



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: KMD Albuquerque LLC		Phone:
Address: 2424 N. Federal Hwy #101		Email: jake@9mileinvestments.com
City: Boca Raton	State: Texas	Zip: 75050
Professional/Agent (if any): Cumulus Design		Phone: 214.235.0367
Address: 2080 North Highway 360 Suite #240		Email: carlos@cumulusdesign.net
City: Grand Prairie	State: FL	Zip: 33431
Proprietary Interest in Site:	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

The current plan is to demolish the existing building and redevelop the site into a Financial Center with drive-up atm.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TRACT 1-D-1A1	Block:	Unit:
Subdivision/Addition: PARK SQUARE ADDITION	MRGCD Map No.:	UPC Code: 101805850751811622
Zone Atlas Page(s): J-18	Existing Zoning: MX-H	Proposed Zoning: MX-H
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.762

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 6670 INDIAN SCHOOL RD NE	Between: LOUISIANA BLVD	and: AMERICAS PKWY
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

EPC-1008660, 1008660, Z-1461, V-8949

Signature:	Date: 4/5/21
Printed Name: CARLOS IGLESIAS	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00 470	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2020-00 486 4

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 4/5/21
Printed Name: Carlos Iglesias	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number: PR-2020-004864	Case Numbers SI-2021-00470
Staff Signature:	
Date:	

April 6, 2021

Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque NM 87102

RE: Justification Letter
6670 Indian School Rd NE
Albuquerque, NM 87110

Dear Sir or Madam,

Please accept this letter as a request for approval of an Administrative Amendment to the Park Square Site Development Plan for Building Permit for the Construction of a Chase Bank at 6670 Indian School Rd NE Albuquerque, NM. As explained below and demonstrated with the submitted plans, we believe this request is within the thresholds of a minor amendment approval since the change meets all of the original requirements of the approved SDP for Park Square, the proposed bank building gross square footage is 63.9% less than the originally approved gross square footage for the Pier 1 Imports building, and the new bank building also meets the current design requirements of the Integrated Development Ordinance for Urban Centers and the Development Process Manual.

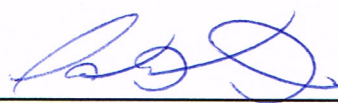
The intent is to redevelop the existing abandoned Pier 1 Imports retail store into a Financial Center with one drive-up ATM. The existing 0.762-acre site is fully developed and has a 9,332 S.F. one-story building, with 32 parking spaces to include two ADA accessible parking spaces.

The client intends to demolish the existing structure and convert the site into a 3,361 S.F. one-story Financial Center with one ATM drive-thru lane. The site will be modified to meet current codes for parking, ADA accessibility, lighting, etc. When completed, the site will provide 38 parking spaces with two ADA accessible space, two-motorcycle parking spaces and a bicycle rack that can accommodate six bicycles. The client is also adding an ADA access ramp along Indian School Road NE and Louisiana Boulevard.

The Administrative Amendment submittal seeks elevations approval for the proposed Chase Bank building. The façade elements meet or exceed original approved Site Plan for Pier 1 Imports and comply with the URBAN CENTER (UC) regulation of the IDO. Additionally, we seek approval for signage elevations for the proposed Chase Bank.

Thank you in advance for your review and consideration. Should you have any questions or need additional information, contact me at carlos@cumulusdesign.net or by phone at 214.235.0367 ext:111.

Sincerely,

Signature:  _____

Carlos J. Iglesias

Date: 4/6/2021

April 5, 2021

City of Albuquerque
Planning Department
Attn: Mr. Brennon Williams-Director
600 2nd St NW- 3rd Floor
Albuquerque, NM 87102

RE: 6670 Indian School Rd NE
Albuquerque, NM 87110

Dear Mr. Williams:

As the Property Owner, I authorize Cumulus Design to act as agent on matters pertaining to any and all submittals to the City of Albuquerque regarding the above referenced property.

KMD ALBUQUERQUE LLC

Print Name



Signature

PETER A. LENZ

ASSET MANAGER / PARTNER

Title

4/06/2021

Date

SITE PLAN CHECKLIST

Project #: Indian School Rd Chase Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 4/5/21

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- N/A E. Off-Street Loading
 - U/A 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- U/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

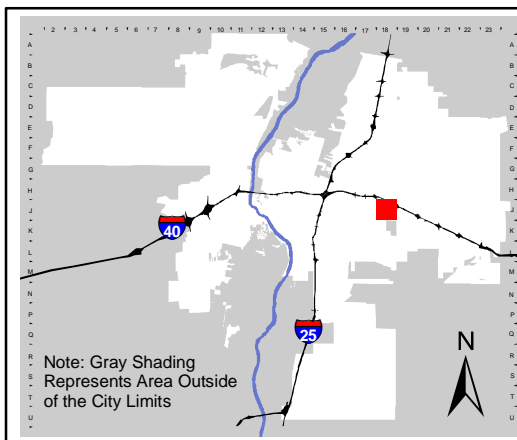
- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



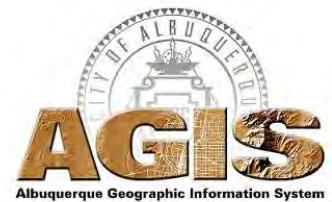
For more current information and details visit: www.cabq.gov/gis



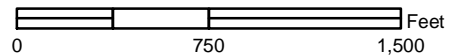
Address Map Page:

J-18-Z

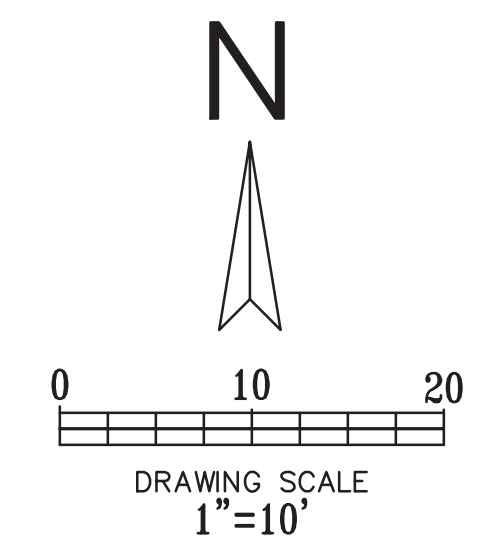
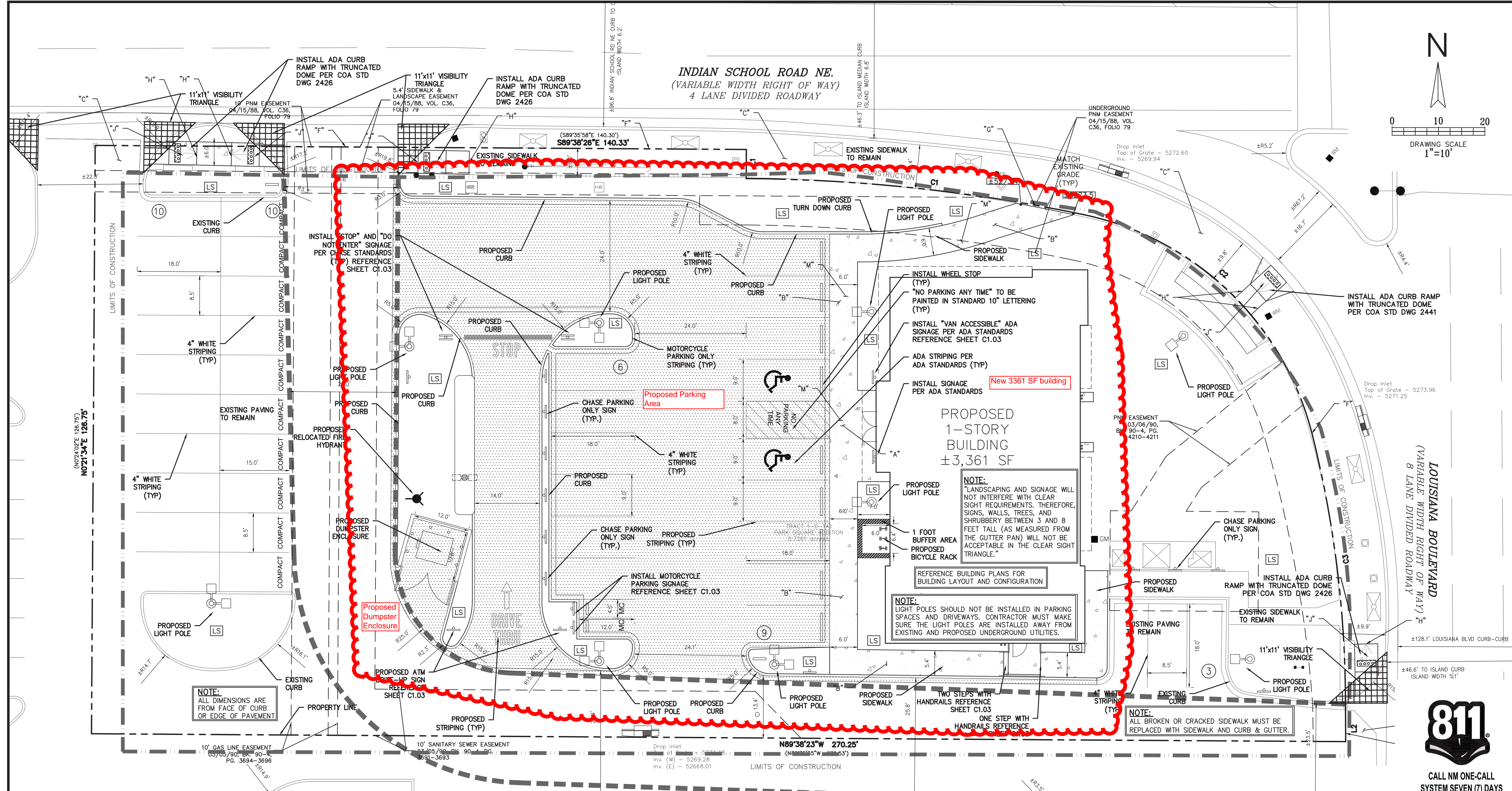
Map Amended through:
3/17/2017



These addresses are for informational purposes only and are not intended for address verification.



Note: Gray Shading Represents Area Outside of the City Limits



NOTE:
 ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

NOTE:
 "LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE."

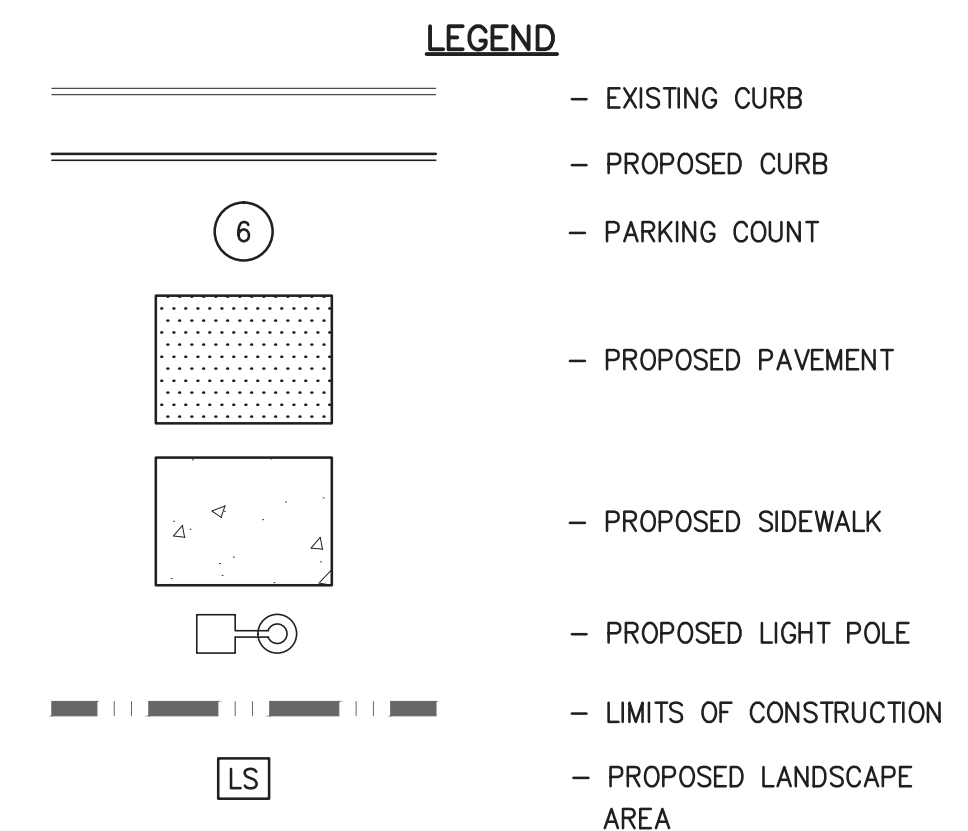
NOTE:
 LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

NOTE:
 ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	36 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	4/5 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
 - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
 - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
 - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
 - WALKWAY VARIABLE (4' MINIMUM).
 - PROPERTY LINE.
 - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
 - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
 - CONTRACTION JOINTS.
 - FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
 - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
 - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
 - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
 - FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
 - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
 - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
 - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
 - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.



THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVET CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSF, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00'11"00.11" NMSF, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

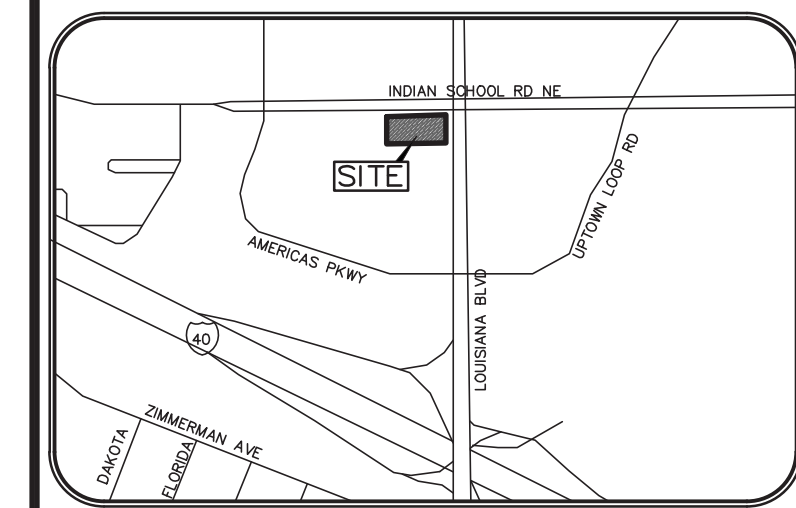
CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



VICINITY MAP
 ZONE ATLAS MAP J-18
 NTS

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 19, 2020

Paul Cragun, P.E.
Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, TX 75050

**RE: Chase Bank – Indian School Rd.
6670 Indian School Rd. NE
Grading and Drainage Plans
Engineer’s Stamp Date: 11/09/20
Hydrology File: J18D001C**

Dear Mr. Cragun:

Based upon the information provided in your submittal received 11/09/2020, the Grading and Drainage Plans are approved for Building Permit and action by the DRB on Site Plan for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

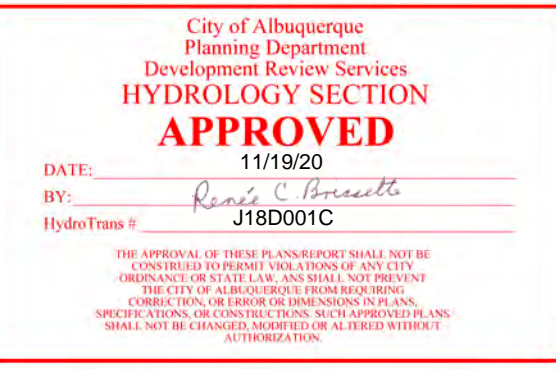
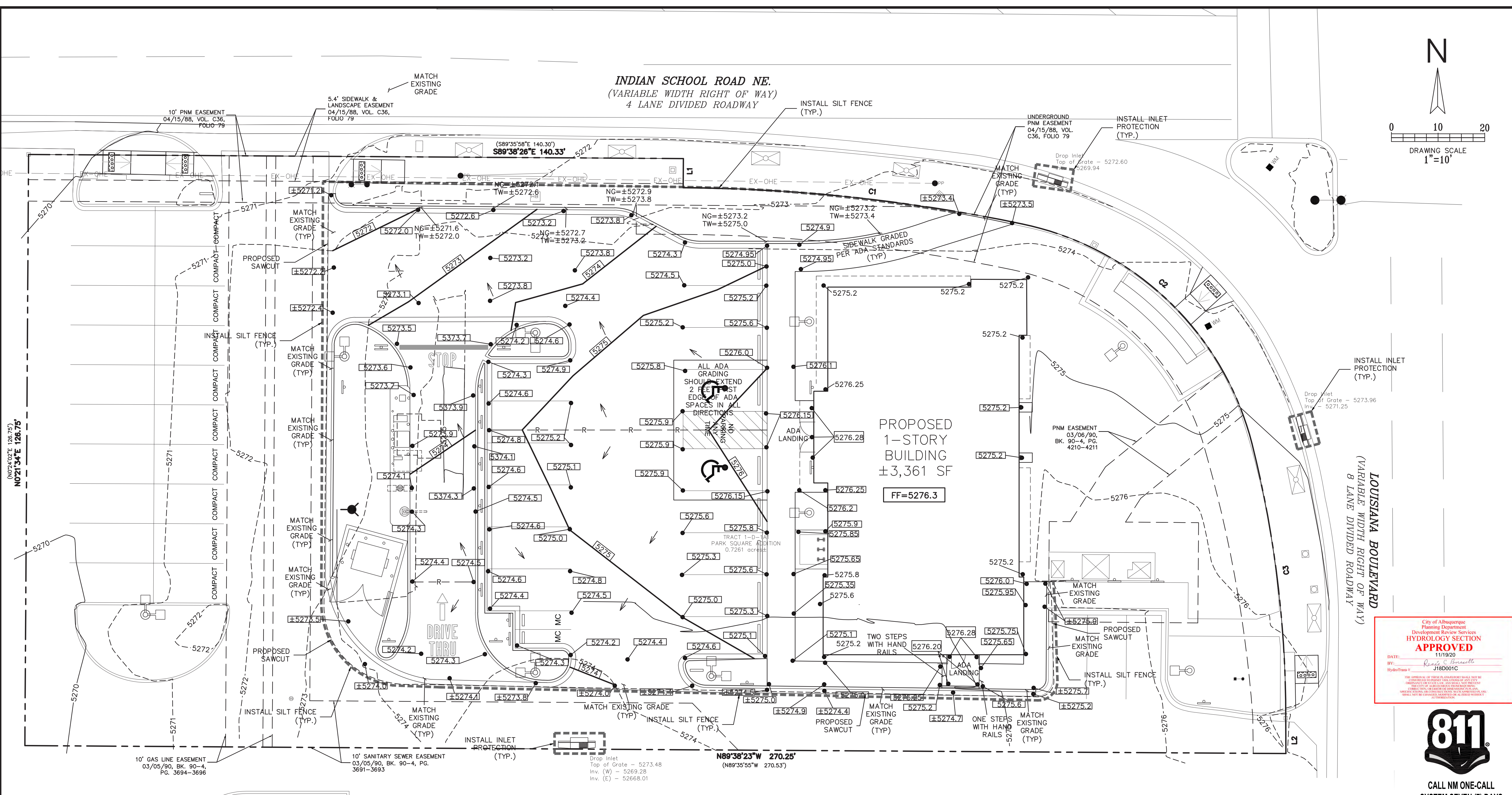
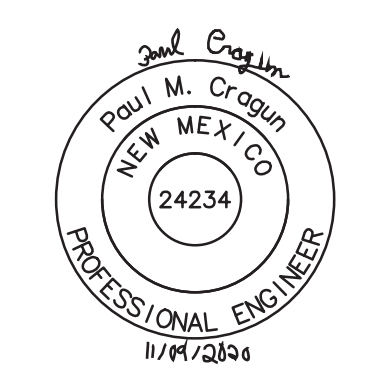
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner’s certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

The Payment in Lieu payment of **\$2,028.80** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form. Once the Owner paid the fee, please provide Hydrology with a copy of the receipt.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

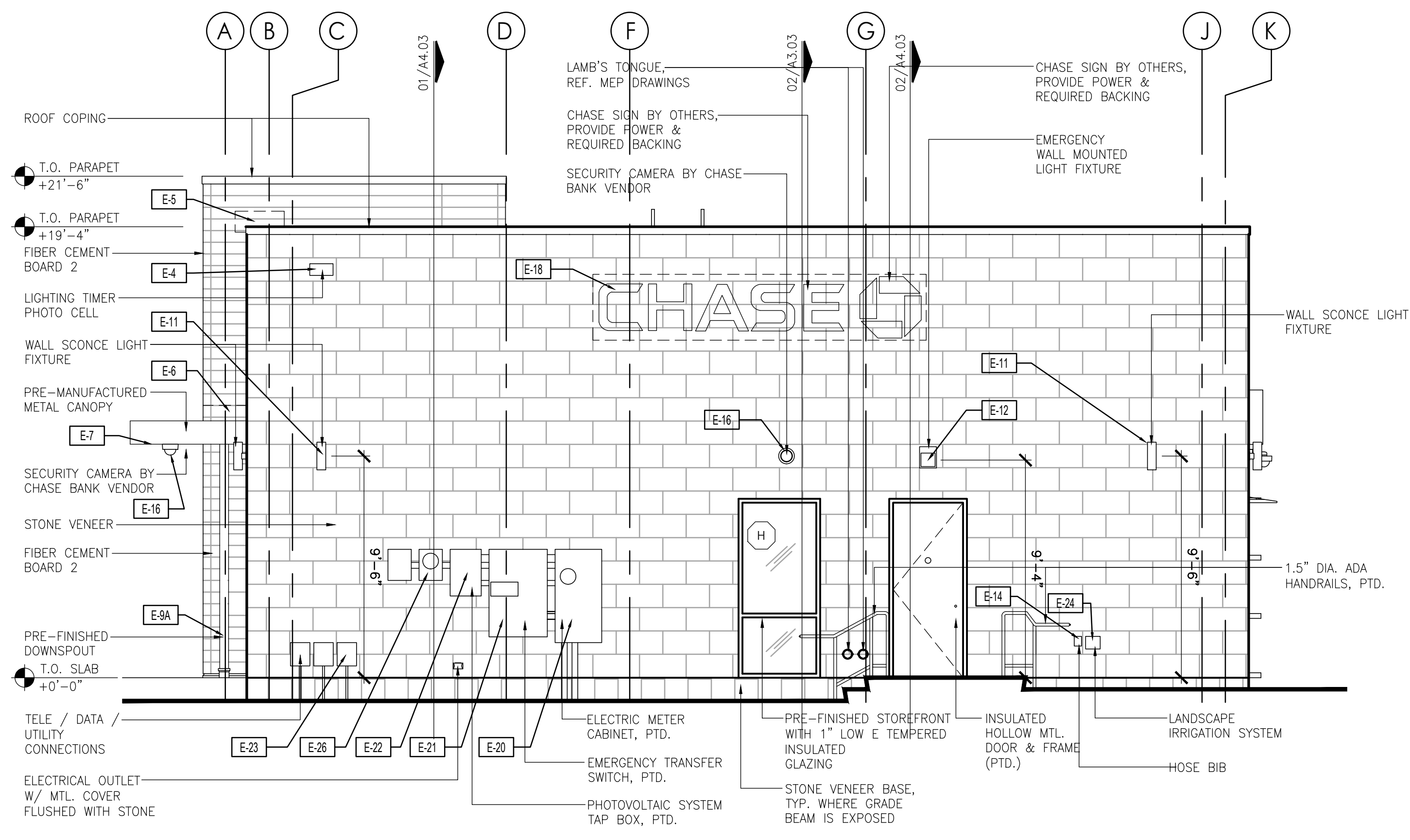
Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

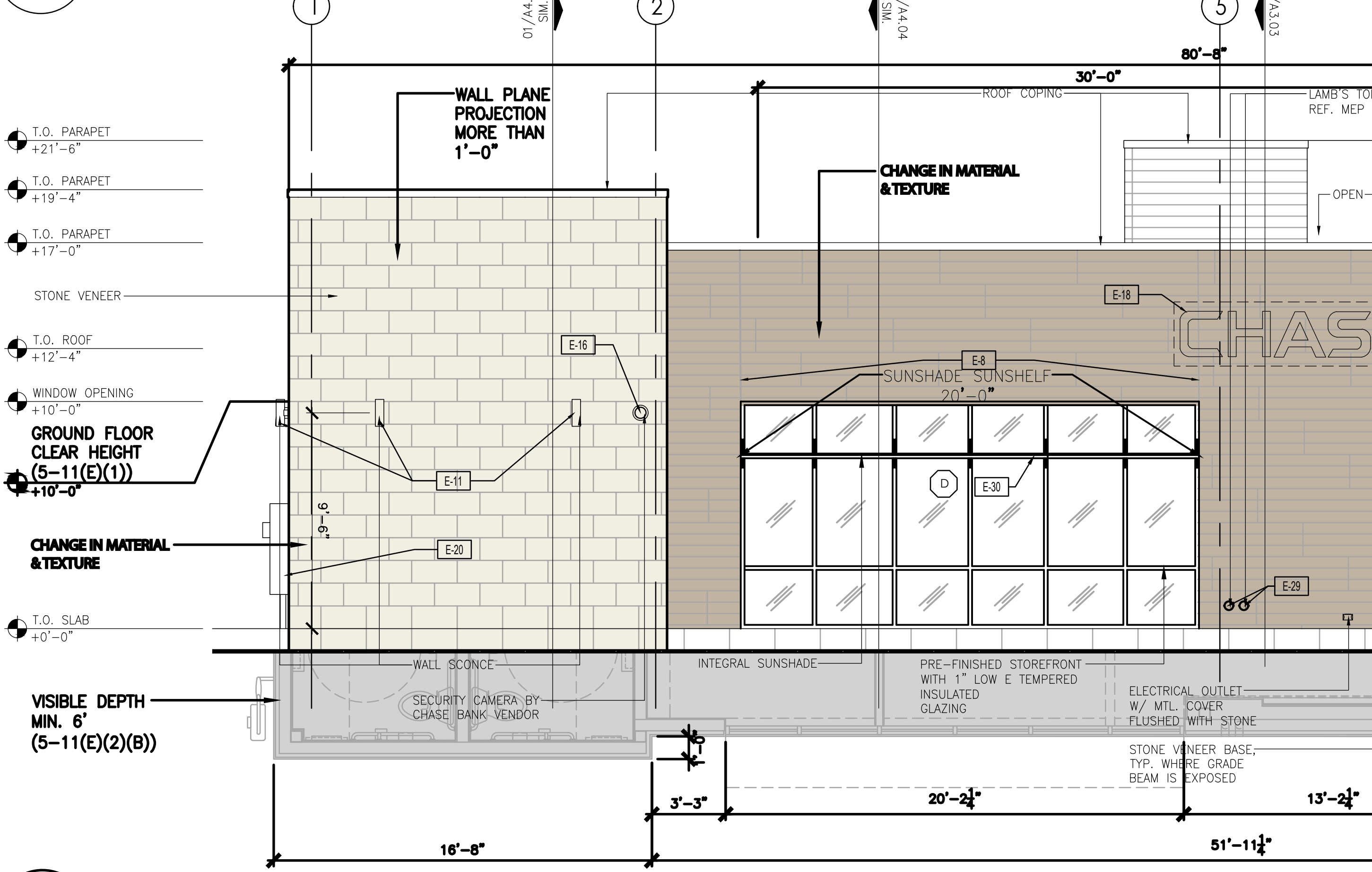


CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

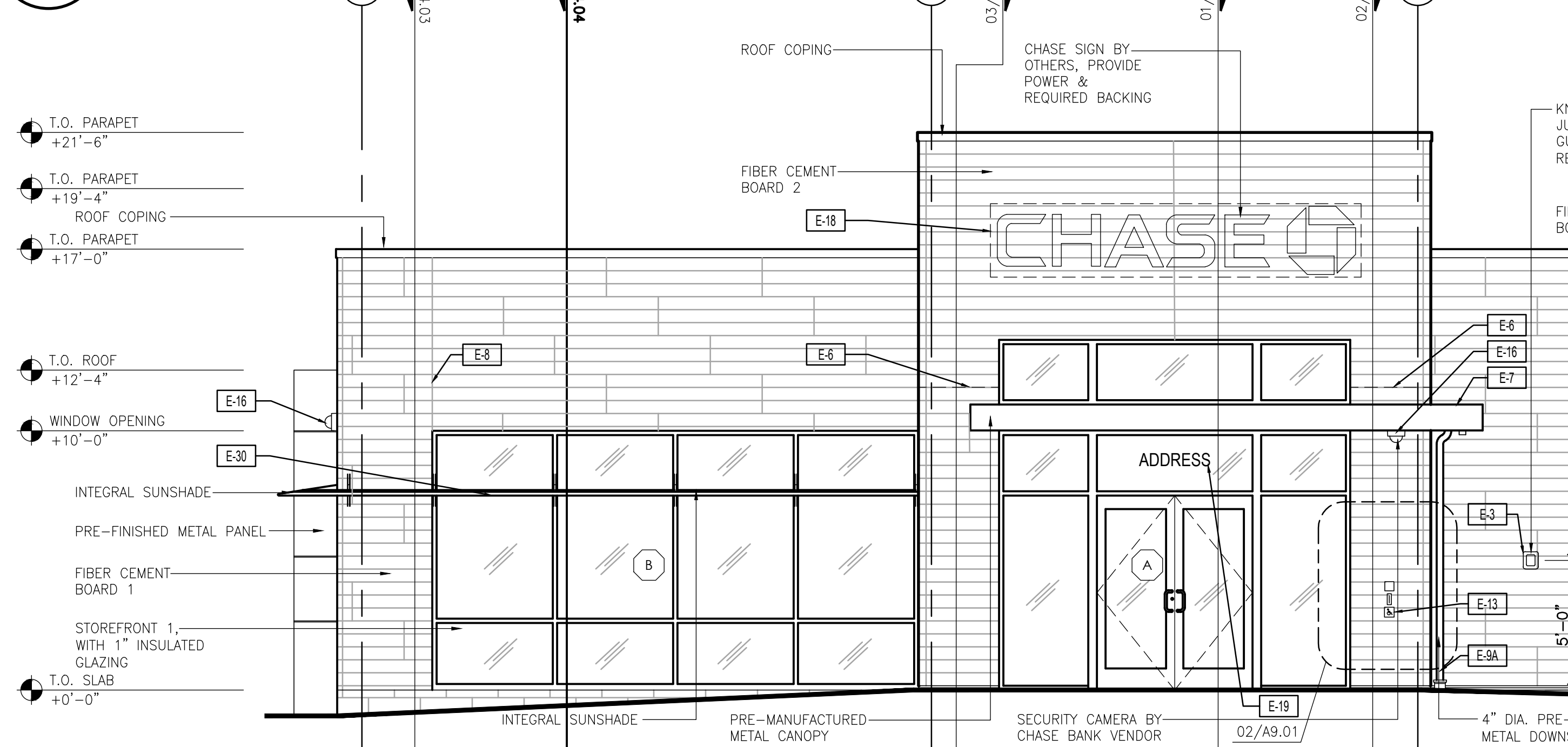
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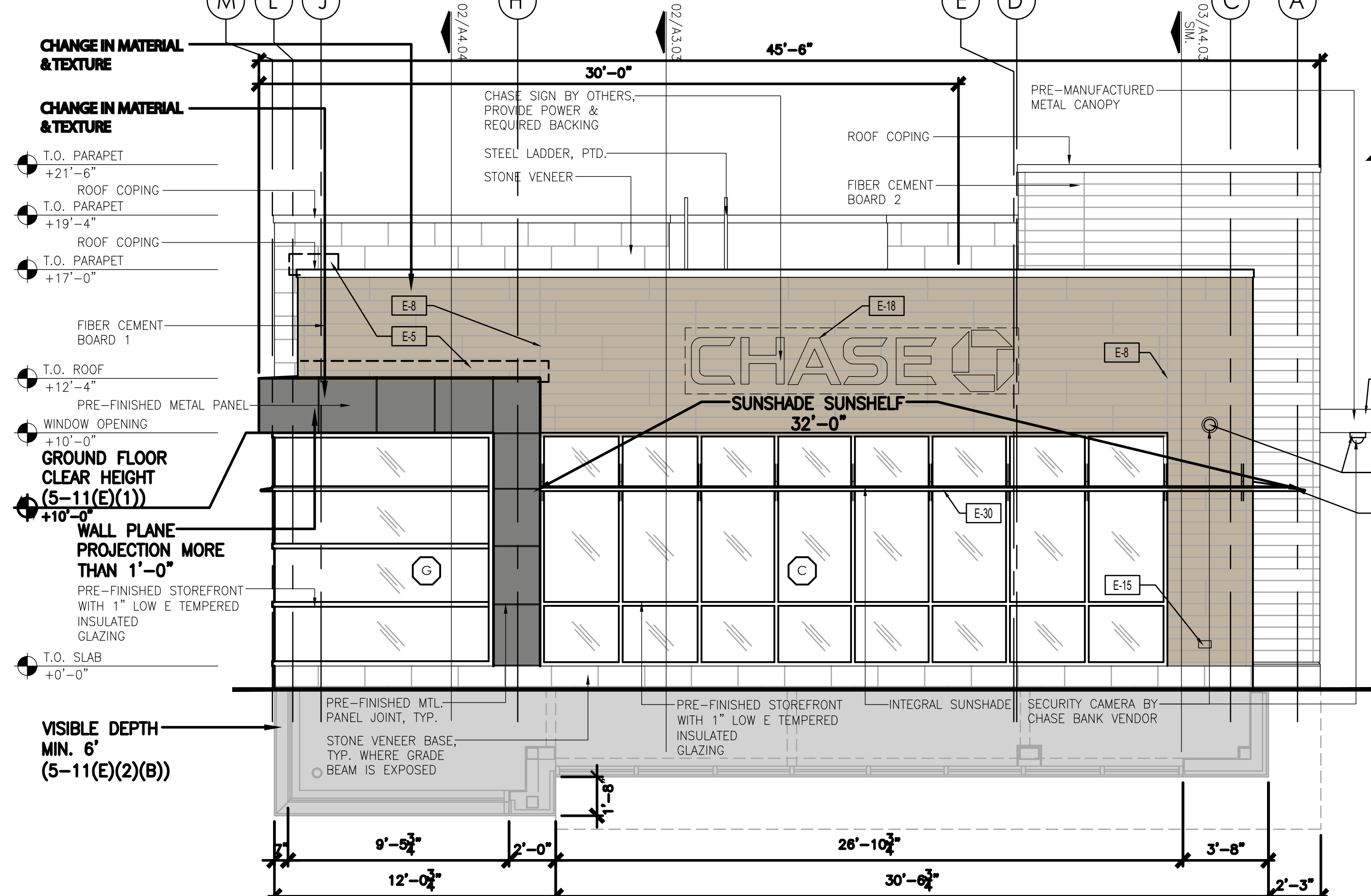
03 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



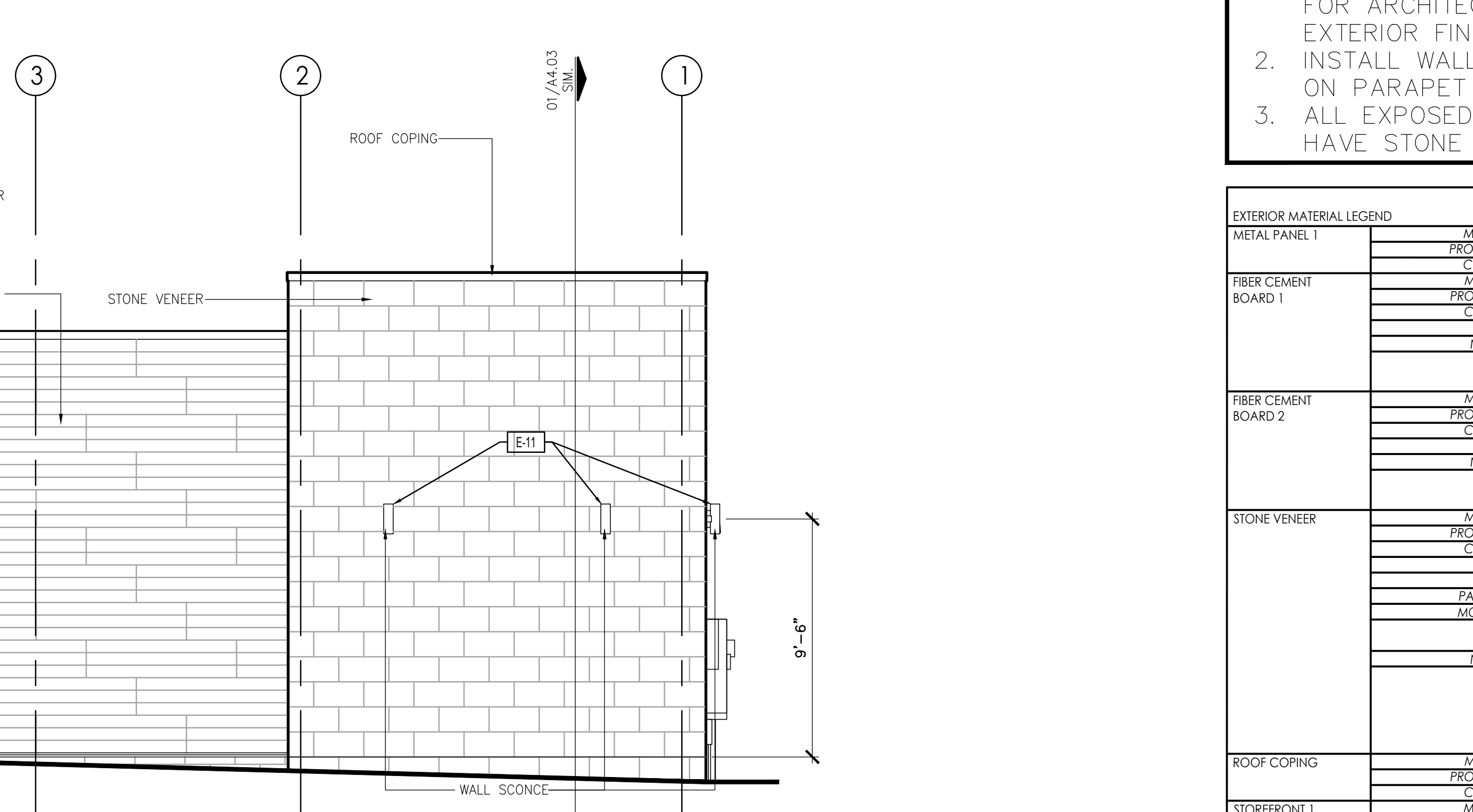
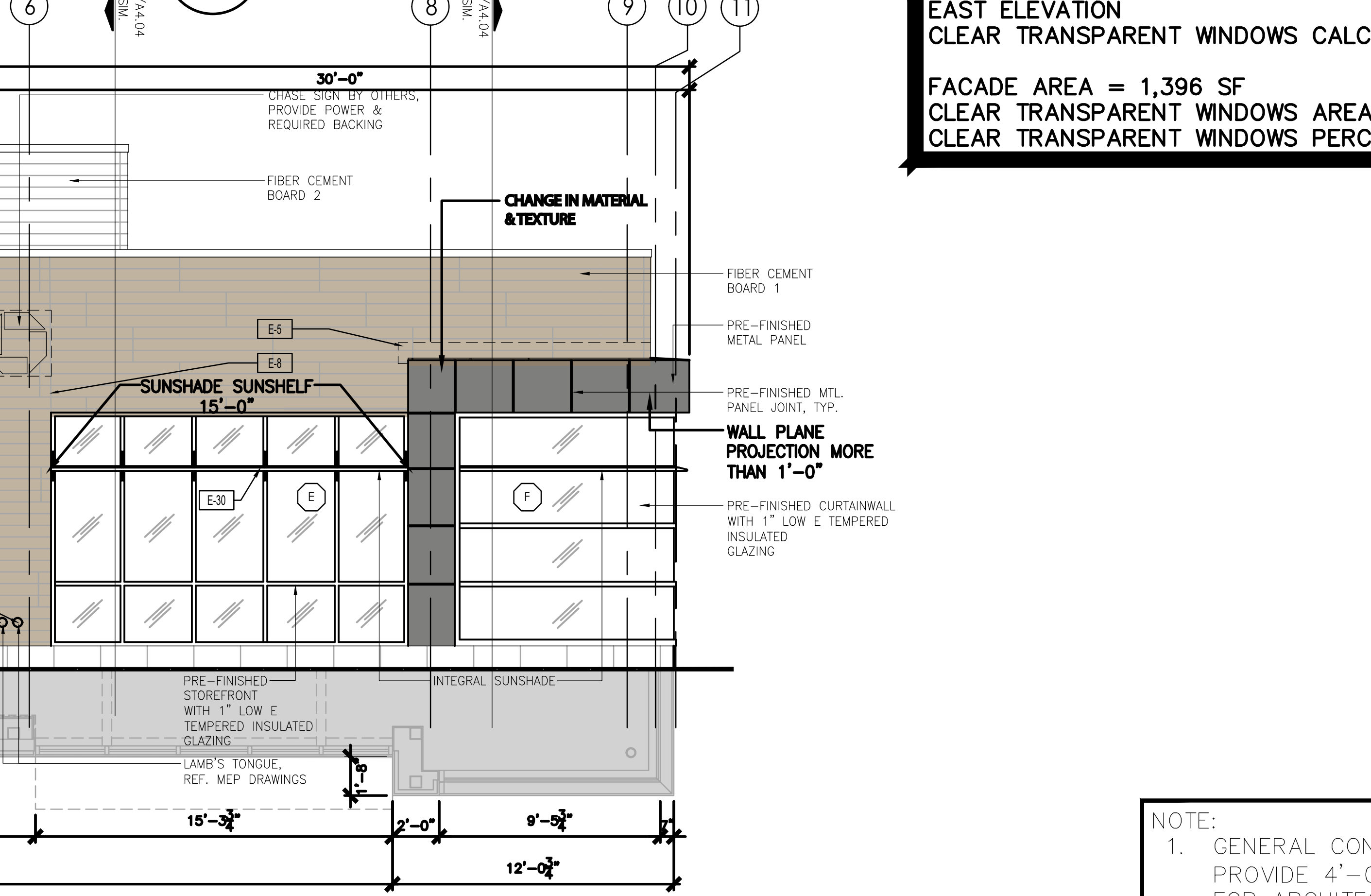
02 EAST ELEVATION - LOUISIANA ROAD
SCALE: 1/4"=1'-0"



01 WEST ELEVATION
SCALE: 1/4"=1'-0"



04 NORTH ELEVATION - INDIAN SCHOOL ROAD
SCALE: 1/4"=1'-0"



NORTH ELEVATION CLEAR TRANSPARENT WINDOWS CALCULATION
 FACADE AREA = 707 SF
 CLEAR TRANSPARENT WINDOWS AREA = 361 SF
 CLEAR TRANSPARENT WINDOWS PERCENTAGE = 51%

EAST ELEVATION CLEAR TRANSPARENT WINDOWS CALCULATION
 FACADE AREA = 1,396 SF
 CLEAR TRANSPARENT WINDOWS AREA = 449 SF
 CLEAR TRANSPARENT WINDOWS PERCENTAGE = 31%

NOTE:
 1. GENERAL CONTRACTOR TO PROVIDE 4'-0" X 4'-0" MOCK-UP FOR ARCHITECT & DEVELOPER EXTERIOR FINISH APPROVAL.
 2. INSTALL WALL MOUNTED SENSORS ON PARAPET SIDE OF PARAPET.
 3. ALL EXPOSED GRADE BEAM TO HAVE STONE VENEER FINISH.

ELEVATION NOTES	
E-1	CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS.
E-2	CONCRETE CURBS AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN
E-3	EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY. RECESS/INSET IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION.
E-4	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS
E-5	METAL FLASHING AND COUNTER FLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
E-6	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING CONCEALED BEHIND WALL FINISH. REFER TO WALL SECTIONS AND DETAILS. COLOR TO MATCH EPT-4. VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS
E-7	ENTRANCE / ATM CANOPY: SHOP FABRICATED SITE-ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPARED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPIES SUPER LUMBEREK WITH FLAT SOFFIT AND 12" FASCIA, OR APPROVED EQUAL. REFER TO ROOF PLAN AND WALL SECTIONS. INSTALLED BY G.C.
E-8	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH VENEER. MATCH SEALANT COLOR TO VENEER COLOR
E-9A	SMALL CANOPY DOWNSPOUT/OVERFLOW: 3" DIAM ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM. REFER TO SITE PLAN
E-9B	LARGE CANOPY DOWNSPOUT/OVERFLOW: ROUND ALUMINUM DOWNSPOUT. SIZED AS REQUIRED. WITH ATTACHMENT HARDWARE AS REQUIRED. PAINTED TO MATCH ADJACENT WALL/COLUMN FINISH. SPLASH TO CONCRETE DRIVE UP ISLAND
E-10	SCUPPER: REFER TO ROOF PLAN
E-11	SURFACE MOUNT DECORATIVE LIGHT FIXTURE: REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
E-12	SURFACE MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT. REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE
E-13	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE MOUNT
E-14	HOSE BIB: SET FLUSH WITH FACE OF MASONRY VENEER. REFER TO PLUMBING FIXTURE SCHEDULE
E-15	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER. PROVIDE METAL COVER COMPLIANT WITH N.E.C.
E-16	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNERS SECURITY CONSULTANT DRAWINGS
E-17	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR. COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA
E-18	SIGNAGE: BY OWNERS SIGN VENDOR. N.I.C. PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION
E-19	BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM. MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE
E-20	ELECTRICAL SERVICE CT / METER CABINET: REFER TO ELECTRICAL DRAWINGS
E-21	EMERGENCY TRANSFER SWITCH: REFER TO ELECTRICAL DRAWINGS
E-22	PHOTOVOLTAIC SYSTEM FUSED DISCONNECT SWITCH: REFER TO ELECTRICAL DRAWINGS
E-23	TELE DATA / UTILITY CONNECTIONS: REFER TO ELECTRICAL DRAWINGS
E-24	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN AND ELECTRICAL PLAN
E-25	GAS METER: REFER TO SITE PLAN AND PLUMBING DRAWINGS
E-26	FUTURE PHOTOVOLTAIC SYSTEM DISCONNECT SWITCH AND PERFORMANCE METER: REFER TO ELECTRICAL DRAWINGS
E-27	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
E-28	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
E-29	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND DESIGN INTENT ARCHITECTURAL SITE PLAN
E-30	SUN SHADE: GLAZING SYSTEM MANUFACTURERS STANDARD INTEGRAL SHADE ACCESSORY. REFER TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH BASIS OF DESIGN IS KAWNEER VERSOLEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES
E-31	ROLLARD: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN

EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF: ALCOA ARCH PRODUCTS PRODUCT: REYNOLBOND COLOR: CHASE/CLASS 300 CHASE PROGRAM SILVER
FIBER CEMENT BOARD 1	MANUF: NICHHA PRODUCT: VINTAGE WOOD AWP 1818 COLOR: BARK SIZE: 12" X 24" (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF: NICHHA PRODUCT: VINTAGE WOOD AWP 3030 COLOR: ASH SIZE: 12" X 24" (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF: COLORADO STONE PRODUCTS PRODUCT: MANUFACTURED STONE VENEER COLOR: CREAM FINISH: CHISELED SIZE: 12" WIDE X 12" HIGH X 1" THICK PATTERN: RUNNING BOND MORTAR: 1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT NOTES: FIELD CUT TO MAX LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS-MITERED CORNERS NOT ACCEPTABLE. CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF: PAC-CLAD PRODUCT: PAC-CONTINUOUS COLOR: TB5
STOREFRONT 1	MANUF: KAWNEER COLOR: ANODIZED BLACK
STOREFRONT 2	MANUF: KAWNEER COLOR: CLEAR ANODIZED

CHASE

CHASE RETAIL BANKING CENTER
 INDIAN SCHOOL ROAD & LOUISIANA RD
 6670 INDIAN SCHOOL ROAD NE
 ALBUQUERQUE, NEW MEXICO 87110

ROUGH ARCHITECTS

1445 ROSS AVENUE
 SUITE 5700
 DALLAS, TEXAS 75202
 214.997.6029

DATE ISSUED: SEPTEMBER 09, 2020
 JOB #: 2020030
 SHEET NAME: EXTERIOR ELEVATIONS
 SHEET: A3.01

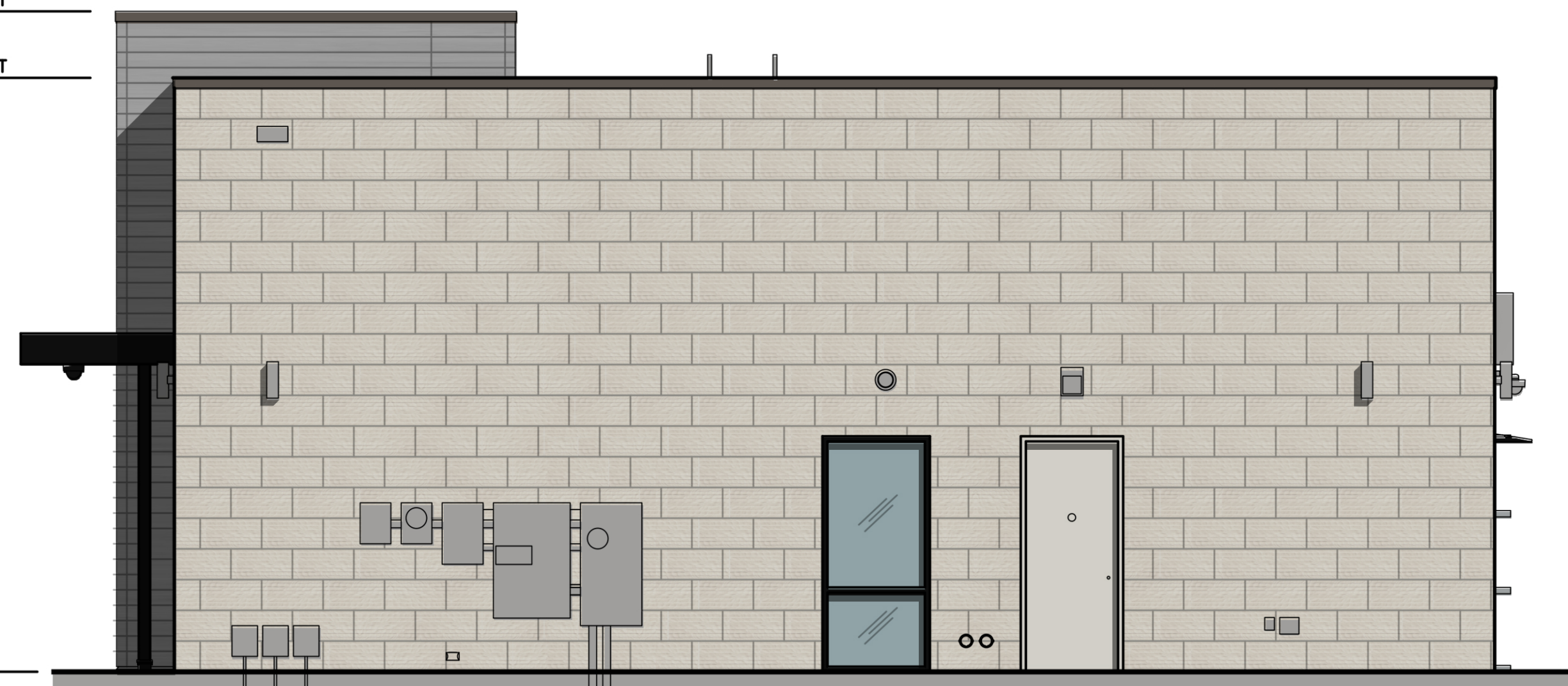
- T.O. PARAPET
+21'-6"
- T.O. PARAPET
+19'-4"
- T.O. PARAPET
+17'-0"
- T.O. ROOF
+12'-4"
- WINDOW OPENING
+10'-0"
- T.O. SLAB
+0'-0"



EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF ALCOA ARCH PRODUCTS
	PRODUCT REYNOBOND
FIBER CEMENT BOARD 1	COLOR DURAGLOSS 500 CHASE PROGRAM SILVER
	MANUF NICHHA
	PRODUCT VINTAGE WOOD AWP 1818
	COLOR BARK
	SIZE 18" X 22" (NOMINAL)
NOTES PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM	
FIBER CEMENT BOARD 2	MANUF NICHHA
	PRODUCT VINTAGE WOOD AWP 3030
	COLOR ASH
	SIZE 18" X 20" (NOMINAL)
	NOTES PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF CORONADO STONE PRODUCTS
	PRODUCT MANUFACTURED STONE VENEER
	COLOR CREAM
	FINISH CHISELED
	SIZE 24" WIDE x 12" HIGH x 1" THICK
	PATTERN RUNNING BOND
	MORTAR 1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT
	NOTES FIELD CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS- MITERED CORNERS NOT ACCEPTABLE - CONTROL JOINTS AS RECOMMENDED BY MANUF.
	MANUF PAC-CLAD
	PRODUCT PAC-CONTINUOUS
ROOF COPING	TBD
STOREFRONT 1	MANUF KAWNEER
	COLOR ANODIZED BLACK
STOREFRONT 2	MANUF KAWNEER
	COLOR CLEAR ANODIZED

02 WEST ELEVATION
SCALE: 1/4"=1'-0"

- T.O. PARAPET
+21'-6"
- T.O. PARAPET
+19'-4"
- T.O. SLAB
+0'-0"

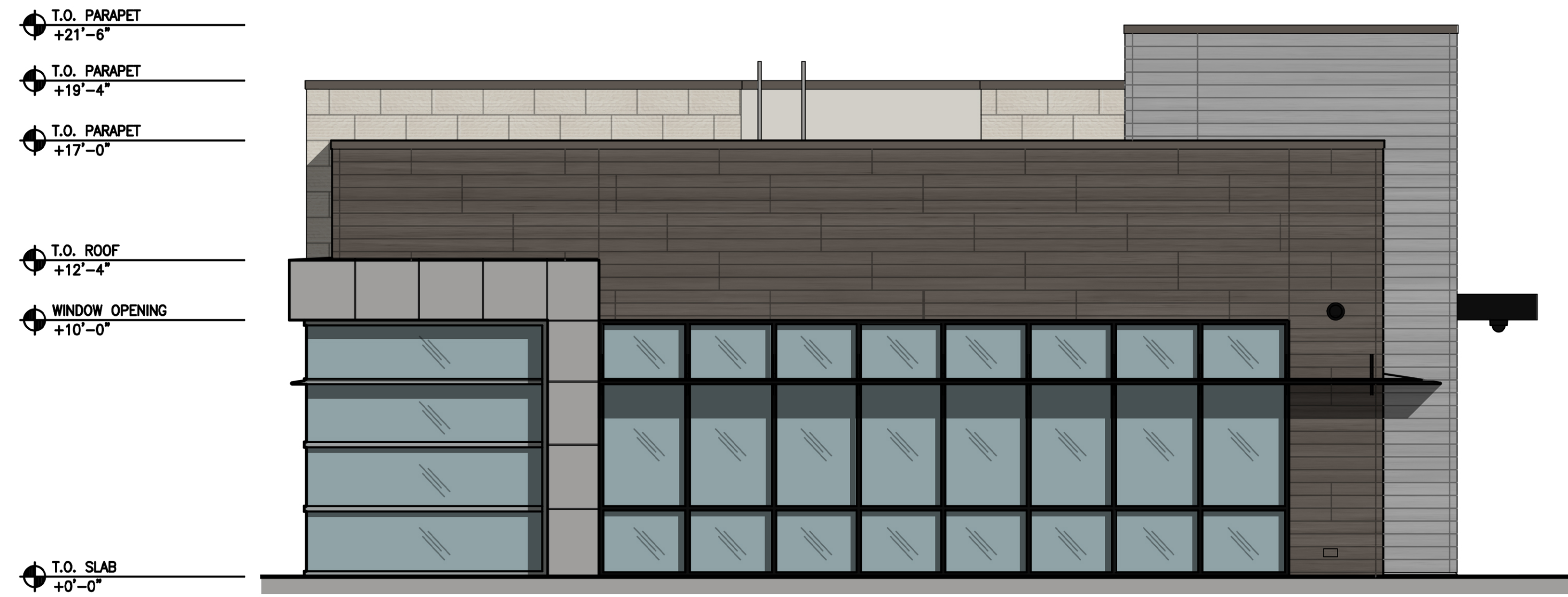


01 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



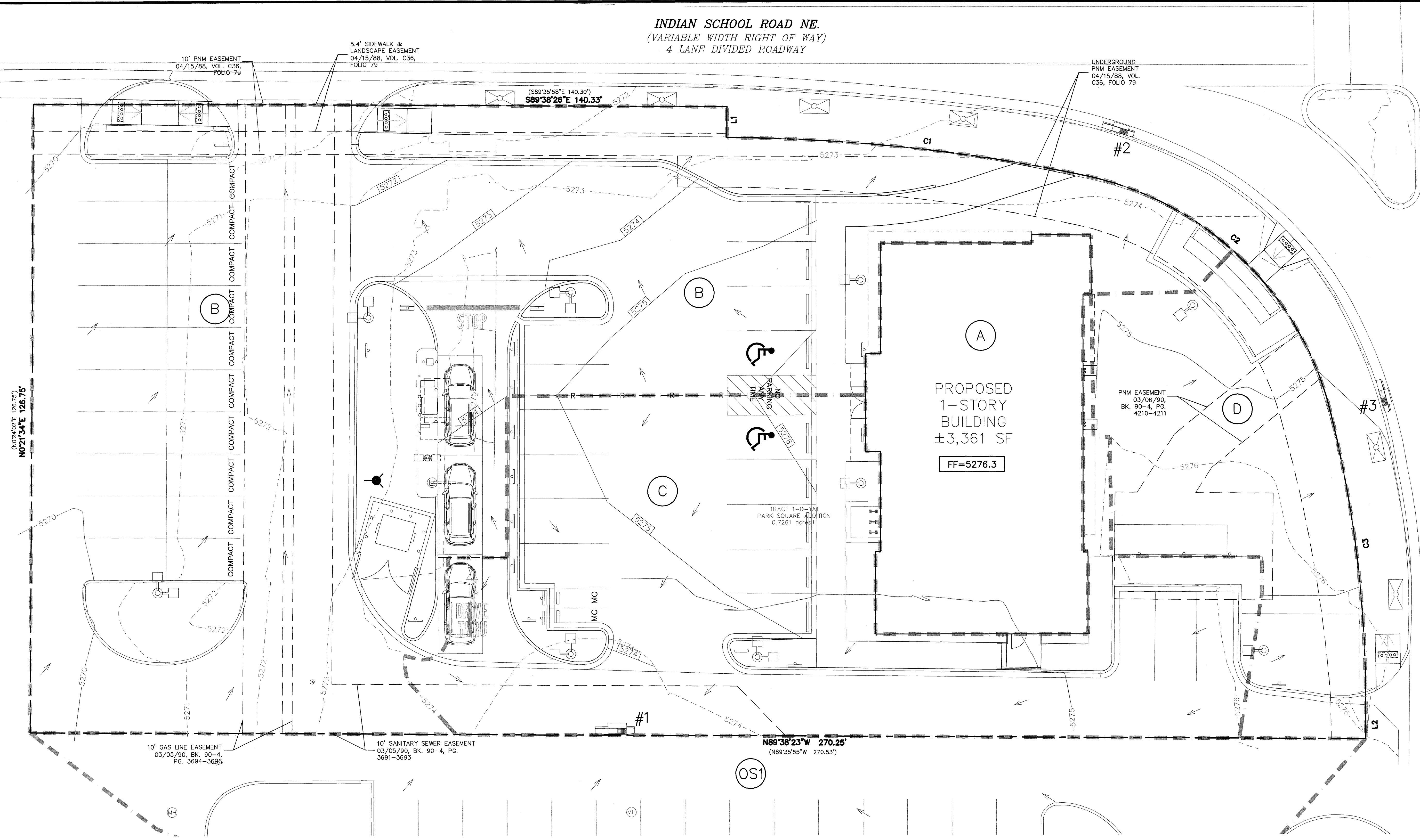
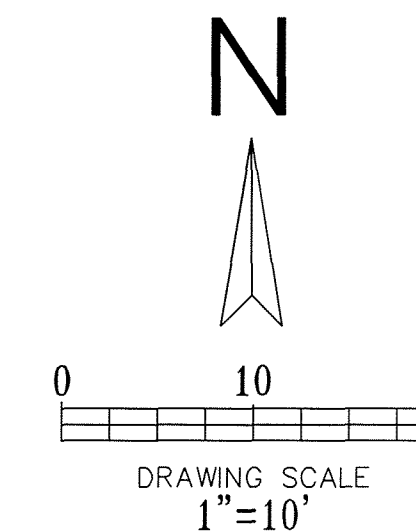
EXTERIOR MATERIAL LEGEND		
METAL PANEL 1	MANUF	ALCOA ARCH PRODUCTS
	PRODUCT	REYNOBOND
FIBER CEMENT BOARD 1	COLOR	DURAGLOSS 500 CHASE PROGRAM SILVER
	MANUF	NICHIHA
	PRODUCT	VINTAGE WOOD AWP 1818
	COLOR	BARK
	NOTES	PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF	NICHIHA
	PRODUCT	VINTAGE WOOD AWP 3030
	COLOR	ASH
	NOTES	PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS' ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF	CORONADO STONE PRODUCTS
	PRODUCT	MANUFACTURED STONE VENEER
	COLOR	CREAM
	FINISH	CHISELED
	SIZE	24" WIDE x 12" HIGH x 1" THICK
	PATTERN	RUNNING BOND
	MORTAR	1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT
	NOTES	FIELD CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS- MITERED CORNERS NOT ACCEPTABLE- CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF	PAC-CLAD
	PRODUCT	PAC-CONTINUOUS
	COLOR	TBD
STOREFRONT 1	MANUF	KAWNEER
	COLOR	ANODIZED BLACK
STOREFRONT 2	MANUF	KAWNEER
	COLOR	CLEAR ANODIZED

02 EAST ELEVATION
SCALE: 1/4"=1'-0"

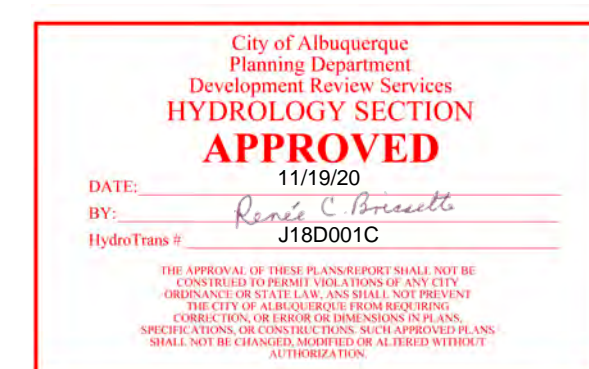


01 NORTH ELEVATION
SCALE: 1/4"=1'-0"

INDIAN SCHOOL ROAD NE.
(VARIABLE WIDTH RIGHT OF WAY)
4 LANE DIVIDED ROADWAY



LOUISIANA BOULEVARD
(VARIABLE WIDTH RIGHT OF WAY)
8 LANE DIVIDED ROADWAY



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING CONTOUR ELEVATION
 - PROPOSED CONTOUR
 - DRAINAGE AREA DIVIDE
 - AREA DESCRIPTION
 - FLOW ARROW
 - PROPOSED VALLEY
 - PROPOSED RIDGE

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00°11'00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00°11'00.11" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

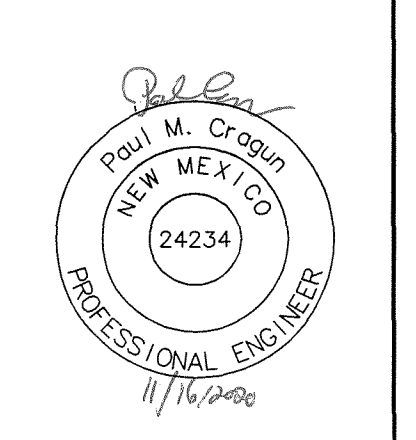
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



DRAINAGE AREA MAP
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE
PLOT DATE
11/16/20
DRAWING SCALE
1" = 10'
PROJECT NUMBER
CDC20013
SHEET NUMBER
C8.01

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DRAINAGE CRITERIA
 ZONE 3
 $Q=C+I^A$
 $I_2=1.94$ in/hr
 $I_{10}=3.12$ in/hr
 $I_{100}=4.96$ in/hr
 $t_c=12$ min.

PROPOSED DRAINAGE DATA CHART													
DRAINAGE ID	AREA (SQ. FT.)	AREA (AC.)	C ₂	C ₁₀	C ₁₀₀	T _c (min)	I ₂ (in/hr)	I ₁₀ (in/hr)	I ₁₀₀ (in/hr)	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	COMMENT
A	3361.09	0.08	0.89	0.54	0.91	5.0	1.94	3.12	4.96	0.13	0.13	0.35	ROOF DRAINS TO AREA "C" THEN TO INLET #1
B	17024.66	0.39	0.74	0.50	0.83	5.0	1.94	3.12	4.96	0.56	0.61	1.61	DRAINS TO INDIAN SCHOOL RD THEN TO INLET #2
C	7906.67	0.18	0.81	0.52	0.87	5.0	1.94	3.12	4.96	0.29	0.29	0.78	DRAINS TO INLET #1
D	3335.81	0.08	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.02	0.09	0.21	DRAINS TO LOUISIANA BLVD THEN TO INLET #3
OS1	7709.17	0.18	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.05	0.20	0.47	DRAINS TO AREA "C"
TOTAL	31628.23	0.73								1.06	1.32	3.42	

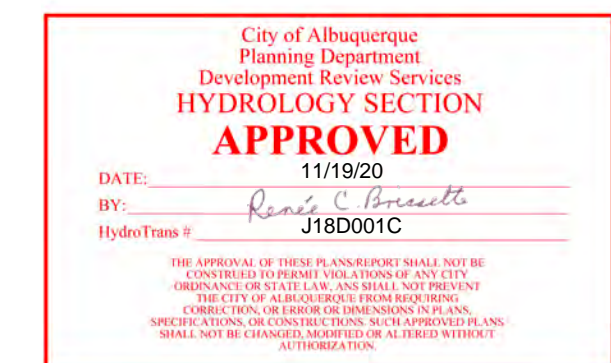
CALCULATIONS ARE BASED ON THE RATIONAL METHOD FROM CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 6 – DRAINAGE, FLOOD CONTROL AND EROSION CONTROL. DATED 06/08/2020

COMPOSITE ANALYSIS FOR RUNOFF COEFFICIENT												
DRAINAGE ID	PERCENT IMPERVIOUS	PERCENT PERVIOUS	C IMPERVIOUS (2 year)	C PERVIOUS (2 year)	C IMPERVIOUS (10 year)	C PERVIOUS (10 year)	C IMPERVIOUS (100 year)	C PERVIOUS (100 year)	COMPOSITE C (2 year)	COMPOSITE C (10 year)	COMPOSITE C (100 year)	
A	100.0	0.0	0.89	0.08	0.54	0.34	0.91	.50	0.89	0.54	0.91	
B	81.2	18.8	0.89	0.08	0.54	0.34	0.91	.50	0.74	0.50	0.83	
C	90.6	9.4	0.89	0.08	0.54	0.34	0.91	.50	0.81	0.52	0.87	
D	9.5	90.5	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	
OS1	9.9	90.1	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	

80TH PERCENTILE STORMWATER QUALITY VOLUME TABLE			
DRAINAGE ID	NEW IMPERVIOUS AREA (SQ. FT.)	REDEVELOPMENT SITE FACTOR	80TH PERCENTILE STORM VOLUME (CFS)
A	3362.0	0.26	72.8
B	4980.0	0.26	107.9
C	3362.0	0.26	72.8
D	0.0	0.26	0.0
			253.6

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

WEIGHTED ANALYSIS FOR 6-HOUR EXCESS PRECIPITATION, 'E'						
DRAINAGE ID	LAND TREATMENT B	LAND TREATMENT D	AREA LAND TREATMENT B	AREA LAND TREATMENT D	WEIGHTED E (100 year) (IN)	VOLUME (100 year) (ACRE-FT)
A	0.86	2.58	0.000	0.080	2.580	0.045
B	0.86	2.58	0.073	0.317	2.257	0.008
C	0.86	2.58	0.017	0.163	2.418	0.056
D	0.86	2.58	0.008	0.0724	2.417	0.016
				TOTAL VOLUME		0.125



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVETEK CONSULTING SURVEYORS

BENCHMARK
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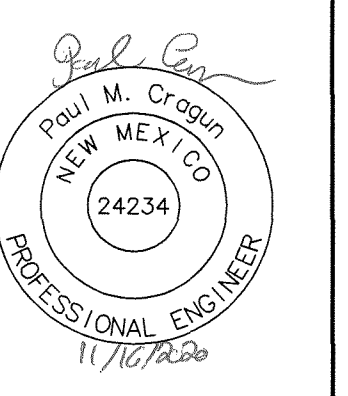
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!!! CAUTION !!!
 UNDERGROUND UTILITIES

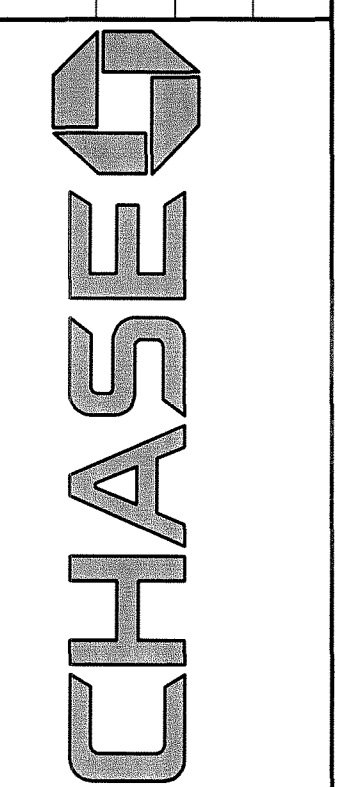
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

Cumululus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel: 214.235.0367



DRAINAGE AREA MAP
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PLOT DATE
 11/16/20
 DRAWING SCALE
 PROJECT NUMBER
 CDC20013
 SHEET NUMBER
 C8.02

CITY OF ALBUQUERQUE



September 28, 2020

Carlos Iglesias
Cumulus Design
2080 NB Highway 360 #240
Grand Prairie, Texas

**Re: Chase Bank-Indian School Rd
6670 Indian School Road ne
Traffic Circulation Layout
Architect's Stamp 09-25-2020 (J19-D087)**

Dear Mr. Iglesias,

The TCL submittal received 09-25-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

PO Box 1293

Albuquerque

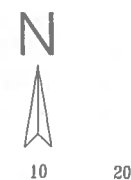
NM 87103

www.cabq.gov

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.
INDIAN SCHOOL ROAD NE.
 (VARIABLE WIDTH RIGHT OF WAY)
 4 LANE DIVIDED ROADWAY

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date 9/28/20



Cumulus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel. 214.235.0367

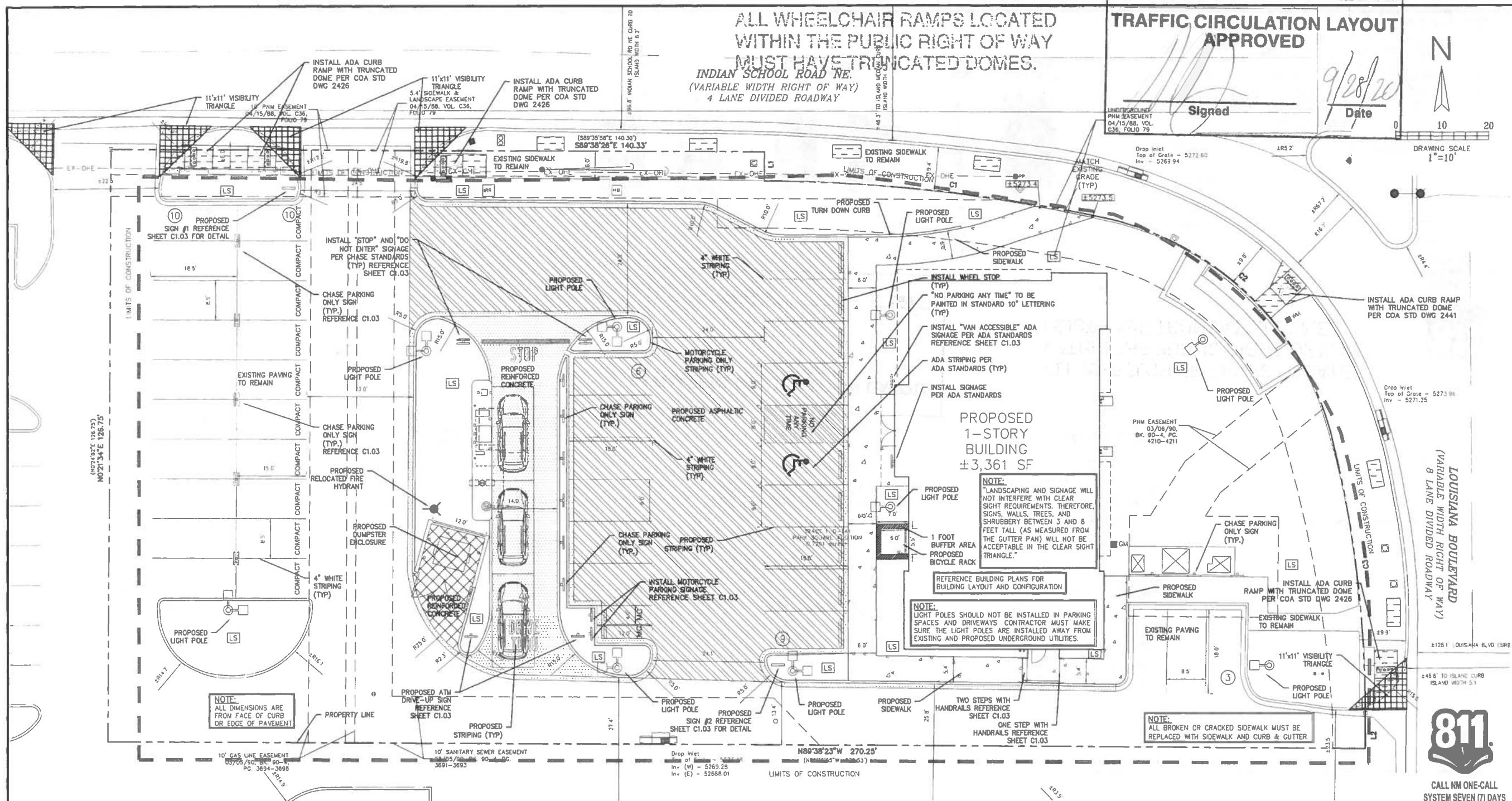
FOR REVIEW, NOT FOR CONSTRUCTION



TRAFFIC CIRCULATION PLAN
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY

CHASED

PLOT DATE: 09/25/20
 DRAWING SCALE: 1" = 10'
 PROJECT NUMBER: CDC20013
 SHEET NUMBER: C1.02



NOTE: ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

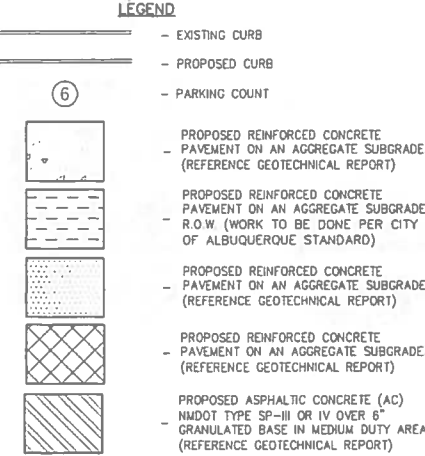
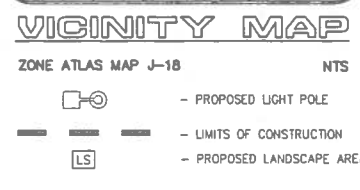
NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE: LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER



SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	38 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE, REQUIRED/PROVIDED:	4/5 SPACES
MOTORCYCLE SPACES, REQUIRED/PROVIDED:	2/2 SPACES



CONSTRUCTION NOTES

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (4' MINIMUM)
- PROPERTY LINE.
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- CONTRACTION JOINTS.
- FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE. 7% PREFERRED SLOPE.
- SEE COA STD DWG. 2425A AND 2425B FOR DRIVEPAD DETAILS.

GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
- FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
- GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
- PROVIDE A MINIMUM SIDEWALK WIDTH OF 4'.
- SEE COA STD DWG. 2425A AND 2425B FOR DRIVEPAD DETAILS.

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVEX CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1499464 315 E=1545105 455 CF=0.999960232 DELTA ALPHA = -00110011" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

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CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARK AND BEARINGS.

CAUTION

UNDERGROUND UTILITIES

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CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

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TYPICAL ADA SIGNAGE FOR VAN ACCESSIBLE SPACES
N.T.S.



TYPICAL ADA SIGNAGE
N.T.S.



MOTORCYCLE PARKING SIGN
N.T.S.



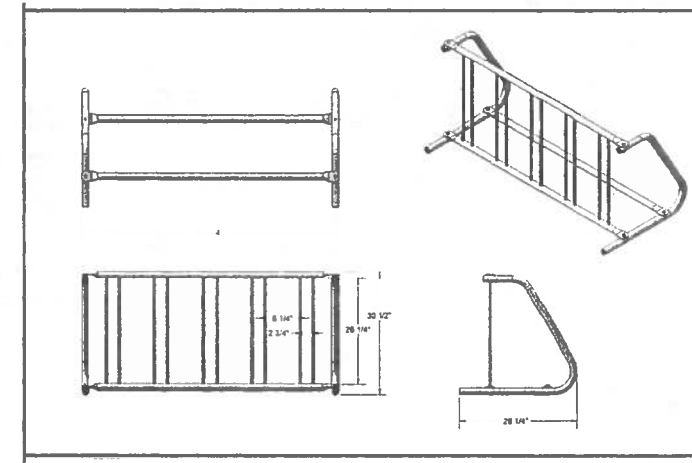
CHASE PARKING ONLY SIGN
N.T.S.



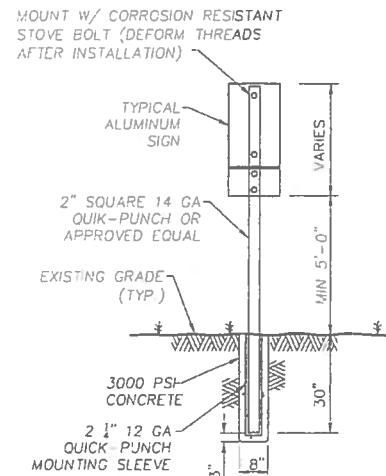
R5-1 (SIZE: 30"x30")
DO NOT ENTER SIGN
N.T.S.



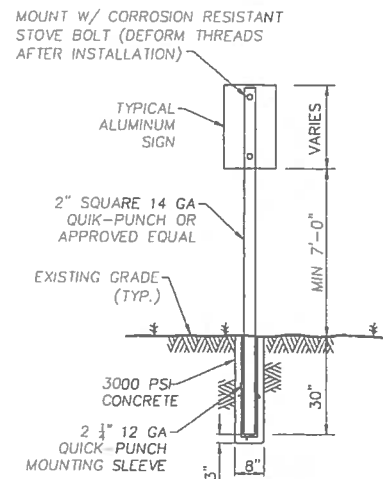
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STOP SIGN
N.T.S.



BICYCLE RACK DETAIL
N.T.S.

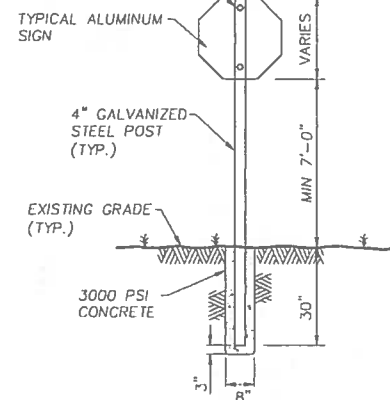


ADA DUAL SIGNAGE MOUNTING DETAIL
N.T.S.

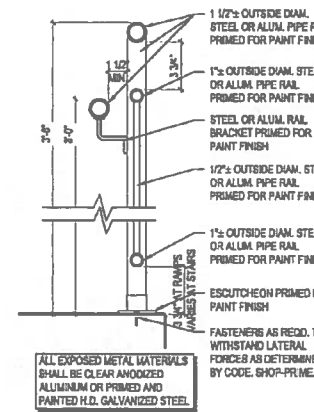


SINGLE ADA AND MOTORCYCLE SIGNAGE MOUNTING DETAIL
N.T.S.

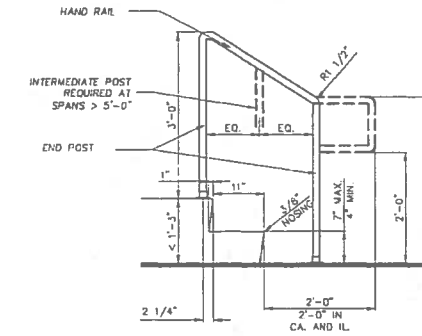
MOUNT W/ CORROSION RESISTANT STOVE BOLT (DEFORM THREADS AFTER INSTALLATION)



"STOP" AND "DO NOT ENTER" SIGNAGE MOUNTING DETAIL
N.T.S.



ADA RAMP HAND RAIL DETAIL
N.T.S.



HANDRAIL DETAIL
N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed _____ Date 9/28/20

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

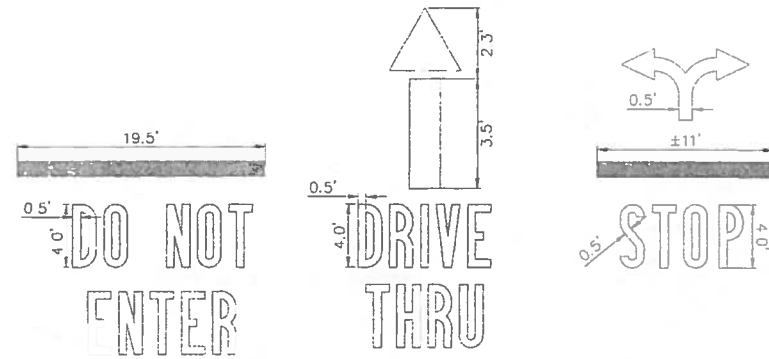
THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVEX CONSULTING SURVEYORS

BENCHMARK
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ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00'11"00.11" N.M.S.P. CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

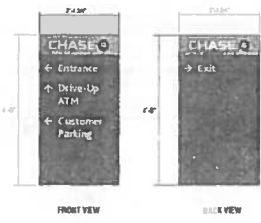
CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

III CAUTION III
UNDERGROUND UTILITIES

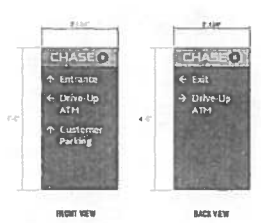
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CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.



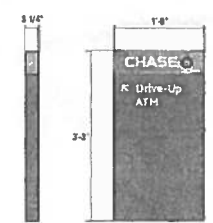
TEXT DETAILS
N.T.S.



ENTRANCE SIGN #1 DETAIL
N.T.S.



ENTRANCE SIGN #2 DETAIL
N.T.S.



DRIVE-THRU ATM SIGNAGE DETAIL
N.T.S.

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

FOR REVIEW, NOT FOR CONSTRUCTION

PHIL M. CRAND
NEW MEXICO
24234
PROFESSIONAL ENGINEER
07/23/2020

TRAFFIC CIRCULATION PLAN
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE

PLOT DATE
09/25/20
DRAWING SCALE

PROJECT NUMBER
CDC20013

SHEET NUMBER
C1.03

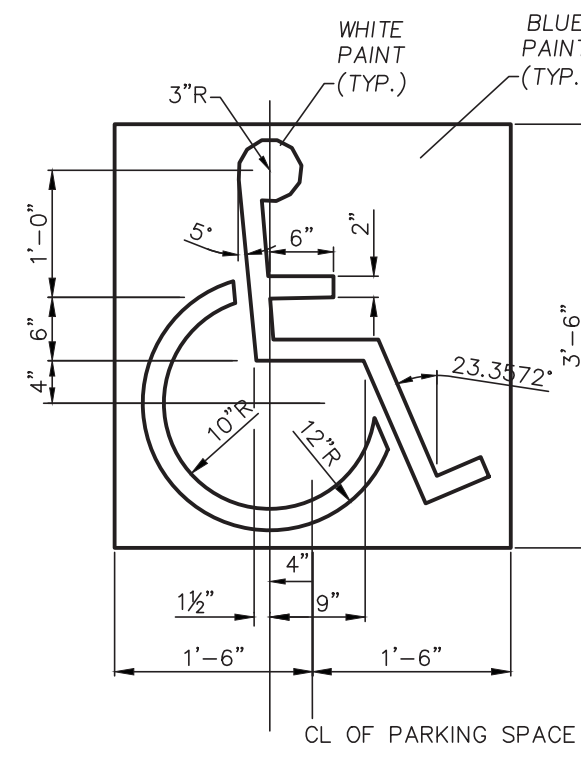
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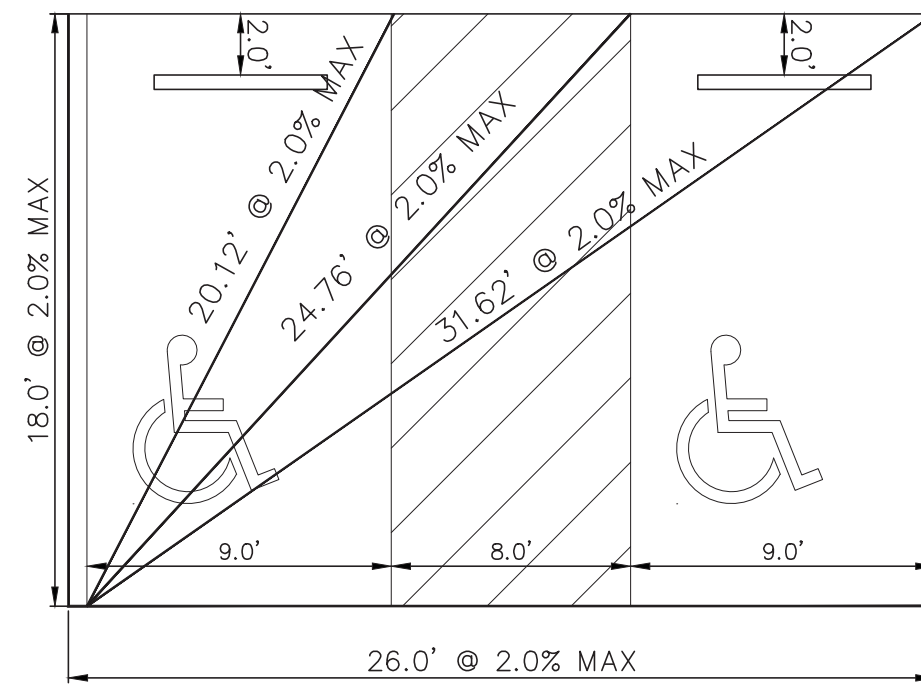
TYPICAL SIGNAGE MOUNTING DETAIL FOR ACCESSIBLE SPACES
N.T.S.



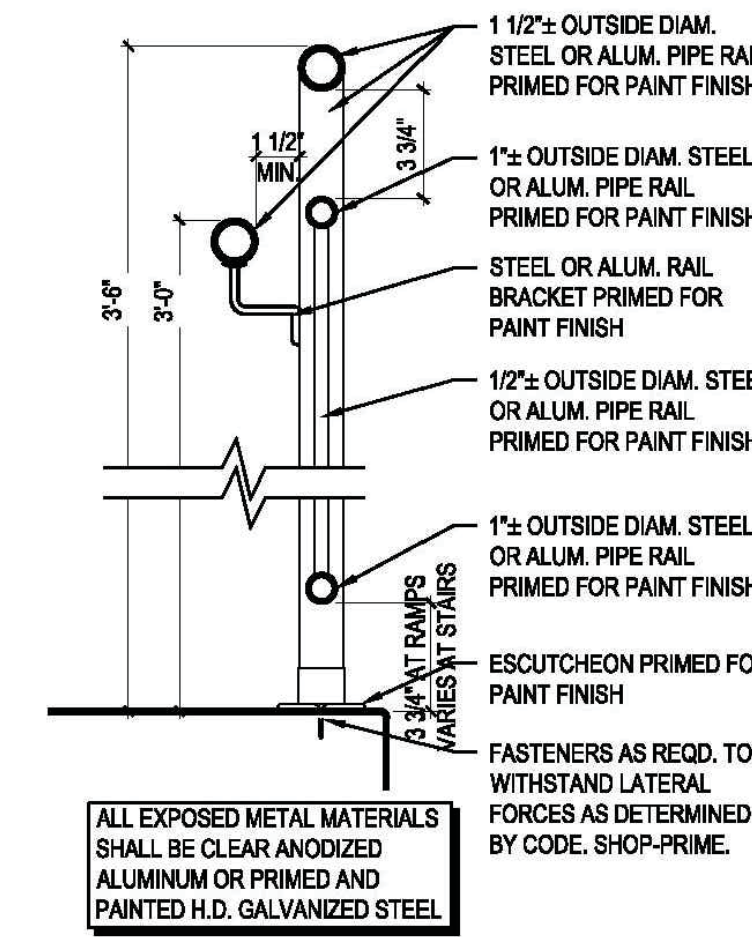
TYPICAL SIGNAGE MOUNTING DETAIL FOR VAN ACCESSIBLE SPACES
N.T.S.



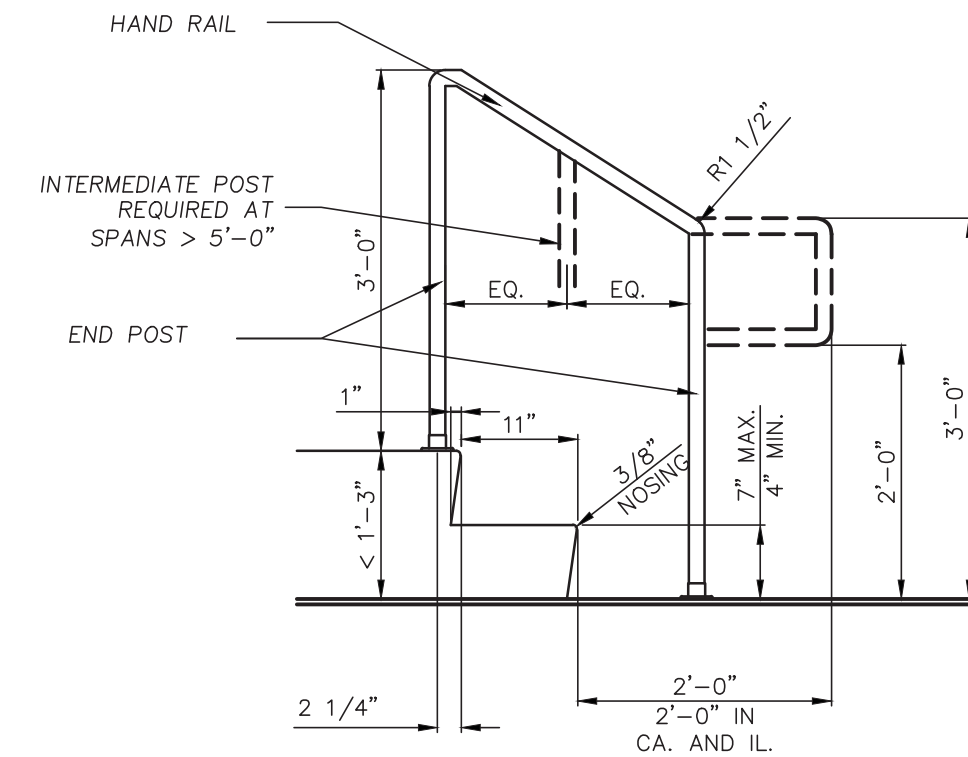
ACCESSIBLE PARKING SYMBOL DETAIL
N.T.S.



ADA PARKING STALLS AND AISLE DETAIL



ADA RAMP HAND RAIL DETAIL
N.T.S.



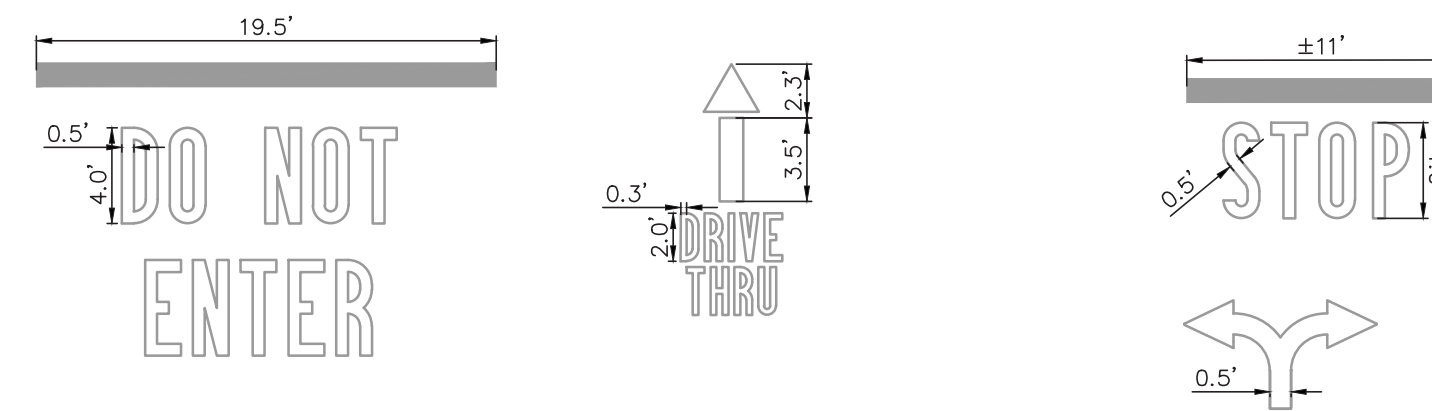
HANDRAIL DETAIL
N.T.S.



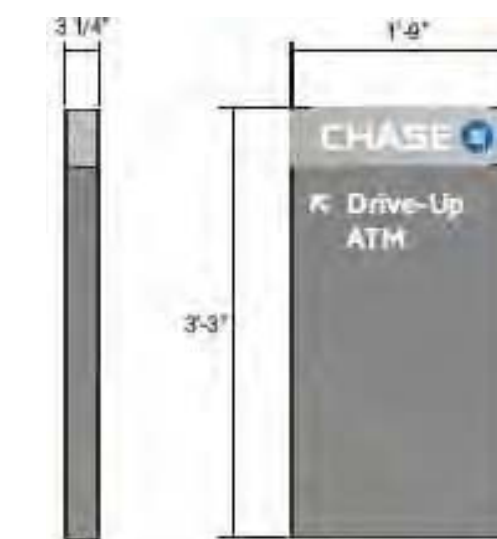
R1-1
(SIZE: 30"x30")
STOP SIGN
N.T.S.



R5-1
(SIZE: 30"x30")
DO NOT ENTER SIGN
N.T.S.



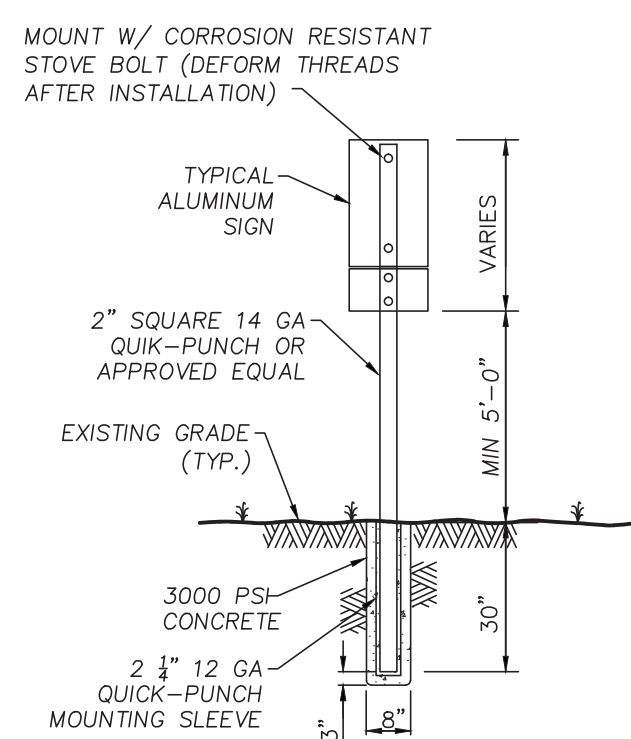
TEXT DETAILS
N.T.S.



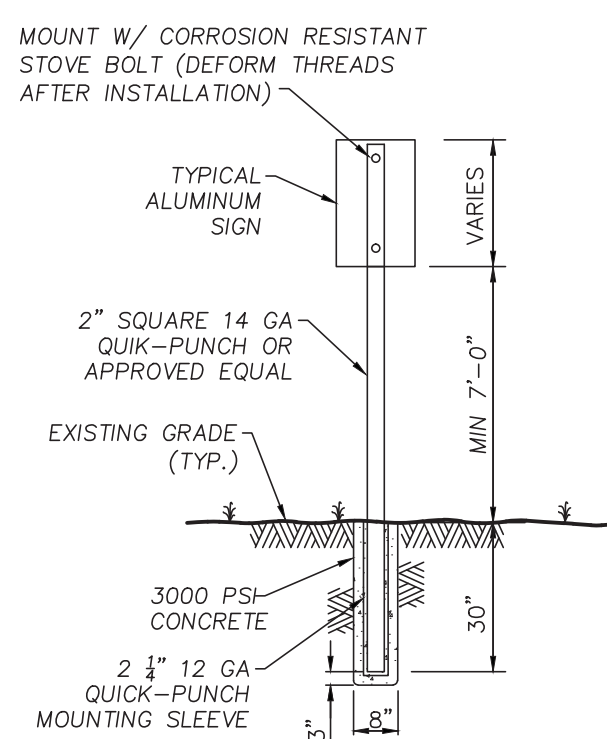
DRIVE-THRU ATM SIGNAGE DETAIL
N.T.S.



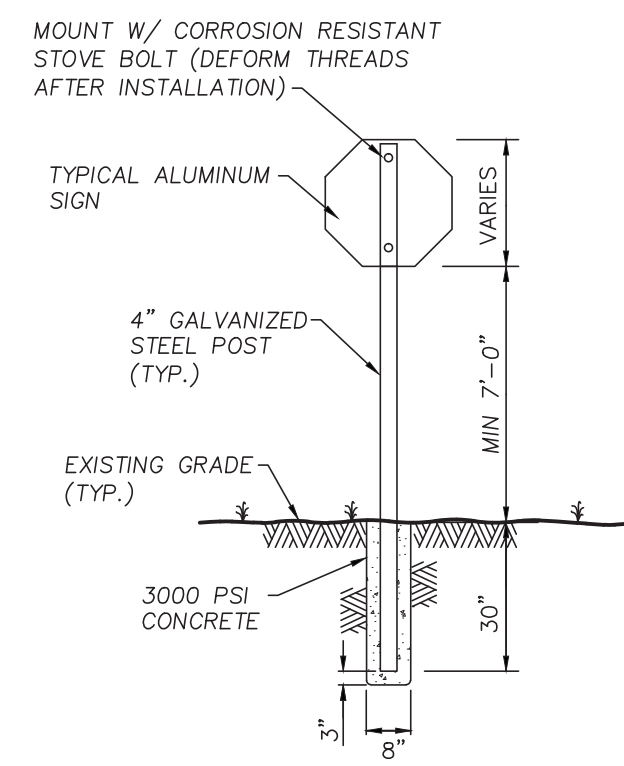
MOTORCYCLE PARKING SIGN
N.T.S.



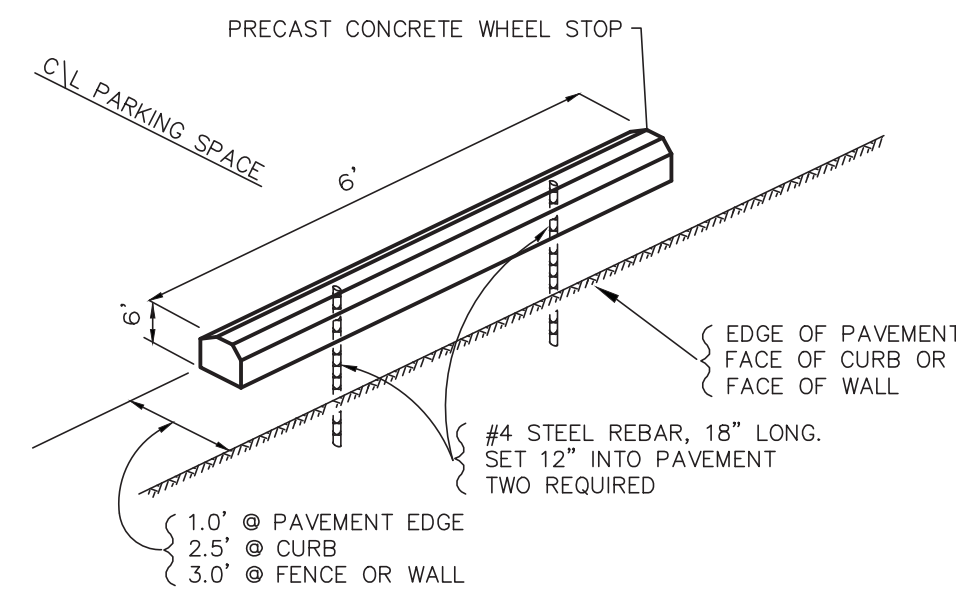
ADA DUAL SIGNAGE MOUNTING DETAIL
N.T.S.



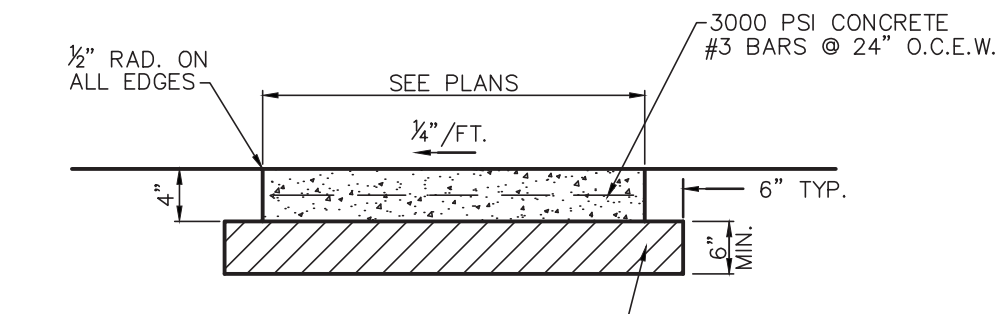
TYPICAL SIGNAGE MOUNTING DETAIL
N.T.S.



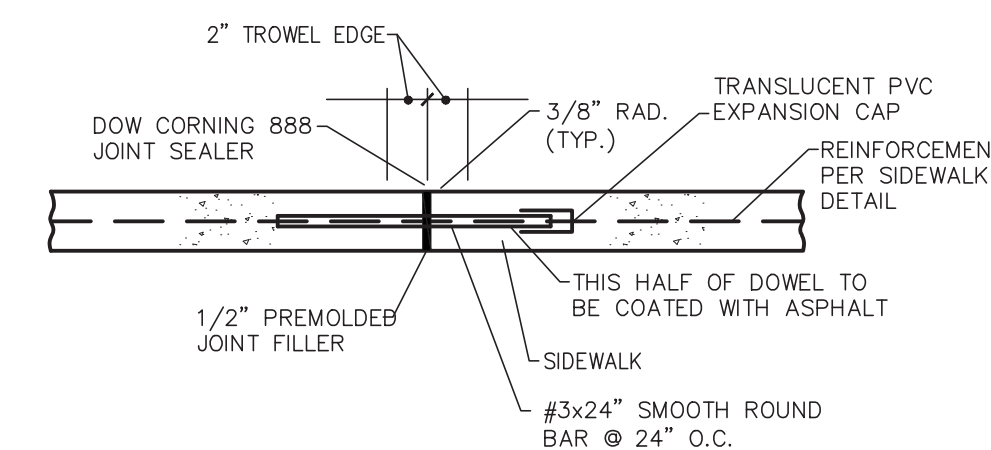
STOP SIGNAGE MOUNTING DETAIL
N.T.S.



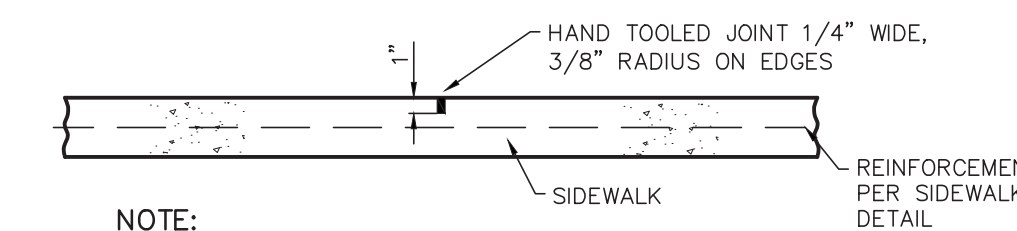
WHEEL STOP DETAIL
N.T.S.



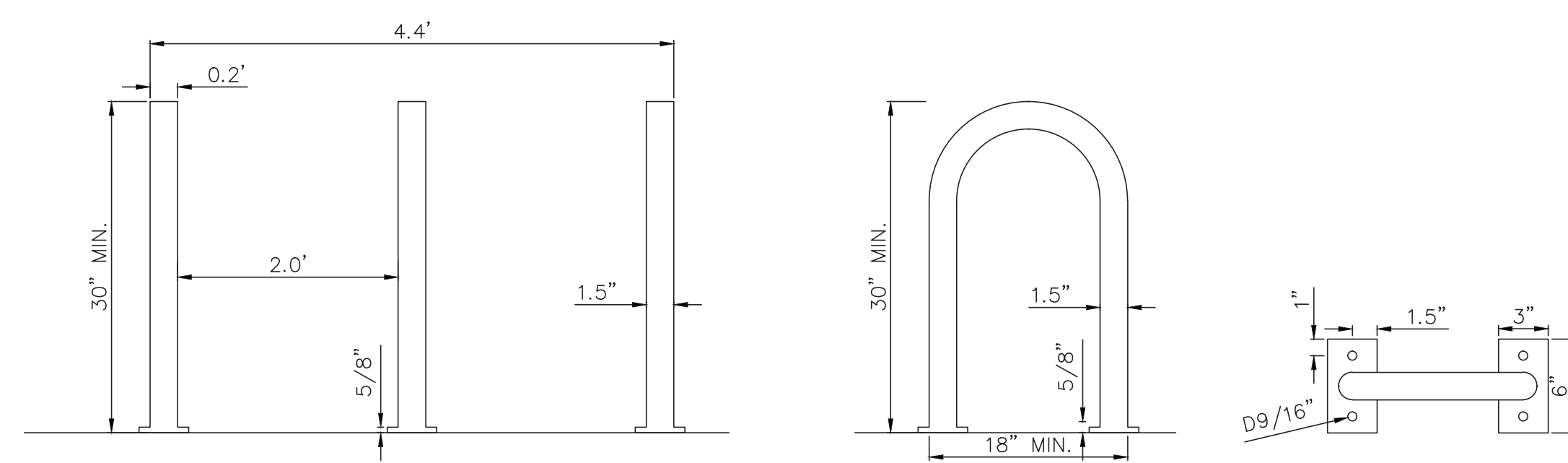
SIDEWALK CROSS-SECTION



EXPANSION JOINT
N.T.S.



CONTRACTION JOINT
N.T.S.

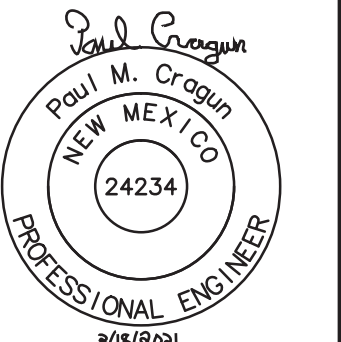


BICYCLE RACK DETAIL
N.T.S.

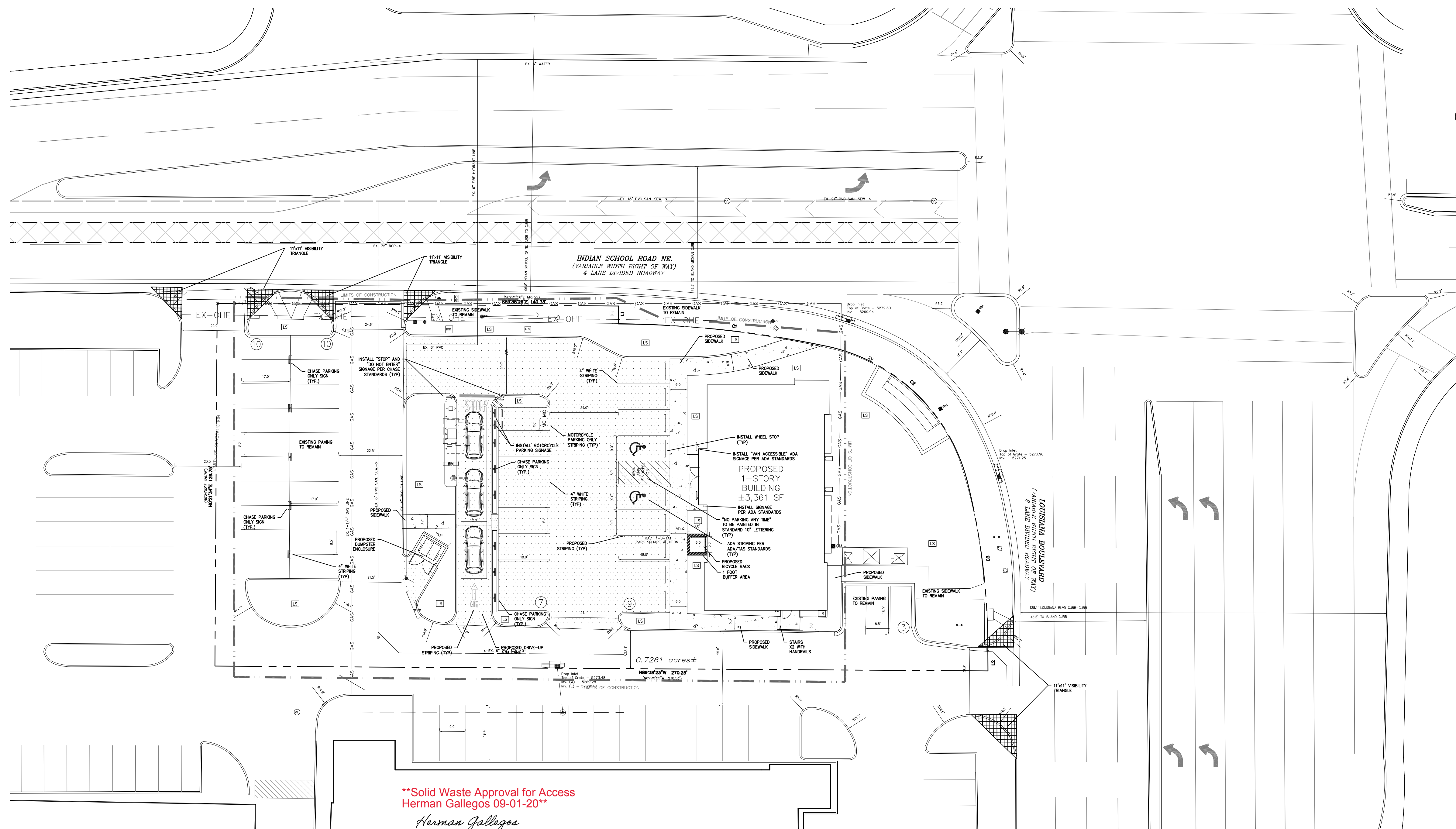
MISCELLANEOUS DETAILS

NOTE: DETAILS ON THIS SHEET ARE PRIVATE. ALL WORK WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAY SHALL BE PER CITY (OR STATE, IF APPLICABLE) STANDARD DETAILS. THE CONTRACTOR IS REQUIRED TO HAVE ON-SITE, AT ALL TIMES, A COPY OF THE CITY'S CONSTRUCTION DETAILS.

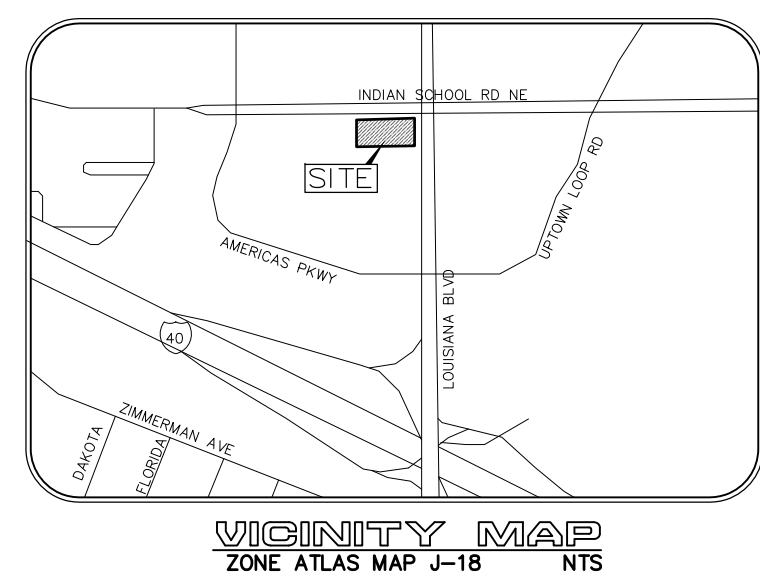
SIDEWALK DETAILS



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****Solid Waste Approval for Access
Herman Gallegos 09-01-20****
Herman Gallegos



NOTE:
LIGHT POLES SHOULD NOT BE INSTALLED IN PARKING SPACES AND DRIVEWAYS. CONTRACTOR MUST MAKE SURE THE LIGHT POLES ARE INSTALLED AWAY FROM EXISTING AND PROPOSED UNDERGROUND UTILITIES.

NOTE:
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

NOTE:
ALL DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT

NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

LEGEND

- EXISTING CURB
- PROPOSED CURB
- PARKING COUNT
- PROPOSED PAVEMENT
- PROPOSED SIDEWALK
- PROPOSED LIGHT POLE
- LIMITS OF CONSTRUCTION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK
ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00'11"00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

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!!! CAUTION !!!

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CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.



**CALL NM ONE-CALL
SYSTEM SEVEN (7) DAYS
PRIOR TO ANY EXCAVATION**

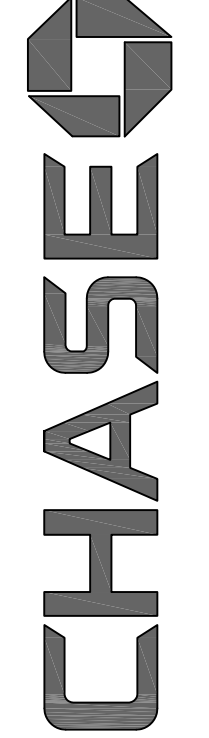
SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
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BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	39 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	4/5 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

Cumulus Design
Firm # EF-0005330
8850 United Plaza Blvd.,
STE. 702-N
Baton Rouge, LA 70809
Tel. 214.235.0367

FOR REVIEW, NOT FOR CONSTRUCTION

THIS DOCUMENT IS RELEASED FOR INFORMATION PURPOSES UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 9/1/20.

SITE PLAN
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY



PLOT DATE	09/01/20
DRAWING SCALE	1" = 20'
PROJECT NUMBER	CDC20013
SHEET NUMBER	C1.01

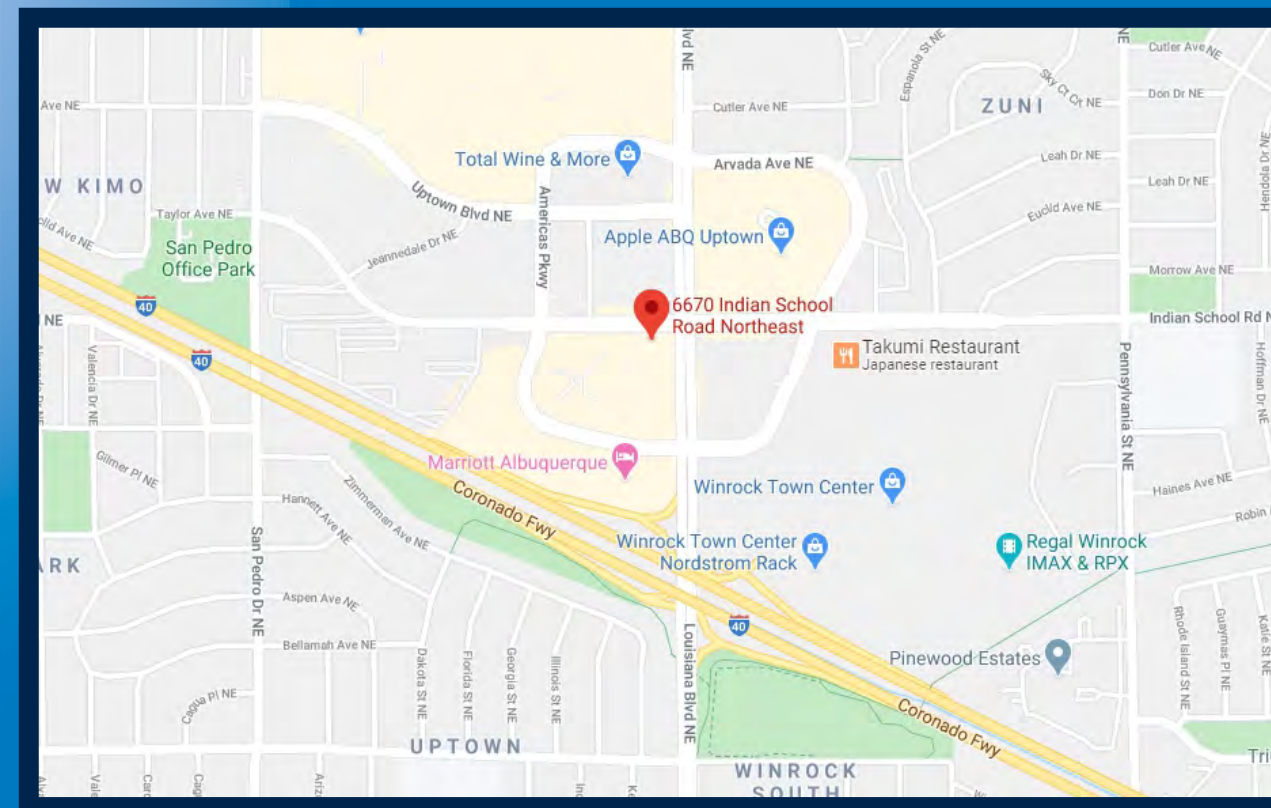
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CHASE



#38200P367111

Indian School Rd NE and Louisiana Rd 6670 Indian School Rd NE Albuquerque, NM 87110



REVISION NOTES:

- R1: Customer Drawing - add additional approval tenant panels - 08.13.20 - AS
- R2: Customer Drawing - Added motorcycle post signs and updated site plan. - AS - 09/04/20
- R4: Customer Drawing - E7 and 8 changed to stop dot sign. E9 and 10 changed to custom ada handicap signs. - AS - 10/02/20



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JP Morgan Chase Bank
#38200P367111

**Indian School Rd NE &
 Louisiana Rd
 6670 Indian School Rd NE
 Albuquerque, NM 87110**

Initial Date: 08/10/20
 Salesperson: Arthur Navarro
 Coordinator: Lorena Leon
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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 electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

EXTERIOR SIGN LEGEND - ALLOWED

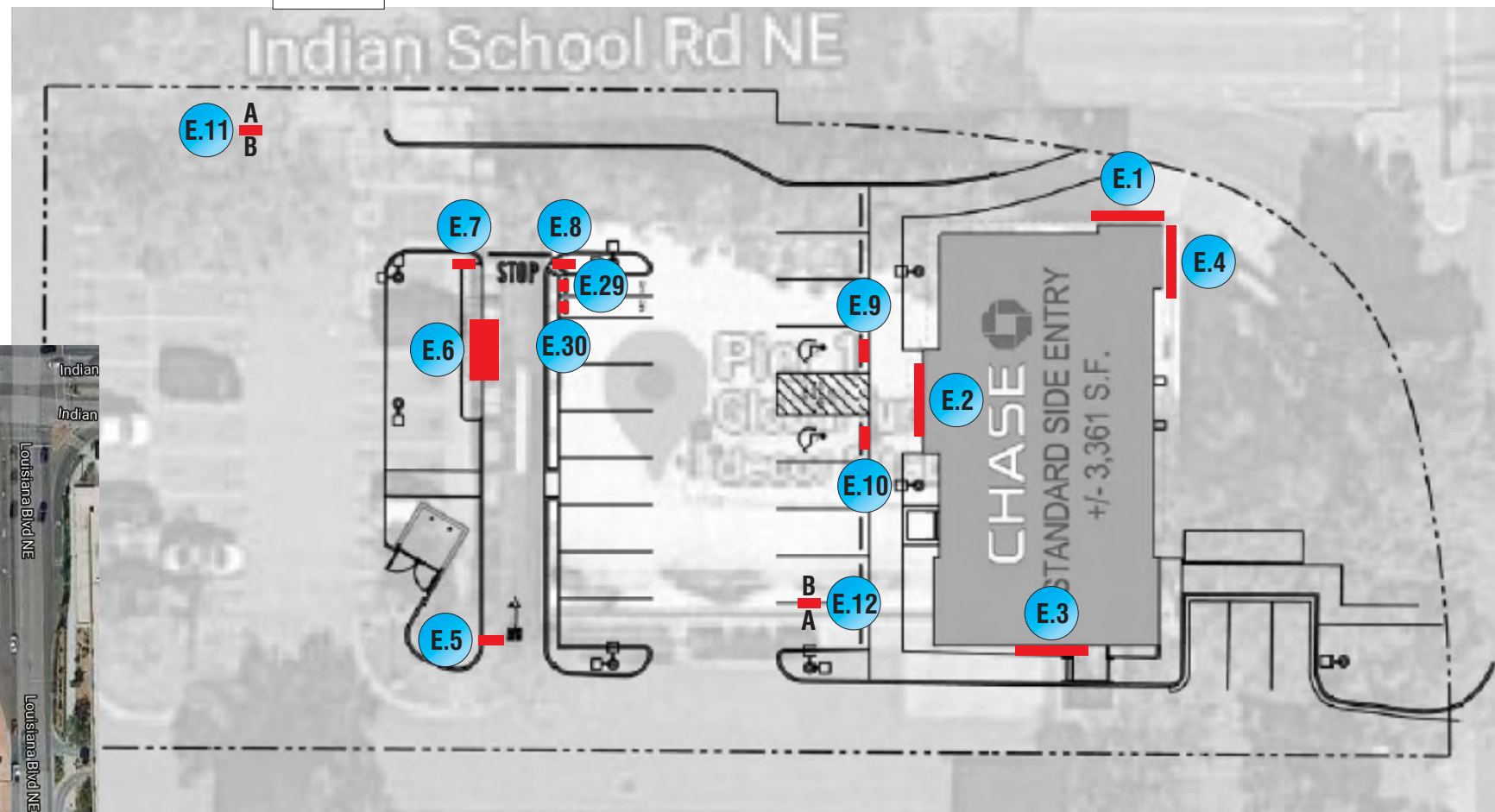
Elevation	Sign No.	Sign Type	Description	Sq.Ft.
North	E.1	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
West	E.2	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
South	E.3	LIF-WBO-24	24" White Channel Letters and Logo	36.9
East	E.4	LIF-WBO-24-BTWR	24" White Channel Letters and Logo - Behind the wall Raceway	36.9
	E.5	HB-U	Headache Bar	
	E.6	CAN-ATM-SIG-OCT	ATM Signature Canopy w/ Octagon	
	E.7	TC-P-STOP-DNE-DOT-RE	Post Mount Do Not Enter Sign - STOP/DOT Standard	
	E.8	TC-P-STOP-DNE-DOT-RE	Post Mount Do Not Enter Sign - STOP/DOT Standard	
	E.9	CUSTOM TC-P-ADA-NM-V-RE	Post Mount Handicap Stall Sign - Van Accessible - City Specific	
	E.10	CUSTOM TC-P-ADA-NM-RE	Post Mount Handicap Stall Sign - City Specific	
	E.11	D-7.6-RE	Non-Illuminated Directional Monument	
	E.12	D-7.6-RE	Non-Illuminated Directional Monument	
	E.29	TC-P-MOTORCYCLE	Post Mount Motorcycle Stall Sign	
	E.30	TC-P-MOTORCYCLE	Post Mount Motorcycle Stall Sign	

Total Proposed Sq Ft	147.6
Total Allowable Sq Ft	468
Difference	320.4

INDIAN SCHOOL RD NE



AERIAL SITE NOT TO SCALE



SITE PLAN SCALE: 1/32" = 1'-0"



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Sign Legend / Site Plan

EXTERIOR SIGN LEGEND - REQUIRES ADDITIONAL APPROVAL

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
	E.25	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	
	E.26	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	
	E.27	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	
	E.28	TENANT PANEL	Pylon Tenant Panel w/ Blue Plex Face and Vinyl	



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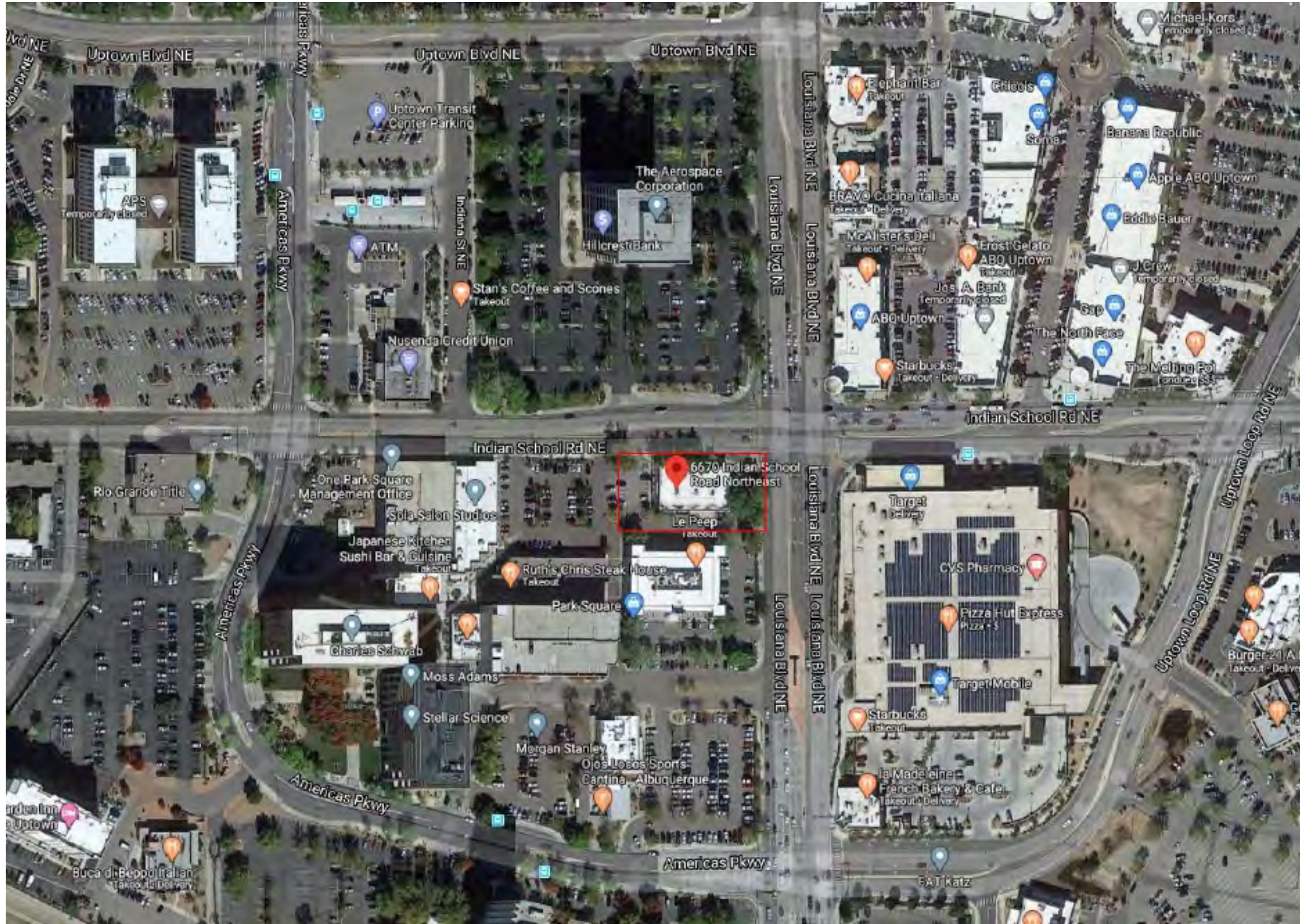
Customer Signature _____ Date _____

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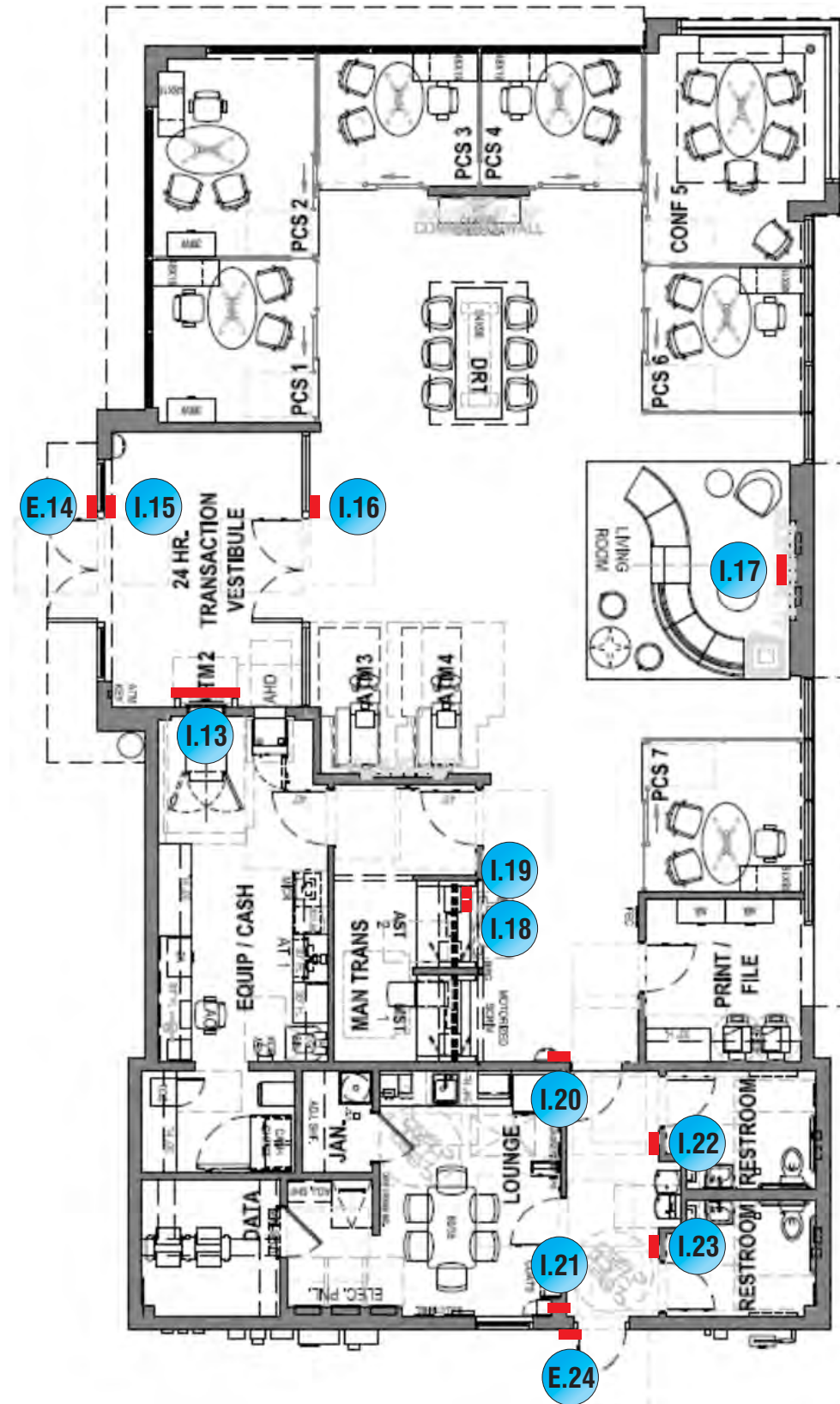
Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

Enlarged Aerial Site

INTERIOR SIGN LEGEND

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
	I.13	SUR-TTW-U-4-TP	Universal Thin-Profile ATM Surround	
	E.14	ADA-EP	ADA Accessible Entrance Plaque	
	I.15	ADA-EX	ADA Exit Plaque	
	I.16	ADA-EX	ADA Exit Plaque	
	I.17	OCT-24-INT	Illuminated Blue Bitro Interior Octagon	
	I.18	ADA-TW	ADA Accessible Teller Window Plaque	
	I.19	ADA-TW-ALS	ADA Assisted Listening System Plaque	
	I.20	ADA-EEX	ADA Emergency Exit Plaque	
	I.21	ADA-EEX	ADA Emergency Exit Plaque	
	I.22	ADA-RRAG-A-G	ADA Accessible All-Gender Restroom Plaque	
	I.23	ADA-RRAG-A-G	ADA Accessible All-Gender Restroom Plaque	
	E.24	ADA-EO	ADA Exit Only Plaque	



FLOOR PLAN **SCALE: 3/32" = 1'-0"**

DESIGN STANDARDS	HARDINESS ZONE	7B	(1) OFFICE SHALL RECEIVE DUAL MONITORS & ARMS FOR CPC OR FUTURE CPC.
20.2	OVERHEAD DOOR ACCEPTABLE *		

* HARDINESS ZONES >= 7A

DATE	DESIGNER
07/02/2020	MJB



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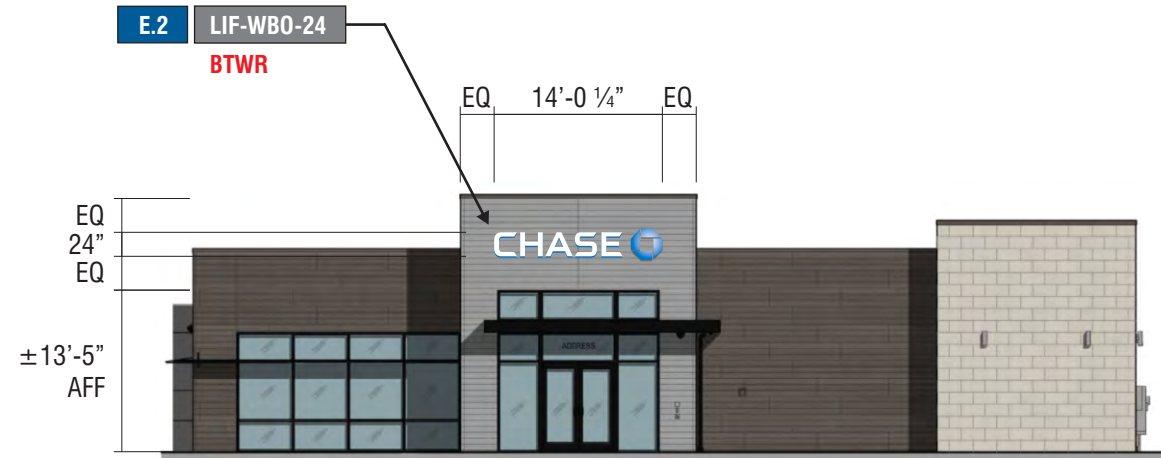
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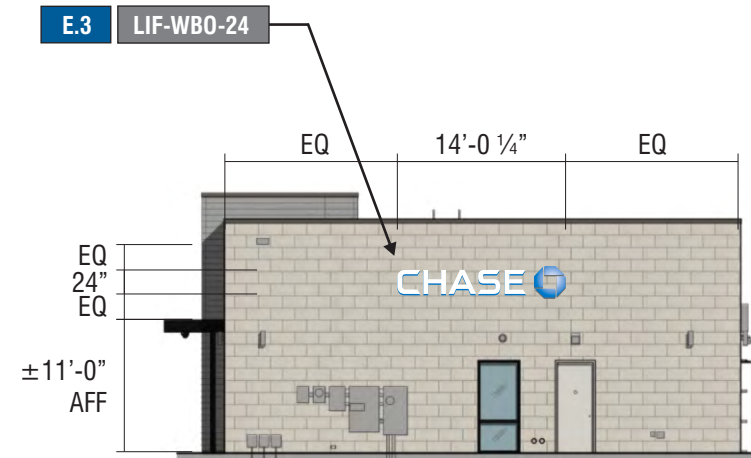
Drawing Number: 20-01032
Project ID: CHASE_38000P123456_1
Revision: R4 - 10.02.20

Sign Legend / Floor Plan

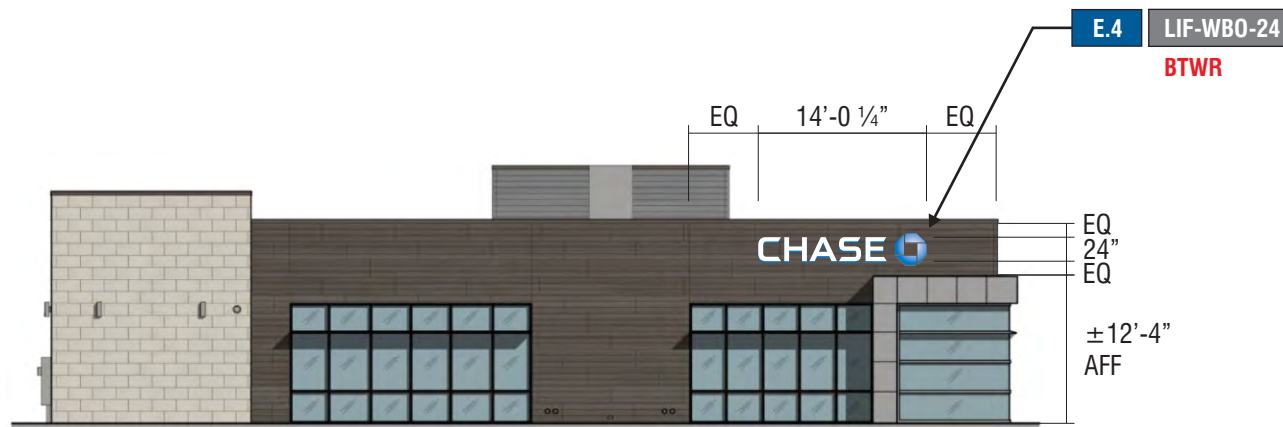
SIGNAGE OVERVIEW - ALLOWED



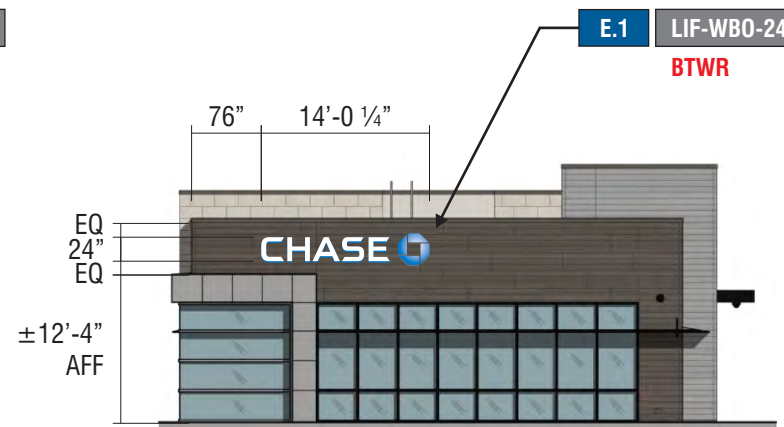
WEST ELEVATION SCALE: 1/16" = 1'-0"



SOUTH ELEVATION SCALE: 1/16" = 1'-0"



EAST ELEVATION SCALE: 1/16" = 1'-0"



NORTH ELEVATION SCALE: 1/16" = 1'-0"



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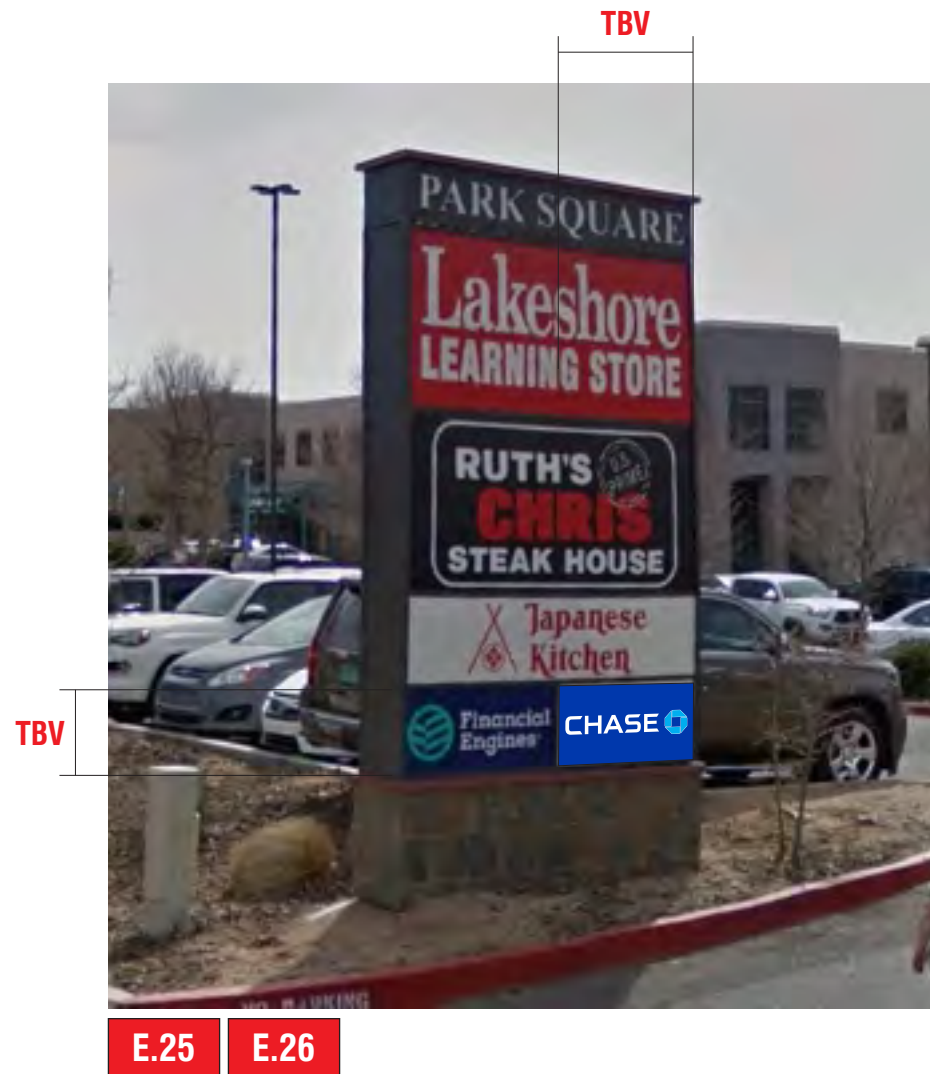
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Project ID: CHASE_38000P123456_1

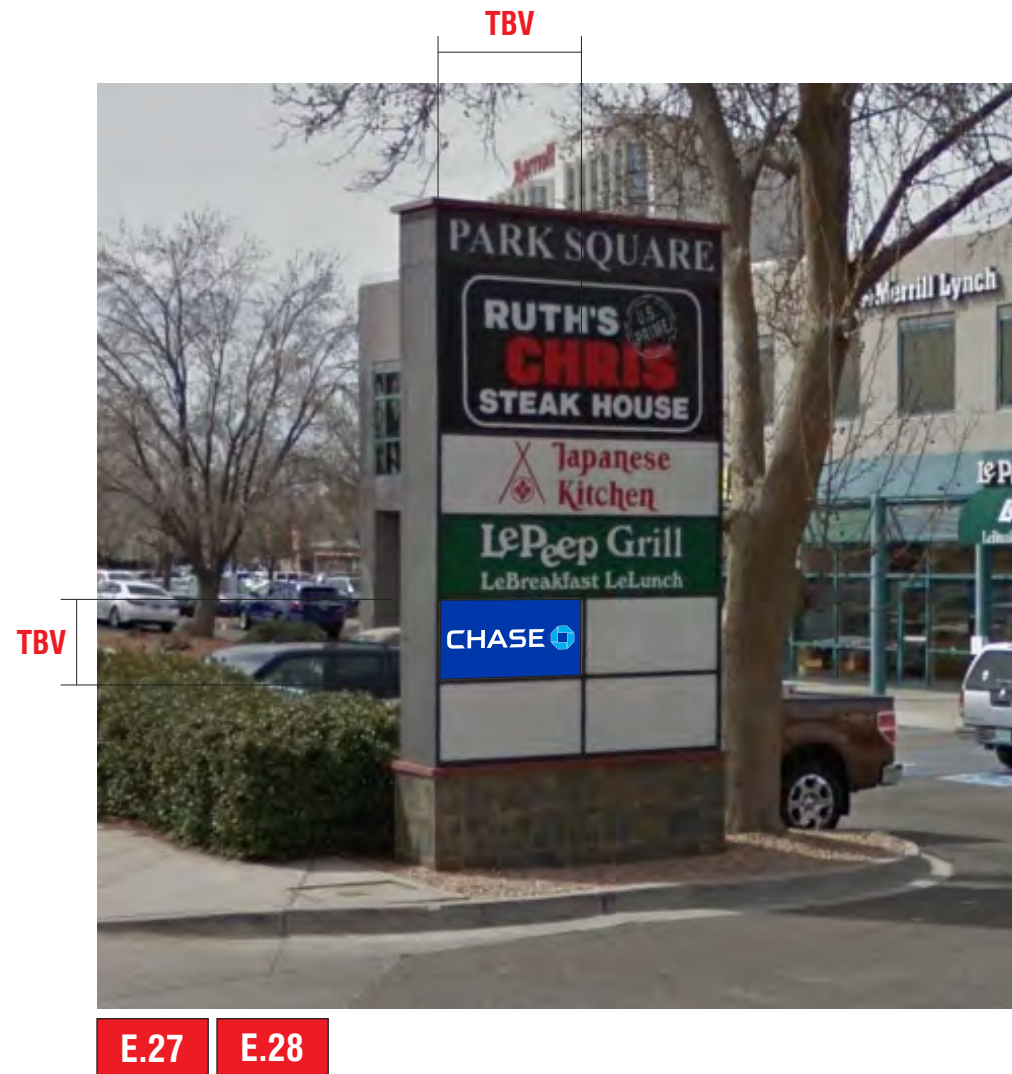
Revision: R4 - 10.02.20

Exterior Elevations

SIGNAGE OVERVIEW - ADDITIONAL APPROVAL REQUIRED



MONUMENT ON INDIAN SCHOOL RD NE SCALE: NTS



MONUMENT ON LOUISIANA BLVD NE SCALE: NTS

E.25 E.26 E.27 E.28

SIGN TYPE CUSTOM TENANT PANEL WITH MORE THAN TWO TENANTS WITH WHITE PLEX/LEXAN FACE AND VINYL



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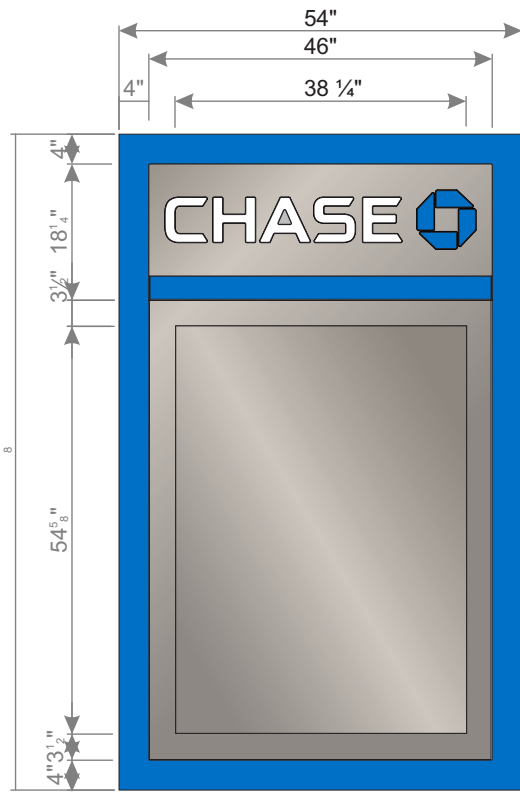
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Drawing Number: 20-01032

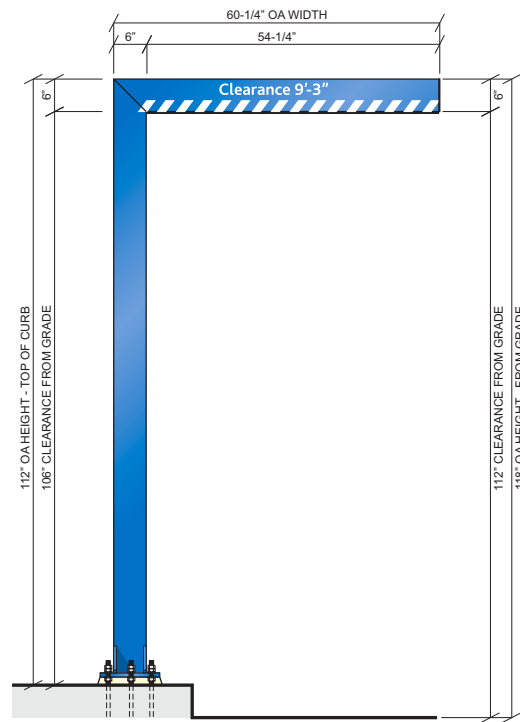
Project ID: CHASE_38000P123456_1

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SIGNAGE OVERVIEW



I.13 SIGN TYPE SUR-TTW-U-4-TP
THIN PROFILE



E.5 SIGN TYPE HB-U

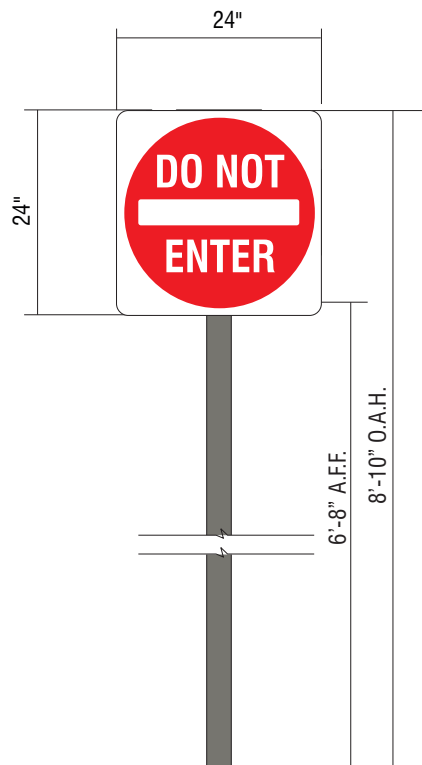


SIDE VIEW CAN-ATM
SCALE: 1/4" = 1'-0"



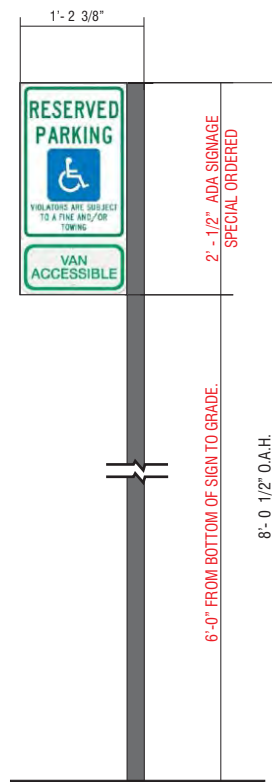
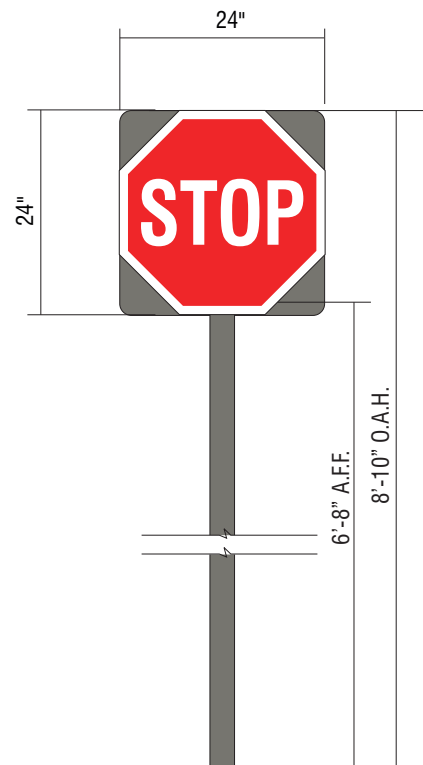
FRONT VIEW CAN-ATM SCALE: 1/4" = 1'-0"

E.6 SIGN TYPE CAN-ATM-SIG-OCT



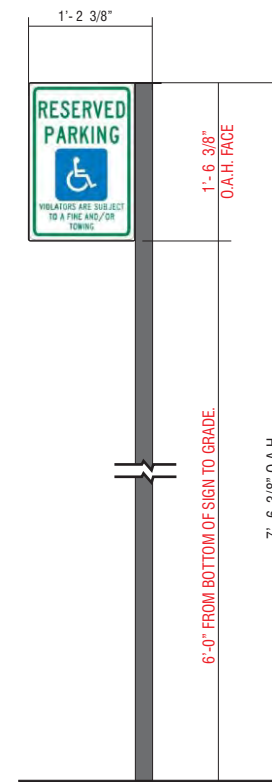
E.7 **E.8** SIGN TYPE TC-P-STOP-DNE-DOT-RE

CUSTOM POST MOUNT D/F DOT STOP/DNE SIGN FACES



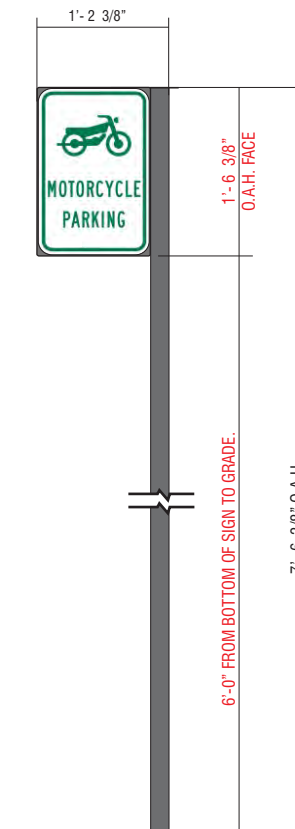
E.9 SIGN TYPE CUSTOM TC-P-ADA-NM-V-RE

CITY SPECIFIC



E.10 SIGN TYPE CUSTOM TC-P-ADA-NM-RE

CITY SPECIFIC



E.29 **E.30** SIGN TYPE TC-P-MOTORCYCLE



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Customer Signature _____ Date _____

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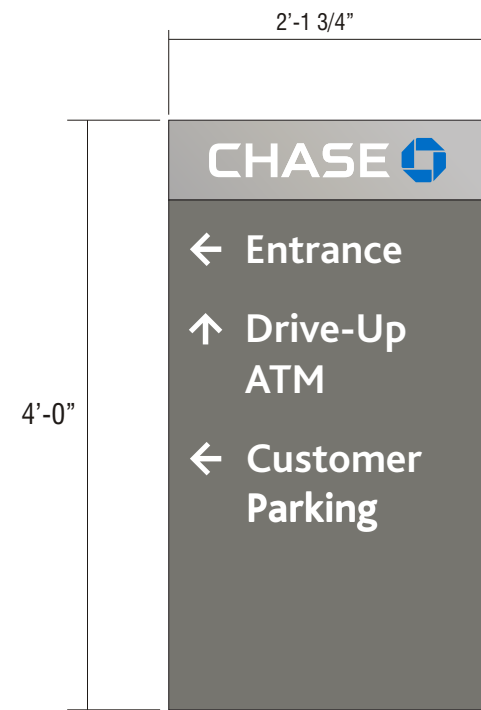
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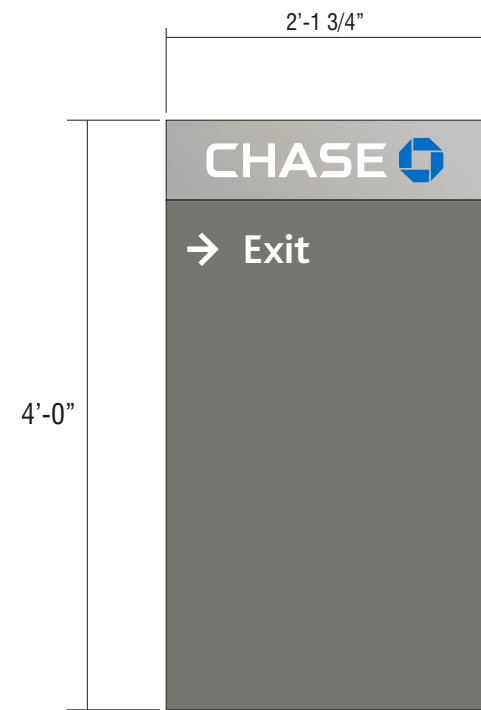
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SIGNAGE OVERVIEW

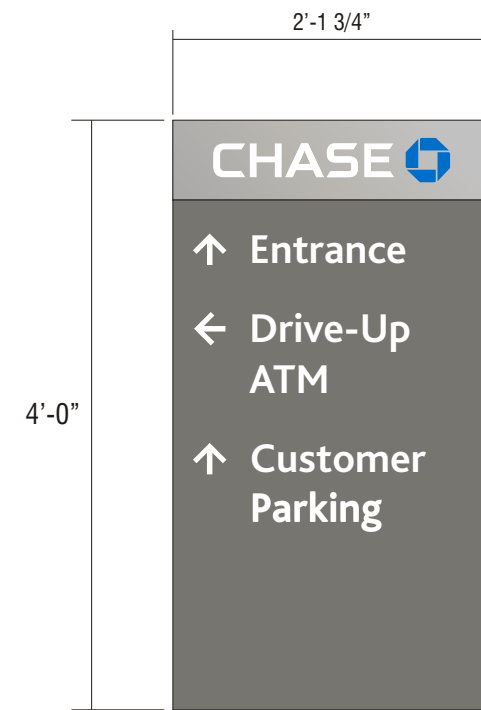


FRONT VIEW

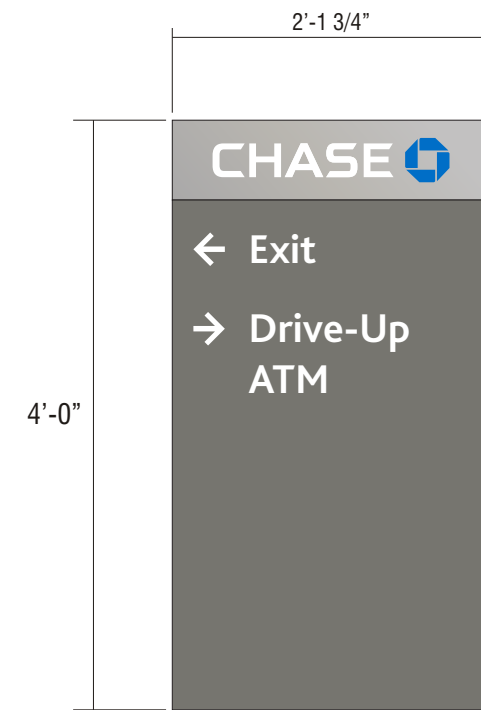


BACK VIEW

E.11 SIGN TYPE D-7.6-RE

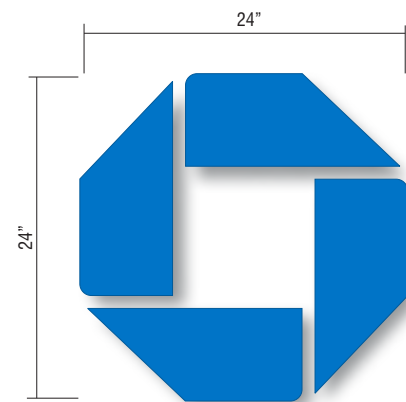


FRONT VIEW



BACK VIEW

E.12 SIGN TYPE D-7.6-RE



I.17 SIGN TYPE OCT-24-INT
BLUE BITRO



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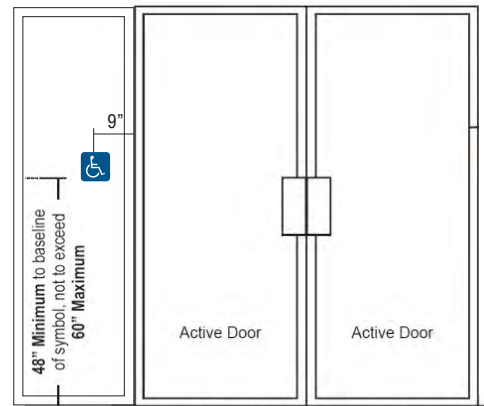
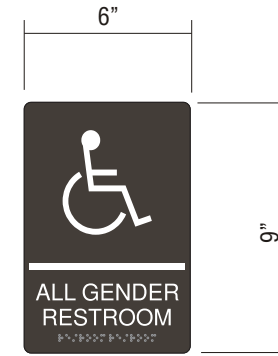
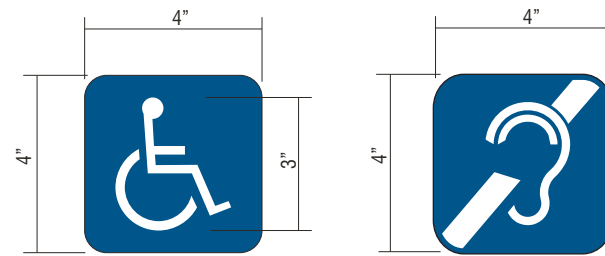
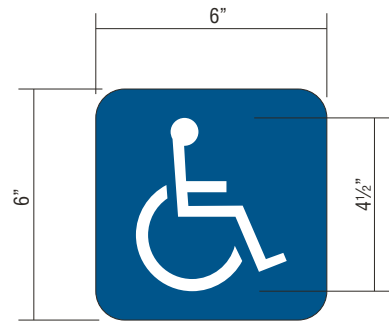
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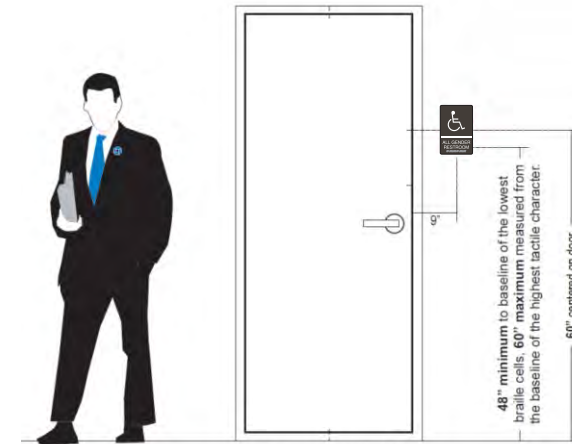
SIGNAGE OVERVIEW



Double door with both doors active, sign is mounted to the left of the left side door



Placement at Modular Teller Stations with Bullet-Resistant Glass



If latch is on right side of door, sign installed on right side

E.14

SIGN TYPE ADA-EP ACCESSIBILITY PLAQUE

I.18

SIGN TYPE ADA-TW ACCESSIBLE TELLER PLAQUE

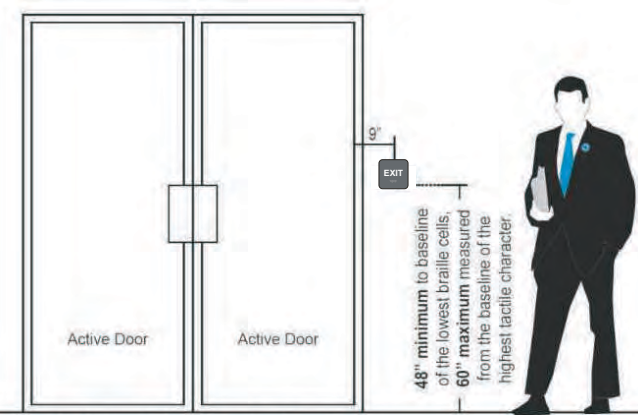
I.19

SIGN TYPE ADA-TW-ALS ASSISTED LISTENING SYSTEM PLAQUE

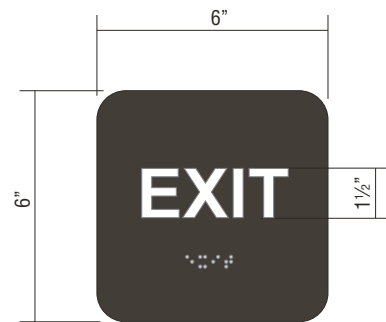
I.22

I.23

SIGN TYPE ADA-RRAG-A-G ALL-GENDER RESTROOM PLAQUES

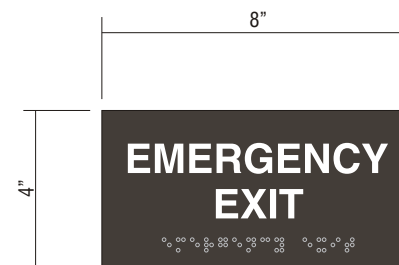


Double door with both doors active, sign is mounted to the right of the right hand door



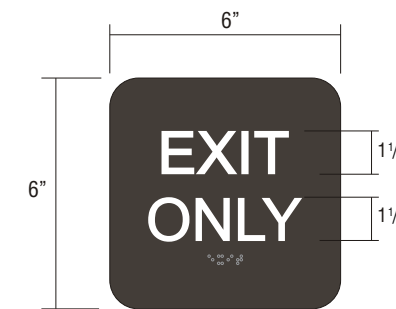
I.15 **I.16**

SIGN TYPE ADA-EX EXIT PLAQUE



I.20 **I.21**

SIGN TYPE ADA-EEX EMERGENCY EXIT PLAQUE



E.24

SIGN TYPE ADA-EO EXIT ONLY PLAQUE



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EXISTING CONDITIONS



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Existing Conditions

Code Allowances - Completed by Sign Vendor

General Info	
Zoning Designation, Planner name, phone number, email address	MX-H Mixed Use High Intensity City of Albuquerque Robert Webb 505-924-3860 x 5 rwebb@cabq.gov
Temporary Signs	
Is the 8' x 4' Coming Soon Ground Sign Allowed? If so, how many?	No. Requests to erect such a sign shall require approval from the Planning Director. 4 per location, allowed during construction period. 20 sf max, 5 ft height. Non illuminated only.
Are temporary banners allowed? If so, for how long?	Yes, permit is not required. 4 per premises, 16 sf and up to 8 ft height. Allowed for up to 15 days.
Primary Ground Sign	
Will code allow our standard pylon or monument? If yes, which one (ex: P-100, P-75, M-50, M-25, refer to reference guide for all standard options). Is more than 1 primary ground sign allowed?	Not for individual tenants of the center. Discuss tenant panel with landlord of Park Square (this location is currently a Pier One store)
If not, what are the pylon / monument restrictions? (include illumination restrictions/overall allowable sf / custom design requirements)	N/A
List the set back requirements.	N/A
Building Sign	
Prototypical FS branch - Will code allow our standard illuminated bldg. sign package (30" letterset on front & sides, 24" letterset on the rear)? Please list size and locations of signs allowed.	Yes, (4) 30" lettersets
If not, what are the variables/restrictions (include illumination and sf restrictions, as well as custom sign requirements)?	Cannot exceed 15% of any façade. Cannot be more than 2 ft above roofline/height of wall. 1. The sign is not within 200 feet of any Residential zone district and visible from that zone district. 2. The sign is not within 330 feet of Major Public Open Space. 3. Change of illumination does not produce any apparent motion of the visual image, including but not limited to illusion of moving objects, moving patterns or bands of light, expanding or contracting shapes, or any similar effect of animation except twinkling. 4. There is no continuous or sequential flashing in which more than 1/3 of the lights are turned on or off at one time.
In-line / Urban branch - what are the exterior wall sign restrictions (sign type, including max. sf and illumination).	N/A
Interior Window Signs- List all interior window signs restrictions, including storefront set back requirements.	Cannot exceed 15% of glass Coverage area is counted, cannot exceed 15% of glass
ATM Topper- does this count against our overall allowable sf.? Is illumination allowed?	Per Mr. Webb, any branding/copy will count toward sign allowance. Illumination is allowed. Permit is required.
Are decorative logos allowed (EFIS octagon)? Does it count against overall SF?	Per Mr. Webb, any branding/copy will count toward sign allowance
Are entrance wall plaques allowed (CPC plaque)?	Per Mr. Webb, any branding/copy will count toward sign allowance
Directional / Regulatory Signs	
Is our standard directional and regulatory sign package allowed?	Yes
If not, what are the variables/restrictions?	Allowed as needed. Cannot exceed 24 sf and/or 8 ft height. Permit only needed if illuminated. Discuss with landlord of Park Square
Awnings / ATM Sunscreens	
Are branded awnings allowed?	Yes
What if any restrictions are there (Illumination, color/materials, min & max projection)?	Cannot exceed 50% of frontage width. Signage may be on vertical surface only and cannot exceed 18". Copy area is boxed and counted. Illumination will be subject to review. Submit proposal. No specific color/material restrictions per code, discuss with landlord. Must be out of ROW, must allow 8 ft clearance.
Are ATM sunscreens allowed? Do they count against overall SF?	Not specifically regulated by code, city would like to review proposal case-by-case. Per Mr. Webb, typically any branding/copy will count toward wall sign allowance.
Is a signature canopy allowed? What are the restrictions if any?	Not specifically regulated by code, city would like to review proposal case-by-case. Per Mr. Webb, typically any branding/copy will count toward wall sign allowance.
Other Governing Agencies	
Identify other governing agencies that could override code (ARB, HRB, PUD, etc) and list the known restrictions.	Zoning Hearing Examiner hears/decides all variance requests. See variance info below.
Permitting / Variance Process	
What is the application process and timing for variance approval? What are the variance application fees?	Must FIRST have a pre-application meeting to see if variance will be needed. Meetings held on 1st Thursdays. Allow 60-90 days. Fees begin at \$150 Yes, but should not be needed as this is an allowed use for this district.
What is the likelihood of being granted a variance with this municipality?	50%
Architectural Lighting	
Is Architectural lighting allowed? Does it count against overall SF? List provisions.	Not regulated as signage, include on proposal for building remodel for case-by-case review. No Dark Sky requirements.
Additional Comments	
Please list any additional comments	City no longer keeps track of MSPs. Discuss any tenant specific signage with landlord of the center.



Signtech™

4444 Federal Blvd. San Diego CA 92102
Phone: (619) 527-6100 / Fax: (619) 527-6111
signtech.com



**JP Morgan Chase Bank
#38200P367111**

**Indian School Rd NE &
Louisiana Rd
6670 Indian School Rd NE
Albuquerque, NM 87110**

Initial Date: 08/10/20
Salesperson: Arthur Navarro
Coordinator: Lorena Leon
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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Drawing Number: 20-01032

Project ID: CHASE_38000P123456_1

Revision: R4 - 10.02.20

Due Diligence



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

Chase Bank (Agent, Carlos Iglesias) request a conditional use to allow a drive-through or drive up facility for Lot 1D1A1, Park Square Addn, located at 2125 Louisiana Blvd NE, zoned MX-M [Section 14-16-4-3(F)(4)]

Special Exception No:..... **VA-2020-00464**
Project No: **Project#2020-004864**
Hearing Date: 02-16-21
Closing of Public Record: 02-16-21
Date of Decision: 03-02-21

On the 16th day of February, 2021, Carlos Iglesias, agent for property owner Chase Bank (“Applicant”) appeared before the Zoning Hearing Examiner (“ZHE”) requesting a conditional use to allow a drive-through or drive up facility (“Application”) upon the real property located at 2125 Louisiana Blvd NE (“Subject Property”). Below are the ZHE’s finding of fact and decision:

FINDINGS:

1. Applicant is requesting a conditional use to allow a drive-through or drive up facility.
2. The City of Albuquerque Code of Ordinances Section 14-16-6-6(A)(3) (Review and Decision Criteria– Conditional Use) reads: *“An application for a Conditional Use Approval shall be approved if it meets all of the following criteria:*
 - (a) It is consistent with the ABC Comp. Plan, as amended;*
 - (b) It complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property;*
 - (c) It will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community;*
 - (d) It will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts;*
 - (e) It will not increase non-residential activity within 300 feet of a lot in any residential zone district between the hours of 8:00 pm and 6:00 am;*
 - (f) It will not negatively impact pedestrian or transit connectivity without appropriate mitigation*
3. The Applicant bears the burden of ensuring there is evidence in the record supporting a finding that the above criteria are met under Section 14-16-6-4(N)(1).
4. All property owners within 100 feet and affected neighborhood association(s) were timely notified.
5. The subject property is currently zoned MX-M.
6. Based on evidence submitted by the Applicant, the requested conditional use is consistent with the ABC Comp. Plan, as amended.

7. Based on evidence submitted by the Applicant, the requested conditional use complies with all applicable provisions of the IDO, including, but not limited to any Use-specific Standards applicable to the use in Section 14-16-4-3; the DPM; other adopted City regulations; and any conditions specifically applied to development of the property in any prior permit or approval affecting the property.
8. Based on evidence submitted by the Applicant, the requested conditional use will not create significant adverse impacts on adjacent properties, the surrounding neighborhood, or the larger community.
9. Based on evidence submitted by the Applicant, the requested conditional use will not create material adverse impacts on other land in the surrounding area, through increases in traffic congestion, parking congestion noise, or vibration without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.
10. Based on evidence submitted by the Applicant, the requested conditional use proposed use will not increase non-residential activity within 300 feet of a lot in any residential zone between the hours of 8:00PM and 6:00AM as required by Section 14-16-6-6(A)(3)(e).
11. Based on evidence submitted by the Applicant, the requested conditional use proposed use will not negatively impact pedestrian or transit connectivity, as required by Section 14-16-6-6(A)(3)(f).
12. City Transportation stated no objection to the application.
13. The ZHE finds that the proper “Notice of Hearing” signage was posted for the required time period as required by Section 14-16-6-4(K)(3).
14. The ZHE finds that the Applicant has authority to pursue this Application.

DECISION:

APPROVAL of a conditional use to allow a drive-through or drive up facility.

APPEAL:

If you wish to appeal this decision, you must do so by March 17, 2021 pursuant to Section 14-16-6-4(U), of the Integrated Development Ordinance, you must demonstrate that you have legal standing to file an appeal as defined.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed, or utilized.

A handwritten signature in black ink, appearing to read "Robert Lucero".

Robert Lucero, Esq.
Zoning Hearing Examiner

cc:

ZHE File
Zoning Enforcement
Carlos Iglesias, Carlos@cumulusdesign.net

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 19, 2020

Paul Cragun, P.E.
Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, TX 75050

**RE: Chase Bank – Indian School Rd.
6670 Indian School Rd. NE
Grading and Drainage Plans
Engineer's Stamp Date: 11/09/20
Hydrology File: J18D001C**

Dear Mr. Cragun:

Based upon the information provided in your submittal received 11/09/2020, the Grading and Drainage Plans are approved for Building Permit and action by the DRB on Site Plan for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

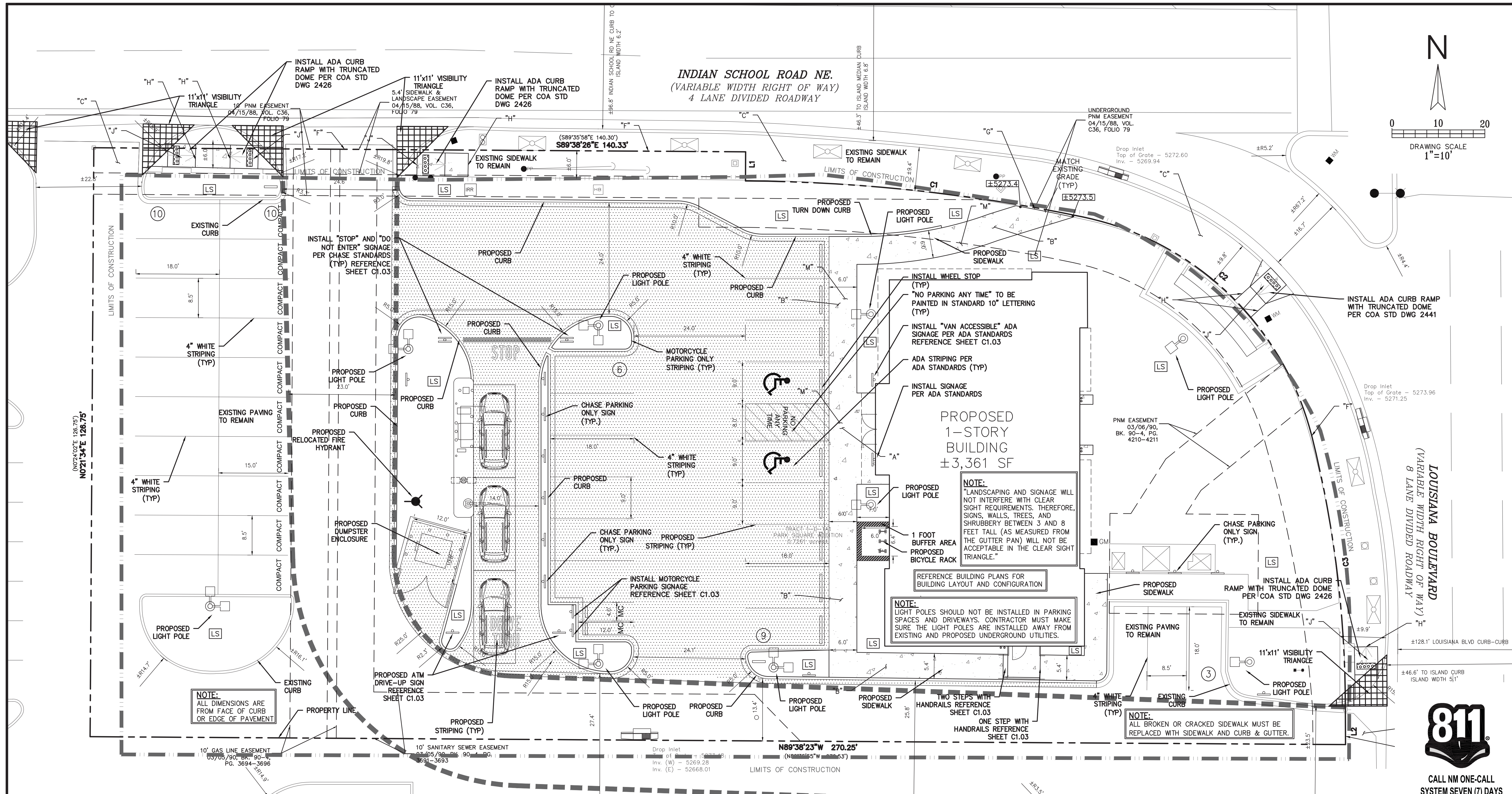
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

The Payment in Lieu payment of **\$2,028.80** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form. Once the Owner paid the fee, please provide Hydrology with a copy of the receipt.

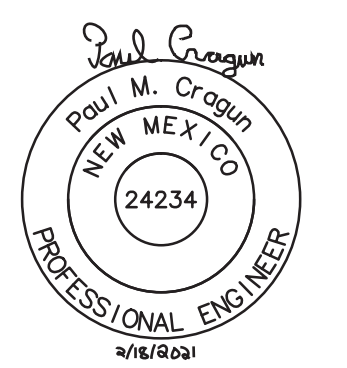
If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



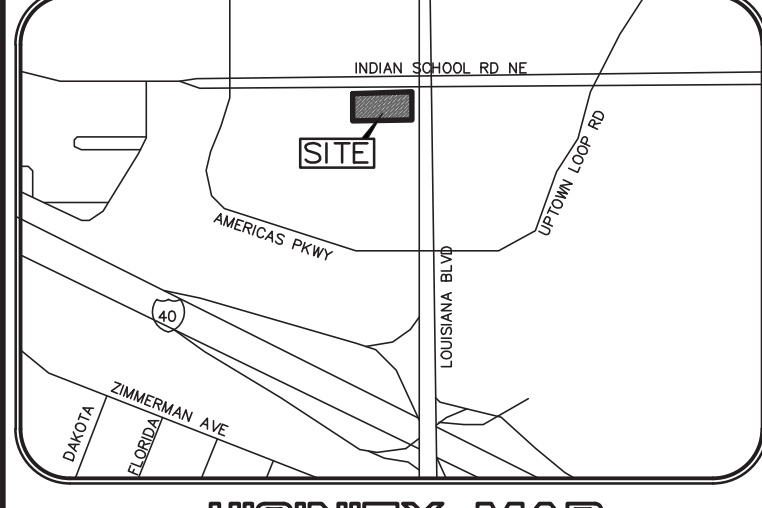
CUMULUS DESIGN
 Cumulus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel. 214.235.0367



SITE PLAN
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY

CHASED

PLOT DATE
 02/18/21
 DRAWING SCALE
 1" = 10'
 PROJECT NUMBER
 CDC20013
 SHEET NUMBER
 C1.01



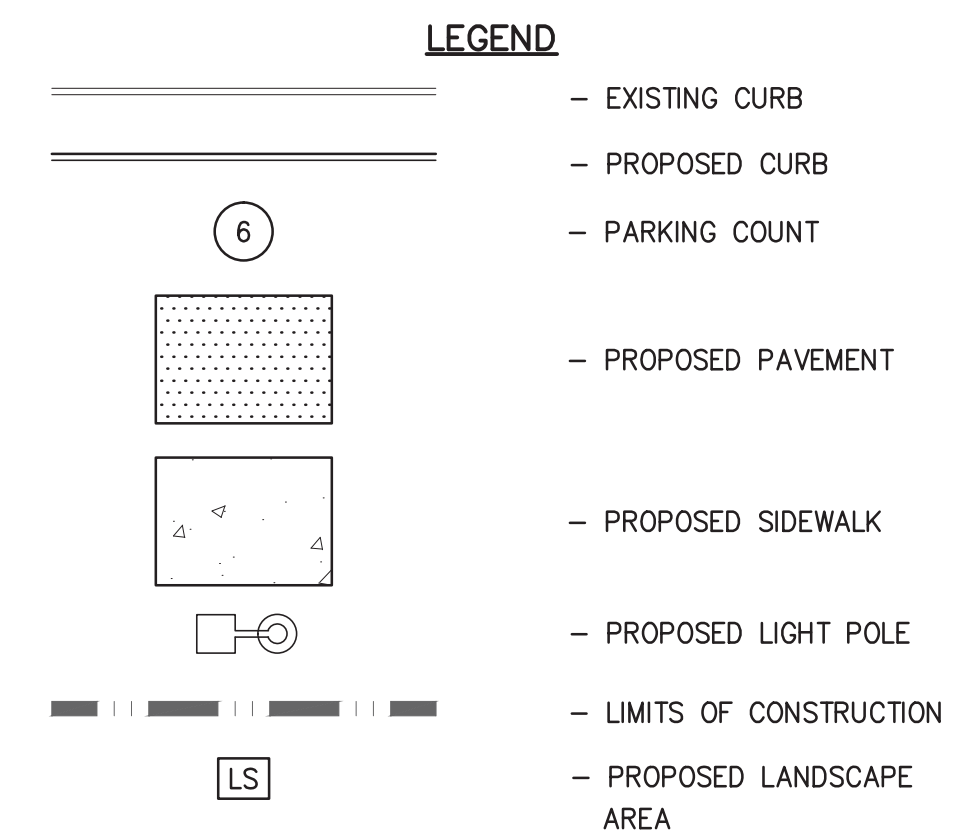
SITE PLAN	
EXISTING ZONING: MX-L/MIXED USE	
LAND USE:	FINANCIAL INSTITUTION
LEASE ACREAGE:	0.726 ACRES (31,628 SF)
BUILDING FOOT PRINT (TOTAL):	±3,361 SQUARE FEET
OPEN SPACE REQUIRED (25% OF LOT ACREAGE):	±7,907 SQUARE FEET
OPEN SPACE PROVIDED:	±7,457 SQUARE FEET (23.6%)
BUILDING COVERAGE:	3,361/31,628: 11.82%
APPROX EX. IMPERVIOUS AREA:	±25,857 SQUARE FEET (81.6%)
APPROX PROPOSED IMPERVIOUS AREA:	±24,171 SQUARE FEET (76.4%)
PARKING REQUIRED (3 PER 1000 SF OF PROPOSED BUILDING):	11 SPACES
PARKING PROVIDED:	38 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES
REQUIRED STACKING SPACES:	4 SPACES PER ATM
PROVIDED STACKING SPACES:	3 SPACES PER ATM
BICYCLE SPACE: REQUIRED/PROVIDED	4/5 SPACES
MOTORCYCLE SPACES: REQUIRED/PROVIDED	1/2 SPACES

CONSTRUCTION NOTES

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (4' MINIMUM).
- PROPERTY LINE.
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ADJUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- CONTRACTION JOINTS.
- FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
- FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
- GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/2" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
- PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
- SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.



THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVET CONSULTING SURVEYORS

BENCHMARK

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CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

!!! CAUTION !!!

UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

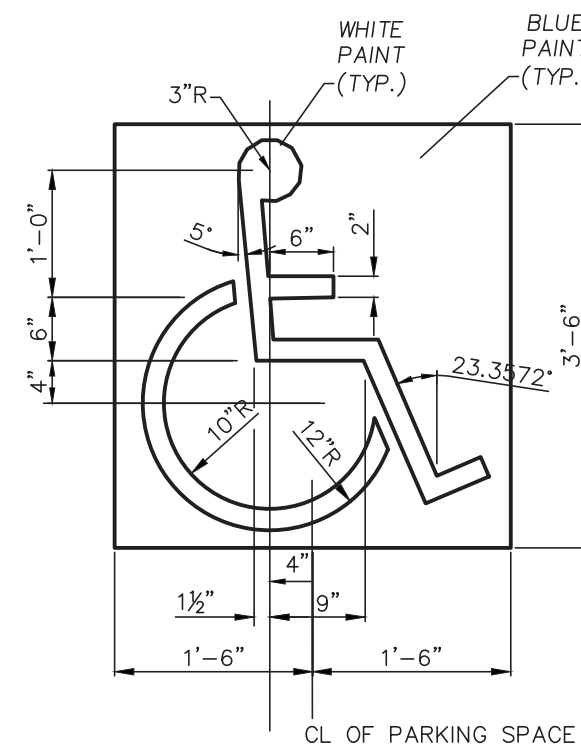
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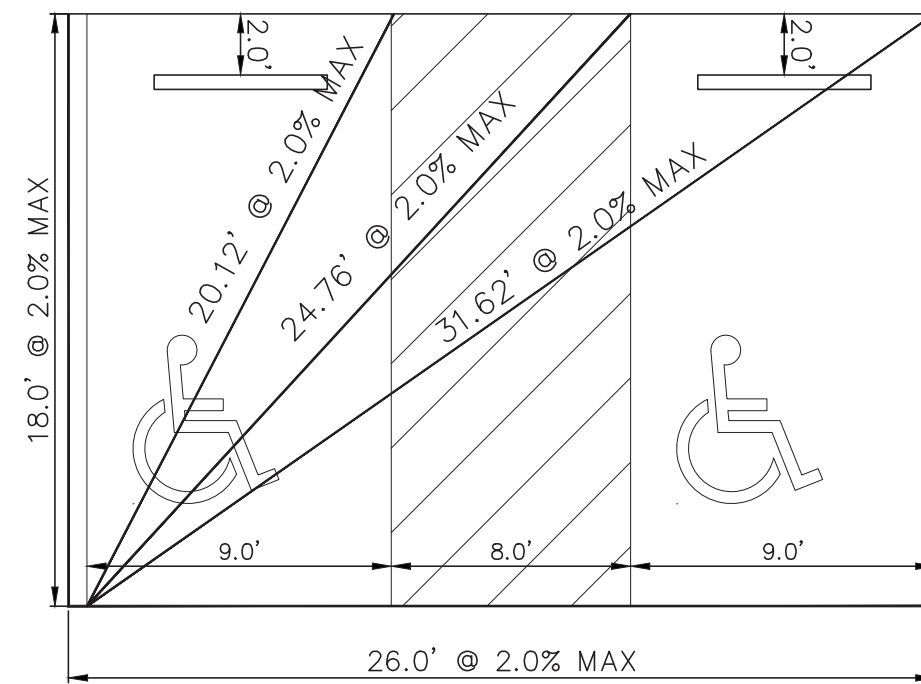
TYPICAL SIGNAGE MOUNTING DETAIL FOR ACCESSIBLE SPACES
N.T.S.



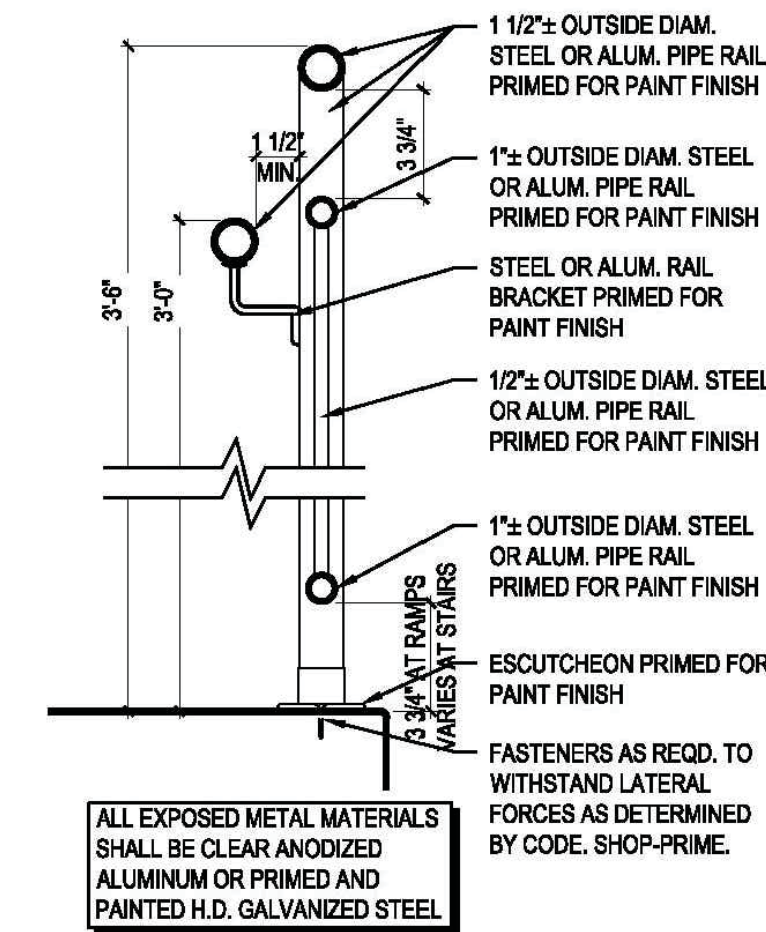
TYPICAL SIGNAGE MOUNTING DETAIL FOR VAN ACCESSIBLE SPACES
N.T.S.



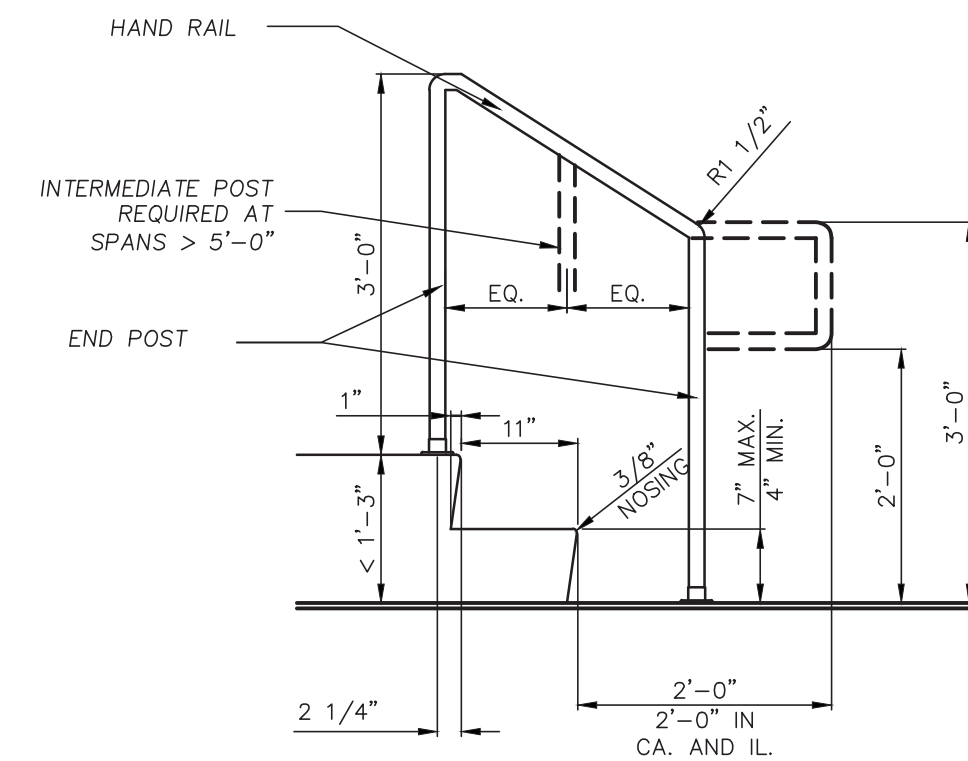
ACCESSIBLE PARKING SYMBOL DETAIL
N.T.S.



ADA PARKING STALLS AND AISLE DETAIL



ADA RAMP HAND RAIL DETAIL
N.T.S.



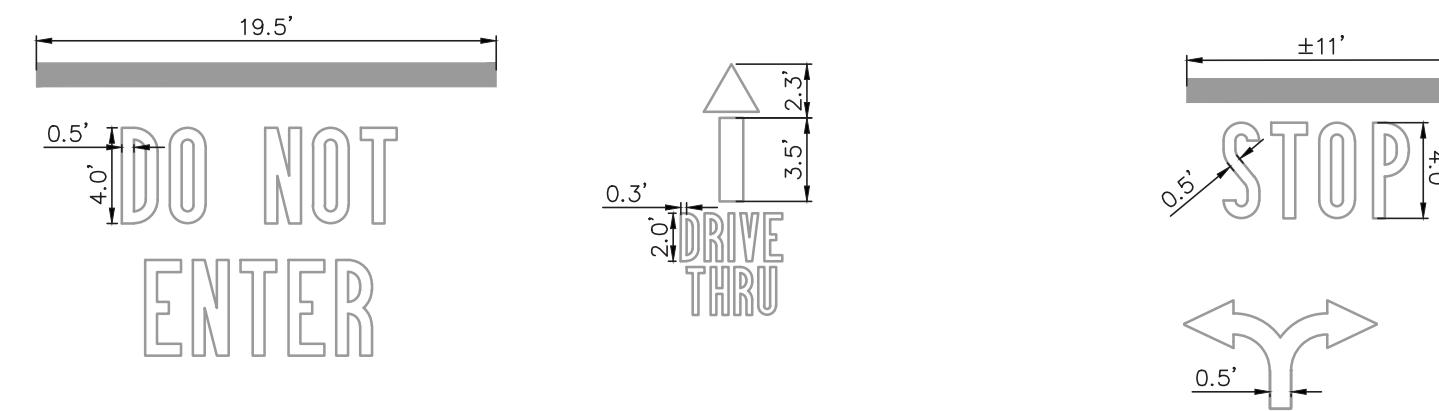
HANDRAIL DETAIL
N.T.S.



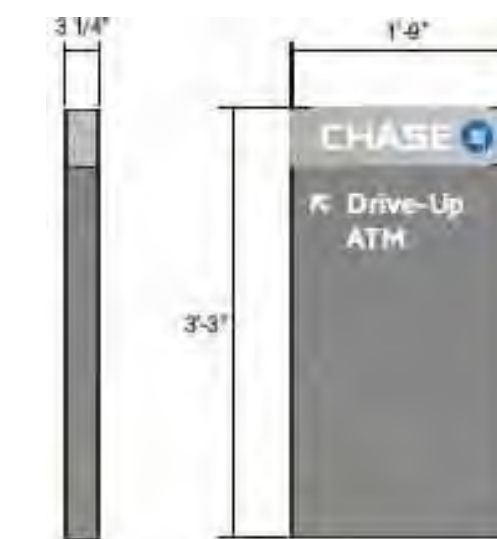
R1-1
(SIZE: 30\"/>



R5-1
(SIZE: 30\"/>



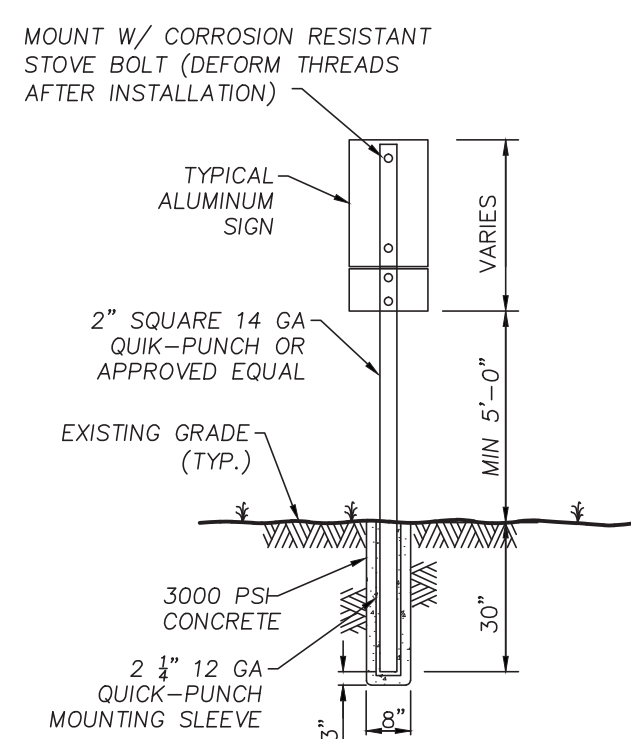
TEXT DETAILS
N.T.S.



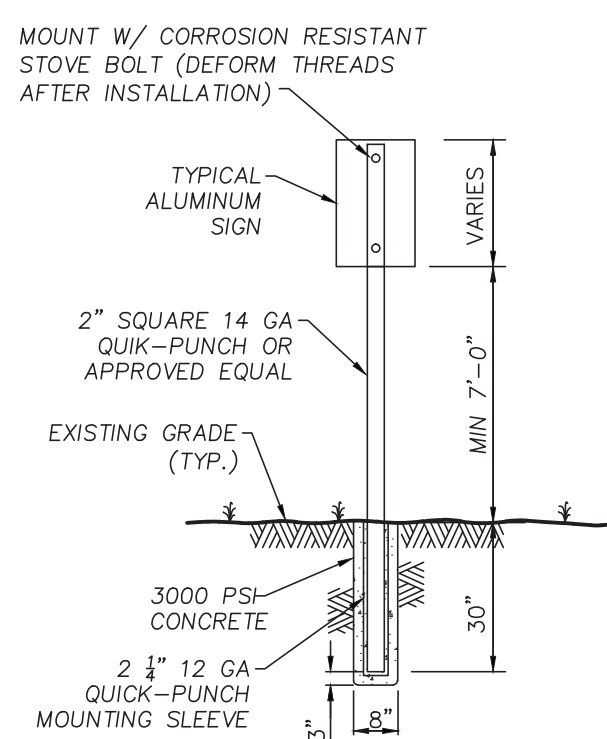
DRIVE-THRU ATM SIGNAGE DETAIL
N.T.S.



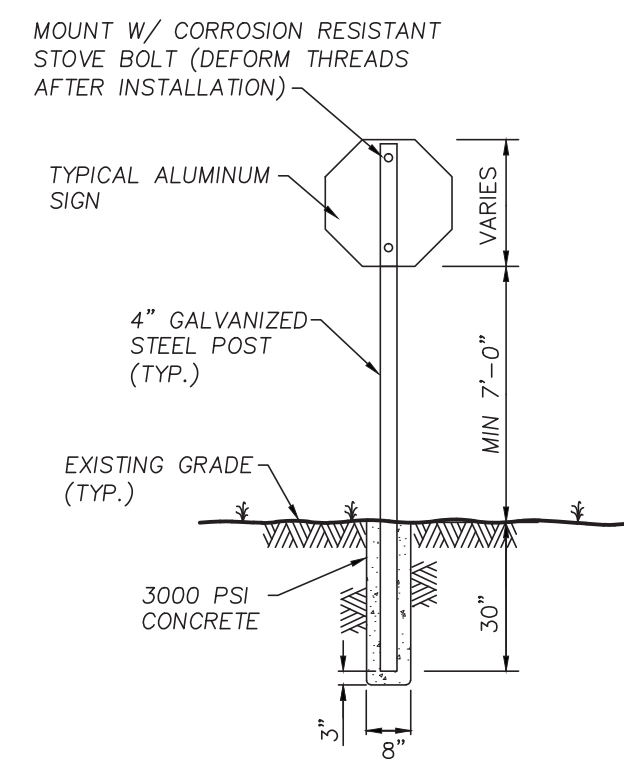
MOTORCYCLE PARKING SIGN
N.T.S.



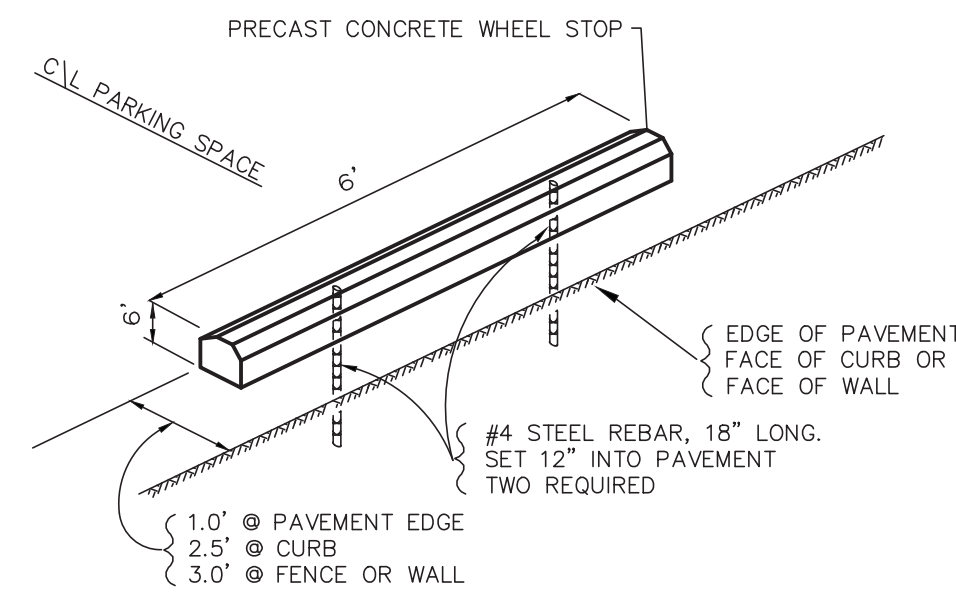
ADA DUAL SIGNAGE MOUNTING DETAIL
N.T.S.



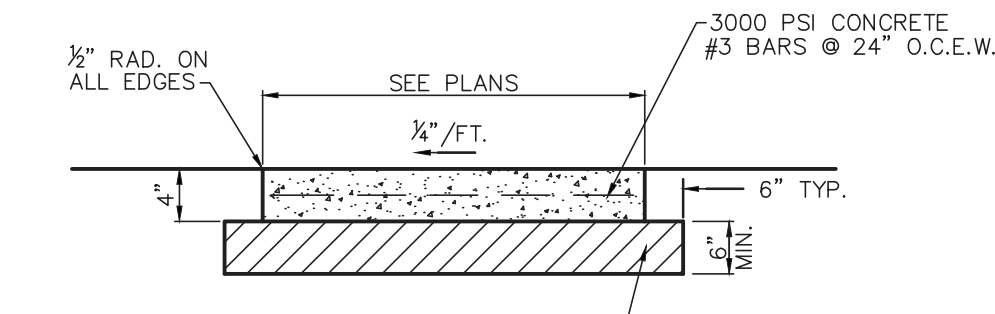
TYPICAL SIGNAGE MOUNTING DETAIL
N.T.S.



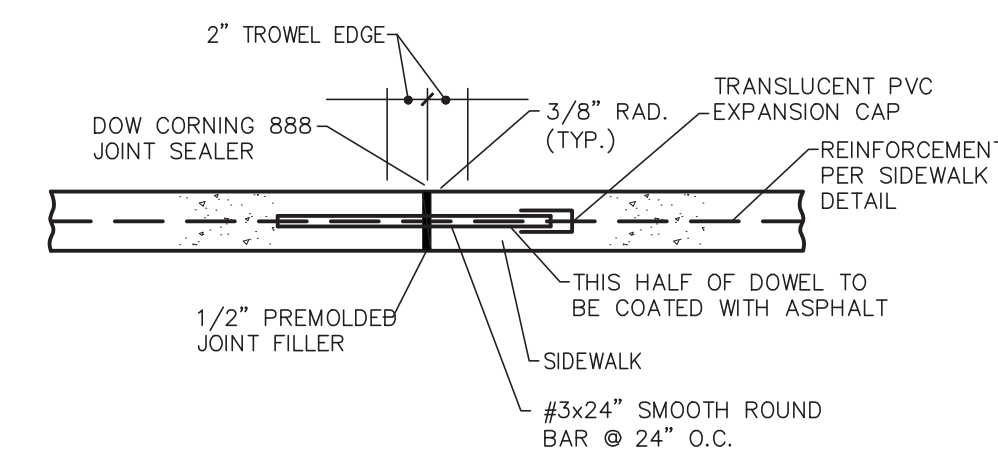
STOP SIGNAGE MOUNTING DETAIL
N.T.S.



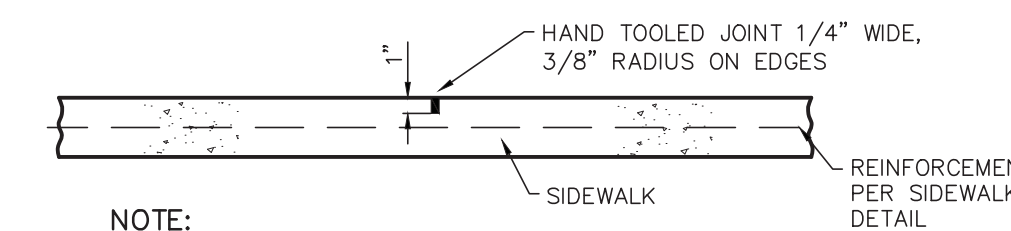
WHEEL STOP DETAIL
N.T.S.



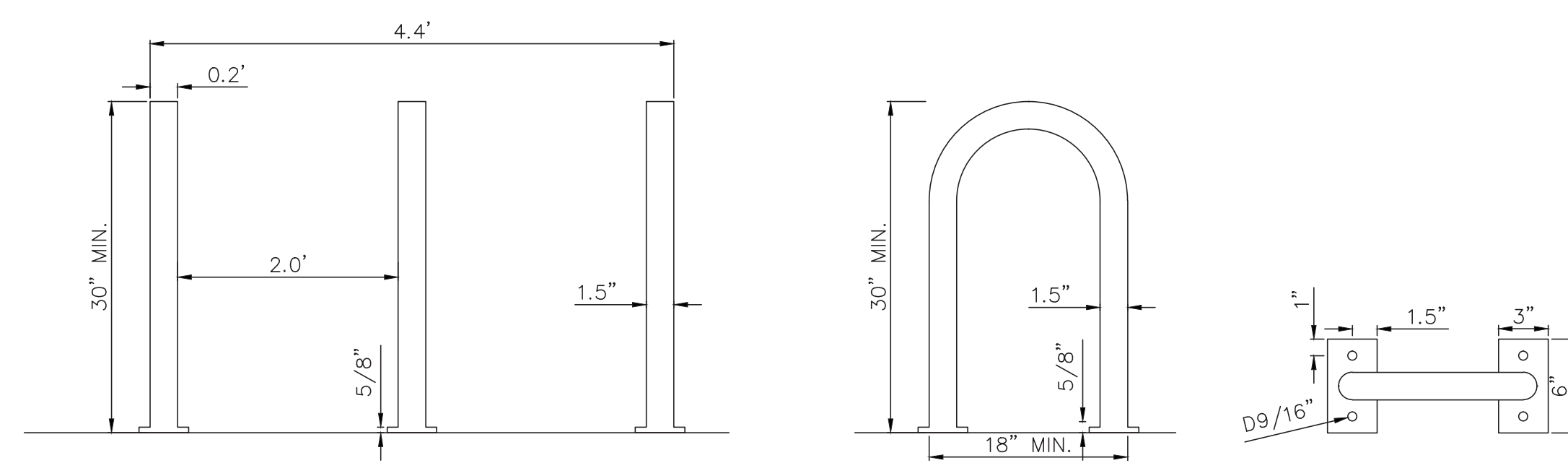
SIDEWALK CROSS-SECTION



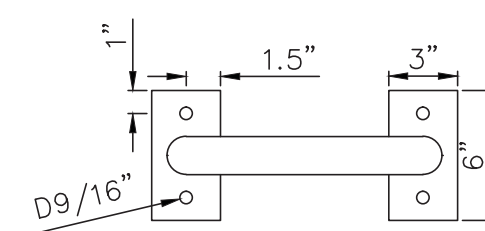
EXPANSION JOINT
N.T.S.



CONTRACTION JOINT
N.T.S.



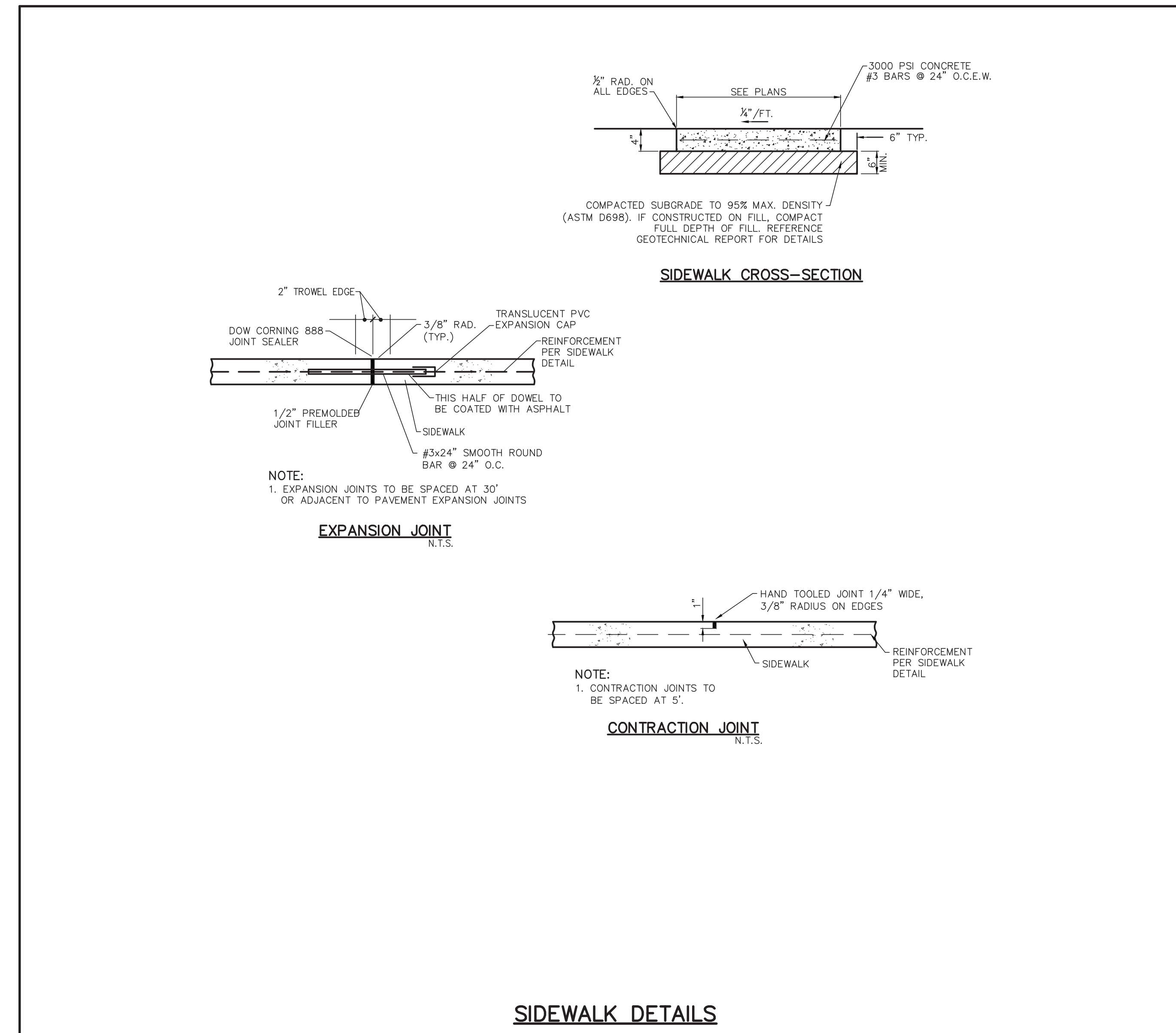
BICYCLE RACK DETAIL
N.T.S.



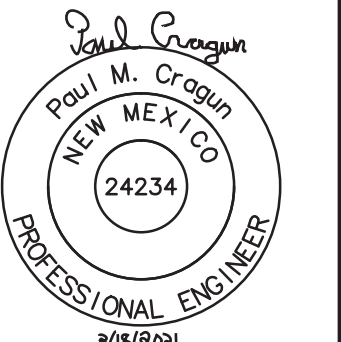
MISCELLANEOUS DETAILS

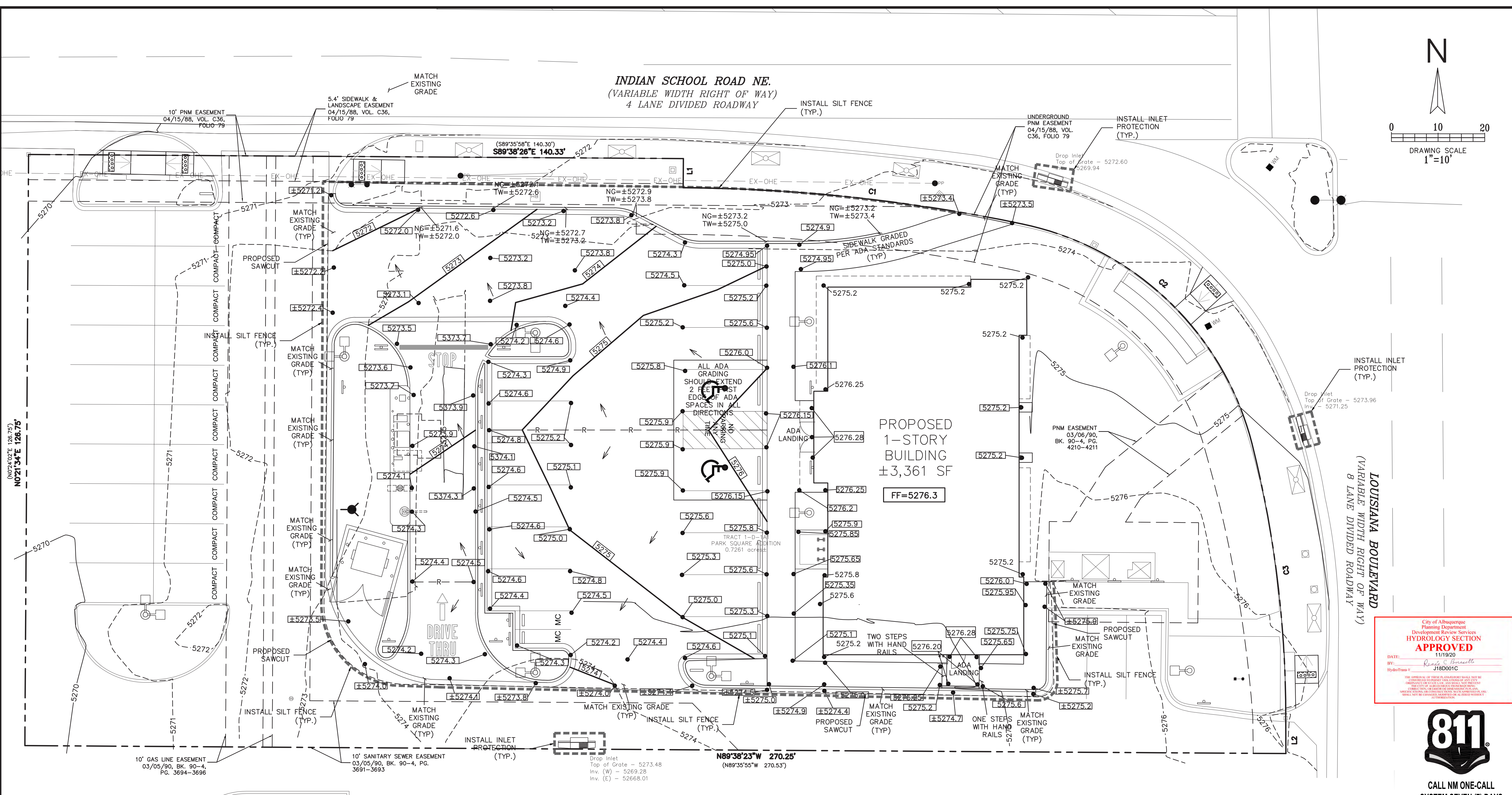
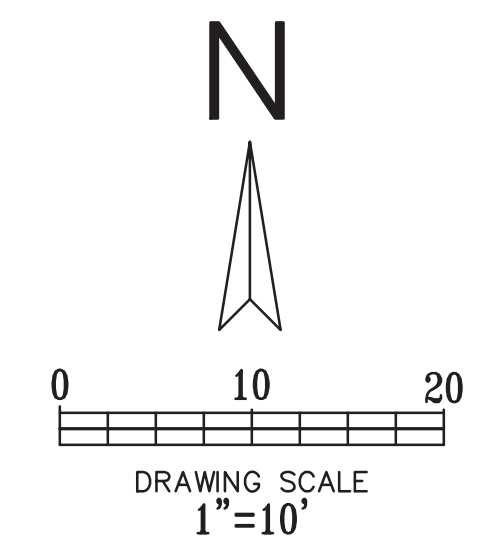
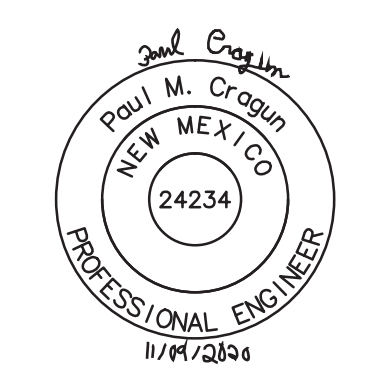
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

NOTE:
DETAILS ON THIS SHEET ARE PRIVATE. ALL WORK WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAY SHALL BE PER CITY (OR STATE, IF APPLICABLE) STANDARD DETAILS. THE CONTRACTOR IS REQUIRED TO HAVE ON-SITE, AT ALL TIMES, A COPY OF THE CITY'S CONSTRUCTION DETAILS.



SIDEWALK DETAILS





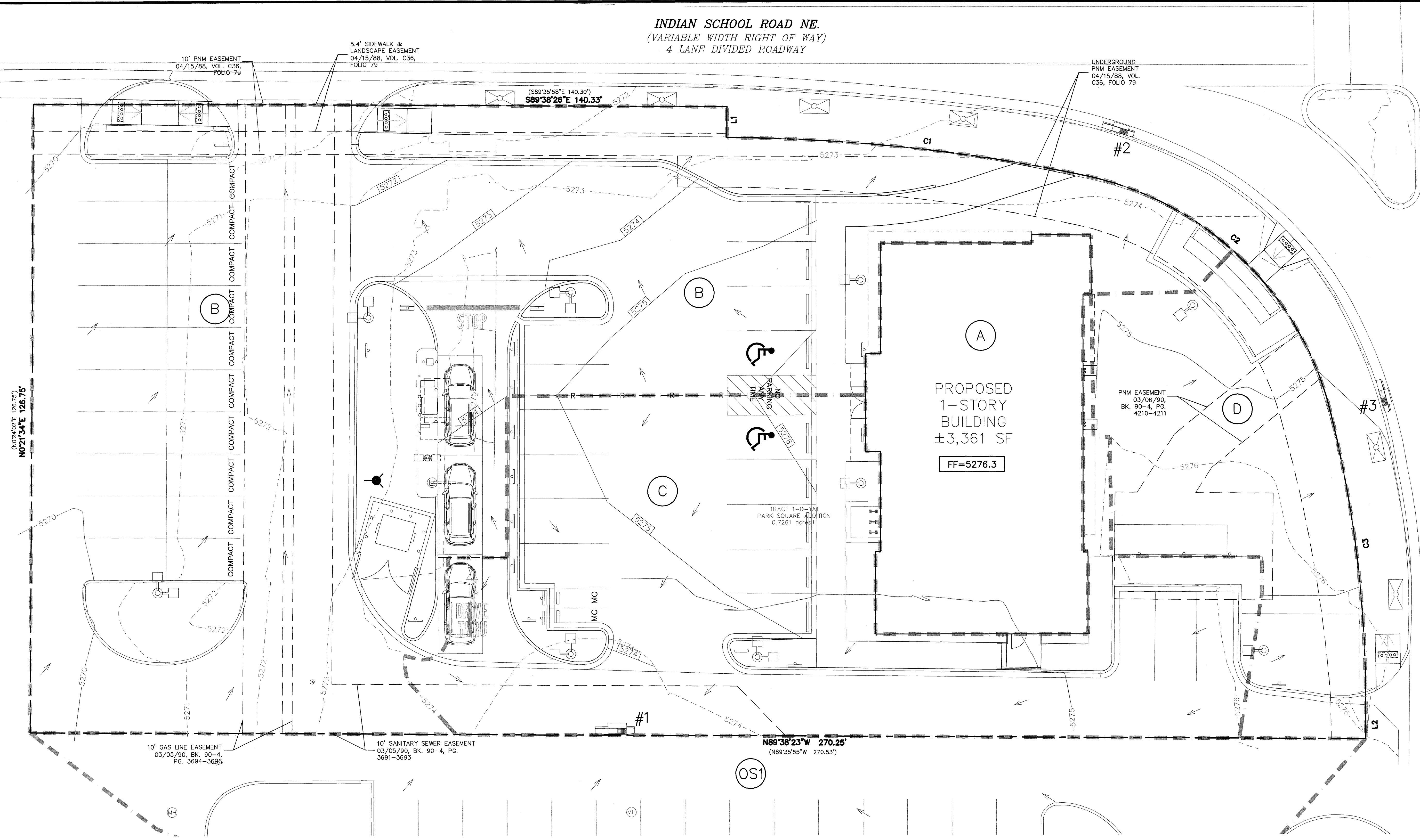
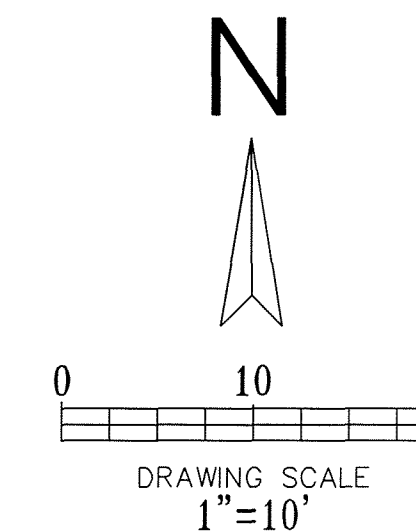
City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
APPROVED
 DATE: 11/19/20
 BY: [Signature]
 HydroTime # J18D001C



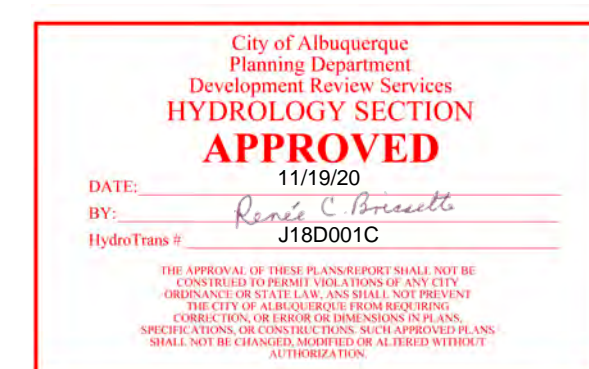
CALL NM ONE-CALL
 SYSTEM SEVEN (7) DAYS
 PRIOR TO ANY EXCAVATION

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INDIAN SCHOOL ROAD NE.
(VARIABLE WIDTH RIGHT OF WAY)
4 LANE DIVIDED ROADWAY



LOUISIANA BOULEVARD
(VARIABLE WIDTH RIGHT OF WAY)
8 LANE DIVIDED ROADWAY



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING CONTOUR ELEVATION
 - PROPOSED CONTOUR
 - DRAINAGE AREA DIVIDE
 - AREA DESCRIPTION
 - FLOW ARROW
 - PROPOSED VALLEY
 - PROPOSED RIDGE

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVTEK CONSULTING SURVEYORS

BENCHMARK

ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00°11'00.07" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

ALBUQUERQUE MONUMENT "20-H18" N=1493154.978 E=1545048.21 CF=0.999661580 DELTA ALPHA = - 00°11'00.11" NMSP, CENTRAL ZONE, NAD 27 ELEVATION=5383.222 NAVD88

CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

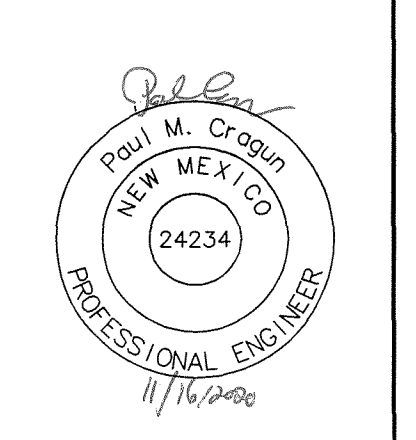
!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: NEW MEXICO ONE CALL • NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

Cumulus Design
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



DRAINAGE AREA MAP
6670 INDIAN SCHOOL ROAD
CITY OF ALBUQUERQUE, NEW MEXICO
BERNALILLO COUNTY

CHASE
PLOT DATE
11/16/20
DRAWING SCALE
1" = 10'
PROJECT NUMBER
CDC20013
SHEET NUMBER
C8.01

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DRAINAGE CRITERIA
 ZONE 3
 $Q=C+I^A$
 $I_2=1.94$ in/hr
 $I_{10}=3.12$ in/hr
 $I_{100}=4.96$ in/hr
 $t_c=12$ min.

PROPOSED DRAINAGE DATA CHART													
DRAINAGE ID	AREA (SQ. FT.)	AREA (AC.)	C ₂	C ₁₀	C ₁₀₀	T _c (min)	I ₂ (in/hr)	I ₁₀ (in/hr)	I ₁₀₀ (in/hr)	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	COMMENT
A	3361.09	0.08	0.89	0.54	0.91	5.0	1.94	3.12	4.96	0.13	0.13	0.35	ROOF DRAINS TO AREA "C" THEN TO INLET #1
B	17024.66	0.39	0.74	0.50	0.83	5.0	1.94	3.12	4.96	0.56	0.61	1.61	DRAINS TO INDIAN SCHOOL RD THEN TO INLET #2
C	7906.67	0.18	0.81	0.52	0.87	5.0	1.94	3.12	4.96	0.29	0.29	0.78	DRAINS TO INLET #1
D	3335.81	0.08	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.02	0.09	0.21	DRAINS TO LOUISIANA BLVD THEN TO INLET #3
OS1	7709.17	0.18	0.16	0.36	0.54	5.0	1.94	3.12	4.96	0.05	0.20	0.47	DRAINS TO AREA "C"
TOTAL	31628.23	0.73								1.06	1.32	3.42	

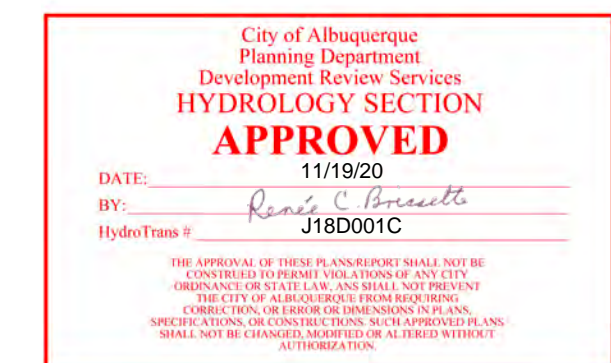
CALCULATIONS ARE BASED ON THE RATIONAL METHOD FROM CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 6 – DRAINAGE, FLOOD CONTROL AND EROSION CONTROL. DATED 06/08/2020

COMPOSITE ANALYSIS FOR RUNOFF COEFFICIENT												
DRAINAGE ID	PERCENT IMPERVIOUS	PERCENT PERVIOUS	C IMPERVIOUS (2 year)	C PERVIOUS (2 year)	C IMPERVIOUS (10 year)	C PERVIOUS (10 year)	C IMPERVIOUS (100 year)	C PERVIOUS (100 year)	COMPOSITE C (2 year)	COMPOSITE C (10 year)	COMPOSITE C (100 year)	
A	100.0	0.0	0.89	0.08	0.54	0.34	0.91	.50	0.89	0.54	0.91	
B	81.2	18.8	0.89	0.08	0.54	0.34	0.91	.50	0.74	0.50	0.83	
C	90.6	9.4	0.89	0.08	0.54	0.34	0.91	.50	0.81	0.52	0.87	
D	9.5	90.5	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	
OS1	9.9	90.1	0.89	0.08	0.54	0.34	0.91	.50	0.16	0.36	0.54	

80TH PERCENTILE STORMWATER QUALITY VOLUME TABLE			
DRAINAGE ID	NEW IMPERVIOUS AREA (SQ. FT.)	REDEVELOPMENT SITE FACTOR	80TH PERCENTILE STORM VOLUME (CFS)
A	3362.0	0.26	72.8
B	4980.0	0.26	107.9
C	3362.0	0.26	72.8
D	0.0	0.26	0.0
			253.6

REQUEST PAYMENT-IN-LIEU FOR PUBLIC OFF-SITE MITIGATION

WEIGHTED ANALYSIS FOR 6-HOUR EXCESS PRECIPITATION, 'E'						
DRAINAGE ID	LAND TREATMENT B	LAND TREATMENT D	AREA LAND TREATMENT B	AREA LAND TREATMENT D	WEIGHTED E (100 year) (IN)	VOLUME (100 year) (ACRE-FT)
A	0.86	2.58	0.000	0.080	2.580	0.045
B	0.86	2.58	0.073	0.317	2.257	0.008
C	0.86	2.58	0.017	0.163	2.418	0.056
D	0.86	2.58	0.008	0.0724	2.417	0.016
				TOTAL VOLUME		0.125



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

THE BENCHMARKS ARE PROVIDED BASED ON THE ELEVATIONS PROVIDED BY SURVETEK CONSULTING SURVEYORS

BENCHMARK
 ALBUQUERQUE MONUMENT "11-G19" N=1498464.315 E=1545105.455 CF=0.999660292 DELTA ALPHA = - 00°11'00.07" NMSF, CENTRAL ZONE, NAD 27 ELEVATION=5309.898 NAVD88

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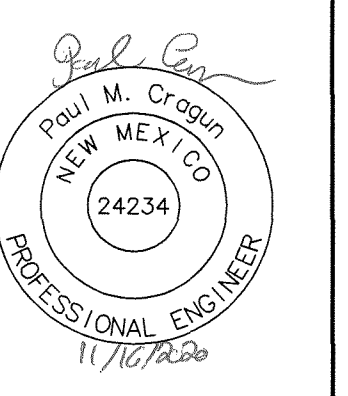
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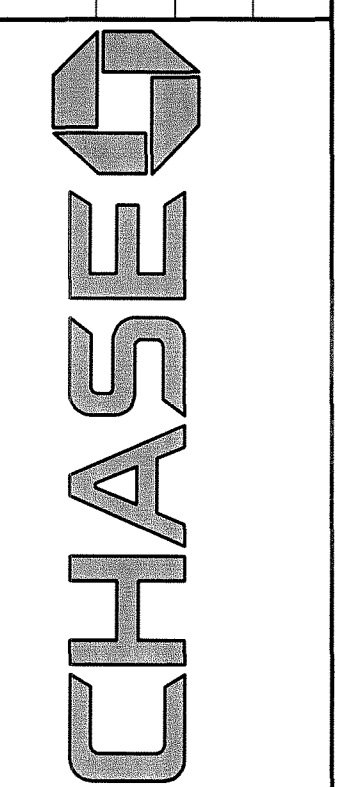
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CALL: NEW MEXICO ONE CALL @ NM 811 AT LEAST 7 DAYS PRIOR TO CONSTRUCTION.

Cumululus Design
 2080 N. Highway 360, Suite 240
 Grand Prairie, Texas 75050
 Tel: 214.235.0367



DRAINAGE AREA MAP
 6670 INDIAN SCHOOL ROAD
 CITY OF ALBUQUERQUE, NEW MEXICO
 BERNALILLO COUNTY



PLOT DATE
 11/16/20
 DRAWING SCALE
 PROJECT NUMBER
 CDC20013
 SHEET NUMBER
 C8.02

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Phase 2A will consist of a one story retail building referred to as the Louisiana University Union School Social Interaction (Retail Building "B").
 Phase 2B will be subdivided to allow this tract to be rezoned. Additional surface parking will be added.

Parking Required:

Retail Building "B" Tract 1-0-1A
 Retail and Service Uses

52	RETAIL	REQUIRED
4,893 SF	1/200 SF	24
100	Reduction per Sec. 40A 4.1 (1) - 3	
City Zoning Code		
20	Reduction per Sec. 40A 4.1 (2) - 1	
City Zoning Code		
Total Spaces Required		32 Spaces

Parking Provided:

Retail Building "B" Tract 1-0-1A
 Surface parking within the Tract
 Additional parking provided within Park Square Project
 See Master Site Parking Plan
 32 Spaces

Handicapped Parking:

Spaces Required 2
 Spaces Provided 2

NOTES:

1. PREVIOUS CONDUCTIONS OF THE PARK SQUARE PROJECT WERE REVERSED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD AND ARE RECORDED IN FILE NO. 200-82-533 (DATED 3 MARCH 1984).
2. SEE LAYOUT FOR PHASE 2A WILL BE NEEDED TO COMPLETE PHASE 1 SITE LAYOUT.

Paul Chaud 2/1/87
 DATE

G.S. Leake 2/1/87
 DATE

Johnnie... 2/1/87
 DATE

... 2-18-87
 DATE

... 2-18-87
 DATE

... 2-18-87
 DATE

DATE OF THIS APPLICATION 200-82-263, 150-02



1	PHASE 1 PREVIOUS DEVELOPMENT LAYOUT	DATE
2	PHASE 1 REVERSED SITE LAYOUT	DATE
3	PHASE 1 DEVELOPMENT LAYOUT	DATE
4	PHASE 1 DEVELOPMENT LAYOUT	DATE

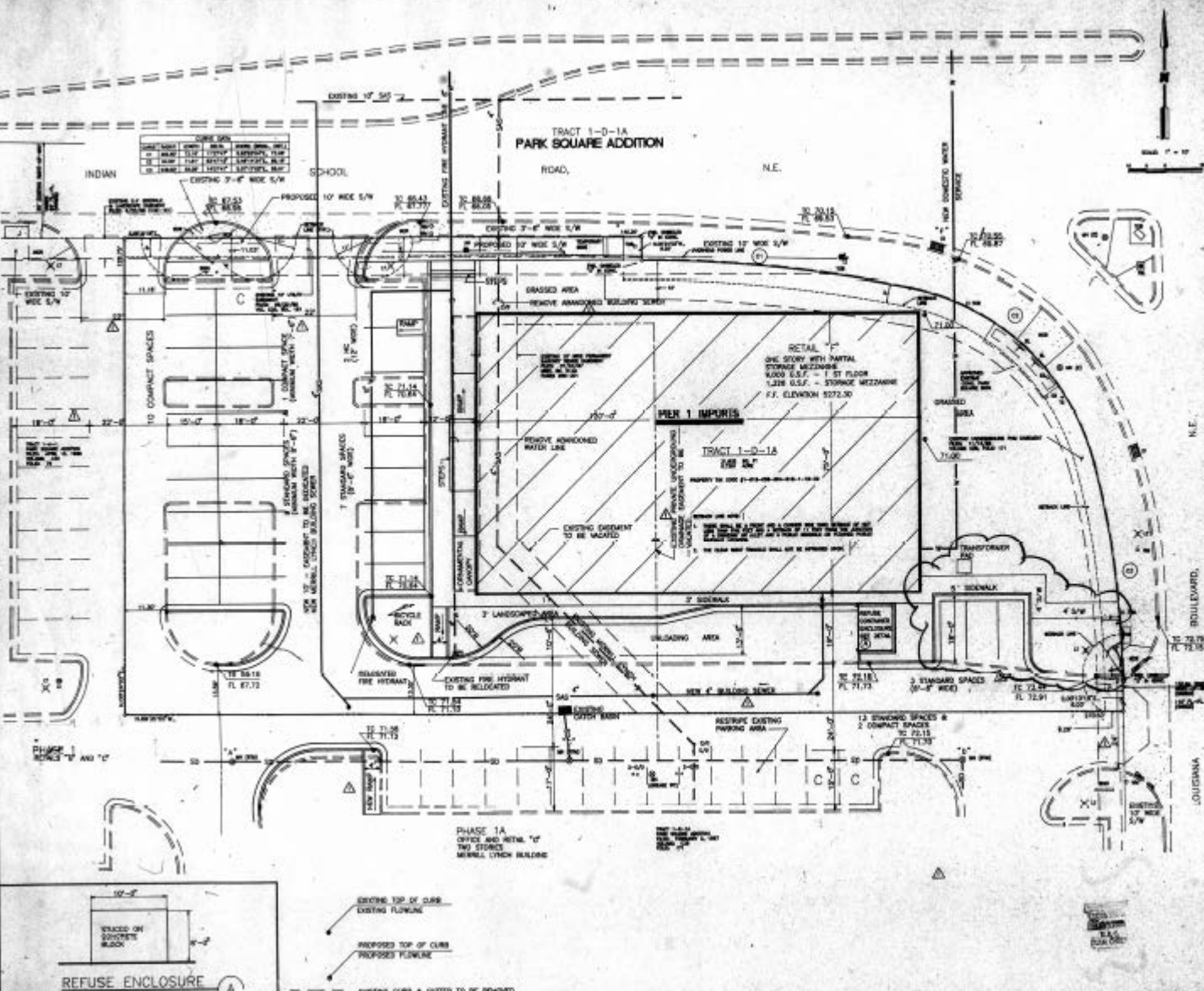
Hobbs & Horner
 Architects and Engineers

PARK SQUARE PHASE 2A

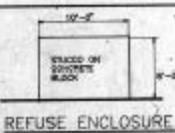
PIER 1 IMPORTS

SITE DEVELOPMENT PLAN

Project	Number	DATE/REV. NO.	REV.	DATE
SDP.1		SDP.1	1	



NO.	DATE	DESCRIPTION
1	10/1/86	PRELIMINARY
2	11/1/86	REVISED
3	12/1/86	REVISED
4	1/1/87	REVISED
5	2/1/87	REVISED



EXISTING TOP OF CURB
 EXISTING FLOWLINE
 PROPOSED TOP OF CURB
 PROPOSED FLOWLINE
 EXISTING CURB & SETBACK TO BE REMOVED

PHASE 1A
 OFFICE AND RETAIL, 1ST
 TWO STORIES
 METALL. TRUCK BUILDING

PIER 1 IMPORTS
 TRACT 1-0-1A
 200 SQ. FT.

10 STANDARD SPACES &
 2 COMPACT SPACES
 TC 22.15
 TC 21.30

LOUISIANA BOULEVARD

TRACT 1-0-1A
 PARK SQUARE ADDITION

N.E.

Scale 1" = 10'

107286

DRB-88-94

REPLAT
OF

DRB-89-243

TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G AND 1-H-1

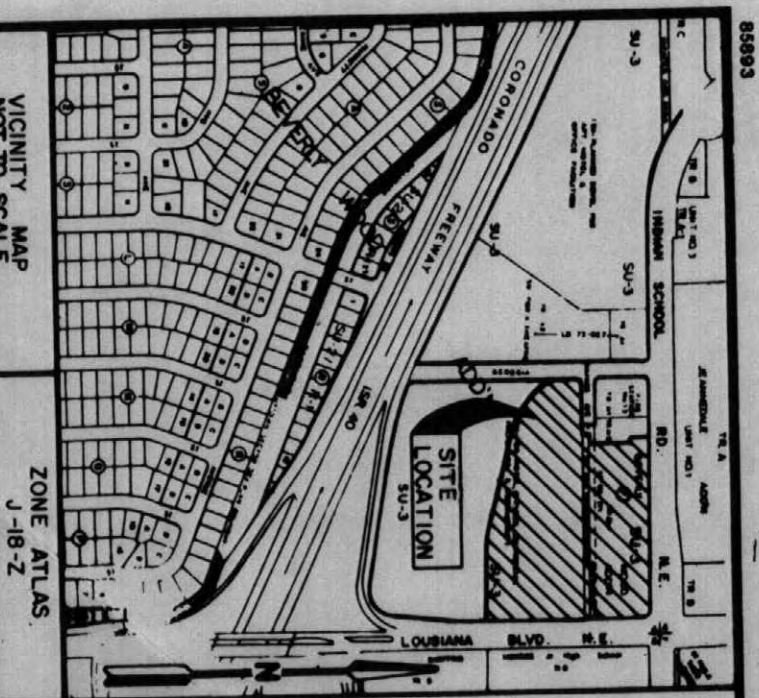
PARK SQUARE ADDITION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JANUARY 1988

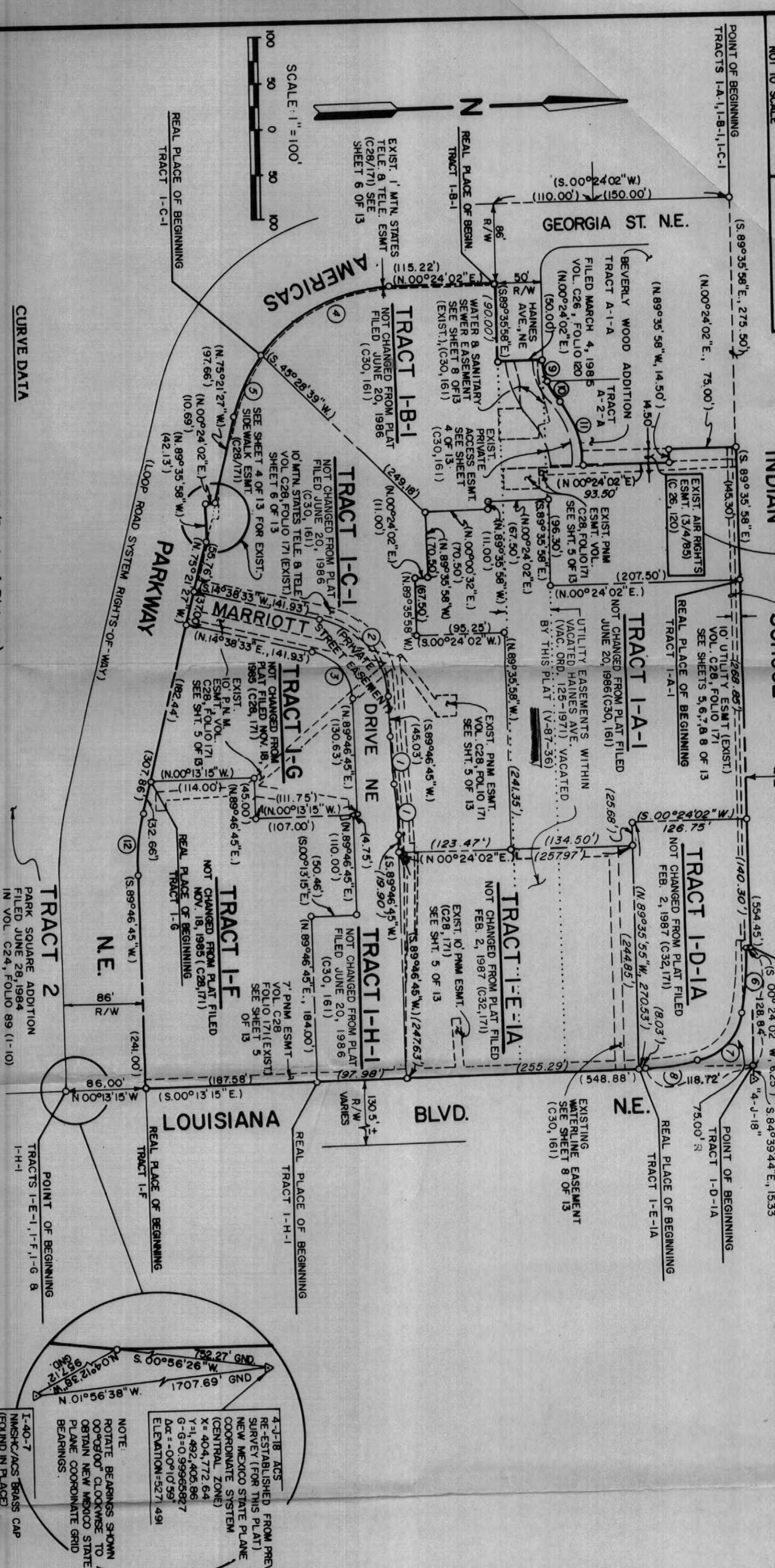
SHEET NO.	DESCRIPTION
1	Title, Index
2	Survey Plat, Vicinity Map
3	Dedication and Consent Statement And Owners and Officials Signatures
4	Private Access and Sidewalk Easement Locations (Existing)
5	Utility Easement Locations-PUBLIC SERVICE COMPANY OF NEW MEXICO (Existing)
6	Utility Easement Locations-THE MOUNTAIN STATES TELEPHONE & TELEGRAPH CO. (Existing)
7	Utility Easement Locations-THE GAS COMPANY OF NEW MEXICO (Existing)
8	Utility Easement Locations-THE CITY OF ALBUQUERQUE WATER RESOURCES DEPT. (Water and Sanitary Sewer) (Existing)
9	Existing Drainage Facilities And Surface Drainage Plan
10	Survey Metes and Bounds Descriptions-TRACTS 1-A-1, 1-B-1, & 1-C-1
11	Survey Metes and Bounds Descriptions-TRACTS 1-C-1 (cont'd), 1-D-1A & 1-E-1A
12	Survey Metes and Bounds Descriptions-TRACTS 1-F, 1-G & 1-H-1
13	Survey Plat and Survey Metes and Bounds Descriptions-PERIMETER

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



EXISTING AIR RIGHTS EASEMENT FOR THE PURPOSE OF SETBACK AND UNIFORM BUILDING CODE REQUIREMENTS TO BE RELOCATED TO THE REAL ESTATE PORTION OF TRACT 1, PARK SQUARE ADDITION, AS SHOWN AND DESIGNATED ON THE PLAT RECORDS OF BERNALILLO COUNTY, NEW MEXICO GOVERNMENTS. THE CITY OF ALBUQUERQUE GOVERNMENTS NOT BE RESPONSIBLE FOR PROPERTY EASEMENT FILED MARCH 4, 1983, IN VOLUME C28, FOLIO 120.

REPLAT
OF
TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G AND 1-H-1
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1988



CURVE RADIUS	DELTA	ABC	TANGENT	CHORD (Bearing & Distance)
1	346.76'	0.9° 52' 38"	56.14'	S. 86° 50' 16" W., 56.11'
2	93.18'	7.9° 08' 12"	122.19'	S. 52° 12' 39" W., 113.61'
3	56.18'	7.9° 08' 12"	73.67'	S. 52° 12' 39" W., 68.51'
4	182.16'	3.9° 23' 52"	169.77'	N. 26° 17' 54" W., 163.69'
5	182.16'	2.2° 21' 37"	71.09'	N. 64° 10' 39" W., 70.64'
6	365.80'	1.1° 27' 47"	73.18'	S. 83° 52' 04" E., 73.06'
7	64.20'	6.3° 47' 15"	71.81'	S. 46° 14' 34" E., 68.16'
8	239.50'	1.4° 07' 41"	59.06'	S. 07° 17' 03" E., 58.91'
9	63.66'	20° 12' 38"	22.46'	N. 80° 17' 33" E., 22.35'
10	63.66'	1.9° 47' 26"	21.99'	N. 60° 17' 21" E., 21.88'
11	113.66'	40° 00' 24"	79.36'	N. 70° 23' 50" E., 77.76'
12	238.99'	1.8° 51' 48"	67.19'	N. 82° 47' 21" W., 67.00'

- NOTES:**
1. Unless otherwise indicated all corners are marked with an iron stake surmounted by a cap marked "S. 4078".
 2. Bearings shown are based on the "Redirection of Tract 1, Park Square Addition, Together with Tract A-1, Block 49, Beverly Wood Addition, Bernalillo County, New Mexico" recorded in Volume C28, Folio 120, and the "City of Bernalillo County, New Mexico, Declaration of Relocation" in Volume C28, Folio 171.
 3. Bearings and distances shown are field and record data. Bearings and distances shown in parentheses are not required data.
 4. Distances are ground distances.
 5. Total Area - 489,883 square feet (11,269) acres.
 6. The purpose of this plat is to vacate easements retained by the location of Haimes Avenue, N.E., Vol. C80, 1-2-1915.

882-81-146

REDIVISION PLAT NOTES

- A. Marriott Drive N.E. is a private street governed by the Declaration of Reciprocal Easements, Restrictions and Covenants dated December 1, 1961, recorded in Volume C28, Folio 120, as Document No. 87-122244, in Vol. New Mexico the "Declaration", and no rights to use such private street are granted by this Plat.
- B. The Park Square Addition Plat recorded in Bernalillo County Clerk's Office on November 18, 1985, in Volume C28, Folio 171 (the "1985 Plat"), created a private underground drainage easement, as shown on Sheet 8 of 11, which now benefits the owner(s) of Tracts 1-A-1, 1-B-1, 1-C-1 and 1-E-1A. This easement is not affected by this Plat. The Park Square Addition Plat recorded in Bernalillo County Clerk's Office on February 2, 1987, in Volume C32, Folio 171 (the "1987 Plat"), created a private underground drainage easement, as shown on Sheet 3 of 6 to benefit the owner(s) of Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1A and 1-E-1A. This easement is redesignated and is shown on Sheet 9 of 13. The redesignated easement, as shown on Sheet 9 of 13, will be responsible for maintenance of any underground drainage facilities located on the portion of the easement located on their respective tracts. The owners of Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1A and 1-E-1A reserve the right to relocate such underground drainage easement in conformity with any Site Plan for such Tracts approved by the City of Albuquerque either by filing a subsequent redivision plat evidencing such relocation, or by executing and recording an "Affidavit of Relocation", together with the appropriate portion of the revised approved Site Plan attached thereto, with the County Clerk of Bernalillo County. Notwithstanding the execution, acknowledgment and recording of such a redivision plat or such an "Affidavit of Relocation", the termination or vacation of any such previously established interest, easement or facility, and will constitute a grant of the substitute interest, easement and/or facility.
- C. Surface drainage across the various tracts created by any prior plat subsequent plat must be approved by the City of Albuquerque prior to construction of improvements on the various tracts.
- D. The 1985 Plat created reciprocal easements for vehicular and pedestrian ingress and egress (but not parking) to benefit the owners of the various tracts created by the 1985 Plat. These easements shall be replaced in their entirety by the reciprocal easements hereby created for the benefit of such owners benefiting all of the vehicular and pedestrian ways shown on the plat. That (1) such tracts approved by the City of Albuquerque and invites to use the right of the owners of the various tracts, (2) all rights in and to the various tracts shall be governed by Note E below Marriott Drive N.E. Easement and (3) the City of Albuquerque shall have the right to park on such Site Plan shall be for the exclusive use of the owners of Tracts 1-B-1 and 1-C-1, and their tenants and invitees. Except as so provided, all owners of the various tracts, and the tenants and invitees of such owners, shall have the right to use such pedestrian and vehicle ways. No owner of any tract may remove or affect improvements on a tract not owned by that owner, or otherwise inhibit pedestrian or vehicular ingress or egress over such easements, other than as so provided above. The owners of such tracts within the Park Square Addition shall have the right to use such easements, other than as so provided above, subject to the following: (1) such easements shall be used for the purposes set forth in the plat, and (2) such easements shall be used in accordance with the terms and conditions set forth in the plat. The City of Albuquerque, New Mexico, is hereby authorized to execute and record a "Declaration of Relocation" in the Office of the County Clerk of Bernalillo County, New Mexico. The execution, acknowledgment and recording of the subsequent redivision plat or such "Affidavit of Relocation" will work a supplementation, modification, vacation or relocation of any previously established interest or easement as described therein, and will constitute a grant of any substitute interest or easement described therein.
- E. The 1986 Plat created additional reciprocal easements for parking to benefit the owners of the various tracts created by such Plat. Such parking easements are hereby terminated in all respects to park owner, or the invitees of such owner, with the exception of any such parking easements which are specifically agreed to by such owners in the Declaration or other instrument recorded in the Office of the County Clerk of Bernalillo County, New Mexico.

REPLAT
OF
TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G AND 1-H-1
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1988

APPROVED: GAS COMPANY OF NEW MEXICO

By: _____
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by _____ of GAS COMPANY OF NEW MEXICO a division of Public Service Company of New Mexico, a New Mexico Corporation, on behalf of the corporation.

My Commission Expires: _____ NOTARY PUBLIC _____

APPROVED: PUBLIC SERVICE COMPANY OF NEW MEXICO

By: _____
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by _____ of PUBLIC SERVICE COMPANY OF NEW MEXICO, a New Mexico Corporation, on behalf of the corporation.

My Commission Expires: _____ NOTARY PUBLIC _____

APPROVED: THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY

By: _____
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by _____ of THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, a Colorado Corporation, on behalf of the corporation.

My Commission Expires: _____ NOTARY PUBLIC _____

Subdivision Plat No. _____ Zone Atlas Map No. _____

City _____ County _____ DRB Case No. _____

Chairman, Albuquerque/Bernalillo County Development Review Board _____ Date _____

City Engineer _____ Date _____

A.M.A.F.C.A. _____ Date _____

Parks and Recreation _____ Date _____

Traffic Engineer _____ Date _____

Utilities Development Division City of Albuquerque Public Works _____ Date _____

Property Management _____ Date _____

City Surveyor _____ Date _____

SURVEYOR'S CERTIFICATE
I, Fred Sanchez, a duly qualified land surveyor registered under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my direct supervision, showing all easements made known to me by the owner, utility companies or other persons expressing an interest and that the survey meets the minimum requirements for perpetuation and surveys of the City of Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Fred Sanchez
FRED SANCHEZ, N.M.L. NO. 4078
NOTARY:
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by persons noted in the Affidavit appearing hereon on the _____ day of _____, 19____.

YVONNE M. WILLECKAS
My Commission Expires: 8-24-91
Notary Public
Yvonne M. Willeckas

DEDICATION AND CONSENT STATEMENT

The undersigned owner(s) of the tract of land hereon shown: Tracts "1-A-1", "1-B-1", "1-C-1", "1-D-1A", "1-E-1A", "1-F", "1-G" and "1-H-1", as said Tracts "1-A-1", "1-B-1", "1-C-1", "1-D-1A", "1-E-1A", "1-F", "1-G" and "1-H-1" are shown and designated on the plat of "1-B-1", "1-C-1", "1-D-1A", "1-E-1A", "1-F", "1-G" and "1-H-1" PARK SQUARE ADDITION Together with Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G and 1-H-1 PARK SQUARE ADDITION, plat of Tract A-3, Block "B", BEVERLY WOOD ADDITION (Now Beverly Addition), plat of 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G and 1-H-1) PARK SQUARE ADDITION, New Mexico, which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986, in Volume C30, Folio 1611, together with Tracts "1-D-1A" and "1-E-1A" as said Tracts "1-D-1A" and "1-E-1A" at "1-E-1A" PARK SQUARE ADDITION, of Tracts 1-D-1 & 1-E-1 (Now Comprising 1-D-1 & 1-E-1A) PARK SQUARE ADDITION, Albuquerque, Bernalillo County, New Mexico, New Mexico on February 2, 1987, in Volume C32, Folio 1771 do hereby consent to the replat shown in the manner hereon shown.

OWNER (S) TRACTS 1-A-1, 1-B-1, 1-E-1A, 1-F, 1-G & 1-H-1

BY: EQUIPARK SQUARE ASSOCIATES,
A New Mexico Joint Venture

By: _____

NOTARY:
STATE OF _____)
COUNTY OF _____) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the _____ day of _____, 19____.

My Commission Expires: _____ Notary Public _____

OWNER (S) TRACTS 1-C-1 & 1-D-1A

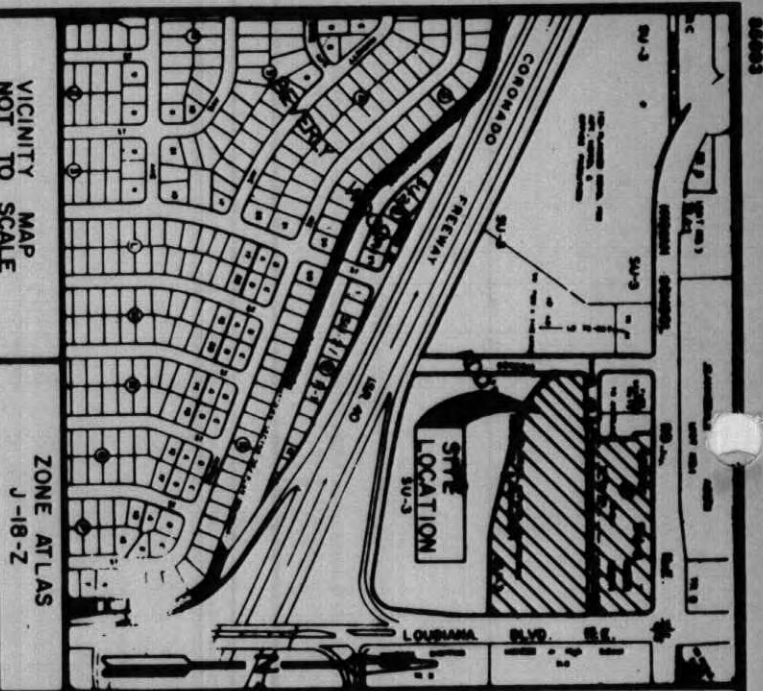
BY: HINES ALBUQUERQUE PARK SQUARE NO. 2
LIMITED PARTNERSHIP

By: _____

NOTARY:
STATE OF _____)
COUNTY OF _____) SS

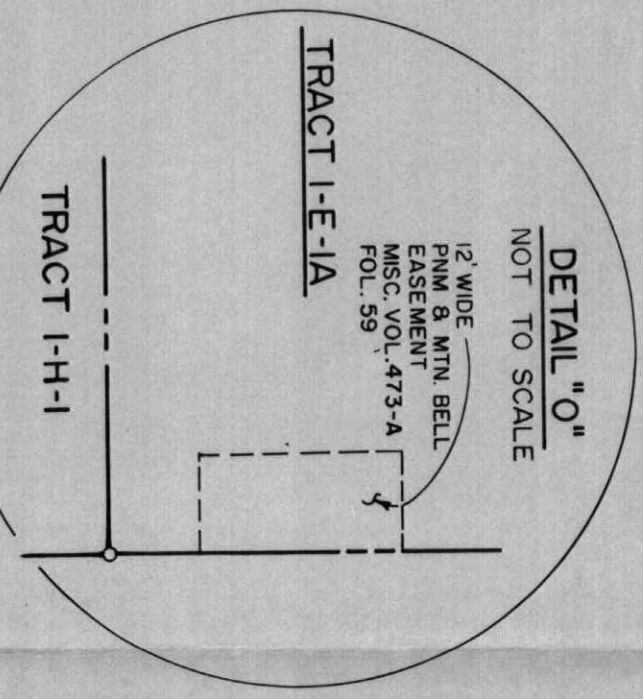
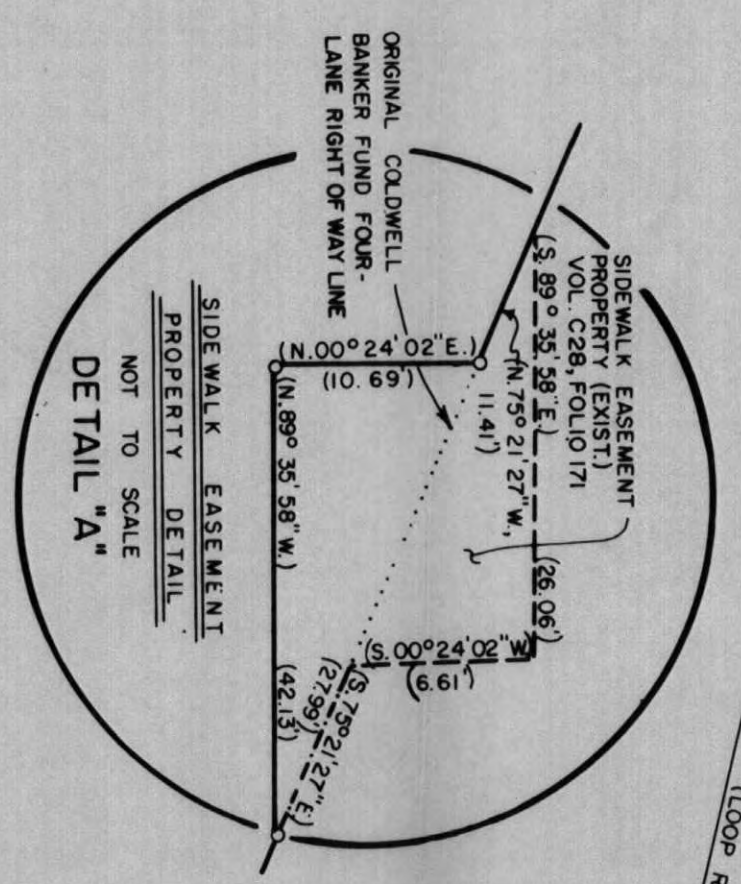
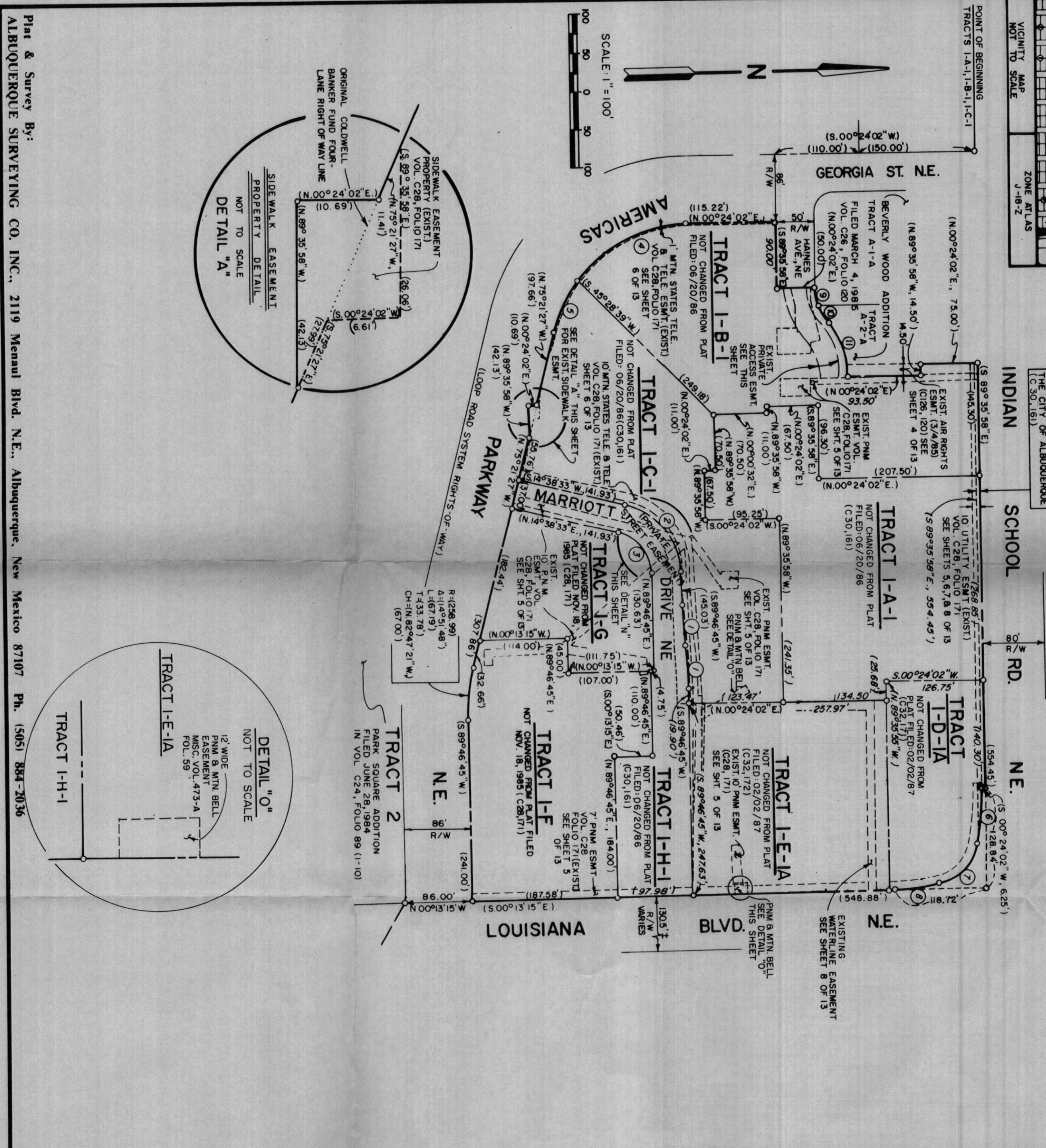
The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the _____ day of _____, 19____.

My Commission Expires: _____ Notary Public _____

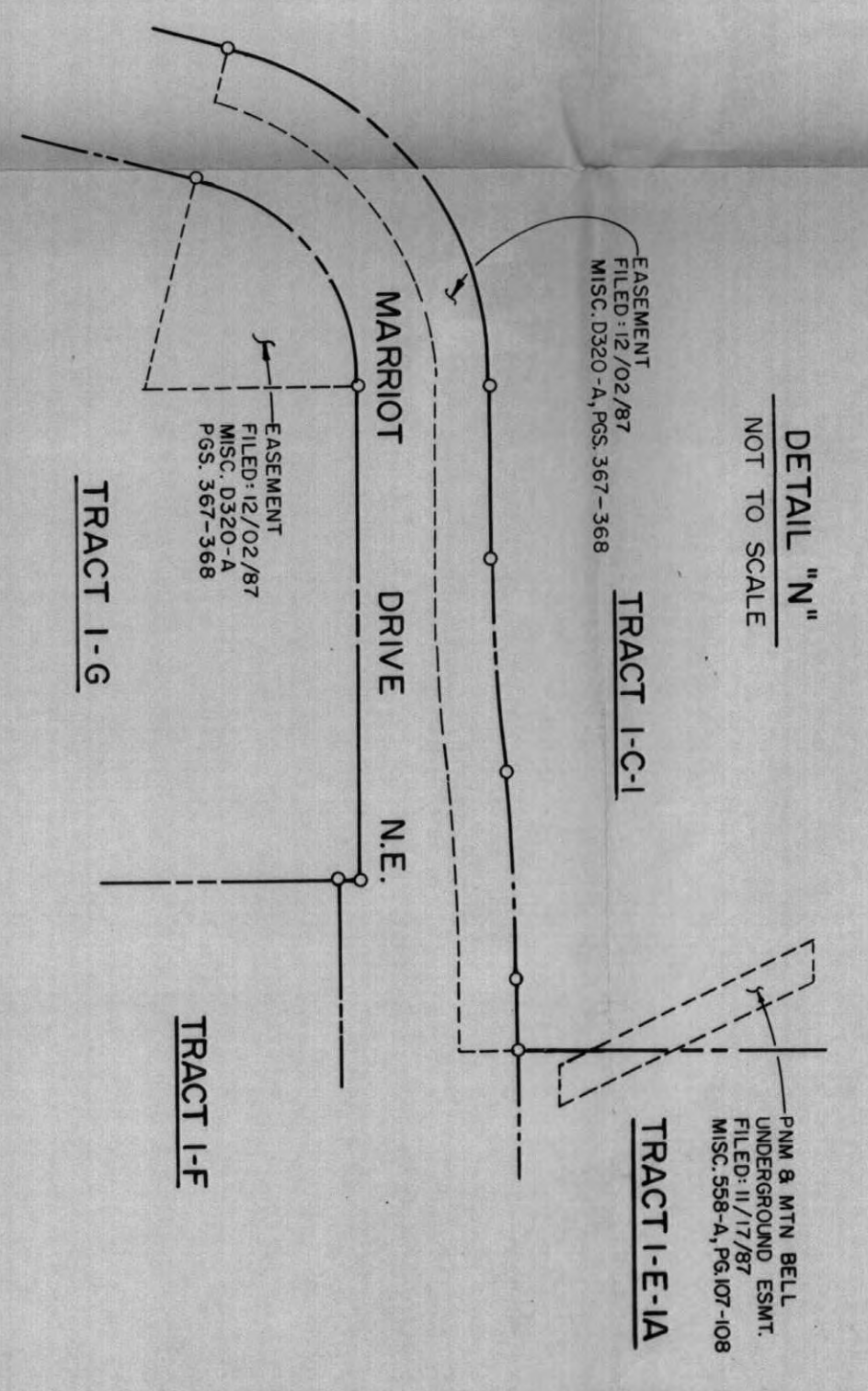


REPLAT
OF
TRACTS I-A-1, I-B-1, I-C-1, I-D-1A, I-E-1A, I-F, I-G AND I-H-1
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1988

EXISTING
PRIVATE ACCESS AND SIDEWALK
EASEMENT LOCATION



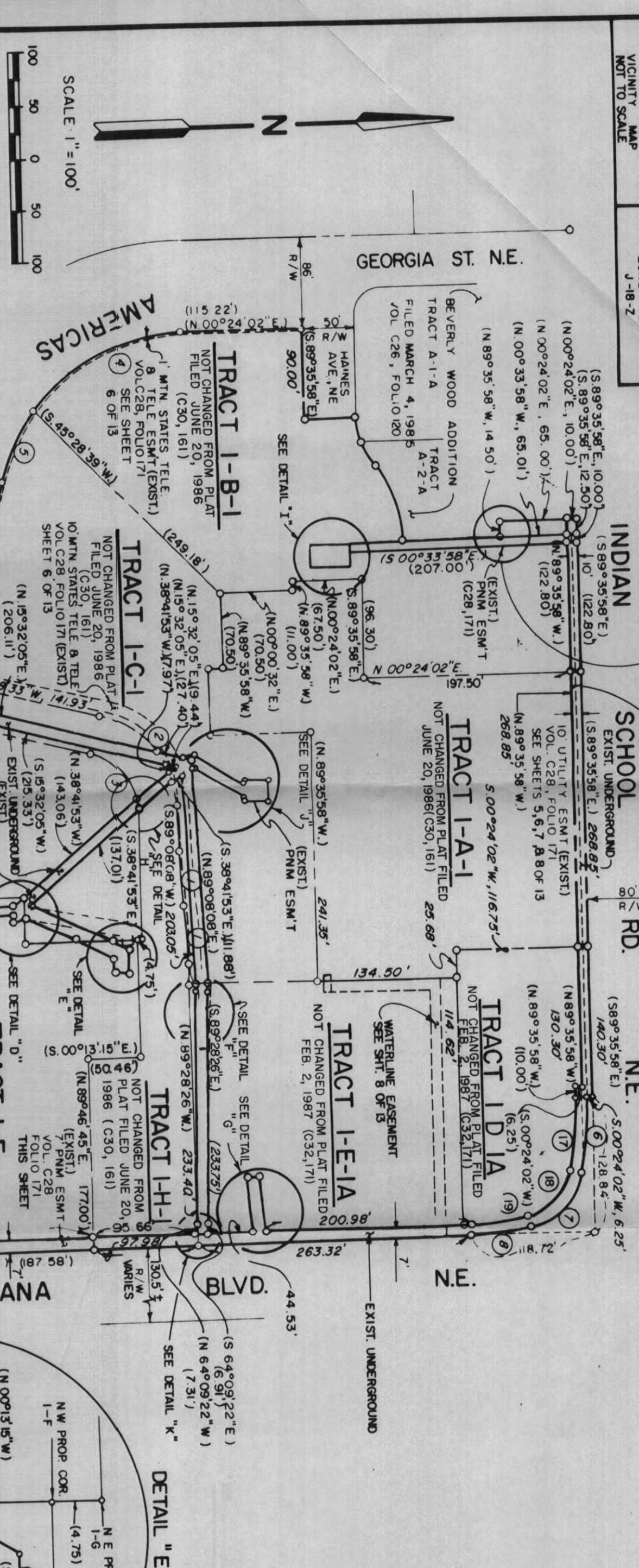
9	10	11	13	14	15	16	24	25
(63,668)	(63,668)	(113,667)	64.55'	88.73'	89.91'	133.66'	88.73'	88.73'
(200 17' 38")	(190 47' 28")	(400 00' 24")	440 27' 27"	470 31' 01"	310 49' 54"	320 27' 37"	320 24' 24"	100 58' 16"
(22,469)	(21,999)	(79,361)	50.08'	73.59'	49,939'	75,222'	50,119'	16,999'
(11,351)	(11,111)	(41,381)	26.38'	39.06'	25,649'	38,321'	25,179'	8,522'
(N. 80° 17' 33" E., 22,351' (RECORD))	(N. 60° 17' 21" E., 21,881' (RECORD))	(N. 70° 23' 50" E., 77,761' (RECORD))	(N. 69° 42' 42" E., 48,884'	(N. 73° 14' 20" E., 71,500'	(S. 69° 27' 06" W., 49,311'	(S. 68° 23' 57" W., 74,711'	(N. 69° 41' 02" E., 49,522'	(S. 88° 29' 17" E., 16,997'





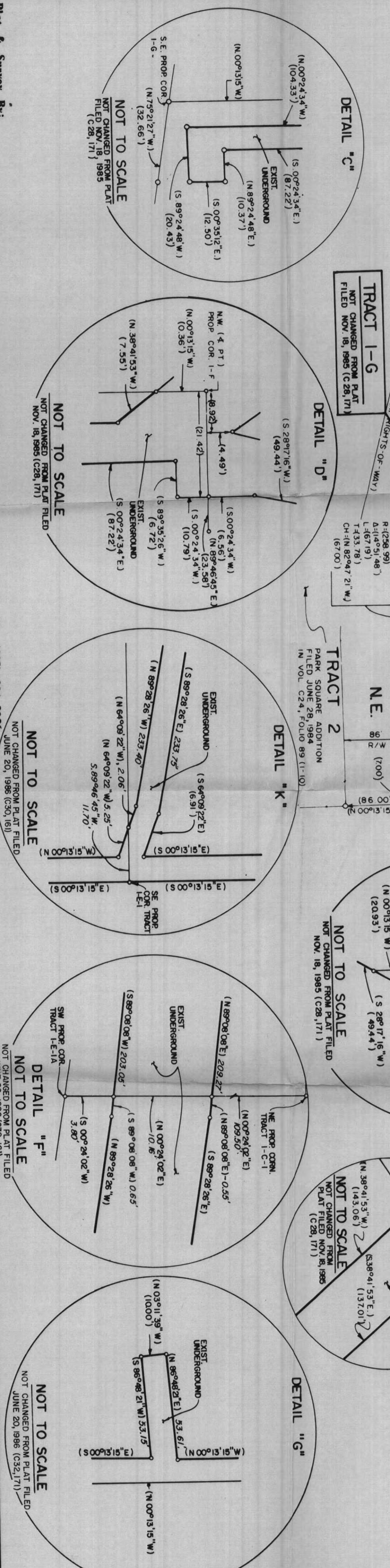
REPLAT
 OF
TRACTS I-A-1, I-B-1, I-C-1, I-D-1A, I-E-1A, I-F, I-G AND I-H-1
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY 1988

EXISTING
PUBLIC SERVICE CO. OF NEW MEXICO
ELECTRIC EASEMENT LOCATIONS



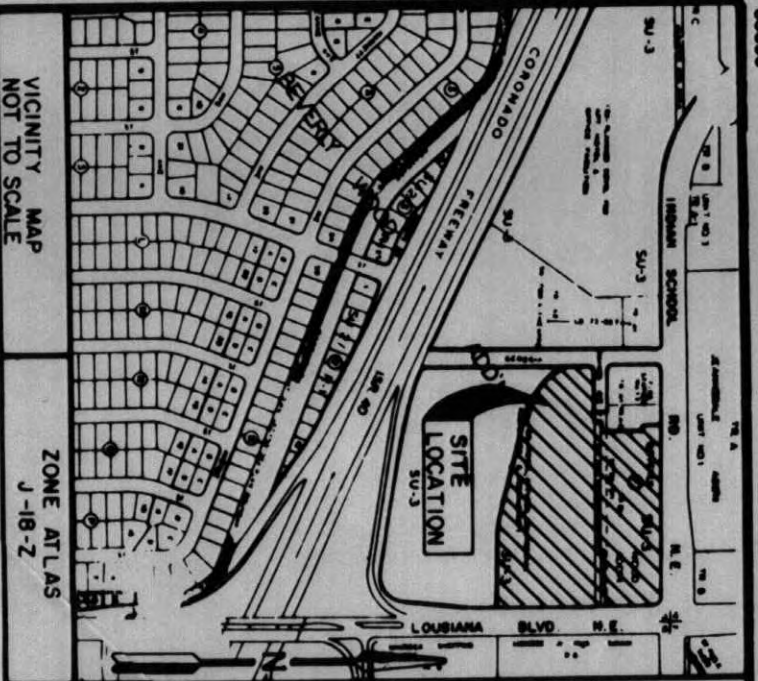
CURVE	RADIUS	DELTA	CURVE DATA			CHORD (bearing & distance)
			ARC (DEGREES)	TANGENT		
6	365.80'	110 27' 47"	73.18'	36.43'	S. 83° 32' 04" E., 73.06'	
7	64.50'	63° 47' 15"	71.81'	40.14'	S. 46° 14' 30" E., 68.16'	
8	239.50'	140° 07' 41"	59.06'	29.68'	S. 07° 17' 09" E., 58.91'	
9	355.80'	110 27' 47"	71.18'	35.71'	S. 83° 32' 04" E., 71.06'	
10	54.50'	63° 47' 15"	60.68'	33.92'	S. 46° 14' 30" E., 57.59'	
11	231.00'	140° 07' 47"	56.97'	28.62'	S. 10° 17' 53" E., 56.82'	

- NOTES:
- Bearings and distances shown in parentheses are record data.
 - Easements granted to or retained by Public Service Company of New Mexico are shown thus:



Plat & Survey by:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 844-2036

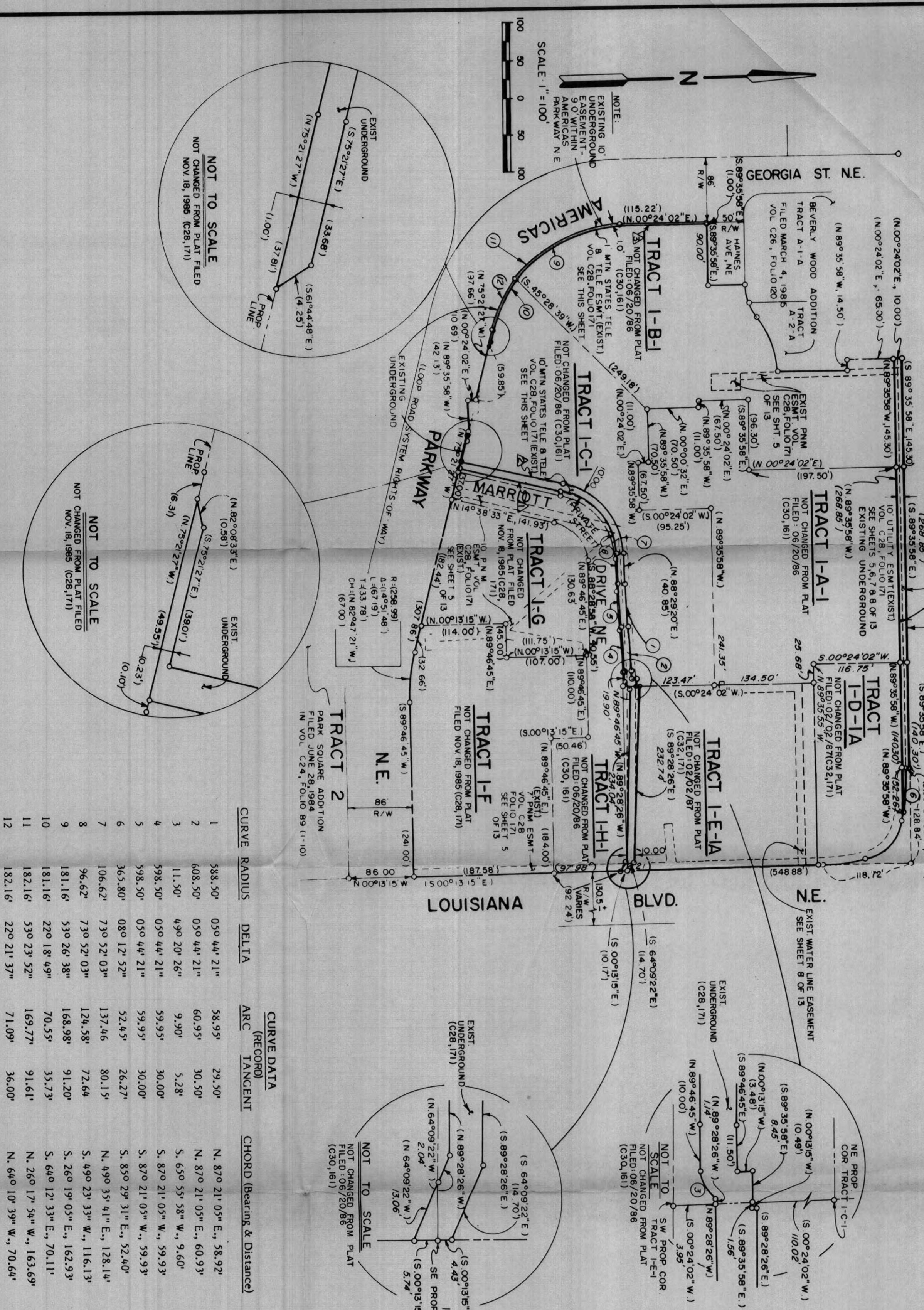
DDB-88-213



5.4' SIDEWALK AND LANDSCAPE EASEMENT SEE SHEET 4 OF 13

REPLAT
OF
TRACTS I-A-I, I-B-I, I-C-I, I-D-IA, I-E-IA, I-F-I, I-G AND I-H-I
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1988

EXISTING
TELEPHONE & TELEGRAPH CO
TELEPHONE EASEMENT LOCATIONS



(RECORD)
R-365.80
A-1-08°12'22"
L-152.45
T-28.62
C-29°29'31"E
32.40'

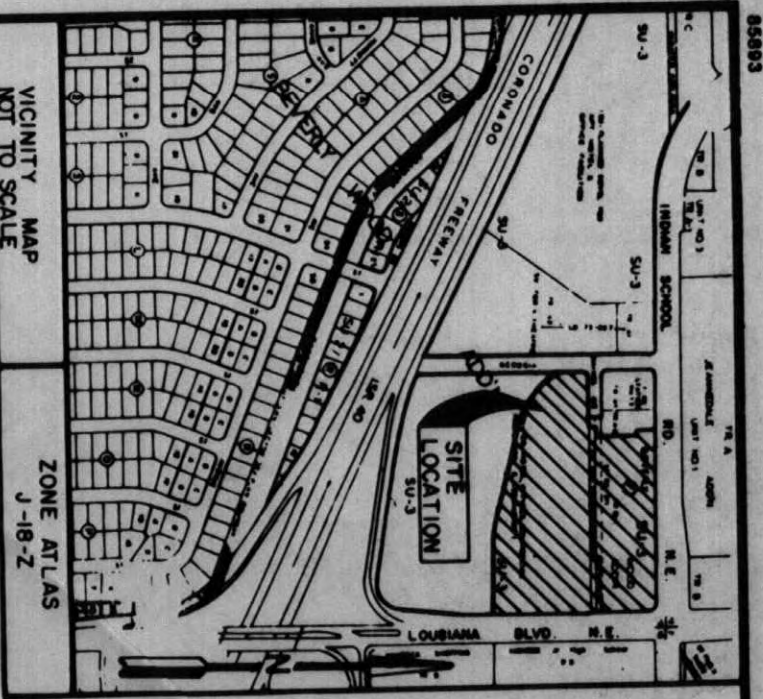
BEARINGS & DISTANCES NOT SHOWN ON DRAWING

△ (S 14°36'55" W., 135.70')
 ▲ (N 14°36'55" E., 135.47')
 △ (S 00°24'02" W., 119.22')

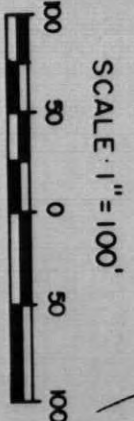
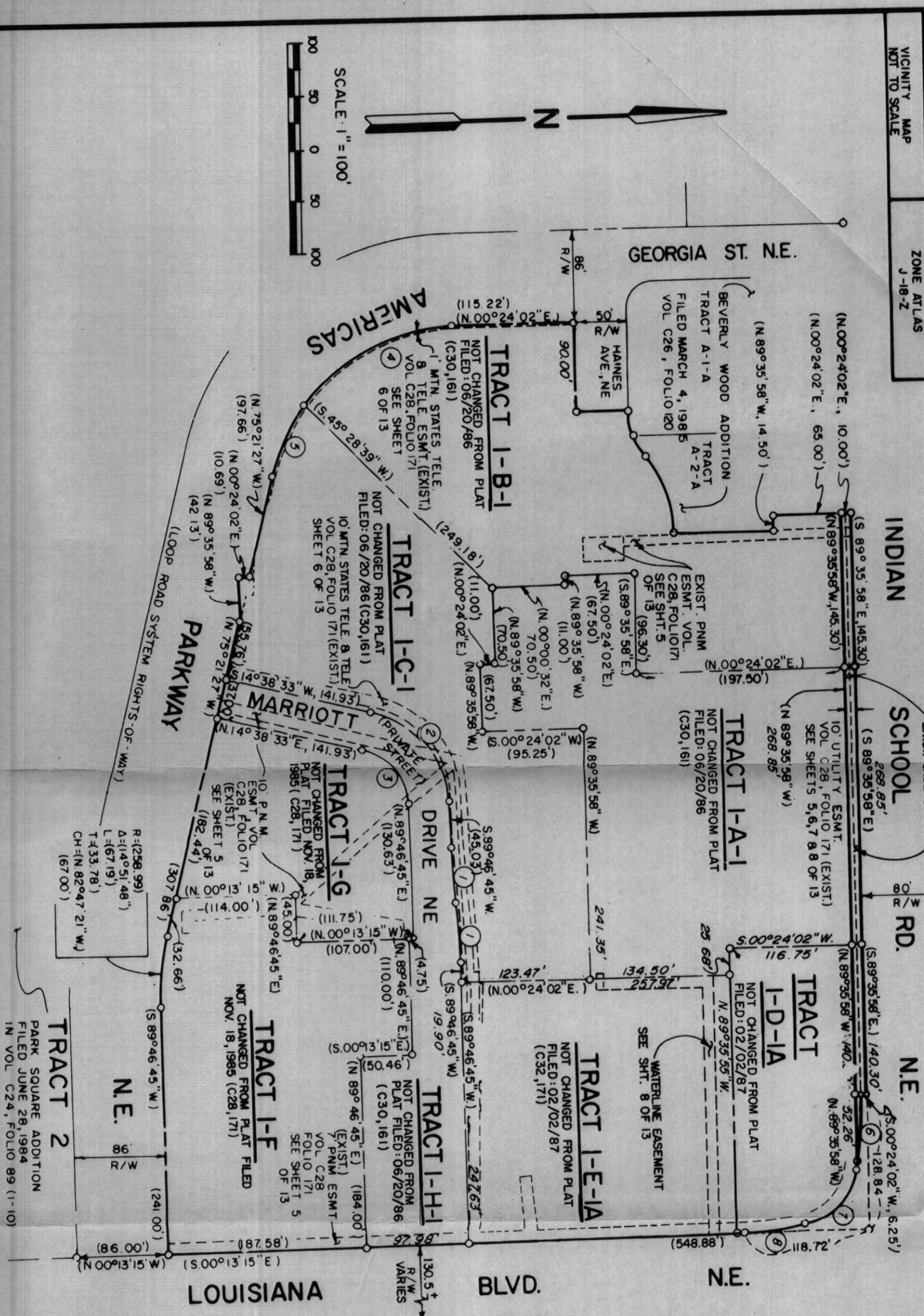
CURVE RADIUS	DELTA	ARC	TANGENT	CHORD (bearing & distance)
1 388.50'	050 44' 21"	58.93'	29.50'	N. 87° 21' 03" E., 58.92'
2 608.50'	050 44' 21"	60.93'	30.50'	N. 87° 21' 03" E., 60.93'
3 11.50'	490 20' 26"	9.50'	5.28'	S. 65° 55' 58" W., 9.60'
4 998.50'	050 44' 21"	59.93'	30.00'	S. 87° 21' 03" W., 59.93'
5 398.50'	050 44' 21"	59.93'	30.00'	S. 87° 21' 03" W., 59.93'
6 365.80'	080 12' 52"	52.43'	26.27'	S. 85° 29' 31" E., 52.40'
7 106.62'	73° 52' 03"	137.46'	80.15'	N. 49° 39' 41" E., 128.14'
8 96.62'	73° 52' 03"	124.58'	72.64'	S. 49° 23' 33" W., 116.13'
9 181.16'	53° 26' 38"	168.98'	91.20'	S. 26° 19' 03" E., 162.93'
10 181.16'	22° 18' 49"	70.53'	35.73'	S. 60° 12' 33" E., 70.11'
11 182.16'	53° 23' 52"	169.77'	91.61'	N. 26° 17' 54" W., 163.69'
12 182.16'	22° 21' 37"	71.09'	36.00'	N. 64° 10' 39" W., 70.64'

- NOTES:
- Bearings and distances shown in parentheses are record data.
 - Easements granted to or retained by The Mountain States Telephone & Telegraph Company are shown thus:

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



REPLAT
 OF
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY 1988
 EXISTING
 GAS CO. OF NEW MEXICO
 GAS EASEMENT LOCATIONS

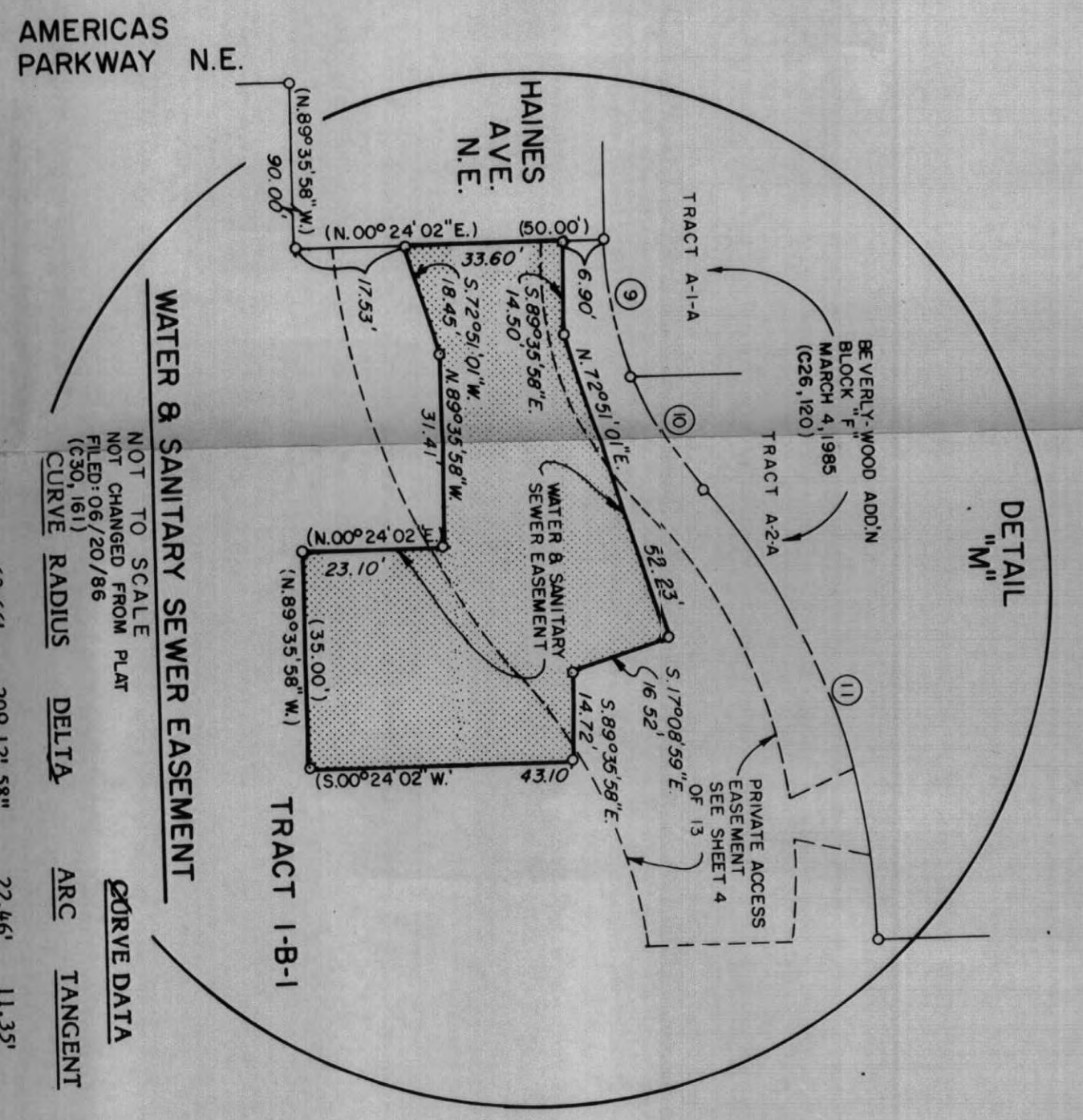
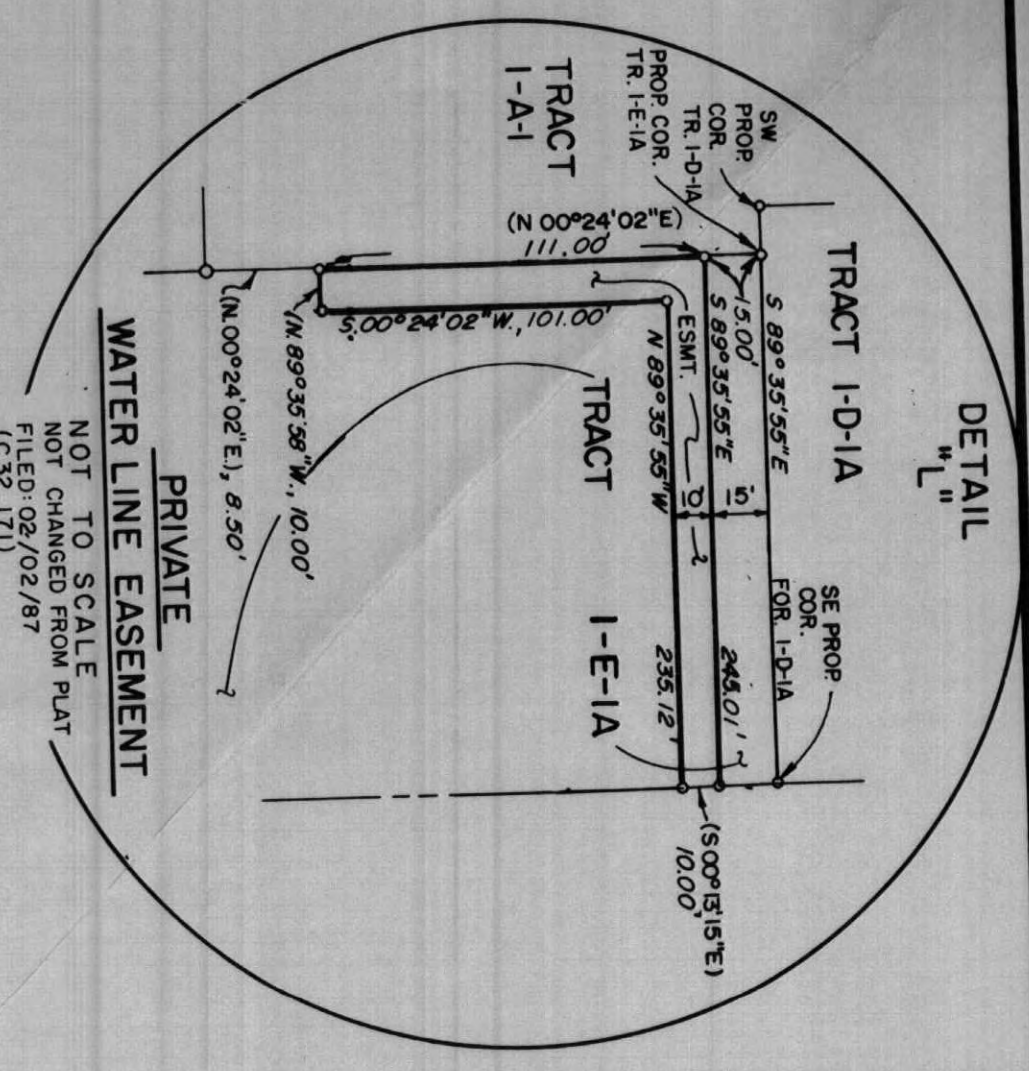
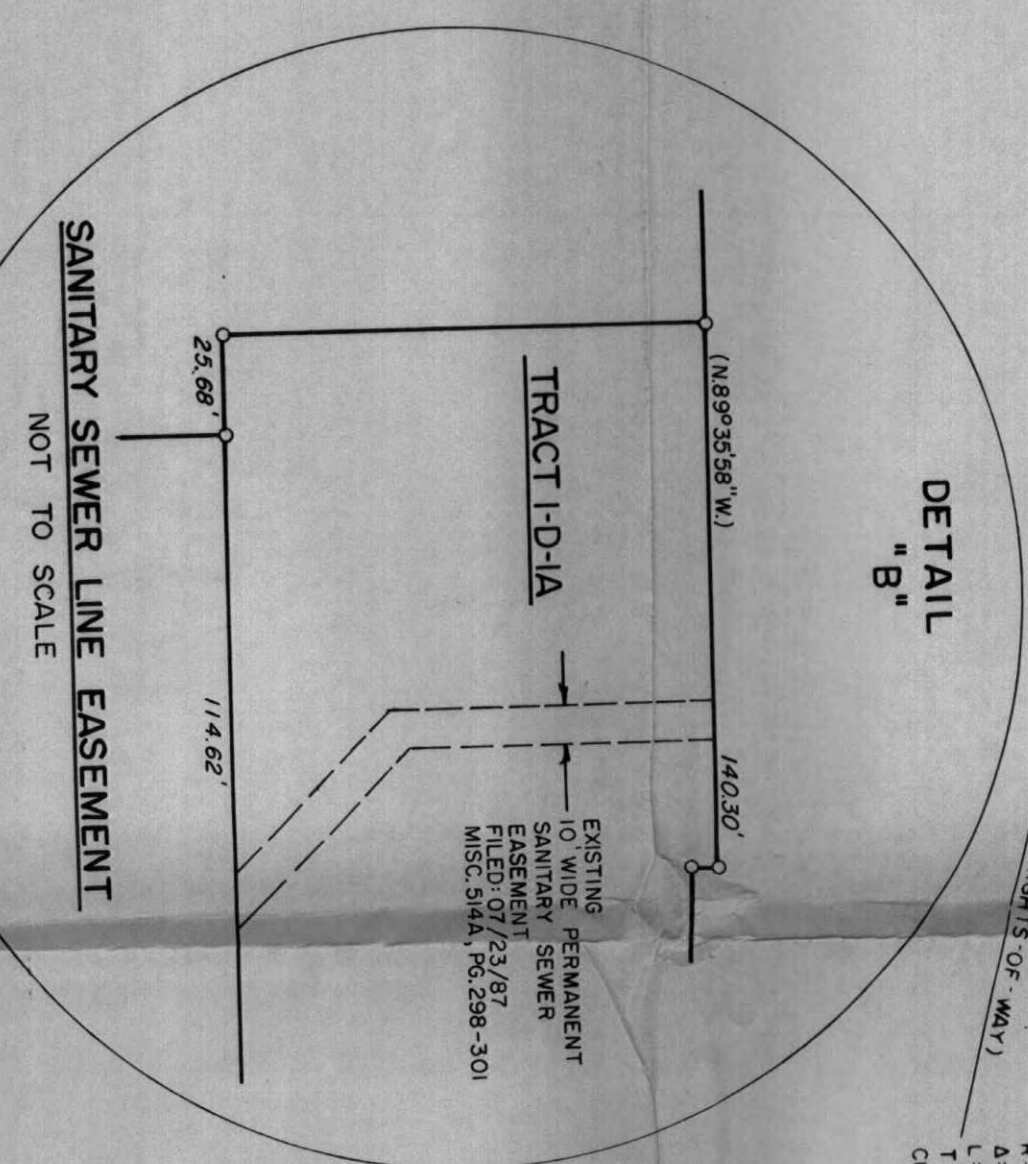
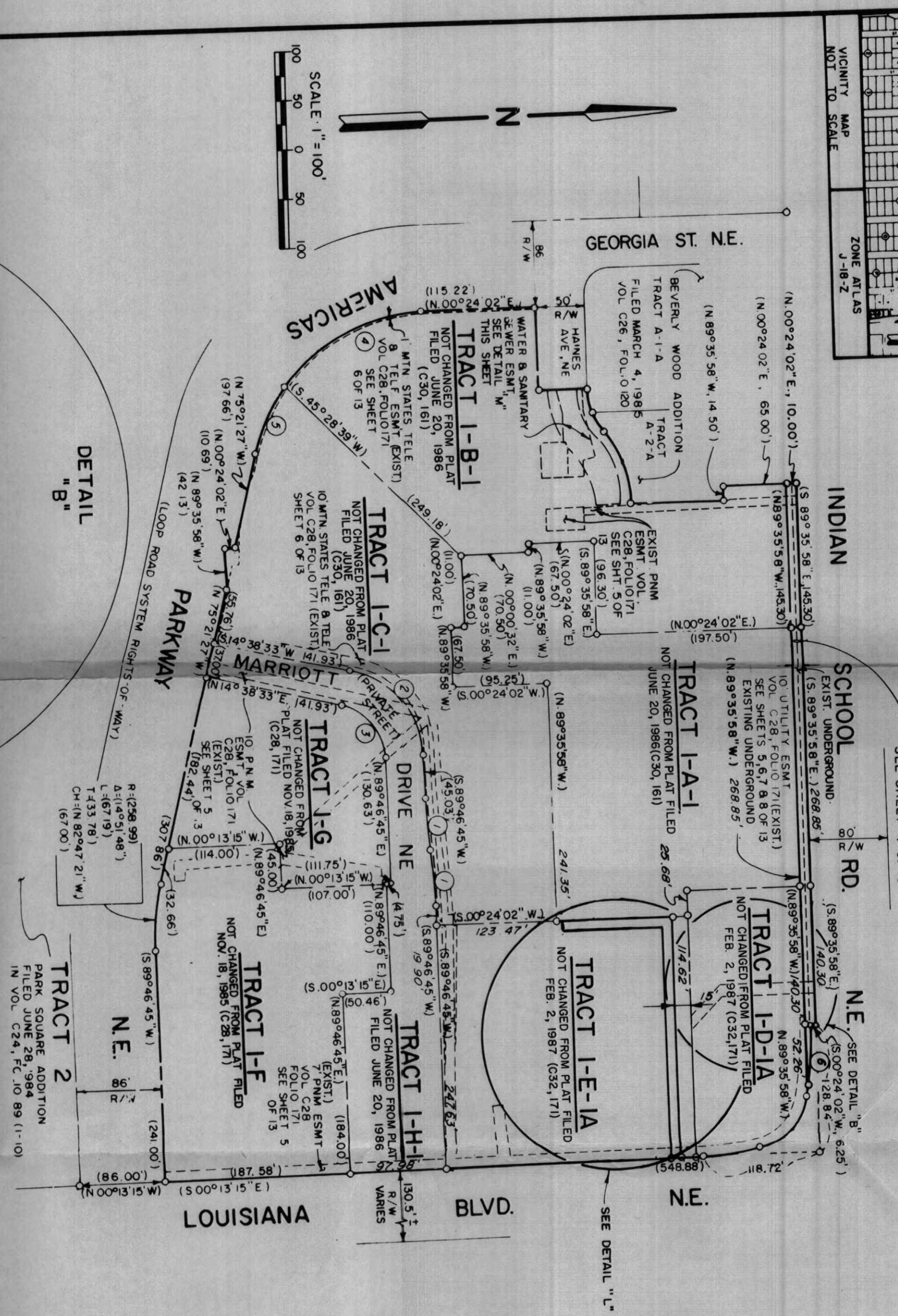


- NOTES:
1. Bearings and distances shown in parentheses are record data.
 2. Easements granted to or retained by The Gas Company of New Mexico are shown thus:

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



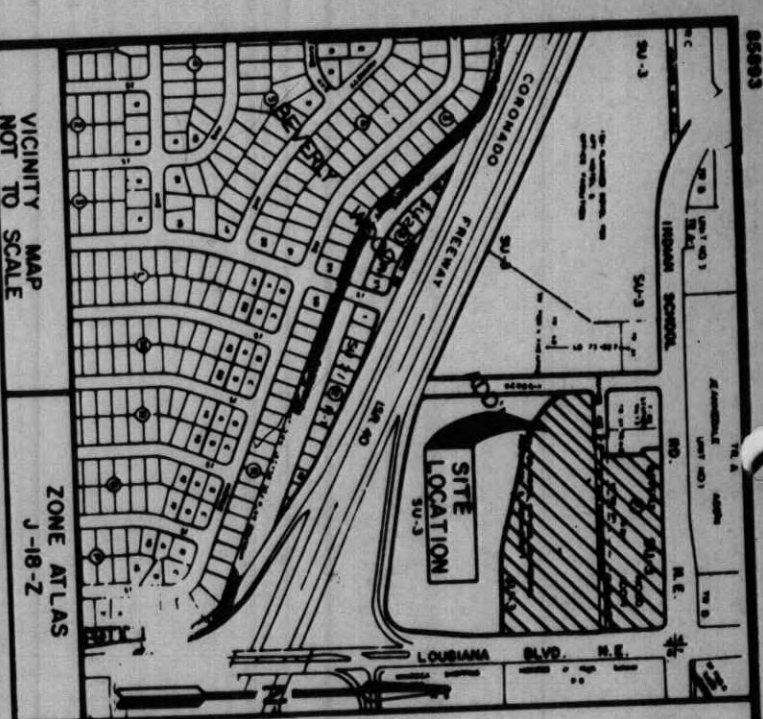
REPLAT
 OF
TRACTS I-A-1, I-B-1, I-C-1, I-D-1A, I-E-1A, I-F, I-G AND I-H-1
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY 1988
 EXISTING
 CITY OF ALBUQUERQUE
 WATER AND SANITARY SEWER
 EASEMENT LOCATIONS



WATER & SANITARY SEWER EASEMENT			
NOT TO SCALE			
CURVE	RADIUS	DELTA	ARC
9	63.66'	20° 12' 38"	22.44'
10	63.66'	19° 47' 56"	21.99'
11	113.66'	40° 00' 24"	79.36'
DRIVE DATA			
TANGENT	ARC	CHORD (Bearing & Distance)	
11.35'	22.44'	N. 80° 17' 33" E., 22.35'	
11.11'	21.99'	N. 60° 17' 21" E., 21.88'	
41.38'	79.36'	N. 70° 23' 50" E., 77.76'	

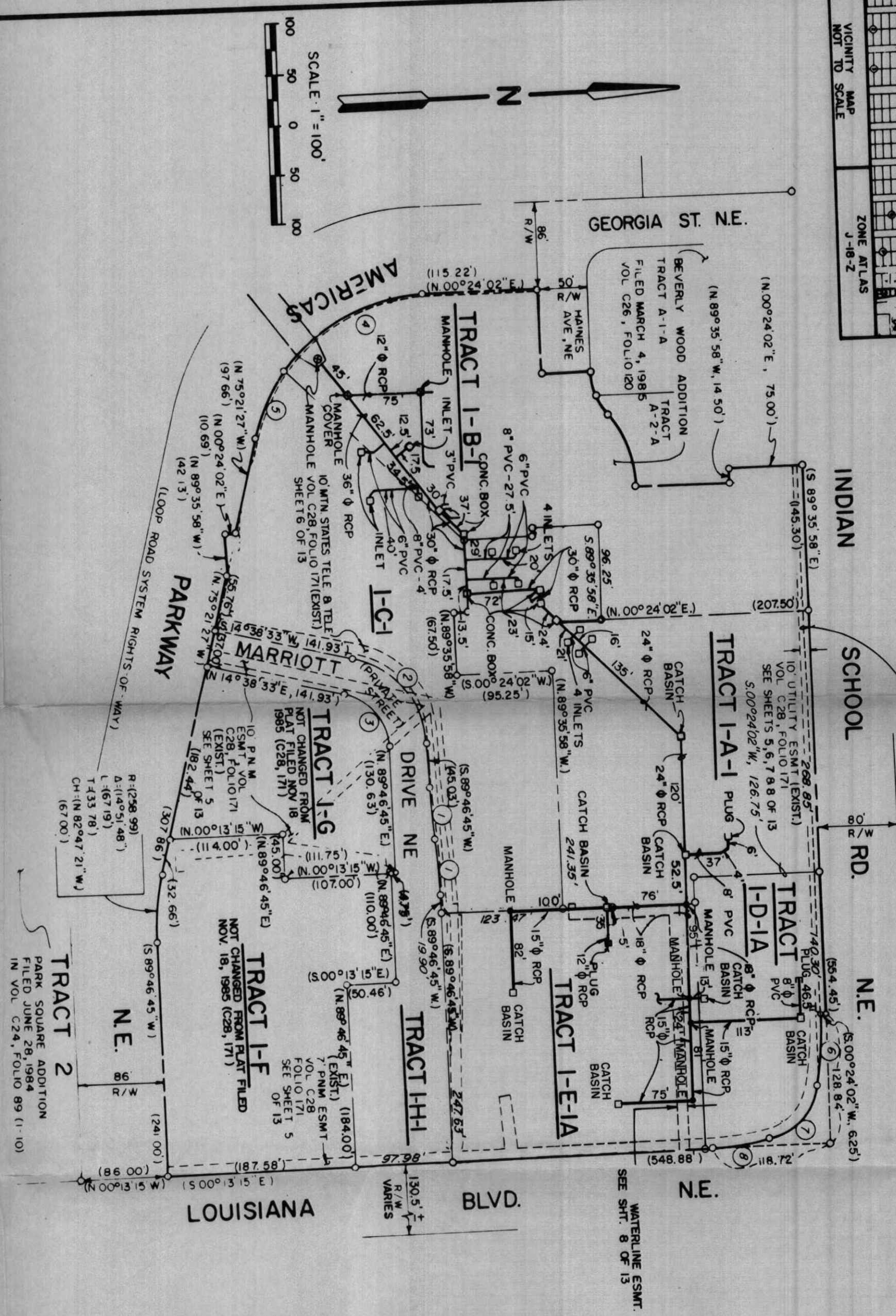
- NOTES:
- Bearings and distances shown in parentheses are record data.
 - Easements granted to or retained by the City of Albuquerque are shown thus:

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



REPLAT
 OF
TRACTS I-A-I, I-B-I, I-C-I, I-D-IA, I-E-IA, I-F, I-G AND I-H-I
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY 1988

EXISTING DRAINAGE FACILITIES
 AND SURFACE DRAINAGE PLAN



Plan & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

REPLAT
OF
TRACTS I-A-1, I-B-1, I-C-1, I-D-1A, I-E-1A, I-F, I-G AND I-H-1
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1988

LEGAL DESCRIPTION
FOR
TRACT "I-A-1"
Not changed from plat filed
June 20, 1986 (C30-161)

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "I-A-1" as shown and designated on ADDITION, Together with Tract A-3, Block "B", I-E-1, I-F, I-G AND I-H-1) PARK SQUARE ADDITION, Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G AND I-H-1) PARK SQUARE ADDITION", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986, in Volume C30, Folio 161; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E., with the Westerly right-of-way line of Georgia Street, N.E., whence the Brass Cap Monument "1-40-7" having New Mexico State Plane Coordinates (Central Zone) of Y=1490,699.59 and X=404,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 31° 02' 19" E., 2001.40 feet distance; thence,

S. 890 35' 58" E., 420.80 feet distance along the Southerly right-of-way line of Indian School Road, N.E. to the Northwest corner and the TRUE POINT OF BEGINNING of the tract of land herein described; continuing thence,

S. 890 35' 58" E., 268.83 feet distance along the Southerly right-of-way line of Indian School Road, N.E.; thence,

S. 00° 24' 02" W., 126.75 feet distance to a Point; thence,

S. 890 35' 58" E., 25.68 feet distance to a Point; thence,

S. 00° 24' 02" W., 139.50 feet distance to the Southeastery corner of the tract of land herein described; thence,

N. 890 35' 58" W., 241.35 feet distance to a Point; thence,

S. 00° 24' 02" W., 95.25 feet distance to a point on the Southerly line of the tract of land herein described; thence,

N. 890 35' 58" W., 67.50 feet distance to a point on the Southerly line of the tract of land herein described; thence,

N. 00° 24' 02" E., 11.00 feet distance to a Point; thence,

N. 890 35' 58" W., 70.50 feet distance to the Southwest corner of the tract of land herein described; thence,

N. 00° 00' 32" E., 70.50 feet distance to a Point; thence,

N. 890 35' 58" W., 11.00 feet distance to a Point; thence,

N. 00° 24' 02" E., 67.50 feet distance to a Point; thence,

S. 890 35' 58" E., 96.30 feet distance to a Point; thence,

N. 00° 24' 02" E., 207.50 feet distance to the Northwest corner and TRUE POINT OF BEGINNING of the tract of land herein described, and containing 91,409 square feet (2.0983 acres), more or less.

LEGAL DESCRIPTION
FOR
TRACT "I-B-1"
Not changed from plat filed
June 20, 1986 (C30-161)

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "I-B-1" as shown and designated on the Redivision of Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G and I-H-1) PARK SQUARE ADDITION, Together with Tract A-3, Block "B", BEVERLY-WOOD ADDITION (New Comprising Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G and I-H-1) PARK SQUARE ADDITION", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986, in Volume C30, Folio 161; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E. with the Westerly right-of-way line of Georgia Street, N.E., whence the Brass Cap Monument "1-40-7" having New Mexico State Plane Coordinates (Central Zone) of Y=1490,699.59 and X=404,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 31° 02' 19" E., 2001.40 feet distance; thence,

S. 00° 24' 02" W., 260.00 feet distance along the Westerly right-of-way line of Georgia Street, N.E. to its Point of Intersection with the Southerly right-of-way line of Haines Avenue, N.E.; thence,

S. 890 35' 58" E., 86.00 feet distance along the Southerly right-of-way line of Haines Avenue, N.E. being also the Northernly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to the TRUE POINT OF BEGINNING of the tract of land herein described; thence,

S. 890 35' 58" E., 90.00 feet distance continuing along the Southerly right-of-way line of Haines Avenue, N.E. to a Point; thence,

N. 00° 24' 02" E., 50.00 feet distance across Haines Avenue, N.E. to a Point of Curvature on the Northernly right-of-way line of said Haines Avenue, N.E., being also a point on the Southerly line of Tract A-1, Block "B", BEVERLY-WOOD ADDITION (filed March 4, 1985, in Volume C26, Folio 120); thence,

Northeasterly, 22.46 feet distance along the arc of a curve bearing to the left (said arc having a radius of 63.66 feet, a central angle of 90° 24' 02" and a long chord which bears N. 60° 17' 21" E., 21.88 feet distance) to a Point of Reverse Curvature on the Southerly line of Tract A-2, Block "B" of said BEVERLY-WOOD ADDITION; thence,

Northeasterly, 79.36 feet distance along the arc of a curve bearing to the right (said arc having a radius of 113.66 feet, a central angle of 90° 24' 02" and a long chord which bears N. 00° 24' 02" E., 77.26 feet distance) to a Point of Tangency; thence,

N. 890 35' 58" W., 14.50 feet distance to a Point; thence,

N. 00° 24' 02" E., 73.00 feet distance to the Northwest corner of the tract of land herein described, a point on the Southerly right-of-way line of Indian School Road, N.E.; thence,

S. 890 35' 58" E., 143.30 feet distance along the Southerly right-of-way line of Indian School Road, N.E. to the Northeast corner of the tract of land herein described; thence,

S. 00° 24' 02" W., 207.50 feet distance to a Point; thence,

N. 890 35' 58" W., 96.30 feet distance to a Point; thence,

S. 00° 24' 02" W., 67.50 feet distance to a Point; thence,

S. 890 35' 58" E., 11.00 feet distance to a Point; thence,

S. 00° 00' 32" W., 70.50 feet distance to a Point; thence,

S. 450 28' 39" W., 249.18 feet distance to a Point on the Easternly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") and the Southwest corner of the tract of land herein described; thence,

Northeasterly, 169.77 feet distance along the Easternly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") along the arc of a curve bearing to the right (said arc having a radius of 132.16 feet, a central angle of 75° 32' 32" and a chord which bears N. 28° 17' 34" W., 163.69 feet distance) to a Point of Tangency; thence,

N. 00° 24' 02" E., 113.22 feet distance continuing along the Easternly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to the TRUE POINT OF BEGINNING of the tract of land herein described, and containing 84,763 square feet (1.9459 acres), more or less.

LEGAL DESCRIPTION
FOR
TRACT "I-C-1"
Not changed from plat filed
June 20, 1986 (C30-161)

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "I-C-1" as shown and designated on the Redivision of Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G AND I-H-1) PARK SQUARE ADDITION, Together with Tract A-3, Block "B", BEVERLY-WOOD ADDITION (New Comprising Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G, and I-H-1) PARK SQUARE ADDITION", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986, in Volume C30, Folio 161; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E. with the Westerly right-of-way line of Georgia Street, N.E., whence the Brass Cap Monument "1-40-7" having New Mexico State Plane Coordinates (Central Zone) of Y=1490,699.59 and X=404,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 31° 02' 19" E., 2001.40 feet distance; thence,

S. 00° 24' 02" W., 260.00 feet distance along the Westerly right-of-way line of Georgia Street, N.E. to its Point of Intersection with the Southerly right-of-way line of Haines Avenue, N.E.; thence,

S. 890 35' 58" E., 86.00 feet distance along the Southerly right-of-way line of Haines Avenue, N.E. being also the Northernly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System"); thence,

S. 00° 24' 02" W., 113.22 feet distance along the Easternly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point of Curvature; thence,

Southeasterly, 169.77 feet distance continuing along the Easternly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") along the arc of a curve bearing to the right (said arc having a radius of 132.16 feet, a central angle of 75° 32' 32" and a chord which bears S. 26° 17' 34" E., 163.69 feet distance) to a Point on Curve and the TRUE POINT OF BEGINNING of the tract of land herein described; thence,

N. 450 28' 39" E., 249.18 feet distance to a Northwest corner of the tract of land herein described; thence,

S. 890 35' 58" E., 70.50 feet distance to a Point; thence,

S. 00° 24' 02" W., 11.00 feet distance to a Point; thence,

Plat & Survey By:

ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

SHEET NO OF 13

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

**REPLAT
OF
TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G AND 1-H-1
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 1988**

LEGAL DESCRIPTION FOR TRACT 1-C-1 (continued)

S. 890 35' 58" E., 67.50 feet distance to a Point; thence,
N. 00° 24' 02" E., 95.25 feet distance to a Northerly corner of the tract of land herein described; thence,
S. 890 35' 58" E., 241.35 feet distance to the Northeast corner of the tract of land herein described; thence,
S. 00° 24' 02" W., 123.47 feet distance to a Southeastly corner of the tract of land herein described; bearing also a point on the Northerly line of Marriott Drive, N.E. (a private street); thence,
S. 890 46' 43" W., 19.90 feet distance continuing along said Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,
Southwesterly, 56.14 feet distance continuing along said Marriott Drive, N.E. (a private street) along the arc of a curve bearing to the left (said arc having a radius of 546.76 feet, a central angle of 0°50' 52" 38", and a long chord which bears S. 86° 50' 16" W., 56.11 feet distance) to a Point of Reverse Curvature; thence,
Southwesterly, 56.14 feet distance continuing along said Marriott Drive, N.E. (a private street) along the arc of a curve bearing to the right (said arc having a radius of 546.76 feet, a central angle of 0°50' 52" 38", and a long chord which bears S. 86° 50' 16" W., 56.11 feet distance) to a Point of Tangency; thence,
S. 890 46' 43" W., 43.03 feet distance continuing along said Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,
Southwesterly, 122.19 feet distance continuing along said Marriott Drive, N.E. (a private street) along the arc of a curve bearing to the left (said arc having a radius of 931.8 feet, a central angle of 7°30' 08" 12", and a long chord which bears S. 52° 12' 39" W., 113.61 feet distance) to a Point of Tangency; thence,
S. 140 38' 33" W., 141.93 feet distance continuing along the Westerly right-of-way line of said Marriott Drive, N.E. (a private street) to a Southeastly corner of the tract of land herein described being also a point on the Northerly right-of-way line of above-mentioned Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System"); thence,
N. 75° 21' 27" W., 55.75 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point; thence,
N. 890 35' 58" W., 42.13 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point; thence,
N. 00° 24' 02" E., 10.69 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point; thence,
N. 75° 21' 27" W., 97.66 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point of Curvature; thence,
Northwesterly, 71.09 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") along the arc of a curve bearing to the right (said arc having a radius of 1821.6 feet, a central angle of 22° 21' 37", and a chord which bears N. 64° 10' 39" W., 70.64 feet distance to the Southwest corner and TRUE POINT OF BEGINNING of the tract of land herein described, and containing 80,649 square feet (1.8514 acres), more or less.

**LEGAL DESCRIPTION
FOR
TRACT 1-D-1A**

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-D-1A" as shown and designated on "Redivision of Tracts "1-D-1" & "1-E-1" (Now Comprising Tracts 1-D-1A & 1-E-1A), PARK SQUARE ADDITION, Albuquerque, Bernalillo County, New Mexico, January 1987", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on February 2, 1987, in Volume C32, Folio 171; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E. with the Westerly right-of-way line of Louisiana Boulevard, N.E., whence the Brass Cap Monument "4-3-18" (re-established) having New Mexico State Plane Coordinates (Central Zone) of Y=1,492,405.86 and X=404,772.64 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 890 39' 44" E., 15.33 feet distance; thence,
N. 90° 35' 58" W., 128.88 feet distance to a point on the Southerly right-of-way line of Indian School Road, N.E., and the REAL PLACE OF BEGINNING of the tract of land herein described; thence,
S. 00° 24' 02" W., 6.25 feet distance to a Point; thence,
Southeasterly, 73.18 feet distance along the Southerly right-of-way line of said Indian School Road, N.E. along the arc of a curve bearing to the right (said arc having a radius of 365.80 feet, a central angle of 11° 27' 47", and a long chord which bears S. 83° 52' 04" E., 73.06 feet distance) to a Point of Compound Curvature; thence,
Southeasterly, 71.81 feet distance continuing along the Southerly right-of-way line of said Indian School Road, N.E. along the arc of a curve bearing to the right (said arc having a radius of 64.50 feet, a central angle of 63° 47' 12", and a long chord which bears S. 46° 14' 34" E., 68.16 feet distance) to a Point of Compound Curvature on the Westerly right-of-way line of Louisiana Boulevard, N.E.; thence,
Southeasterly, 29.06 feet distance continuing along the Westerly right-of-way line of said Louisiana Boulevard, N.E. along the arc of a curve bearing to the right, (said arc having a radius of 239.50 feet, a central angle of 14° 07' 41", and a long chord which bears S. 07° 17' 05" E., 58.91 feet distance) to a Point of Tangency; thence,
S. 00° 13' 15" E., 8.03 feet distance along the said Westerly right-of-way line of Louisiana Boulevard, N.E. to the Southeast corner of the tract of land herein described; thence,
N. 890 35' 58" W., 244.85 feet distance to a point being common to 1) the tract of land herein described, and 2) above-mentioned Tract 1-E-1A and Tract 1-A-1, PARK SQUARE ADDITION (C30-161); continuing thence,
N. 890 35' 58" W., 25.68 feet distance to the Southwest corner of the tract of land herein described, said corner being common to aforementioned Tract 1-A-1; thence,
N. 00° 24' 02" E., 126.75 feet distance to a point on the Southerly right-of-way line of Indian School Road, N.E., and the Northwest corner of the tract of land herein described, said corner being the Northeast corner of aforementioned Tract 1-A-1; thence,
S. 890 35' 58" E., 140.30 feet distance along said Southerly right-of-way line of Indian School Road, N.E. to a Northeastly corner and the REAL PLACE OF BEGINNING of the tract of land herein described, and containing 31,852 square feet (0.7261 acre), more or less.

**LEGAL DESCRIPTION
FOR
TRACT 1-E-1A**

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-E-1A" as shown and designated on "Redivision of Tracts "1-D-1" & "1-E-1" (Now Comprising Tracts 1-D-1A & 1-E-1A), PARK SQUARE ADDITION, Albuquerque, Bernalillo County, New Mexico, January 1987", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on February 2, 1987, in Volume C32, Folio 171; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E. with the Westerly right-of-way line of Louisiana Boulevard, N.E., whence the Brass Cap Monument "4-3-18" (re-established) having New Mexico State Plane Coordinates (Central Zone) of Y=1,492,405.86 and X=404,772.64 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 890 39' 44" E., 15.33 feet distance; thence,
S. 00° 13' 15" E., 126.75 feet distance along the Westerly right-of-way line of Louisiana Boulevard, N.E. to the Northeast corner and REAL PLACE OF BEGINNING of the tract of land herein described; continuing thence,
S. 00° 13' 15" E., 235.29 feet distance continuing along the Westerly right-of-way line of Louisiana Boulevard, N.E. to the Southeast corner of the tract of land herein described; thence,
S. 890 46' 43" W., 207.63 feet distance along the Northerly right-of-way line of Marriott Drive, N.E. (a private street) to the Southwest corner of the tract of land herein described, said corner being the Southeast corner of Tract 1-D-1A; thence,
N. 00° 24' 02" E., 123.47 feet distance along the line common to aforementioned Tract 1-C-1 to a point, said point being 1) the Northeast corner of said Tract 1-C-1, and 2) the Southeast corner of Tract 1-A-1, PARK SQUARE ADDITION (C30-161); continuing thence,
N. 00° 24' 02" E., 134.50 feet distance along the line common to aforementioned Tract 1-A-1 to the Northwest corner of the tract of land herein described, said corner being common to said Tract 1-A-1 and above-mentioned Tract 1-D-1A; thence,
S. 890 35' 58" W., 204.85 feet distance along the line common to aforementioned Tract 1-D-1 to the Northeast corner and REAL PLACE OF BEGINNING of the tract of land herein described, and containing 63,191 square feet (1.4907 acres), more or less.

REPLAT OF TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G AND 1-H-1 PARK SQUARE ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JANUARY 1988

LEGAL DESCRIPTION FOR TRACT "1-F" Not changed from plat filed November 18, 1985 (C28-171)

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-F" as shown and designated on the "Redivision of Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G AND 1-H, PARK SQUARE ADDITION, Together with Tract A-3, Block "B", BEVERLY-WOOD ADDITION (Now Comprising Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G, and 1-H-1) PARK SQUARE ADDITION", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986 in Volume C30, Folio 161; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Northeast corner of Tract 2 of above-mentioned "Redivision" being also the Point of Intersection of the Westerly right-of-way line of Louisiana Parkway N.E. with the Southernly right-of-way line of above-mentioned Americas Parkway N.E., whence the Brass Cap Monument "1-40-7" having New Mexico State Plane Coordinates (Central Zone) of

N. 09° 13' 13" W., 86.00 feet distance along the Westerly right-of-way line of Louisiana Boulevard N.E. to the Southeast corner and TRUE POINT OF BEGINNING of the tract of land herein described, being also the Point of Intersection of the Westerly right-of-way line of Louisiana Boulevard N.E. with the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System"); thence,

S. 89° 46' 49" W., 201.00 feet distance along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point of Curvature; thence,

Northwesterly, 67.19 feet distance continuing along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") along the arc of a curve bearing to the right (said arc having a radius of 238.99 feet, a central angle of 140° 51' 48" and a long chord which bears N. 82° 47' 21" W., 67.00 feet distance) to a Point of Tangency; thence,

N. 79° 21' 27" W., 32.66 feet distance continuing along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to the Southwest corner of the tract of land herein described; thence,

N. 00° 13' 13" W., 114.00 feet distance to a Point; thence,

N. 89° 46' 49" E., 45.00 feet distance to a Point; thence,

N. 00° 13' 13" W., 107.00 feet distance to a point on the Southernly line of Marriott Drive N.E. (a Private Street); thence,

N. 39° 46' 49" E., 110.00 feet distance along the Southernly line of Marriott Drive N.E. (a Private Street) to a Point; thence,

S. 00° 13' 13" E., 20.46 feet distance continuing along the Southernly line of Marriott Drive N.E. (a Private Street) to a Point; thence,

N. 89° 46' 49" E., 184.00 feet distance continuing along the Southernly line of Marriott Drive N.E. (a Private Street) to its Point of Intersection with the Westerly right-of-way line of Louisiana Boulevard N.E., and the Northeast corner of the tract of land herein described; thence,

S. 00° 13' 13" E., 187.38 feet distance along the Westerly right-of-way line of Louisiana Boulevard N.E. to the Southeast corner and TRUE POINT OF BEGINNING of the tract of land herein described, and containing 66,001 square feet (1.5152 acres), more or less.

LEGAL DESCRIPTION FOR TRACT "1-C" Not changed from plat filed November 18, 1985 (C28-171)

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-C" as shown and designated on the "Redivision of Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G AND 1-H, PARK SQUARE ADDITION, Together with Tract A-3, Block "B", BEVERLY-WOOD ADDITION (Now Comprising Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G, and 1-H-1) PARK SQUARE ADDITION", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986, in Volume C30, Folio 161; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Northeast corner of Tract 2 of above-mentioned "Redivision" being also the Point of Intersection of the Westerly right-of-way line of Louisiana Boulevard N.E. with the Southernly right-of-way line of above-mentioned Americas Parkway N.E., whence the Brass Cap Monument "1-40-7" having New Mexico State Plane Coordinates (Central Zone) of Y-1,490,699.29 and X-400,826.00 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 04° 12' 38" E., 927.12 feet distance; thence,

N. 00° 13' 13" W., 86.00 feet distance along the Westerly right-of-way line of Louisiana Boulevard N.E. to the Point of Intersection of the Westerly right-of-way line of Louisiana Boulevard N.E. with the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System"); thence,

S. 89° 46' 49" W., 201.00 feet distance along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point of Curvature; thence,

Northwesterly, 67.19 feet distance continuing along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") along the arc of a curve bearing to the right (said arc having a radius of 238.99 feet, a central angle of 140° 51' 48" and a long chord which bears N. 82° 47' 21" W., 67.00 feet distance) to a Point of Tangency; thence,

N. 79° 21' 27" W., 32.66 feet distance continuing along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to the Southeast corner and TRUE POINT OF BEGINNING of the tract of land herein described; thence,

N. 00° 13' 13" W., 182.44 feet distance continuing along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to its Point of Intersection with the Easterly line of Marriott Drive N.E. (a Private Street) and Southwest corner of the tract of land herein described; thence,

N. 14° 38' 33" E., 141.93 feet distance along the Easterly line of Marriott Drive N.E. (a Private Street) to a Point of Tangency; thence,

Northwesterly, 73.67 feet distance continuing along the Easterly line of Marriott Drive N.E. (a Private Street) along the arc of a curve bearing to the right (said arc having a radius of 56.18 feet, a central angle of 79° 08' 12" and a long chord which bears N. 79° 12' 39" E., 68.51 feet distance) to a Point of Tangency on the Southernly line of Marriott Drive N.E. (a Private Street); thence,

N. 89° 46' 49" E., 130.63 feet distance continuing along the Southernly line of Marriott Drive N.E. (a Private Street) to the Northeast corner of the tract of land herein described; thence,

S. 00° 13' 13" E., 111.75 feet distance to a Point; thence,

S. 89° 46' 49" W., 45.00 feet distance to a Point; thence,

S. 00° 13' 13" E., 114.00 feet distance to the Southeast corner and TRUE POINT OF BEGINNING of the tract of land herein described, and containing 36,104 square feet (0.8288 acre), more or less.

LEGAL DESCRIPTION FOR TRACT "1-H-1" Not changed from plat filed June 20, 1986 (C30-161)

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-H-1" as shown and designated on the "Redivision of Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G, AND 1-H, PARK SQUARE ADDITION, Together with Tract A-3, Block "B", BEVERLY-WOOD ADDITION (Now Comprising Tracts 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G, and 1-H-1) PARK SQUARE ADDITION", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 20, 1986, in Volume C30, Folio 161; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Northeast corner of Tract 2 of above-mentioned "Redivision" being also the Point of Intersection of the Westerly right-of-way line of Louisiana Boulevard N.E. with the Southernly right-of-way line of above-mentioned Americas Parkway N.E., whence the Brass Cap Monument "1-40-7" having New Mexico State Plane Coordinates (Central Zone) of Y-1,490,699.29 and X-400,826.00 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 04° 12' 38" E., 927.12 feet distance; thence,

N. 00° 13' 13" W., 273.38 feet distance along the Westerly right-of-way line of Louisiana Boulevard N.E. to the Southeast corner and TRUE POINT OF BEGINNING of the tract of land herein described, being common with the Southeast corner of Marriott Drive, N.E. (a private street); thence,

S. 89° 46' 49" W., 184.00 feet distance along the Southernly line of Marriott Drive, N.E. (a private street) to a Point; thence,

N. 00° 13' 13" W., 50.46 feet distance continuing along the Southernly line of Marriott Drive, N.E. (a private street) to a Point; thence,

S. 89° 46' 49" W., 110.00 feet distance continuing along the Southernly line of Marriott Drive, N.E. (a private street) to a Point; thence,

N. 00° 13' 13" W., 4.75 feet distance continuing along the Southernly line of Marriott Drive, N.E. (a private street) to a Point; thence,

S. 89° 46' 49" W., 130.63 feet distance continuing along the Southernly line of Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,

Southwesterly, 73.67 feet distance continuing along the Southernly line of Marriott Drive, N.E. (a private street) along the arc of a curve bearing to the left (said arc having a radius of 56.18 feet, a central angle of 79° 08' 12" and a long chord which bears S. 92° 12' 39" W., 68.51 feet distance) to a Point of Tangency on the Easterly line of said Marriott Drive, N.E. (a private street); thence,

S. 14° 38' 33" E., 141.93 feet distance along the Easterly line of Marriott Drive, N.E. (a private street) to a point on the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System"); thence,

N. 79° 21' 27" W., 37.00 feet distance along the Northernly right-of-way line of Americas Parkway N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a point on the Westerly line of Marriott Drive, N.E. (a private street); thence,

N. 14° 38' 33" E., 141.93 feet distance along the Westerly line of Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,

Northwesterly, 122.19 feet distance continuing along the Westerly line of Marriott Drive, N.E. (a private street) along the arc of a curve bearing to the right (said arc having a radius of 56.18 feet, a central angle of 79° 08' 12" and a long chord which bears N. 80° 12' 39" E., 120.1 feet distance) to a Point of Tangency on the Northernly line of Marriott Drive, N.E. (a private street); thence,

N. 89° 46' 49" E., 45.03 feet distance along the Northernly line of Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,

Northwesterly, 56.14 feet distance continuing along the Northernly line of Marriott Drive, N.E. (a private street) along the arc of a curve bearing to the left (said arc having a radius of 346.76 feet, a central angle of 03° 52' 58" and a long chord which bears N. 80° 30' 16" E., 56.11 feet distance) to a Point of Reverse Curvature; thence,

Northwesterly, 56.14 feet distance continuing along the Northernly line of Marriott Drive, N.E. (a private street) to a Point of Tangency; thence,

N. 89° 46' 49" E., 267.53 feet distance continuing along the Northernly line of Marriott Drive, N.E. (a private street) to its Point of Intersection with the Westerly right-of-way line of Louisiana Boulevard N.E., and Northeast corner of the tract of land herein described; thence,

S. 00° 13' 13" E., 97.98 feet distance along the Westerly right-of-way line of Louisiana Boulevard N.E. to the Southeast corner and TRUE POINT OF BEGINNING of the tract of land herein described, and containing 97,133 square feet (0.8323 acre), more or less.

NOTE: APPROVALS ARE SUBJECT TO A REPEAT TO RESOLVE PROPERTY LINE AND EASEMENT CONFLICTS

NOTE: RIGHT OF WAY IMPROVEMENTS ARE SUBJECT TO FINAL ENGINEERING. SCHEDULE OF IMPLEMENTATION OF IMPROVEMENTS SHALL BE COORDINATED WITH THE CITY TRAFFIC ENGINEER.

Note: A preliminary submission of the Park Square project was reviewed and approved by the Design Review Board and is recorded in File No. DRB-83-533 (dated 3 March 1984). See drawings numbered ASK 26, ASK 27 and ASK 28. SEE ALSO DRAWINGS NUMBERED ASK 166, ASK 167, AND ASK 168, DATED 12 FEBRUARY 1985.

WATER RESOURCES
CITY OF ALBUQUERQUE *Handwritten signature* DATE 3-4-80

PARKS AND RECREATION
CITY OF ALBUQUERQUE *Handwritten signature* DATE 3-4-80

PLANNING DIRECTOR
CITY OF ALBUQUERQUE *Handwritten signature* DATE 3-4-80

CITY ENGINEER
CITY OF ALBUQUERQUE *Handwritten signature* DATE 3-4-80

AMFCA *Handwritten signature* DATE 3-4-80

TRAFFIC ENGINEERING
CITY OF ALBUQUERQUE *Handwritten signature* DATE 3-4-80

Scope Document

This preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract Documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for the proper execution and completion of the work. Decisions of the architect as to the terms of work included within the scope of this document shall be final and binding on the contractor and the owner.

6	MASTER PLAN SUBMISSION	11-10-87	DN
5	HR REVIEW	12-21-87	DN
4	REVISED	FEB 20 88	DN
3	REVISIONS IN PROGRESS	APR 14 88	DN
2	PREPARED THE OWNERS REVIEW	JAN 2 1988	DN
1	ISSUED FOR OWNER REVIEW	DEC 22 85	DN

Park Square

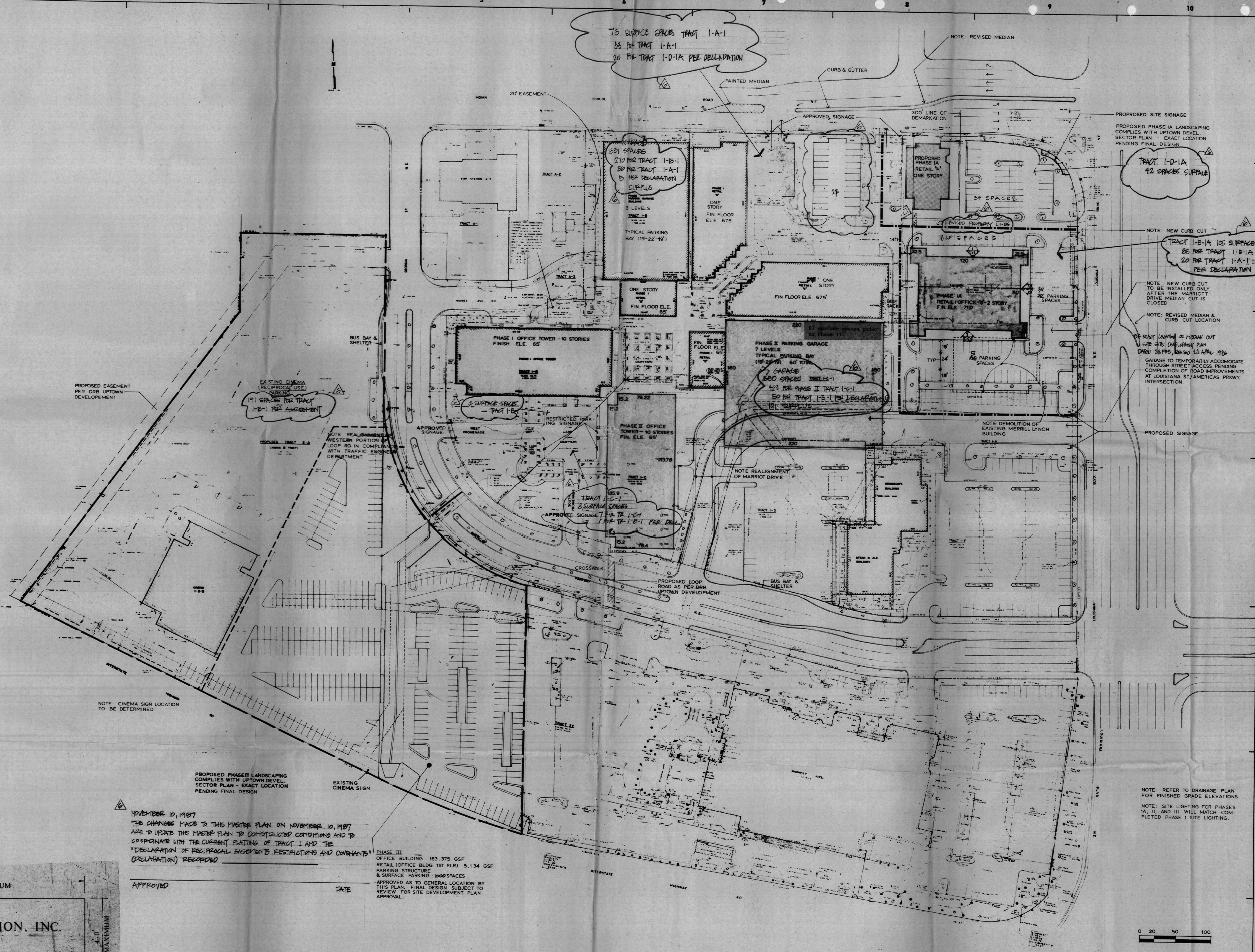
Albuquerque, New Mexico

A project of
Hines Industrial-Houston
2700 Post Oak Boulevard
Houston, Texas 77056

MASTER PLAN
Revised
Site Plan

30144-105

ASK-232
1 OF 2



NOVEMBER 10, 1987
THE CHANGES MADE TO THIS MASTER PLAN ON NOVEMBER 10, 1987 ARE TO UPDATE THE MASTER PLAN TO CONSTRUCTION CONDITIONS AND TO COORDINATE WITH THE CURRENT PLATTING OF TRACT I AND THE DECLARATION OF RECIPROCAL EASEMENTS, RESTRICTIONS AND COVENANTS (DECLARATION) RECORDED

APPROVED _____ DATE _____

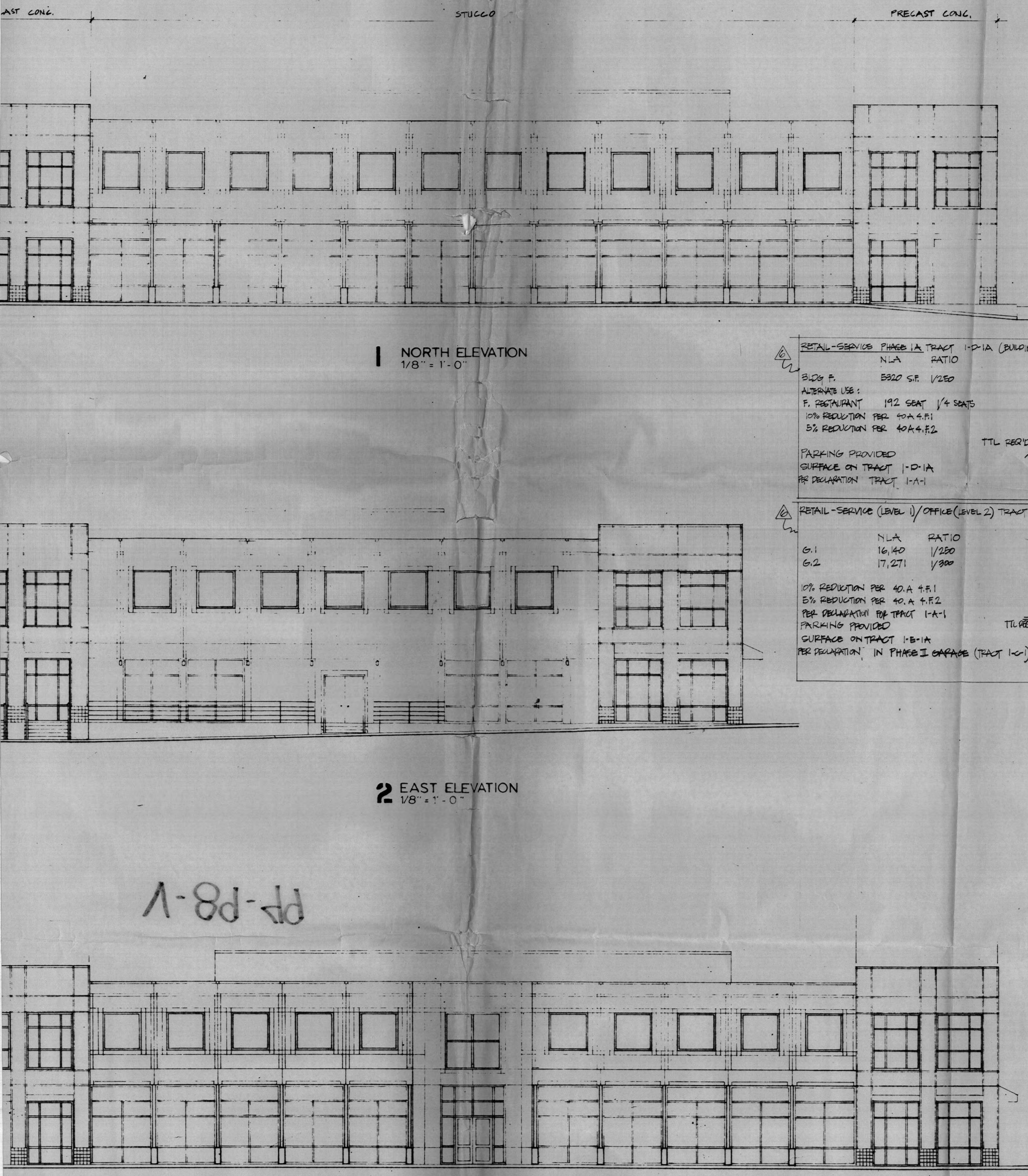
CORPORATION, INC.

TYPICAL SITE SIGN ELEVATION
1/2" = 1'-0"

A variance has been granted to part IV (land use controls), section 1. (SU-3 zone), Paragraph E. (setback) of the Uptown Sector Development Plan to allow construction of structures on the property line of internal property lines to facilitate phasing and financing of improvements.

BUILDING "G" ELEVATIONS

PROJECT NOTES



PHASE I

The initial phase will consist of one office building, fronting Loop Road, with adjacent parking structure, a retail center fronting Indian School Road and adjacent to the Louisiana Blvd./Indian School Road intersection. The Retail Center consists of 5 free standing buildings (A, B, C, D & E).

Surface parking at the rear of Retail Buildings C and D will be displaced in Phase II by office parking garage.

The courtyards linking these structure will be constructed with paved areas as shown, and all landscaping will be installed in Phase I.

PHASE IA

This phase will consist of two structures, a one story retail building adjacent to the Louisiana/Indian School Road intersection (Retail Building F), a two story building, Retail on the ground with office above located just west of Phase I Retail Building "C" (Office/Retail Building "G"). The walkways and landscape plan will be extended to link the structures to the project forming a continuous pedestrian pathway to all buildings.

Parking Required:

Office Building No. 1 TRACT 1-B-1

Level	NLA	Parking Ratio	Required Cars	RECD CARS
Basement	11,242	1/200	56	0 DELETED
1	14,762	1/200	74	74
2-5	64,045	1/300	213	213
6-10	87,895	1/400	220	220
			563	563

10% reduction per Sec. 40.A 4.F.1. City Zoning Code

5% reduction per Sec. 40.A 4.F.2.

Parking Provided:

Parking Structure #1 - 120' x 190'

Standard Spaces (19' x 8.5')
Compact Spaces (15' x 7.5')
Handicapped (12' x 20')

TOTAL SPACES PROVIDED IN 5 LEVELS

Surface at Building Entry

Louisiana Blvd. Cinema Surface Parking

30% of the 450 spaces designed for reciprocal use will be provided for

Phase I office parking.

Surface on Tract 1-B-1 PER DECLARATION

Spaces Provided

10% reduction per Sec. 40.A 4.F.1.

5% reduction per Sec. 40.A 4.F.2.

20% PER TRACT 1-B-1 PER DECLARATION

Parking Provided

Surface on Tract 1-A-1

PER DECLARATION TRACT 1-A-1

Surface on Tract 1-B-1

PER DECLARATION TRACT 1-B-1

Surface on Tract 1-C-1

PER DECLARATION TRACT 1-C-1

Surface on Tract 1-D-1

PER DECLARATION TRACT 1-D-1

Surface on Tract 1-E-1

PER DECLARATION TRACT 1-E-1

Surface on Tract 1-F-1

PER DECLARATION TRACT 1-F-1

Surface on Tract 1-G-1

PER DECLARATION TRACT 1-G-1

Surface on Tract 1-H-1

PER DECLARATION TRACT 1-H-1

Surface on Tract 1-I-1

PER DECLARATION TRACT 1-I-1

Surface on Tract 1-J-1

PER DECLARATION TRACT 1-J-1

Surface on Tract 1-K-1

PER DECLARATION TRACT 1-K-1

Surface on Tract 1-L-1

PER DECLARATION TRACT 1-L-1

Surface on Tract 1-M-1

PER DECLARATION TRACT 1-M-1

Surface on Tract 1-N-1

PER DECLARATION TRACT 1-N-1

Surface on Tract 1-O-1

PER DECLARATION TRACT 1-O-1

Surface on Tract 1-P-1

PER DECLARATION TRACT 1-P-1

Surface on Tract 1-Q-1

PER DECLARATION TRACT 1-Q-1

Surface on Tract 1-R-1

PER DECLARATION TRACT 1-R-1

Surface on Tract 1-S-1

PER DECLARATION TRACT 1-S-1

Surface on Tract 1-T-1

PER DECLARATION TRACT 1-T-1

Surface on Tract 1-U-1

PER DECLARATION TRACT 1-U-1

Surface on Tract 1-V-1

PER DECLARATION TRACT 1-V-1

Surface on Tract 1-W-1

PER DECLARATION TRACT 1-W-1

Surface on Tract 1-X-1

PER DECLARATION TRACT 1-X-1

Surface on Tract 1-Y-1

PER DECLARATION TRACT 1-Y-1

Surface on Tract 1-Z-1

PER DECLARATION TRACT 1-Z-1

Surface on Tract 1-AA-1

PER DECLARATION TRACT 1-AA-1

Surface on Tract 1-AB-1

PER DECLARATION TRACT 1-AB-1

Surface on Tract 1-AC-1

PER DECLARATION TRACT 1-AC-1

Surface on Tract 1-AD-1

PER DECLARATION TRACT 1-AD-1

Surface on Tract 1-AE-1

PER DECLARATION TRACT 1-AE-1

Surface on Tract 1-AF-1

PER DECLARATION TRACT 1-AF-1

Surface on Tract 1-AG-1

PER DECLARATION TRACT 1-AG-1

REVISED MASTER PLAN

This plan maintains the square footage originally approved 3/4/84 D.R.B.-83-533.

BUILDING AREAS

Office Building Gross Square Footage	REVISED MASTER PLAN	APPROVED D.R.B. 3/4/84
Office Building #1	204,661 GSF	204,661 GSF
Office Building #2	204,661 GSF	204,661 GSF
Office Building #3	163,175 GSF	163,175 GSF
Office/Retail Building G (2nd Level)	16,825 GSF	16,825 GSF
	589,322 GSF	589,322 GSF

Retail Building Gross Square Footage

Phase I	REVISED MASTER PLAN	APPROVED D.R.B. 3/4/84
Office Building #3 (1st Floor)	44,341 GSF	42,484 GSF
Office/Retail Building G (1st Floor)	15,625 GSF	28,216 GSF
Retail Building F	5,600 GSF	5,600 GSF
	70,700 GSF	70,700 GSF

Parking Structures

Parking Structure #1	6 Levels	377 Spaces	377 Spaces
Parking Structure #2	7 Levels	813 Spaces	535 Spaces
Parking Structure #3	4 Levels	1,000 Spaces	207 Spaces

PARKING TOTALS

Office Building #1	482 Spaces	482 Spaces
Office Building #2	482 Spaces	482 Spaces
Office Building #3	338 Spaces	512 Spaces
Retail (A, B, C, D, E, F & G)	294 Spaces	145 Spaces
Existing Parking Displaced	287 Spaces	102 Spaces
TOTAL	1,863 Spaces	1,723 Spaces
Proposed		
Parking Structure #1	377 Spaces	377 Spaces
Parking Structure #2	812 Spaces	535 Spaces
Parking Structure #3	1,000 Spaces	207 Spaces
Surface Parking (306 - 87 displaced Phase II Garage)	219 Spaces	154 Spaces
Louisiana Blvd. Cinema	150 Spaces	450 Spaces
TOTAL	2,558 Spaces	1,723 Spaces

LANDSCAPING

Landscaping will be fully implemented in the first phase. Trees will be used to spatially define courtyards and promenades. Trees will also be placed to create shade for pedestrian paths between buildings. Trees and their watering systems in Phase I are placed to define the zones for future buildings. The owner will be responsible for the on-going maintenance of all on-site landscape materials.

Plant List

- Street Trees
 - Platanus Acerifolia, London Plane Tree, 3" caliper, branched up 8'.
 - Plaza Trees
 - *Pyrus Calleryana "Bradford", Bradford Pear Tree, 3" caliper, branched up 6'-7'.
 - Glandifolia Trifloranthos "Skylinet", Skylinet Honeylocust, 3" caliper, branched up 8'.
 - Screening Trees
 - Pinus Edulis, Pinon Pine, 8' height.
 - Shrubs
 - Juniperus Horizontalis Plumosa, Andorra Purple Juniper, 5 gal.
 - Raphitophis Indica, Indian Hawthorn, 5 gal.
- * Alternate - Bradford Pear not on Landscape Regulation list. If not acceptable substitute Sokobus Aucuparila - Mountain Ash.

Landscaping/Useable Open Space

Area Required =	27,015
Area Required =	40,000 SF

Landscaping at Surface Parking Area

Area Required =	4,760 SF
Area Proposed =	10,325 SF
Surface Parking Area =	68,000 SF
Landscaping to	
Parking Ratio = approx.	1 to 7

Irrigation

All lawn areas to be spray irrigated. All trees and shrub beds to be irrigated by automatic drip irrigation system.

ENERGY

The building will be designed with state-of-the-art heating, ventilating, and air conditioning systems.

High performance insulating glass will be used. The building facades will incorporate recessed glass on appropriate orientations. The glass will be a high performance, dual-pane system.

RETAIL	DRB Approved 3/4/85	Build As Of 1/1/86	Proposed To Build Now (A)	Proposed To Build In Future
A	3,941	3,941	-	-
B	13,076	13,076	-	-
C	15,383	17,240	-	-
D	4,084	4,084	-	-
E	6,000	-	6,000	-
Phase III	28,216	-	21,225	5,134
	70,700	38,341	27,225	5,134
OFFICE				
Phase I	204,661	204,661	-	-
Phase II	204,661	-	-	204,661
Phase III	180,000	-	16,825	163,175
	589,322	204,661	16,825	367,836

NOTE: RECD PARKING MAY BE REDUCED AN ADD'L 5% PER ALBUQUERQUE ZONING CODE SEC. 40.A 4.F.2

Note: A preliminary submission of the Park Square project was reviewed and approved by the Design Review Board and is recorded in File No. DRB-83-533 (dated 3 March 1984). See drawings numbered ASK 26, ASK 27 and ASK 28. SEE ALSO DRAWINGS NUMBERED ASK 156, ASK 157, AND ASK 158, DATED 12 FEBRUARY, 1985.

WATER RESOURCES CITY OF ALBUQUERQUE DATE

PARKS AND RECREATION CITY OF ALBUQUERQUE DATE

PLANNING DIRECTOR CITY OF ALBUQUERQUE DATE

CITY ENGINEER CITY OF ALBUQUERQUE DATE

AMAFCA DATE

TRAFFIC ENGINEERING CITY OF ALBUQUERQUE DATE

Scope Document

This preliminary drawing indicates the general scope of the project in terms of architectural design concepts, the location of the building, the major architectural elements and the location of structural, mechanical, electrical and plumbing systems. It is not intended to be used for construction purposes. The contractor shall furnish all items required for the proper execution and completion of the work. Decisions of the contractor as to the terms of work included within the scope of the project shall be final and binding on the contractor and the owner.

6	MASTER PLAN REVISION	11-10-85
	HPP REVISION	FEB 21
	REVISION	FEB 26
1	ISSUED FOR OWNER'S REVIEW	JAN 8, 1986

Park Square
Albuquerque, New Mexico

A project of
Hines Industrial-Houston
2700 Post Oak Boulevard
Houston, Texas 77056

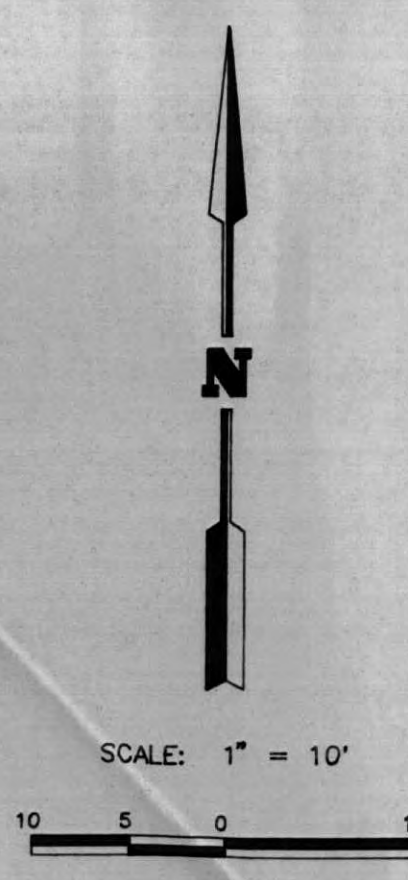
MASTER PLAN

30,144-105

ASK-233
2 OF 2

TRACT 1-D-1A
PARK SQUARE ADDITION

CURVE DATA				
CURVE	RADIUS	LENGTH	DELTA	CHORD (BRNG., DIST.)
C1	385.80'	73.16'	112°24'	S.83°52'04"E., 73.08'
C2	64.50'	71.81'	63°47'15"	S.46°14'34"E., 68.10'
C3	239.50'	59.06'	14°07'41"	S.07°17'05"E., 58.91'



Phase 2A
Phase 2A will consist of a one story retail building adjacent to the Louisiana Boulevard / Indian School Road intersection (Retail Building "F"). The landscape plan will be extended to link this tract to the project. Additional surface parking will be added.

Parking Required:
Retail Building "F" Tract 1-D-1A
Retail and Service Uses

NLA	PARKING RATIO	REQUIRED PARKING
8,893 SF	1/250 SF	36

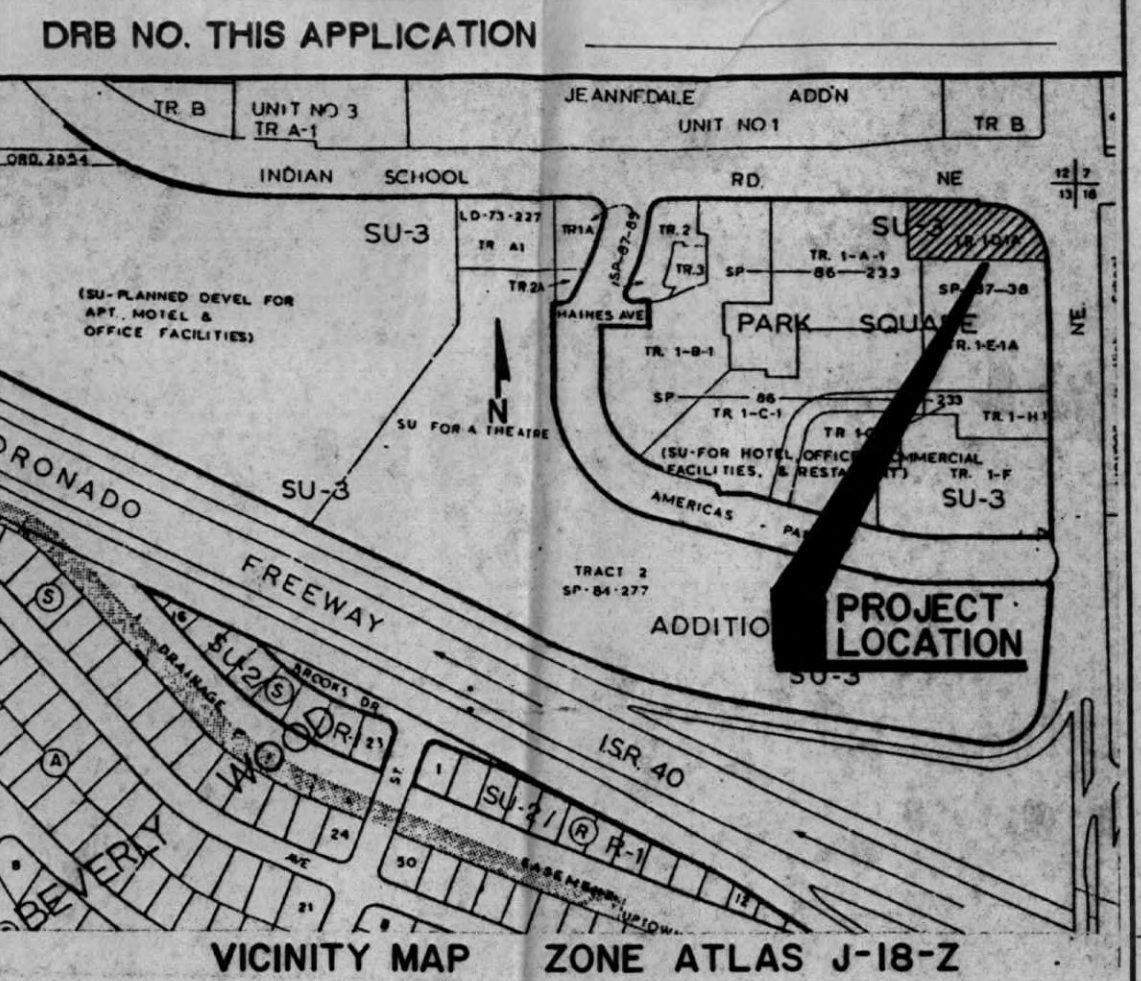
10% Reduction per Sec. 40A 4.f. (1) -3
City Zoning Code
5% Reduction per Sec. 40A 4.f. (2) -1
City Zoning Code
Total Spaces Required 32 Spaces

Parking Provided:
Retail Building "F" Tract 1-D-1A
Surface parking within the Tract 32 Spaces
Additional parking provided within Park Square Project.
See Master Site Parking Plan.

Handicapped Parking:
Spaces Required 2
Spaces Provided 2

NOTES:
1. PREVIOUS SUBMISSIONS OF THE PARK SQUARE PROJECT WERE REVIEWED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD AND ARE RECORDED IN FILE NO. DRB-83-533. (DATED 3 MARCH 1984).
2. SITE LIGHTING FOR PHASE 2A WILL MATCH COMPLETED PHASE 1 SITE LIGHTING.

CHAIRMAN CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
PARKS & RECREATION	DATE
TRAFFIC ENGINEER	DATE
UTILITIES DEVELOPMENT DIVISION	DATE



Rev	Date	Description	By

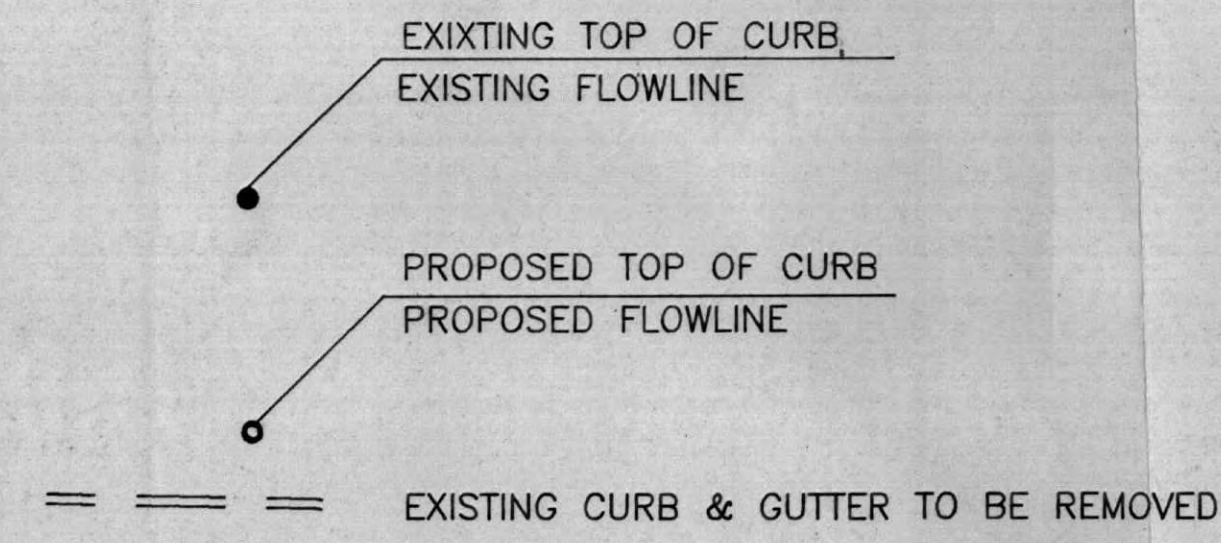
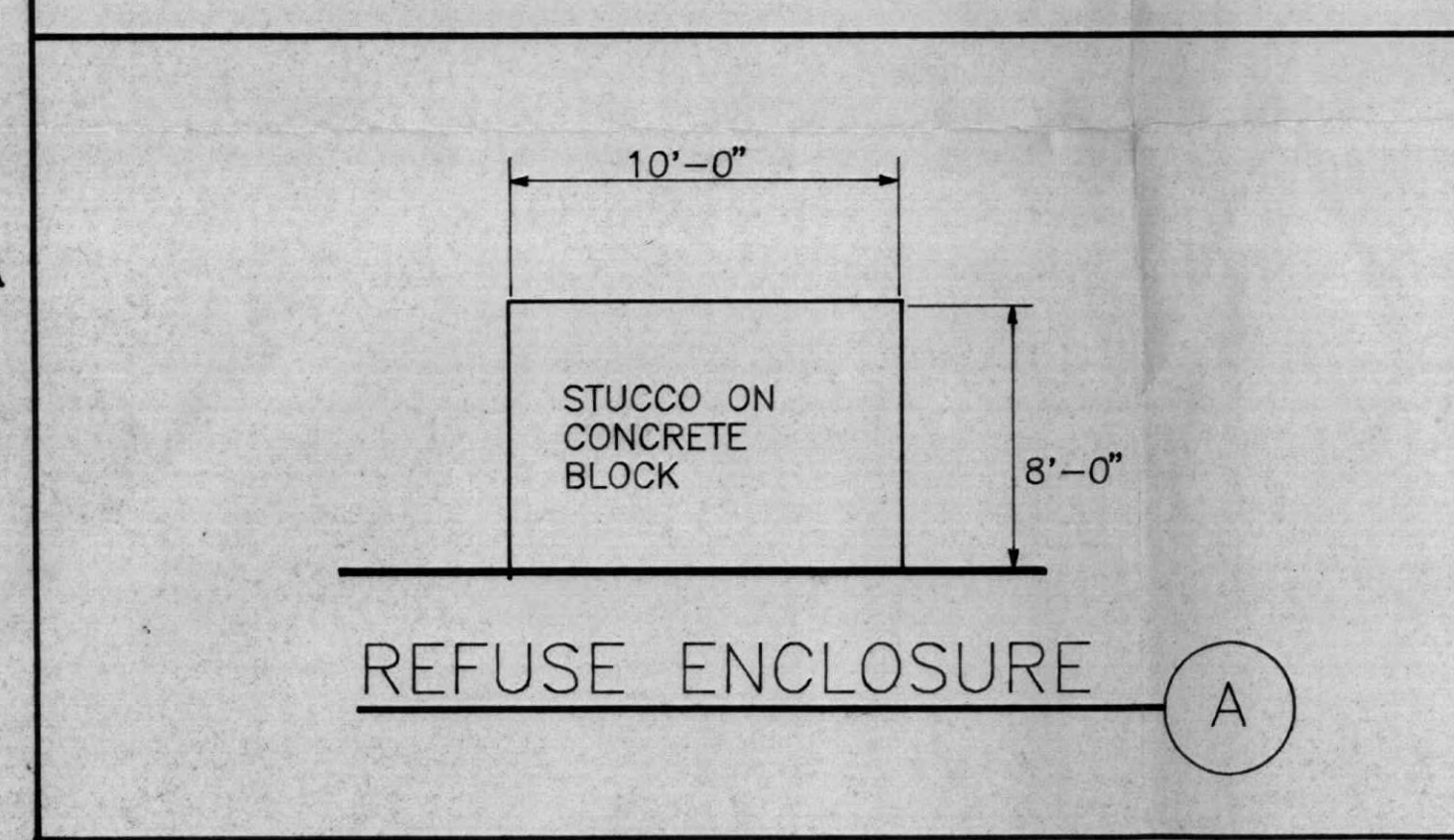
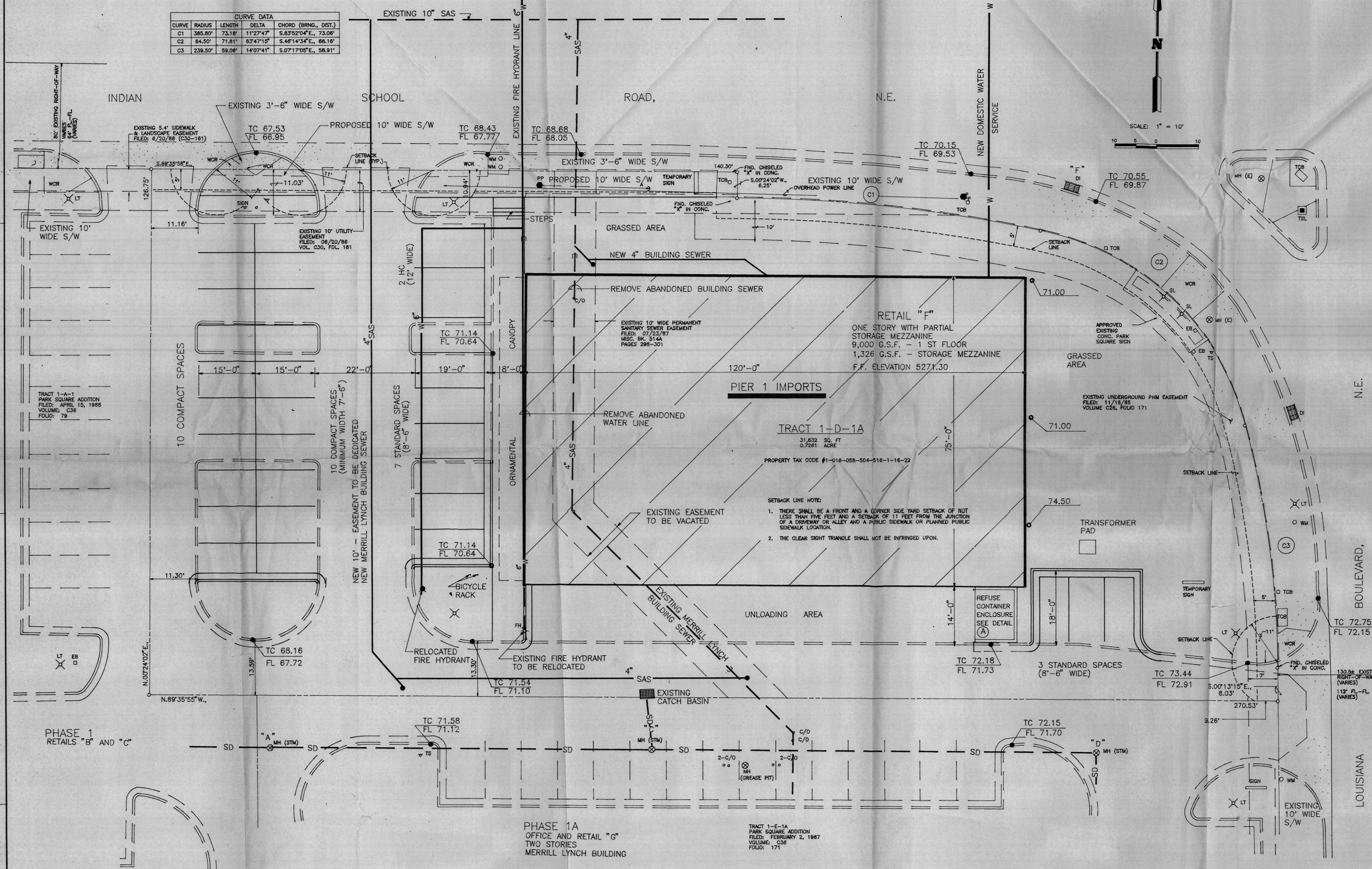
Holmes & Narver
ALBUQUERQUE, NEW MEXICO

Gerald D. Hines Interests

PARK SQUARE PHASE 2A
PIER 1 IMPORTS
SITE DEVELOPMENT PLAN

Designed	Checked	DRAWING NO.	SEC.	REV.
SFF	JLM	SDP.1	1	1

DRB-89-298

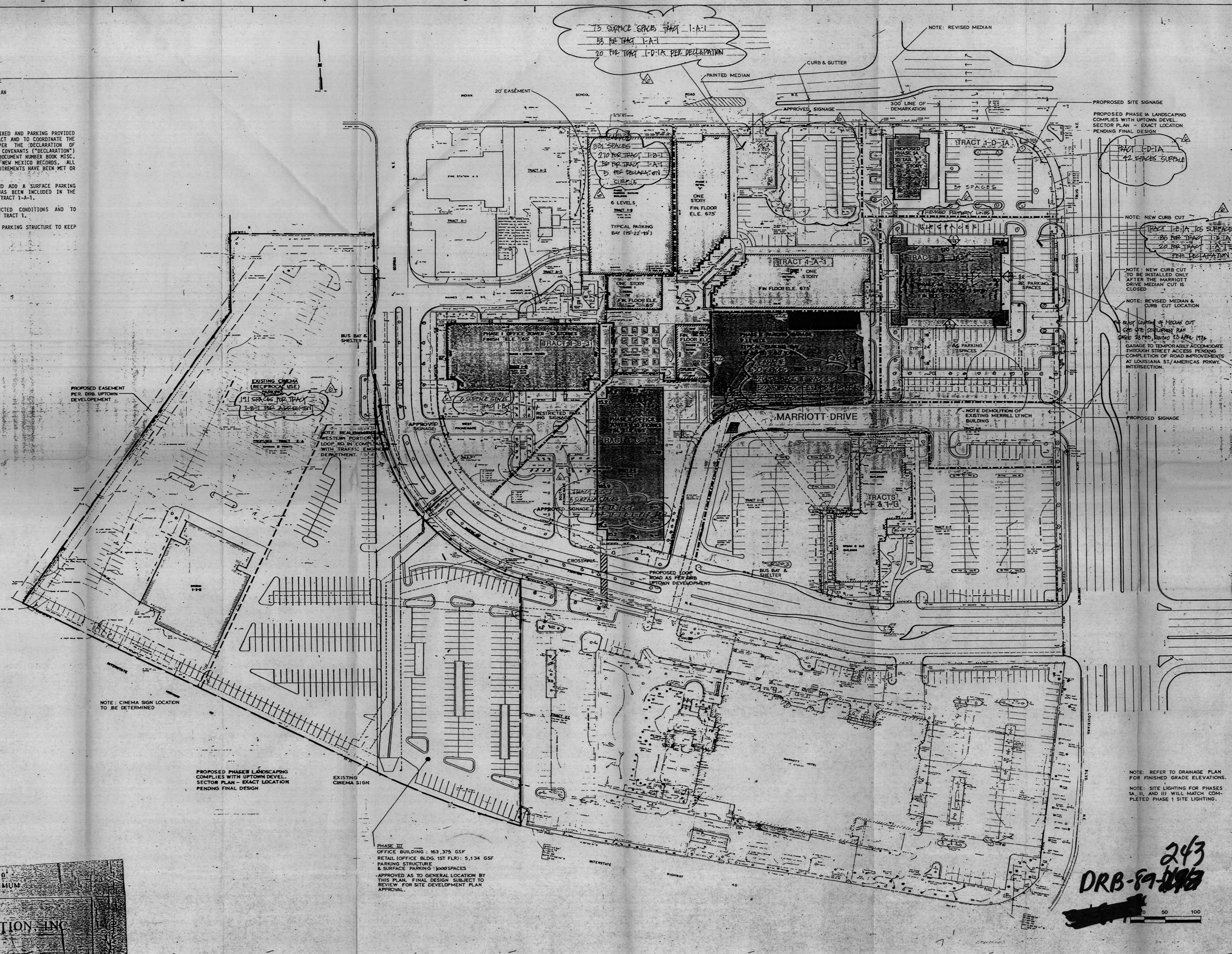


NOTE: APPROVALS ARE SUBJECT TO A REPLY TO RESOLVE PROPERTY LINE AND EASEMENT CONFLICTS.
NOTE: RIGHT OF WAY IMPROVEMENTS ARE SUBJECT TO FINAL ENGINEERING. SCHEDULE OF IMPLEMENTATION OF IMPROVEMENTS SHALL BE COORDINATED WITH THE CITY TRAFFIC ENGINEER.

AMENDMENT NO. 6 TO THE
APPROVED SITE MASTER PLAN
CASE NO. DRB 83-533

THE PURPOSE OF THIS AMENDMENT IS TO:

- REVISE THE TABULATION OF PARKING REQUIRED AND PARKING PROVIDED (SHOWN ON SHEET 2 OF 2) FOR EACH TRACT AND TO COORDINATE THE ALLOWABLE PARKING BETWEEN TRACTS PER THE DECLARATION OF RECIPROCAL EASEMENTS, RESTRICTIONS AND COVENANTS ("DECLARATION") RECORDED DECEMBER 2, 1987 RECORDED IN DOCUMENT NUMBER BOOK HISC. 563A PAGES 623-645 BERNALILLO COUNTY, NEW MEXICO RECORDS. ALL UPTOWN SECTOR PLAN MINIMUM PARKING REQUIREMENTS HAVE BEEN MET OR EXCEEDED.
- DELETE PROPOSED RETAIL BUILDING E AND ADD A SURFACE PARKING LOT. THE ADDITIONAL PARKING COUNT HAS BEEN INCLUDED IN THE TABULATION OF THE PARKING PROVIDED FOR TRACT 1-A-1.
- UPDATE THE MASTER PLAN TO CONSTRUCTED CONDITIONS AND TO COORDINATE WITH THE CURRENT PLATTING OF TRACT 1.
- REDUCE THE FOOTPRINT OF THE PHASE TWO PARKING STRUCTURE TO KEEP MARRIOTT DRIVE OPENED.



15 SURFACE SPACES FOR 1-A-1
25 FOR TRACT 1-A-1
20 FOR TRACT 1-D-1A PER DECLARATION

NOTE: REVISED MEDIAN

PROPOSED PHASE IA LANDSCAPING COMPLES WITH UPTOWN DEVEL. SECTOR PLAN - EXACT LOCATION PENDING FINAL DESIGN

NOTE: NEW CURB CUT

NOTE: NEW CURB CUT TO BE INSTALLED ONLY AFTER THE MARRIOTT DRIVE MEDIAN CUT IS CLOSED

NOTE: REVISED MEDIAN & CURB CUT LOCATION

NOTE: DEMOLITION OF EXISTING MERRILL LYNCH BUILDING

PROPOSED SIGNAGE

Note: A preliminary submission of the Park Square project was reviewed and approved by the Design Review Board and is recorded in File No. DRB-83-533 (dated 3 March 1984). See drawings numbered ASK 26, ASK 27 and ASK 28. SEE ALSO DRAWINGS NUMBERED ASK 166, ASK 167, AND ASK 168, DATED 12 FEBRUARY, 1985.

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. Z-1450
Park Square
Place of Hills B
C/O SOM 7-20-88
PLANNING DIRECTOR DATE

Scope Document
This preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract Documents. On the basis of the general scope indicated or described the contractor shall furnish all items required for the proper execution and completion of the work. Decisions of the architect as to the items of work included within the scope of the documents shall be final and binding on the contractor and the owner.

1	ISSUED FOR OWNER REVIEW	DEC 22 1984
2	REVISION BY OWNER REVIEW	JAN 5 1985
3	REVISIONS IN PROGRESS	FEB 14 85
4	REVISIONS	FEB 21 85
5	REVISIONS	FEB 22 85
6	MASTER PLAN REVISION	1-10-87 DEN

Park Square
Albuquerque, New Mexico
A project of
Hines Industrial-Houston
2700 Post Oak Boulevard
Houston, Texas 77056

MASTER PLAN
Revised Site Plan

30,144-105
ASK-232
1 of 2

243
DRB-83-533



PHASE III
OFFICE BUILDING - 163,375 GSF
RETAIL (OFFICE BLDG. 1ST FLR): 5,134 GSF
PARKING STRUCTURE
& SURFACE PARKING 1000 SPACES
APPROVED AS TO GENERAL LOCATION BY THIS PLAN. FINAL DESIGN SUBJECT TO REVIEW FOR SITE DEVELOPMENT PLAN APPROVAL.

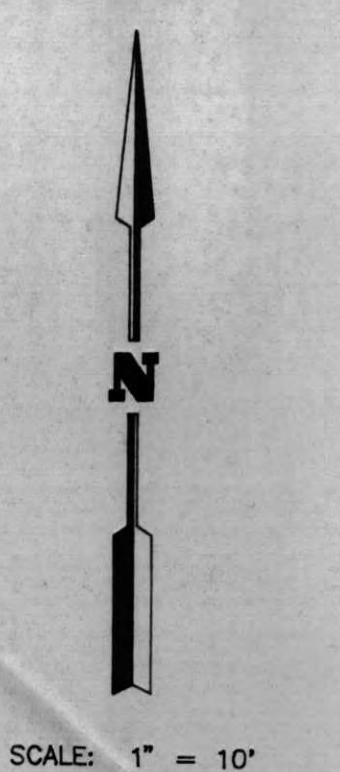
NOTE: CINEMA SIGN LOCATION TO BE DETERMINED

PROPOSED PHASE I LANDSCAPING COMPLES WITH UPTOWN DEVEL. SECTOR PLAN - EXACT LOCATION PENDING FINAL DESIGN

EXISTING CINEMA SIGN

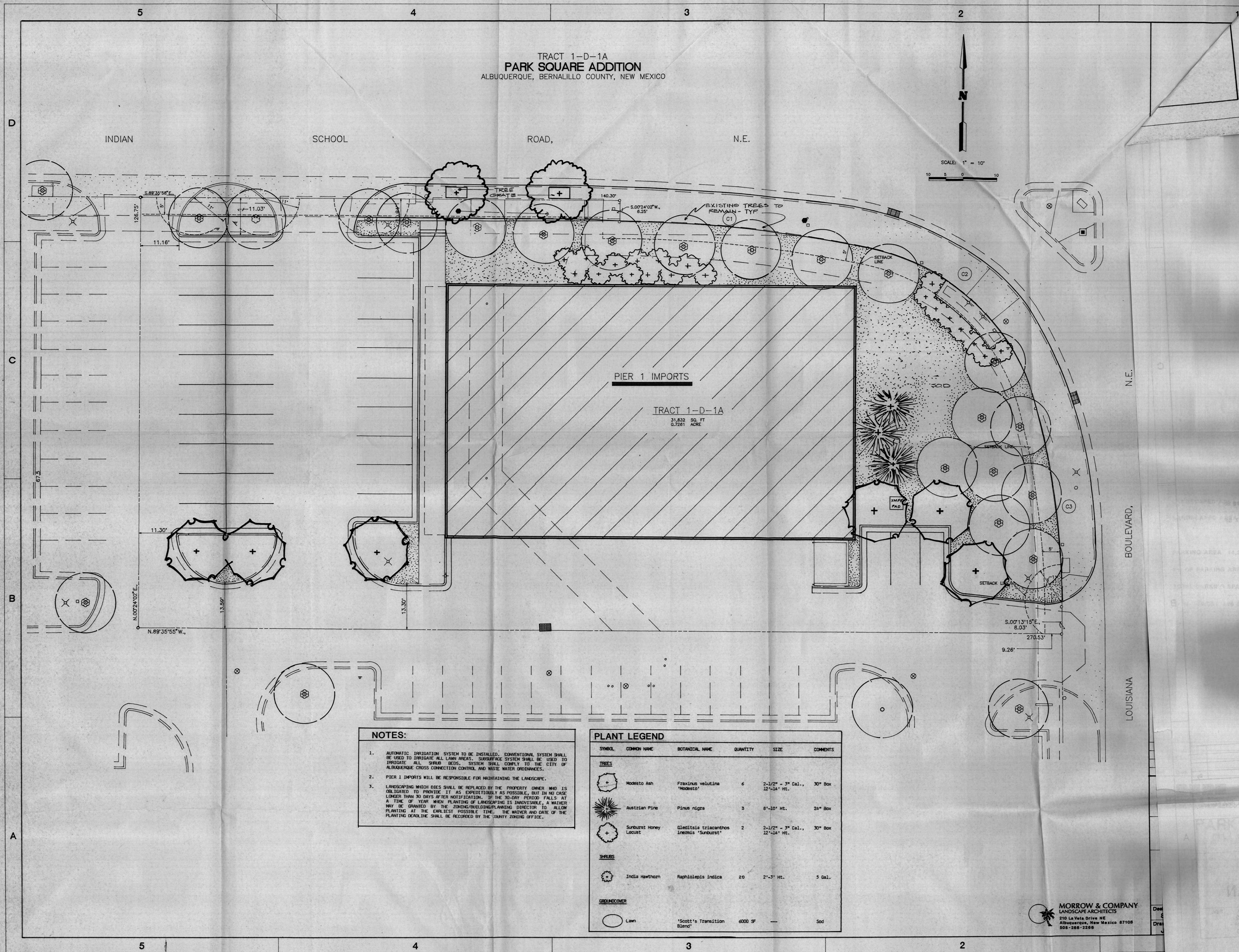
NOTE: REFER TO DRAINAGE PLAN FOR FINISHED GRADE ELEVATIONS.
NOTE: SITE LIGHTING FOR PHASES 1A, 1I, AND 1II WILL MATCH COMPLETED PHASE 1 SITE LIGHTING.

TRACT 1-D-1A
 PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



INDIAN SCHOOL ROAD, N.E.

LOUISIANA BOULEVARD, N.E.



NOTES:

1. AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED. CONVENTIONAL SYSTEM SHALL BE USED TO IRRIGATE ALL LAWN AREAS. SURFACE SYSTEM SHALL BE USED TO IRRIGATE ALL SHRUB BEDS. SYSTEM SHALL COMPLY TO THE CITY OF ALBUQUERQUE CROSS CONNECTION CONTROL AND WASTE WATER ORDINANCES.
2. PIER 1 IMPORTS WILL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPE.
3. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE PROPERTY OWNER WHO IS OBLIGATED TO PROVIDE IT AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 30 DAYS AFTER NOTIFICATION. IF THE 30-DAY PERIOD FALLS AT A TIME OF YEAR WHEN PLANTING OF LANDSCAPING IS INADVISABLE, A WAIVER MAY BE GRANTED BY THE ZONING/BUILDING/PLANNING DIRECTOR TO ALLOW PLANTING AT THE EARLIEST POSSIBLE TIME. THE WAIVER AND DATE OF THE PLANTING DEADLINE SHALL BE RECORDED BY THE COUNTY ZONING OFFICE.

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	COMMENTS
TREES					
	Modesto Ash	<i>Fraxinus velutina</i> 'Modesto'	6	2-1/2" - 3" Cal., 12'-14' HT.	30" Box
	Austrian Pine	<i>Pinus nigra</i>	3	8'-10' HT.	24" Box
	Sunburst Honey Locust	<i>Gleditsia triacanthos</i> 'inermis 'Sunburst'	2	2-1/2" - 3" Cal., 12'-14' HT.	30" Box
SHRUBS					
	India Hawthorn	<i>Raphiolepis indica</i>	20	2'-3' HT.	5 Gal.
GROUNDCOVER					
	Lawn	'Scott's Transition Blend'	6000 SF		Sod

MORROW & COMPANY
 LANDSCAPE ARCHITECTS
 210 La Veta Drive NE
 Albuquerque, New Mexico 87108
 505-266-2266

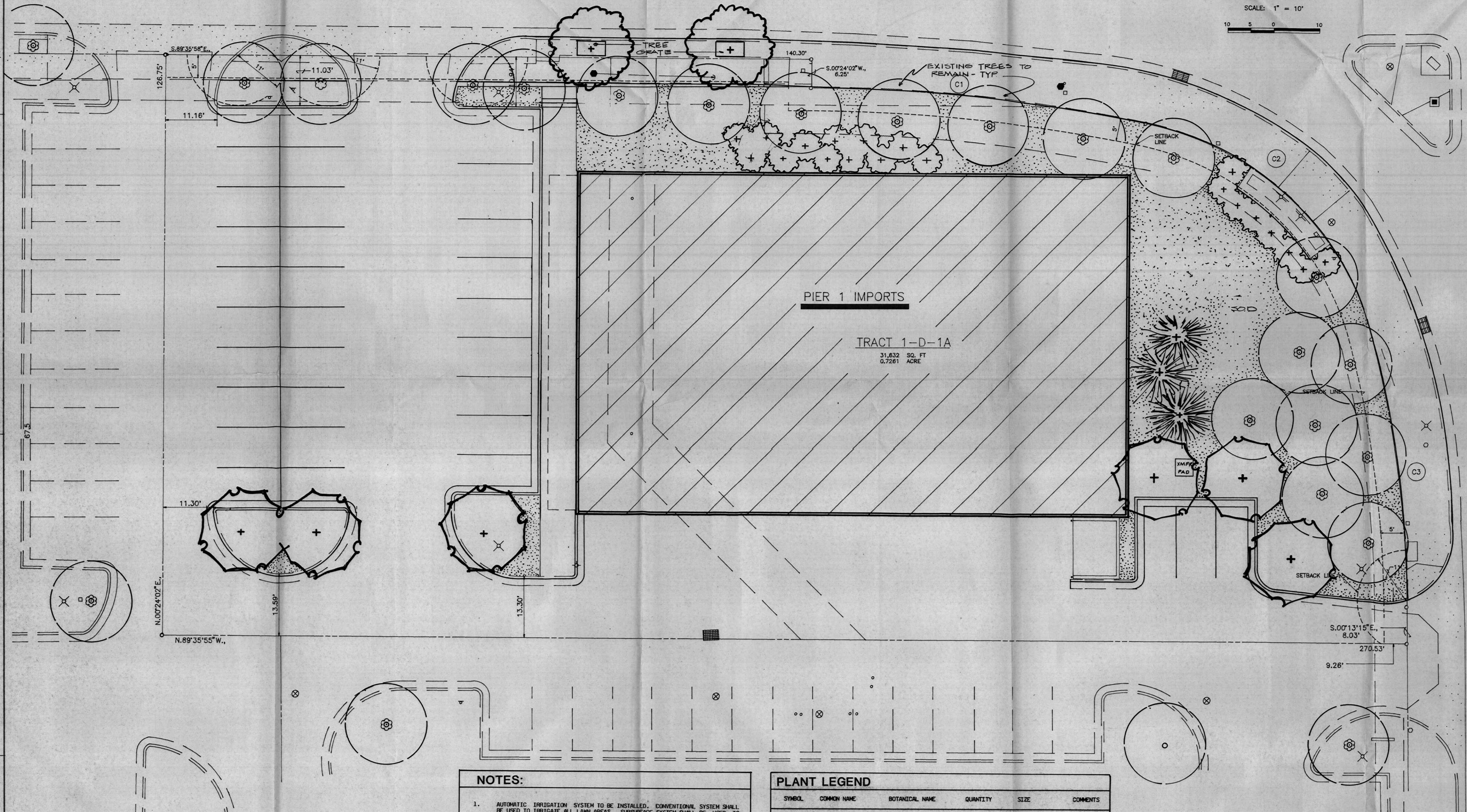
TRACT 1-D-1A
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



SCALE: 1" = 10'

INDIAN SCHOOL ROAD, N.E.

BOULEVARD, N.E.
 LOUISIANA



LANDSCAPED AREA REQUIRED	1,486 SF
LANDSCAPED AREA PROVIDED	7,407 SF
PARKING AREA	14,369 SF
7% OF PARKING AREA	1,006 SF
TOTAL PARKING SPACES	32
15 SF/SPACE	480 SF

- NOTES:**
1. AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED. CONVENTIONAL SYSTEM SHALL BE USED TO IRRIGATE ALL LAWN AREAS. SURFACE SYSTEM SHALL BE USED TO IRRIGATE ALL SHRUB BEDS. SYSTEM SHALL COMPLY TO THE CITY OF ALBUQUERQUE CROSS CONNECTION CONTROL AND WASTE WATER ORDINANCES.
 2. PIER 1 IMPORTS WILL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPE.
 3. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE PROPERTY OWNER WHO IS OBLIGATED TO PROVIDE IT AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 90 DAYS AFTER NOTIFICATION. IF THE 90-DAY PERIOD FALLS AT A TIME OF YEAR WHEN PLANTING OF LANDSCAPING IS UNADVISABLE, A WAIVER MAY BE OBTAINED BY THE ZONING/BUILDING/PLANNING DIRECTOR TO ALLOW PLANTING AT THE EARLIEST POSSIBLE TIME. THE WAIVER AND DATE OF THE PLANTING DEADLINE SHALL BE RECORDED BY THE COUNTY ZONING OFFICE.

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	COMMENTS
TREES					
	Modesto Ash	Fraxinus velutina Modesto	6	2-1/2" - 3" Cal., 12'-14' Ht.	30" Box
	Austrian Pine	Pinus nigra	3	8'-10' Ht.	24" Box
	Sunburst Honey Locust	Gleditsia triacanthos inermis 'Sunburst'	2	2-1/2" - 3" Cal., 12'-14' Ht.	30" Box
SHRUBS					
	Indis Hawthorn	Raphiolepis indica	20	2'-3" Ht.	5 Gal.
GROUNDCOVER					
	Lawn	'Scott's Transition Blend'	6000 SF		Sod

Rev	Date	Description	By

H & N
 Holmes & Narver
 ALBUQUERQUE, NEW MEXICO

G
 Gerald D. Hines Interests

**PARK SQUARE
 PHASE 2A**

**PIER 1 IMPORTS
 LANDSCAPE PLAN**

MORROW & COMPANY
 LANDSCAPE ARCHITECTS
 210 La Veta Drive NE
 Albuquerque, New Mexico 87108
 505-268-2266

Designed SFF	Checked JLM	DRAWING NO. LP.1	REV. 2 - OF - 3
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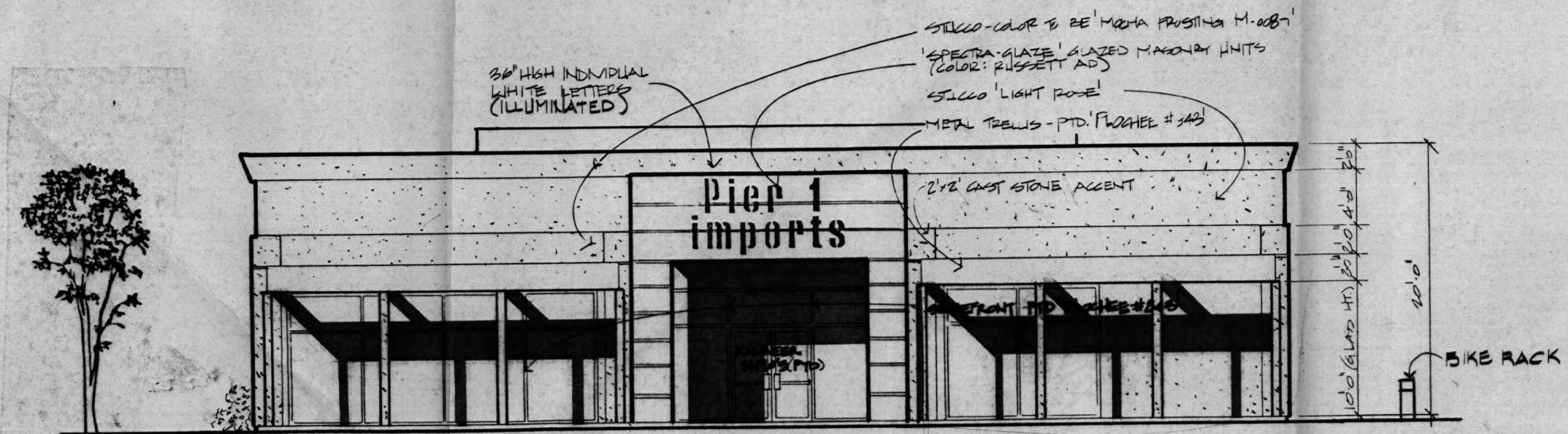
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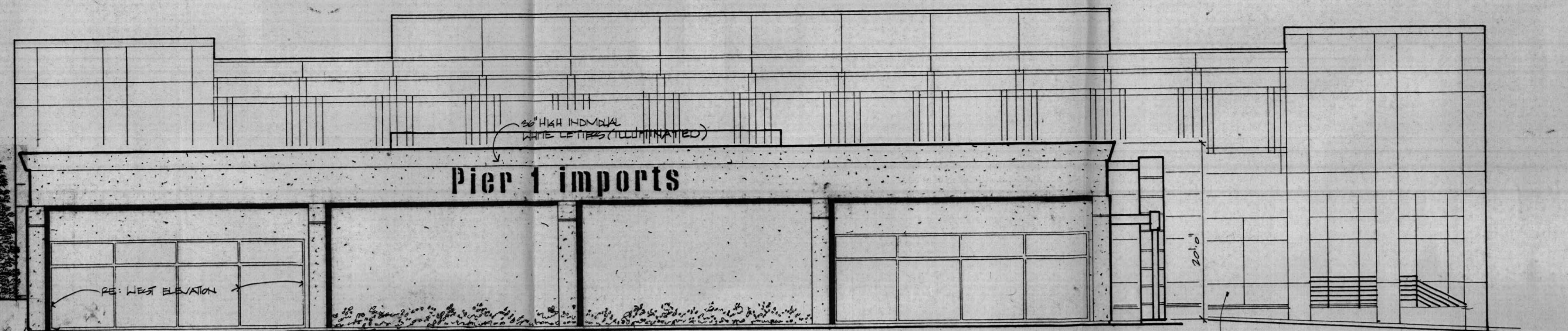
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1

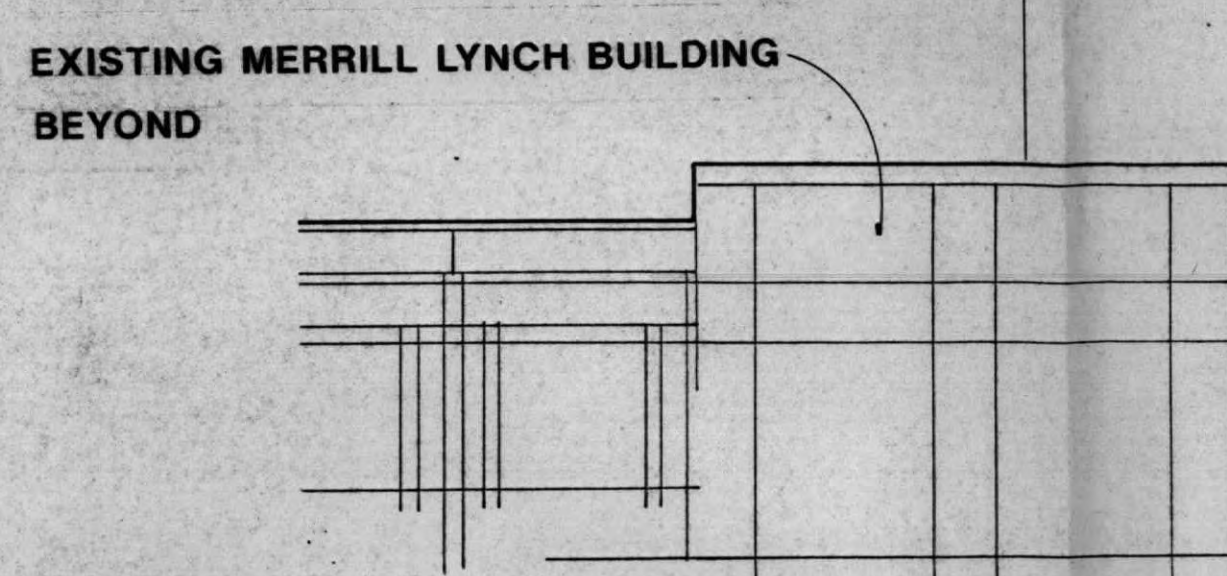


WEST ELEVATION
1/8"=1'-0"

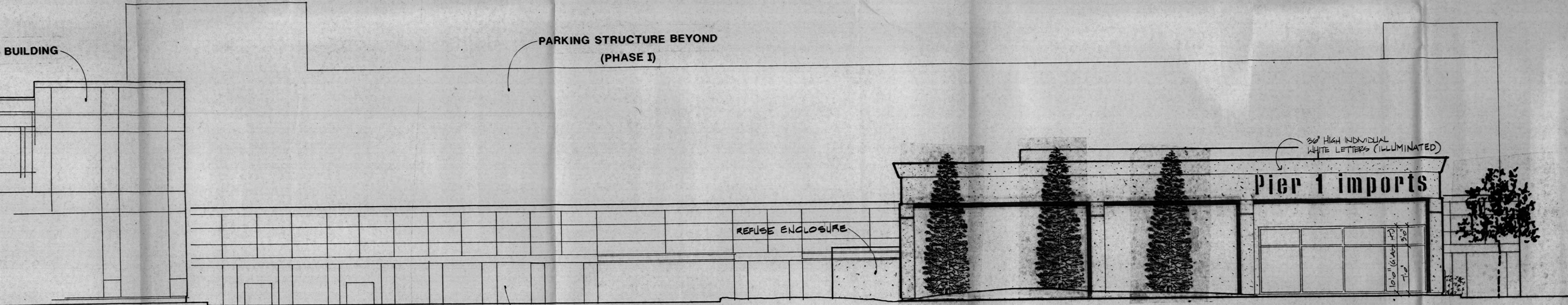


NORTH ELEVATION
1/8"=1'-0"

EXISTING MERRILL LYNCH BUILDING (RETAIL "G") BEYOND

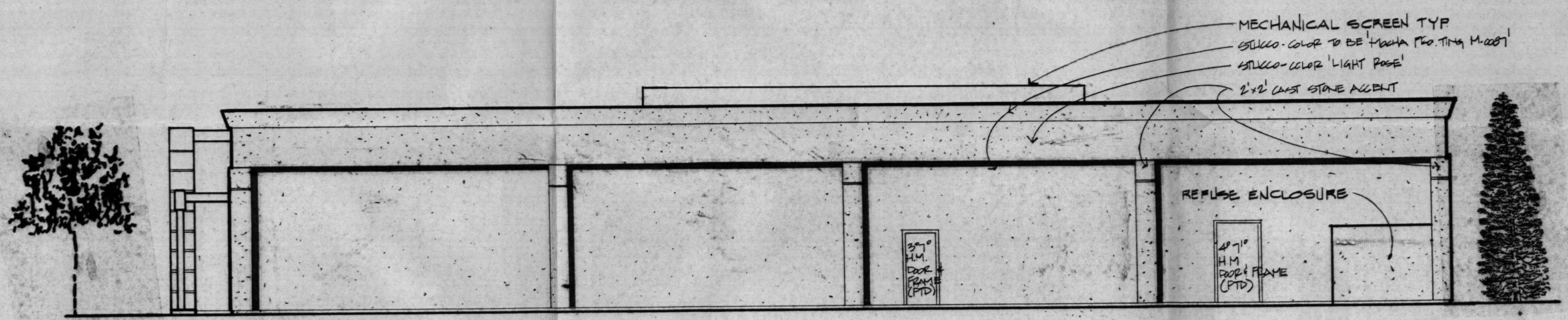


PARKING STRUCTURE BEYOND (PHASE I)



EAST ELEVATION
1/8"=1'-0"

EXISTING RETAIL "B" BEYOND



SOUTH ELEVATION
1/8"=1'-0"

ENERGY CONSERVATION

1. THE BUILDING WILL BE DESIGNED WITH STATE-OF-THE-ART HEATING VENTILATING AND AIR CONDITIONING SYSTEMS.
2. THE BUILDING FACADES WILL INCORPORATE RECESSED NON-REFLECTIVE GLASS ON APPROPRIATE ORIENTATIONS. THE GLAZING WILL BE A HIGH PERFORMANCE THERMALLY IMPROVED SYSTEM.
3. WALL AND ROOF SYSTEMS WILL MEET OR EXCEED ENERGY CODE.
4. AN ENERGY SAVING SHADING DEVICE (TRELIS) HAS BEEN INCORPORATED INTO THE WEST ELEVATION.

Rev	Date	Description	By

 Hines & Narver ALBUQUERQUE, NEW MEXICO		 Gerald D. Hines Interests	
PARK SQUARE PHASE 2A			
PIER 1 IMPORTS ELEVATIONS			
Designed PIER I	Checked JCB	DRAWING NO. E.1	SEC. 3
Drawn TML	Job No. 2400 00		REV. 3

5

4

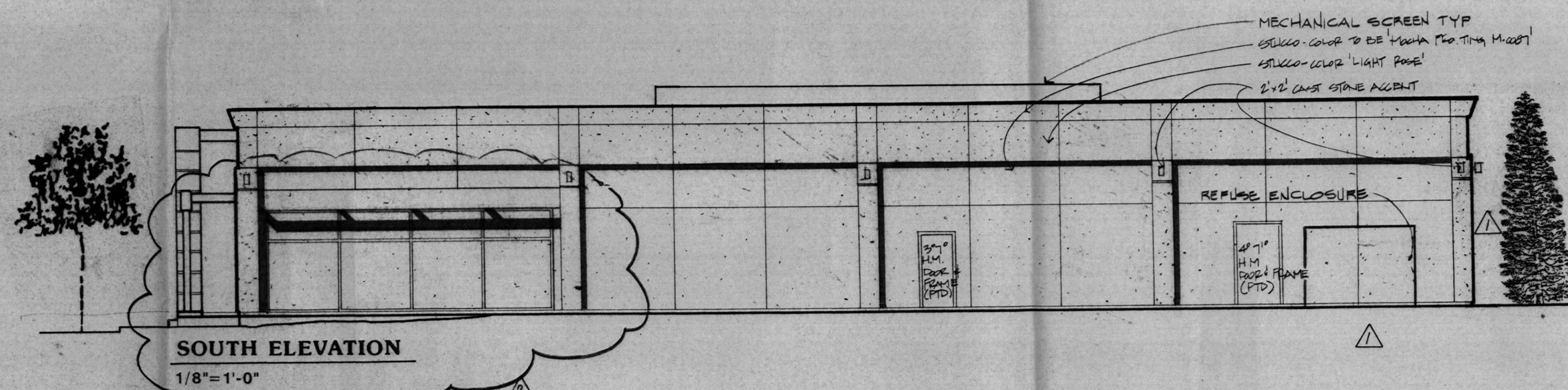
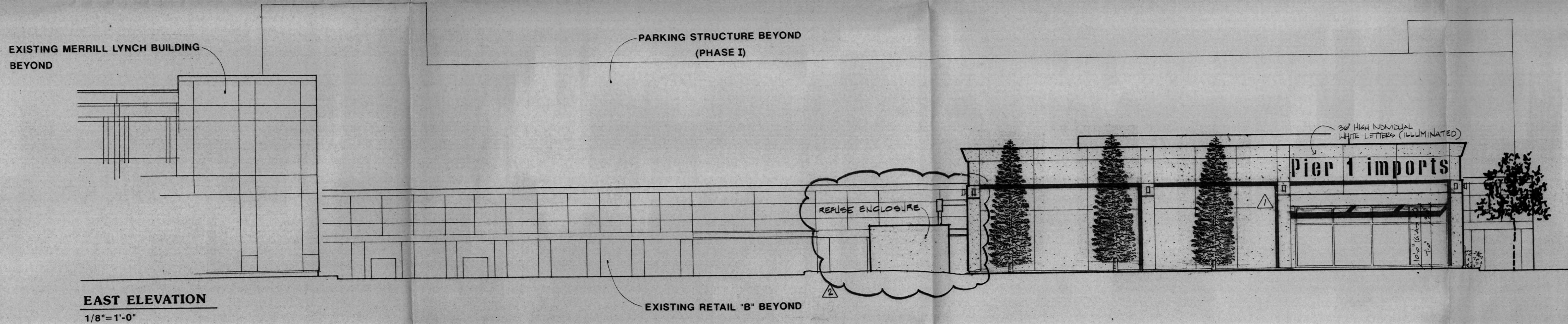
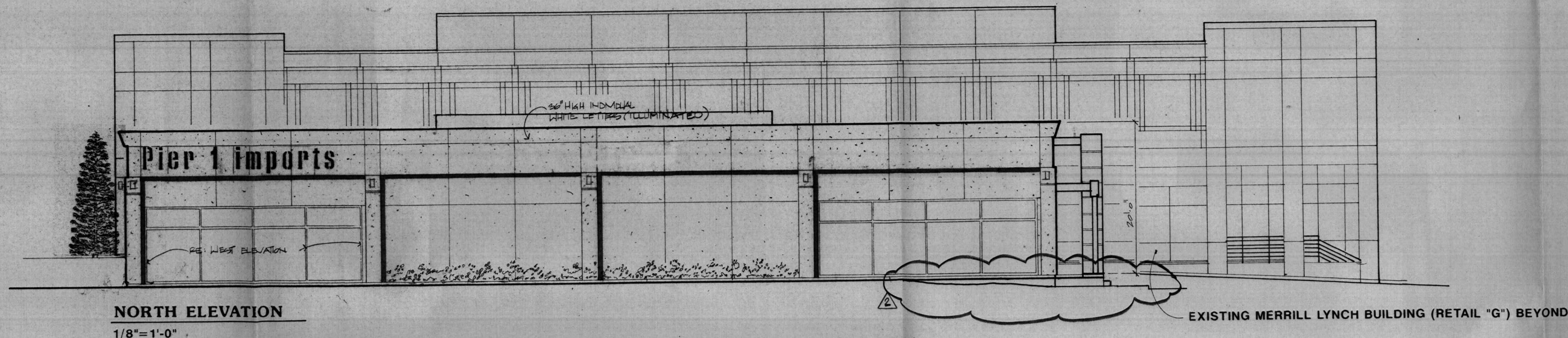
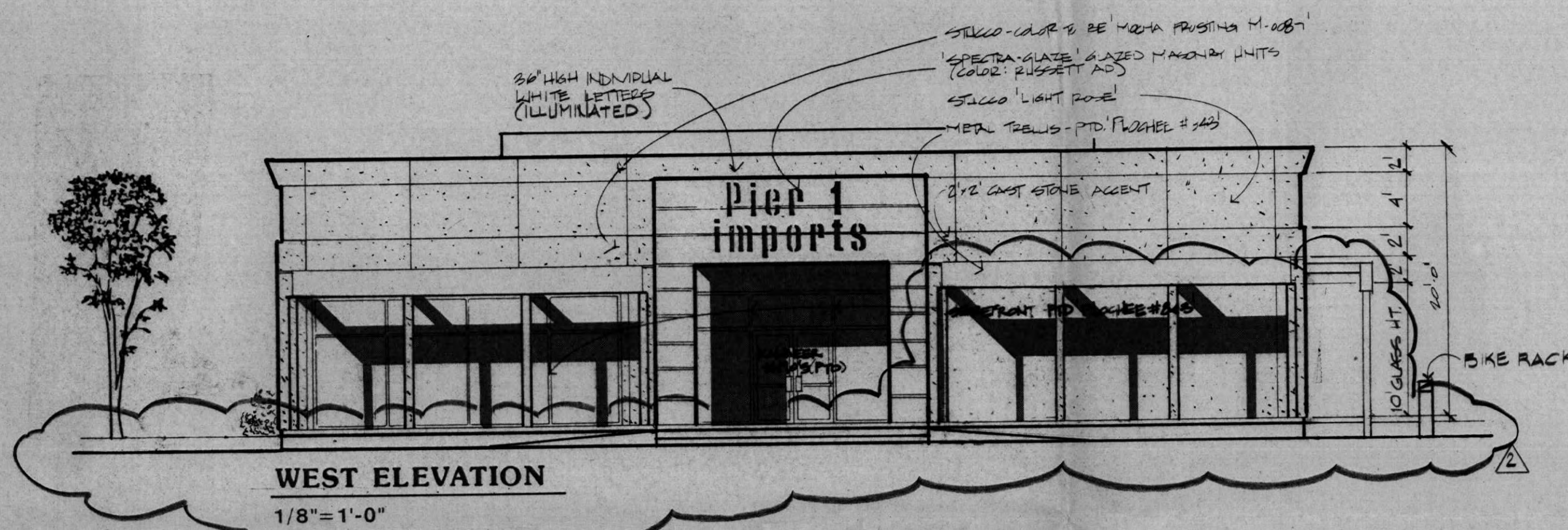
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1

ENERGY CONSERVATION

1. THE BUILDING WILL BE DESIGNED WITH STATE-OF-THE-ART HEATING VENTILATING AND AIR CONDITIONING SYSTEMS.
2. THE BUILDING FACADES WILL INCORPORATE RECESSED NON-REFLECTIVE GLASS ON APPROPRIATE ORIENTATIONS. THE GLAZING WILL BE A HIGH PERFORMANCE THERMALLY IMPROVED SYSTEM.
3. WALL AND ROOF SYSTEMS WILL MEET OR EXCEED ENERGY CODE.
4. AN ENERGY SAVING SHADING DEVICE (TRELLIS) HAS BEEN INCORPORATED INTO THE WEST, SOUTH AND EAST ELEVATIONS



Rev	Date	Description	By
2	7-17-89	REVISE SOUTH & WEST ELEVATIONS	T.L.
1	7-5-89	ADDED TRELLIS, RELOCATED REFUSE ENCL.	PT

H&N
Holmes & Narver
ALBUQUERQUE, NEW MEXICO

H Gerald D. Hines Interests

**PARK SQUARE
PHASE 2A**

**PIER 1 IMPORTS
ELEVATIONS**

Designed	Checked	DRAWING NO.	REV.
PIER I	JCB	E.1	2
DTM	2468.00		

DRB-84-243

TRACT 1-D-1A
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

TREE GRATES TO BE CENTERED ON EXISTING SIDEWALK JOINTS.

VARIANCE REQUESTED TO ELIMINATE TREES 30'-0" O.C. BETWEEN BACK OF CURB AND BACK OF SIDEWALK.

SCALE: 1" = 10'

PIER 1 IMPORTS

TRACT 1-D-1A
 31,632 SQ. FT.
 0.7281 ACRE

LANDSCAPED AREA REQUIRED	1,486 SF
LANDSCAPED AREA PROVIDED	7,407 SF
PARKING AREA	14,369 SF
7% OF PARKING AREA	1,006 SF
TOTAL PARKING SPACES	32
15 SF/SPACE	480 SF

- NOTES:**
1. AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED. CONVENTIONAL SYSTEM SHALL BE USED TO IRRIGATE ALL LAWN AREAS. SUBSURFACE SYSTEM SHALL BE USED TO IRRIGATE ALL SHRUB BEDS. SYSTEM SHALL COMPLY TO THE CITY OF ALBUQUERQUE CROSS CONNECTION CONTROL AND WASTE WATER ORDINANCES.
 2. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE PROPERTY OWNER WHO IS OBLIGATED TO PROVIDE IT AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 30 DAYS AFTER NOTIFICATION. IF THE 30-DAY PERIOD FALLS AT A TIME OF YEAR WHEN PLANTING OF LANDSCAPING IS INADVISABLE, A WAIVER MAY BE GRANTED BY THE ZONING/BUILDING/PLANNING DIRECTOR TO ALLOW PLANTING AT THE EARLIEST POSSIBLE TIME. THE WAIVER AND DATE OF THE PLANTING DEADLINE SHALL BE RECORD BY THE COUNTY ZONING OFFICE.
 3. PIER 1 IMPORTS WILL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPE.

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	COMMENTS
TREES					
	Modesto Ash	Fraxinus velutina 'Modesto'	5	2-1/2" - 3" Cal., 12'-14" Ht.	30" Box
	Austrian Pine	Pinus nigra	3	8'-10" Ht.	24" Box
	Sunburst Honey Locust	Gleditsia triacanthos inermis 'Sunburst'	6	2-1/2" - 3" Cal., 12'-14" Ht.	30" Box
SHRUBS					
	India Hawthorn	Raphiolepis indica	18	2'-3" Ht.	5 Gal.
GROUNDCOVER					
	Lawn	'Scott's Transition Blend'	6000 SF	---	500

3	7-14-89	GENERAL REVISION	PMT
2	7-5-89	ADD GENERAL NOTE, RELOCATE REFUSE ENCL.	PMT
1	6-23-89	STREET TREE VARIANCE	BM
Rev	Date	Description	By

H&N
 Holmes & Narver
 ALBUQUERQUE, NEW MEXICO

G
 Gerald D. Hines Interests

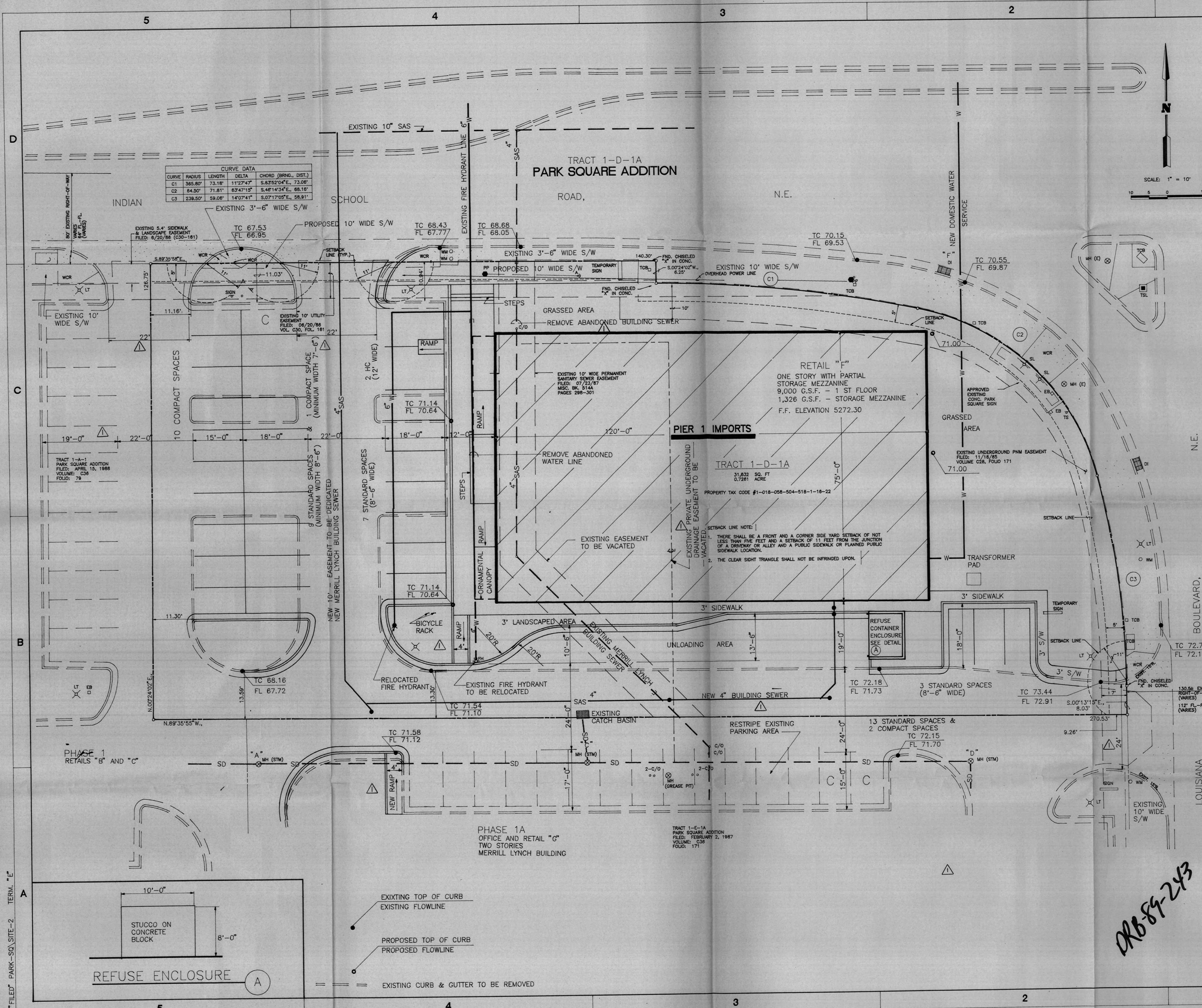
**PARK SQUARE
 PHASE 2A**

**PIER 1 IMPORTS
 LANDSCAPE PLAN**

Designed: SFF	Checked:	DRAWING NO.	SEQ.	REV.
Drawn: JLM	Job No.	LP.1	2 -OF- 3	3

MORROW & COMPANY
 LANDSCAPE ARCHITECTS
 210 La Veta Drive NE
 Albuquerque, New Mexico 87108
 505-268-1266

DRB-89-243



CURVE DATA

CURVE	RADIUS	LENGTH	DELTA	CHORD (BRNG., DIST.)
C1	365.80'	73.16'	11°27'47"	S.87°52'04"E., 73.06'
C2	84.50'	71.81'	8°47'15"	S.46°14'34"E., 68.16'
C3	238.50'	59.08'	14°07'41"	S.07°17'05"E., 58.91'

Phase 2A
 Phase 2A will consist of a one story retail building adjacent to the Louisiana Boulevard / Indian School Road intersection (Retail Building "F"). The landscape plan will be extended to link this tract to the project. Additional surface parking will be added.

Parking Required:
 Retail Building "F" Tract 1-D-1A
 Retail and Service Usings

NLA	PARKING RATIO	REQUIRED PARKING
8,893 SF	1/250 SF	36

10% Reduction per Sec. 40.A 4.f. (1) -3
 City Zoning Code
 5% Reduction per Sec. 40.A 4.f. (2) -1
 City Zoning Code
 Total Spaces Required: 32 Spaces

Parking Provided:
 Retail Building "F" Tract 1-D-1A
 Surface parking within the Tract

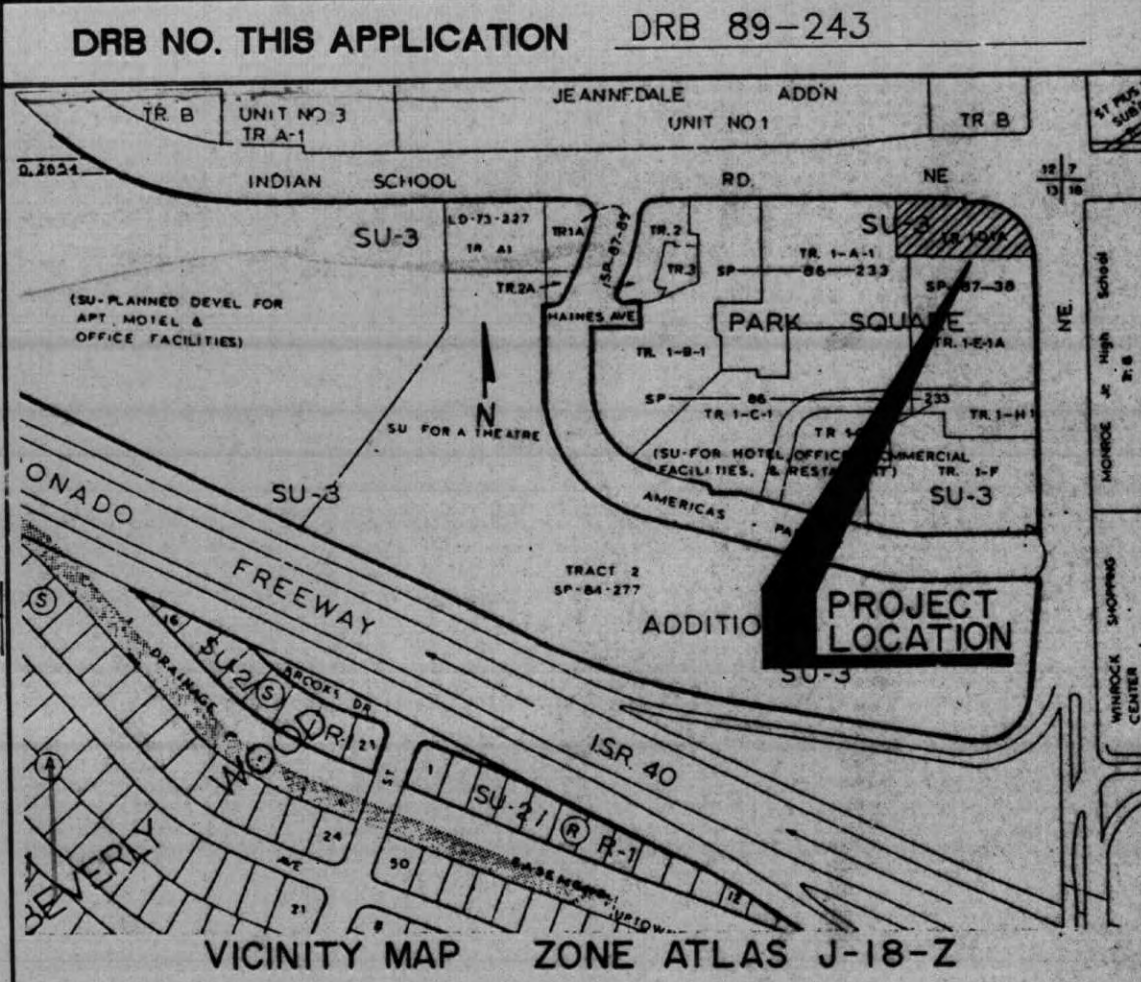
Provided Parking
32 Spaces

Additional parking provided within Park Square Project.
 See Master Site Parking Plan.

Handicapped Parking:
 Spaces Required 2
 Spaces Provided 2

NOTES:
 1. PREVIOUS SUBMISSIONS OF THE PARK SQUARE PROJECT WERE REVIEWED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD AND ARE RECORDED IN FILE NO. DRB-83-533. (DATED 3 MARCH 1984).
 2. SITE LIGHTING FOR PHASE 2A WILL MATCH COMPLETED PHASE 1 SITE LIGHTING.

CHAIRMAN CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
PARKS & RECREATION	DATE
TRAFFIC ENGINEER	DATE
UTILITIES DEVELOPMENT DIVISION	DATE



DRB NO. THIS APPLICATION DRB 89-243

Rev	Date	Description	By
2	7-14-89	REVISED SITE LAYOUT	JLM
1	7-5-89	GENERAL REVISIONS	JLM

Holmes & Narver
 ALBUQUERQUE, NEW MEXICO

Gerald D. Hines Interests

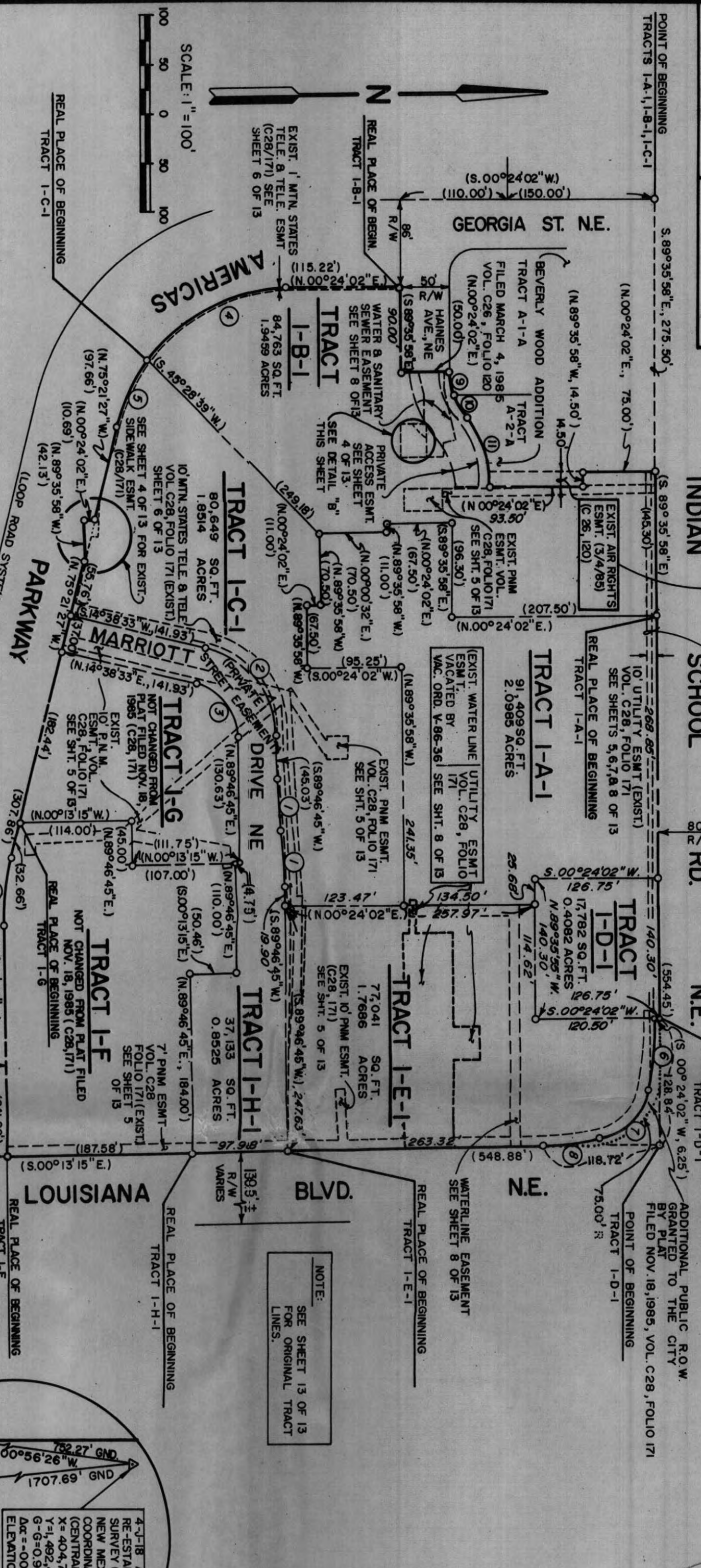
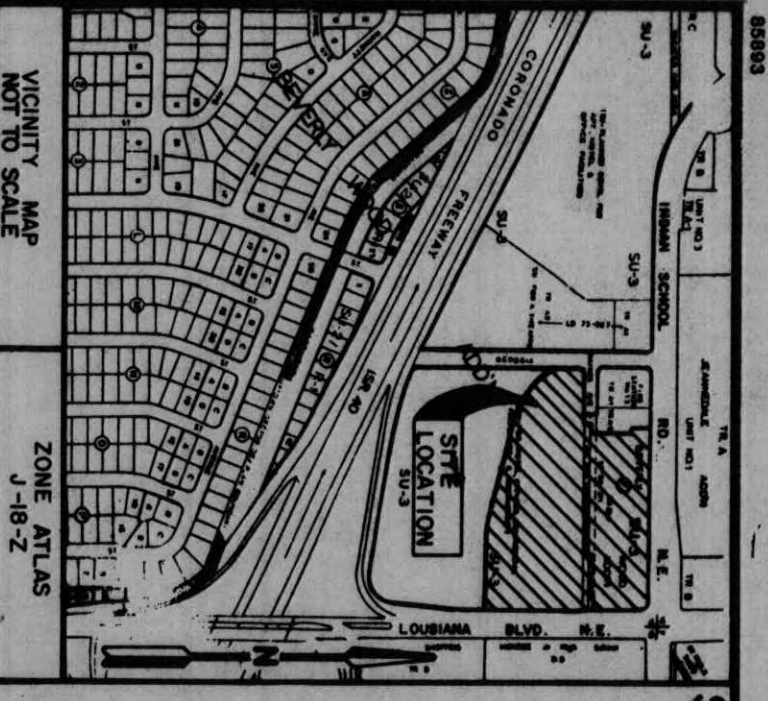
**PARK SQUARE
 PHASE 2A
 PIER 1 IMPORTS
 SITE DEVELOPMENT PLAN**

Designed SFF	Checked JLM	DRAWING NO. SDP.1	SEQ. 1 OF 3	REV. 2
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DRB-89-243

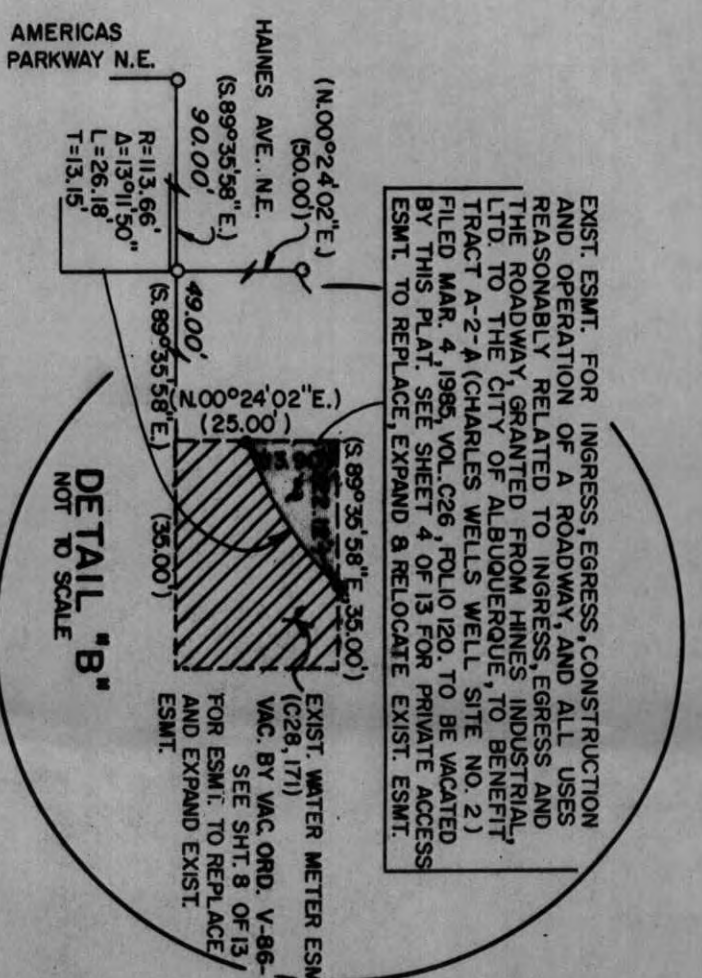
FILED PARK SQ SITE-2 TERM. "E"

TRACTS I-A-I-B-I-C-I-D-I-E-I-F-I-G AND I-H, PARK SQUARE ADDITION TOGETHER WITH TRACT A-3, BLOCK 'F', BEVERLY-WOOD ADDITION (NOW COMPRISING TRACTS I-A-I, I-B-I, I-C-I, I-D-I, I-E-I, I-F-I, I-G AND I-H-I) PARK SQUARE ADDITION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO MARCH 1986



CURVE RADIUS	DELTA	ARC	TANGENT	CHORD (Bearing & Distance)
1	546.76'	0.90 52' 38"	56.14'	28.09'
2	93.18'	7.90 08' 12"	122.19'	71.68'
3	56.18'	7.90 08' 12"	73.67'	43.22'
4	182.16'	5.90 23' 32"	169.77'	91.61'
5	182.16'	2.20 21' 37"	71.09'	36.00'
6	365.30'	1.10 27' 47"	73.18'	36.45'
7	64.50'	6.90 47' 15"	71.31'	40.14'
8	239.50'	1.40 07' 41"	59.06'	29.68'
9	63.66'	2.00 12' 38"	22.46'	11.35'
10	63.66'	1.90 47' 26"	21.99'	11.11'
11	113.66'	4.00 00' 24"	79.36'	41.38'
12	238.99'	1.40 51' 48"	67.19'	33.78'

Plat & Survey By: ALBUQUERQUE SURVEYING CO., INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



NOTES

- Maintenance of Marriott-Drives, NE, (a private street easement) will be the responsibility of adjacent land holders.
- THE PARK SQUARE ADDITION plat recorded in Bernalillo County Clerk's Office on November 18, 1985, in Volume C26, Folio 171, created a private underground drainage easement, as shown on Sheet 8 of 11, of the November 18, 1985, Plat, to benefit the owners of Tracts I-A-1, I-B-1, and I-C-1. This easement is not affected by this Plat. The owner(s) of Tracts I-A-1, I-B-1, and I-C-1 will be responsible for maintenance of any underground drainage facilities located within the portion of the easement located on their respective tracts. Hines Industrial, Ltd., for so long as Hines Industrial, Ltd. retains an interest in Tracts I-A-1, I-B-1, and I-C-1, as the developer of Park Square, reserves the right to relocate the underground drainage easement in conformity with any site plan for the various tracts comprising Park Square as finally approved by the City of Albuquerque and as shown on any subsequent redvision plats or grant of easement record. The location of any subsequent underground drainage easement or relocated underground drainage facility must be determined by Hines Industrial, Ltd. in an Affidavit of Relocation executed and acknowledged by Hines Industrial, Ltd. and recorded with the County Clerk of Bernalillo County, New Mexico. The execution, acknowledgment, and recording of a subsequent redvision plat or an "Affidavit of Relocation" will work a termination or vacation of any previously established interest, easement, or facility, and will constitute a grant of the substitute interest, easement, or facility.
- Surface drainage across the various tracts created by this plat on the November 18, 1985, Plat must be approved by the City of Albuquerque prior to construction of improvements on the various tracts.
- By the November 18, 1985, Plat, Hines Industrial Ltd, created reciprocal easements for vehicular and pedestrian ingress and egress to benefit the owners of the various tracts created by the November 18, 1985, Plat. These easements are not affected by this Plat. These easements are located in accordance with the site plan for the various tracts and the limitations of the owners, shall have right to use the easement or vehicle ways on all tracts, including parking. No owner(s) of any tract may remove or affect improvements on tracts not owned by that owner, or otherwise inhibit parking, pedestrian, or vehicular access as provided in the final approved site plan. Hines Industrial, Ltd., so long as Hines Industrial, Ltd. retains any interest in Tracts I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F-1, I-G, or I-H-1, Park Square Addition, and as developer of Park Square, reserves the right to relocate the parking, pedestrian, and vehicular easements in conformity with any site plan for any subsequent redvision plats or grant of easement record. The location of relocated parking, pedestrian, and vehicular easements may be described on a subsequent redvision plat or in an Affidavit of Relocation executed and acknowledged by Hines Industrial, Ltd. as "Affidavit of Relocation" and filed for record with the County Clerk of Bernalillo County, New Mexico. The execution, acknowledgment, and recording of a subsequent redvision plat or an "Affidavit of Relocation" will work a termination or vacation of any previously established interest or easement, and will constitute a grant of the substitute interest or easement.

NOTES

- Unless otherwise indicated, all corners are marked with an iron stake surmounted with a cap marked "S 4078".
- Bearings shown are based on the "Redvision of Tract I, Park Square Addition, Together with Tract A-3-1, Block 'F', Beverly Wood Addition (Now Comprising Tracts I-A, I-B, I-C, I-D, I-E, I-F, I-G, and I-H) PARK SQUARE ADDITION", part of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 18, 1985, in Volume C26, Folio 171.
- Distances are ground distances.
- Bearings and distances are field and record data. Bearings and distances shown in parentheses are record data.
- Ground to Grid Factor used is 0.99965765
- The recording of this plat will (1) amend or modify Tracts I-A, I-B, I-C, I-D, I-E, and I-H shown on the November 18, 1985, Plat by relocating interior corners and bearings to the bearings and distances above-mentioned; (2) amend or modify Tract A-3, Beverly Wood Addition (Plat recorded in Bernalillo County Clerk's Office March 4, 1985, in Volume C26, Folio 120) with above-mentioned Tract I-B.

REDIVISION 96 56203
OF
TRACTS I-A, I-B, I-C, I-D, I-E, I-F, I-G AND I-H, PARK SQUARE ADDITION
TOGETHER WITH
TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
(NOW COMPRISING TRACTS I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F-1, I-G AND I-H-1)
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALLILLO COUNTY, NEW MEXICO
MARCH 1996

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
3:27 JUN 2 01986
at the office of said County Clerk
Clerk & Recorder
Deputy Clerk

DRB 83-533

DEDICATION AND CONSENT STATEMENT

HINES INDUSTRIAL, LTD., a Texas Limited Partnership ("Owner"), owns 1) Tracts I-A, I-B, I-C, I-D, I-E, I-F, I-G, and I-H, Park Square Addition as shown in the plat shown and designated on the "Redivision of Tract I, Park Square Addition Together With Tract A-3, Block "F", Beverly-Wood Addition", dated February 1985, the plat to be, and is, recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on November 18, 1985, in Volume C28, Folio 171; and 2) Tract A-3, as shown and designated on the plat entitled "Redivision of Tracts A-1 and A-2, Block "F", Together with a portion of Haines Avenue, N.E. (Now Comprising Tract A-1-A, Tract A-2-A, Tract A-3 and Tract A-3-1, Block "F", Beverly-Wood Addition, recorded March 4, 1985, as Document No. 85 16266, in Volume C26, Folio 120, Bernalillo County, New Mexico records, and, as a result of this Plat, the Tracts referenced above now comprise Tracts I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F, I-G, and I-H-1 PARK SQUARE ADDITION; owner consents to the redivision shown on this Plat in the manner shown for the purpose of Owner grants any new public or private easements, servitudes (if any) reserved for overhead distribution lines and utilities, buried distribution lines, conduits, pipes for underground distribution lines or water distribution lines where shown, and the right to trim interfering trees. Owner certifies that this redivision is the free act and deed of Owner. Except to the extent that specifically identified easements have been vacated by this Plat, Owner intends that easements shown on the "Park Square Addition" plat of November 18, 1985, remain. Unless specifically limited elsewhere on this plat, all easements granted by this plat or any other previous plat to the City of Albuquerque may be used by the City of Albuquerque for any or all of the purposes of sanitary sewer, water line, or drainage facility even though only one of these purposes is stated on the easement as shown on the plat.

HINES INDUSTRIAL, LTD.
A Texas Limited Partnership
BY: HINES INDUSTRIAL CORPORACION
A Texas Corporation General Partner



BY: Nathaniel J. Davis, III,
Its President

BY: V. A. Phillips,
Its Secretary

NOTARY
STATE OF TEXAS
COUNTY OF HARRIS

The foregoing instrument was acknowledged before me this 19th day of May 1986 by NATHANIEL J. DAVIS, III, President, and VICKI A. PHILLIPS, Secretary of HINES INDUSTRIAL CORPORATION, a Texas corporation, general partner of HINES INDUSTRIAL, LTD., a Texas limited partnership, on behalf of the partnership.
My Commission Expires: 11/18/88
Notary Signature

APPROVED: GAS COMPANY OF NEW MEXICO

STATE OF NEW MEXICO }
COUNTY OF BERNALLILLO } SS

The foregoing instrument was acknowledged before me this 7th day of August 1986, by THOMAS A. MONTAGNA, a division of Public Service Company of New Mexico, a New Mexico Corporation, on behalf of the corporation.
My Commission Expires: 6-8-87
Notary Public

APPROVED: PUBLIC SERVICE COMPANY OF NEW MEXICO

STATE OF NEW MEXICO }
COUNTY OF BERNALLILLO } SS

The foregoing instrument was acknowledged before me this 7th day of August 1986, by JOHN MYERS, a division of Mountain States Telephone and Telegraph Company, a Colorado Corporation, on behalf of the corporation.
My Commission Expires: 9-12-89
Notary Public

APPROVED: THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY

STATE OF NEW MEXICO }
COUNTY OF BERNALLILLO } SS

The foregoing instrument was acknowledged before me this 7th day of August 1986, by MICHAEL A. VAUGHAN, a division of Mountain States Telephone and Telegraph Company, a Colorado Corporation, on behalf of the corporation.
My Commission Expires: 9-12-89
Notary Public

Richard D. Dyer
PLANNING DIRECTOR, CITY

S.P.# 86-223
SUBDIVISION NO.

CITY
CITY ENGINEER
A.M.A.F.C.P.

PARKS AND RECREATION
ISAFRIC ENGINEER

WATER RESOURCES
PROPERTY MANAGEMENT
CITY SURVEYOR

6-18-86
DATE

1-18-7
DATE NO.

6-16-86
DATE

6-16-86
DATE

5-13-86
DATE

6-16-86
DATE

5-14-86
DATE

05/14/86
DATE

SURVEYOR'S CERTIFICATE

FRED SANCHEZ, a duly qualified land surveyor, registered under the laws of the State of New Mexico, hereby certifies that this plat was prepared by me or under my direct supervision, shows accurate dimensions, land areas, shows all easements shown on recorded plat or made known to me by the owner, utility companies, or other parties expressing an interest, and that this survey meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and that the survey is true and correct to the best of my knowledge and belief.

FRED SANCHEZ, N.M.L.S. NO. 4078



NOTARY
STATE OF NEW MEXICO }
COUNTY OF BERNALLILLO } SS

The foregoing instrument was acknowledged before me a notary public in and for said county and state by the person(s) noted in the affidavit appearing hereon on this 5th day of March, 1986.

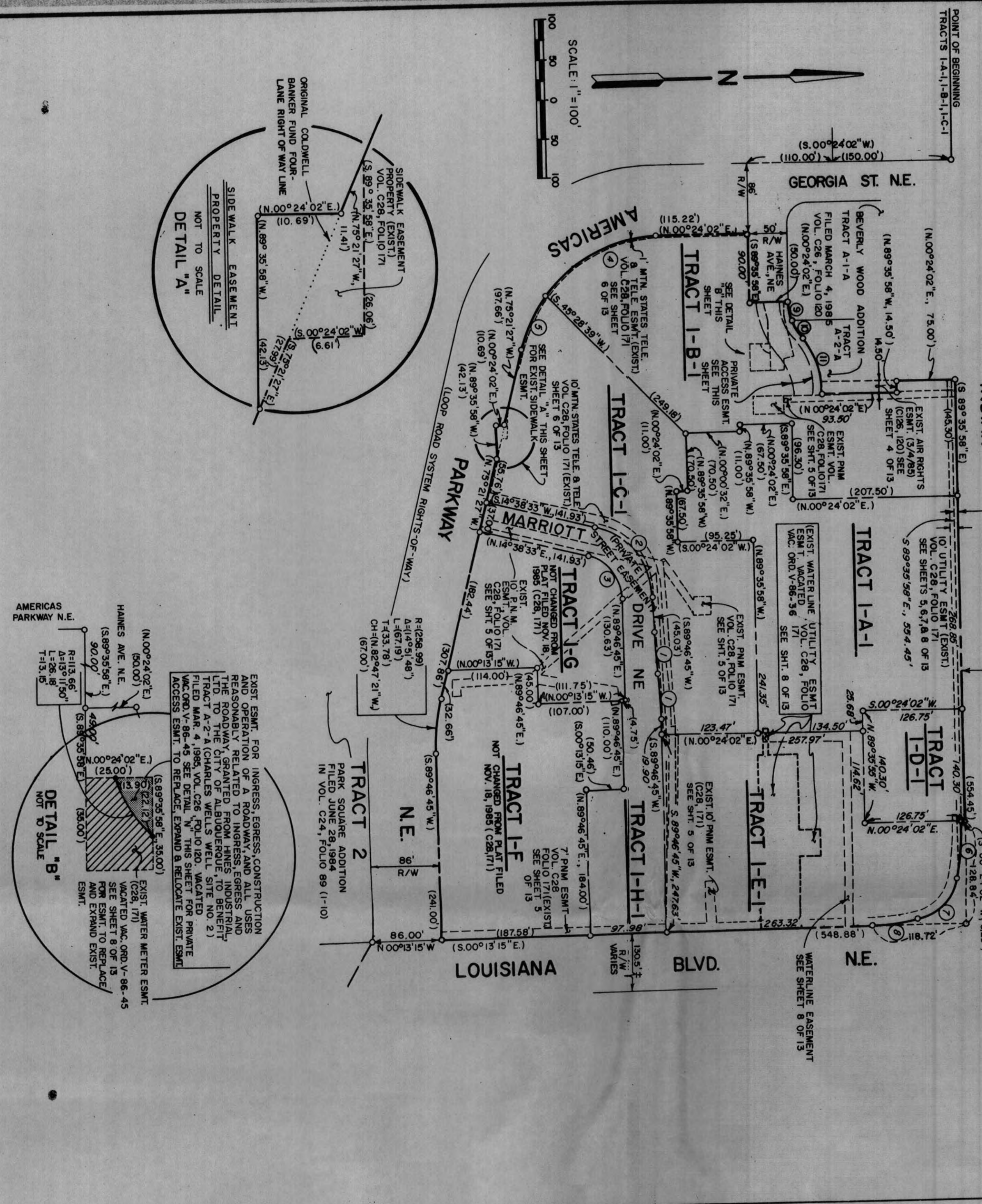
My Commission Expires: 02/24/87
OFFICIAL SEAL
STATE OF NEW MEXICO

Notary Public

SP-03-21-1665

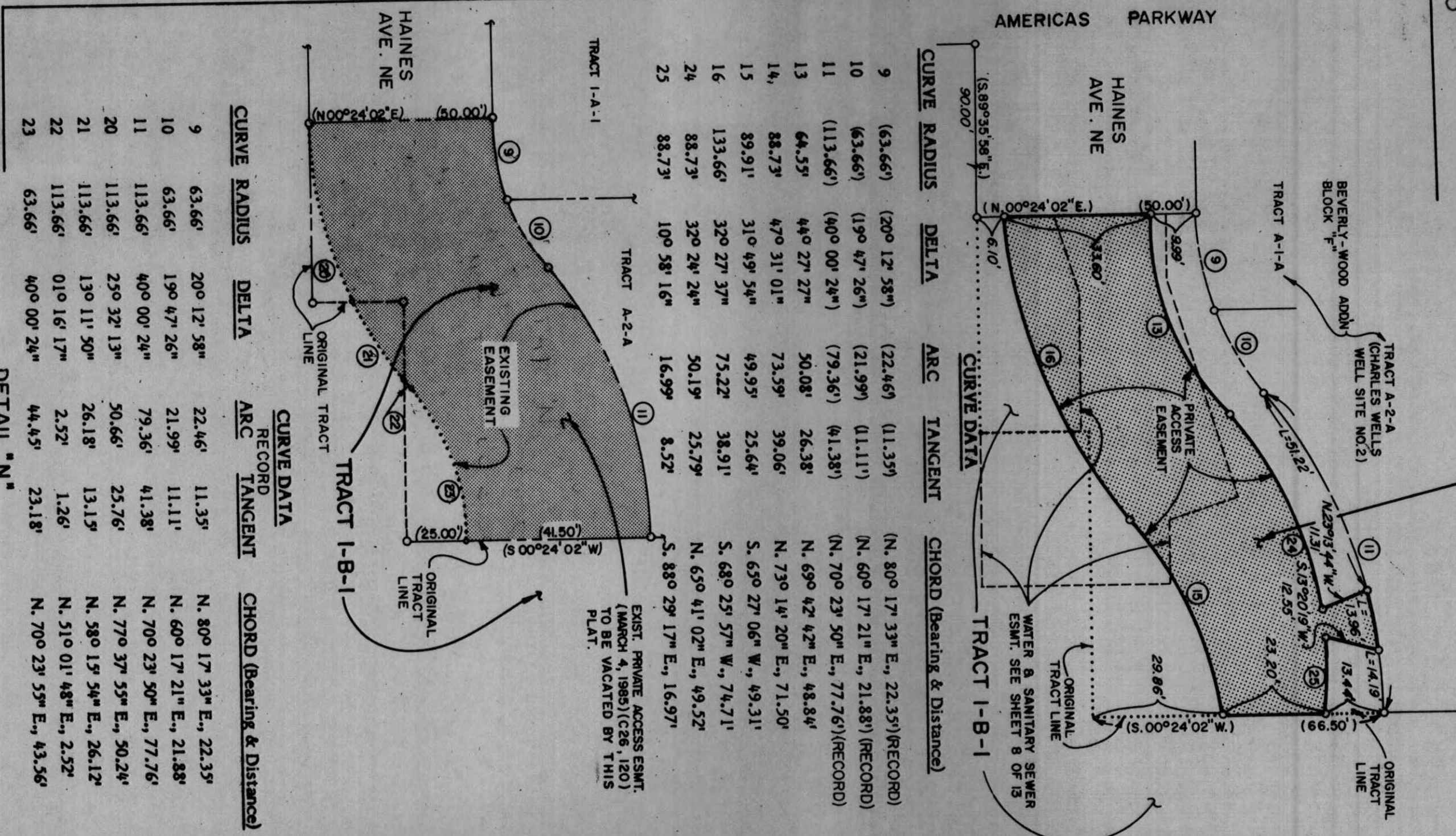
REDVISION 88' 56203

TRACTS I-A-1-B-1-C-1-D-1-E-1-F-1-G AND I-H, PARK SQUARE ADDITION
 TOGETHER WITH
 TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
 (NOW COMPRISING TRACTS I-A-1-B-1-C-1-D-1-E-1-F-1-G AND I-H-1)
 PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH 1986
 PRIVATE ACCESS AND SIDEWALK EASEMENT LOCATION



371 JUN 2 01986
 C30
 County of Bernalillo
 Clerk & Recorder
 Deputy Clerk

PRIVATE ACCESS EASEMENT FOR INGRESS AND EGRESS OF A ROADWAY AND ALL UTILITIES SHALL BE FULLY USED FOR INGRESS AND EGRESS AND THE ROADWAY SHALL BE GRANTED FROM THE CITY OF ALBUQUERQUE TO BENEFIT TRACT A-3-A ADDITION CHARLES WELLS WELL SITE NO. 2.



CURVE RADIUS	DELTA	ARC TANGENT	CHORD (bearing & Distance)
9 (63.66)	(20° 12' 28")	(22.46)	(N. 80° 17' 39" E., 22.33)
10 (63.66)	(19° 47' 26")	(21.99)	(N. 60° 17' 21" E., 21.88)
11 (113.66)	(40° 00' 24")	(79.36)	(N. 70° 23' 50" E., 77.76)
13 (64.33)	(44° 27' 27")	50.08	(N. 60° 42' 42" E., 48.84)
14, 15 (82.73)	47° 31' 01"	73.39	(N. 73° 14' 20" E., 71.50)
16 (89.91)	31° 49' 34"	49.35	(S. 69° 27' 04" W., 49.31)
16 (133.66)	32° 27' 37"	73.22	(S. 68° 25' 57" W., 74.71)
24 (82.73)	32° 24' 24"	50.19	(S. 69° 41' 02" E., 49.52)
25 (82.73)	10° 58' 16"	16.99	(S. 88° 29' 17" E., 16.97)

CURVE RADIUS	DELTA	ARC TANGENT	CHORD (bearing & Distance)
9 (63.66)	20° 12' 28"	22.46	(N. 80° 17' 39" E., 22.33)
10 (63.66)	19° 47' 26"	21.99	(N. 60° 17' 21" E., 21.88)
11 (113.66)	40° 00' 24"	79.36	(N. 70° 23' 50" E., 77.76)
20 (113.66)	29° 32' 13"	50.66	(N. 77° 37' 59" E., 50.24)
21 (113.66)	13° 11' 40"	26.18	(N. 58° 19' 54" E., 26.12)
22 (113.66)	01° 16' 17"	2.32	(N. 51° 01' 48" E., 2.32)
23 (63.66)	40° 00' 24"	44.45	(N. 70° 23' 59" E., 43.56)

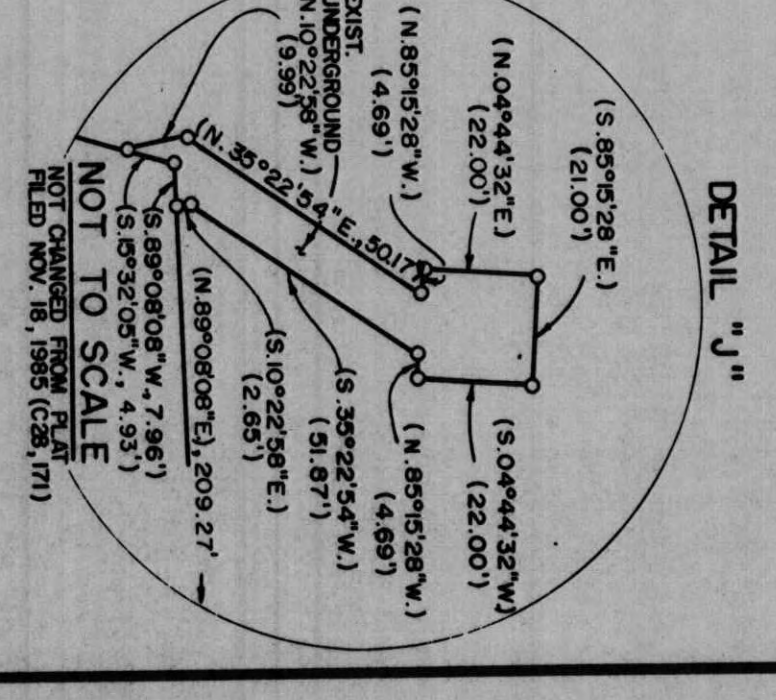
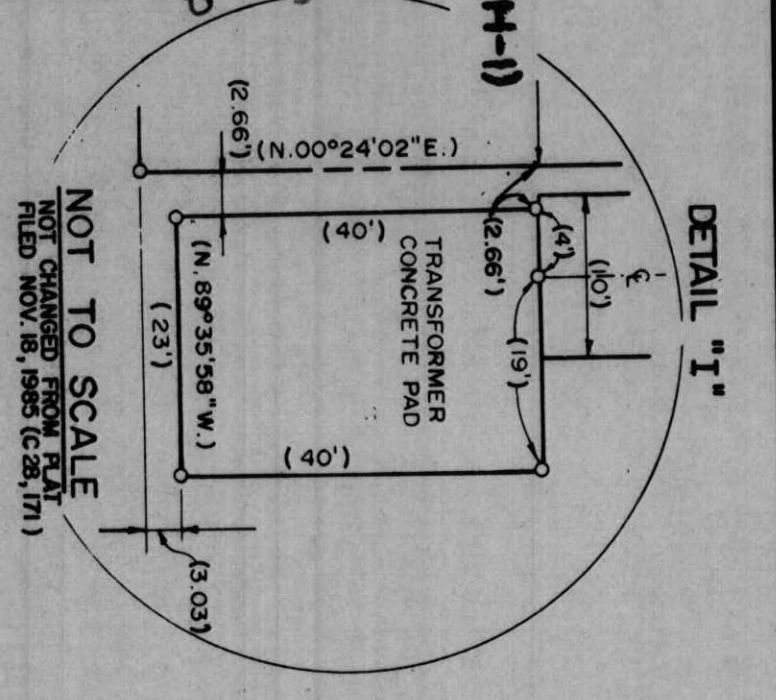
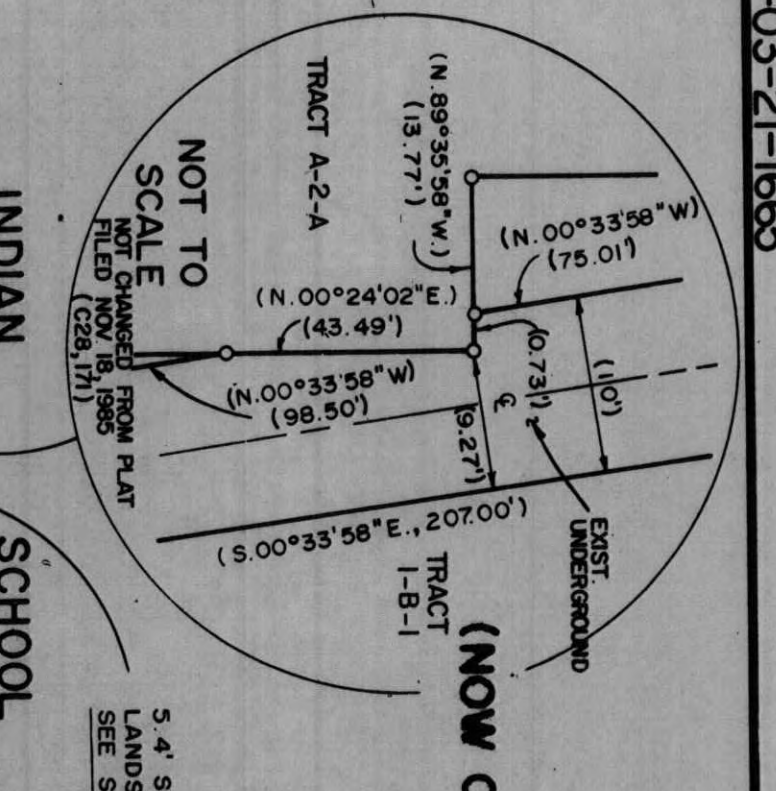
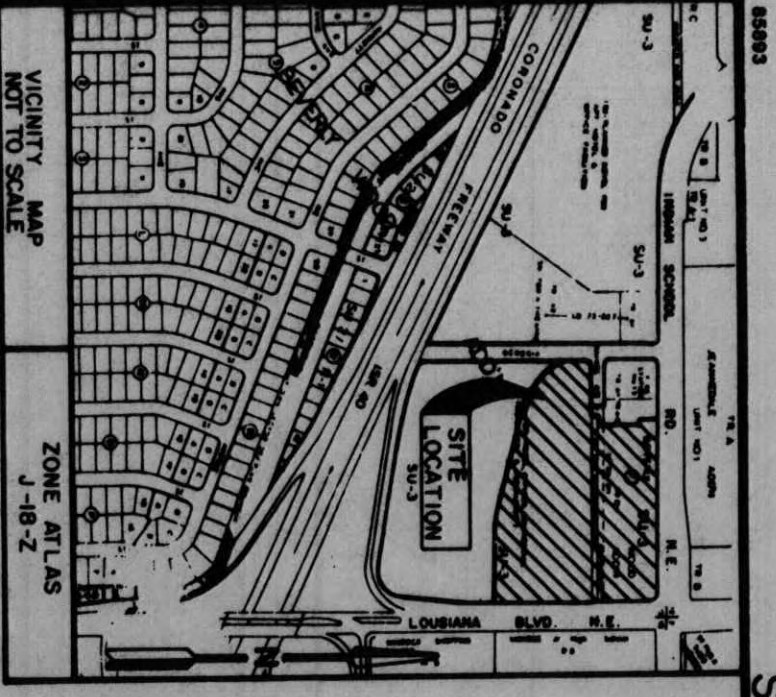
Plan & Survey By:
 ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

SP-03-21-1665

REDIVISION 96 56203

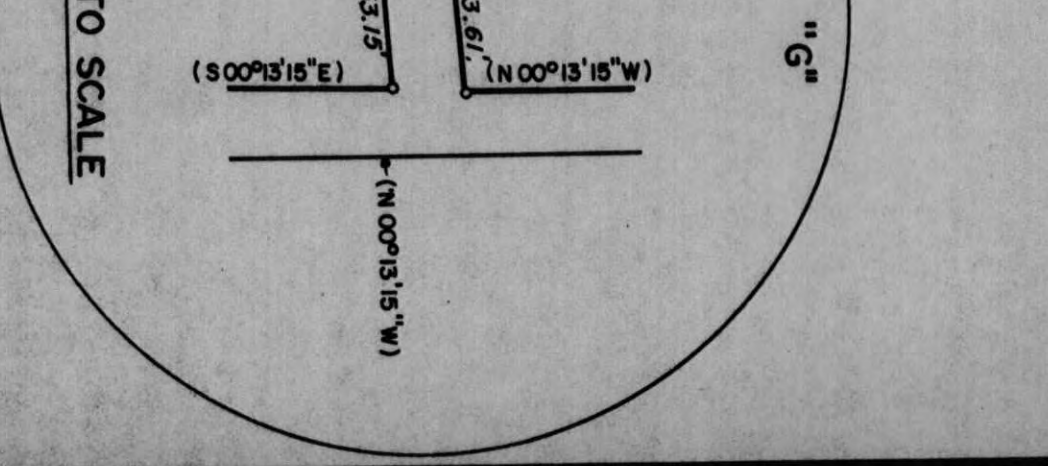
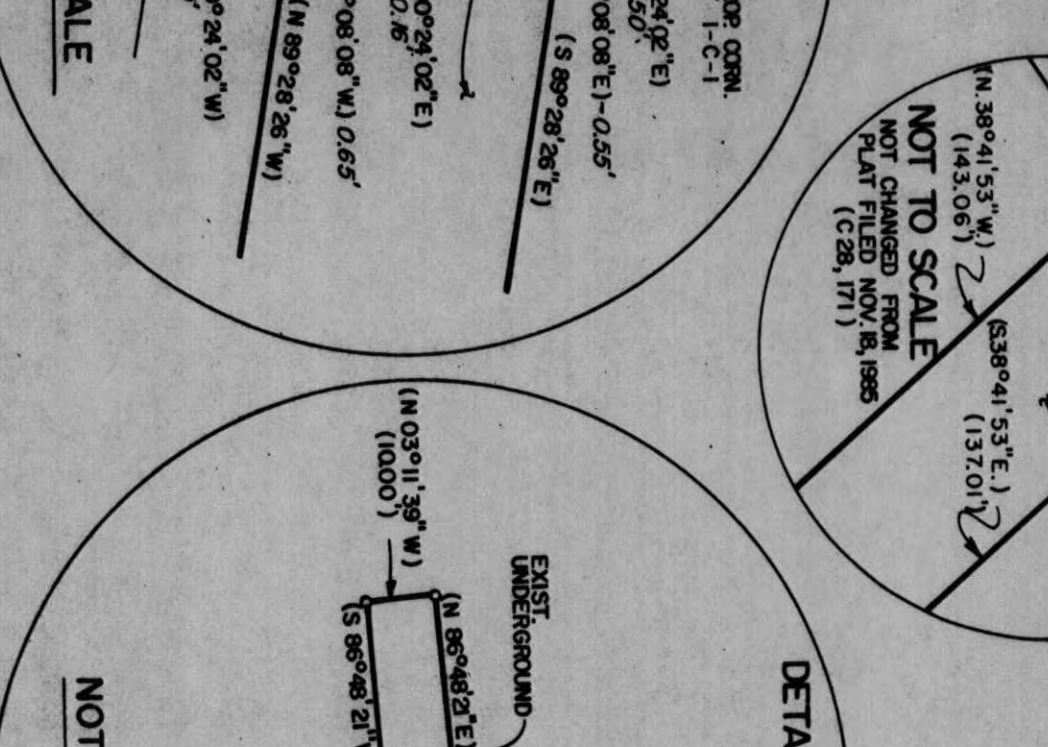
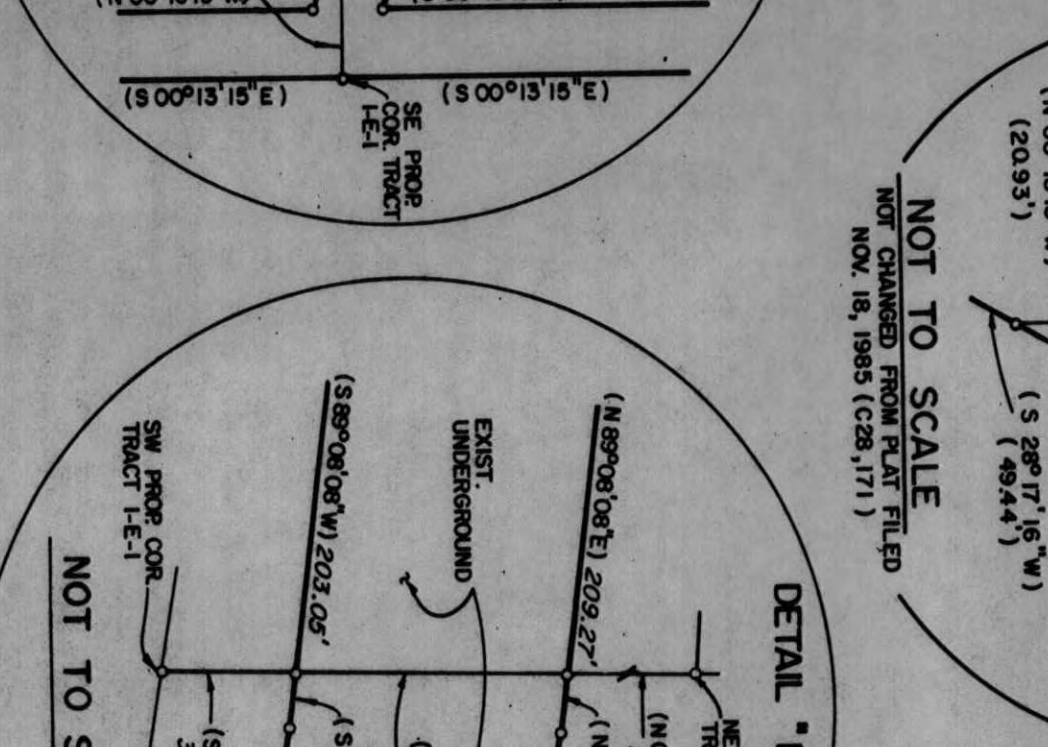
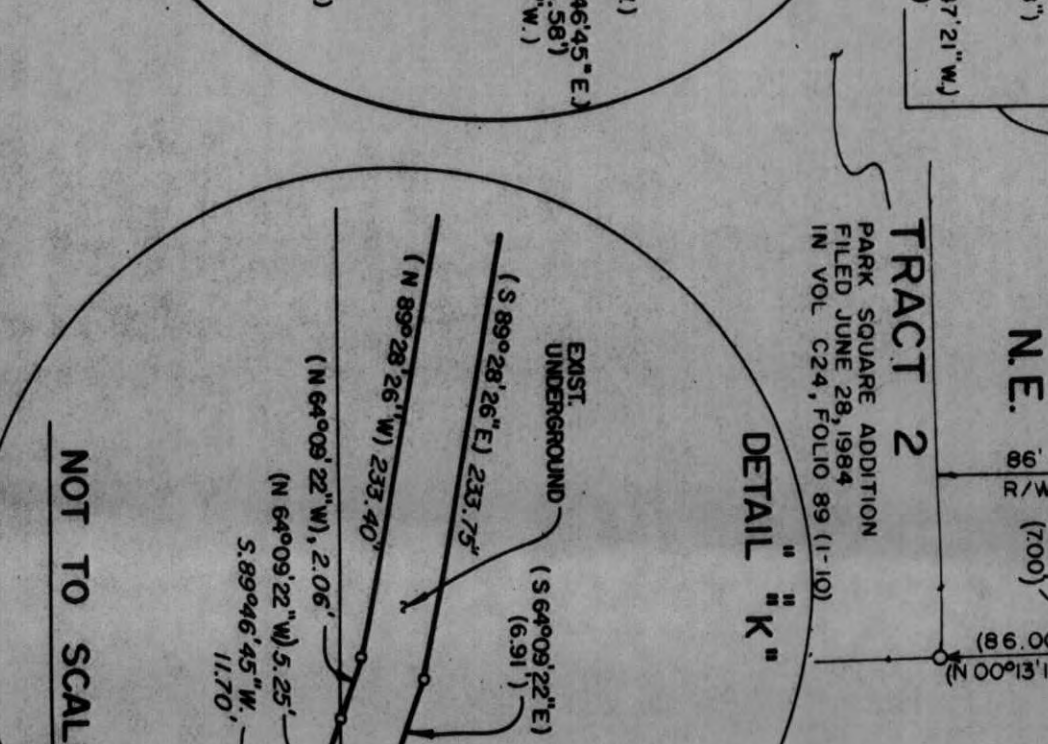
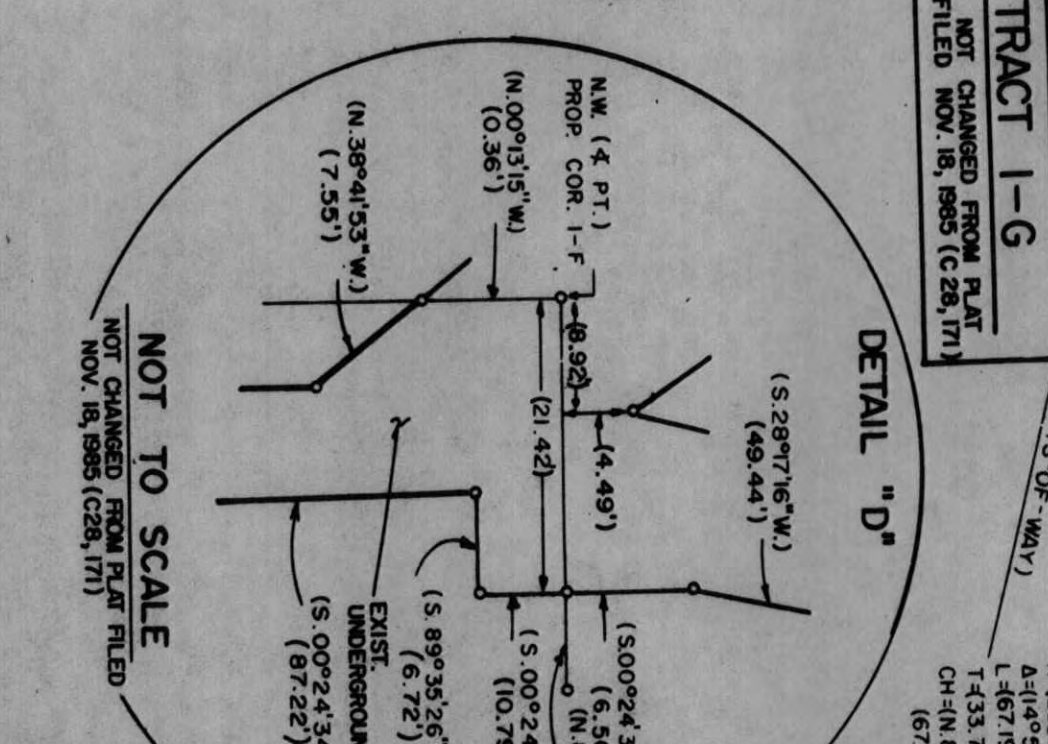
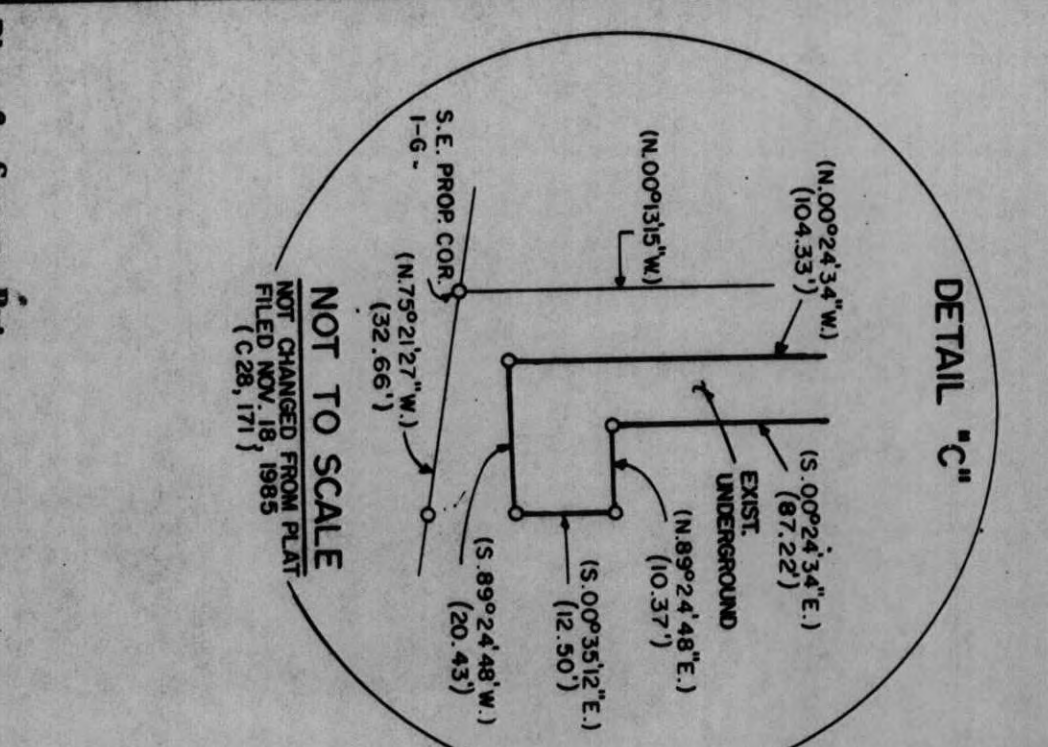
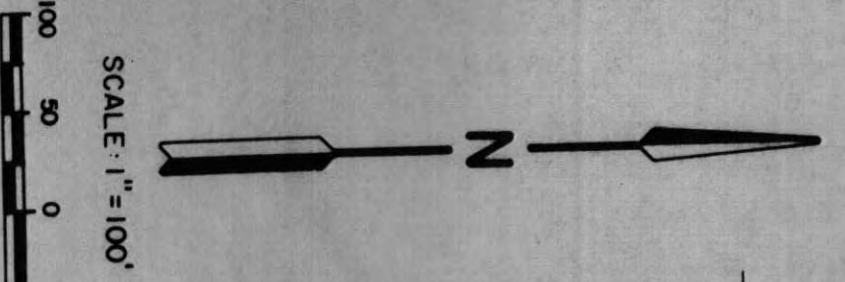
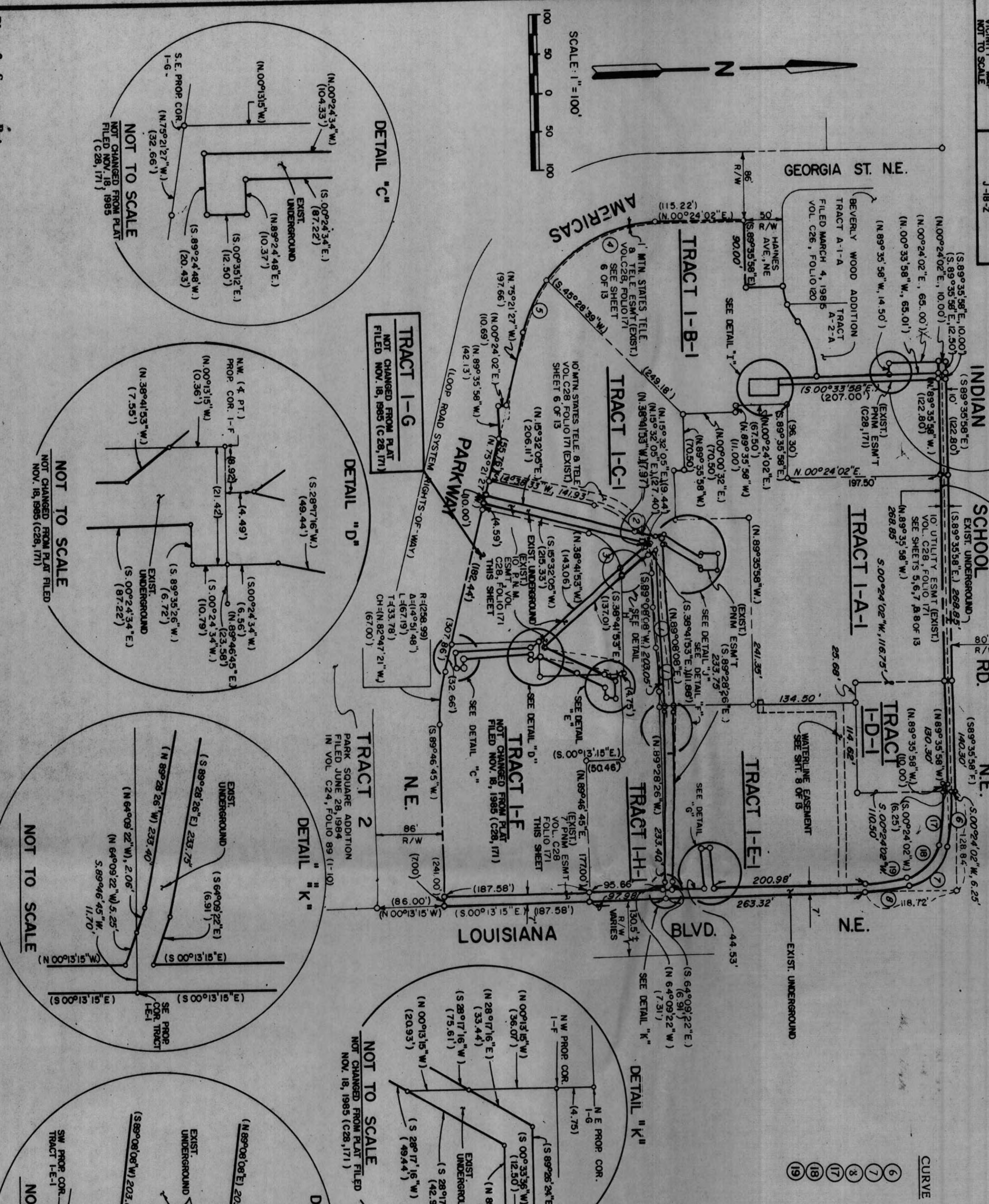
TRACTS I-A, I-B, I-C, I-D, I-E, I-F, I-G AND I-H, PARK SQUARE ADDITION
TOGETHER WITH
TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
TRACTS I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F-1, I-G AND I-H-1
PARK SQUARE ADDITION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MARCH 1998

PUBLIC SERVICE CO. OF NEW MEXICO
ELECTRIC EASEMENT LOCATIONS

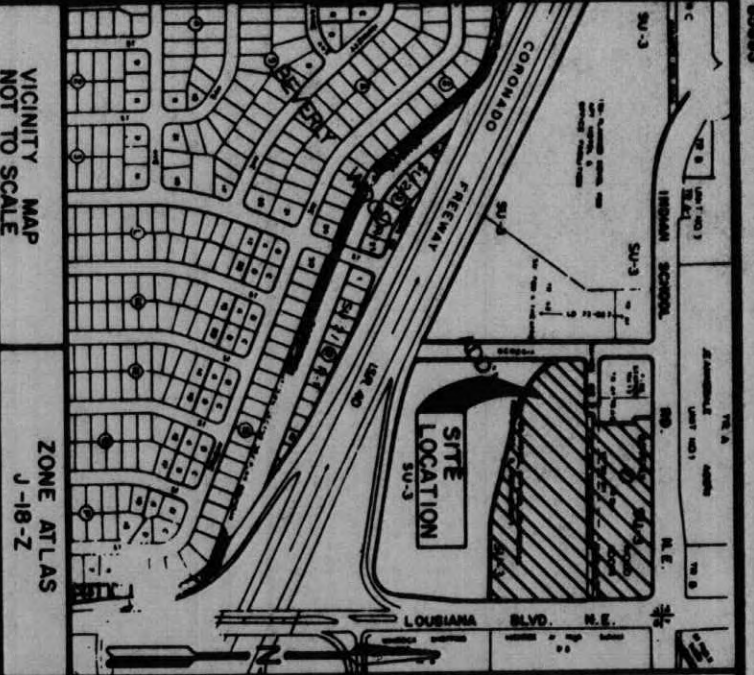


CURVE	RADIUS	DELTA	ARC	CURVE DATA		CHORD (Bearing & Distance)
				BEARING	TANGENT	
6	363.80'	110° 27' 47"	73.18'	36.43'	S. 83° 52' 04" E., 73.06'	
7	64.30'	63° 47' 15"	71.81'	40.14'	S. 46° 14' 34" E., 68.16'	
8	239.50'	140° 07' 41"	59.06'	29.68'	S. 07° 17' 09" E., 58.91'	
9	335.80'	110° 27' 47"	71.18'	35.71'	S. 83° 52' 04" E., 71.06'	
10	54.50'	63° 47' 15"	60.68'	33.92'	S. 46° 14' 34" E., 57.99'	
11	231.00'	140° 07' 47"	56.97'	28.62'	S. 10° 17' 59" E., 56.82'	

- NOTES:
- Bearings and distances shown in parentheses are record data.
 - Easements granted to or retained by Public Service Company of New Mexico are shown thus:



Platt & Survey By: ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



SP-03-21-1665

TRACTS I-A-I, I-B-I, I-C-I, I-D-I, I-E-I, I-F-I, I-G AND I-H, PARK SQUARE ADDITION
 TOGETHER WITH
 TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
 (NOW COMPRISING TRACTS I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F-1, I-G AND I-H-1)
 PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH 1986

MOUNTAIN STATES TELEPHONE & TELEGRAPH CO.
 TELEPHONE EASEMENT LOCATIONS

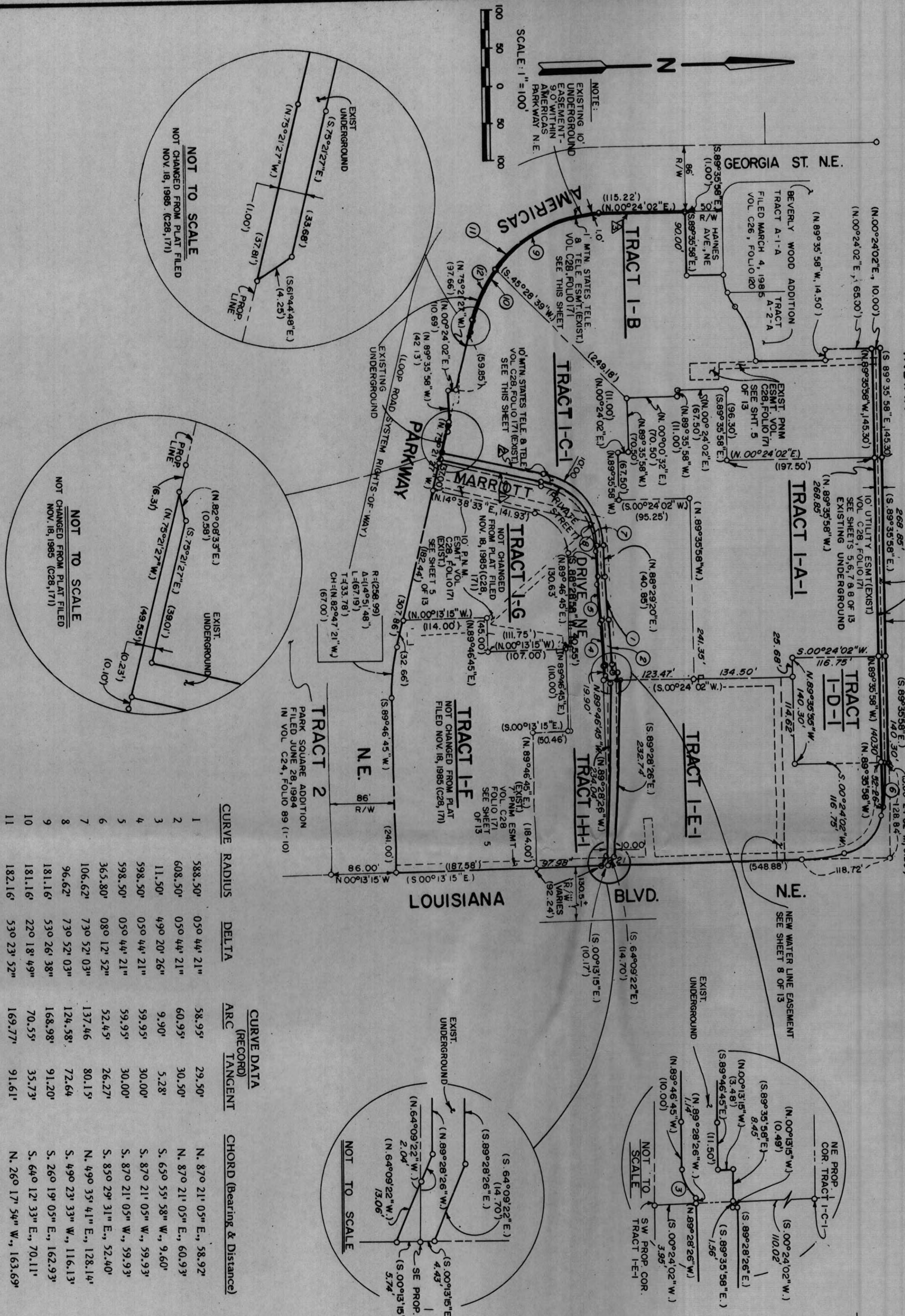
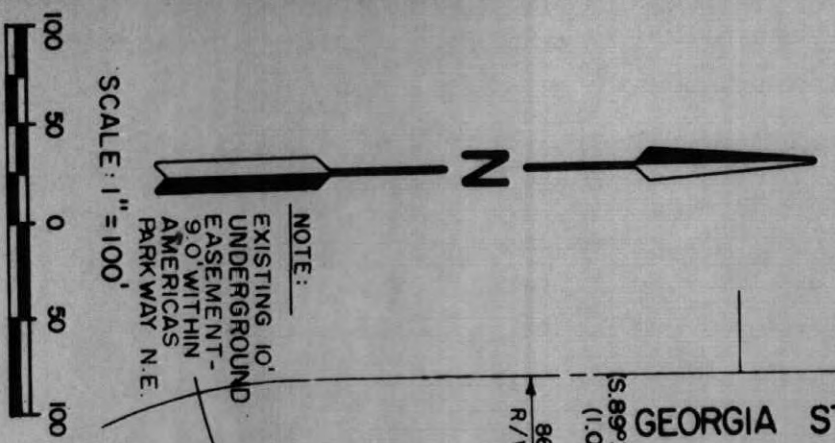
JUN 2 01986
 State of New Mexico
 County of Bernalillo
 This instrument was filed for record on

Surveyed by
 Clerk & Recorder
 Deputy Clerk

(RECORD)
 R-965.80'
 L-92.45'
 T-26.87'
 OH-S, 89°29'31"E,
 52.40'

BEARINGS & DISTANCES NOT SHOWN ON DRAWING

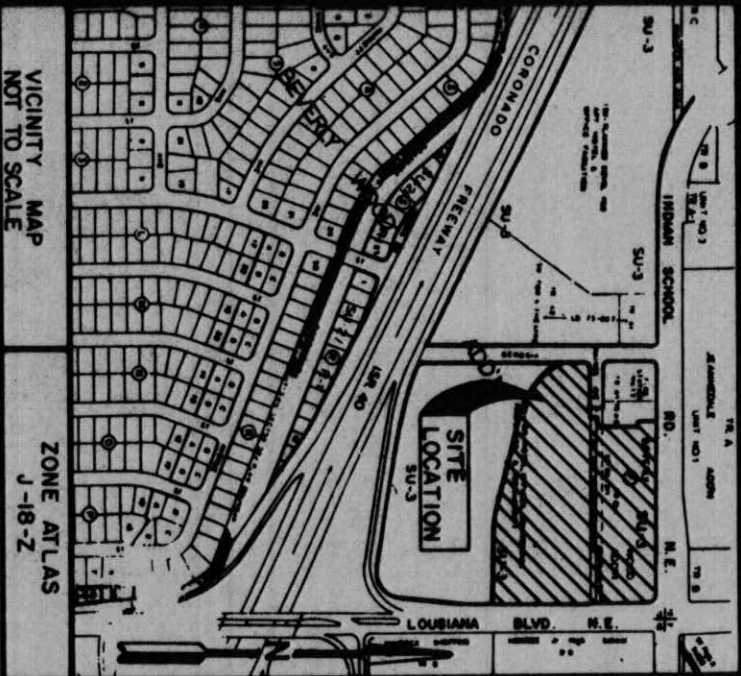
- △ (S 14°36'55" W., 135.70')
- △ (N 14°36'55" E., 135.47')
- △ (S 00°24'02" W., 105.22')



CURVE RADIUS	DELTA	ARC (RECORD)	CHORD DATA
1	588.50'	0.90 44' 21"	38.95'
2	608.50'	0.90 44' 21"	29.50'
3	11.50'	490 20' 26"	60.95'
4	598.50'	0.90 44' 21"	30.50'
5	598.50'	0.90 44' 21"	9.90'
6	365.80'	0.89 12' 52"	59.95'
7	106.62'	7.30 52' 03"	30.00'
8	96.62'	7.30 52' 03"	59.95'
9	181.16'	5.90 26' 38"	30.00'
10	181.16'	2.20 18' 49"	52.45'
11	182.16'	5.30 23' 32"	80.15'
12	182.16'	2.20 21' 37"	137.46'

- NOTES:
- Bearings and distances shown in parentheses are record data.
 - Easements granted to or retained by The Mountain States Telephone & Telegraph Company are shown thus:

Plan & Survey By:
 ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036



SP-03-21-1665

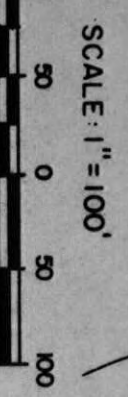
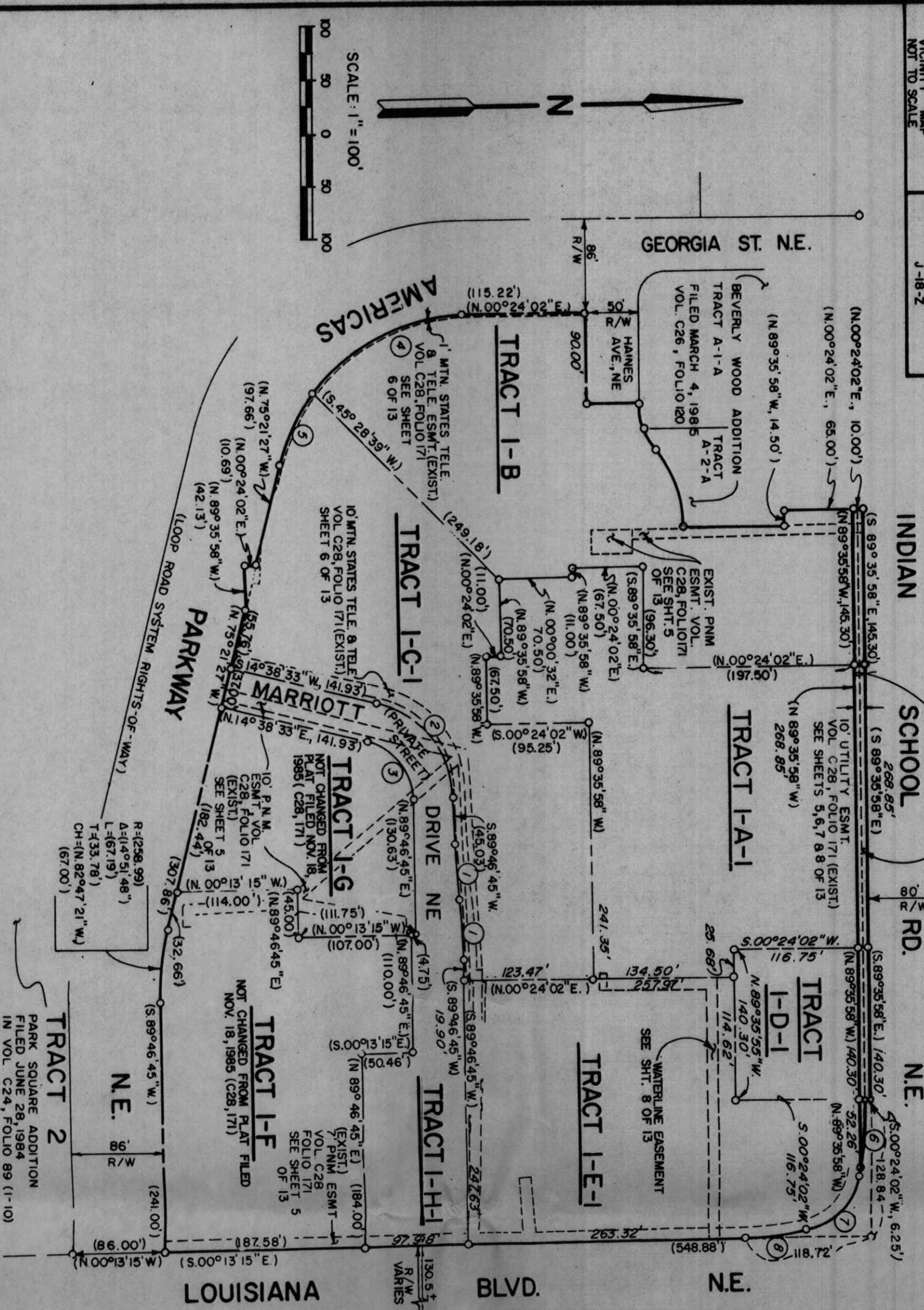
TRACTS I-A-I, I-B, I-C, I-D, I-E, I-F, I-G AND I-H, PARK SQUARE ADDITION
 OF
 TRACT A-3, BLOCK 'F', BEVERLY-WOOD ADDITION
 TOGETHER WITH
 TRACT I-A-I, I-B, I-C, I-D, I-E, I-F, I-G AND I-H-I)
 PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH 1986

GAS CO. OF NEW MEXICO
 GAS EASEMENT LOCATIONS

REVISION 96-56203

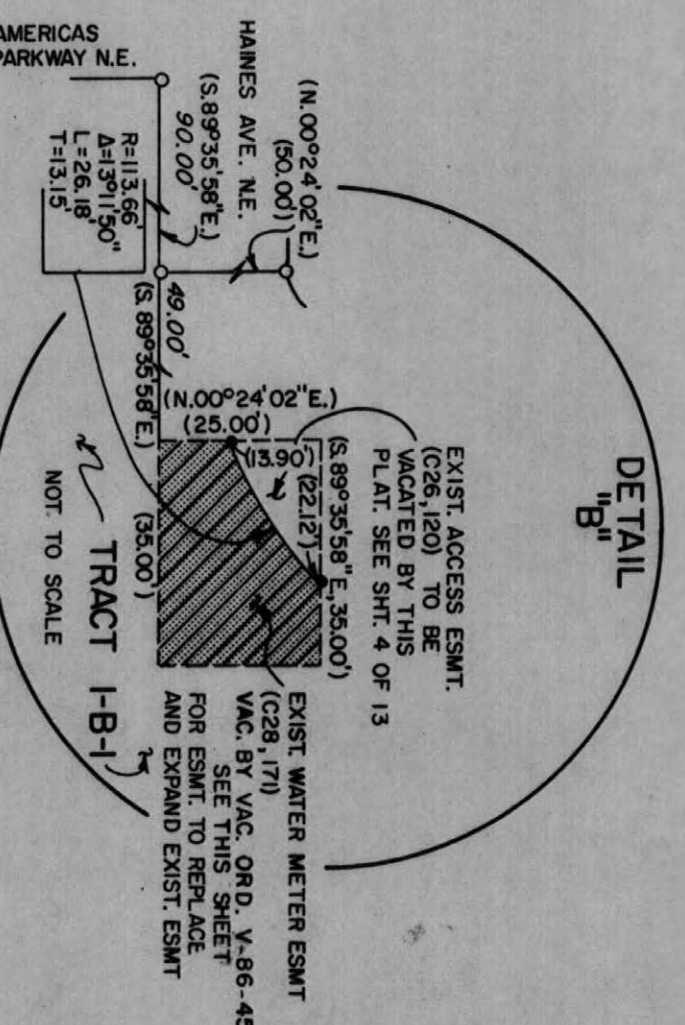
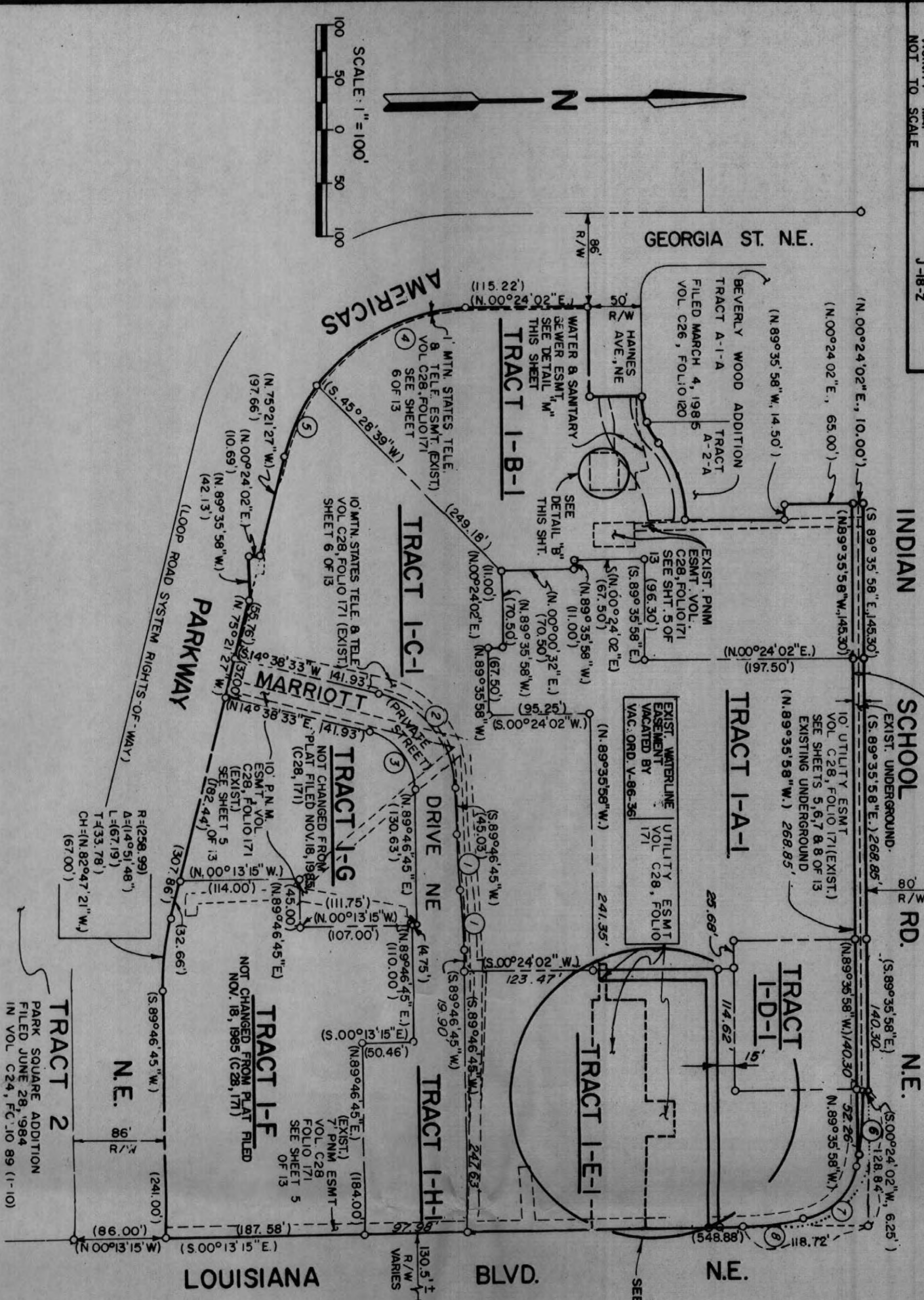
State of New Mexico
 County of Bernalillo
 This instrument was filed & recorded on
 JUN 2 0 1986
 Clerk & Recorder
 Deputy Clerk

(RECORD)
 N-362 80'
 S-108 45.52'
 T-8637
 CH-S-80'2931'E
 BE 40

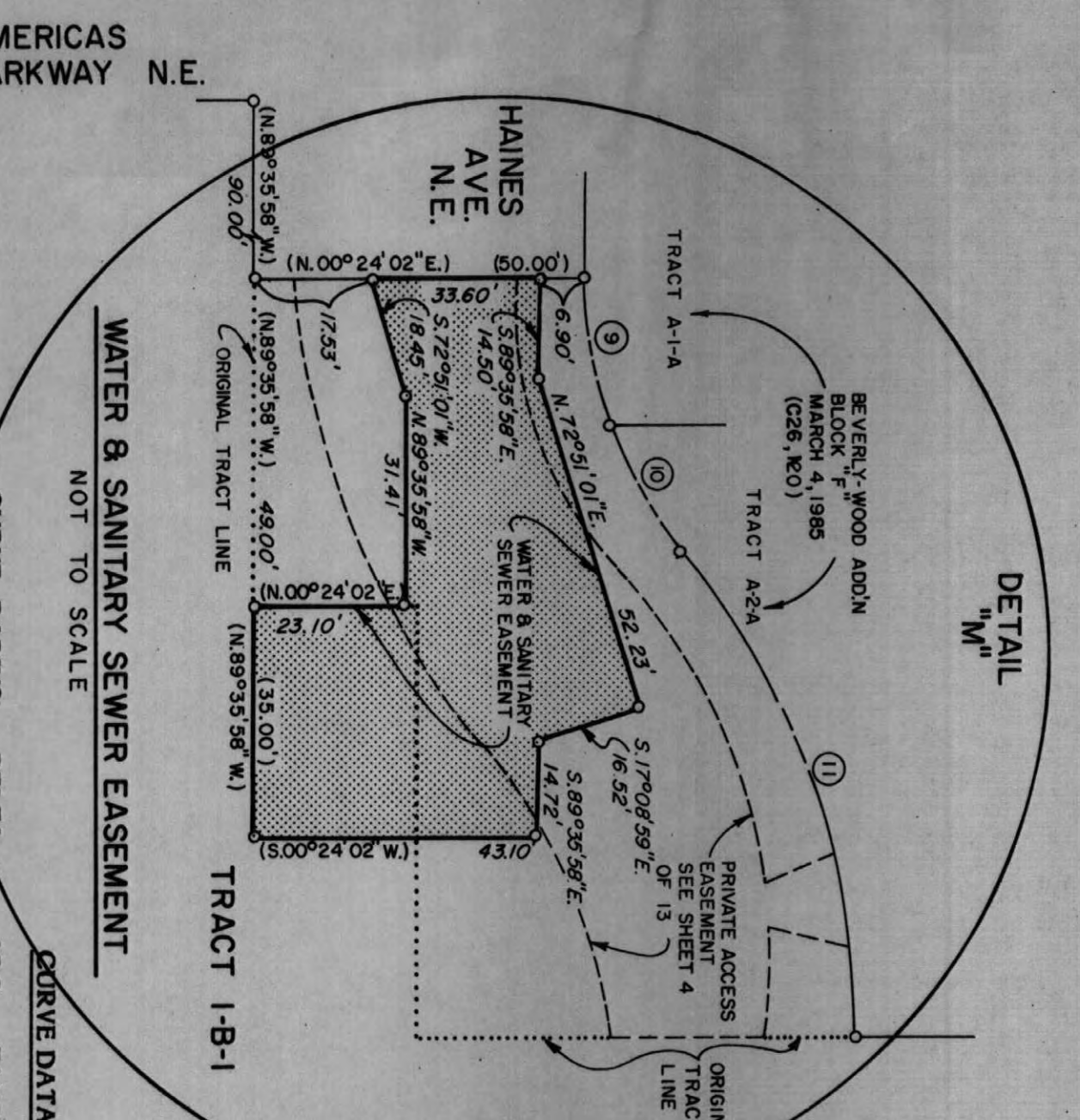
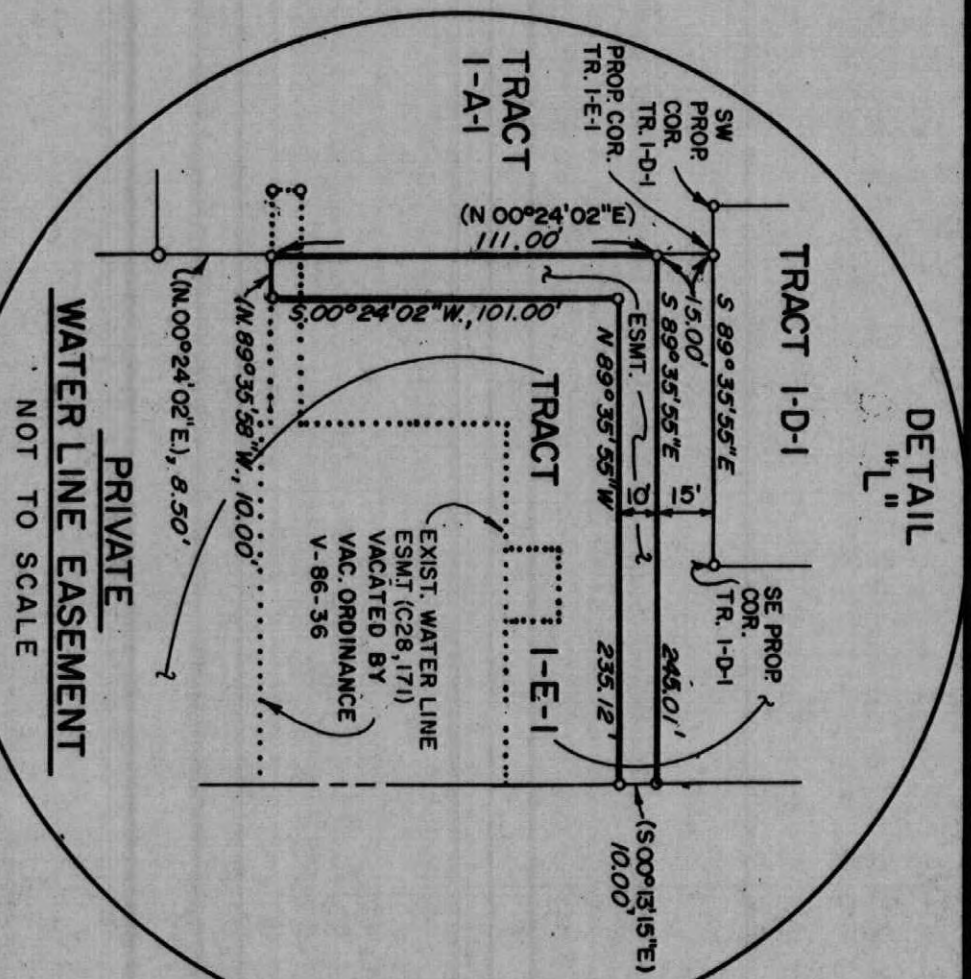


- NOTES:
1. Bearings and distances shown in parentheses are record data.
 2. Easements granted to or retained by The Gas Company of New Mexico are shown thus:

TRACTS I-A-1, I-B-1, I-C-1, D-1, E-1, F-1, G AND I-H, PARK SQUARE ADDITION
 TOGETHER WITH
 TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
 (NOW COMPRISING TRACTS I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F-1, I-G AND I-H-1)
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH 1986
 CITY OF ALBUQUERQUE
 WATER AND SANITARY SEWER
 EASEMENT LOCATIONS

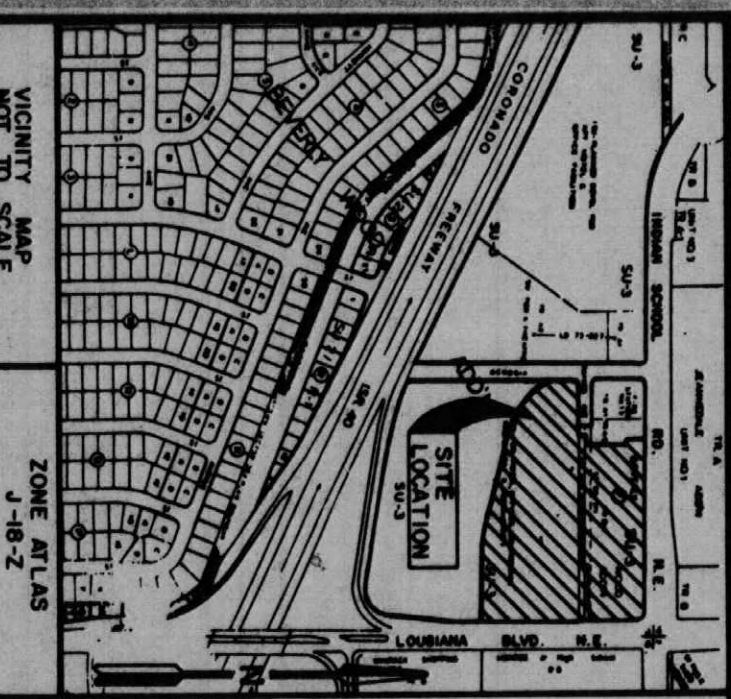


3:21 JUN 2 01986
 State of New Mexico }
 County of Bernalillo } SS
 This instrument was filed for record on
 March 4, 1986 at 4:09:42 PM
 by
 Robert E. Wilk, Clerk & Recorder
 Deputy Clerk



CURVE RADIUS	DELTA	ARC	TANGENT	CHORD (Bearing & Distance)
9	200 12' 58"	22.46'	11.35'	N. 80° 17' 33" E., 22.35'
10	63.66'	190 47' 26"	21.99'	N. 60° 17' 21" E., 21.88'
11	113.66'	400 00' 24"	79.36'	N. 70° 23' 50" E., 77.76'

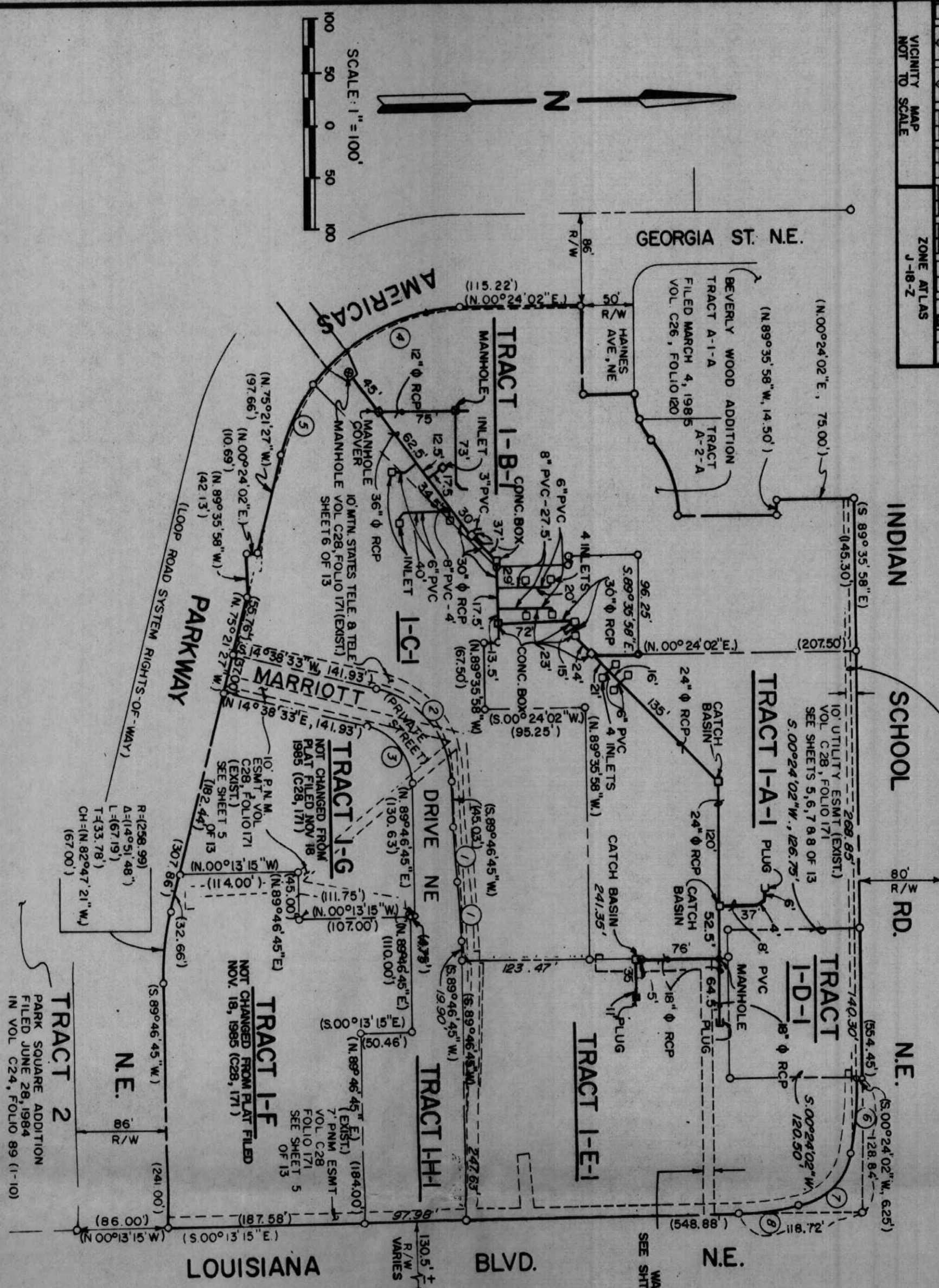
- NOTES:
1. Bearings and distances shown in parentheses are record data.
 2. Easements granted to or retained by the City of Albuquerque are shown thus:



SP-03-21-1665

REVISION **96 56203**
 OF
TRACTS I-A-I-B, I-C-I-D, I-E-I-F, I-G AND I-H, PARK SQUARE ADDITION
 TOGETHER WITH
TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH 1996

EXISTING DRAINAGE FACILITIES -
 AND SURFACE DRAINAGE PLAN



Site of New Mexico
 County of Bernalillo
 This instrument was filed for record on
3:27 JUN 2 0 1996
 at **3:30**
 of records of said County, Vol. **161**
Chris P. Wells Clerk & Recorder
 DAWBY CLERK

Plan & Survey By:
 ALBUQUERQUE SURVEYING CO., INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

TRACTS I-A-1-B-1-C-1-D-1-E-1-F-1-G AND I-H, PARK SQUARE ADDITION TOGETHER WITH TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION (NOW COMPRISING TRACTS I-A-1, I-B-1, I-C-1, I-D-1, I-E-1, I-F-1, I-G AND I-H-1) PARK SQUARE ADDITION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 1986

3-21 JUN 2 01986
I hereby certify that the foregoing is a true and correct copy of the original as recorded in the County of Bernalillo, New Mexico.

LEGAL DESCRIPTION FOR TRACT "I-A-1"

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-A" as shown and designated on the "Redivision of Tract 1, Park Square Addition, Together with Tract A-3-1, Block "F", Beverly-Wood Addition (Now Comprising Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G, and 1-H) PARK SQUARE ADDITION", part of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on March 4, 1985, in Volume C28, Folio 171. Together with Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION, as shown and designated on the plat "Redivision of Tracts A-1 and A-2, Block "F", together with a portion of Haines Avenue, N.E. (Now Comprising Tract A-1-A, Tract A-2-A, Tract A-3 and Tract A-3-1, Block "F") BEVERLY-WOOD ADDITION filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on March 4, 1985, in Volume C26, Folio 120; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E.; with the Westerly right-of-way line of Haines Avenue, N.E.; whence the Brass Monument "140-2" (Central Zone) of Y=1,490,699.29 and X=409,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 310 02' 19" E., 2001.40 feet distance; thence,

- S. 890 39' 58" E., 420.80 feet distance along the Southerly right-of-way line of Indian School Road, N.E. to the Northwest corner and the REAL PLACE OF BEGINNING of the tract of land herein described; continuing thence,
S. 890 39' 58" E., 268.45 feet distance along the Southerly right-of-way line of Indian School Road, N.E.; thence,
S. 000 24' 02" W., 126.75 feet distance to a Point; thence,
S. 890 39' 58" E., 25.68 feet distance to a Point; thence,
S. 000 24' 02" W., 134.50 feet distance to the Southeastern corner of the tract of land herein described; thence,
N. 890 39' 58" W., 281.35 feet distance to a Point; thence,
S. 000 24' 02" W., 93.25 feet distance to a point on the Southerly line of the tract of land herein described; thence,
N. 890 39' 58" W., 67.50 feet distance to a point on the Southerly line of the tract of land herein described; thence,
N. 000 24' 02" E., 11.00 feet distance to a Point; thence,
N. 890 39' 58" W., 70.50 feet distance to the Southwest corner of the tract of land herein described; thence,
N. 000 00' 32" E., 70.50 feet distance to a Point; thence,
N. 890 39' 58" W., 11.00 feet distance to a Point; thence,
N. 000 24' 02" E., 67.50 feet distance to a Point; thence,
S. 890 39' 58" E., 96.30 feet distance to a Point; thence,
N. 000 24' 02" E., 207.50 feet distance to the Northwest corner and PLACE OF BEGINNING of the tract of land herein described, and containing 91,409 square feet (2.0953 acres), more or less.

LEGAL DESCRIPTION FOR TRACT "I-B-1"

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-B" as shown and designated on the "Redivision of Tract 1, Park Square Addition, Together with Tract A-3-1, Block "F", Beverly-Wood Addition (Now Comprising Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G, and 1-H) PARK SQUARE ADDITION", part of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on March 4, 1985, in Volume C28, Folio 171. Together with Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION, as shown and designated on the plat "Redivision of Tracts A-1 and A-2, Block "F", together with a portion of Haines Avenue, N.E. (Now Comprising Tract A-1-A, Tract A-2-A, Tract A-3 and Tract A-3-1, Block "F") BEVERLY-WOOD ADDITION filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on March 4, 1985, in Volume C26, Folio 120; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E.; with the Westerly right-of-way line of Haines Avenue, N.E.; whence the Brass Monument "140-2" (Central Zone) of Y=1,490,699.29 and X=409,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 310 02' 19" E., 2001.40 feet distance; thence,
S. 000 24' 02" W., 260.00 feet distance along the Southerly right-of-way line of Georgia Street, N.E. to its Point of Intersection with the Southerly right-of-way line of Haines Avenue, N.E.; thence,
S. 890 39' 58" E., 86.00 feet distance along the Southerly right-of-way line of Haines Avenue, N.E.; being also the Northernly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to the REAL PLACE OF BEGINNING of the tract of land herein described; thence,
S. 890 39' 58" E., 90.00 feet distance continuing along the Southerly right-of-way line of Haines Avenue, N.E. to a Point; thence,
N. 000 24' 02" E., 50.00 feet distance across Haines Avenue, N.E. to a Point of Curvature on the Northernly right-of-way line of said Haines Avenue, N.E.; being also a point on the Southerly line of Tract A-1-A, Block "F", BEVERLY-WOOD ADDITION (filed March 4, 1985, in Volume C26, Folio 120); thence,
Northwesterly, 22.46 feet distance along the arc of a curve bearing to the left (said arc having a radius of 63.66 feet, a central angle of 200 12' 58", and a long chord which bears N. 800 17' 33" E., 22.25 feet distance) to a Point on Curve, being also the Southeast corner of said Tract A-1-A, Block "F", BEVERLY-WOOD ADDITION; thence,
Northwesterly, 21.99 feet distance continuing along the arc of a curve bearing to the left (said arc having a radius of 63.66 feet, a central angle of 177 29' 28", and a long chord which bears N. 600 17' 21" E., 21.58 feet distance) to a Point on Curve, being also the Southerly line of Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION; thence,
Northwesterly, 79.36 feet distance along the arc of a curve bearing to the right (said arc having a radius of 113.66 feet, a central angle of 400 00' 24", and a long chord which bears N. 700 23' 50" E., 77.76 feet distance) to a Point of Tangency; thence,
N. 000 24' 02" E., 93.50 feet distance to a Point; thence,
N. 890 39' 58" W., 14.50 feet distance to a Point; thence,
N. 000 24' 02" E., 75.00 feet distance to the Northwest corner of the tract of land herein described, a point on the Southerly right-of-way line of Indian School Road, N.E.; thence,
S. 890 39' 58" E., 145.30 feet distance along the Southerly right-of-way line of Indian School Road, N.E. to the Northeast corner of the tract of land herein described; thence,
S. 000 24' 02" W., 207.50 feet distance to a Point; thence,

LEGAL DESCRIPTION FOR TRACT "I-C-1"

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Tract "1-C" as shown and designated on the "Redivision of Tract 1, Park Square Addition, Together with Tract A-3-1, Block "F", Beverly-Wood Addition (Now Comprising Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G, and 1-H) PARK SQUARE ADDITION (Now Comprising Tracts 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G, and 1-H) PARK SQUARE ADDITION", part of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on March 4, 1985, in Volume C28, Folio 171. Together with Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION, as shown and designated on the plat "Redivision of Tracts A-1 and A-2, Block "F", together with a portion of Haines Avenue, N.E. (Now Comprising Tract A-1-A, Tract A-2-A, Tract A-3 and Tract A-3-1, Block "F") BEVERLY-WOOD ADDITION filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on March 4, 1985, in Volume C26, Folio 120; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at the Point of Intersection of the Southerly right-of-way line of Indian School Road, N.E.; with the Westerly right-of-way line of Haines Avenue, N.E.; whence the Brass Monument "140-2" (Central Zone) of Y=1,490,699.29 and X=409,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 310 02' 19" E., 2001.40 feet distance; thence,
S. 890 39' 58" E., 96.30 feet distance to a Point; thence,
S. 000 24' 02" W., 260.00 feet distance along the Southerly right-of-way line of Georgia Street, N.E. to its Point of Intersection with the Southerly right-of-way line of Haines Avenue, N.E.; thence,
S. 890 39' 58" E., 86.00 feet distance along the Southerly right-of-way line of Haines Avenue, N.E.; being also the Northernly right-of-way line of Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to the REAL PLACE OF BEGINNING of the tract of land herein described; thence,
S. 890 39' 58" E., 90.00 feet distance continuing along the Southerly right-of-way line of Haines Avenue, N.E. to a Point of Curvature on the Northernly right-of-way line of said Haines Avenue, N.E.; being also a point on the Southerly line of Tract A-1-A, Block "F", BEVERLY-WOOD ADDITION (filed March 4, 1985, in Volume C26, Folio 120); thence,
Northwesterly, 22.46 feet distance along the arc of a curve bearing to the left (said arc having a radius of 63.66 feet, a central angle of 200 12' 58", and a long chord which bears N. 800 17' 33" E., 22.25 feet distance) to a Point on Curve, being also the Southeast corner of said Tract A-1-A, Block "F", BEVERLY-WOOD ADDITION; thence,
Northwesterly, 21.99 feet distance continuing along the arc of a curve bearing to the left (said arc having a radius of 63.66 feet, a central angle of 177 29' 28", and a long chord which bears N. 600 17' 21" E., 21.58 feet distance) to a Point on Curve, being also the Southerly line of Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION; thence,
Northwesterly, 79.36 feet distance along the arc of a curve bearing to the right (said arc having a radius of 113.66 feet, a central angle of 400 00' 24", and a long chord which bears N. 700 23' 50" E., 77.76 feet distance) to a Point of Tangency; thence,
N. 000 24' 02" E., 93.50 feet distance to a Point; thence,
N. 890 39' 58" W., 14.50 feet distance to a Point; thence,
N. 000 24' 02" E., 75.00 feet distance to the Northwest corner of the tract of land herein described, a point on the Southerly right-of-way line of Indian School Road, N.E.; thence,
S. 890 39' 58" E., 145.30 feet distance along the Southerly right-of-way line of Indian School Road, N.E. to the Northeast corner of the tract of land herein described; thence,
S. 000 24' 02" W., 207.50 feet distance to a Point; thence,

SP-03-21-1665

REDIVISION 86 56203

TRACTS I-A, I-B, I-C, I-D, I-E, I-F, I-G AND I-H, PARK SQUARE ADDITION
 OF
 TRACT A-3, BLOCK "F", BEVERLY-WOOD ADDITION
 TOGETHER WITH
 TRACTS I-A-I, I-B-I, I-C-I, I-D-I, I-E-I, I-F-I, I-G AND I-H-I)
 PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH 1986

State of New Mexico }
 County of Bernalillo }
 This instrument was filed for record on
 JUN 2 01986
 Clerk & Recorder

LEGAL DESCRIPTION FOR TRACT I-C-1 (continued)

N. 459 28' 39" E., 249.18 feet distance to a Northwest corner of the tract of land herein described; thence,
 S. 890 35' 38" E., 70.50 feet distance to a Point; thence,
 S. 000 24' 02" W., 11.00 feet distance to a Point; thence,
 S. 890 35' 38" E., 67.50 feet distance to a Point; thence,
 N. 000 24' 02" E., 95.25 feet distance to a Northernly corner of the tract of land herein described; thence,
 S. 890 35' 38" E., 201.35 feet distance to the Northeast corner of the tract of land herein described; thence,
 S. 000 24' 02" W., 123.47 feet distance to a Southeast corner of the tract of land herein described, being also a point on the Northernly line of Marriott Drive, N.E. (a private street); thence,
 S. 890 46' 43" W., 19.90 feet distance continuing along said Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,
 Southwest, 56.14 feet distance continuing along said Marriott Drive, N.E. (a private street) along the arc of 029 52' 58", and a long chord which bears S. 860 50' 16" W., 56.11 feet distance) to a Point of Reverse Curvature; thence,
 Southwest, 56.14 feet distance continuing along said Marriott Drive, N.E. (a private street) along the arc of 029 52' 58", and a long chord which bears S. 860 50' 16" W., 56.11 feet distance) to a Point of Tangency; thence,
 S. 890 46' 43" W., 45.03 feet distance continuing along said Marriott Drive, N.E. (a private street) to a Point of Curvature; thence,
 Southwest, 122.19 feet distance continuing along said Marriott Drive, N.E. (a private street) along the arc of 029 52' 58", and a long chord which bears S. 520 12' 39" W., 113.61 feet distance) to a Point of Tangency; thence,
 S. 140 38' 33" W., 141.93 feet distance continuing along the Westernly right-of-way line of said Marriott Drive, N.E. (a private street) to a Southeast corner of the tract of above-mentioned Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System"); thence,
 N. 790 21' 27" W., 55.76 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point; thence,
 N. 890 35' 38" W., 42.13 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point; thence,
 N. 000 24' 02" E., 10.69 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point; thence,
 N. 790 21' 27" W., 97.66 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") to a Point of Curvature; thence,
 Northwest, 71.09 feet distance continuing along said Americas Parkway, N.E. (a Southwesterly Portion of the "Proposed Loop Road System") along the arc of a curve bearing to the right (said arc having a radius of 182.14 feet, a central angle of 220 21' 37", and a long chord which bears N. 649 119' 39" W., 70.64 feet distance to the Southwest corner and REAL PLACE OF BEGINNING of the tract of land herein described, and containing 80,649 square feet (1.3514 acres), more or less.

LEGAL DESCRIPTION FOR TRACT I-D-1

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Range 1, E1, as shown and designated on the "Redivision of Tract I, Park Square Addition, Together with Tract A-3-1, Block "F", Beverly-Wood Addition (Now Comprising Tracts I-A, I-B, I-C, I-D, I-E, I-F, I-G, and I-H) PARK SQUARE ADDITION" filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 18, 1985, in Volume C26, Folio 171; together with Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION, as shown and designated on the plat "Redivision of Tracts A-1 and A-2, Block "F", Tract A-3 and Tract A-3-1, Block "F", BEVERLY-WOOD ADDITION" filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on March 4, 1985, in Volume C26, Folio 120; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGGINNING, FOR A TIE, at the Point of Intersection of the Southernly right-of-way line of Indian School Road, N.E. with the Westernly right-of-way line of Louisiana Boulevard, N.E., whence the Brass Cap Monument "40-7" having New Mexico State Plane Coordinates (Central Zone) of Y=1,490,695.39 and X=400,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 029 27' 12" E., 1705.70 feet distance; thence,
 N. 890 35' 38" W., 128.88 feet distance to a point on the Southernly right-of-way line of Indian School Road, N.E. and the REAL PLACE OF BEGINNING of the tract of land herein described; thence,
 S. 000 24' 02" W., 6.25 feet distance to a Point; thence,
 S. 000 24' 02" W., 120.50 feet distance to the Southeast corner of the tract of land herein described; thence,
 N. 890 35' 35" W., 25.68 feet distance to the Southwest corner of the tract of land herein described; thence,
 N. 000 24' 20" E., 126.75 feet distance to a point on the Southernly right-of-way line of Indian School Road, N.E. and the Northwest corner of the tract of land herein described; thence,
 S. 890 35' 38" E., 140.30 feet distance along said Southernly right-of-way line of Indian School Road, N.E. to a Northeast corner and the REAL PLACE OF BEGINNING of the tract of land herein described, and containing 17,782 square feet (0.4082 acre), more or less.

State of New Mexico }
 County of Bernalillo }
 This instrument was filed for record on
 JUN 2 01986
 Clerk & Recorder

LEGAL DESCRIPTION FOR TRACT I-E-1

Being that certain tract of land situate in Section 13, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being also Range 1, E1, as shown and designated on the "Redivision of Tract I, Park Square Addition, Together with Tract A-3-1, Block "F", Beverly-Wood Addition (Now Comprising Tracts I-A, I-B, I-C, I-D, I-E, I-F, I-G, and I-H) PARK SQUARE ADDITION" part of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 18, 1985, in Volume C26, Folio 171; together with Tract A-2-A, Block "F", BEVERLY-WOOD ADDITION, as shown and designated on the plat "Redivision of Tracts A-1 and A-2, Block "F", Tract A-3 and Tract A-3-1, Block "F", BEVERLY-WOOD ADDITION" filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on March 4, 1985, in Volume C26, Folio 120; and said tract of land being more particularly described by metes and bounds survey as follows:

BEGGINNING, FOR A TIE, at the Northeast corner of Tract 2 of above-mentioned "Redivision" being also the Point of Intersection of the Westernly right-of-way line of Louisiana Boulevard, N.E. with the Southernly right-of-way line of above-mentioned Americas Parkway, N.E., whence the Brass Cap Monument "40-7" having New Mexico State Plane Coordinates (Central Zone) of Y=1,490,695.39 and X=400,826.08 as established by the City of Albuquerque and the New Mexico State Highway Commission bears S. 040 12' 38" E., 957.12 feet distance; thence,
 N. 000 13' 15" W., 371.56 feet distance along the Westernly right-of-way line of Louisiana Boulevard, N.E. to the Southeast corner and REAL PLACE OF BEGINNING of the tract of land herein described, being common with the Northeast corner of Marriott Drive, N.E. (a private street) to a Point; thence,
 S. 890 46' 43" W., 247.63 feet distance along the Northernly line of Marriott Drive, N.E. (a private street) to a Point; thence,
 N. 000 24' 02" E., 123.47 feet distance to a point; continuing thence,
 N. 000 24' 02" E., 134.50 feet distance to a Point; thence,
 S. 890 35' 35" E., 114.62 feet distance to a Point; thence,
 N. 000 24' 02" E., 120.50 feet distance to a Point of Curvature; thence,
 Southeast, 73.18 feet distance along the Southernly right-of-way line of said Indian School Road, N.E. along the arc of 110 27' 47", and a long chord which bears S. 365 20' 10" E., 73.18 feet distance) to a Point of Compound Curvature; thence,
 Southeast, 71.81 feet distance continuing along the Southernly right-of-way line of said Indian School Road, N.E. along the arc of a curve bearing to the right (said arc having a radius of 64.50 feet, a central angle of 630 47' 15", and a long chord which bears S. 460 14' 34" E., 68.16 feet distance) to a Point of Compound Curvature on the Westernly right-of-way line of Louisiana Boulevard, N.E.; thence,
 Southeast, 59.06 feet distance continuing along the Westernly right-of-way line of said Louisiana Boulevard, N.E. along the arc of a curve bearing to the right, said arc having a radius of 239.50 feet, a central angle of 140 07' 41", and a long chord which bears S. 079 17' 09" E., 38.91 feet distance) to a Point of Tangency; thence,
 S. 000 13' 15" E., 263.32 feet distance along the said Westernly right-of-way line of Louisiana Boulevard, N.E. to the Southeast corner and REAL PLACE OF BEGINNING of the tract of land herein described, and containing 77,041 square feet (1.7686 acre), more or less.

SP-03-21-1665

93 56203

State of New Mexico)
County of Bernalillo) SS
This instrument was filed for record on
3:21 JUN 2 01986
at the County Clerk's Office
of the County of Bernalillo, New Mexico
Ch. C. Miller, Clerk & Recorder
Deputy Clerk

REDIVISION
OF
TRACTS 1-A, 1-B, 1-C, 1-D, 1-E, 1-F, 1-G AND 1-H, PARK SQUARE ADDITION
TOGETHER WITH
TRACT A-3, BLOCK 'F', BEVERLY-WOOD ADDITION

(NOW COMPRISING TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1, 1-E-1, 1-F, 1-G AND 1-H-1)

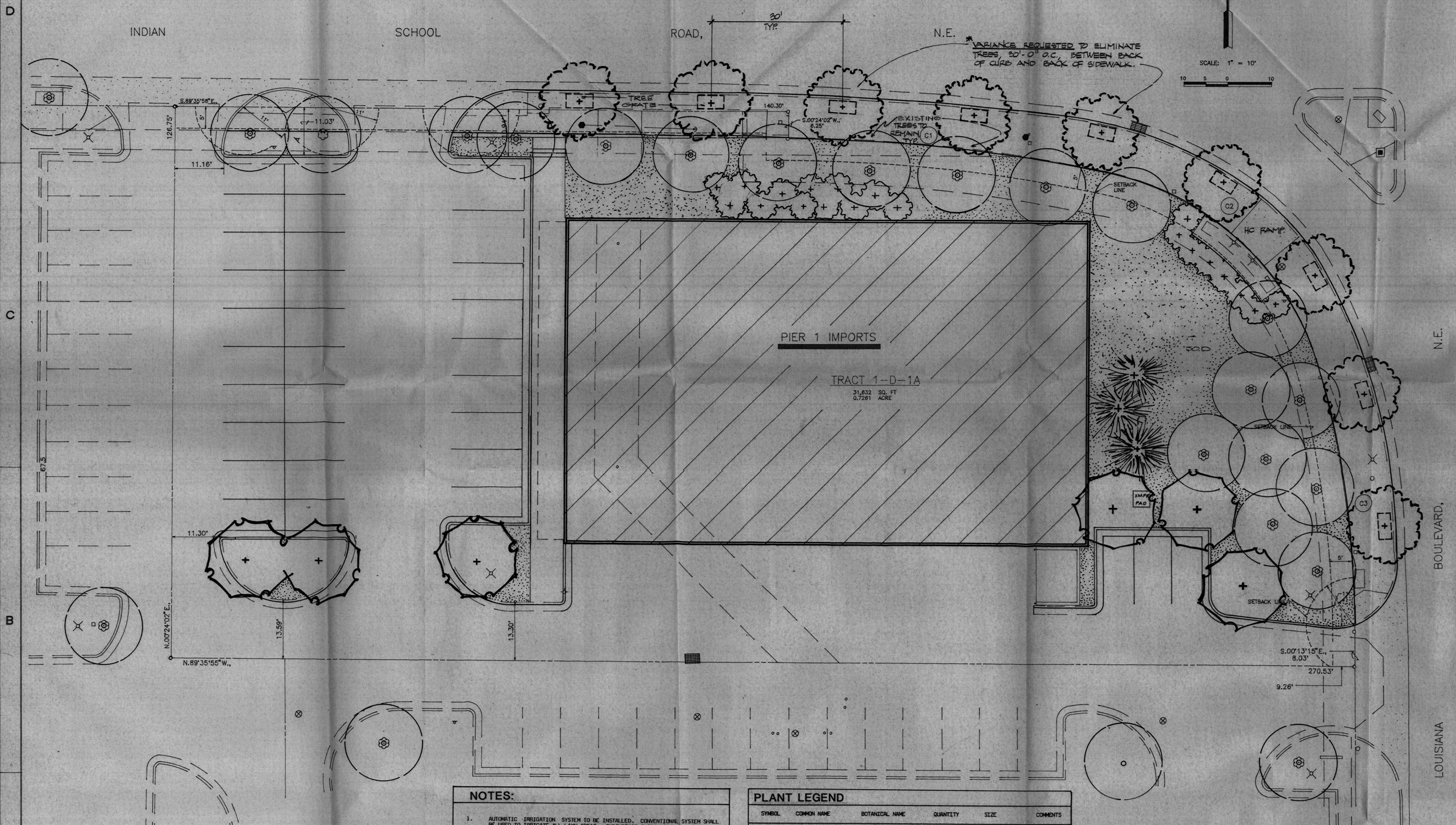
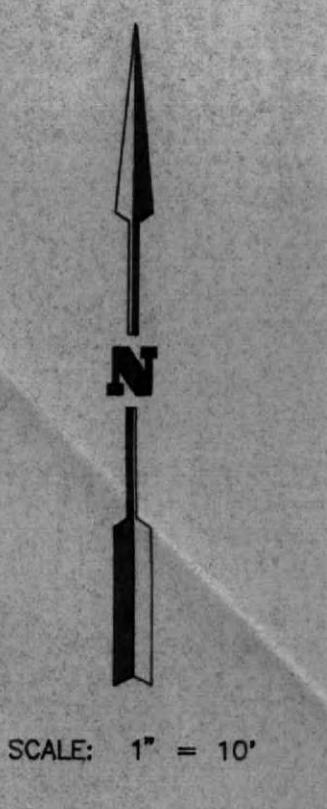
PARK SQUARE ADDITION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

MARCH 1986

SHEET NO.	DESCRIPTION
1	Title, Index
2	Survey Plat, Vicinity Map
3	Dedication and Consent Statement And Owners and Officials Signatures
4	Private Access and Sidewalk Easement Locations
5	Utility Easement Locations - PUBLIC SERVICE COMPANY OF NEW MEXICO
6	Utility Easement Locations - THE MOUNTAIN STATES TELEPHONE & TELEGRAPH CO.
7	Utility Easement Locations - THE CITY OF ALBUQUERQUE WATER RESOURCES DEPT. (Water and Sanitary Sewer)
8	Utility Easement Locations - THE GAS COMPANY OF NEW MEXICO
9	Existing Drainage Facilities And Surface Drainage Plan
10	Survey Metes and Bounds Descriptions - TRACTS 1-A-1, 1-B-1 & 1-C-1
11	Survey Metes and Bounds Descriptions - TRACTS 1-C-1 (cont'd), 1-D-1 & 1-E-1
12	Survey Metes and Bounds Descriptions - TRACTS 1-F, 1-G & 1-H-1
13	Survey Plat and Survey Metes and Bounds Descriptions - PERIMETER

TRACT 1-D-1A
 PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



LANDSCAPED AREA REQUIRED	1,486 SF
LANDSCAPED AREA PROVIDED	7,407 SF
PARKING AREA	14,369 SF
7% OF PARKING AREA	1,006 SF
TOTAL PARKING SPACES	32
15 SF/SPACE	480 SF

- NOTES:**
1. AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED. CONVENTIONAL SYSTEM SHALL BE USED TO IRRIGATE ALL LAWN AREAS. SUBSURFACE SYSTEM SHALL BE USED TO IRRIGATE ALL SHrub BEDS. SYSTEM SHALL COMPLY TO THE CITY OF ALBUQUERQUE CROSS CONNECTION CONTROL AND WASTE WATER ORDINANCES.
 2. PIER 1 IMPORTS WILL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPE.
 3. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE PROPERTY OWNER WHO IS OBLIGATED TO PROVIDE IT AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 90 DAYS AFTER NOTIFICATION. IF THE 90-DAY PERIOD FALLS AT A TIME OF YEAR WHEN PLANTING OF LANDSCAPING IS UNADVISABLE, A WAIVER MAY BE GRANTED BY THE ZONING/BUILDING/PLANNING DIRECTOR TO ALLOW PLANTING AT THE EARLIEST POSSIBLE TIME. THE WAIVER AND DATE OF THE PLANTING DEADLINE SHALL BE RECORDED BY THE COUNTY ZONING OFFICE.

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	COMMENTS
TREES					
	Modesto Ash	Fraxinus velutina 'Modesto'	6	2-1/2" - 3" Cal., 12'-14" Ht.	
	Austrian Pine	Pinus nigra	3	8'-10" Ht.	
	Sunburst Honey Locust	Gleditsia triacanthos 'Inermis 'Sunburst'	9 *	2-1/2" - 3" Cal., 12'-14" Ht.	VARIANCE REQUESTED.
SHRUBS					
	India Hawthorn	Raphiolepis indica	20	2'-3" Ht.	5 Gal.
GROUNDCOVER					
	Lawn	'Scott's Transition Blend'	6000 SF		500

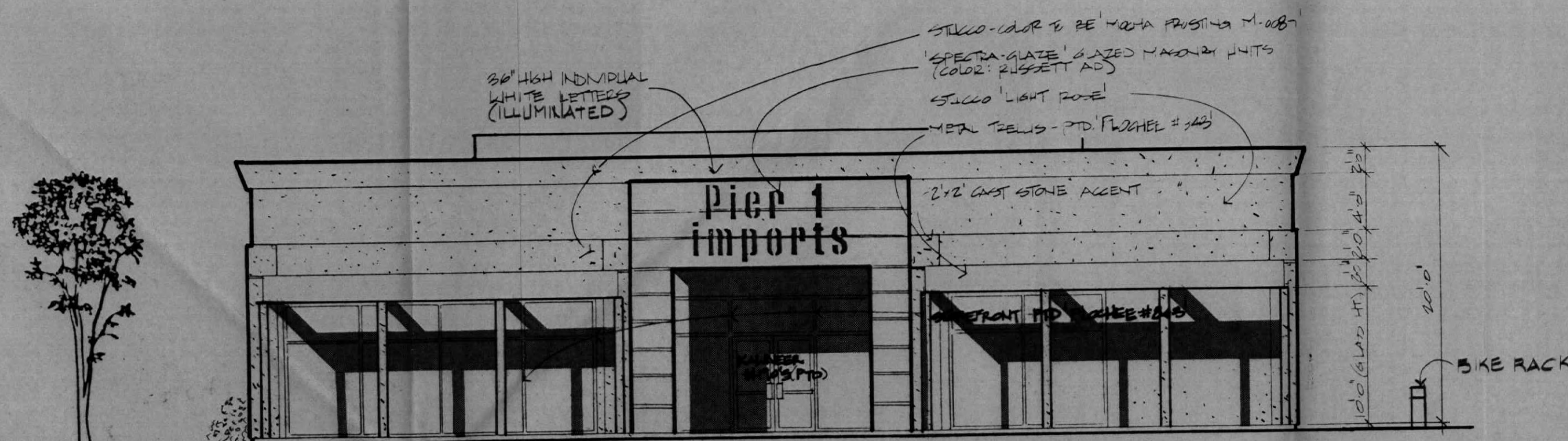
1		6-28-91	STREET TREE VARIANCE	5211
Rev	Date	Description	By	
 Holmes & Narver ALBUQUERQUE, NEW MEXICO		 Gerald D. Hines Interests		
PARK SQUARE PHASE 2A				
PIER 1 IMPORTS LANDSCAPE PLAN				
Designed BFF	Checked	DRAWING NO. LP.1	SEG. 2	REV. 1
Drawn JLM	Job No.		- OF - 3	

MORROW & COMPANY
 LANDSCAPE ARCHITECTS
 210 La Veta Drive NE
 Albuquerque, New Mexico 87108
 505-266-2266

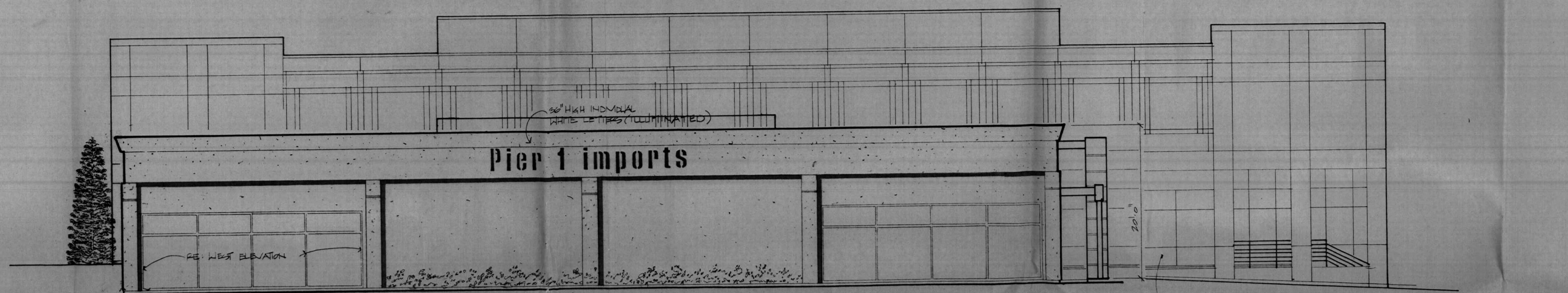
ST-89-2 DRB-89-243

ENERGY CONSERVATION

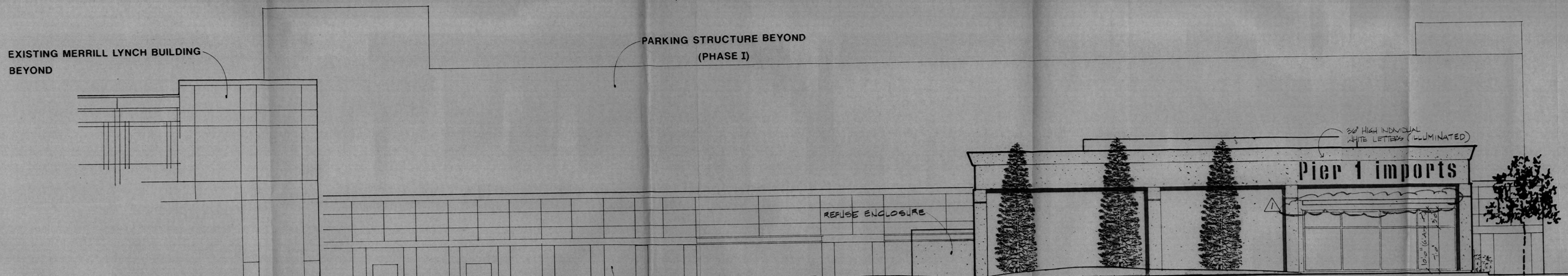
1. THE BUILDING WILL BE DESIGNED WITH STATE-OF-THE-ART HEATING VENTILATING AND AIR CONDITIONING SYSTEMS.
2. THE BUILDING FACADES WILL INCORPORATE RECESSED NON-REFLECTIVE GLASS ON APPROPRIATE ORIENTATIONS. THE GLAZING WILL BE A HIGH PERFORMANCE THERMALLY IMPROVED SYSTEM.
3. WALL AND ROOF SYSTEMS WILL MEET OR EXCEED ENERGY CODE.
4. AN ENERGY SAVING SHADING DEVICE (TRELLIS) HAS BEEN INCORPORATED INTO THE WEST ELEVATION.



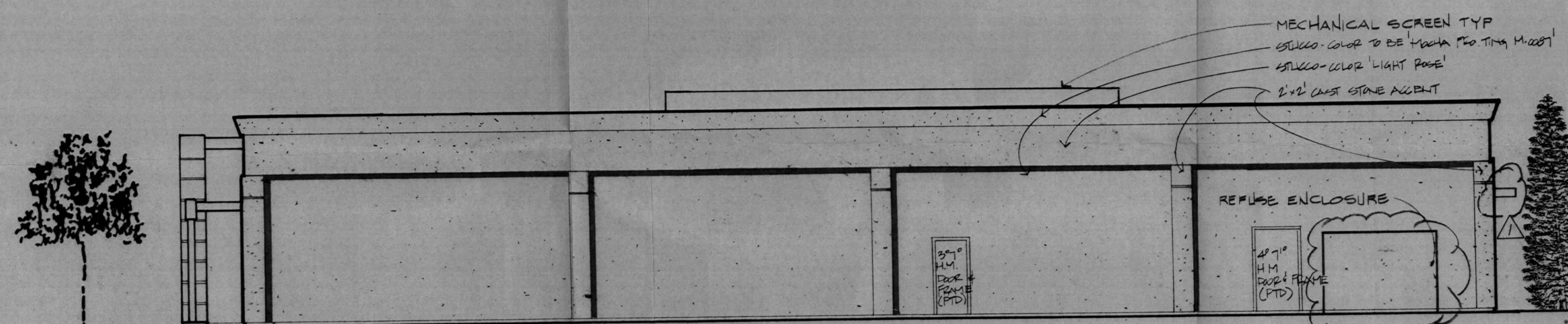
WEST ELEVATION
1/8"=1'-0"



NORTH ELEVATION
1/8"=1'-0"



EAST ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"

1	7-5-89	ADDED TRELLIS, RELOCATED REFUSE ENCL.	
Rev	Date	Description	By

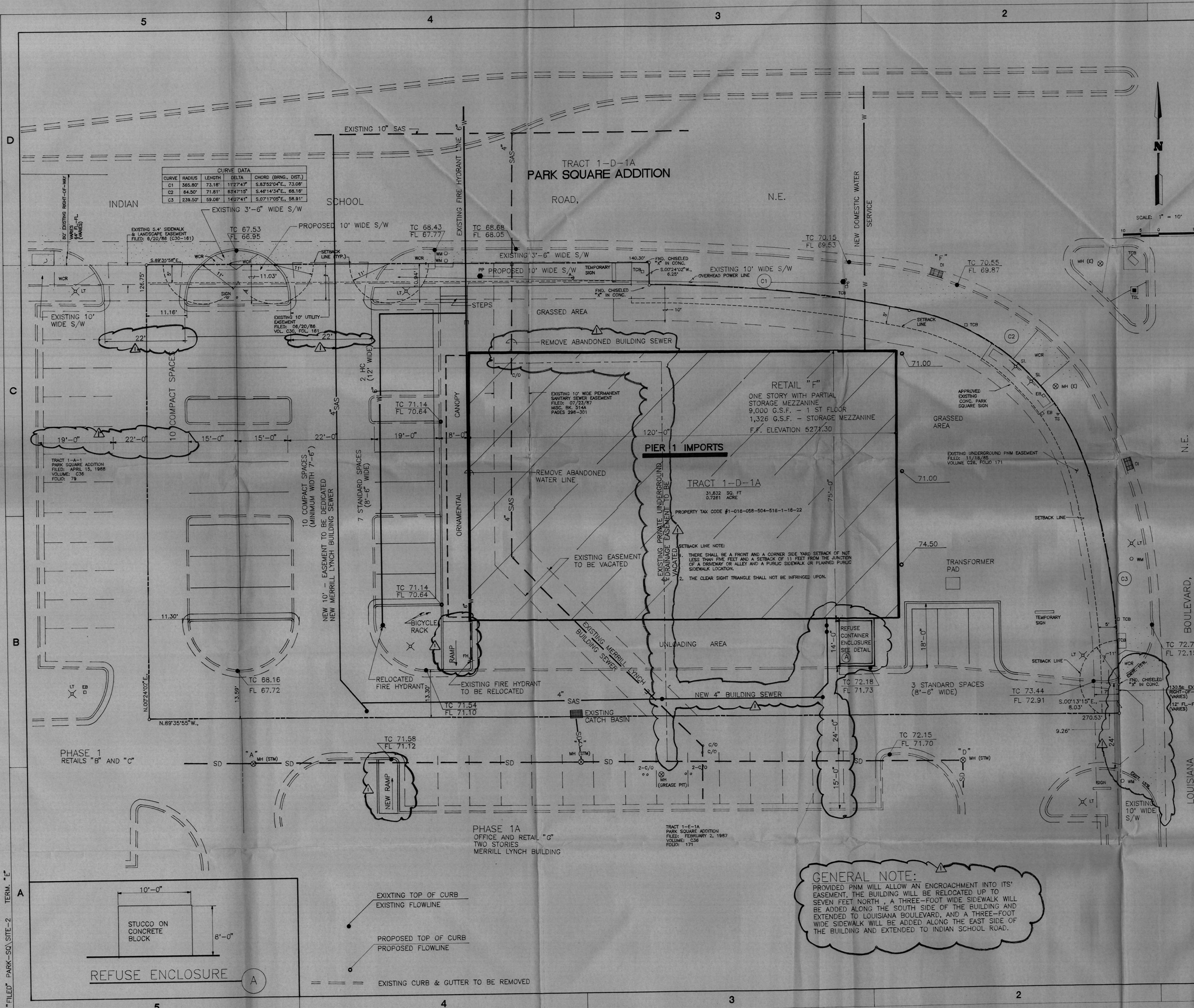
HN
Holmes & Narver
ALBUQUERQUE, NEW MEXICO

HN
Gerald D. Hines Interests

**PARK SQUARE
PHASE 2A**

**PIER 1 IMPORTS
ELEVATIONS**

Designed: PIER I	Checked: JCB	DRAWING NO. E.1	SEC. 3	REV. 1
Drawn: TML	Job No. 240800		- OF - 3	



CURVE DATA

CURVE	RADIUS	LENGTH	DELTA	CHORD (BRNG., DIST.)
C1	365.80'	73.18'	112°27'47"	S.83°52'04"E., 73.08'
C2	64.50'	71.81'	83°47'15"	S.46°14'34"E., 68.16'
C3	238.50'	59.08'	149°7'41"	S.87°17'09"E., 58.91'

Phase 2A
 Phase 2A will consist of a one story retail building adjacent to the Louisiana Boulevard / Indian School Road intersection (Retail Building "F"). The landscape plan will be extended to link this tract to the project. Additional surface parking will be added.

Parking Required:

Retail Building "F" Tract 1-D-1A
 Retail and Service Uses

NLA	PARKING RATIO	REQUIRED PARKING
8,893 SF	1/250 SF	36

10% Reduction per Sec. 40.A 4.f. (1) -3
 City Zoning Code

5% Reduction per Sec. 40.A 4.f. (2) -1
 City Zoning Code

Total Spaces Required **32 Spaces**

Parking Provided:

Retail Building "F" Tract 1-D-1A **Provided Parking**
 Surface parking within the Tract **32 Spaces**

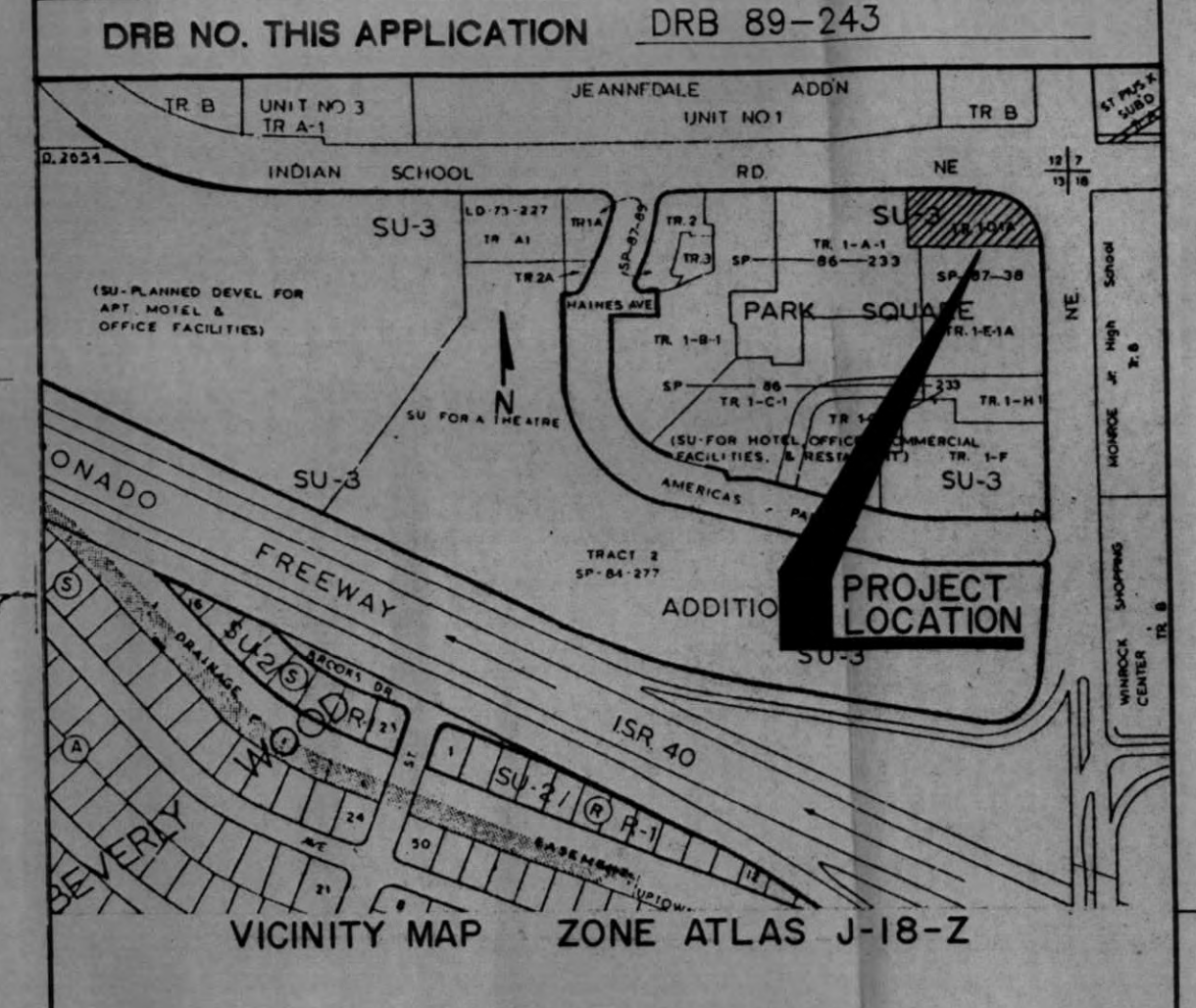
Additional parking provided within Park Square Project.
 See Master Site Parking Plan.

Handicapped Parking:

Spaces Required 2
 Spaces Provided 2

- NOTES:**
- PREVIOUS SUBMISSIONS OF THE PARK SQUARE PROJECT WERE REVIEWED AND APPROVED BY THE DEVELOPMENT REVIEW BOARD AND ARE RECORDED IN FILE NO. DRB-83-533. (DATED 3 MARCH 1984).
 - SITE LIGHTING FOR PHASE 2A WILL MATCH COMPLETED PHASE 1 SITE LIGHTING.

CHAIRMAN CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
PARKS & RECREATION	DATE
TRAFFIC ENGINEER	DATE
UTILITIES DEVELOPMENT DIVISION	DATE



Rev	Date	Description	JLM	By
1	7-5-89	GENERAL REVISIONS	JLM	

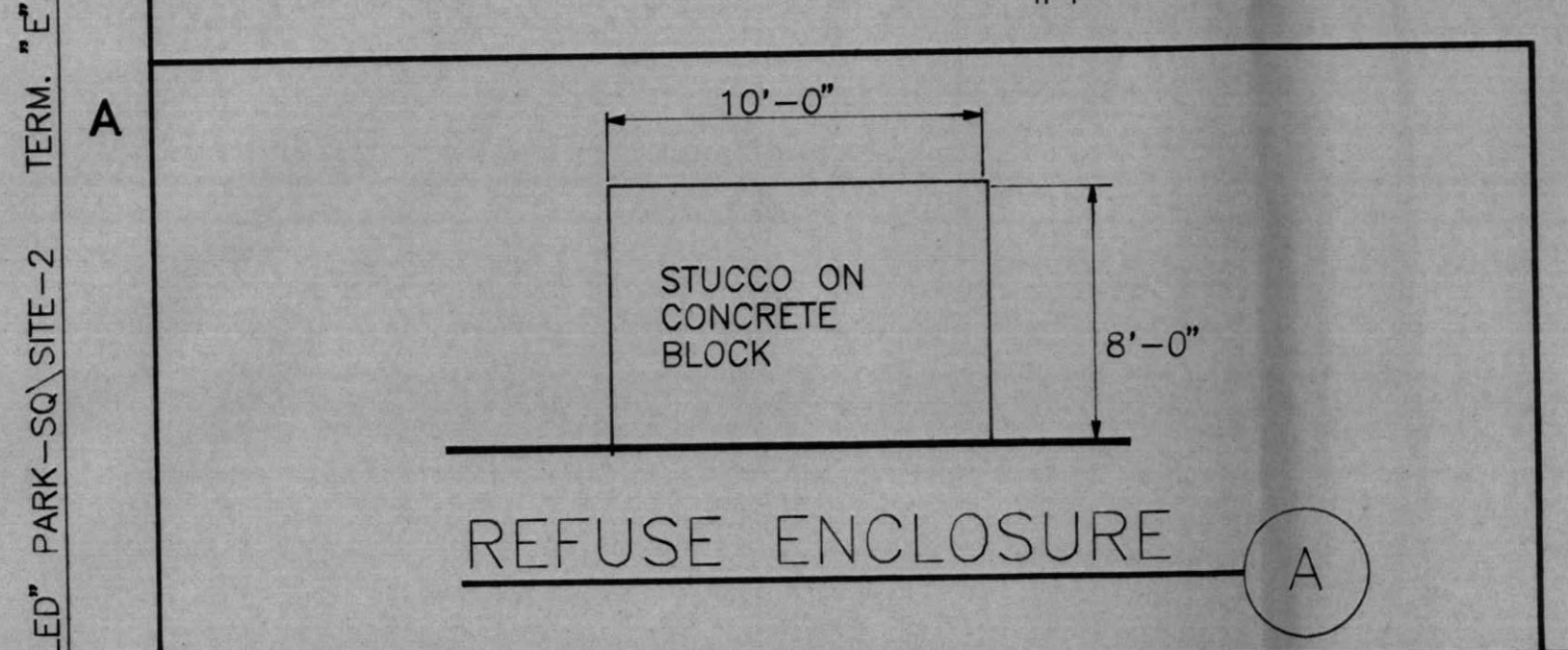
H.N. Holmes & Narver
 ALBUQUERQUE, NEW MEXICO

Gerald D. Hines Interests

PARK SQUARE PHASE 2A
PIER 1 IMPORTS
SITE DEVELOPMENT PLAN

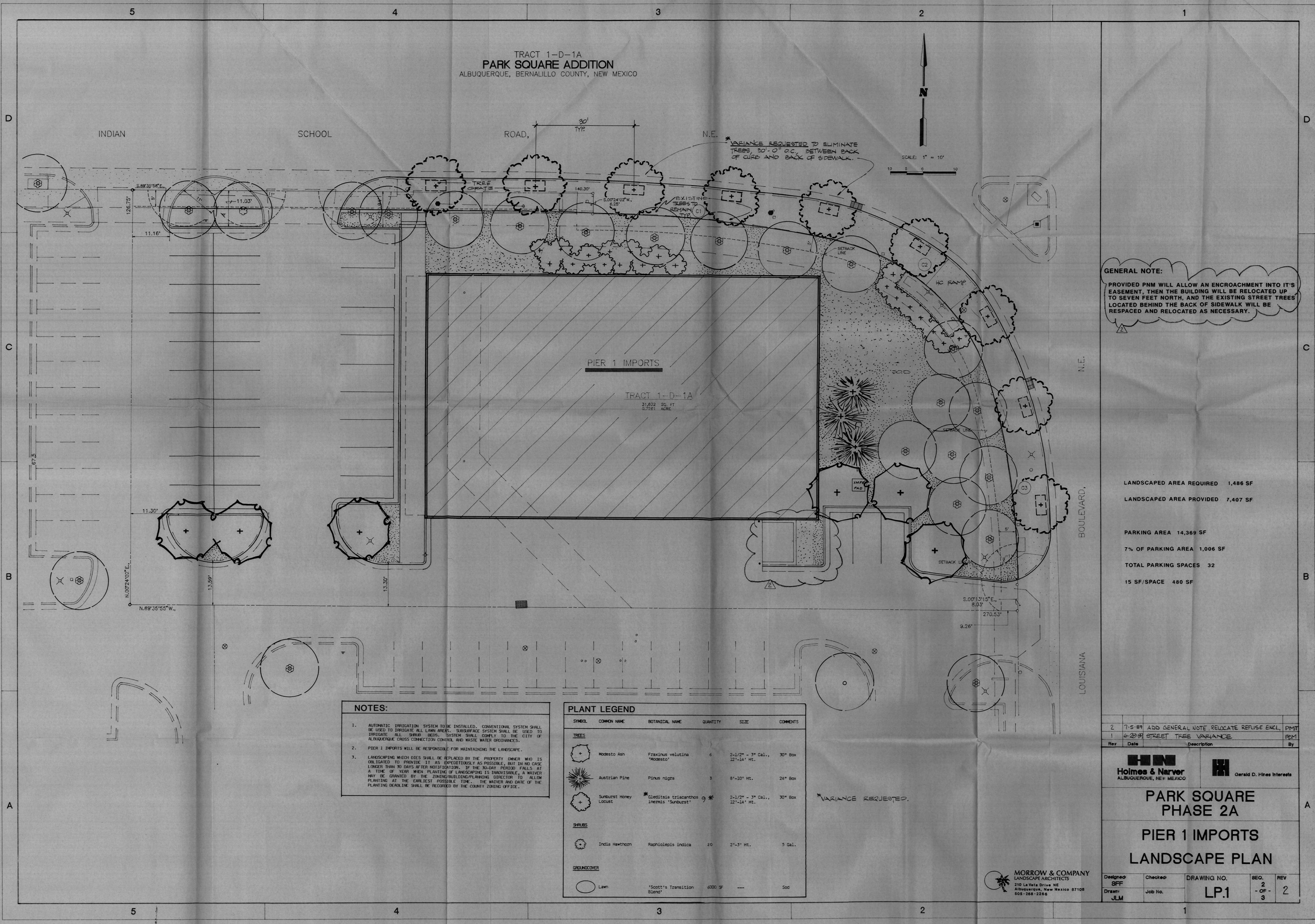
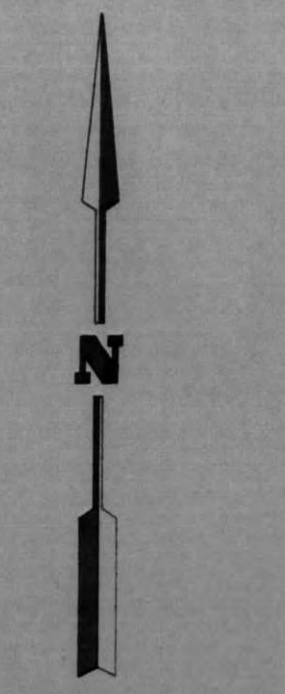
Designed	Checked	DRAWING NO.	SEQ.	REV.
BFF	JLM	SDP.1	1	1

GENERAL NOTE:
 PROVIDED PNM WILL ALLOW AN ENCRoACHMENT INTO ITS' EASEMENT, THE BUILDING WILL BE RELOCATED UP TO SEVEN FEET NORTH. A THREE-FOOT WIDE SIDEWALK WILL BE ADDED ALONG THE SOUTH SIDE OF THE BUILDING AND EXTENDED TO LOUISIANA BOULEVARD, AND A THREE-FOOT WIDE SIDEWALK WILL BE ADDED ALONG THE EAST SIDE OF THE BUILDING AND EXTENDED TO INDIAN SCHOOL ROAD.



"FILED" PARK-SQ SITE-2 TERM. "E"

TRACT 1-D-1A
PARK SQUARE ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



GENERAL NOTE:
 PROVIDED PNM WILL ALLOW AN ENCROACHMENT INTO ITS EASEMENT, THEN THE BUILDING WILL BE RELOCATED UP TO SEVEN FEET NORTH, AND THE EXISTING STREET TREES LOCATED BEHIND THE BACK OF SIDEWALK WILL BE RESPACED AND RELOCATED AS NECESSARY.

LANDSCAPED AREA REQUIRED 1,486 SF
 LANDSCAPED AREA PROVIDED 7,407 SF

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 7% OF PARKING AREA 1,006 SF
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 15 SF/SPACE 480 SF

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PLANT LEGEND

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SHRUBS					
	India Hawthorn	Raphiolepis indica	20	2'-3" Ht.	5 Gal.
GROUND COVER					
	Lawn	*Scott's Transition Blend*	6000 SF	---	Sod

*VARIANCE REQUESTED.

2	7-5-89	ADD GENERAL NOTE, RELOCATE REFUSE ENCL.	DMT
1	6-28-89	STREET TREE VARIANCE	BJM
Rev	Date	Description	By

H & N
 Holmes & Narver
 ALBUQUERQUE, NEW MEXICO

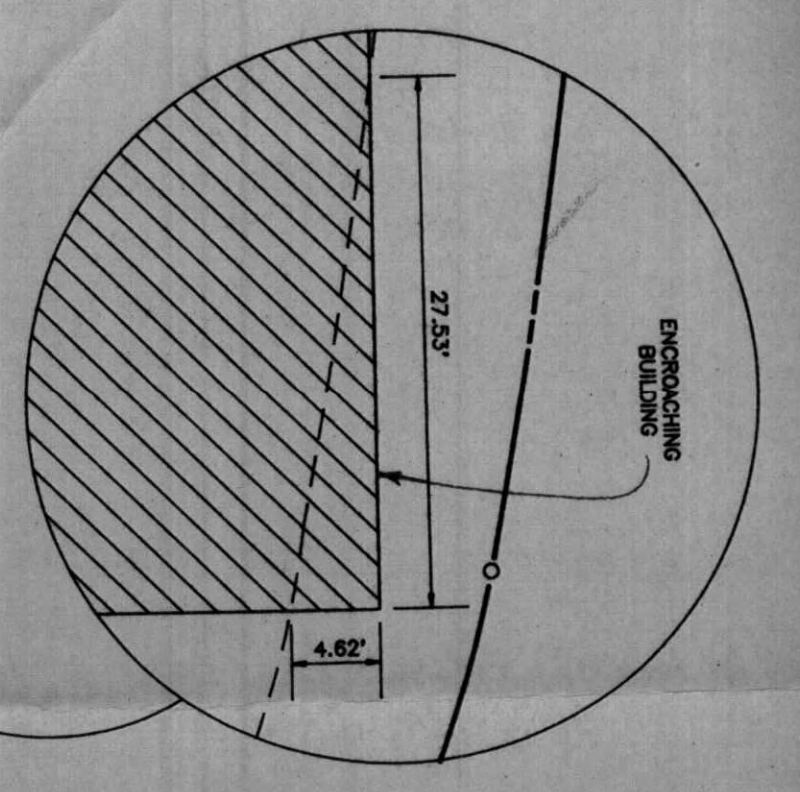
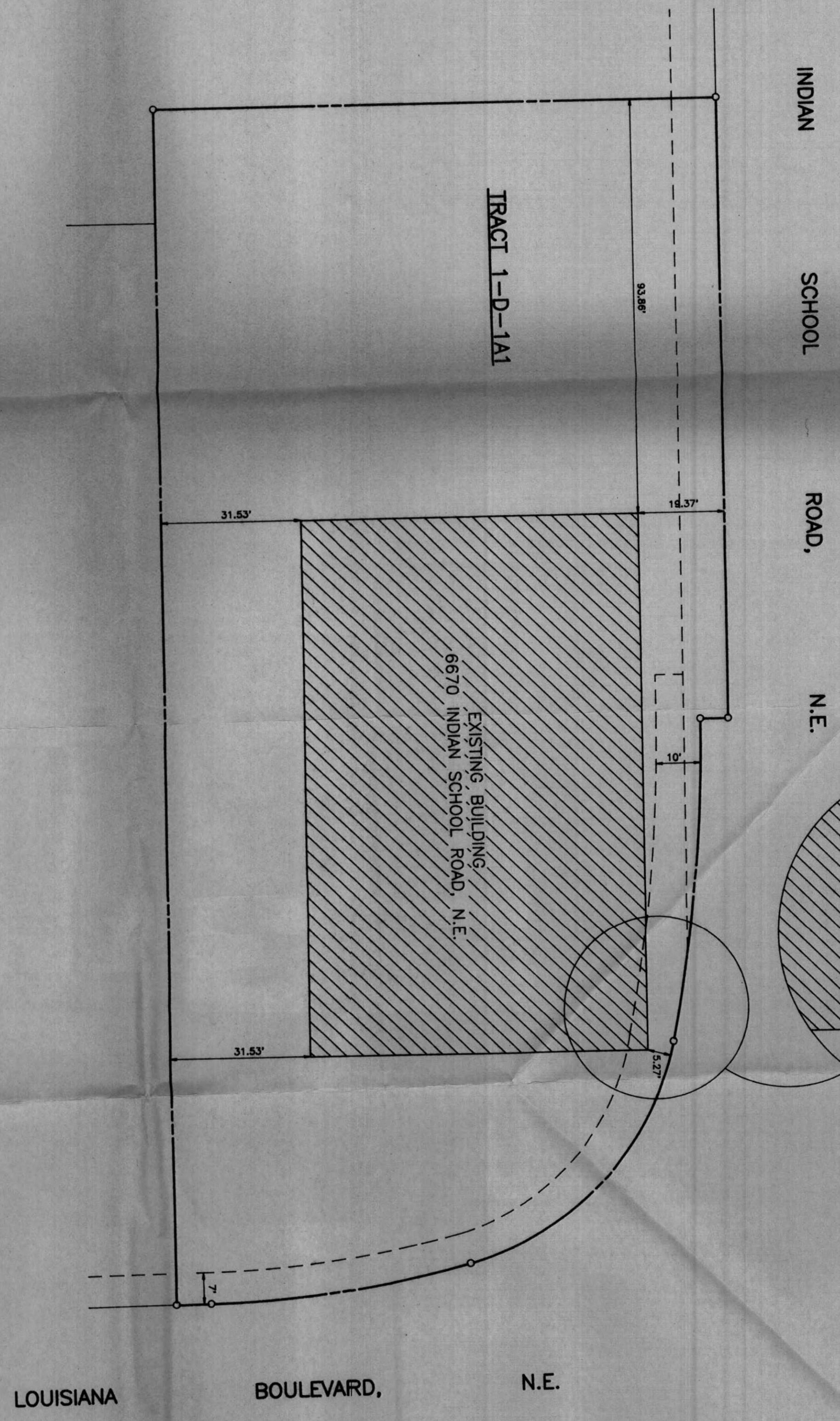
H
 Gerald D. Hines Interests

**PARK SQUARE
 PHASE 2A**

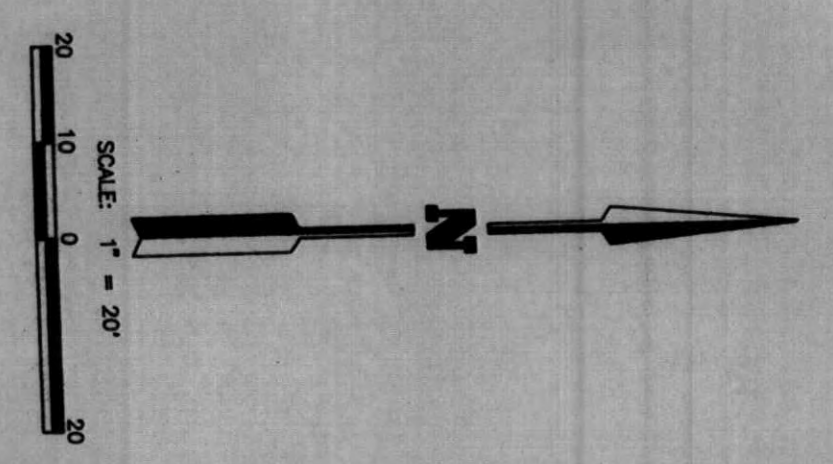
**PIER 1 IMPORTS
 LANDSCAPE PLAN**

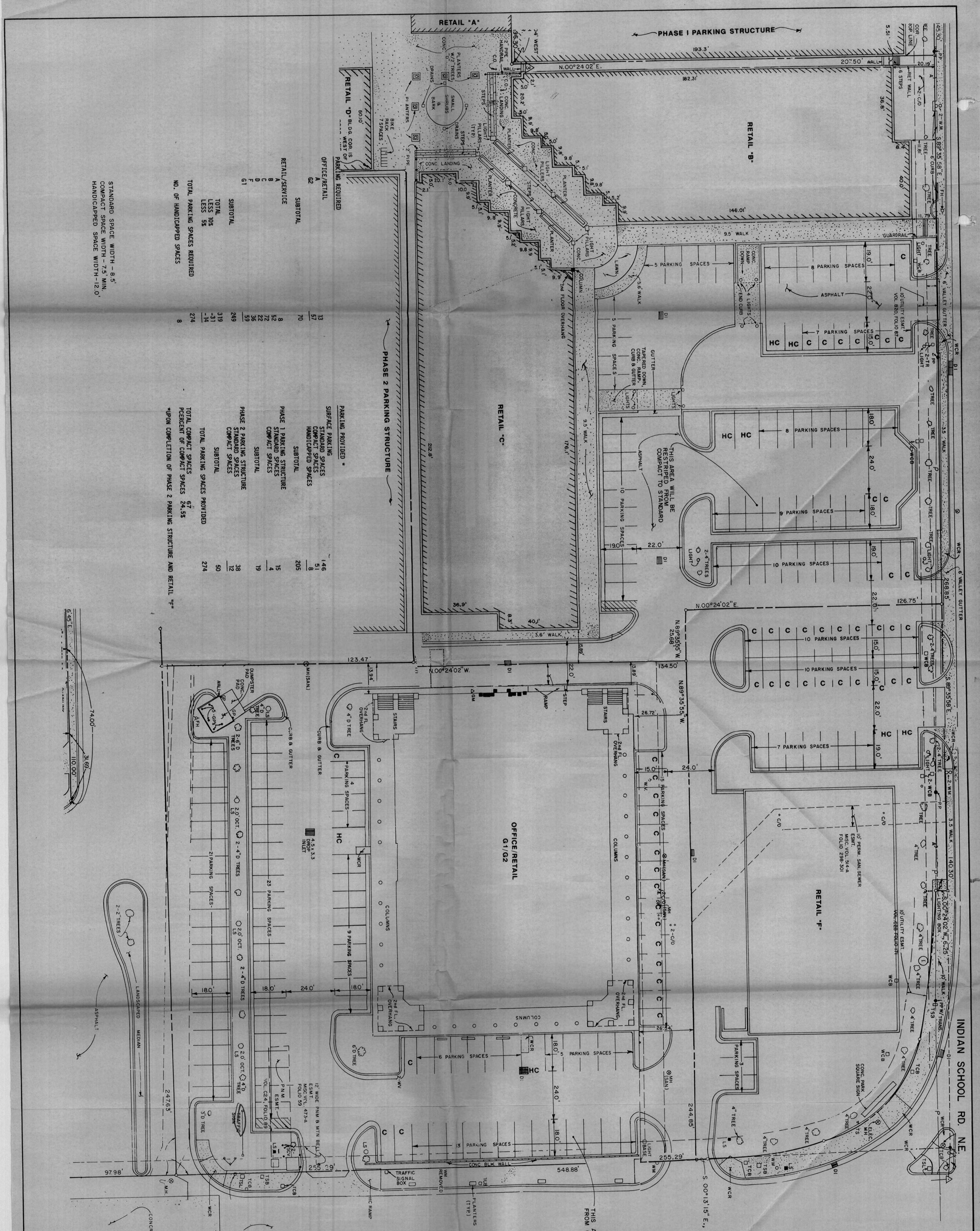
Designed: SFF	Checked: JLM	DRAWING NO. LP.1	SEC. 2	REV 2
Drawn: JLM	Job No.		-OF- 3	

MORROW & COMPANY
 LANDSCAPE ARCHITECTS
 210 La Mesa Drive NE
 Albuquerque, New Mexico 87108
 505-268-2266



TRACT 1-D-1A1
 PARK SQUARE ADDITION
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 1990
 SITE SKETCH





NO. OF HANDICAPPED SPACES

RETAIL/RETAIL	13
OFFICE/RETAIL	57
PHASE 1	70
PHASE 2	8
TOTAL	148
LESS 10%	133
LESS 5%	126
TOTAL	126

PARKING PROVIDED *

PHASE 1	146
PHASE 2	8
TOTAL	154
PHASE 1	154
PHASE 2	8
TOTAL	162

TOTAL PARKING SPACES PROVIDED

PHASE 1	154
PHASE 2	8
TOTAL	162
PHASE 1	154
PHASE 2	8
TOTAL	162

TOTAL COMPACT SPACES

PHASE 1	146
PHASE 2	8
TOTAL	154
PHASE 1	146
PHASE 2	8
TOTAL	154

TOTAL HANDICAPPED SPACES

PHASE 1	146
PHASE 2	8
TOTAL	154
PHASE 1	146
PHASE 2	8
TOTAL	154

Holmes & Narver

RETAIL AREA PARKING PLAN

Drawn: LB
Checked: SFF
Date: 12/15/99
Project: 1974.09

DRAWING NO. RP-1

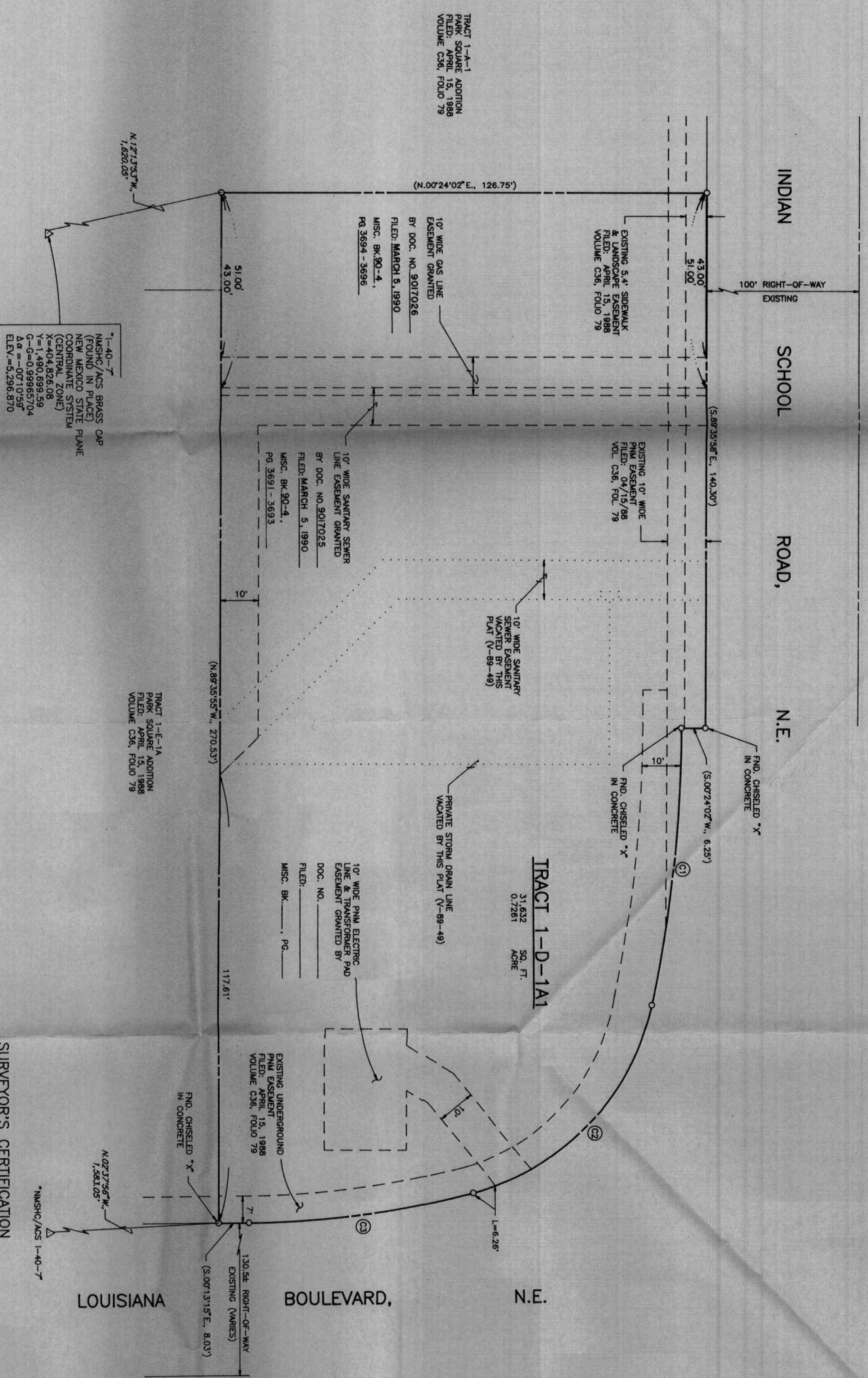
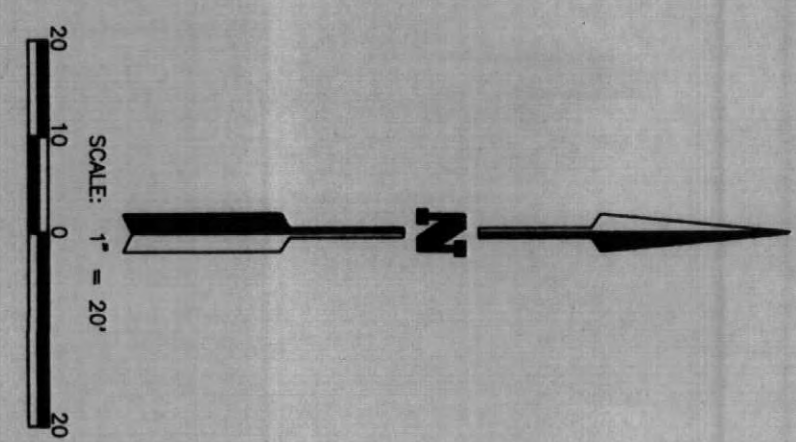
REV. 1

DRB 69-2V3

THIS AREA WILL BE RESTRIPTED FROM COMPACT TO STANDARD.

SCALE: 1" = 20'

PLAT OF
TRACT 1-D-1A1
PARK SQUARE ADDITION
BERNALILLO COUNTY, NEW MEXICO
MARCH 1990



CURVE DATA TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD (BEARING & DISTANCE)
C1	365.80'	73.18'	11°27'47"	S.83°52'04"E. 73.06'
C2	64.50'	71.81'	63°47'15"	S.46°14'34"E. 68.16'
C3	239.50'	59.06'	1°407'41"	S.07°17'05"E. 58.91'

"1-40-7"
NMSHC/ACS BRASS CAP
FOUND IN PLAT
N. 127°13'37"W.
E. 1,820.05'
(CENTRAL ZONE)
X=404,826.08
Y=444,442.93
G=-0.99885704
Δα=-0°07'10.59"
ELEV.=5,296.870

SURVEYOR'S CERTIFICATION

I, FRED SANCHEZ, A DULY QUALIFIED PROFESSIONAL SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST AND THAT THE SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND BERNALILLO COUNTY SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Fred Sanchez
FRED SANCHEZ, N.M.L.S. NO. 4078
REGISTERED PROFESSIONAL SURVEYOR
STATE OF NEW MEXICO
MARCH 27, 1990

Plat & Survey By:
ALBUQUERQUE SURVEYING CO., INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

SHEET 2 OF 2
ASPI DRAWING NO. 21722JMS