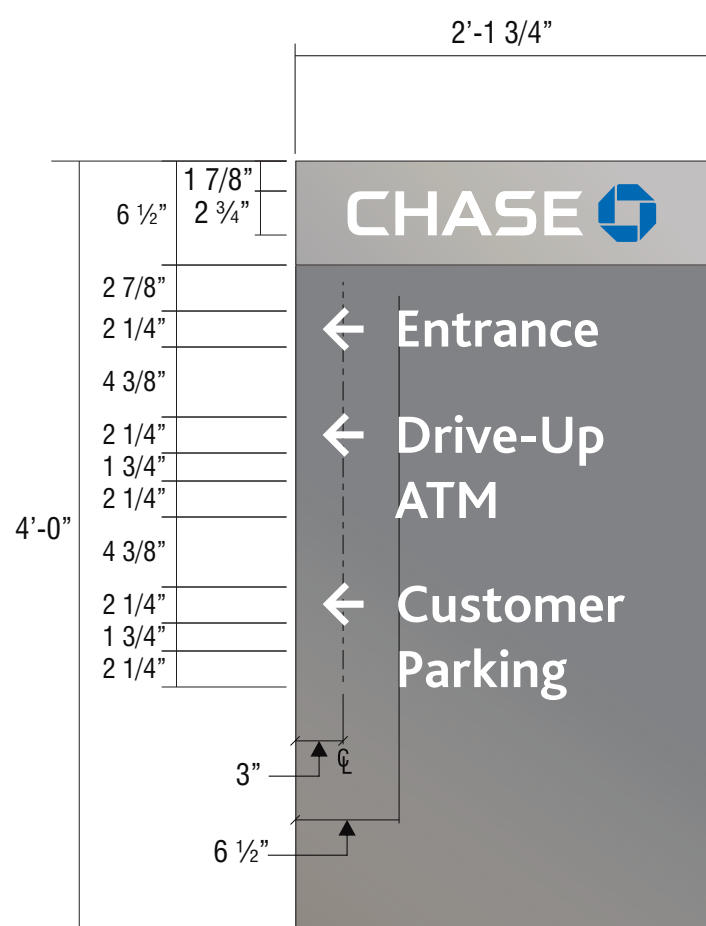
Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

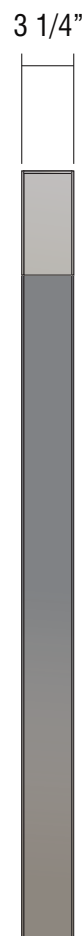
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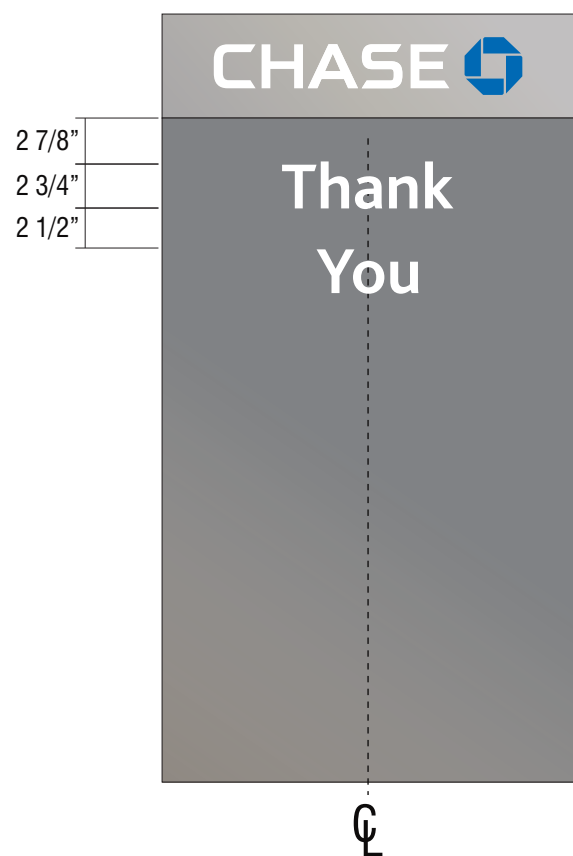
TOP VIEW SCALE: 1"=1'-0"



FRONT VIEW SCALE: 1"=1'-0"



END VIEW



REAR VIEW SCALE: 1"=1'-0"

E.11 SIGN TYPE D-7.6-RE

MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED DIRECTIONAL SIGN

FACES: .125" THICK ALUMINUM FACES, QUARTER ROUNDED. TOP PORTION: PAINT CHASE NICKEL #19891, GLOSS FINISH. BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

CHASE COPY: 3M #7725-10 WHITE VINYL.

OCTAGON: 3M #3632-127 BLUE OVER #7725-10 WHITE.

SECONDARY COPY/ARROWS: TO BE 3M SCOTCHLITE #680-10 REFLECTIVE WHITE VINYL.

POSTS: 2" X 3" X .125" RECTANGLE TUBE POSTS. TOP PORTION: CONTINUOUS BAND TO BE PAINTED NICKEL #19891, GLOSS FINISH. BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

TOP CAP: .125" ALUMINUM PAINTED CHASE NICKEL #19891, GLOSS FINISH.



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JP Morgan Chase Bank #38200P367111

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 6670 Indian School Rd NE
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 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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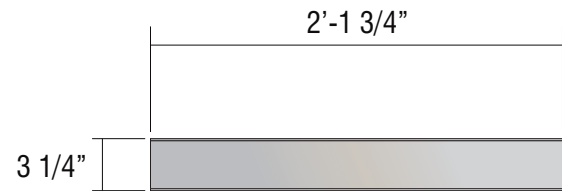
Customer Signature _____ Date _____

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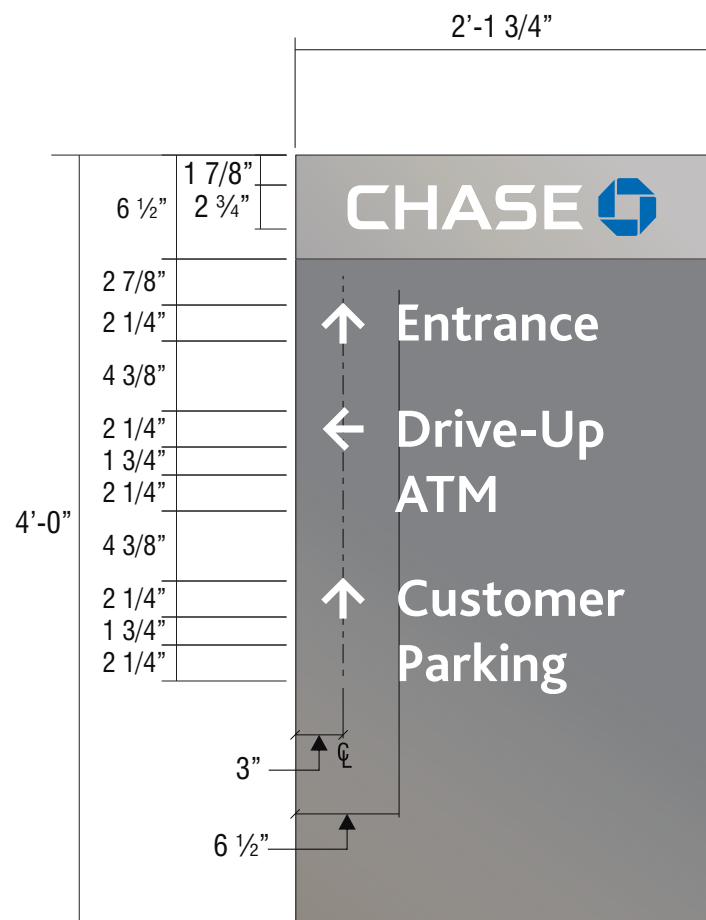
Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

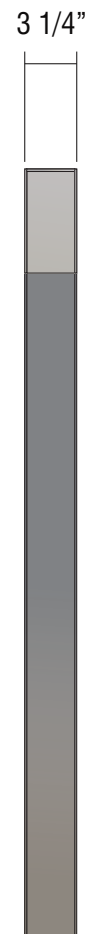
Revision: R13 - 06.08.21



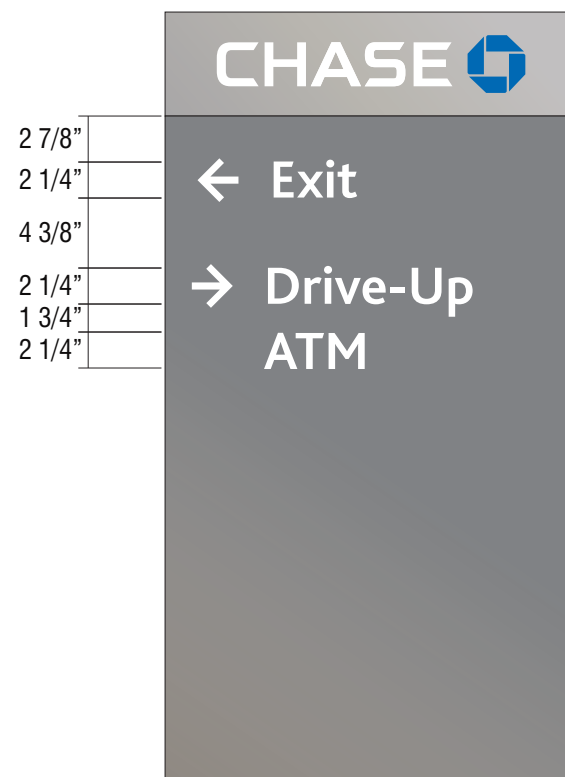
TOP VIEW SCALE: 1"=1'-0"



FRONT VIEW SCALE: 1"=1'-0"



END VIEW



REAR VIEW SCALE: 1"=1'-0"

E.12 SIGN TYPE D-7.6-RE

MANUFACTURE & INSTALL ONE (1) NON-ILLUMINATED DIRECTIONAL SIGN

FACES: .125" THICK ALUMINUM FACES, QUARTER ROUNDED. TOP PORTION: PAINT CHASE NICKEL #19891, GLOSS FINISH. BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

CHASE COPY: 3M #7725-10 WHITE VINYL.

OCTAGON: 3M #3632-127 BLUE OVER #7725-10 WHITE. **SECONDARY COPY/ARROWS:** TO BE 3M SCOTCHLITE #680-10 REFLECTIVE WHITE VINYL.

POSTS: 2" X 3" X .125" RECTANGLE TUBE POSTS. TOP PORTION: CONTINUOUS BAND TO BE PAINTED NICKEL #19891, GLOSS FINISH. BOTTOM PORTION: PAINT CHASE DARK NICKEL #18248, GLOSS FINISH.

TOP CAP: .125" ALUMINUM PAINTED CHASE NICKEL #19891, GLOSS FINISH.



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6670 Indian School Rd NE
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Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

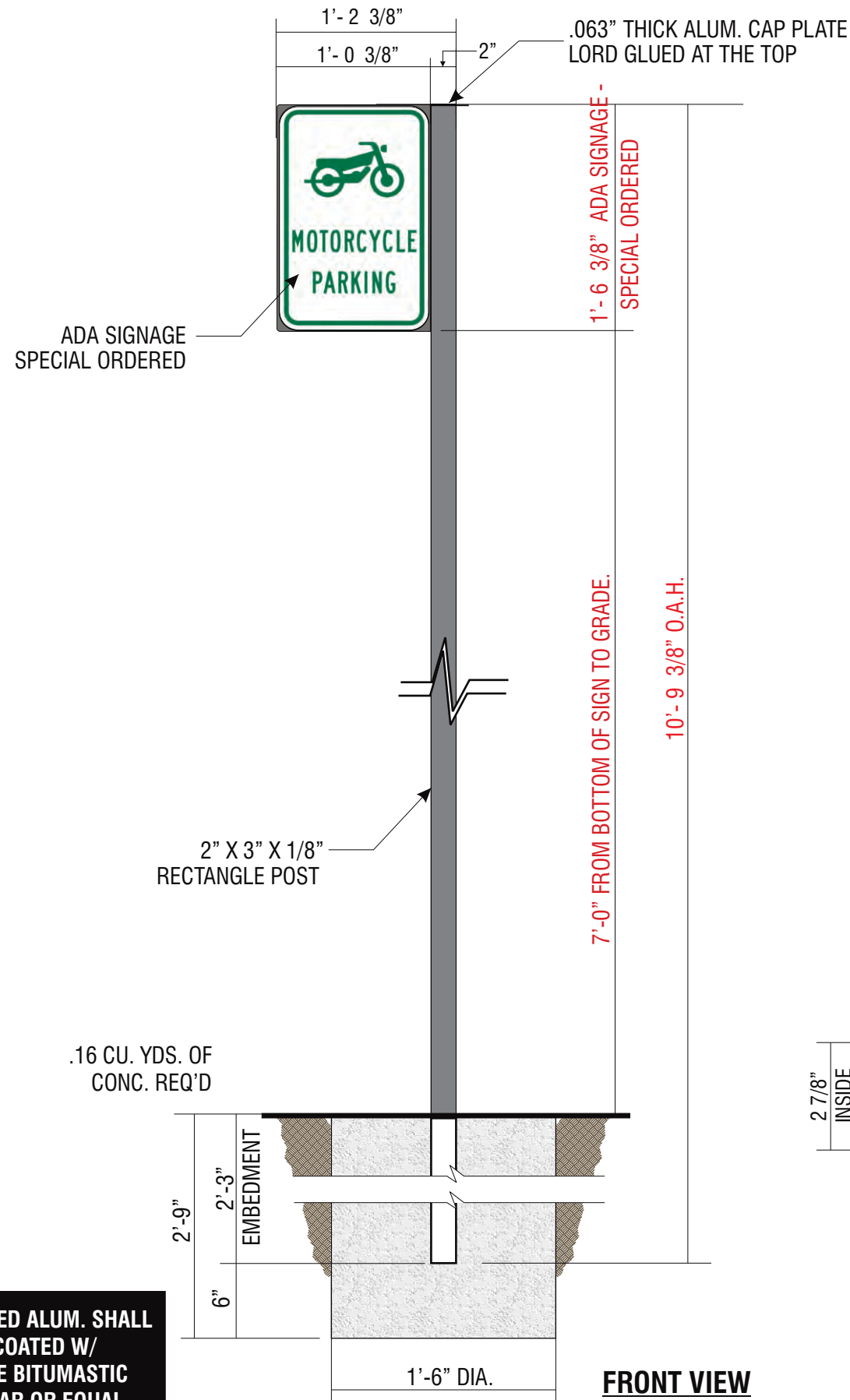
Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



E.29

E.30

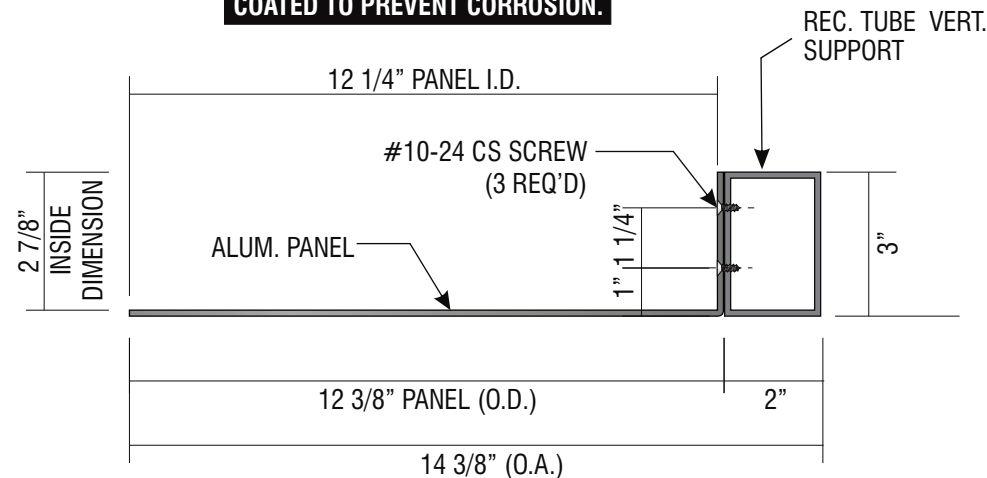
SIGN TYPE TC-P-MOTORCYCLE

MANUFACTURE AND INSTALL TWO (2) N-I POLE MOUNTED PARKING SIGN

- .125" BRAKE FORMED ALUMINUM SIGN FACE. PAINT FINISH ALL EXPOSED SURFACES DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH (85-90 UNITS). FORM AS SHOWN.
- SIGN FACE TO BE ORDERED BY "COMPLIANCE SIGNS" 800.578.1245 FACE TO BE LORDS GLUE TO .125" BRAKE FORM ALUM. SIGN FACE
- 2" X 3" X 1/8" X 10'-9 3/8" LONG EXTRUDED ALUM. RECTANGULAR POST W/ .063" THICK ALUM. CAP PLATE @ TOP. PAINT FINISH ALL EXPOSED SURFACES TO MATCH DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH (85-90 UNITS) SET SUPPORT INTO CONCRETE FOUNDATION. NO DIRECT EARTH BURIAL ALLOWED.



ALL FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.



A HORIZONTAL SECTION SCALE: 3" = 1'-0"

ALL EMBEDDED ALUM. SHALL TO BE COATED W/ CARBOLINE BITUMASTIC 50 COAL TAR OR EQUAL PRIOR TO INSTALLATION



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6670 Indian School Rd NE
Albuquerque, NM 87110

Initial Date: 08/10/20
Salesperson: Arthur Navarro
Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

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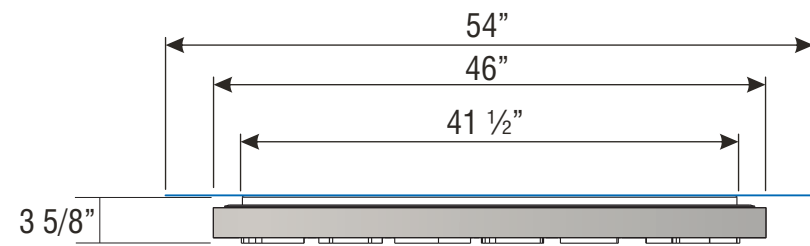
Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

Page:

DRC Page 23



TOP VIEW SUR-TTW-U-4
SCALE: 3/4" = 1'-0"

STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-18101 CHASE NICKEL:
BASE COAT:* 3-4 MEDIUM COATS OF MAP SVOC2471 FOR BASE COAT.
 ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F. FOR 15MIN.
STIPPLE FINISH COAT:* MIX MAP SVOC1761 WITH CATALYST BUT *_NO*_REDUCER;
 SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND
 20-25 PSI ATOMIZING AIR AT THE PAINT GUN -
 USE 1.0 TO 1.2 FLUID NOZZLE.
 APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

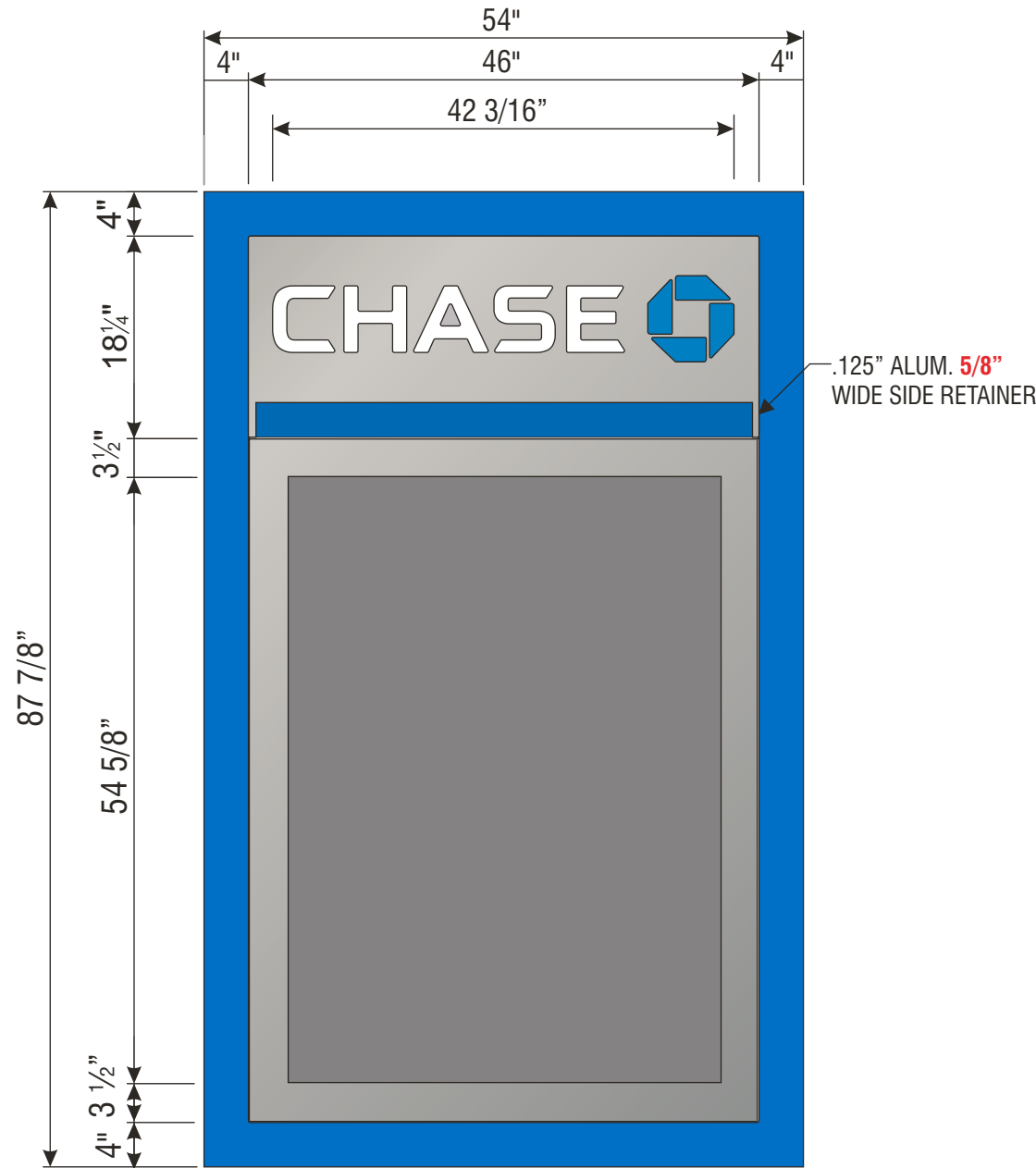
STIPPLE FINISH PAINT PROCESS FOR MATTHEWS #MP-49353 CHASE BLUE METALLIC:
BASE COAT:* 3-4 MEDIUM COATS OF SVOC2472 SP FOR BASE COAT.
 ALLOW TO AIR DRY 12-24 HRS OR FORCE DRY AT 200 DEG. F. FOR 15MIN.
STIPPLE FINISH COAT:* MIX MAP SVOC2049 SP WITH CATALYST BUT *_NO*_REDUCER;
 SET PRESSURE POT AT 18-20 PSI TANK PRESSURE AND
 20-25 PSI ATOMIZING AIR AT THE PAINT GUN -
 USE 1.0 TO 1.2 FLUID NOZZLE.
 APPLY 5-6 PASSES OF A FINE TIGHT STIPPLE

NOTE: PUSH-THRU ACRYLIC SHALL HAVE
A MILL FINISH ON ALL ROUTED EDGES

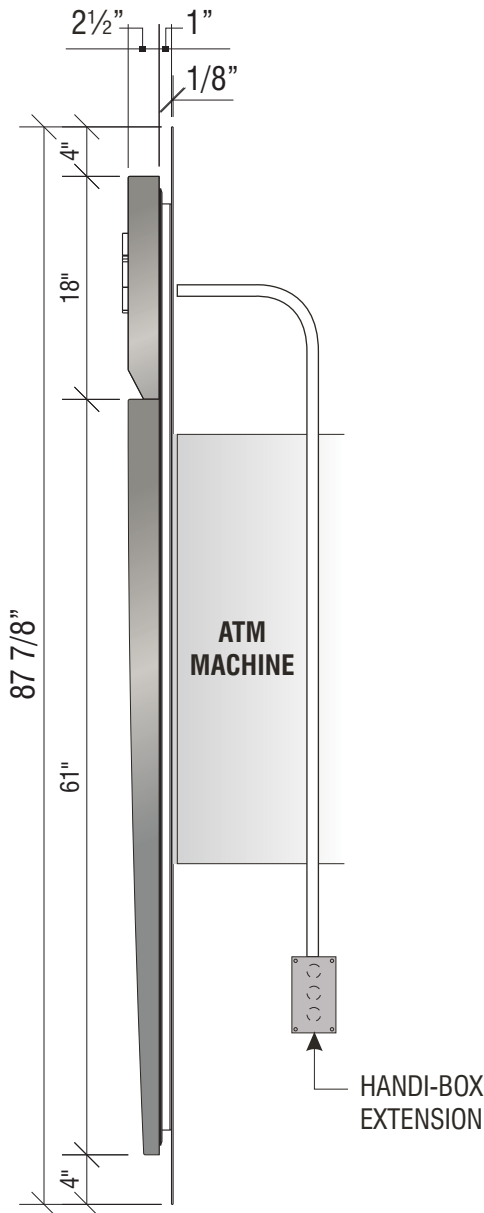
ALL EXPOSED FASTENER HEADS
SHALL BE PAINTED TO MATCH THE
EXTERIOR CABINET FINISH

SLOAN BLUE LED STRIPE AROUND
PERIMETER TO PROVIDE HALO-LIT
EFFECT AGAINST BACK PANEL

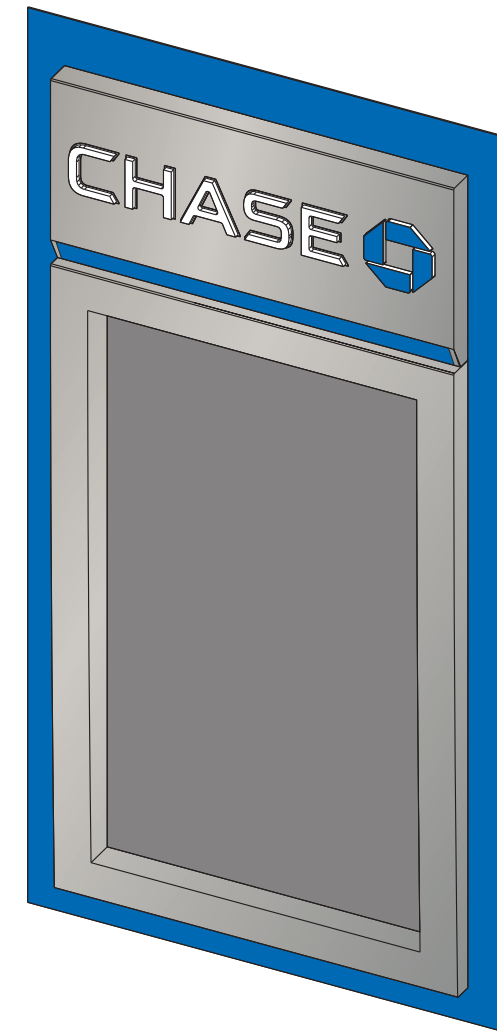
GRAPHICS DEPICTED ARE FOR I
LLUSTRATIVE PURPOSES ONLY!
USE ONLY APPROVED ARTWORK
FOR PRODUCTION.



FRONT VIEW SCALE: 3/4" = 1'-0"



SIDE VIEW



PERSPECTIVE VIEW



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 Albuquerque, NM 87110

Initial Date: 08/10/20
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 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary
 electrical to sign location -
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Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

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I.13 SIGN TYPE SUR-TTW-U-4-TP

MANUFACTURE AND INSTALL ONE (1) INTERNALLY ILLUMINATED THIN PROFILE ATM SURROUND



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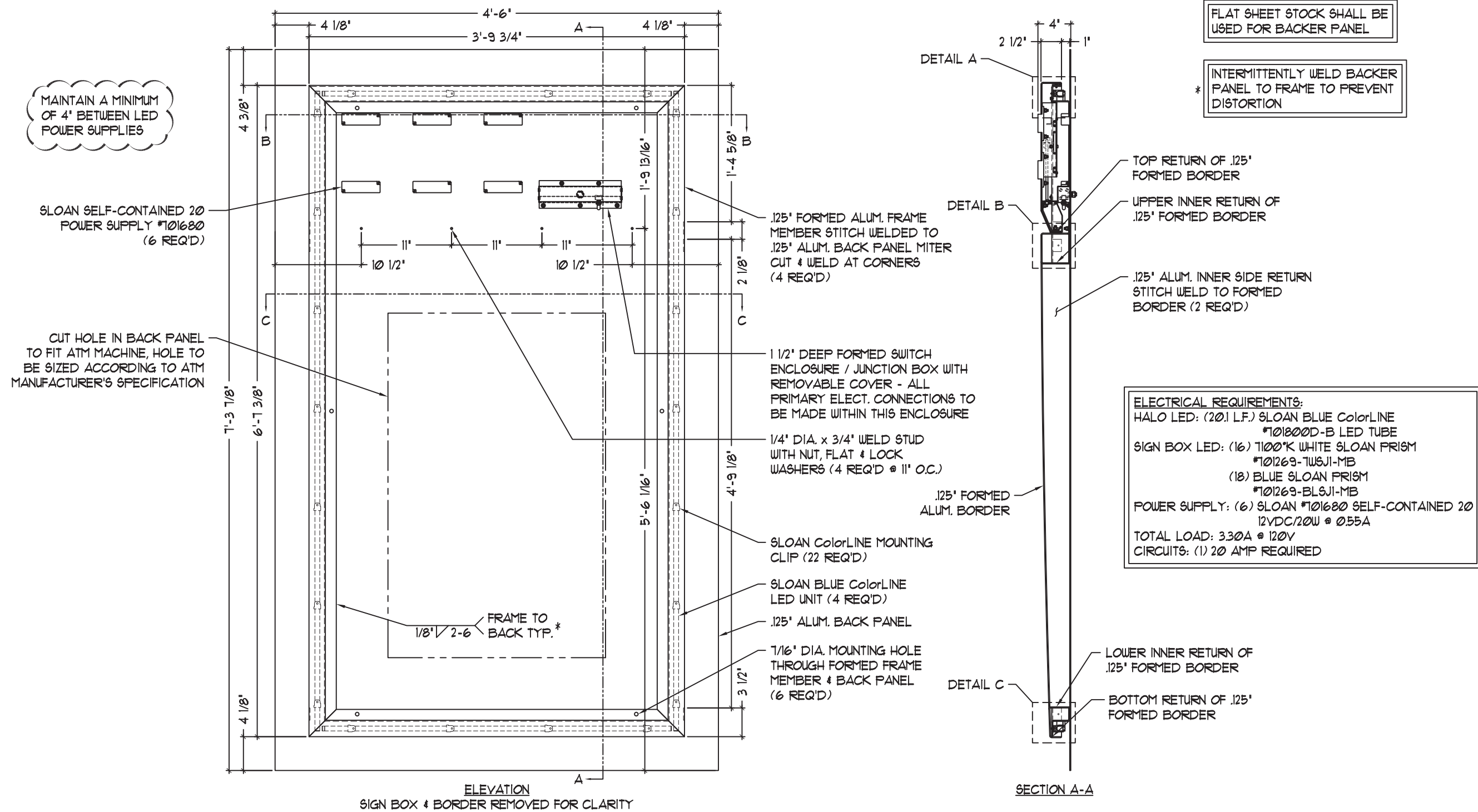
Customer Signature _____ Date _____

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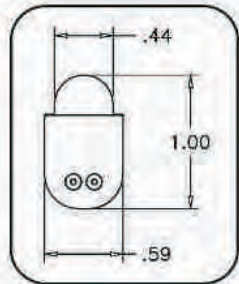
Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



ColorLINE

The Ultimate LED Border Tube



- Super Bright
- Profile Similar to Neon
- Lit, Mitered Corners
- Fully Compatible with All SloanLED 12 VDC Products

COLORLINE SIZES AND CUT LENGTHS:

- (3) EA. #701800-COLOR-8 (96 1/2" LONG)
- MAKE VERTICAL TUBES FROM (2) 96 1/2" PARTS.
- MAKE HORIZONTAL TUBES FROM (1) 96 1/2" PART.
- EACH PART MUST HAVE A FACTORY RUBBER END.
- ONCE PLASTIC CAP IS ATTACHED TO THE CUT SIDE, THE TUBE WILL FINISH AT **77 5/32"** FOR VERTICAL IN LENGTH INCLUDING CAP.
- THE TUBE WILL FINISH AT **45 3/16"** FOR HORIZONTAL IN LENGTH INCLUDING CAP.

Item Description	Part # (Tube)	Actual Tube Length	Cut Increments	Power per Foot (Meter)	LEDs per Foot (Meter)	Limited Warranty
2' Tube	701800-Color-2	24 1/2" (62cm)	2.4" (6cm)	2.28W (7.5W)	20 (66)	Warm Colors: 5 Year Cool Colors: 3 Year
4' Tube	701800-Color-4	48 1/2" (123cm)	2.4" (6cm)	2.28W (7.5W)	20 (66)	
6' Tube	701800-Color-6	72 1/2" (184cm)	2.4" (6cm)	2.28W (7.5W)	20 (66)	
8' Tube	701800-Color-8	96 1/2" (245cm)	2.4" (6cm)	2.28W (7.5W)	20 (66)	

~~Warm Colors: Red, Orange, Yellow Cool Colors: Blue, Green, White~~

Feet (Meter) per 12VDC Power Supply

SloanLED Power Supply	Self Contained	Modular	Quad
	20	60	240
ColorLINE # Feet (Meters)	8 (2.5)	24 (7.5)	96 (30) 24 (7.5) per leg

SLOAN 12V POWER UNIT



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Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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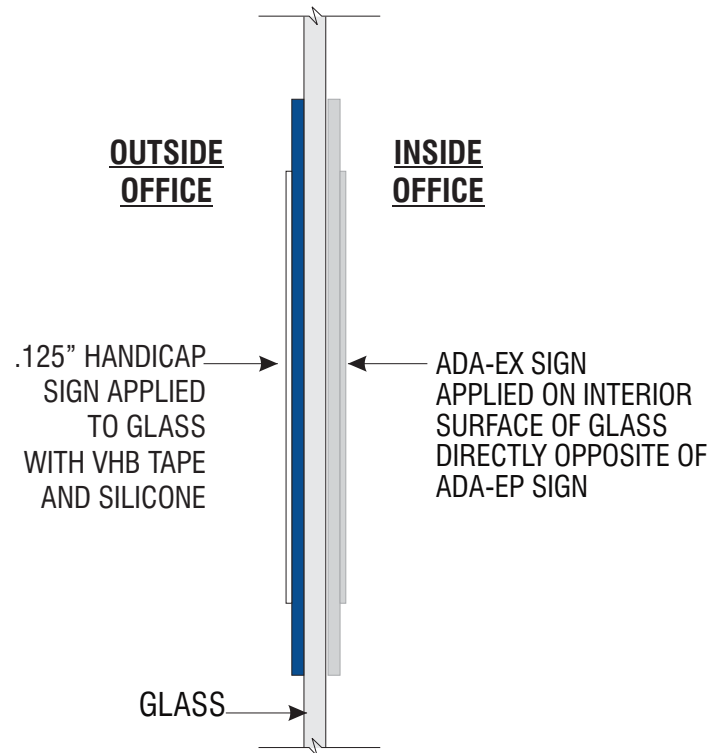
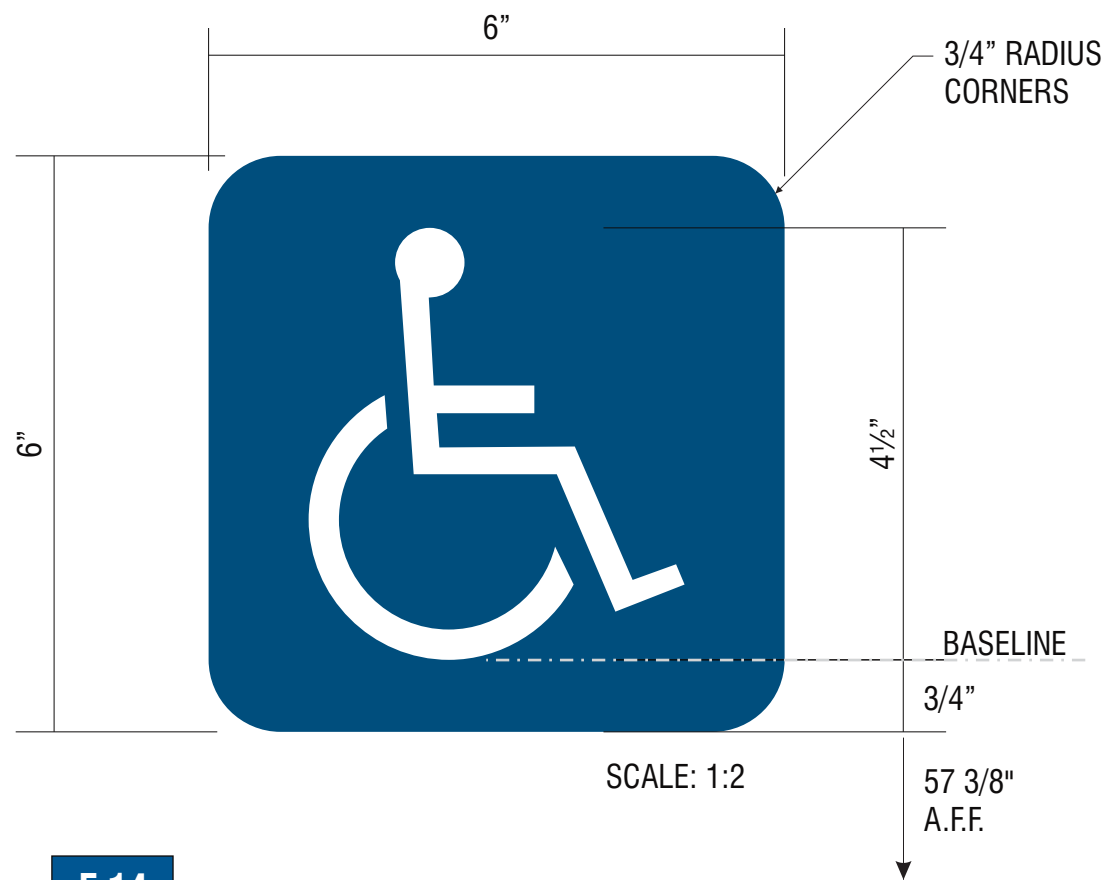
Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

Page:

DRC Page 26



E.14

SIGN TYPE ADA-EP **ACCESSIBLE BUILDING ENTRANCE - A02**

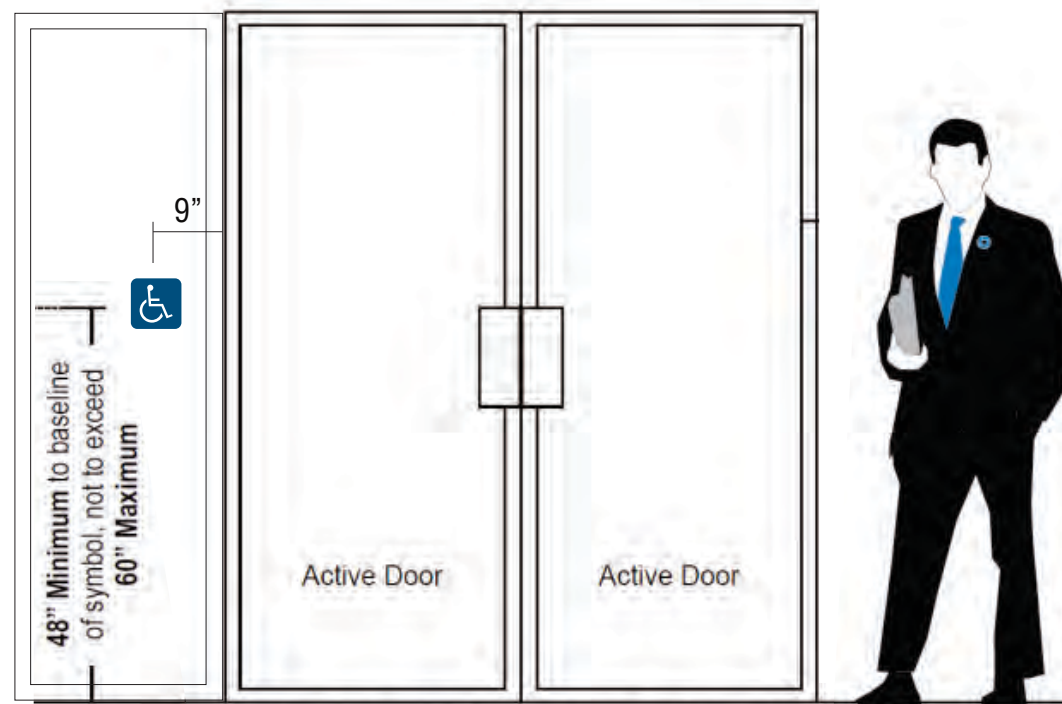
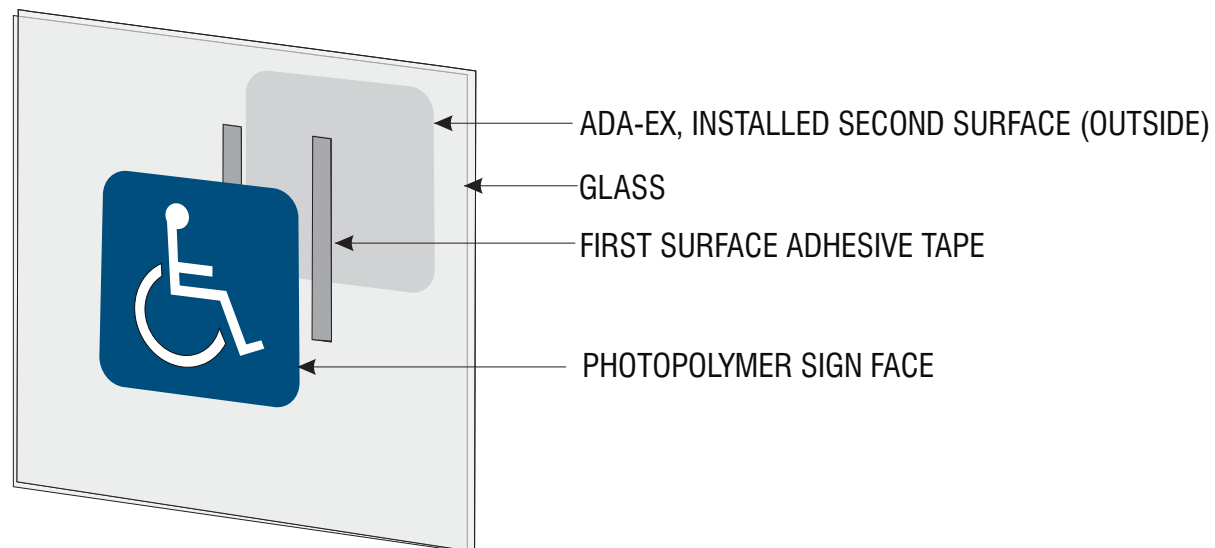
MANUFACTURE AND INSTALL ONE (1) ADA STANDARD ENTRANCE PLAQUE

FACE: 1/8" BLUE GRAVOTAC #341-501V, SATIN NON-GLARE FINISH.

ISA SYMBOL: 1/32" RAISED, BRIGHT WHITE GRAVOTAC.

BRAILLE: 1/32" RAISED CLEAR BEAD, MAXIMUM 1/16" DIA.

INSTALL: MOUNT TO LATCH SIDE OF DOOR WITH VHB TAPE AND SILCONE.



Double door with both doors active, sign is mounted to the left of the left side door



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Customer Signature _____ Date _____

COPY, COLORS & SIZES

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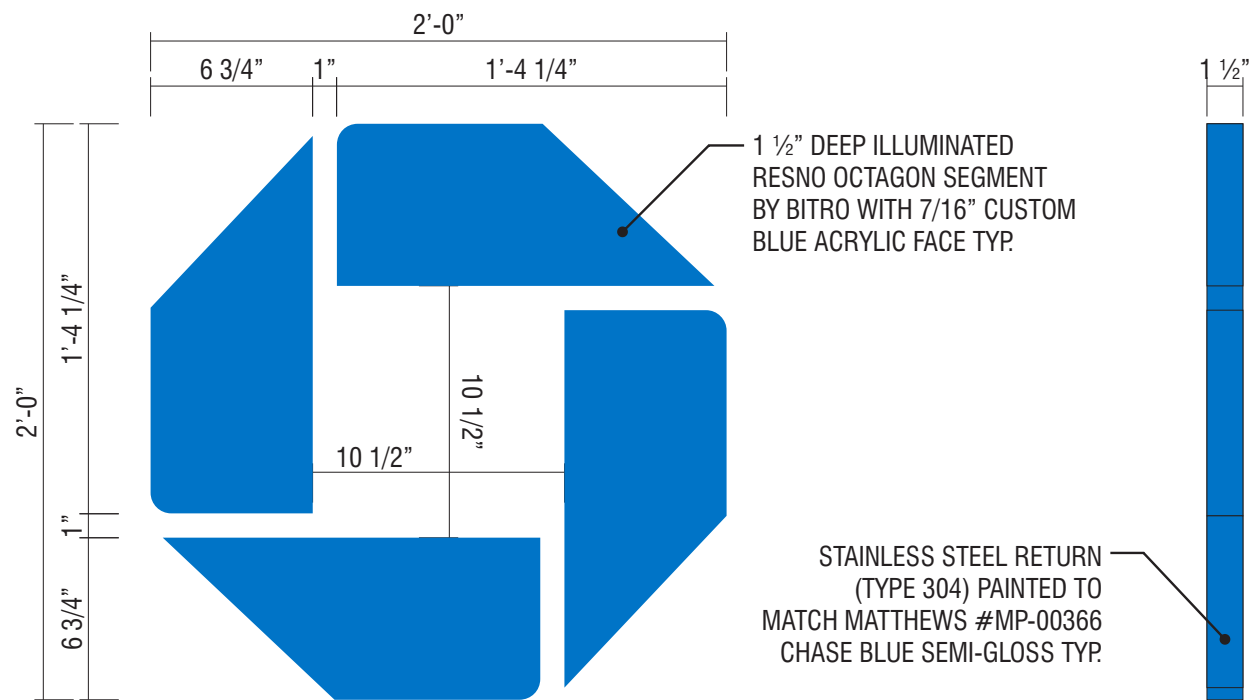
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Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



FRONT VIEW

SCALE: 1 1/2" = 1'-0"

SIDE VIEW

SCALE: 1 1/2" = 1'-0"

I.17
SIGN TYPE OCT-24-INT **BLUE BITRO**

MANUFACTURE AND INSTALL ONE (1) INTERNALLY-ILLUMINATED OCTAGONS

GENERAL NOTES:

1. DESIGN IS BASED ON A 5 PSF LATERAL LOAD FOR INTERIOR APPLICATIONS PER IBC 2015. SEISMIC DESIGN CATEGORY D.
2. THE CUSTOMER'S BUILDING ENGINEER IS TO DETERMINE THE ADEQUACY OF THE SUPPORTING STRUCTURE.
3. ALL FASTENERS SHALL BE STAINLESS STEEL OR ZINC COATED TO PREVENT CORROSION.
4. J.P. MORGAN CHASE WILL NOT BE RESPONSIBLE FOR THE SAFETY ON THIS JOB SITE BEFORE, DURING OR AFTER INSTALLATION OF THIS STRUCTURE. IT IS THE RESPONSIBILITY OF THE CONTRACTORS AND INSTALLERS TO ENSURE THAT THE INSTALLATION AND ERECTION OF THIS STRUCTURE IS PERFORMED USING METHODS THAT ARE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
5. ANY DEVIATION FROM THIS DESIGN OR FROM ANY PART OF THIS DRAWING, INCLUDING THE GENERAL NOTES, WITHOUT PRIOR WRITTEN CONSENT FROM J.P. MORGAN CHASE VOIDS THIS DRAWING IN ITS ENTIRETY.
6. THE STRUCTURE DESIGNED ON THIS DRAWING IS PROTOTYPICAL AND SHOULD NOT BE USED FOR SITE SPECIFIC APPLICATIONS UNLESS DEEMED SUITABLE BY A COMPETENT PROFESSIONAL ENGINEER.



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TYPICAL INTERIOR ELEVATION NOT TO SCALE

Page:



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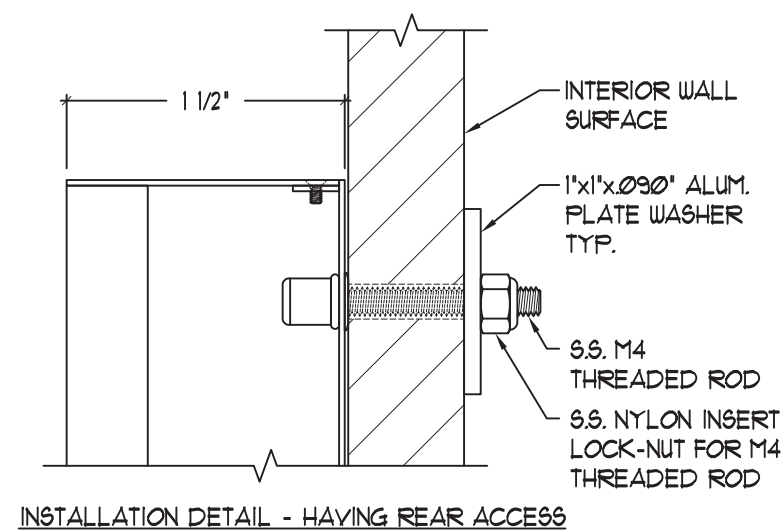
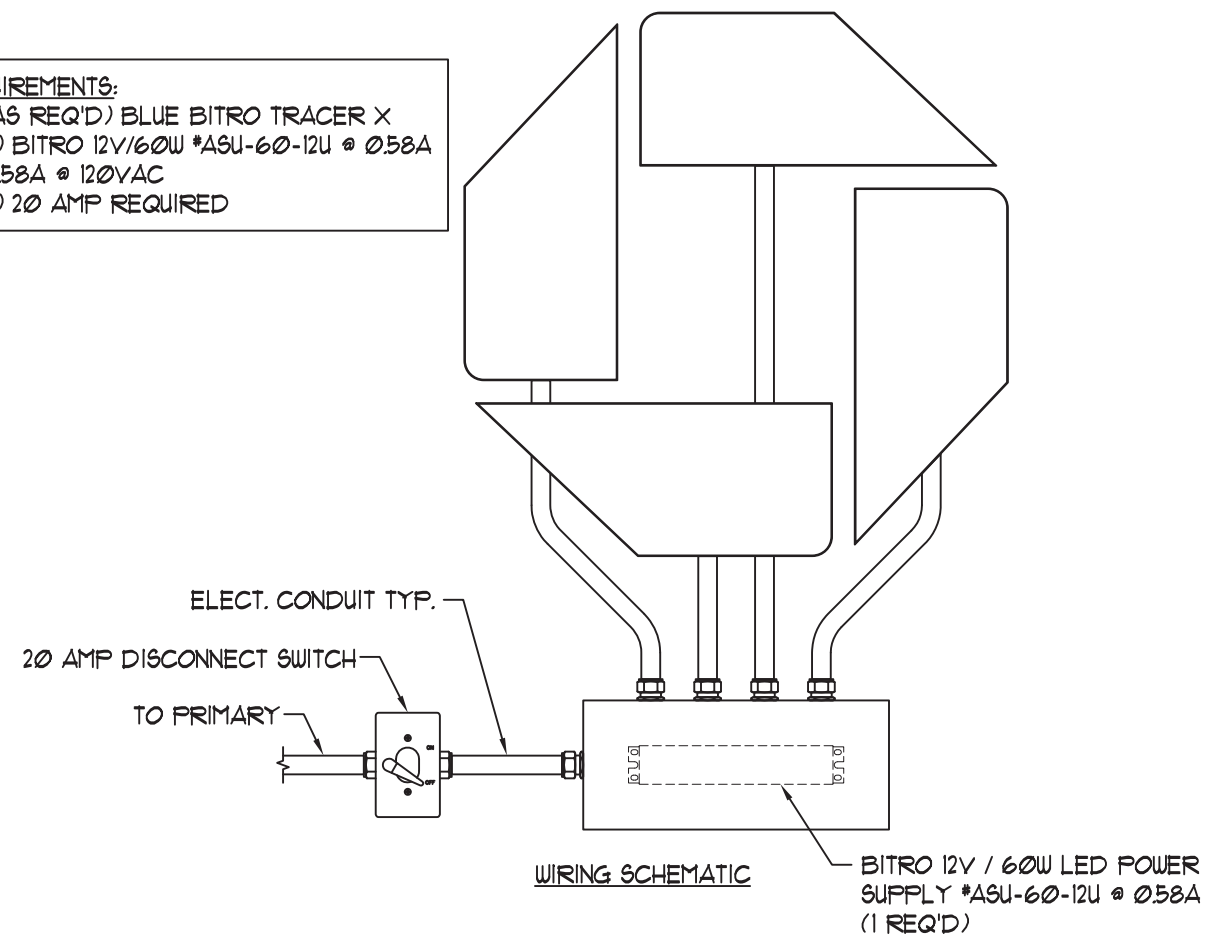
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Drawing Number: 20-01032

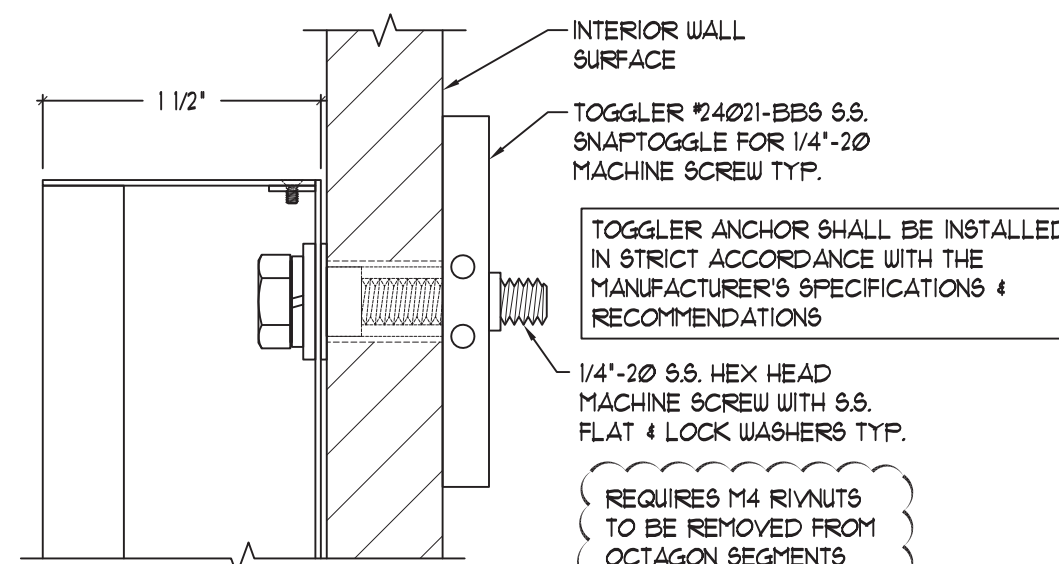
Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

ELECTRICAL REQUIREMENTS:
 LED: (AS REQ'D) BLUE BITRO TRACER X
 POWER SUPPLY: (1) BITRO 12V/60W *ASU-60-12U @ 0.58A
 TOTAL LOAD: 0.58A @ 120VAC
 CIRCUITS: (1) 20 AMP REQUIRED



INSTALLATION DETAIL - HAVING REAR ACCESS

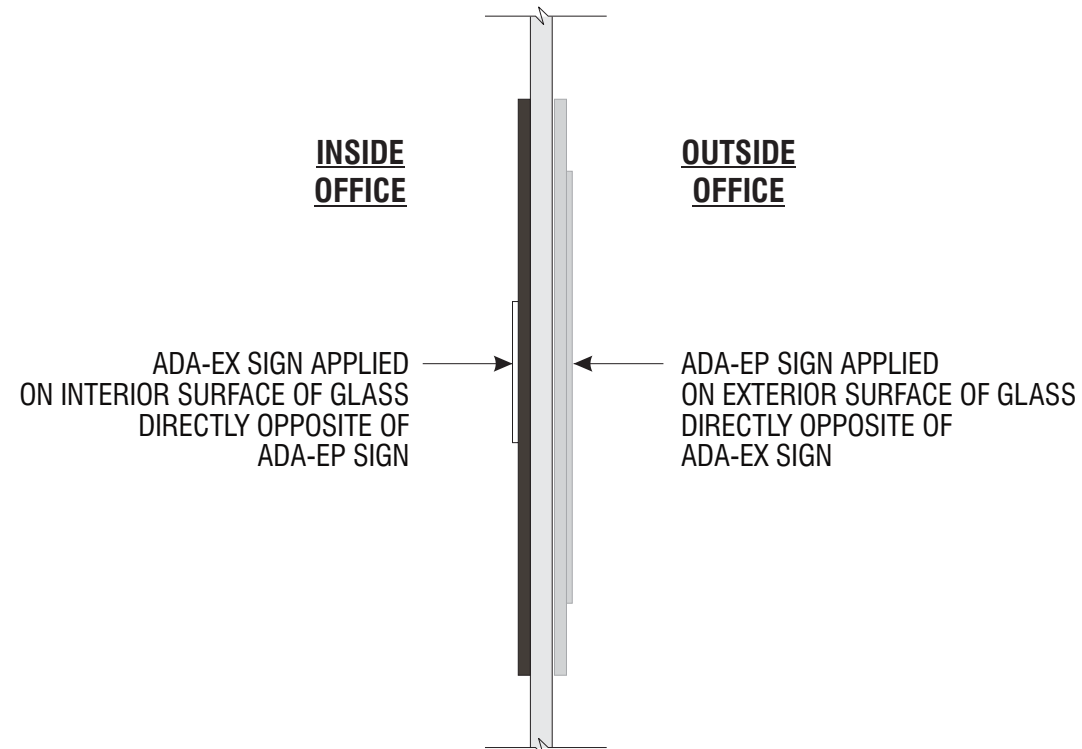
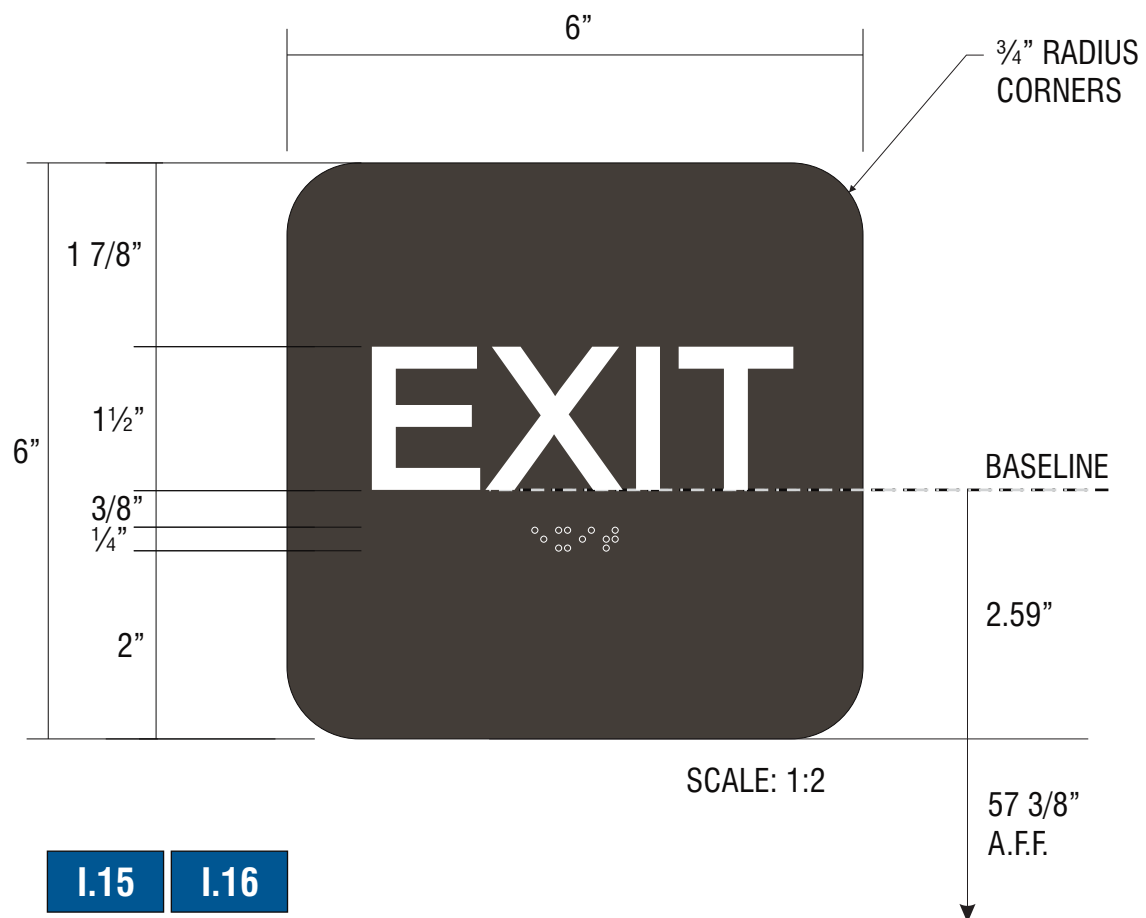


INSTALLATION DETAIL - NO REAR ACCESS

INTERIOR APPLICATION ONLY

ALL EXPOSED FASTENER HEADS SHALL BE PAINTED TO MATCH THE EXTERIOR CABINET FINISH

OCTAGON SHALL BE WIRED TO A REMOTELY MOUNTED POWER SUPPLY



I.15 I.16

SIGN TYPE ADA-EX **EXIT DOOR SIGNAGE - A13**

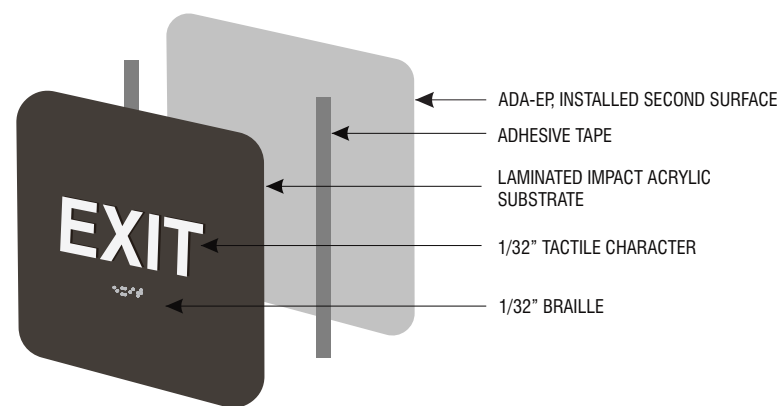
MANUFACTURE AND INSTALL TWO (2) ADA STANDARD EXIT PLAQUES

FACE: 1/8" GRAVOTAC CHARCOAL GREY, SATIN NON-GLARE FINISH.

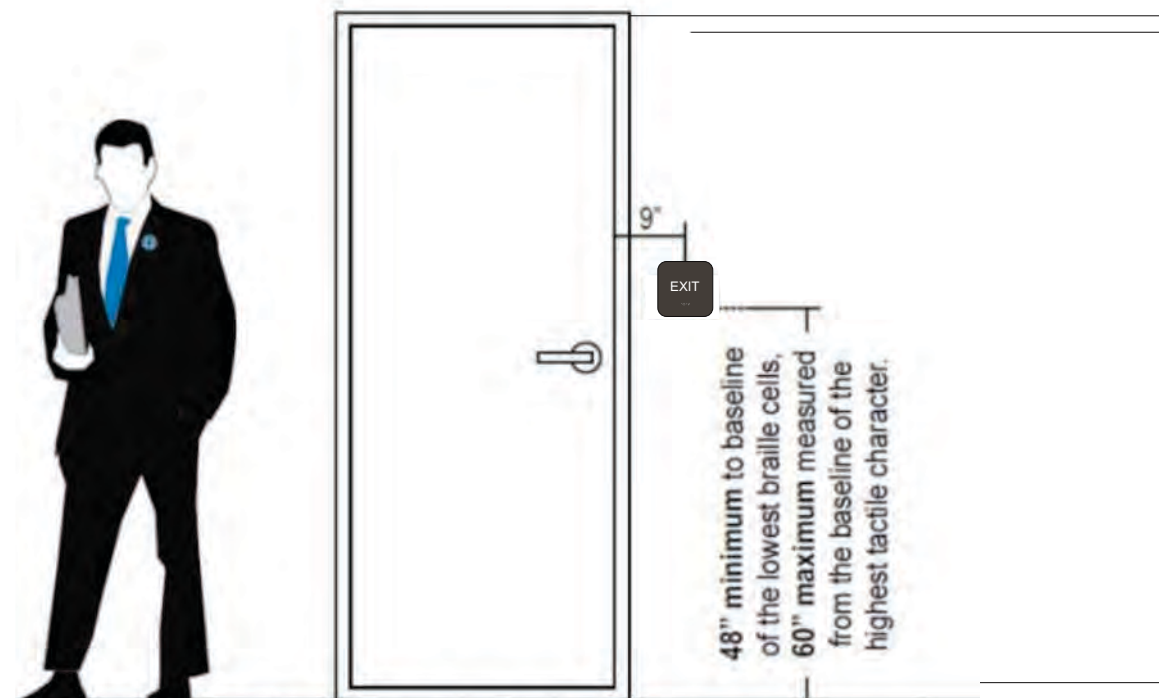
COPY: 1/32" RAISED, BRIGHT WHITE GRAVOTAC. HELVETICA REGULAR TT FONT.

BRILLE: 1/32" RAISED CLEAR BEAD, MAXIMUM 1/16" DIA.

INSTALL: MOUNT TO LATCH SIDE OF DOOR WITH VHB TAPE AND SILCONE.



TYPICAL FABRICATION DETAIL NTS



If latch is on right side of door, sign installed on right side



Signtech™

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**JP Morgan Chase Bank
#38200P367111**

Indian School Rd NE &
Louisiana Rd
6670 Indian School Rd NE
Albuquerque, NM 87110

Initial Date: 08/10/20
Salesperson: Arthur Navarro
Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location - **RESPONSIBILITY OF OTHERS!**

Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21

Page:



FRONT VIEW

SCALE: 3/8"=1"

I.18

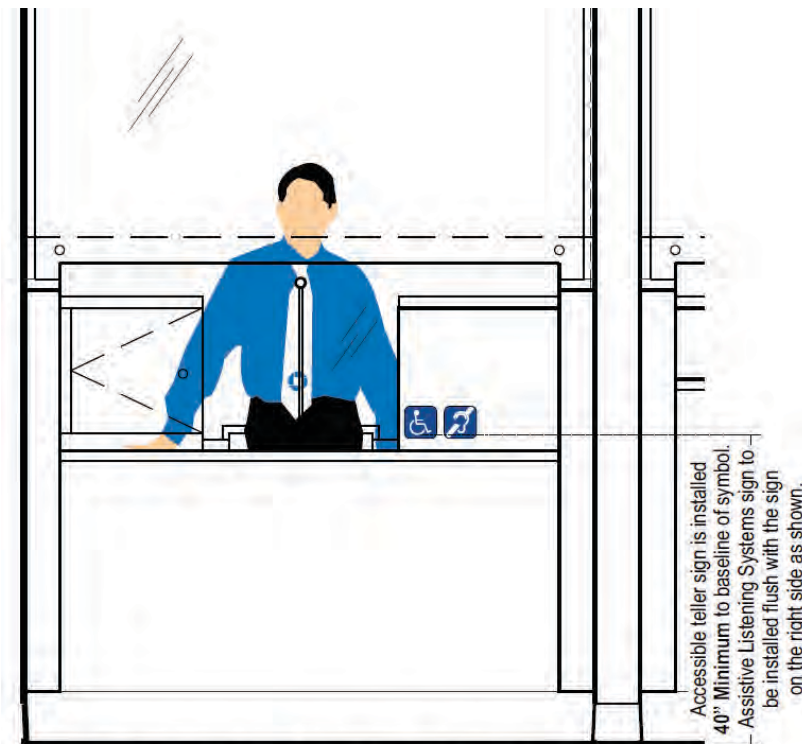
SIGN TYPE ADA-TW **ACCESSIBLE TELLER WINDOW - A14**

MANUFACTURE AND INSTALL ONE (1) ADA ACCESSIBILITY PLAQUE

FACE: 1/8" BLUE GRAVOTAC #341-501V, SATIN NON-GLARE FINISH.

ISA SYMBOL: 1/32" RAISED, BRIGHT WHITE GRAVOTAC.

INSTALL: MOUNT AT ACCESSIBLE TELLER LINE, AS SHOWN, WITH VHB TAPE AND SILCONE.



Placement at Modular Teller Stations ;
with Bullet-Resistant Glass

TYPICAL INSTALLATION - BULLET-RESISTANT GLASS

SCALE: 1/2"=1'-0"



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Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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DRC Page 31



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Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Revision: R13 - 06.08.21

Page:

DRC Page 32



I.19

SIGN TYPE ADA-TW-ALS

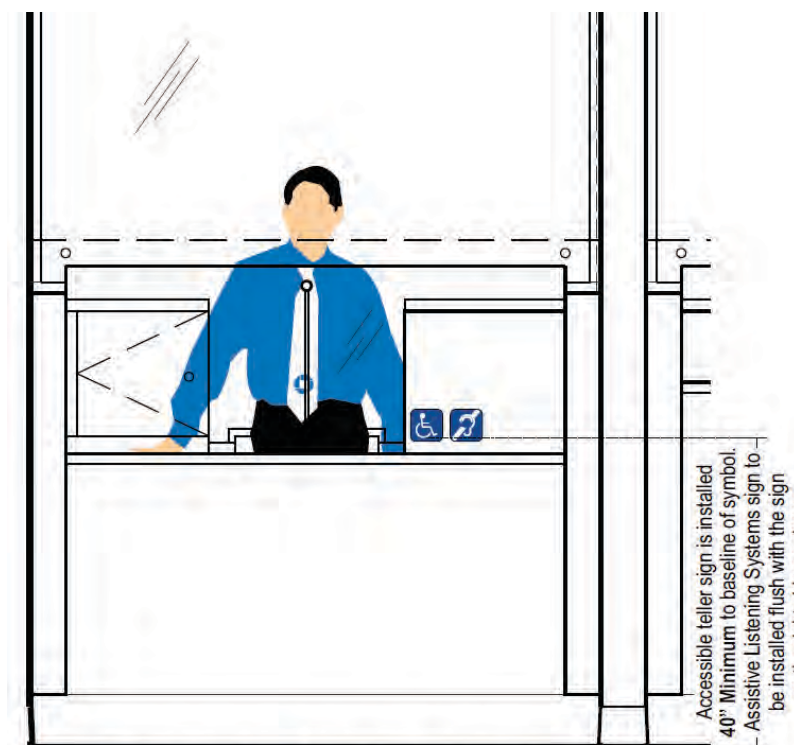
FOR ACCESSIBLE WINDOW WHERE ASSISTED LISTENING SYSTEMS INSTALLED - A19

MANUFACTURE AND INSTALL ONE (1) ADA ASSISTED LISTENING SYSTEM PLAQUE

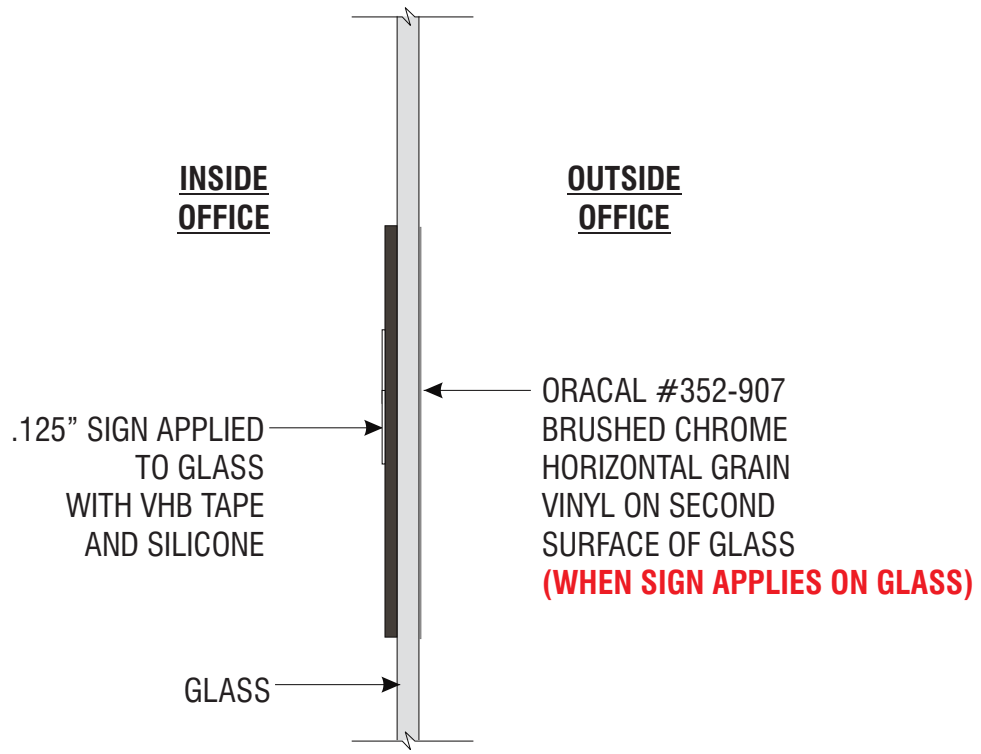
FACE: 1/8" BLUE GRAVOTAC #341-501V, SATIN NON-GLARE FINISH.

SYMBOL GRAPHICS: 1/32" RAISED, BRIGHT WHITE GRAVOTAC.

INSTALL: MOUNT AT ACCESSIBLE TELLER LINE, AS SHOWN, WITH VHB TAPE AND SILCONE.



**Placement at Modular Teller Stations
with Bullet-Resistant Glass**



1.20 **1.21**

SIGN TYPE ADA-EEX EMERGENCY EXIT **PERMANENT EMERGENCY EXIT DOOR SIGNAGE - A13E**

MANUFACTURE AND INSTALL TWO (2) DOOR IDENTIFICATION PLAQUES

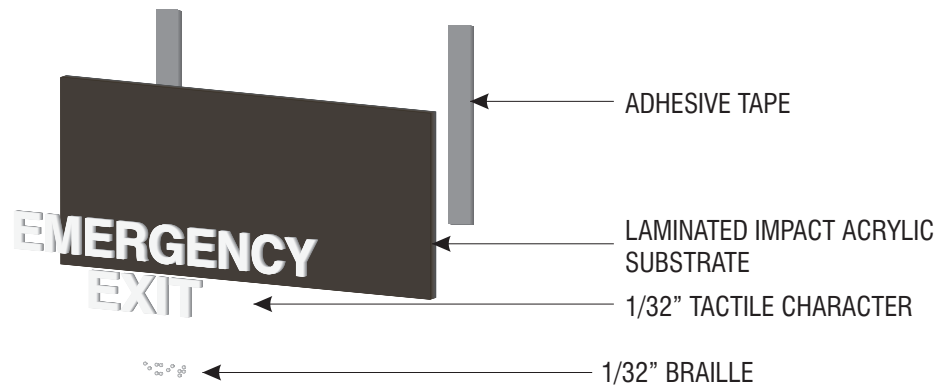
FACE: 1/8" GRAVOTAC CHARCOAL GREY, SATIN NON-GLARE FINISH.

COPY: 1/32" RAISED, BRIGHT WHITE GRAVOTAC. HELVETICA REGULAR TT FONT.

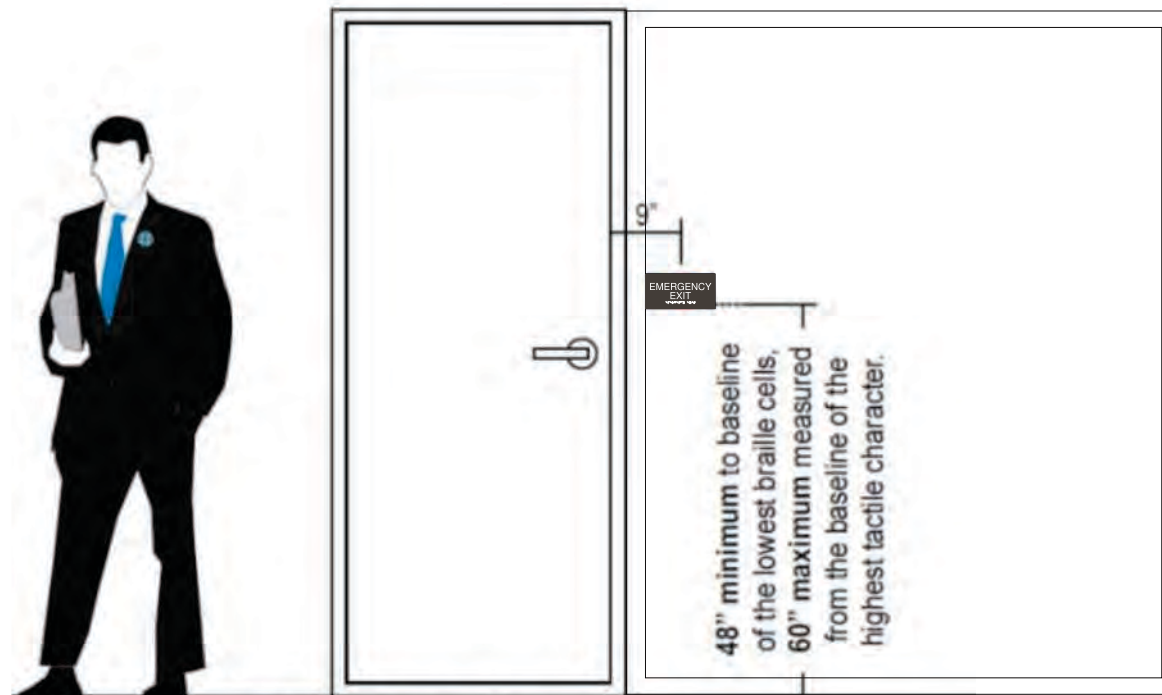
BRILLE: GRADE II STANDARD, 1/32" RAISED CLEAR BEAD, MAXIMUM 1/16" DIA.

INSTALL: MOUNT TO LATCH SIDE OF DOOR WITH VHB TAPE AND SILICONE.

WHEN SIGN APPLIES ON GLASS: APPLY LAYER OF 6" X 6" ORACAL #352-907 BRUSHED CHROME HORIZONTAL GRAIN VINYL ON SECOND SURFACE OF GLASS (CUT SHAPE TO MATCH FRONT PLAQUE)



TYPICAL FABRICATION DETAIL NTS



If latch is on right side of door, sign installed on right side



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Indian School Rd NE &
Louisiana Rd
6670 Indian School Rd NE
Albuquerque, NM 87110

Initial Date: 08/10/20
Salesperson: Arthur Navarro
Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

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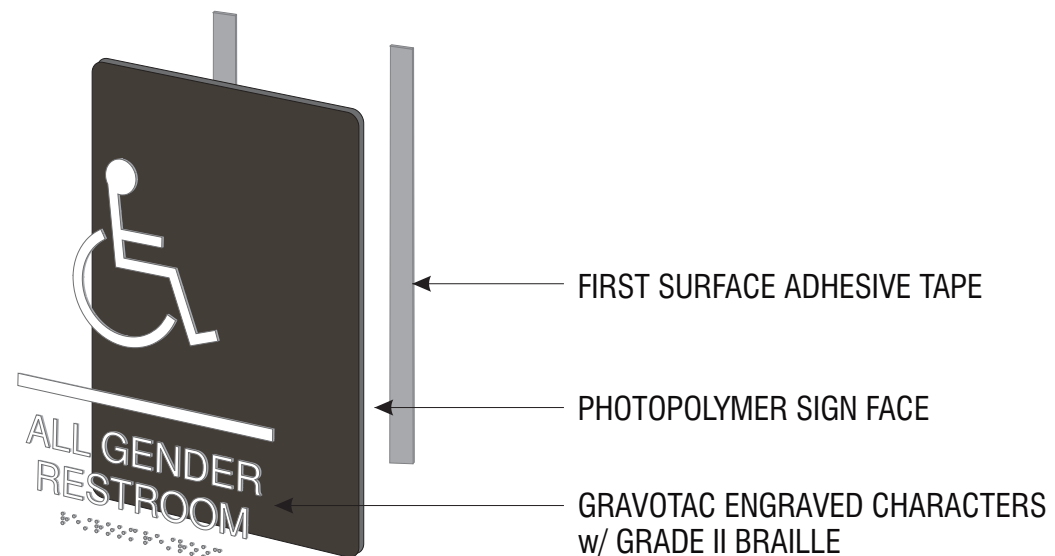
Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



FRONT VIEW SCALE 1:2



I.22 I.23

SIGN TYPE ADA-RRAG-A-G FOR ACCESSIBLE SINGLE-STALL RESTROOMS ACROSS U.S.A. (ex CA) - 109

MANUFACTURE AND INSTALL TWO (2) ADA ALL-GENDER RESTROOM SIGNS

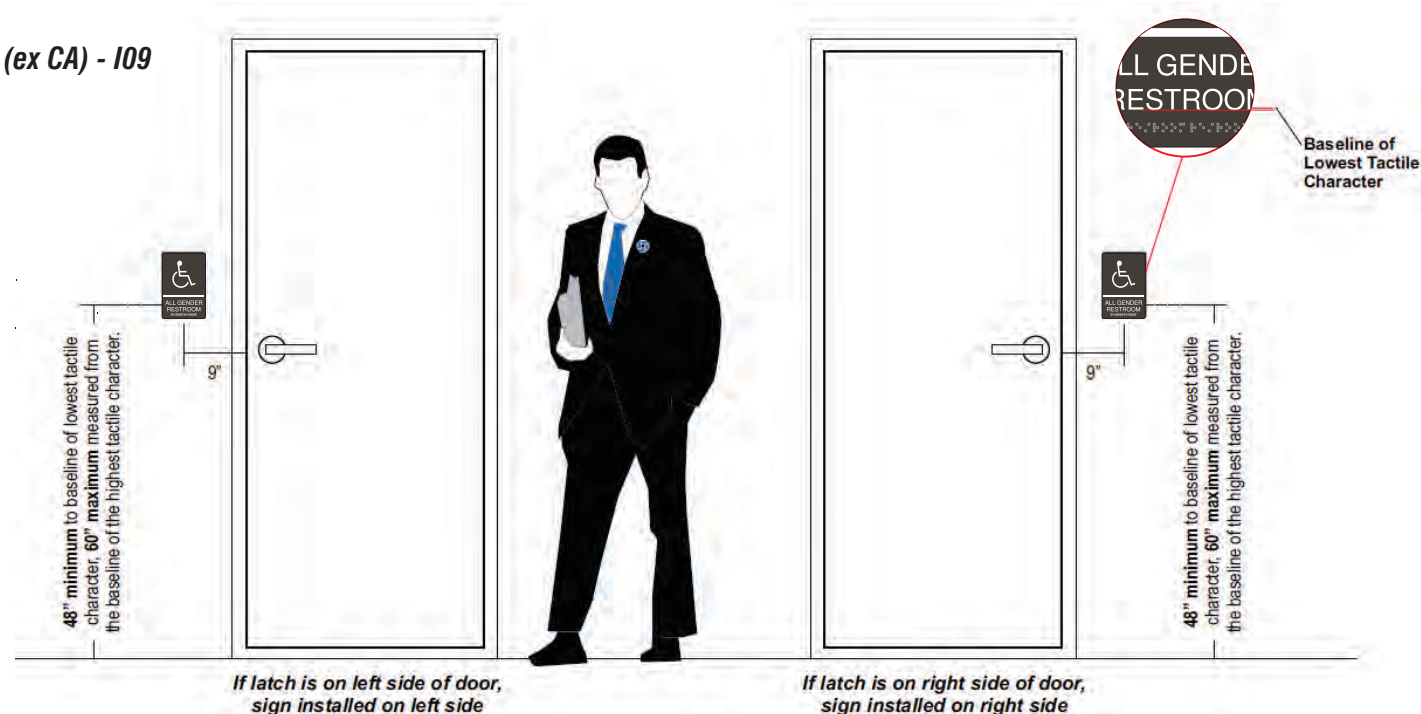
FACE: 1/16" PHOTOPOLYMER (NOVACRYL PT-060M), CUT TO SHAPE W/ PHOTO-ETCHED RAISED COPY & BRAILLE.

PAIN TO MATCH PANTONE BLACK 7C, SATIN FINISH.

COPY: 1/32" RAISED, SATIN WHITE FACES. TYPESTYLE: TT HELVETICA BOLD.

BRAILLE: GRADE II ADA STANDARD, RAISED 1/32", MAXIMUM 1/10" DOT DIA.

INSTALL: MOUNT TO LATCH SIDE OF DOOR WITH VHB TAPE AND SILCONE.



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JP Morgan Chase Bank #38200P367111

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6670 Indian School Rd NE
Albuquerque, NM 87110

Initial Date: 08/10/20
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Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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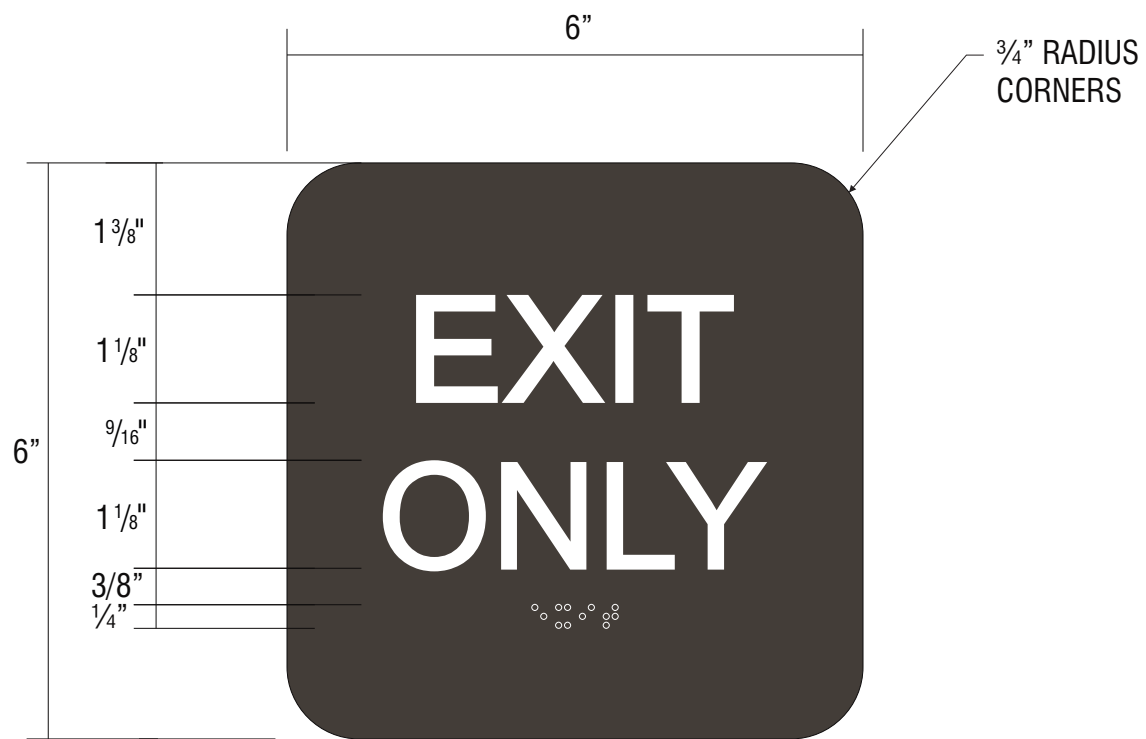
Customer Signature _____ Date _____

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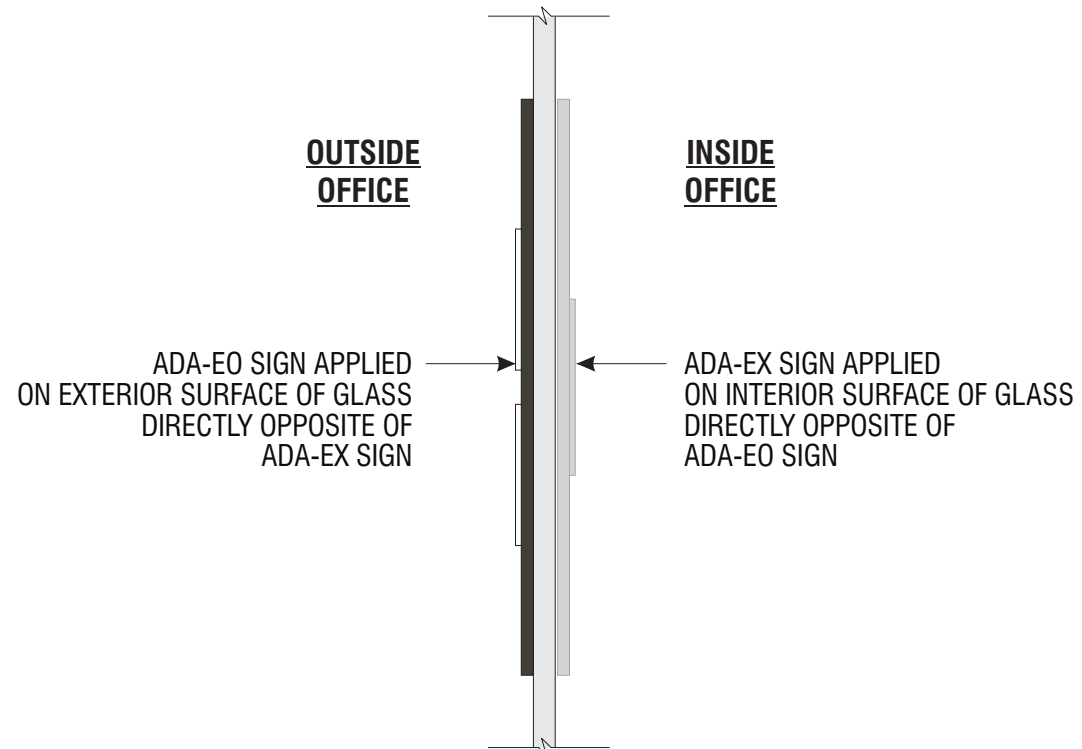
Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



SCALE: 1:2



E.24

SIGN TYPE ADA-EO EXIT ONLY DOOR SIGNAGE - A13

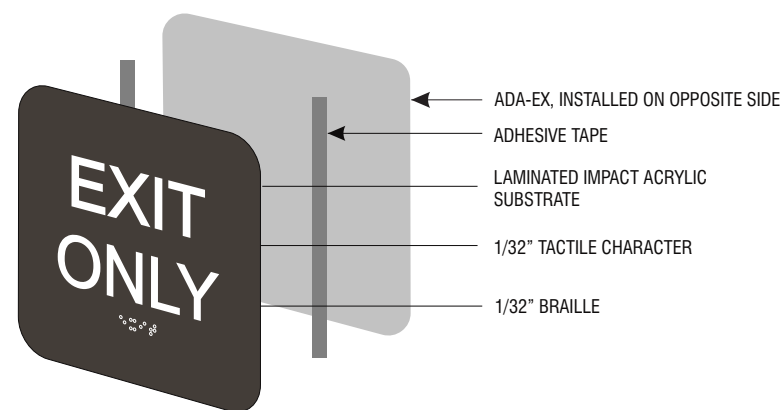
MANUFACTURE AND INSTALL ONE (1) ADA STANDARD EXIT ONLY PLAQUE

FACE: 1/8" GRAVOTAC CHARCOAL GREY, SATIN NON-GLARE FINISH.

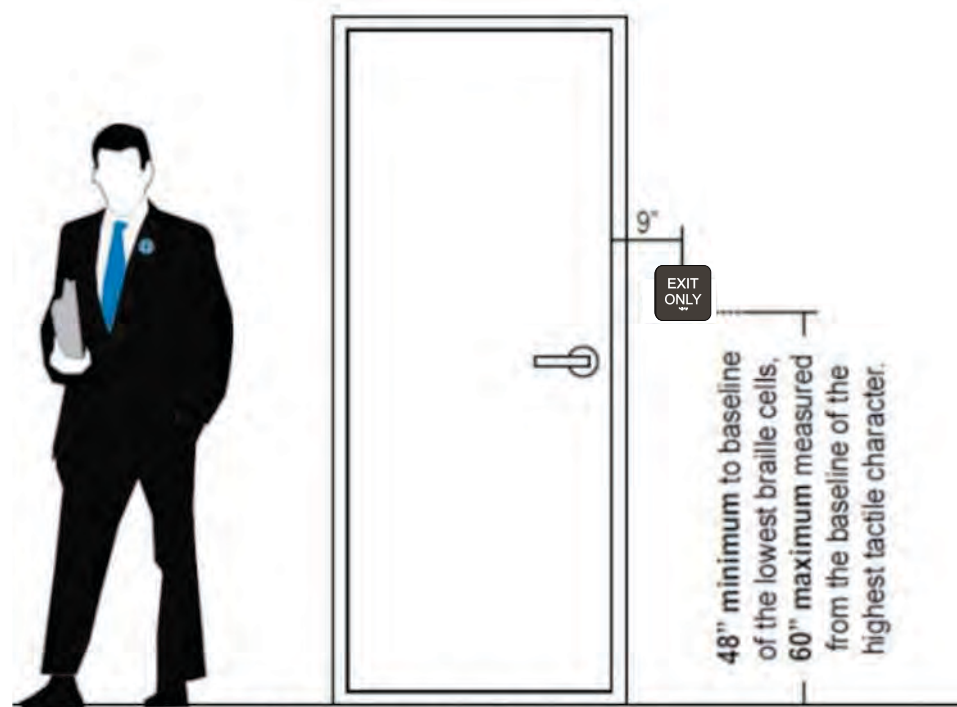
COPY: 1/32" RAISED, BRIGHT WHITE GRAVOTAC. HELVETICA REGULAR TT FONT.

BRILLE: 1/32" RAISED CLEAR BEAD, MAXIMUM 1/16" DIA.

INSTALL: MOUNT TO LATCH SIDE OF DOOR WITH VHB TAPE AND SILCONE.



TYPICAL FABRICATION DETAIL NTS



If latch is on right side of door, sign installed on right side



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CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



E.31 **E.32**

SIGN TYPE CHA-TEMP-CS-48X96-SKID

MANUFACTURE TWO (2) D/F CONSTRUCTION / TEMPORARY SITE SIGN

FACE: 4' x 8' x 1/2" MDO PLYWOOD, PRIMED AND PAINTED CHASE DARK NICKEL #MP18248 OVERLAY WITH DIGITALLY PRINTED GRAPHIC.

FRAME: 2" x 4" D.F. WOOD FRAMEWORK WITH 3/8" DEEP 9/16 DADO GROOVES FOR FOR FACE TO LOCK INTO. SEE DRAWING ON FOLLOWING PAGES FOR WHICH PARTS. PAINT CHASE DARK NICKEL #MP18248

FRAME ATTACHMENT: USE 3/8" DIA. S.S. MACHINE BOLT FOR BASE ATTACHMENT USE LAG SCREWS TO ATTACH FRAMING TOGETHER.

SAND BAGS: (4) ±40LB SAND BAGS AT EACH BASE CORNER AS SHOWN SIGN INSTALLER TO SUPPLY SAND BAGS.

ARTWORK PATH: P:\Design\2k20\C\Chase\Typicals\COMING SOON - WE'RE OPEN Construction Sign\~Coming Soon FULL PRINT 4x8-4C New Market_02.06.20



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Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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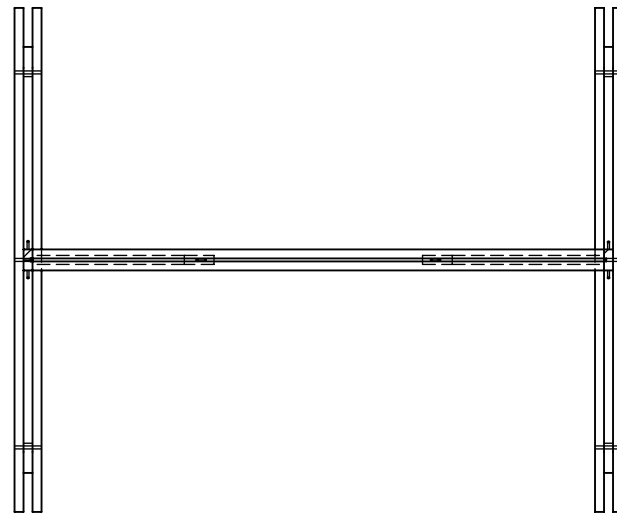
Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

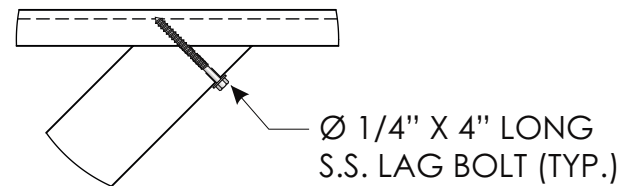
Revision: R13 - 06.08.21

ITEM NO.	QTY.	DESCRIPTION	LENGTH
1	4	2x4	84
2	2	2x4	84
3	2	2x4	95.25
4	2	2x4 R	42.78
5	4	2x4 R	47.73

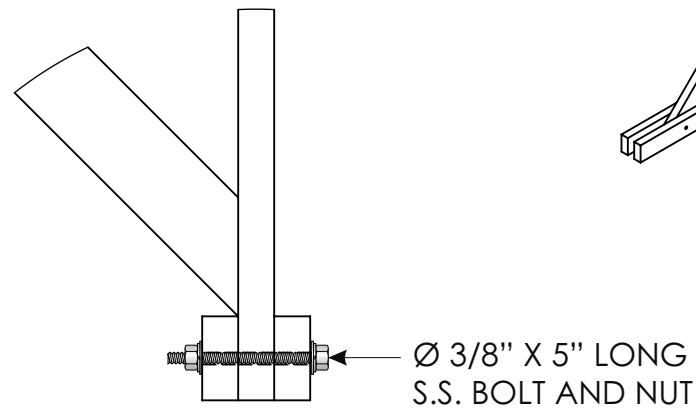
SIGN TYPE COMING SOON TEMP SIGN



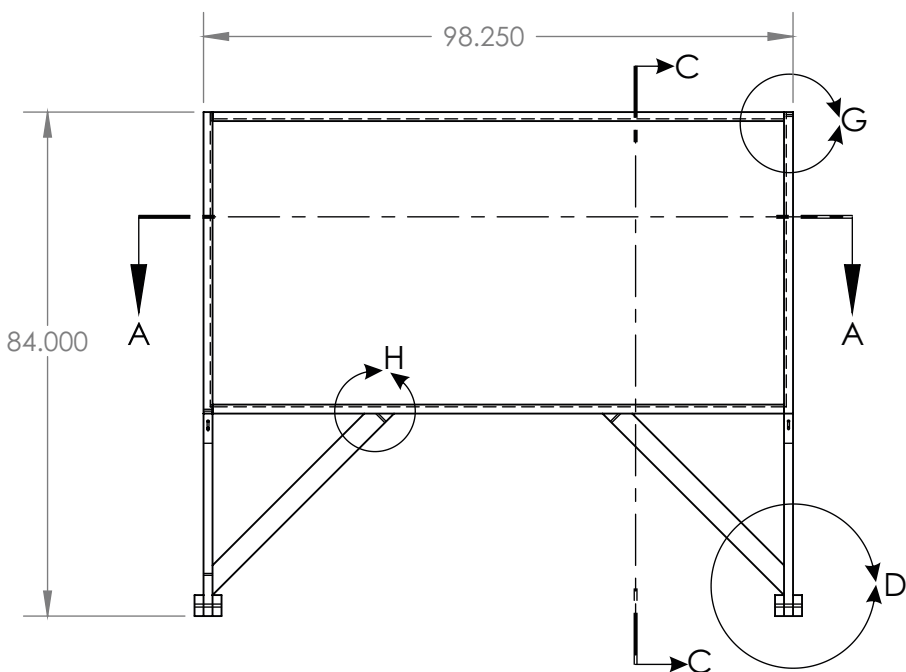
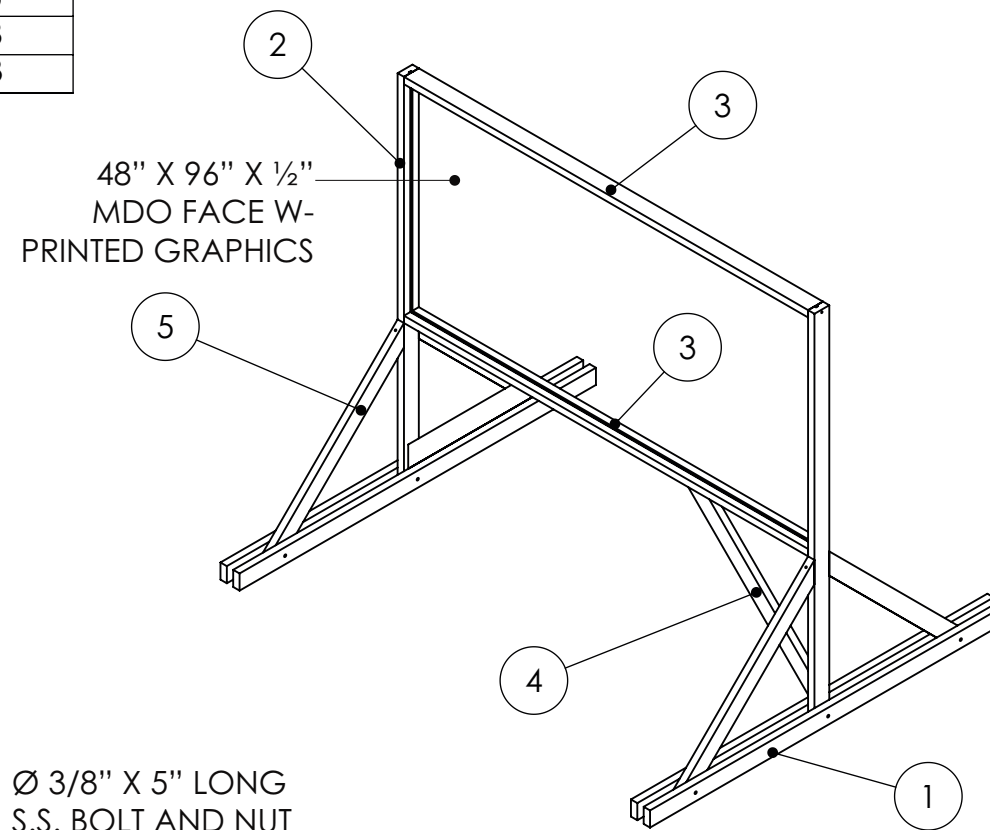
SECTION A-A



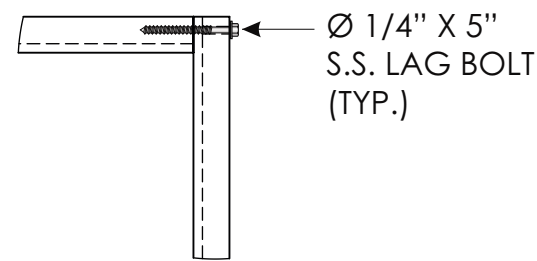
DETAIL H
SCALE 1 : 8



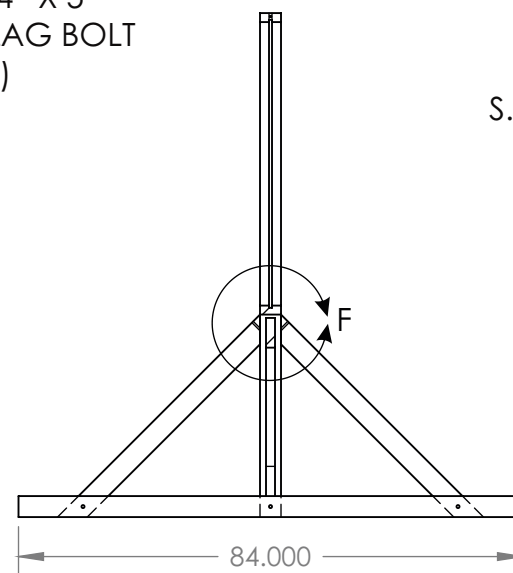
DETAIL D
SCALE 1 : 8



SECTION C-C



DETAIL G
SCALE 1 : 8



DETAIL F
SCALE 1 : 8



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Initial Date: 08/10/20
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Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location -
RESPONSIBILITY OF OTHERS!

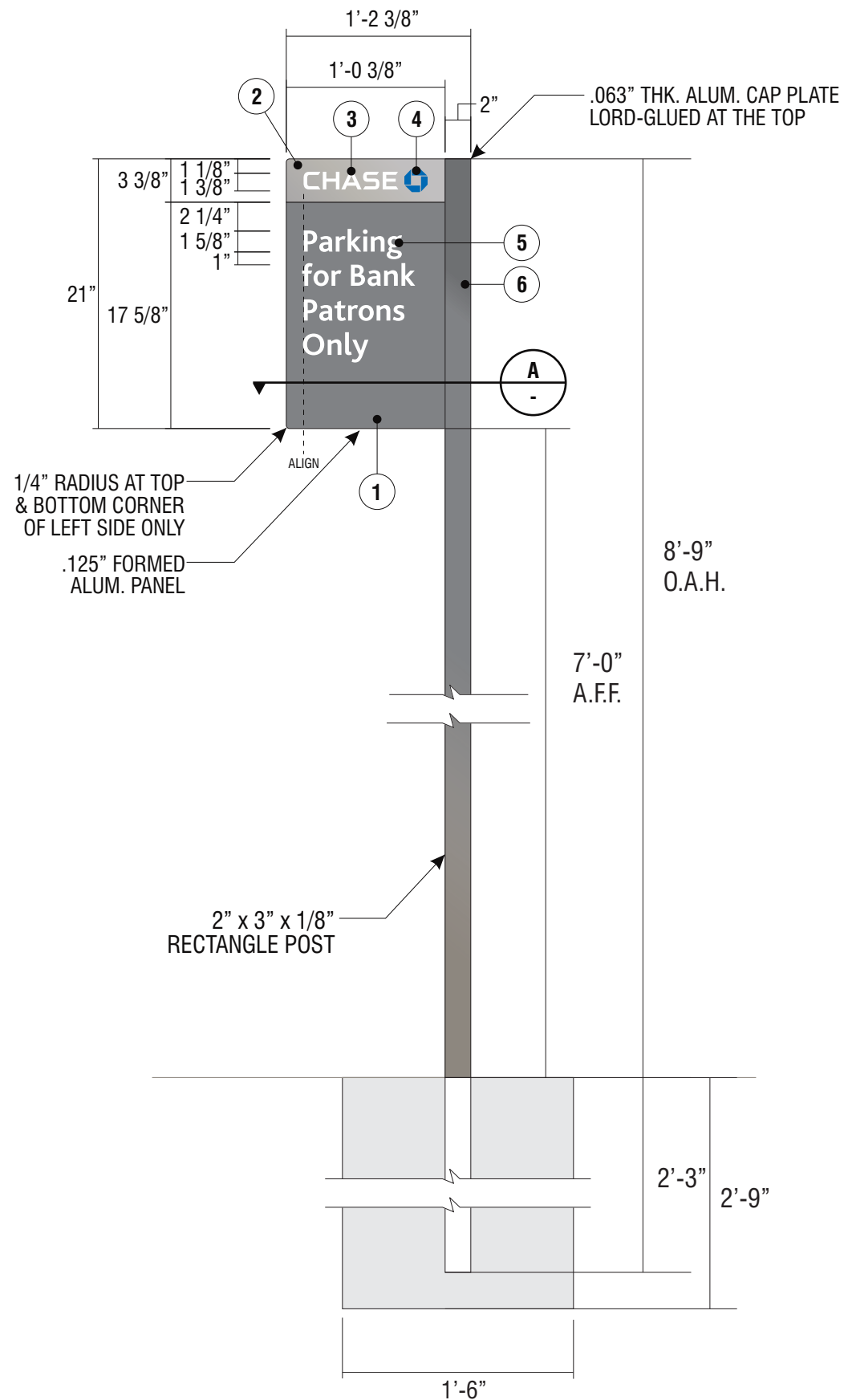
Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



FRONT VIEW
SCALE: 1" = 1'-0"

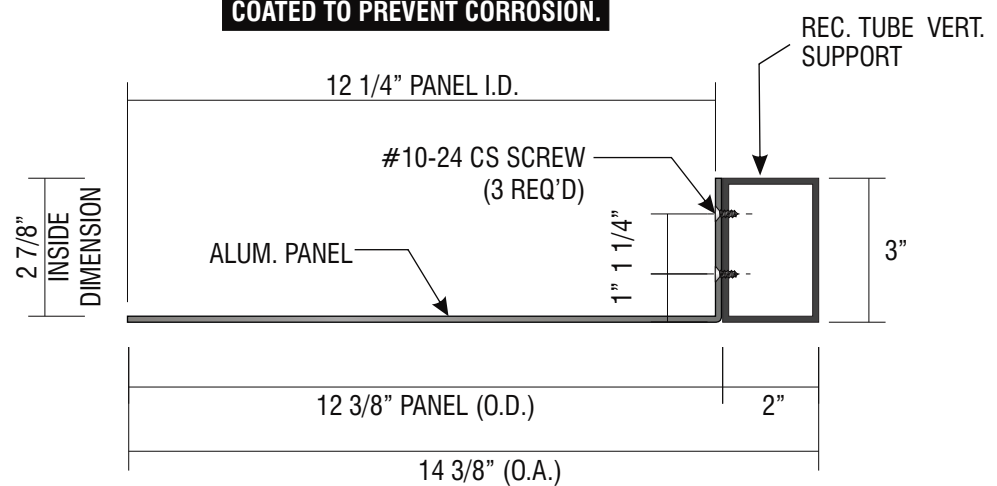
E.33 E.34 E.35 E.36 E.37 E.38

SIGN TYPE TC-P-A-RE

MANUFACTURE AND INSTALL SIX (6) NON-ILLUMINATED PARKING SIGNS

1. .125" BREAK-FORMED ALUMINUM SIGN FACE. PAINT FINISH ALL EXPOSED SURFACES DARK NICKEL MATTHEWS MP #18248, GLOSS FINISH. FORM AS SHOWN.
2. TOP BAND - FIRST SURFACE APPLIED - 3M #180C-220 LIGHT SILVER METALLIC VINYL.
3. "CHASE" - 3M FILM #7725-10 WHITE VINYL.
4. OCTAGON - 3M FILM #3632-127 CHASE BLUE VINYL.
5. SUPPORT COPY TO BE 3M SCOTCHLITE #680-10 REFLECTIVE WHITE.
6. 2" X 3" X 1/8" X 132" LONG RECTANGLE ALUM. POST W/ .063" THICK ALUM. CAP PLATE @ TOP.

ALL FASTENERS SHALL BE STAINLESS STEEL OR OTHERWISE COATED TO PREVENT CORROSION.



A HORIZONTAL SECTION
SCALE: 3" = 1'-0"



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COPY, COLORS & SIZES

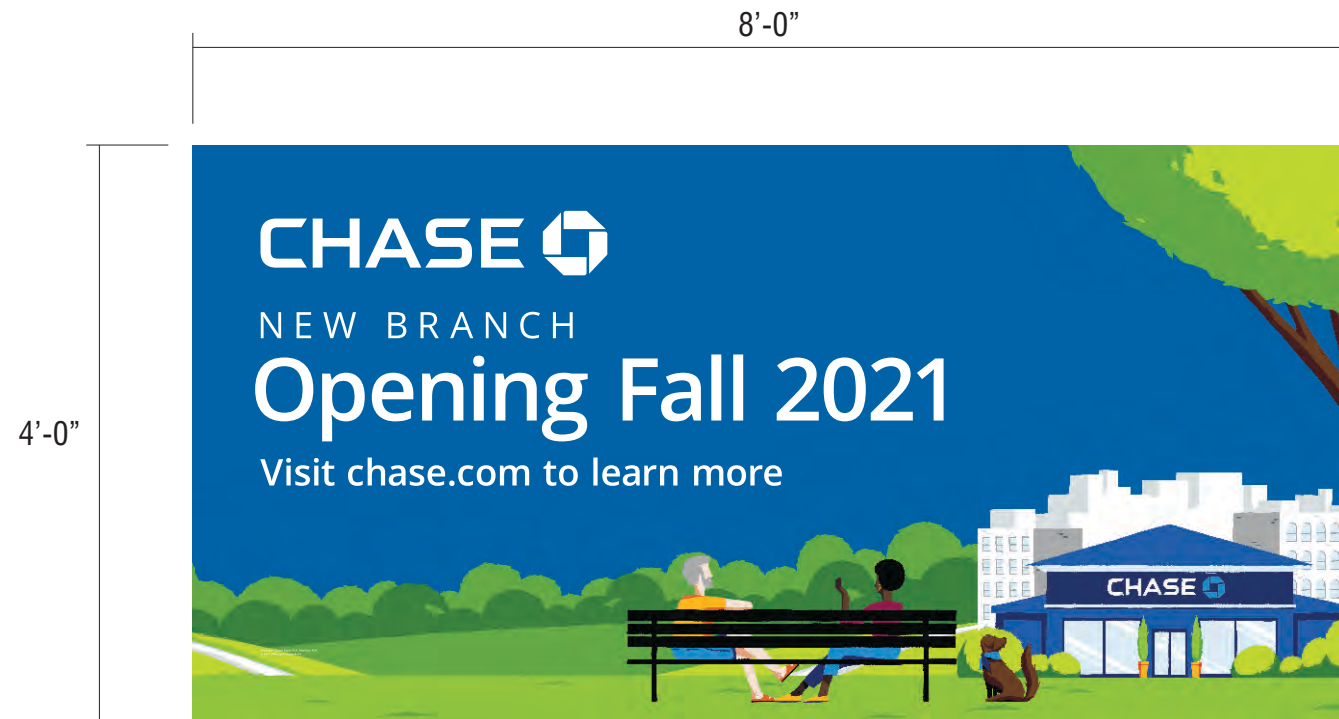
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Customer Signature _____ Date _____
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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



SCALE: 3/4" = 1'-0"



E.39 E.40 E.41 E.42

SIGN TYPE CHA-TEMP-CS-RF-DP-48X96-FALL

SEASON

MANUFACTURE AND SHIP FOUR (4) REPLACEMENT DIGITALLY PRINTED VINYL FACES FOR EXISTING D/F CONSTRUCTION / TEMPORARY SITE SIGN
GRAPHICS: DIGITALLY PRINTED GRAPHIC ON VINYL APPLIED FIRST SURFACE.

ARTWORK PATH: P:\Design\2k21\C\Chase Bank\~Typicals\COMING SOON - WE'RE OPEN Construction Sign\~2021 BANNER ARTWORK - Coming Soon-Fall-Spring-Summer-Winter\Opening Fall 2021_8x4.pdf



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COPY, COLORS & SIZES

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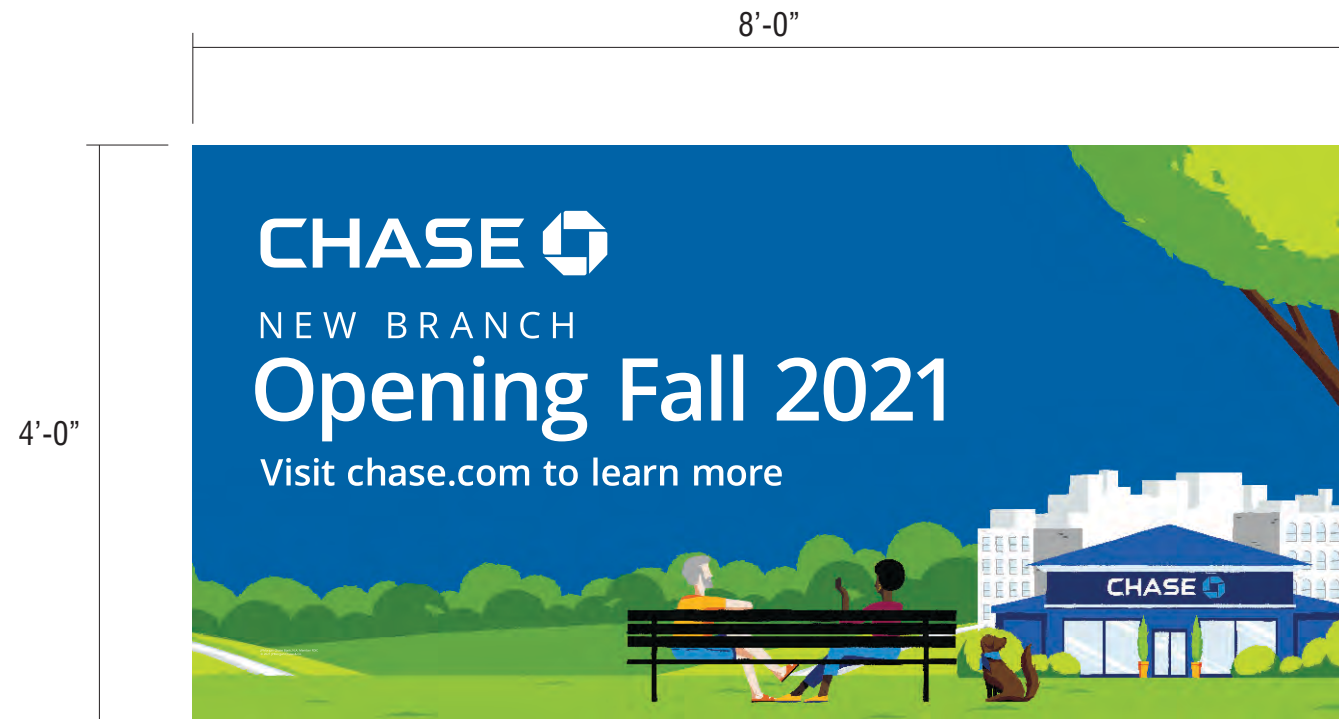
Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R13 - 06.08.21



SCALE: 3/4" = 1'-0"

E.43 | E.44

SIGN TYPE CHA-TEMP-CS-48x96-BANNER-FALL SEASON

MANUFACTURE AND INSTALL TWO (2) TEMPORARY CONSTRUCTION BANNERS

BACKGROUND: 13 OZ. STANDARD WHITE BANNER MATERIAL w/ FULL-COLOR DIGITALLY PRINTED GRAPHICS, FIRST-SURFACE.

ATTACHMENT: TO WALL/FENCE SURFACE THROUGH BRASS GROMMETS WITH #10 SCREWS & ANCHORS, IF REQ'D..

ARTWORK PATH: P:\Design\2k21\C\Chase Bank\~Typicals\COMING SOON - WE'RE OPEN Construction Sign\~2021 BANNER ARTWORK - Coming Soon-Fall-Spring-Summer-Winter\Opening Fall 2021_8x4.pdf



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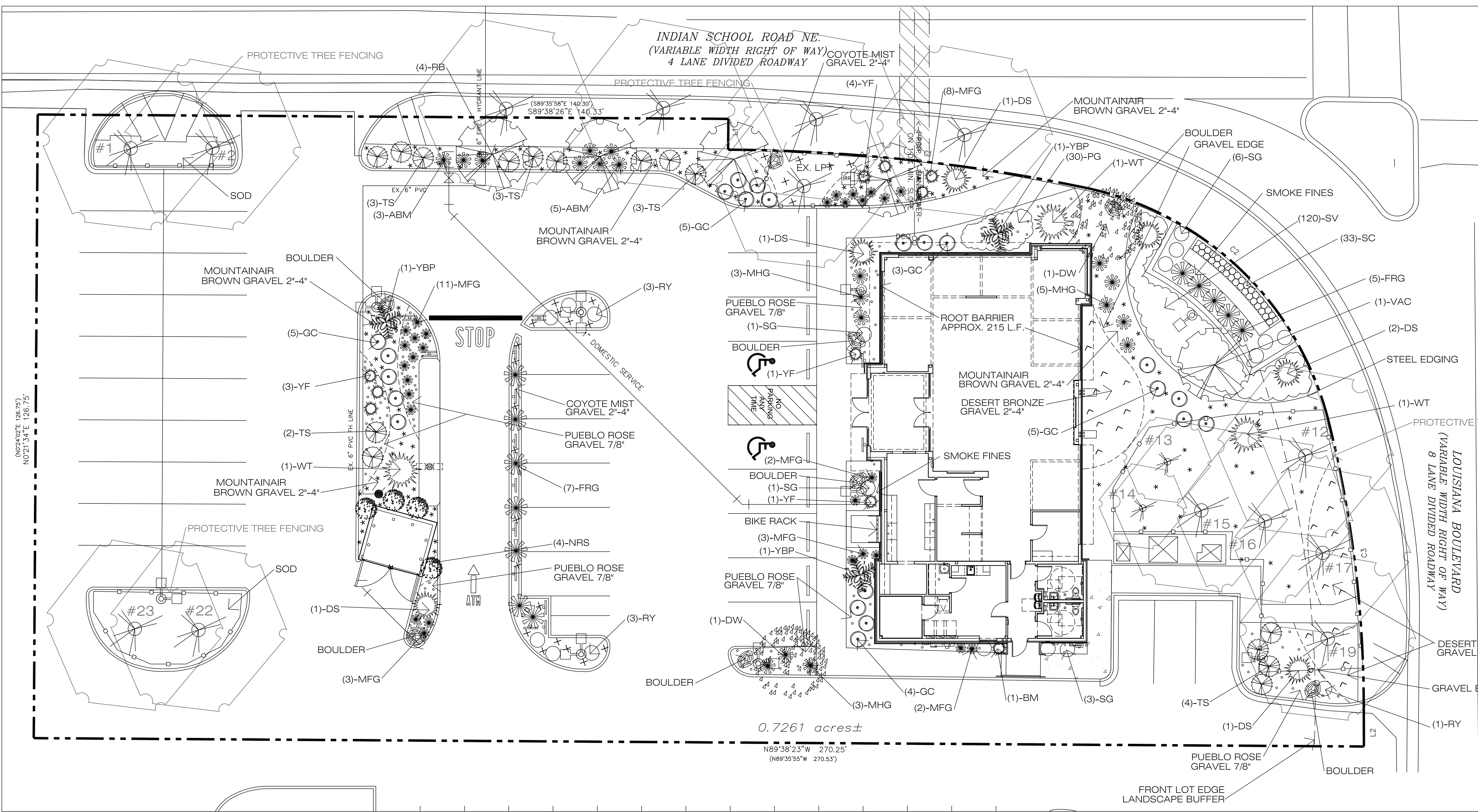
Customer Signature _____ Date _____

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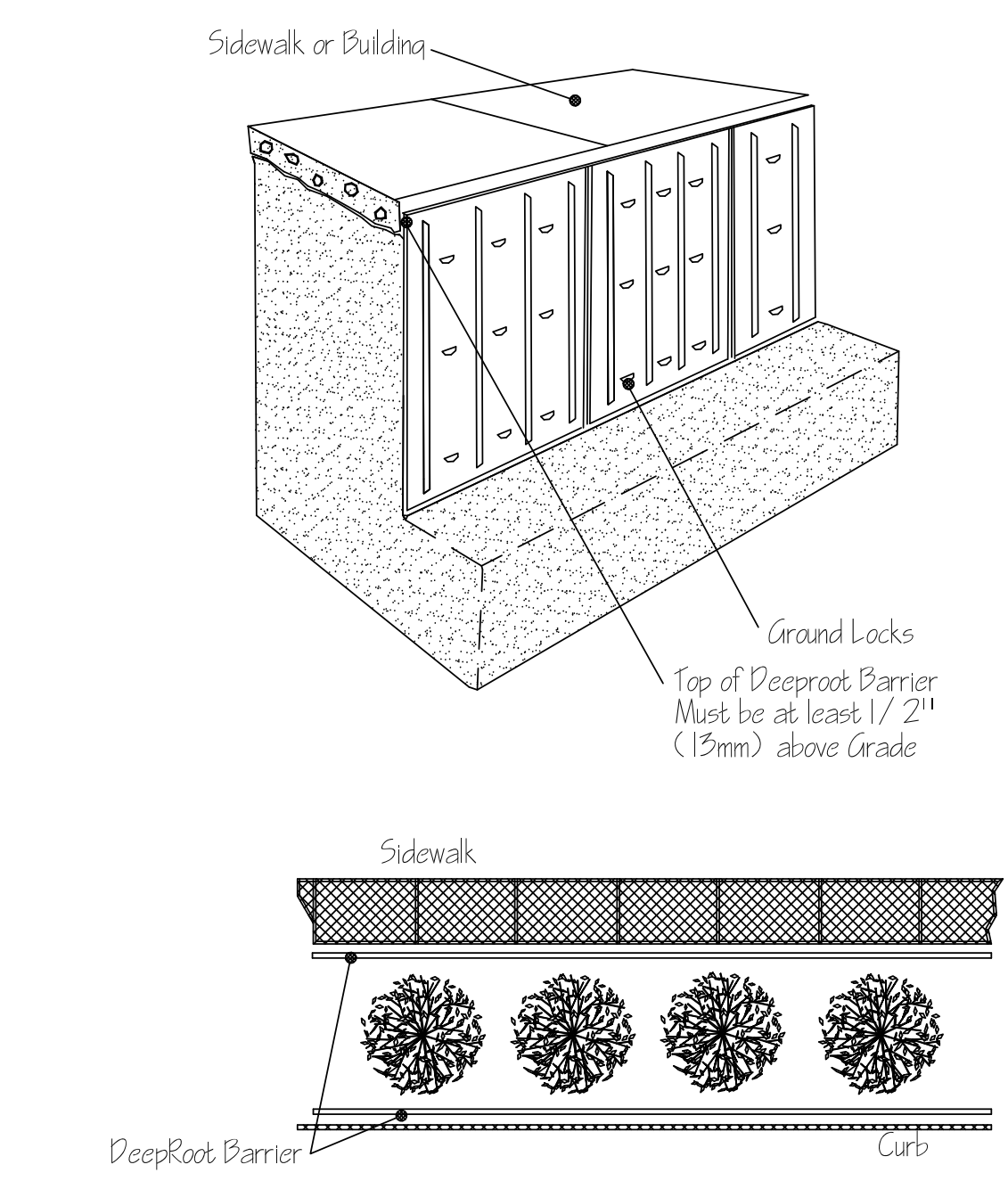
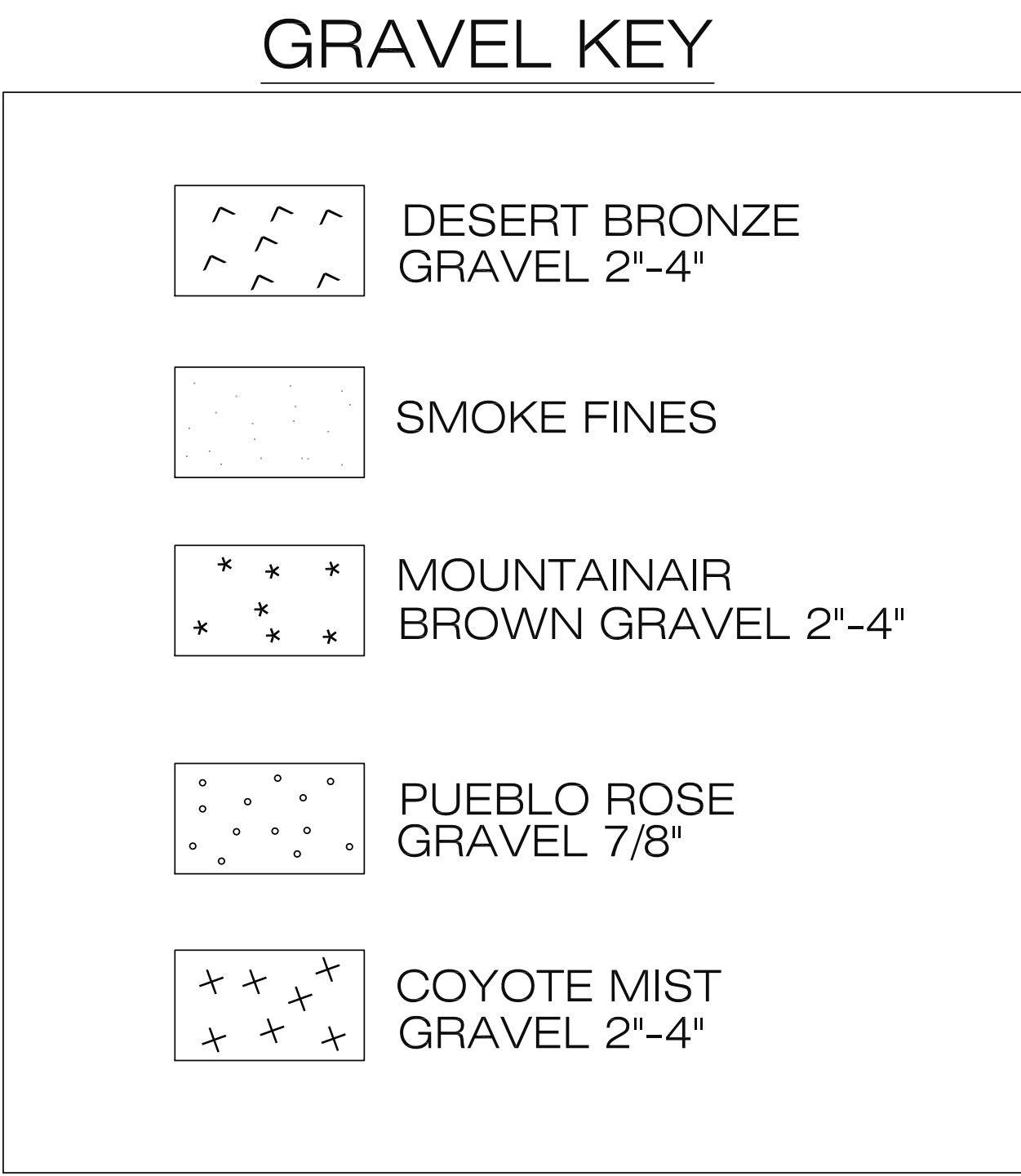
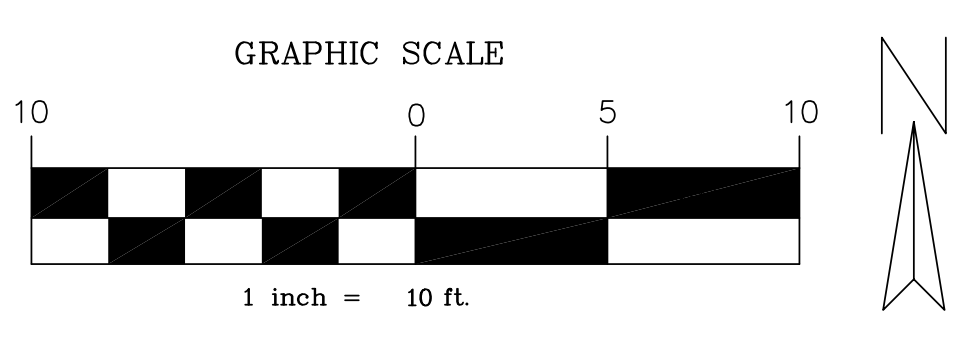


PLANT MATERIAL LIST

KEY	QUANTITY	ORNAMENTAL TREES DESCRIPTION	SIZE	
DW	2	CHILOPSIS LINEARIS 'BUBBA'	30 GAL., 8' HT., 3' SPREAD	25
RB	4	DESERT WILLOW	30 GAL., 8' HT., 3' SPREAD	12
VAC	1	CERCIS CANADENSIS 'OKLAHOMA' REDBUD	30 GAL., 8' HT., 3' SPREAD	20
		VITEX AGNUS-CASTUS 'SHOAL CREEK'	30 GAL., 8' HT., 3' SPREAD	
		SHOAL CREEK VITEX		
KEY	QUANTITY	SHRUBS DESCRIPTION	SIZE	
DS	6	DASYLIRION TEXANUM	5 GAL., MIN. 15" HT.	4
		GREEN DESERT SPOON		
BM	1	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	5 GAL., MIN. 15" HT.	9
GC	22	COTONEASTER BLUXIFOLIUS	5 GAL., MIN. 15" HT.	9
		GRAY COTONEASTER		
NRS	4	ILEX X 'NELLIE R. STEVENS'	30 GAL., 5' HT., 3' SPREAD	10
		NELLIE R. STEVENS HOLLY		
TS	15	LEUCOPHYLLUM LANGMANIAE	5 GAL., MIN. 15" HT.	4
		TEXAS SAGE 'LYNN'S LEGACY'		
RY	6	HESPERALOE PARVIFOLIA	3 GAL., MIN. 10" HT.	3
SC	33	SCUTELLARIA SUFFRUTESCENS	5 GAL., MIN. 15" HT.	3
		PINK SKULLCAP		
SG	11	SALVIA X 'ULTRA VIOLET'	5 GAL., MIN. 15" HT.	3
		ULTRA VIOLET SAGE		
YBP	3	CAESALPINIA GILLIESII	10 GAL., MIN. 36" HT.	10
		YELLOW BIRD OF PARADISE		
WT	2	AGAVE OVATIFOLIA	10 GAL., MIN. 36" HT.	4
		WHALE'S TONGUE		
YF	8	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GAL., MIN. 8" HT.	2
		COLOR GUARD YUCCA		
KEY	QUANTITY	GROUND COVER DESCRIPTION	SIZE	
SV	120	VERBENA RIGIDA	1 GAL., FULL PLANT	2
		SANDPAPER VERBENA	30" O.C.	
PG	30	TEUCRIUM CHAMAEDRY'S 'PROSTRATUM'	1 GAL., FULL PLANT	36" O.C.
		PROSTRATE GERMANDER		
KEY	QUANTITY	ORNAMENTAL GRASSES DESCRIPTION	SIZE	
ABM	8	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	3 GAL., FULL PLANT	3
		AUTUMN BLUSH MUHLY		
FRG	12	CALAMAGROSTIS ARUNDINACEA 'KARL FOESTER'	3 GAL., FULL PLANT	2
		FEATHER REED GRASS		
MHG	11	MISCANTHUS SINENSIS 'ADAGIO'	3 GAL., FULL PLANT	5
		ADAGIO GRASS		
MFG	29	NASSELLA TENUISSIMA	1 GAL., FULL PLANT	16" O.C.
		MEXICAN FEATHER GRASS		

01 LANDSCAPE PLAN

SCALE: 1" = 10'-0"



A ROOT BARRIER DETAIL
 SCALE: NTS

SHEET NOTES:

LANDSCAPE CONTRACTOR TO PROVIDE A COST FOR TREE PRUNING FOR EXISTING TREES TO REMAIN AS AN ALTERNATE TO THE BID.

REMOVE ALL EXISTING PLANTS AROUND MONUMENT SIGN.

THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 19, 2020

Paul Cragun, P.E.
Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, TX 75050

**RE: Chase Bank – Indian School Rd.
6670 Indian School Rd. NE
Grading and Drainage Plans
Engineer’s Stamp Date: 11/09/20
Hydrology File: J18D001C**

Dear Mr. Cragun:

Based upon the information provided in your submittal received 11/09/2020, the Grading and Drainage Plans are approved for Building Permit and action by the DRB on Site Plan for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner’s certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

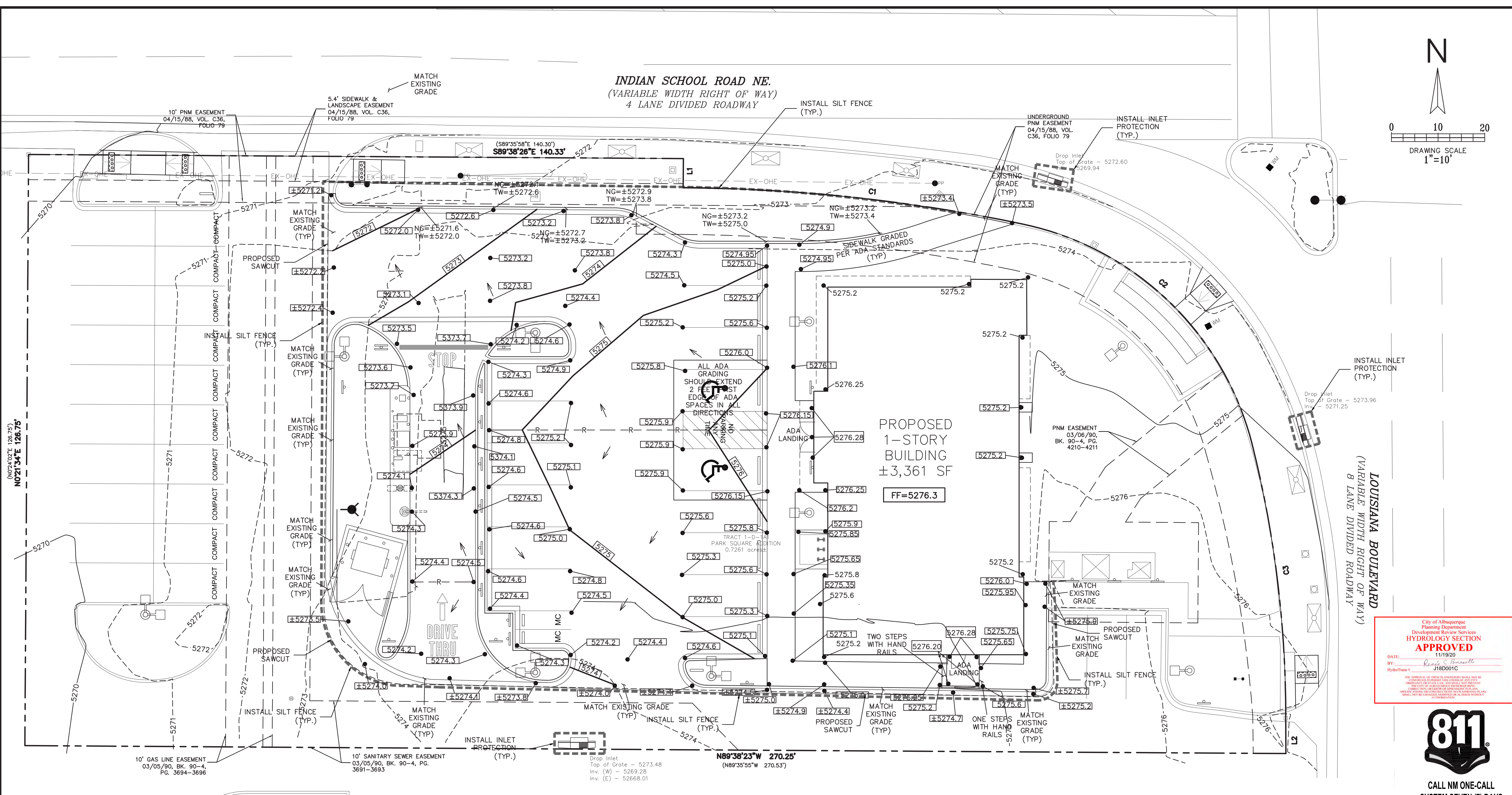
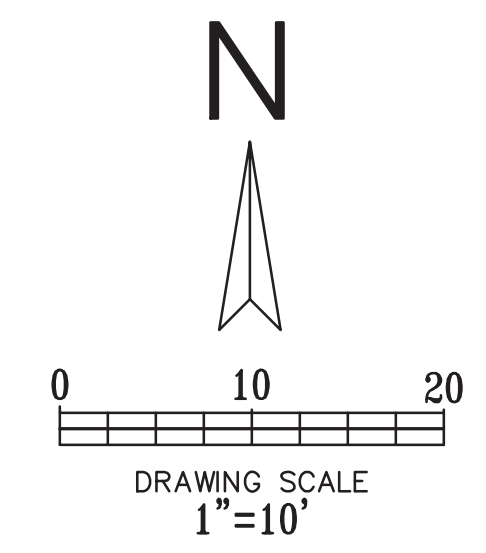
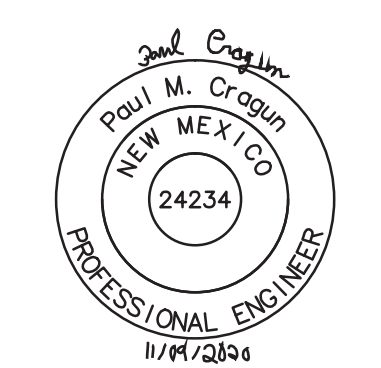
www.cabq.gov

The Payment in Lieu payment of **\$2,028.80** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form. Once the Owner paid the fee, please provide Hydrology with a copy of the receipt.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
APPROVED
 DATE: 11/19/20
 BY: *Renee A. Gonzalez*
 HydroTime # J18D001C



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

- GRADING NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS, CITY STANDARDS, SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL RESPONSIBLE PARTIES OF THE PERMITTING AUTHORITIES.
 - BARRICADING, TRAFFIC CONTROL, AND PROJECT SIGNS SHALL CONFORM TO NEW MEXICO DEPARTMENT OF TRANSPORTATION RULES AND SPECIFICATIONS.
 - THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL AND SOLE RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES IS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. IF CONFLICTS EXIST, THE CONTRACTOR IS TO CONTACT ENGINEER.
 - BENCHMARKS HAVE BEEN PROVIDED AS A REFERENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND/OR ESTABLISH A BENCHMARKS PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SURVEY STAKES AND MARKERS FOR THE DURATION OF THE PROJECT. IF ANY CONSTRUCTION STAKES OR MARKERS ARE LOST OR DISTURBED AND ARE NEEDED TO BE REPLACED, SUCH REPLACEMENT SHALL BE BY THE SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

- EROSION CONTROLS SHALL BE IN PLACE PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, NEW MEXICO STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
- ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS PER THE GEOTECHNICAL REPORT.
- DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
- ALL SIDEWALKS AND ACCESSIBLE ROUTE (INCLUDING HATCHED AREA ACROSS DRIVES) SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A MAXIMUM 5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- PROVIDE "FLAT" LANDINGS AT TOP AND BOTTOM OF ALL RAMPS. THESE "FLAT" AREAS SHALL BE 5' LONG AND THE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND PARKING AT ALL TIMES.
- SITE GRADING SHALL BE PERFORMED IN A MANNER TO DIRECT WATER AS INDICATED. SURFACE WATER SHALL NOT BE RELEASED ONTO ADJACENT PRIVATE PROPERTY.

THE EXISTING SITE TOPOGRAPHY WITHIN THE PROPERTY HAS A VERY GENTLE SLOPE. THE GROUND SLOPES DOWN TOWARDS THE NORTH, SOUTH AND WEST. THE PARKING LOT LOCATED IN THE WESTERN PORTION OF THE PROPERTY SLOPES DOWN TO THE NORTH-WEST AND WEST-SOUTHWEST. THE NORTHERN PORTION OF THE SITE HAS A VERY GENTLE SLOPE AS THE GROUND ELEVATION DECREASES BY APPROXIMATELY TWO FEET TO MATCH THE EXISTING ELEVATION ON INDIAN SCHOOL ROAD. THE REMAINING PROPERTY HAS THE SAME GENTLE SLOPE AS THE EXISTING PAVEMENT SLOPES TOWARDS THE WEST-SOUTHWEST. 100 FEET WEST OF THE PROPERTY ALONG INDIAN SCHOOL ROAD, THE GROUND SLOPES TOWARDS TO THE WEST. TO THE EAST OF THE SITE, LOUISIANA BOULEVARD RUNS NORTH/SOUTH. 100 FEET SOUTH OF THE SITE ALONG LOUISIANA BLVD., THE GROUND SLOPES TO THE SOUTH. THE PROPOSED CHASE BANK WILL NOT MAKE CHANGES TO THE EXISTING GENERAL TOPOGRAPHY OF THE SITE OR THE AREA.

LEGEND

	- EXISTING CURB
	- PROPOSED CURB
	- EXISTING SPOT ELEVATION
	- PROPOSED SPOT ELEVATION
	- PROPOSED NATURAL GROUND SPOT ELEVATION
	- PROPOSED CONTOUR
	- LIMITS OF CONSTRUCTION
	- PROPOSED RIDGE
	- SILT FENCE
	- INLET PROTECTION
	- DIRECTIONAL FLOW ARROW
	- PROPOSED SAWCUT
	- NATURAL GROUND
	- TOP OF WALL/CURB

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK
 ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

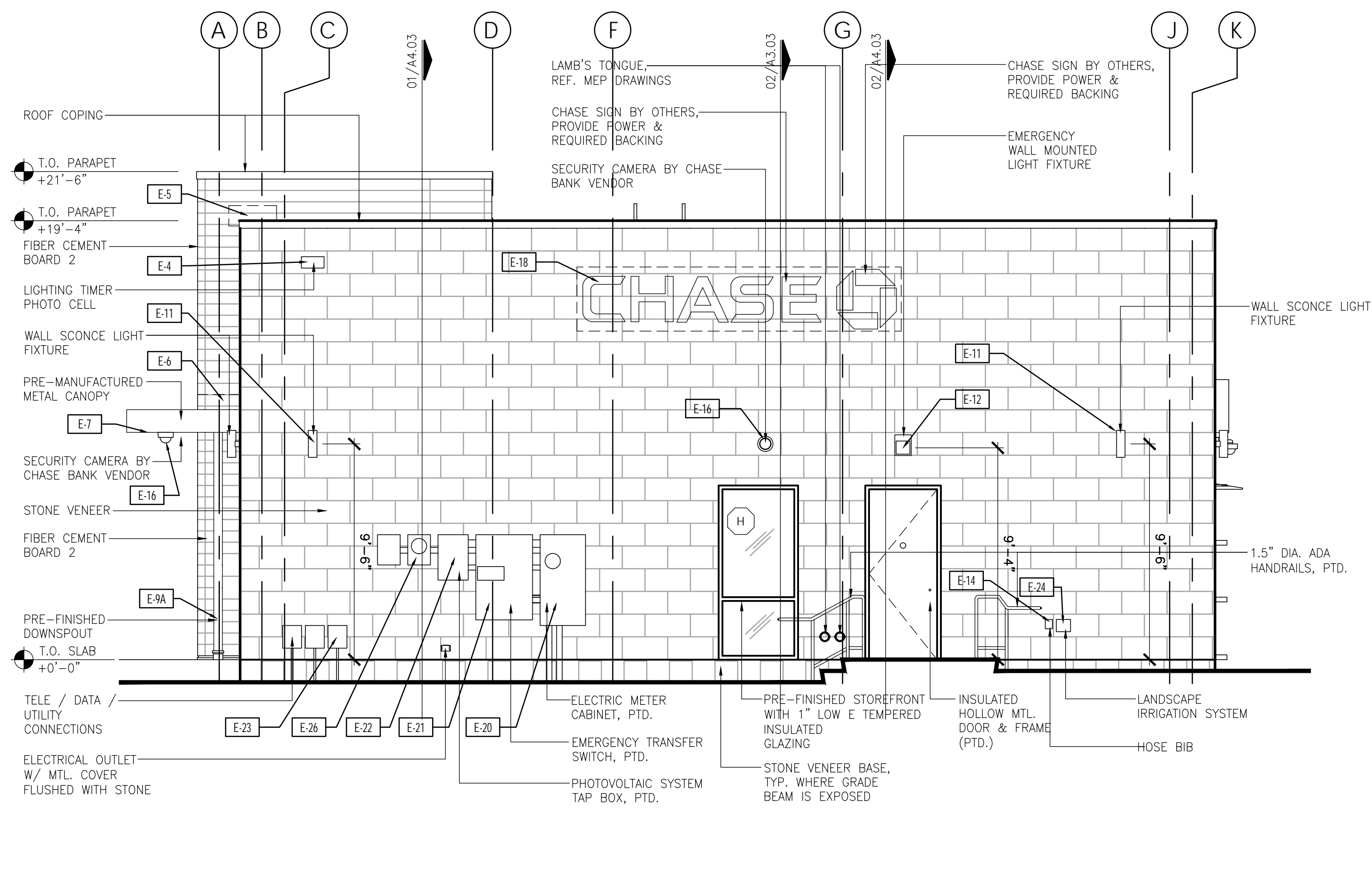
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CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

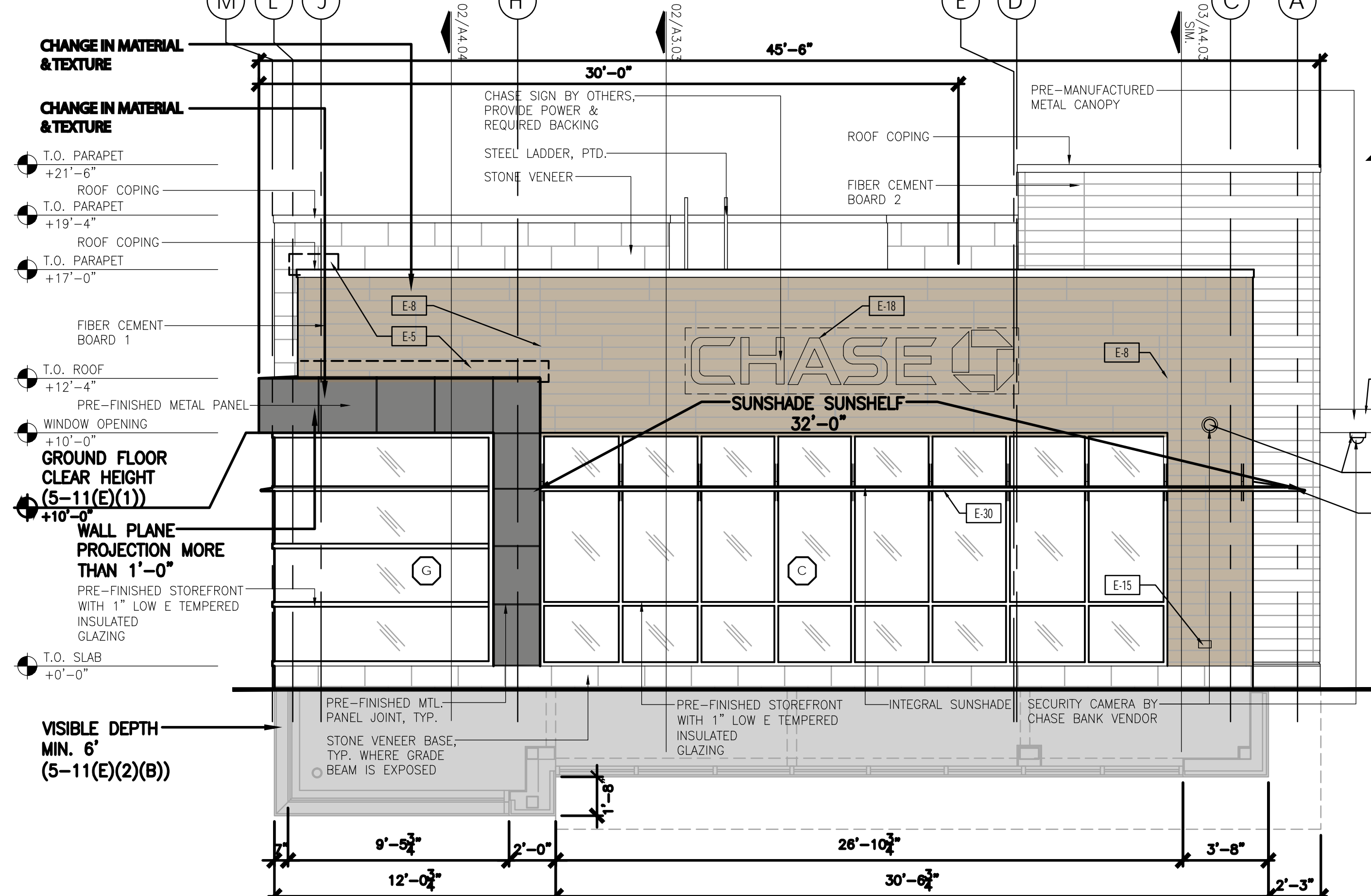
!!! CAUTION !!!

UNDERGROUND UTILITIES
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

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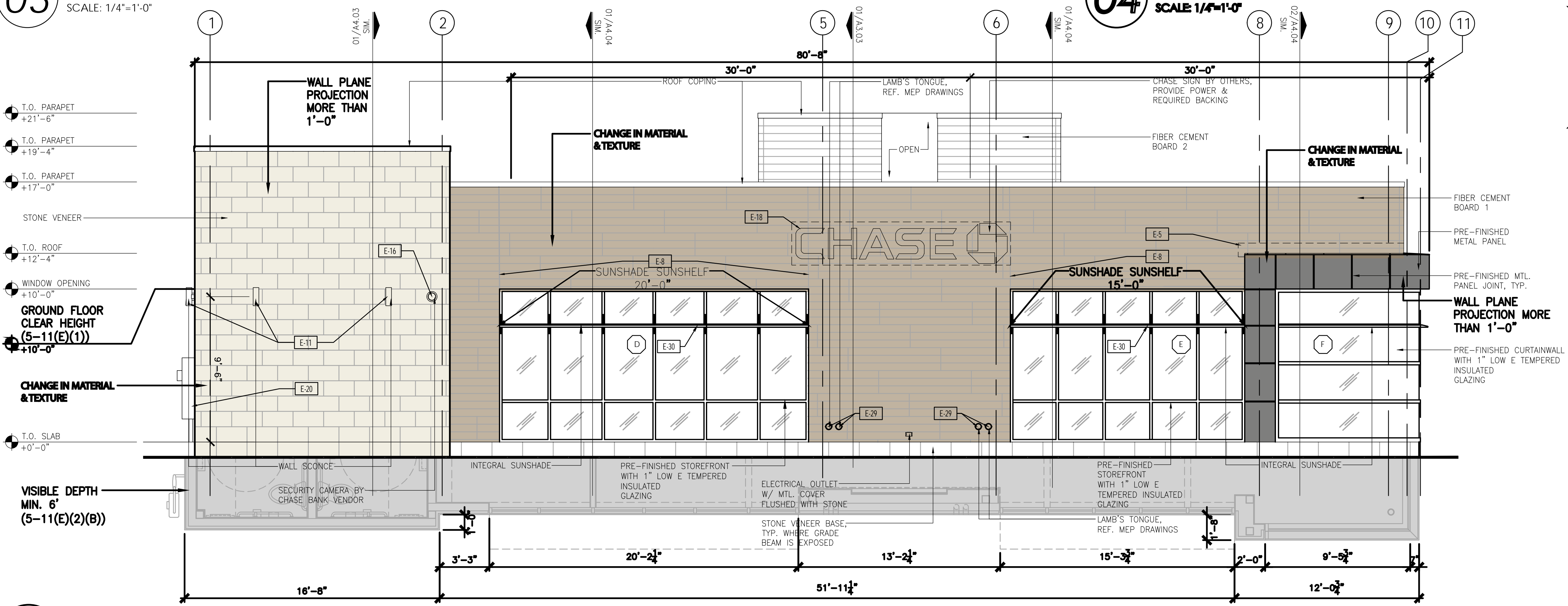


03 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



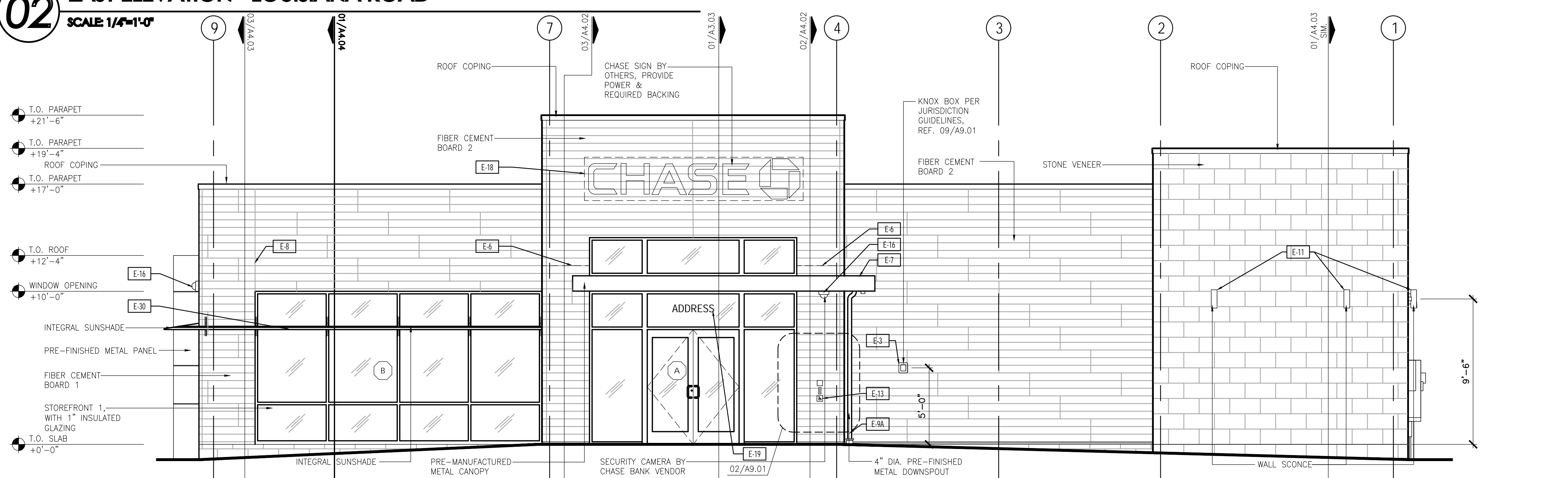
04 NORTH ELEVATION - INDIAN SCHOOL ROAD
SCALE: 1/4"=1'-0"

NORTH ELEVATION CLEAR TRANSPARENT WINDOWS CALCULATION
 FACADE AREA = 707 SF
 CLEAR TRANSPARENT WINDOWS AREA = 361 SF
 CLEAR TRANSPARENT WINDOWS PERCENTAGE = 51%



02 EAST ELEVATION - LOUISIANA ROAD
SCALE: 1/4"=1'-0"

EAST ELEVATION CLEAR TRANSPARENT WINDOWS CALCULATION
 FACADE AREA = 1,396 SF
 CLEAR TRANSPARENT WINDOWS AREA = 449 SF
 CLEAR TRANSPARENT WINDOWS PERCENTAGE = 31%



01 WEST ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
 1. GENERAL CONTRACTOR TO PROVIDE 4'-0" X 4'-0" MOCK-UP FOR ARCHITECT & DEVELOPER EXTERIOR FINISH APPROVAL.
 2. INSTALL WALL MOUNTED SENSORS ON PARAPET SIDE OF PARAPET.
 3. ALL EXPOSED GRADE BEAM TO HAVE STONE VENEER FINISH.

EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF: ALCOA ARCH PRODUCTS PRODUCT: REYNOLDBOND COLOR: CHURCH LASS 300 CHASE PROGRAM SILVER
FIBER CEMENT BOARD 1	MANUF: NICHHA PRODUCT: VILLAGE WOOD AWP 1818 COLOR: BARK SIZE: 12' X 2' (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF: NICHHA PRODUCT: VILLAGE WOOD AWP 3030 COLOR: ASH SIZE: 12' X 2' (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF: CONCRETE STONE PRODUCTS PRODUCT: MANUFACTURED STONE VENEER COLOR: CREAM FINISH: CHISELED SIZE: 12" WIDE X 12" HIGH X 1" THICK PATTERN: RUNNING BOND MORTAR: 1/2" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT NOTES: FIELD CUT TO MAX LENGTHS POSSIBLE WITH BUTED AND LAPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS - MITERED CORNERS NOT ACCEPTABLE - CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF: PAC-CLAD PRODUCT: PAC-CONTINUOUS COLOR: TB FINISH: KAWNEER ANODIZED BLACK
STOREFRONT 1	MANUF: KAWNEER COLOR: ANODIZED BLACK
STOREFRONT 2	MANUF: KAWNEER COLOR: CLEAR ANODIZED

ELEVATION NOTES	
E-1	CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS.
E-2	CONCRETE CURBS AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN
E-3	EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY. RECESS MOUNT IN WALL CONSTRUCTION AS RECD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION.
E-4	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS
E-5	METAL FLASHING AND COUNTER FLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
E-6	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING CONCEALED BEHIND WALL FINISH. REFER TO WALL SECTIONS AND DETAILS. COLOR TO MATCH EPT-4. VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS.
E-7	ENTRANCE / ATM CANOPY: SHOP FABRICATED SITE ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPARED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPYS SUPER LUMBERCK WITH LATH SOFFIT AND 12" FASCIA, OR APPROVED EQUAL. REFER TO ROOF PLAN AND WALL SECTIONS. INSTALLED BY G.C.
E-8	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH VENEER. MATCH SURFACE COLOR TO VENEER COLOR.
E-9A	SMALL CANOPY DOWNSPOUT/OVERFLOW: 3" DIAM ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM. REFER TO SITE PLAN.
E-9B	LARGE CANOPY DOWNSPOUT/OVERFLOW: ROUND ALUMINUM DOWNSPOUT. SIZED AS REQUIRED WITH ATTACHMENT HARDWARE AS REQUIRED. PAINTED TO MATCH ADJACENT WALL/COLUMN FINISH. SPLASH TO CONCRETE DRIVE UP ISLAND.
E-10	SCUPPER: REFER TO ROOF PLAN.
E-11	SURFACE MOUNT DECORATIVE LIGHT FIXTURE: REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
E-12	SURFACE MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT. REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE.
E-13	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE MOUNT.
E-14	HOSE BIB: SET FLUSH WITH FACE OF MASONRY VENEER. REFER TO PLUMBING FIXTURE SCHEDULE.
E-15	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER. PROVIDE METAL COVER COMPLIANT WITH N.E.C.
E-16	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNERS SECURITY CONSULTANT DRAWINGS.
E-17	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR. COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA.
E-18	SIGNAGE: BY OWNERS SIGN VENDOR. N.I.C. PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS RECD. FOR VENDOR INSTALLATION.
E-19	BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM. MIN. 6" HEIGHT OR AS RECD. BY LOCAL CODE.
E-20	ELECTRICAL SERVICE CT / METER CABINET: REFER TO ELECTRICAL DRAWINGS
E-21	EMERGENCY TRANSFER SWITCH: REFER TO ELECTRICAL DRAWINGS
E-22	PHOTOVOLTAIC SYSTEM FUSED DISCONNECT SWITCH: REFER TO ELECTRICAL DRAWINGS
E-23	TELE DATA / UTILITY CONNECTIONS: REFER TO ELECTRICAL DRAWINGS
E-24	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN AND ELECTRICAL PLAN
E-25	GAS METER: REFER TO SITE PLAN AND PLUMBING DRAWINGS
E-26	FUTURE PHOTOVOLTAIC SYSTEM DISCONNECT SWITCH AND PERFORMANCE METER: REFER TO ELECTRICAL DRAWINGS
E-27	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION.
E-28	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE RECD. BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION.
E-29	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND DESIGN INTENT ARCHITECTURAL SITE PLAN
E-30	SUN SHADE: GLAZING SYSTEM MANUFACTURERS STANDARD INTEGRAL SHADE ACCESSORY. REFER TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH BASIS OF DESIGN IS KAWNEER VERSOLEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES
E-31	BOLLARD: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN

CHASE

CHASE RETAIL BANKING CENTER
 INDIAN SCHOOL ROAD NE & LOUISIANA RD
 ALBUQUERQUE, NEW MEXICO 87110

ROUGH ARCHITECTS

1445 ROSS AVENUE
 SUITE 5700
 DALLAS, TEXAS 75202
 214.997.6029

DATE ISSUED: SEPTEMBER 09, 2020
 JOB #: 2020030
 SHEET NAME: EXTERIOR ELEVATIONS
 SHEET: **A3.01**

- T.O. PARAPET
+21'-6"
- T.O. PARAPET
+19'-4"
- T.O. PARAPET
+17'-0"
- T.O. ROOF
+12'-4"
- WINDOW OPENING
+10'-0"
- T.O. SLAB
+0'-0"



EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF ALCOA ARCH PRODUCTS
	PRODUCT REYNOBOND
FIBER CEMENT BOARD 1	COLOR DURAGLOSS 500 CHASE PROGRAM SILVER
	MANUF NICHHA
	PRODUCT VINTAGE WOOD AWP 1818
	COLOR BARK
	SIZE 18" X 22" (NOMINAL)
NOTES PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM	
FIBER CEMENT BOARD 2	MANUF NICHHA
	PRODUCT VINTAGE WOOD AWP 3030
	COLOR ASH
	SIZE 18" X 20" (NOMINAL)
	NOTES PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF CORONADO STONE PRODUCTS
	PRODUCT MANUFACTURED STONE VENEER
	COLOR CREAM
	FINISH CHISELED
	SIZE 24" WIDE x 12" HIGH x 1" THICK
	PATTERN RUNNING BOND
	MORTAR 1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT
	NOTES FIELD CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS- MITERED CORNERS NOT ACCEPTABLE - CONTROL JOINTS AS RECOMMENDED BY MANUF.
	MANUF PAC-CLAD
	PRODUCT PAC-CONTINUOUS
ROOF COPING	COLOR TBD
STOREFRONT 1	MANUF KAWNEER
	COLOR ANODIZED BLACK
STOREFRONT 2	MANUF KAWNEER
	COLOR CLEAR ANODIZED

02 WEST ELEVATION
SCALE: 1/4"=1'-0"

- T.O. PARAPET
+21'-6"
- T.O. PARAPET
+19'-4"
- T.O. SLAB
+0'-0"

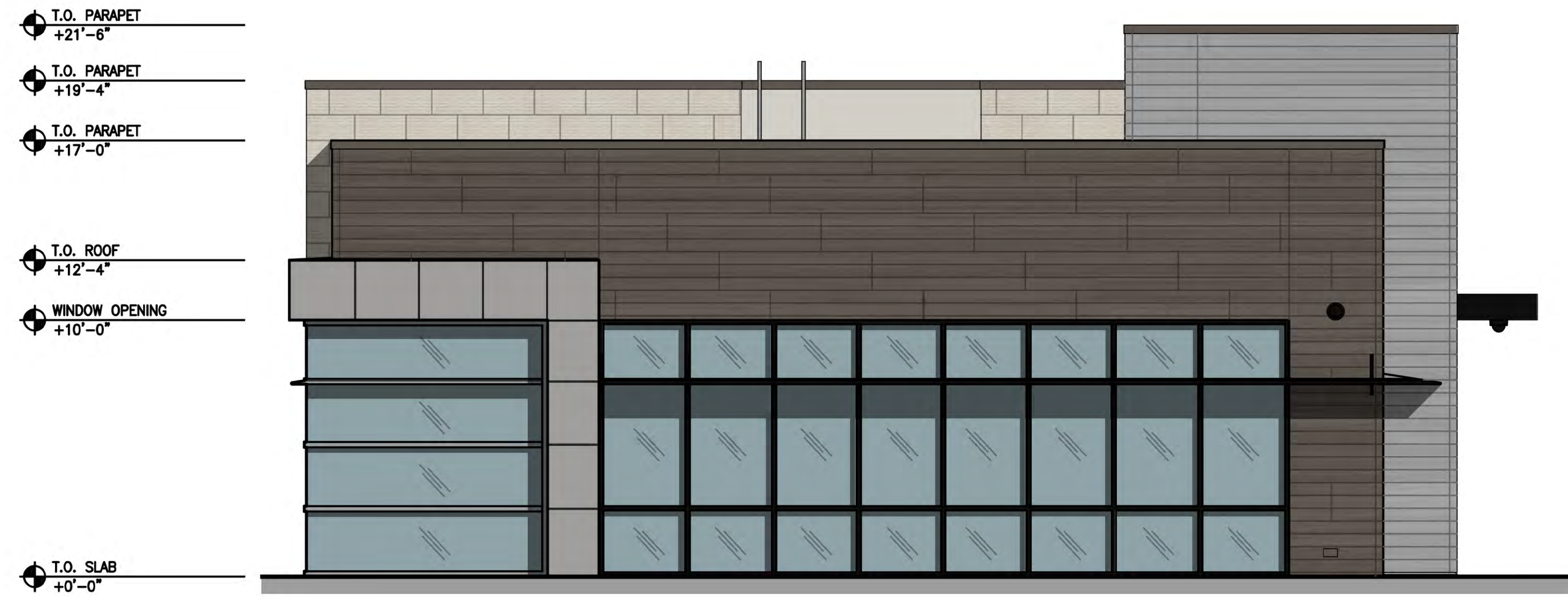


01 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



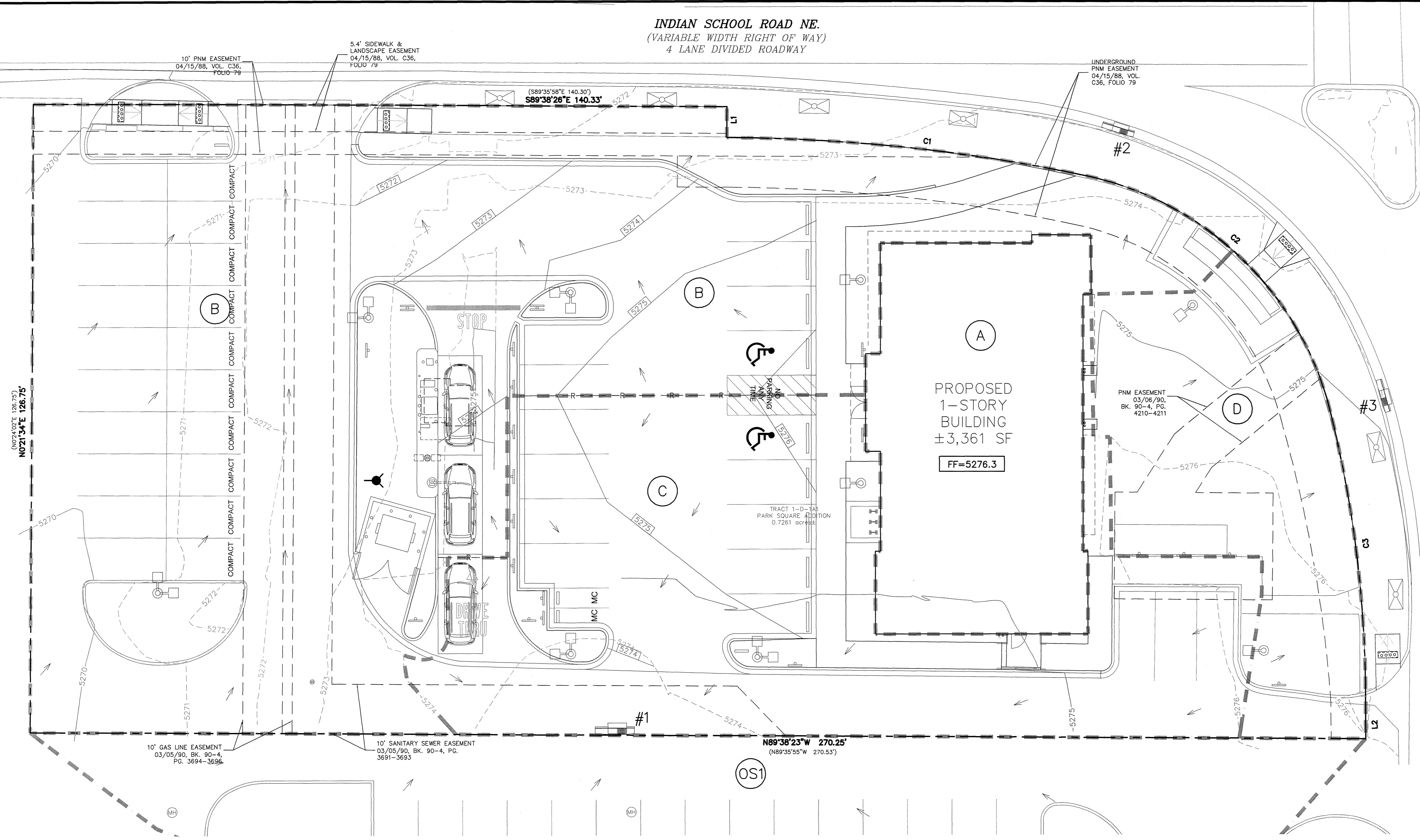
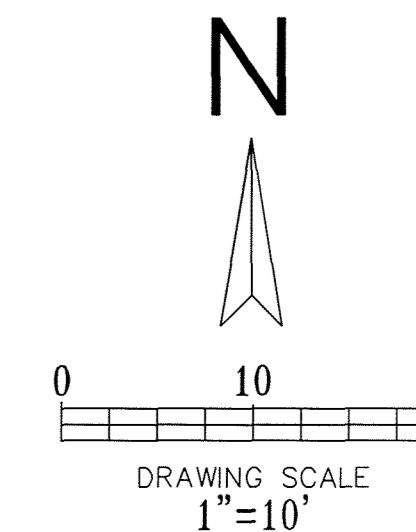
EXTERIOR MATERIAL LEGEND		
METAL PANEL 1	MANUF	ALCOA ARCH PRODUCTS
	PRODUCT	REYNOBOND
	COLOR	DURAGLOSS 500 CHASE PROGRAM SILVER
FIBER CEMENT BOARD 1	MANUF	NICHIHA
	PRODUCT	VINTAGE WOOD AWP 1818
	COLOR	BARK
	SIZE	18" X 72" (NOMINAL)
	NOTES	PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF	NICHIHA
	PRODUCT	VINTAGE WOOD AWP 3030
	COLOR	ASH
	SIZE	18" X 72" (NOMINAL)
	NOTES	PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF	CORONADO STONE PRODUCTS
	PRODUCT	MANUFACTURED STONE VENEER
	COLOR	CREAM
	FINISH	CHISELED
	SIZE	24" WIDE x 12" HIGH x 1" THICK
	PATTERN	RUNNING BOND
	MORTAR	1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT
	NOTES	FIELD CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS- MITERED CORNERS NOT ACCEPTABLE- CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF	PAC-CLAD
	PRODUCT	PAC-CONTINUOUS
STOREFRONT 1	MANUF	KAWNEER
	COLOR	ANODIZED BLACK
STOREFRONT 2	MANUF	KAWNEER
	COLOR	CLEAR ANODIZED

02 EAST ELEVATION
SCALE: 1/4"=1'-0"

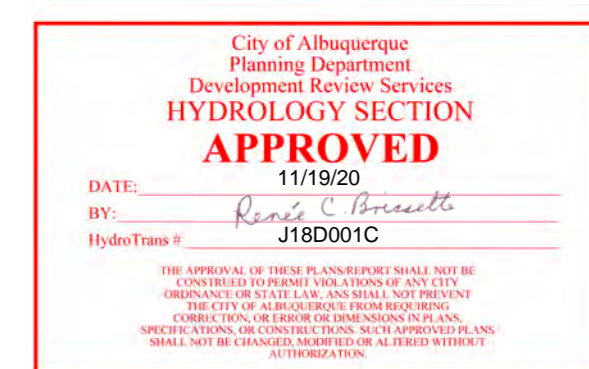


01 NORTH ELEVATION
SCALE: 1/4"=1'-0"

INDIAN SCHOOL ROAD NE.
(VARIABLE WIDTH RIGHT OF WAY)
4 LANE DIVIDED ROADWAY



LOUISIANA BOULEVARD
(VARIABLE WIDTH RIGHT OF WAY)
8 LANE DIVIDED ROADWAY



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING CONTOUR ELEVATION
 - PROPOSED CONTOUR
 - DRAINAGE AREA DIVIDE
 - AREA DESCRIPTION
 - FLOW ARROW
 - PROPOSED VALLEY
 - PROPOSED RIDGE

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00°11'00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00°11'00.11" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

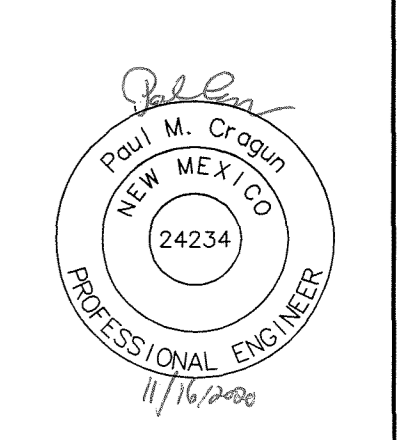
UNDERGROUND UTILITIES

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CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



DRAINAGE AREA MAP
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE
PLOT DATE
11/16/20
DRAWING SCALE
1" = 10'
PROJECT NUMBER
CDC20013
SHEET NUMBER
C8.01

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DRAINAGE CRITERIA
 ZONE 3
 $Q=C^*I^*A$
 $I_2=1.94$ in/hr
 $I_{10}=3.12$ in/hr
 $I_{100}=4.96$ in/hr
 $t_c=12$ min.

PROPOSED DRAINAGE DATA CHART													
DRAINAGE ID	AREA (SQ. FT.)	AREA (AC.)	C ₂	C ₁₀	C ₁₀₀	T _c (min)	I ₂ (in/hr)	I ₁₀ (in/hr)	I ₁₀₀ (in/hr)	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	COMMENT
A	3361.09	0.08	0.89	0.54	0.91	5.0	1.94	3.12	4.96	0.13	0.13	0.35	ROOF DRAINS TO AREA "C" THEN TO INLET #1
B	17024.66	0.39	0.74	0.50	0.83	5.0	1.94	3.12	4.96	0.56	0.61	1.61	DRAINS TO INDIAN SCHOOL RD THEN TO INLET #2
C	7906.67	0.18	0.81	0.52	0.87	5.0	1.94	3.12	4.96	0.29	0.29	0.78	DRAINS TO INLET #1
D	3335.81	0.08	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.02	0.09	0.21	DRAINS TO LOUISIANA BLVD THEN TO INLET #3
OS1	7709.17	0.18	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.05	0.20	0.47	DRAINS TO AREA "C"
TOTAL	31628.23	0.73								1.06	1.32	3.42	

CALCULATIONS ARE BASED ON THE RATIONAL METHOD FROM CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 6 – DRAINAGE, FLOOD CONTROL AND EROSION CONTROL. DATED 06/08/2020

COMPOSITE ANALYSIS FOR RUNOFF COEFFICIENT												
DRAINAGE ID	PERCENT IMPERVIOUS	PERCENT PERVIOUS	C IMPERVIOUS (2 year)	C PERVIOUS (2 year)	C IMPERVIOUS (10 year)	C PERVIOUS (10 year)	C IMPERVIOUS (100 year)	C PERVIOUS (100 year)	COMPOSITE C (2 year)	COMPOSITE C (10 year)	COMPOSITE C (100 year)	
A	100.0	0.0	0.89	0.08	0.54	0.34	0.91	.50	0.89	0.54	0.91	
B	81.2	18.8	0.89	0.08	0.54	0.34	0.91	.50	0.74	0.50	0.83	
C	90.6	9.4	0.89	0.08	0.54	0.34	0.91	.50	0.81	0.52	0.87	
D	9.5	90.5	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	
OS1	9.9	90.1	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	

80TH PERCENTILE STORMWATER QUALITY VOLUME TABLE			
DRAINAGE ID	NEW IMPERVIOUS AREA (SQ. FT.)	REDEVELOPMENT SITE FACTOR	80TH PERCENTILE STORM VOLUME (CFS)
A	3362.0	0.26	72.8
B	4980.0	0.26	107.9
C	3362.0	0.26	72.8
D	0.0	0.26	0.0
			253.6

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

WEIGHTED ANALYSIS FOR 6-HOUR EXCESS PRECIPITATION, 'E'						
DRAINAGE ID	LAND TREATMENT B	LAND TREATMENT D	AREA LAND TREATMENT B	AREA LAND TREATMENT D	WEIGHTED E (100 year) (IN)	VOLUME (100 year) (ACRE-FT)
A	0.86	2.58	0.000	0.080	2.580	0.045
B	0.86	2.58	0.073	0.317	2.257	0.008
C	0.86	2.58	0.017	0.163	2.418	0.056
D	0.86	2.58	0.008	0.0724	2.417	0.016
				TOTAL VOLUME		0.125



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVETEK CONSULTING SURVEYORS

BENCHMARK
 ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00°11'00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

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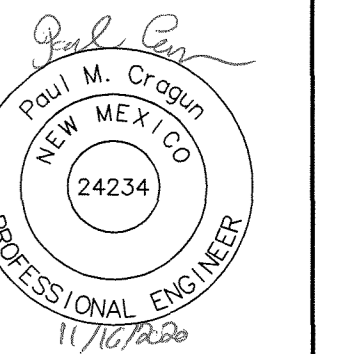
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!!! CAUTION !!!
 UNDERGROUND UTILITIES

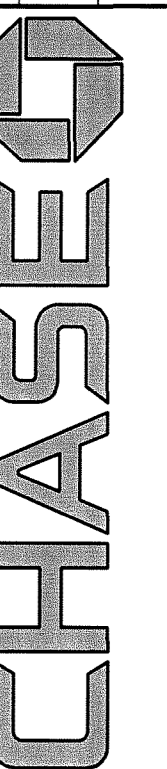
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Cumululus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel: 214.235.0367



DRAINAGE AREA MAP
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PLOT DATE
 11/16/20
 DRAWING SCALE
 PROJECT NUMBER
 CDC20013
 SHEET NUMBER
 C8.02

CITY OF ALBUQUERQUE



September 28, 2020

Carlos Iglesias
Cumulus Design
2080 NB Highway 360 #240
Grand Prairie, Texas

**Re: Chase Bank-Indian School Rd
6670 Indian School Road ne
Traffic Circulation Layout
Architect's Stamp 09-25-2020 (J19-D087)**

Dear Mr. Iglesias,

The TCL submittal received 09-25-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



TYPICAL ADA SIGNAGE FOR VAN ACCESSIBLE SPACES
N.T.S.



TYPICAL ADA SIGNAGE
N.T.S.



MOTORCYCLE PARKING SIGN
N.T.S.



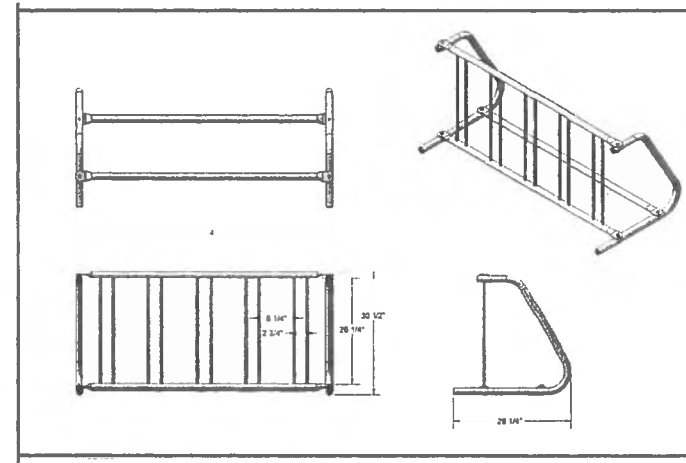
CHASE PARKING ONLY SIGN
N.T.S.



R5-1 (SIZE: 30"x30")
DO NOT ENTER SIGN
N.T.S.

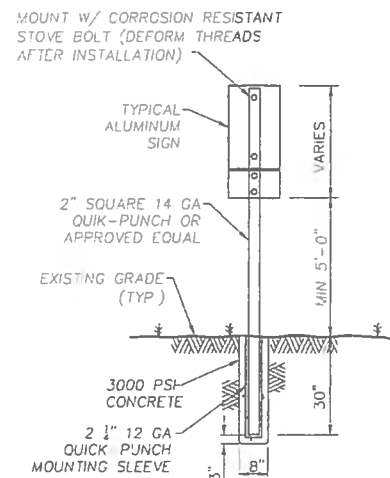


R1-1 (SIZE: 30"x30")
STOP SIGN
N.T.S.

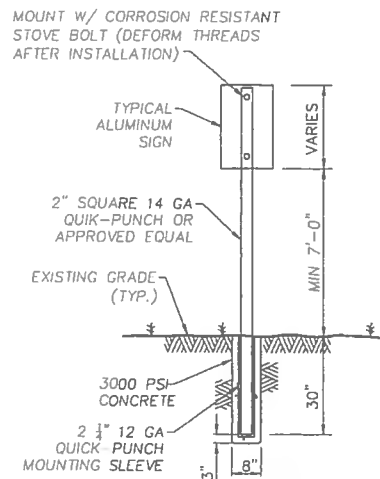


INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

BICYCLE RACK DETAIL
N.T.S.

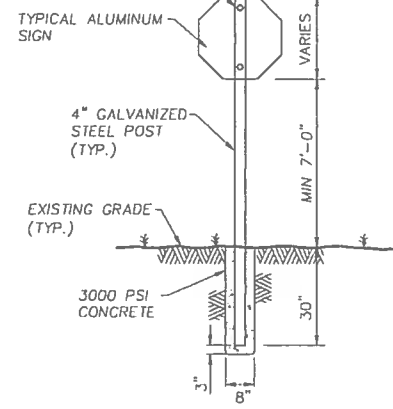


ADA DUAL SIGNAGE MOUNTING DETAIL
N.T.S.

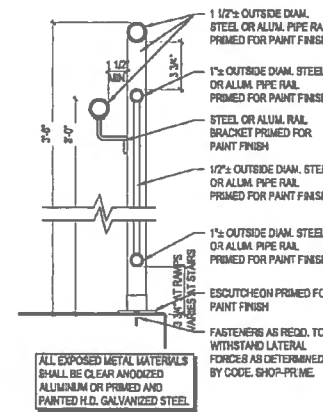


SINGLE ADA AND MOTORCYCLE SIGNAGE MOUNTING DETAIL
N.T.S.

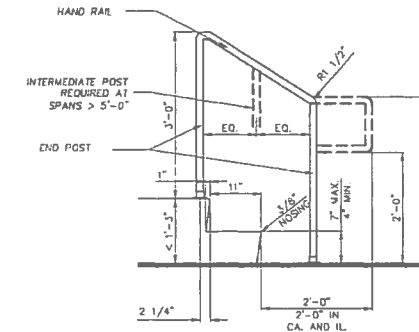
MOUNT W/ CORROSION RESISTANT STOVE BOLT (DEFORM THREADS AFTER INSTALLATION)



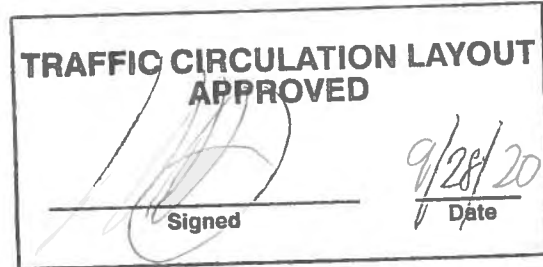
"STOP" AND "DO NOT ENTER" SIGNAGE MOUNTING DETAIL
N.T.S.



ADA RAMP HAND RAIL DETAIL
N.T.S.



HANDRAIL DETAIL
N.T.S.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



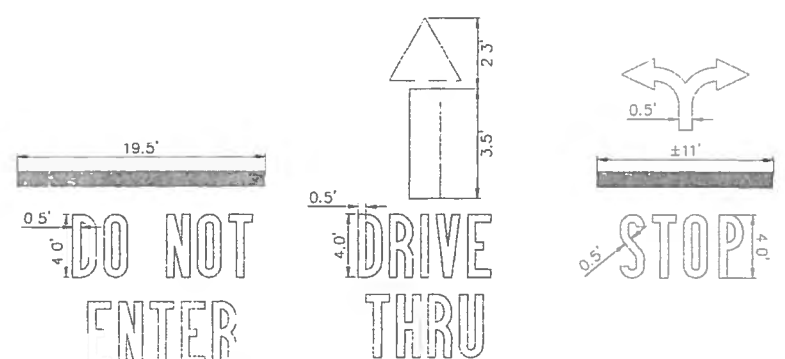
CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

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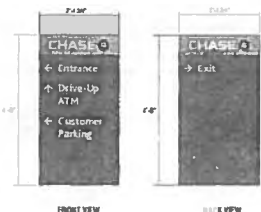
BENCHMARK
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III CAUTION III
UNDERGROUND UTILITIES

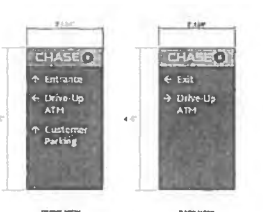
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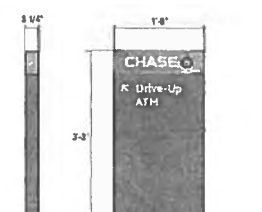
TEXT DETAILS
N.T.S.



ENTRANCE SIGN #1 DETAIL
N.T.S.



ENTRANCE SIGN #2 DETAIL
N.T.S.



DRIVE-THRU ATM SIGNAGE DETAIL
N.T.S.

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

FOR REVIEW, NOT FOR CONSTRUCTION



TRAFFIC CIRCULATION PLAN
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY



PLOT DATE
09/25/20
DRAWING SCALE

PROJECT NUMBER
CDC20013

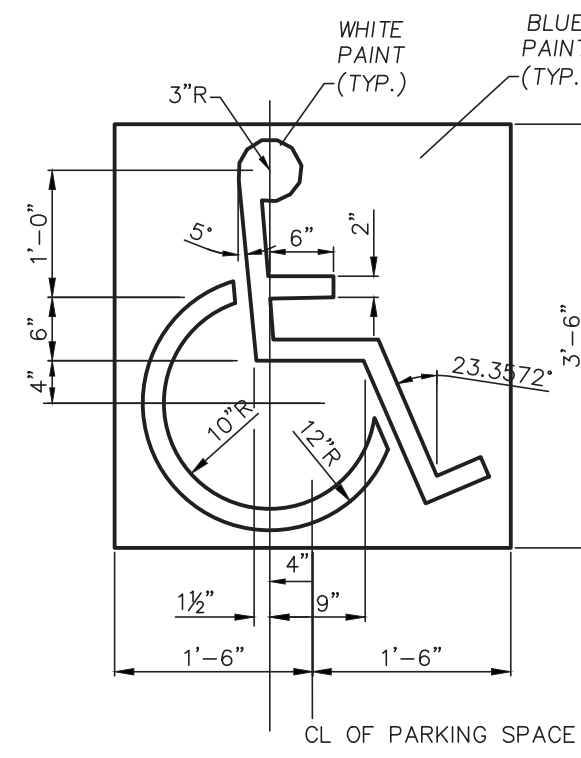
SHEET NUMBER
C1.03



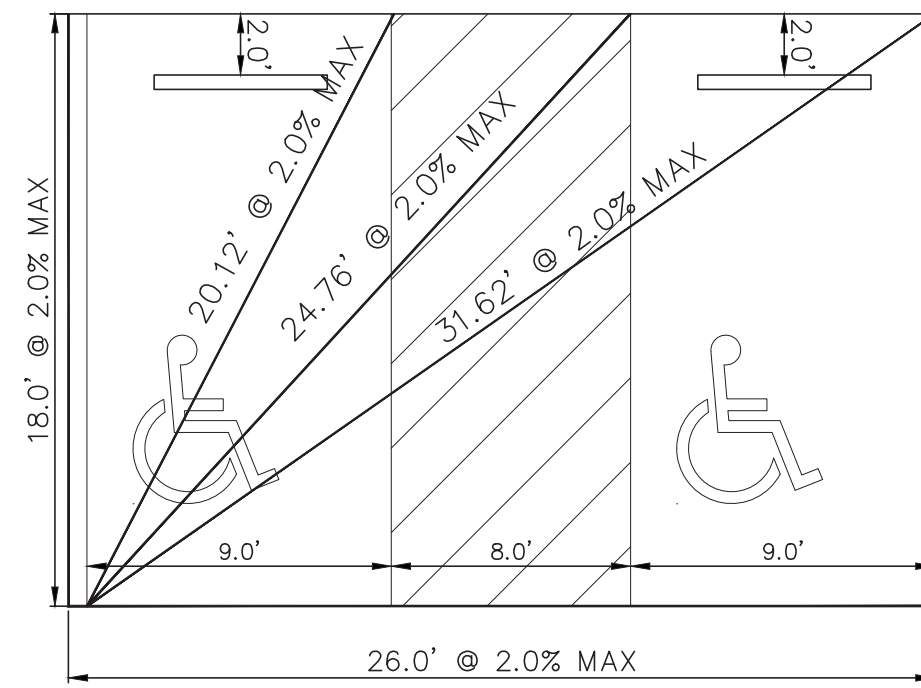
TYPICAL SIGNAGE MOUNTING DETAIL FOR ACCESSIBLE SPACES N.T.S.



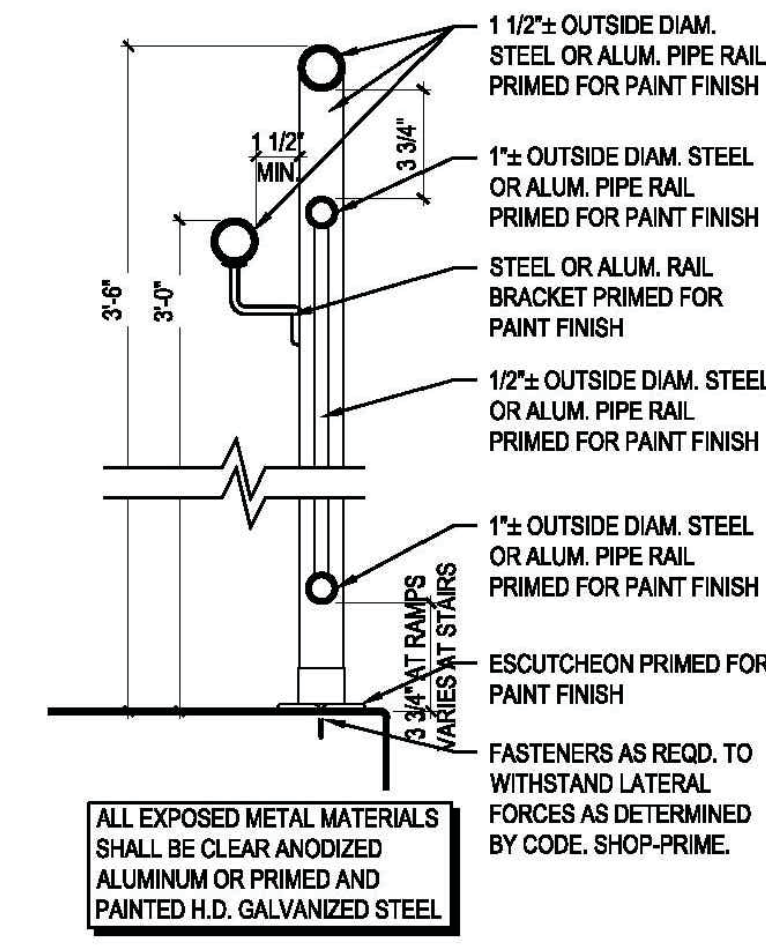
TYPICAL SIGNAGE MOUNTING DETAIL FOR VAN ACCESSIBLE SPACES N.T.S.



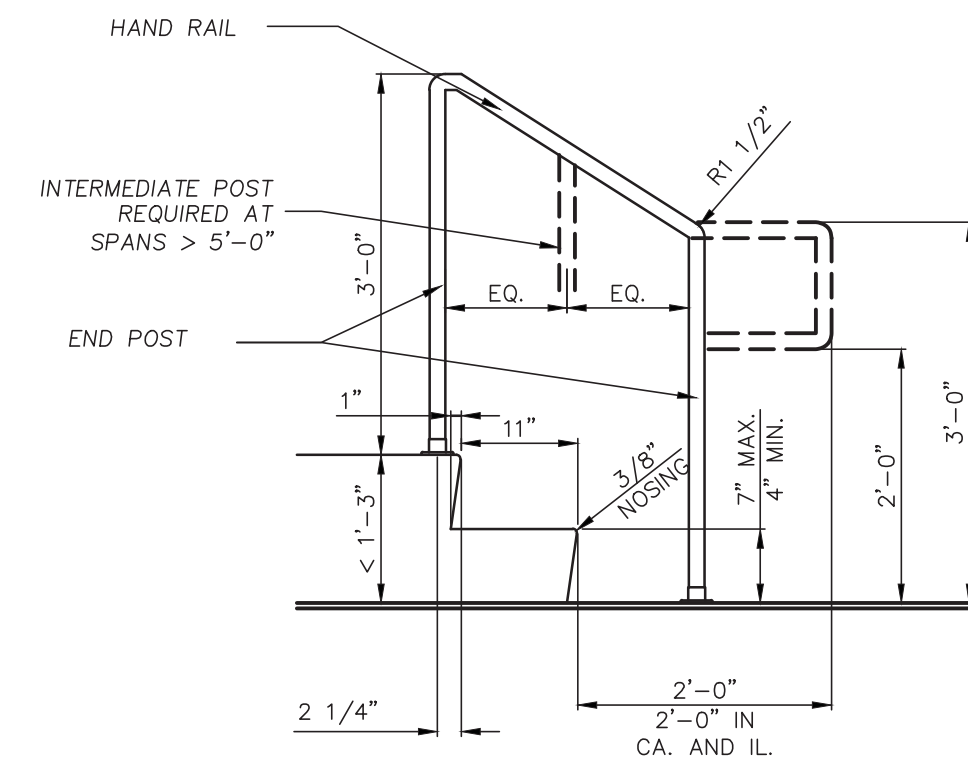
ACCESSIBLE PARKING SYMBOL DETAIL N.T.S.



ADA PARKING STALLS AND AISLE DETAIL



ADA RAMP HAND RAIL DETAIL N.T.S.



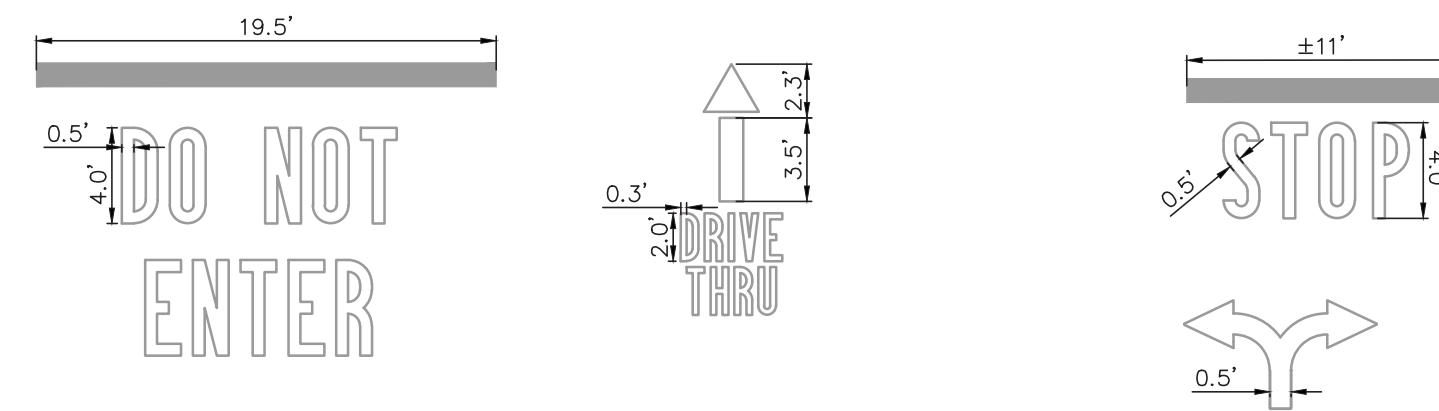
HANDRAIL DETAIL N.T.S.



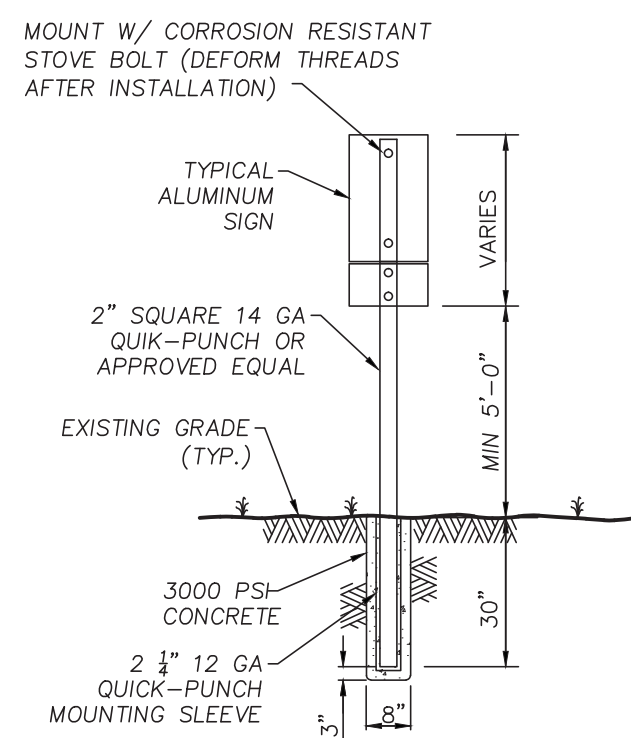
R1-1 (SIZE: 30"x30") STOP SIGN N.T.S.



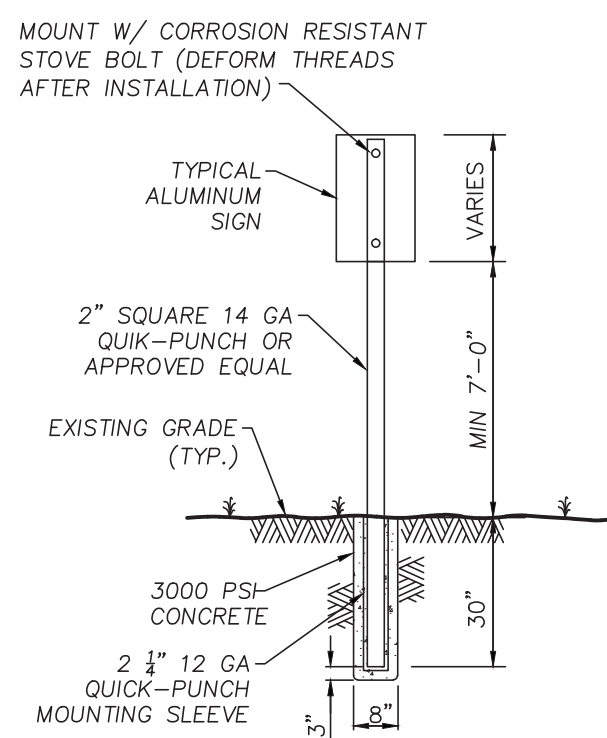
R5-1 (SIZE: 30"x30") DO NOT ENTER SIGN N.T.S.



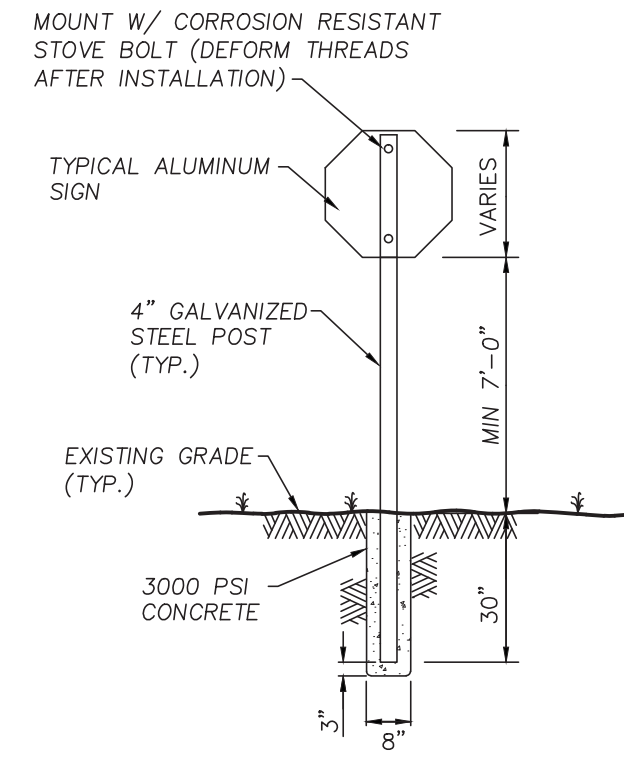
TEXT DETAILS N.T.S.



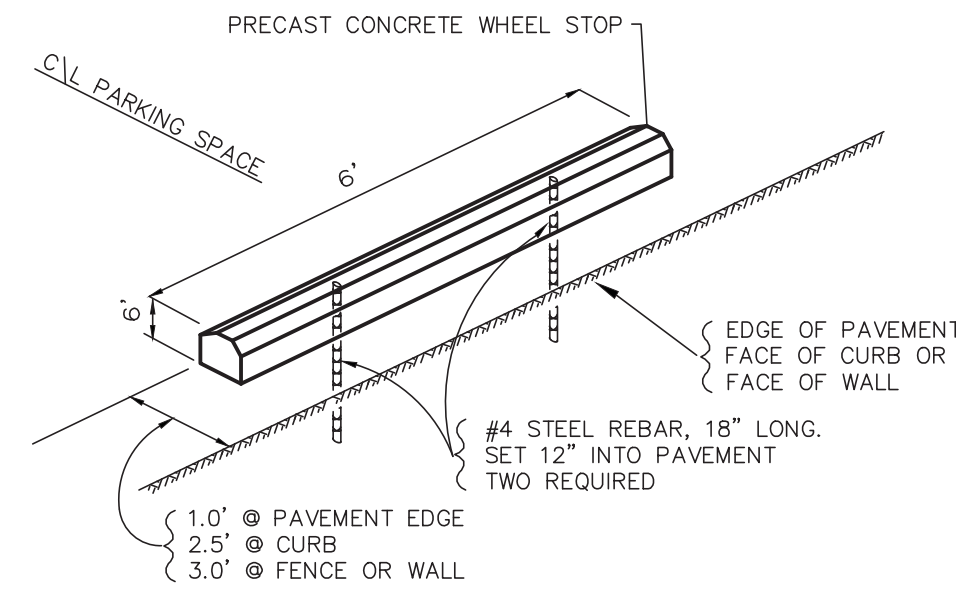
ADA DUAL SIGNAGE MOUNTING DETAIL N.T.S.



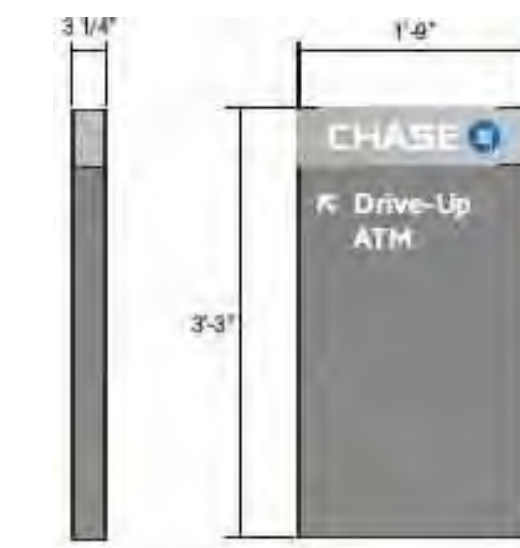
TYPICAL SIGNAGE MOUNTING DETAIL N.T.S.



STOP SIGNAGE MOUNTING DETAIL N.T.S.



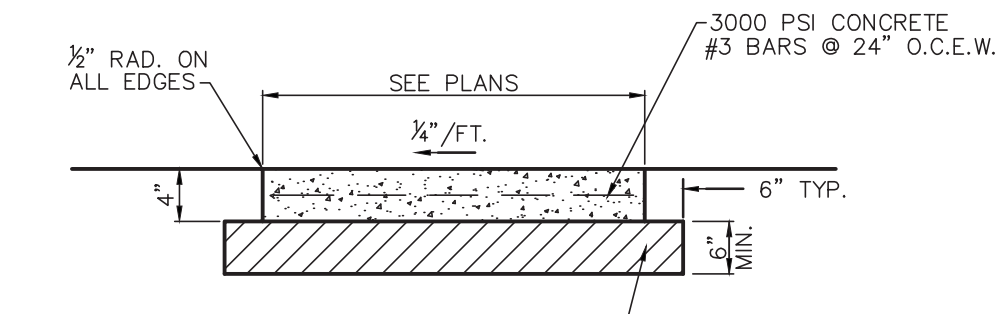
WHEEL STOP DETAIL N.T.S.



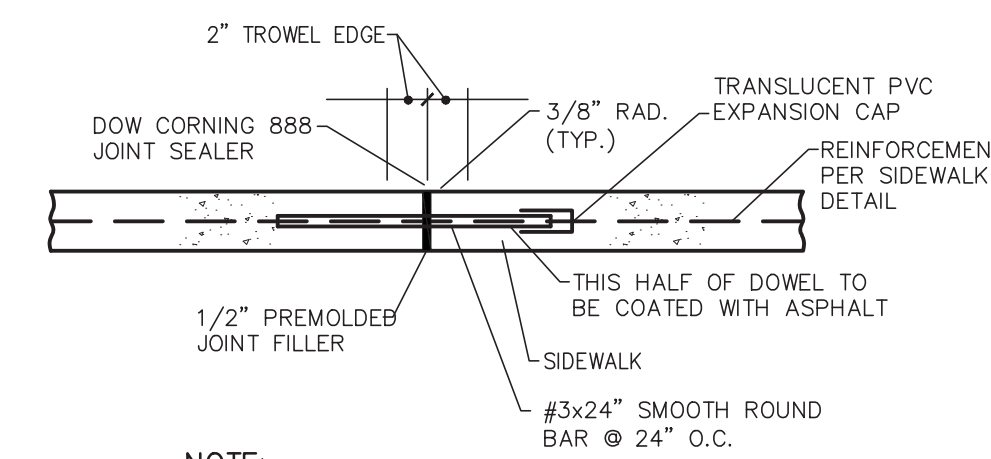
DRIVE-THRU ATM SIGNAGE DETAIL N.T.S.



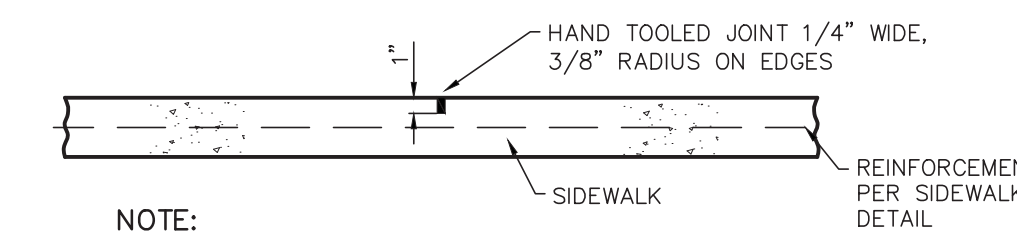
MOTORCYCLE PARKING SIGN N.T.S.



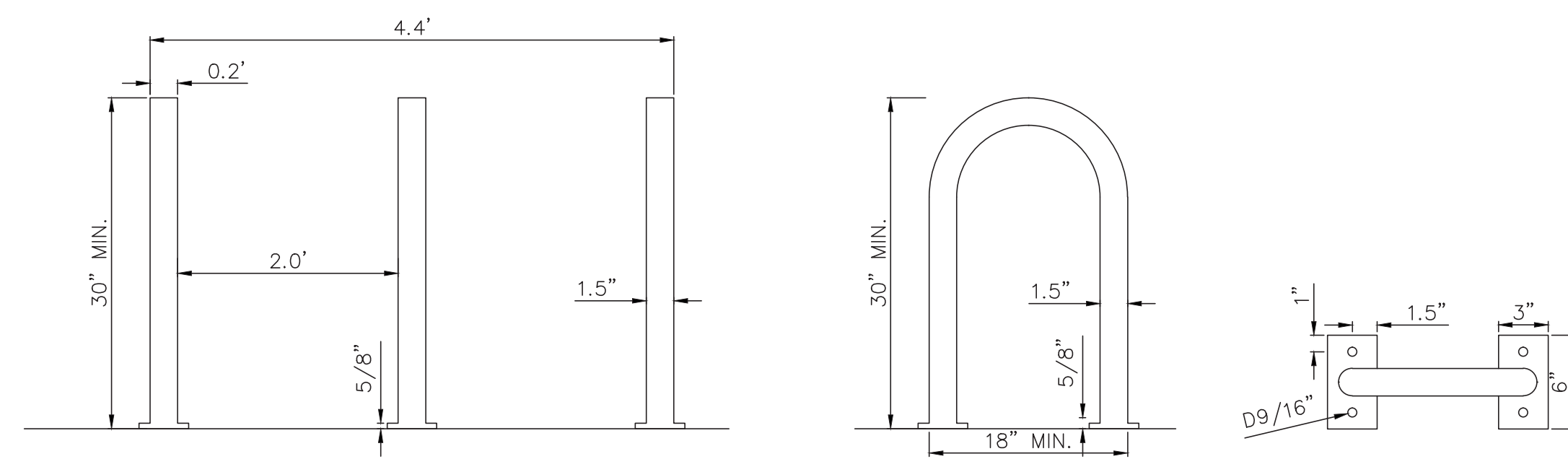
SIDEWALK CROSS-SECTION



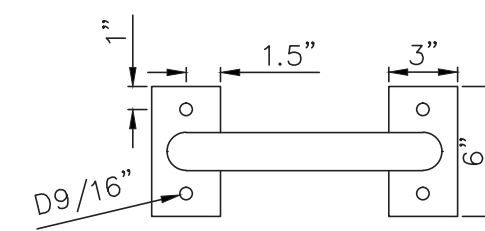
EXPANSION JOINT N.T.S.



CONTRACTION JOINT N.T.S.



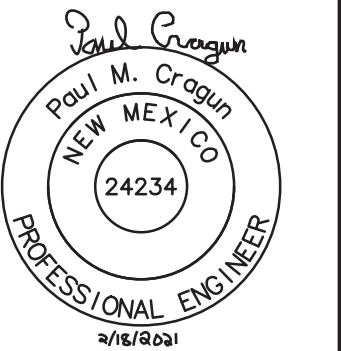
BICYCLE RACK DETAIL N.T.S.



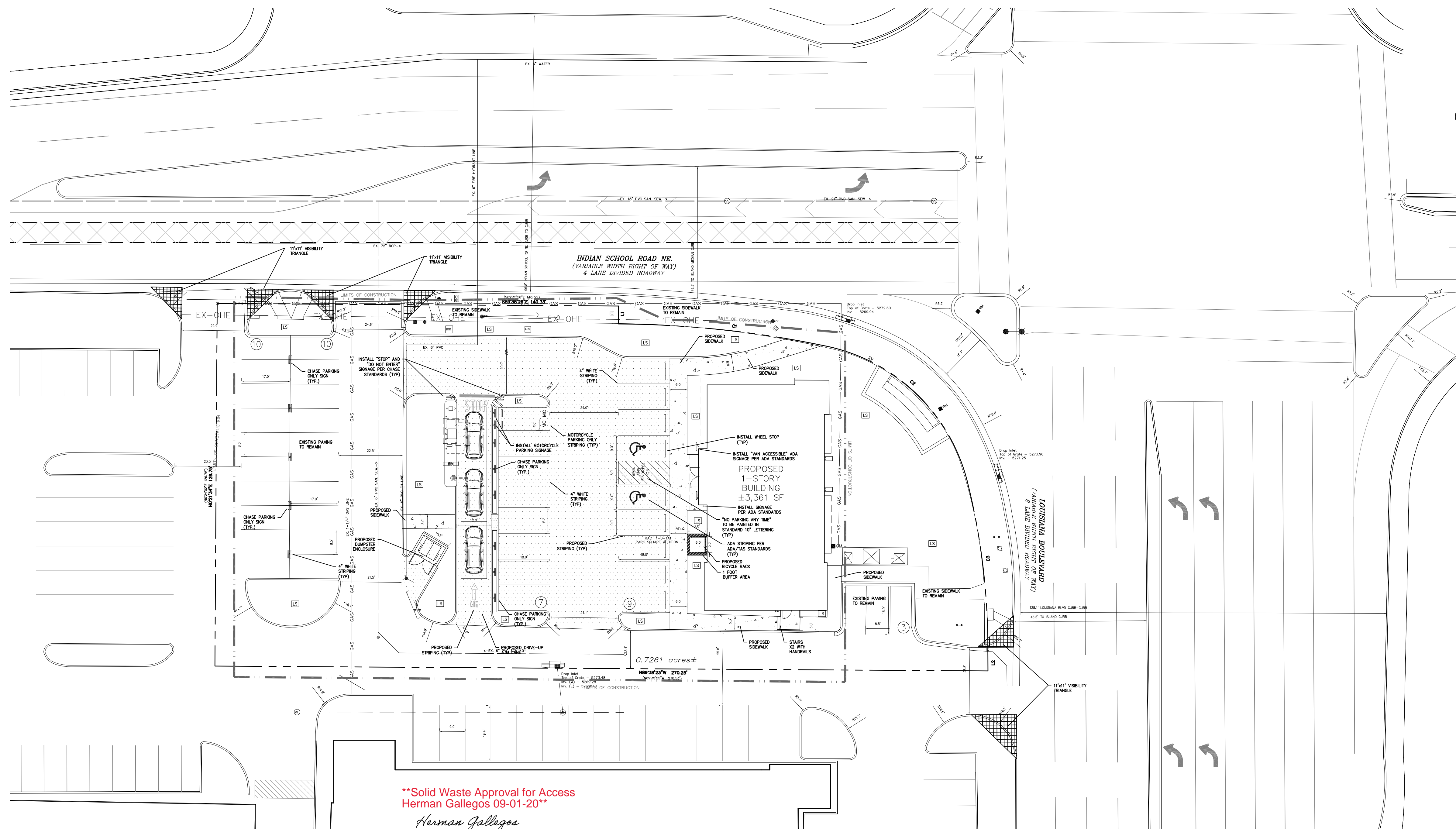
MISCELLANEOUS DETAILS

NOTE: DETAILS ON THIS SHEET ARE PRIVATE. ALL WORK WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAY SHALL BE PER CITY (OR STATE, IF APPLICABLE) STANDARD DETAILS. THE CONTRACTOR IS REQUIRED TO HAVE ON-SITE, AT ALL TIMES, A COPY OF THE CITY'S CONSTRUCTION DETAILS.

SIDEWALK DETAILS



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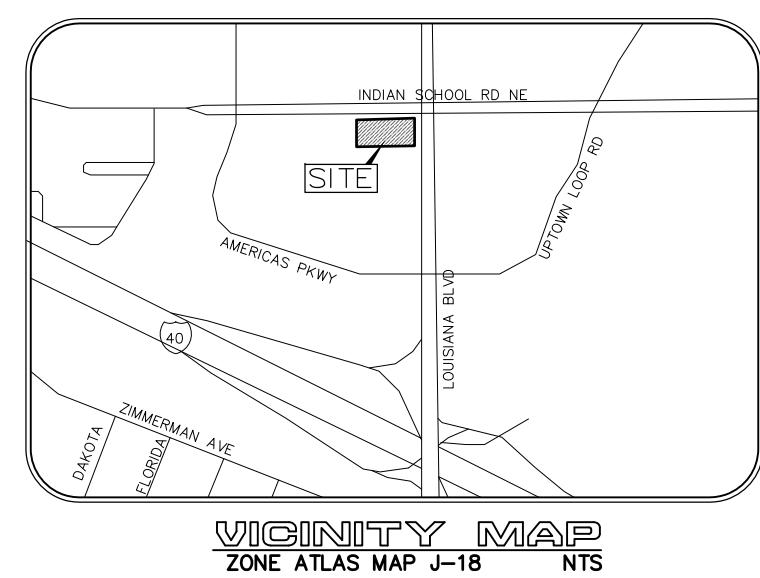


****Solid Waste Approval for Access
Herman Gallegos 09-01-20****
Herman Gallegos



**CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION**

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	39 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	4/5 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES



NOTE:
LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

NOTE:
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

NOTE:
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PARKING COUNT
 - PROPOSED PAVEMENT
 - PROPOSED SIDEWALK
 - PROPOSED LIGHT POLE
 - LIMITS OF CONSTRUCTION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00'11"00.11" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

Cumulus Design
Firm # EF-0005330
8850 United Plaza Blvd.,
STE. 702-N
Baton Rouge, LA 70809
Tel. 214.235.0367

FOR REVIEW, NOT FOR CONSTRUCTION

THIS DOCUMENT IS RELEASED FOR INFORMATION PURPOSES UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 9/1/20.

SITE PLAN

6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE

PLOT DATE
09/01/20

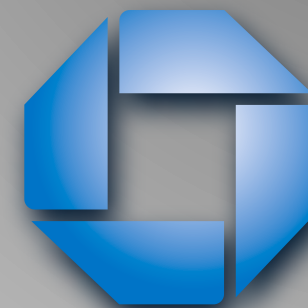
DRAWING SCALE
1" = 20'

PROJECT NUMBER
CDC20013

SHEET NUMBER
C1.01

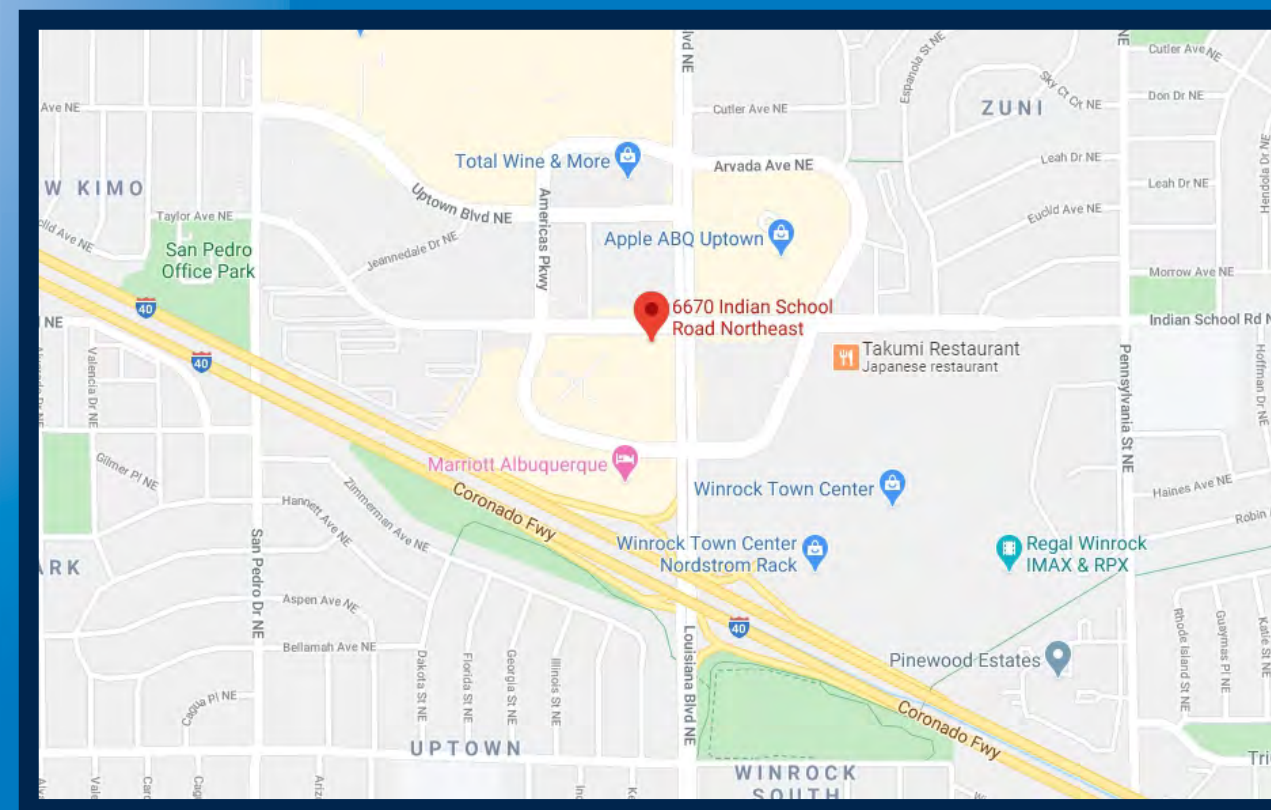
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CHASE



#38200P367111

Indian School Rd NE and Louisiana Rd 6670 Indian School Rd NE Albuquerque, NM 87110



REVISION NOTES:

- R1: Customer Drawing - add additional approval tenant panels - 08.13.20 - AS
- R2: Customer Drawing - Added motorcycle post signs and updated site plan. - AS - 09/04/20
- R4: Customer Drawing - E7 and 8 changed to stop dot sign. E9 and 10 changed to custom ada handicap signs. - AS - 10/02/20



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JP Morgan Chase Bank
#38200P367111

Indian School Rd NE &
 Louisiana Rd
 6670 Indian School Rd NE
 Albuquerque, NM 87110

Initial Date: 08/10/20
 Salesperson: Arthur Navarro
 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary
 electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

EXTERIOR SIGN LEGEND - ALLOWED

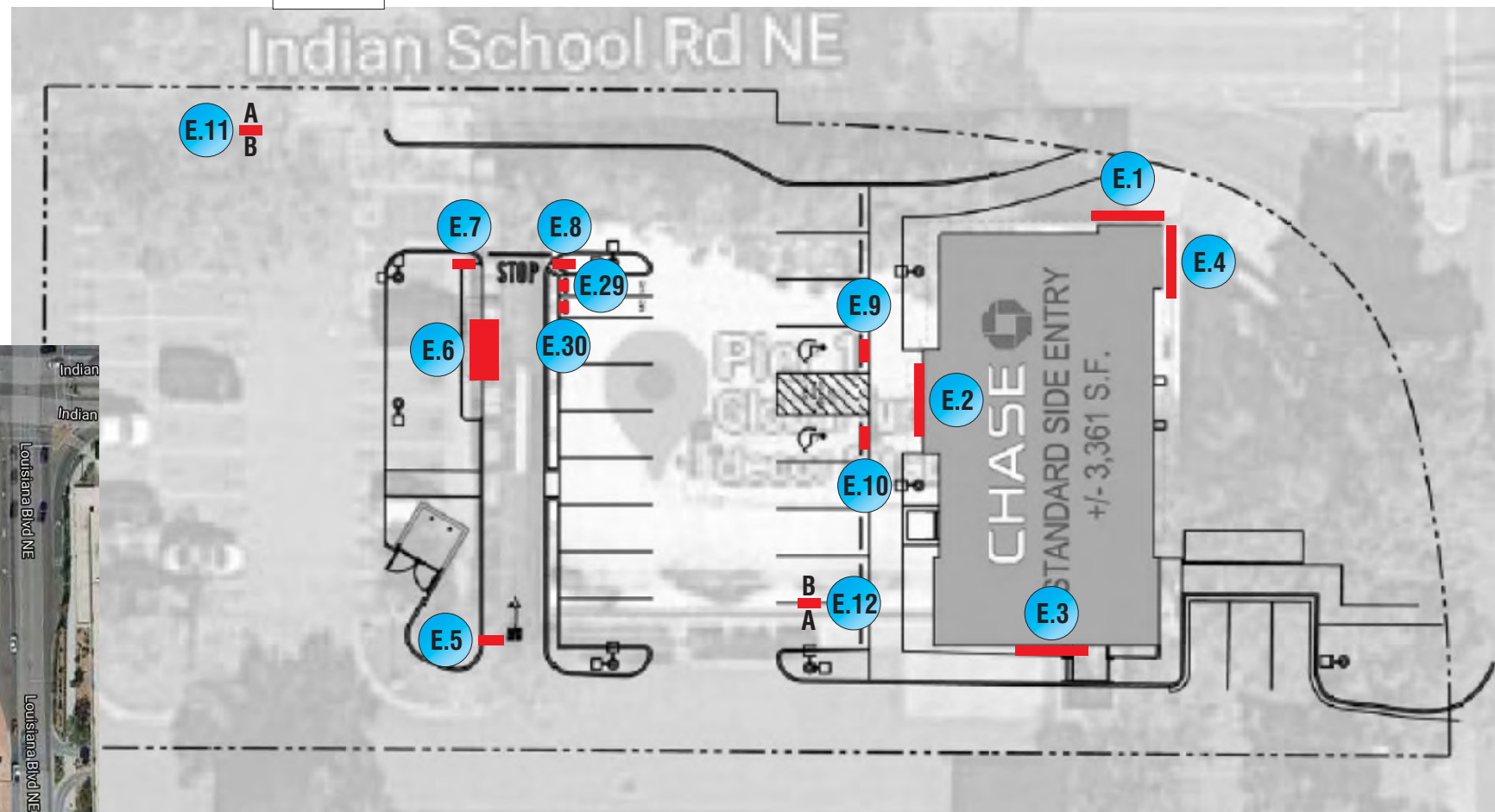
Elevation	Sign No.	Sign Type	Description	Sq.Ft.
North	E.1	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
West	E.2	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
South	E.3	LIF-WBO-24	24" White Channel Letters and Logo	36.9
East	E.4	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
	E.5	HB-U	Headache Bar	
	E.6	CAN-ATM-SIG-OCT	ATM Signature Canopy w/ Octagon	
	E.7	TC-P-STOP-DNE-DOT-RE	Post Mount Do Not Enter Sign - STOP/DOT Standard	
	E.8	TC-P-STOP-DNE-DOT-RE	Post Mount Do Not Enter Sign - STOP/DOT Standard	
	E.9	CUSTOM TC-P-ADA-NM-V-RE	Post Mount Handicap Stall Sign - Van Accessible - City Specific	
	E.10	CUSTOM TC-P-ADA-NM-RE	Post Mount Handicap Stall Sign - City Specific	
	E.11	D-7.6-RE	Non-Illuminated Directional Monument	
	E.12	D-7.6-RE	Non-Illuminated Directional Monument	
	E.29	TC-P-MOTORCYCLE	Post Mount Motorcycle Stall Sign	
	E.30	TC-P-MOTORCYCLE	Post Mount Motorcycle Stall Sign	

Total Proposed Sq Ft	147.6
Total Allowable Sq Ft	468
Difference	320.4

INDIAN SCHOOL RD NE



AERIAL SITE NOT TO SCALE



SITE PLAN SCALE: 1/32" = 1'-0"



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COPY, COLORS & SIZES

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Drawing Number: 20-01032
 Project ID: CHASE_38000P123456_1
 Revision: R4 - 10.02.20

Sign Legend / Site Plan

EXTERIOR SIGN LEGEND - REQUIRES ADDITIONAL APPROVAL

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
	E.25	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	
	E.26	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	
	E.27	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	
	E.28	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	



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 Albuquerque, NM 87110**

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 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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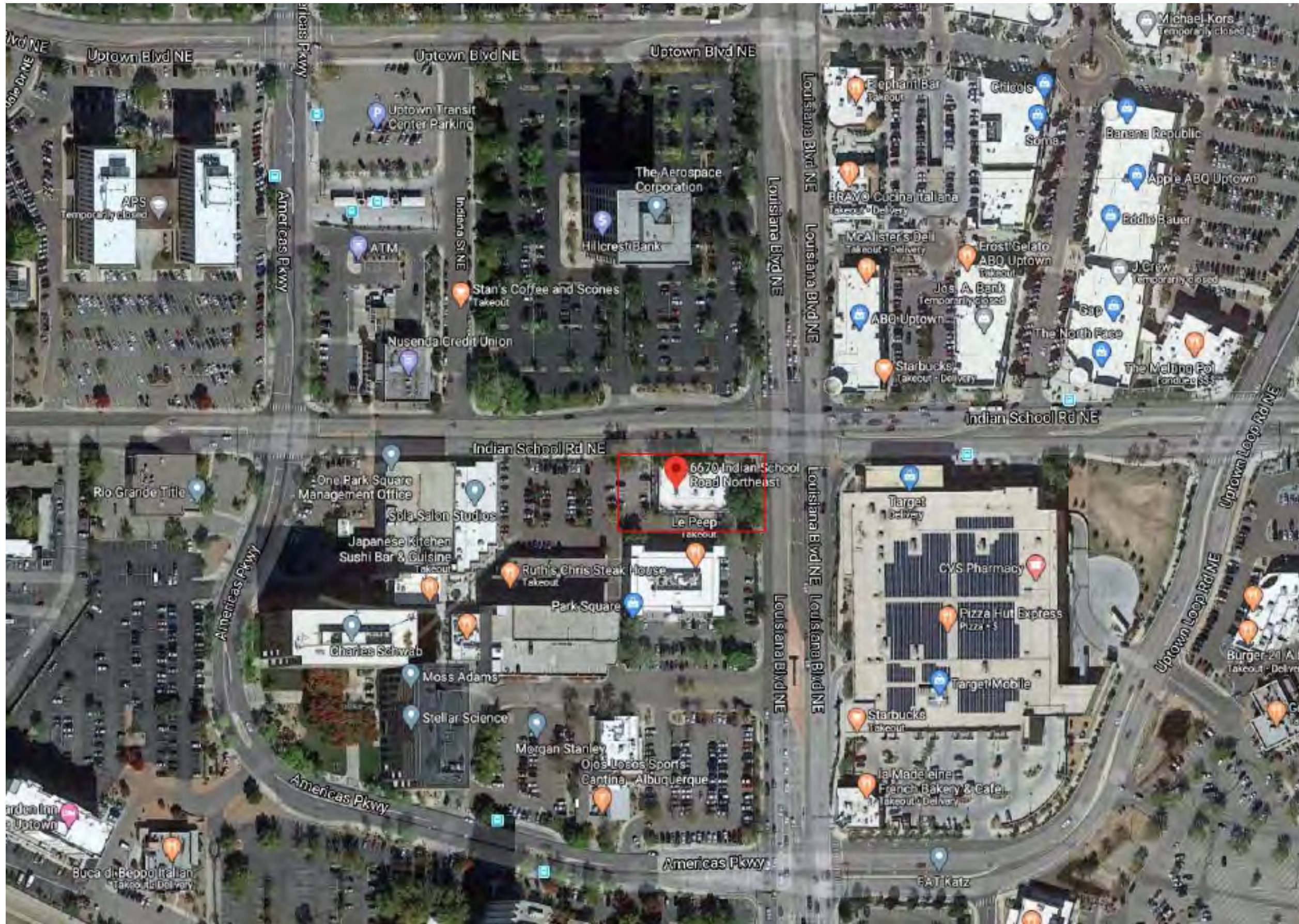
Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

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CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

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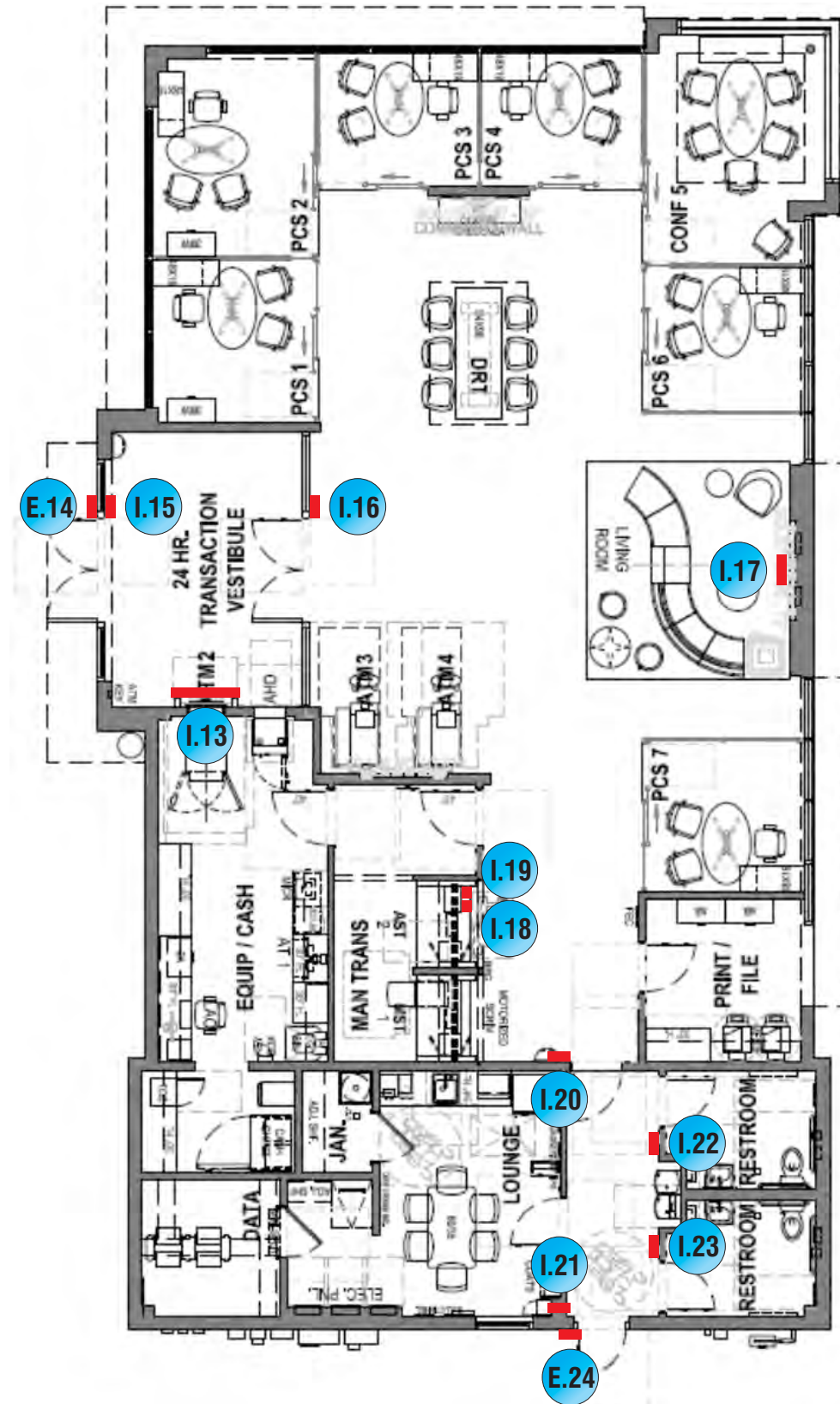
Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

Enlarged Aerial Site

INTERIOR SIGN LEGEND

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
	I.13	SUR-TTW-U-4-TP	Universal Thin-Profile ATM Surround	
	E.14	ADA-EP	ADA Accessible Entrance Plaque	
	I.15	ADA-EX	ADA Exit Plaque	
	I.16	ADA-EX	ADA Exit Plaque	
	I.17	OCT-24-INT	Illuminated Blue Bitro Interior Octagon	
	I.18	ADA-TW	ADA Accessible Teller Window Plaque	
	I.19	ADA-TW-ALS	ADA Assisted Listening System Plaque	
	I.20	ADA-EEX	ADA Emergency Exit Plaque	
	I.21	ADA-EEX	ADA Emergency Exit Plaque	
	I.22	ADA-RRAG-A-G	ADA Accessible All-Gender Restroom Plaque	
	I.23	ADA-RRAG-A-G	ADA Accessible All-Gender Restroom Plaque	
	E.24	ADA-EO	ADA Exit Only Plaque	



FLOOR PLAN **SCALE: 3/32" = 1'-0"**

DATE	DESIGNER
07/02/2020	MJB

DESIGN STANDARDS	HARDINESS ZONE	7B	(1) OFFICE SHALL RECEIVE DUAL MONITORS & ARMS FOR CPC OR FUTURE CPC.
20.2	OVERHEAD DOOR ACCEPTABLE *		

* HARDINESS ZONES >= 7A



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CUSTOMER APPROVAL

Customer Signature _____ Date _____
COPY, COLORS & SIZES

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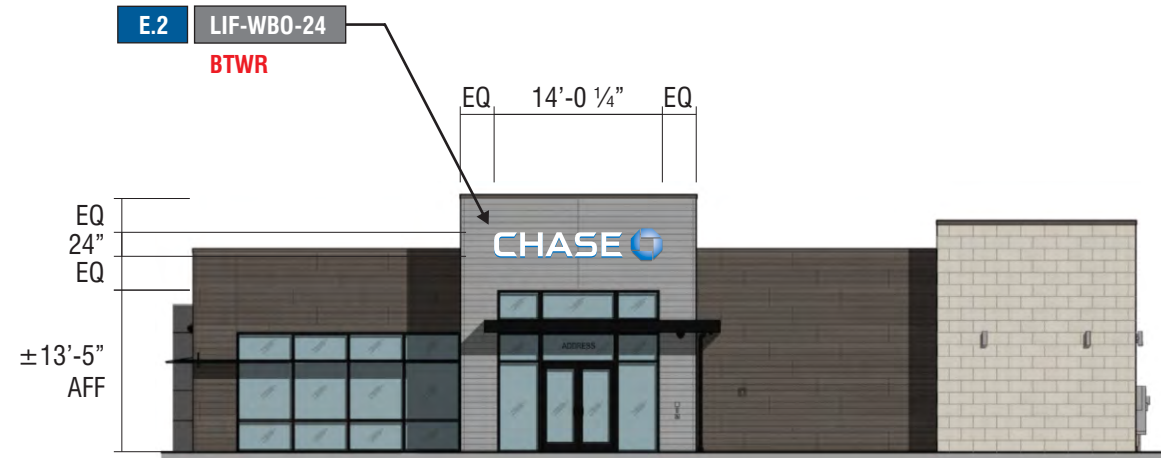
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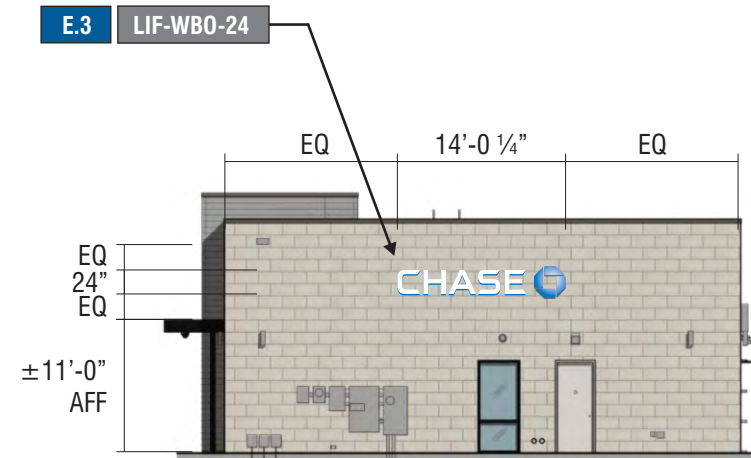
Revision: R4 - 10.02.20

Sign Legend / Floor Plan

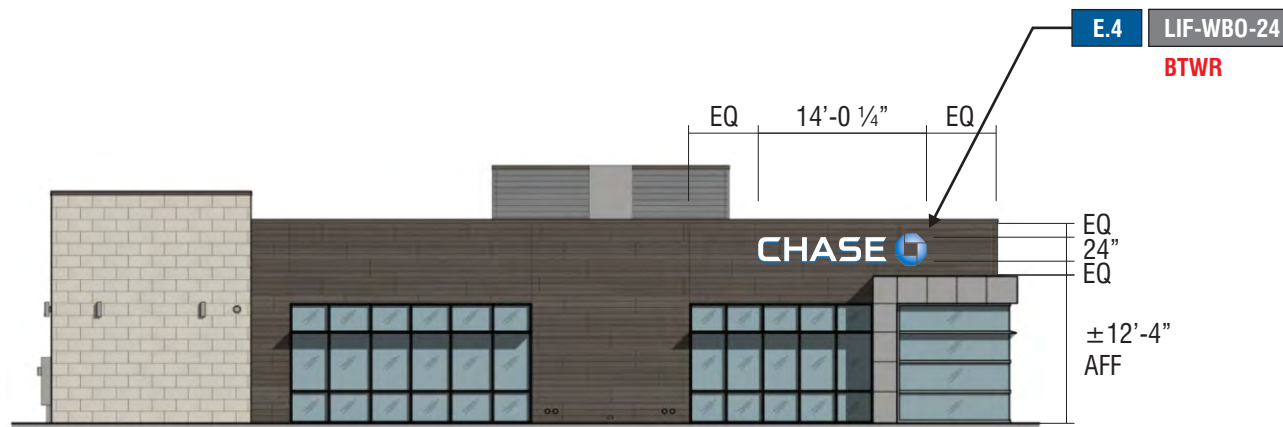
SIGNAGE OVERVIEW - ALLOWED



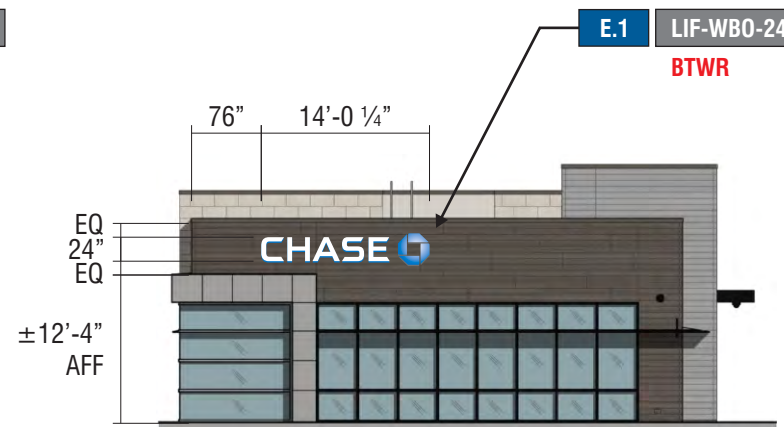
WEST ELEVATION SCALE: 1/16" = 1'-0"



SOUTH ELEVATION SCALE: 1/16" = 1'-0"



EAST ELEVATION SCALE: 1/16" = 1'-0"



NORTH ELEVATION SCALE: 1/16" = 1'-0"



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CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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Customer Signature _____ Date _____

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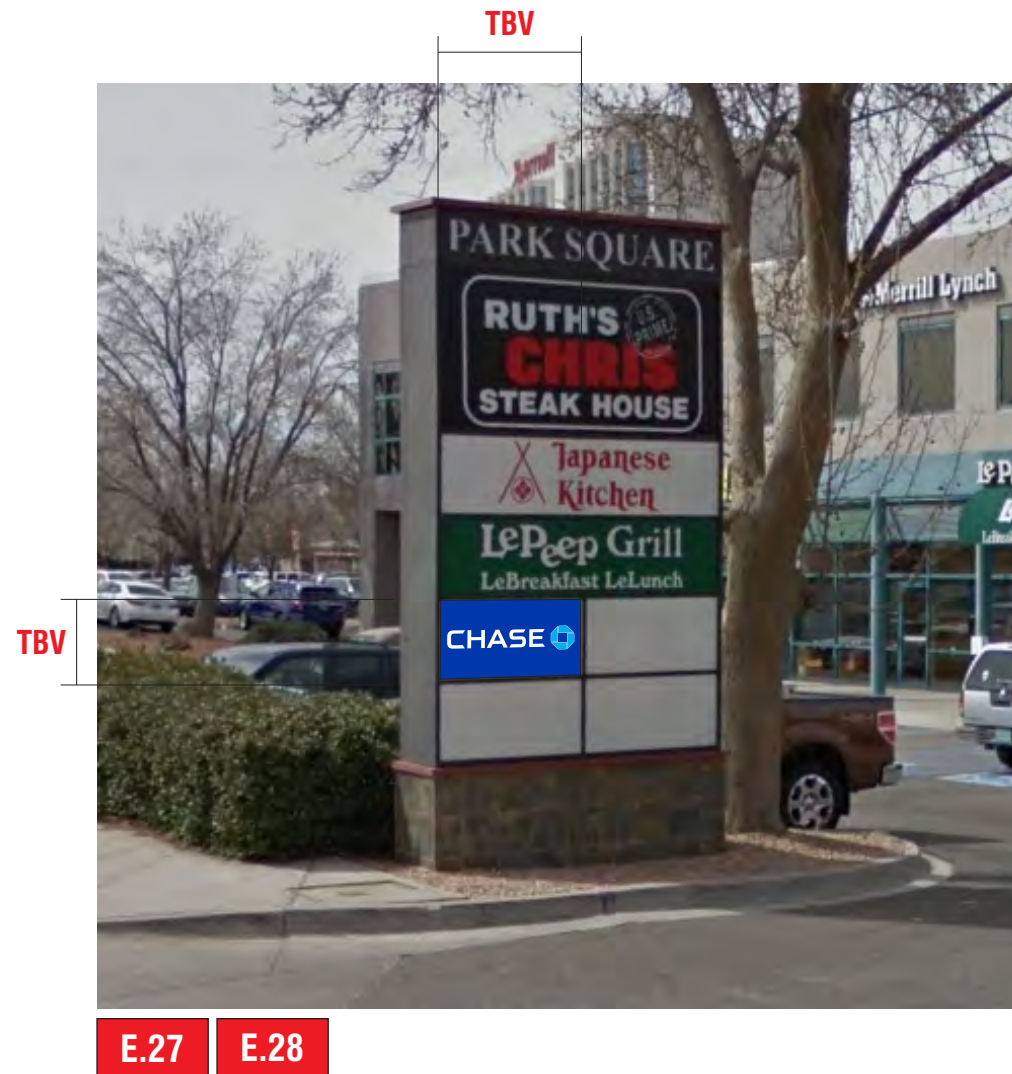
Revision: R4 - 10.02.20

Exterior Elevations

SIGNAGE OVERVIEW - ADDITIONAL APPROVAL REQUIRED



MONUMENT ON INDIAN SCHOOL RD NE SCALE: NTS



MONUMENT ON LOUISIANA BLVD NE SCALE: NTS

E.25 E.26 E.27 E.28

SIGN TYPE CUSTOM TENANT PANEL WITH MORE THAN TWO TENANTS WITH WHITE PLEX/LEXAN FACE AND VINYL



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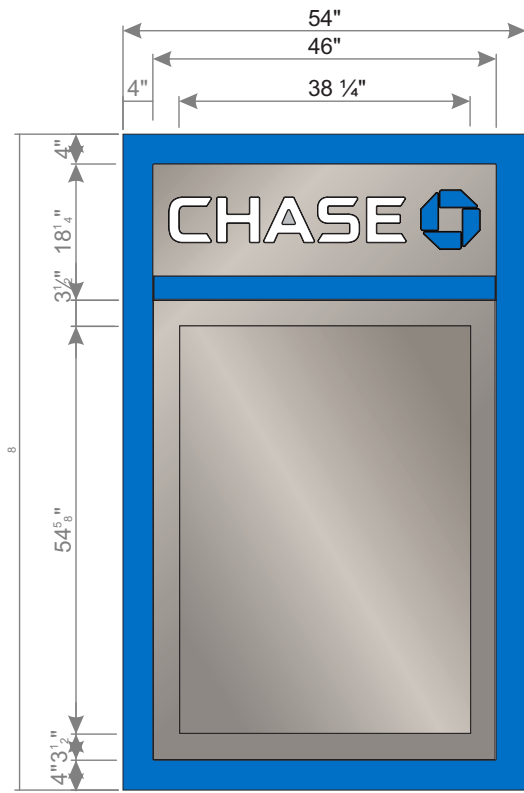
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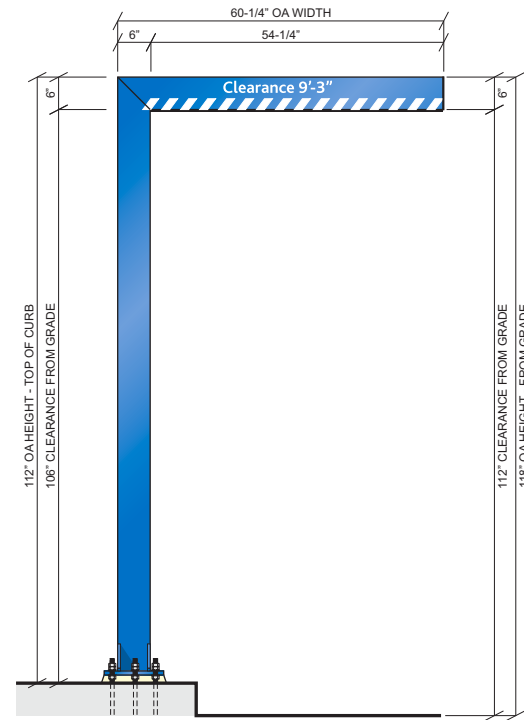
Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

SIGNAGE OVERVIEW



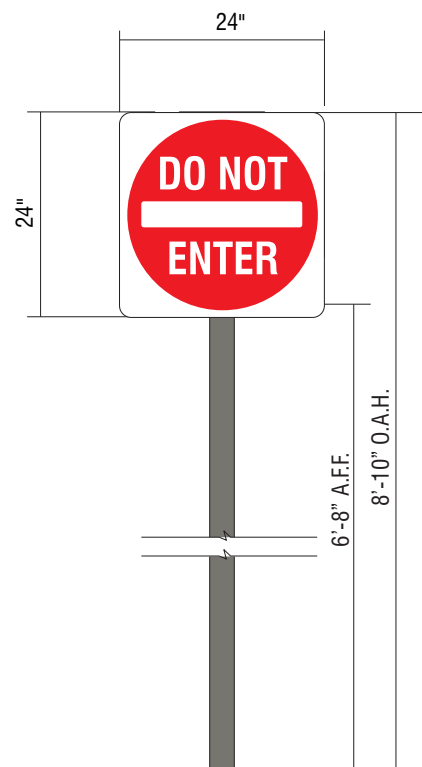
I.13 SIGN TYPE SUR-TTW-U-4-TP
THIN PROFILE



E.5 SIGN TYPE HB-U
SCALE: 1/4" = 1'-0"

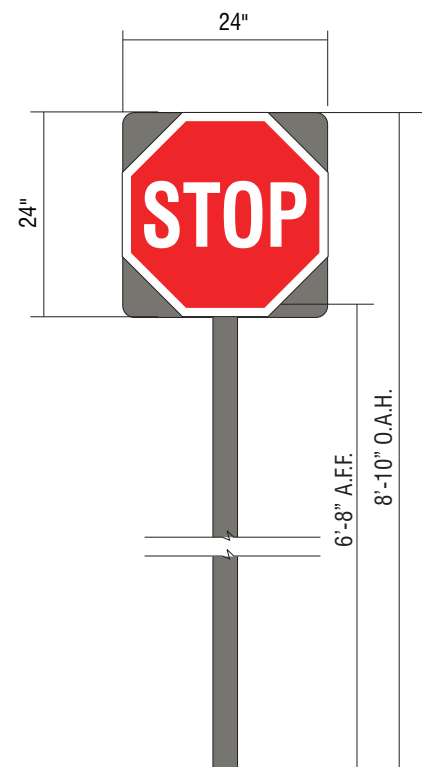


E.6 SIGN TYPE CAN-ATM-SIG-OCT
SCALE: 1/4" = 1'-0"

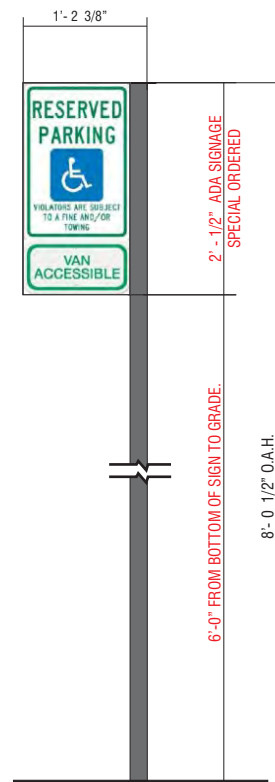


E.7 SIGN TYPE TC-P-STOP-DNE-DOT-RE

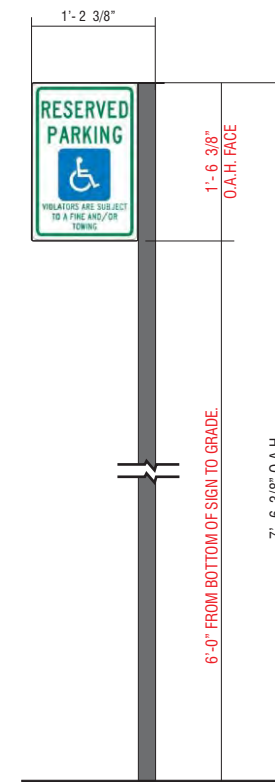
CUSTOM POST MOUNT D/F DOT STOP/DNE SIGN FACES



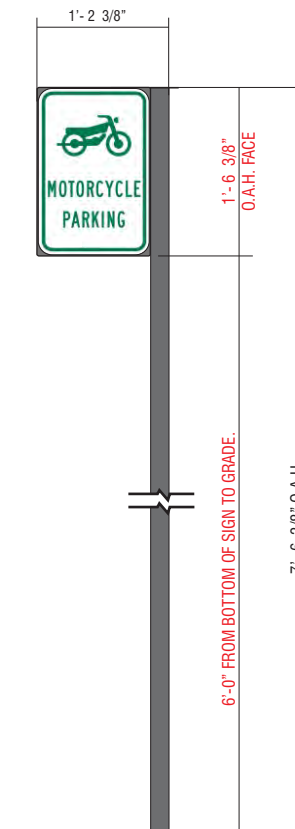
E.8 SIGN TYPE TC-P-STOP-DNE-DOT-RE



E.9 SIGN TYPE CUSTOM TC-P-ADA-NM-V-RE
CITY SPECIFIC



E.10 SIGN TYPE CUSTOM TC-P-ADA-NM-RE
CITY SPECIFIC



E.29 SIGN TYPE TC-P-MOTORCYCLE



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Indian School Rd NE &
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6670 Indian School Rd NE
Albuquerque, NM 87110

Initial Date: 08/10/20
Salesperson: Arthur Navarro
Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

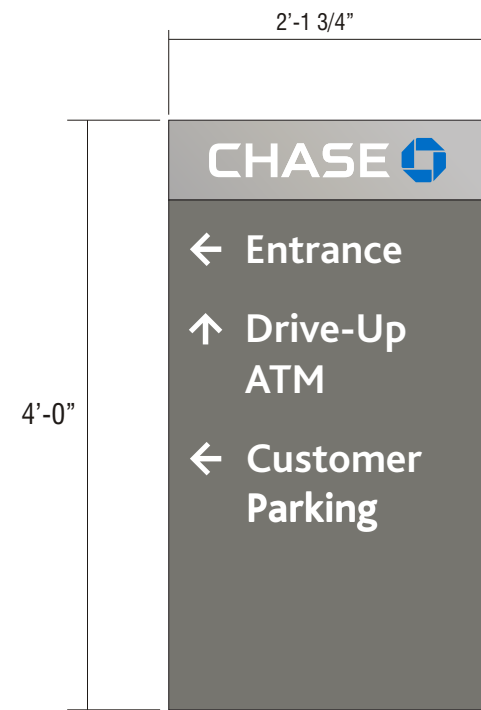
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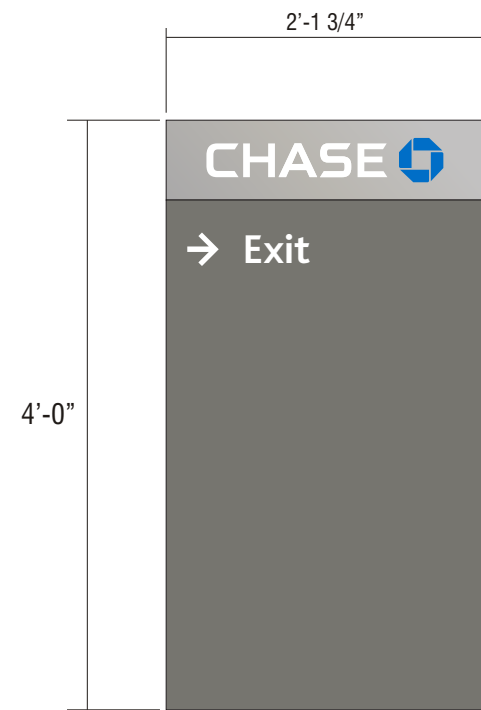
Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

SIGNAGE OVERVIEW

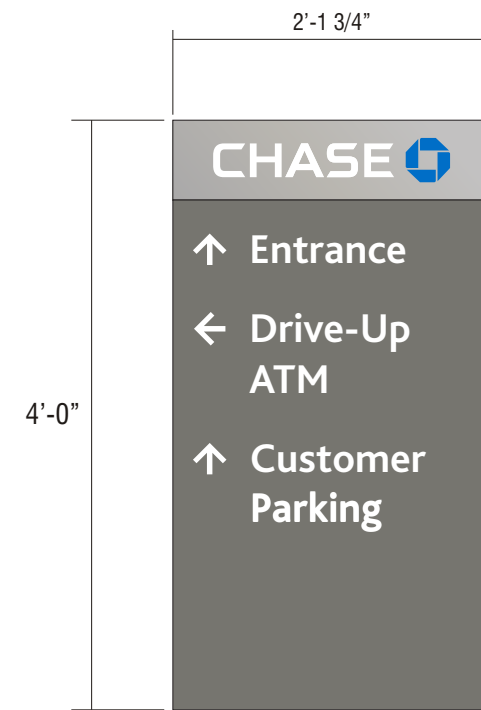


FRONT VIEW

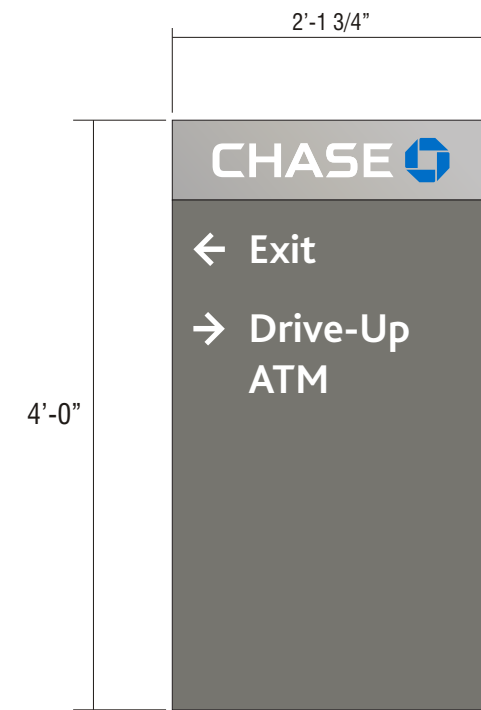


BACK VIEW

E.11 SIGN TYPE D-7.6-RE

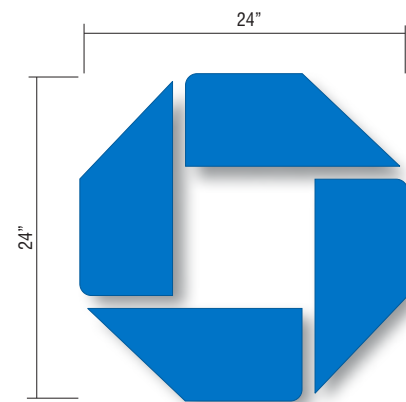


FRONT VIEW



BACK VIEW

E.12 SIGN TYPE D-7.6-RE



I.17 SIGN TYPE OCT-24-INT
BLUE BITRO



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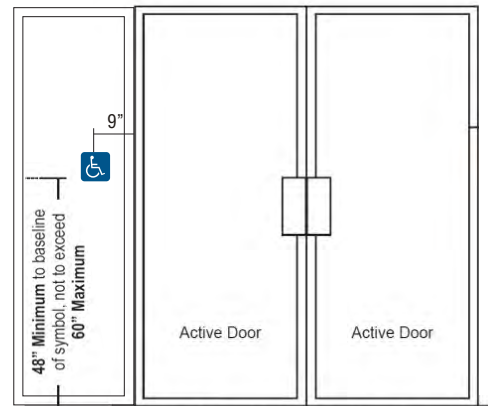
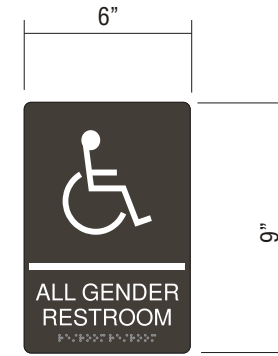
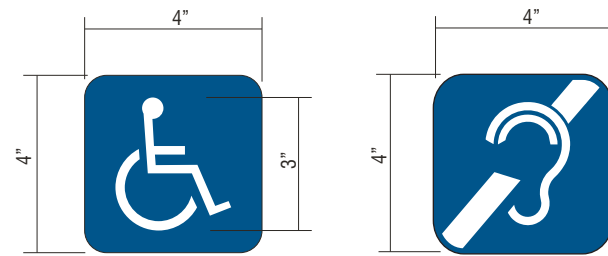
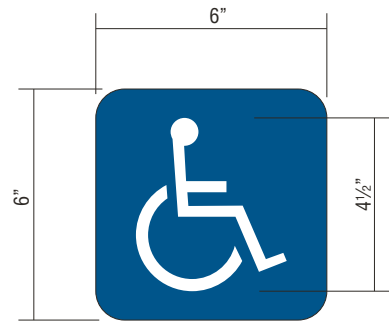
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Drawing Number: 20-01032

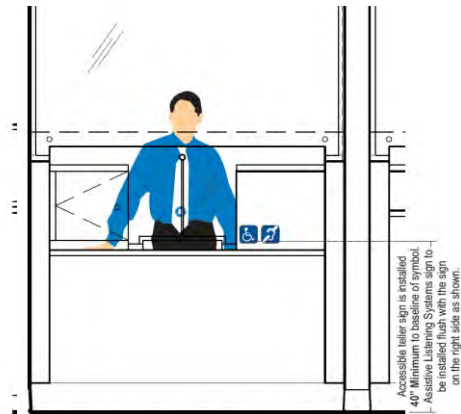
Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

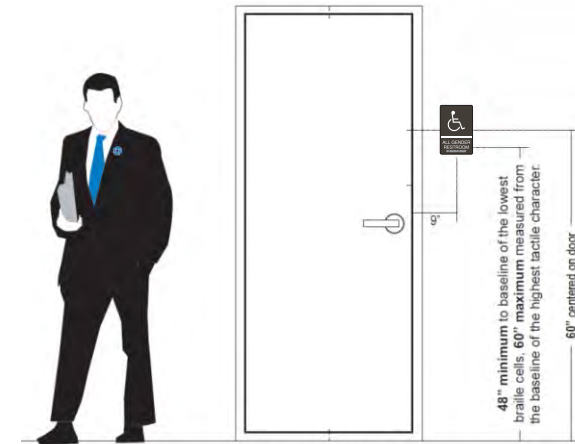
SIGNAGE OVERVIEW



Double door with both doors active, sign is mounted to the left of the left side door



Placement at Modular Teller Stations with Bullet-Resistant Glass



If latch is on right side of door, sign installed on right side

E.14

SIGN TYPE ADA-EP ACCESSIBILITY PLAQUE

I.18

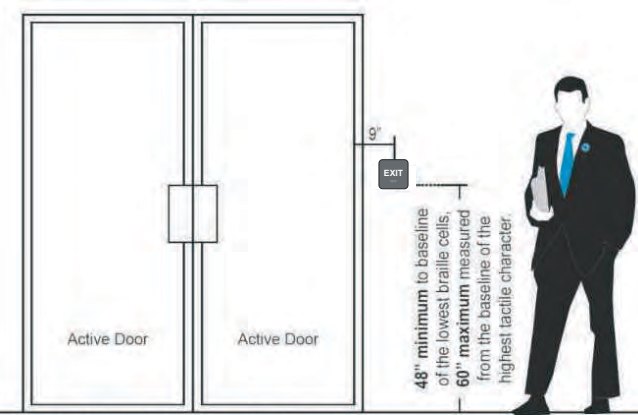
SIGN TYPE ADA-TW ACCESSIBLE TELLER PLAQUE

I.19

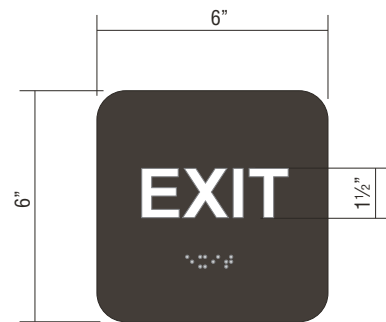
SIGN TYPE ADA-TW-ALS ASSISTED LISTENING SYSTEM PLAQUE

I.22 **I.23**

SIGN TYPE ADA-RRAG-A-G ALL-GENDER RESTROOM PLAQUES

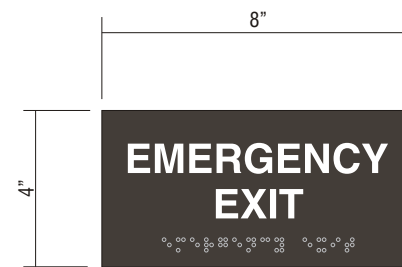


Double door with both doors active, sign is mounted to the right of the right hand door



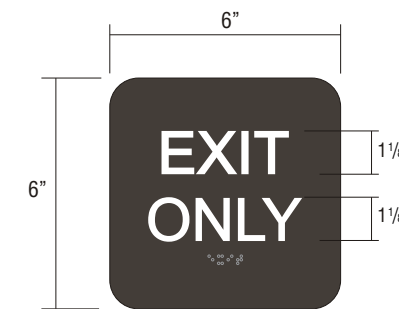
I.15 **I.16**

SIGN TYPE ADA-EX EXIT PLAQUE



I.20 **I.21**

SIGN TYPE ADA-EEX EMERGENCY EXIT PLAQUE



E.24

SIGN TYPE ADA-EO EXIT ONLY PLAQUE



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CUSTOMER APPROVAL

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COPY, COLORS & SIZES

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RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20



CITY OF ALBUQUERQUE INVOICE

CUMULUS DESIGN

2080 N. HIGHWAY

Reference NO: SI-2021-01129

Customer NO: CU-120002707

Date	Description	Amount
7/22/21	2% Technology Fee	\$1.00
7/22/21	Application Fee	\$50.00

Due Date: **7/22/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 7/22/21
Amount Due: \$51.00
Reference NO: SI-2021-01129
Payment Code: 130
Customer NO: CU-120002707

CUMULUS DESIGN
2080 N. HIGHWAY
TEXAS, TX 75050



130 0000SI20210112900099355114042781100000000000005100CU120002707