



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	<input checked="" type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Vacation of public right of way to the north of three lots, which are currently not being used, nor will be in the foreseeable future		

APPLICATION INFORMATION			
Applicant:	TRB Holdings LLC	Phone:	505-220-1525
Address:	701 Bosque St	Email:	trb607ca@hotmail.com
City:	Tularosa	State:	NM
		Zip:	88352
Professional/Agent (if any):	Tim Borror	Phone:	505-220-1525
Address:	PO Box 52126	Email:	trb607ca@hotmail.com
City:	Albuquerque	State:	NM
		Zip:	87181
Proprietary Interest in Site:	Owner 100%	List <u>all</u> owners:	Timothy Borror, Randall S Borror, TRB Holdings LLC
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:	Parcels (B-1", "B-2", "B-3")	Block:	3
		Unit:	
Subdivision/Addition:	Panorama Addition	MRGCD Map No.:	
		UPC Code:	
Zone Atlas Page(s):	K-22-Z	Existing Zoning:	MX-M
		Proposed Zoning	MX-M
# of Existing Lots:	4	# of Proposed Lots:	1
		Total Area of Site (Acres):	.29
LOCATION OF PROPERTY BY STREETS			
Site Address/Street:	12701/12712/12714 San Jacinto AVE NE	Between:	On Copper, between Tramway and Chelwood
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date:	12/16/20
Printed Name:	Timothy Borror	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY			
Case Numbers	Action	Fees	Case Numbers
Meeting Date:		Fee Total:	
Staff Signature:		Date:	Project #

FORM V: Vacations of Easements or Right-of-way– DRB

Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

VACATION OF RIGHT-OF-WAY – DRB

VACATION OF RIGHT-OF-WAY – COUNCIL

- ___ Interpreter Needed for Meeting? ___ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form V at the front followed by the remaining documents *in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- ___ Copy of the complete document which created the easement(s) (7 copies, folded)
- ___ *Not required for City owned public right-of-way.*
- ___ Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- ___ If easements, list number to be vacated _____
- ___ Square footage to be vacated (see IDO Section 14-16-6-6(M) _____ 3,353 SQ FT
- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K) and DPM 2-9-(E)(3)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ___ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
 - ___ Sign Posting Agreement - IDO Section 14-16-6-6(K)(4) is satisfied

VACATION OF PRIVATE EASEMENT

VACATION OF PUBLIC EASEMENT

- ___ Interpreter Needed for Meeting? ___ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form V at the front followed by the remaining documents *in the order provided on this form.*
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- ___ Letter of authorization from the property owner if application is submitted by an agent
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- ___ Copy of the complete document which created the easement(s) (7 copies, folded)
- ___ Drawing showing the easement to be vacated (7 copies, not to exceed 8.5" by 11")
- ___ List number to be vacated _____
- ___ Proof of Pre-Application meeting

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i>	
Signature:	Date:
Printed Name: Timothy Borrer	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers: _____	Project Number: _____
Staff Signature: _____	
Date: _____	

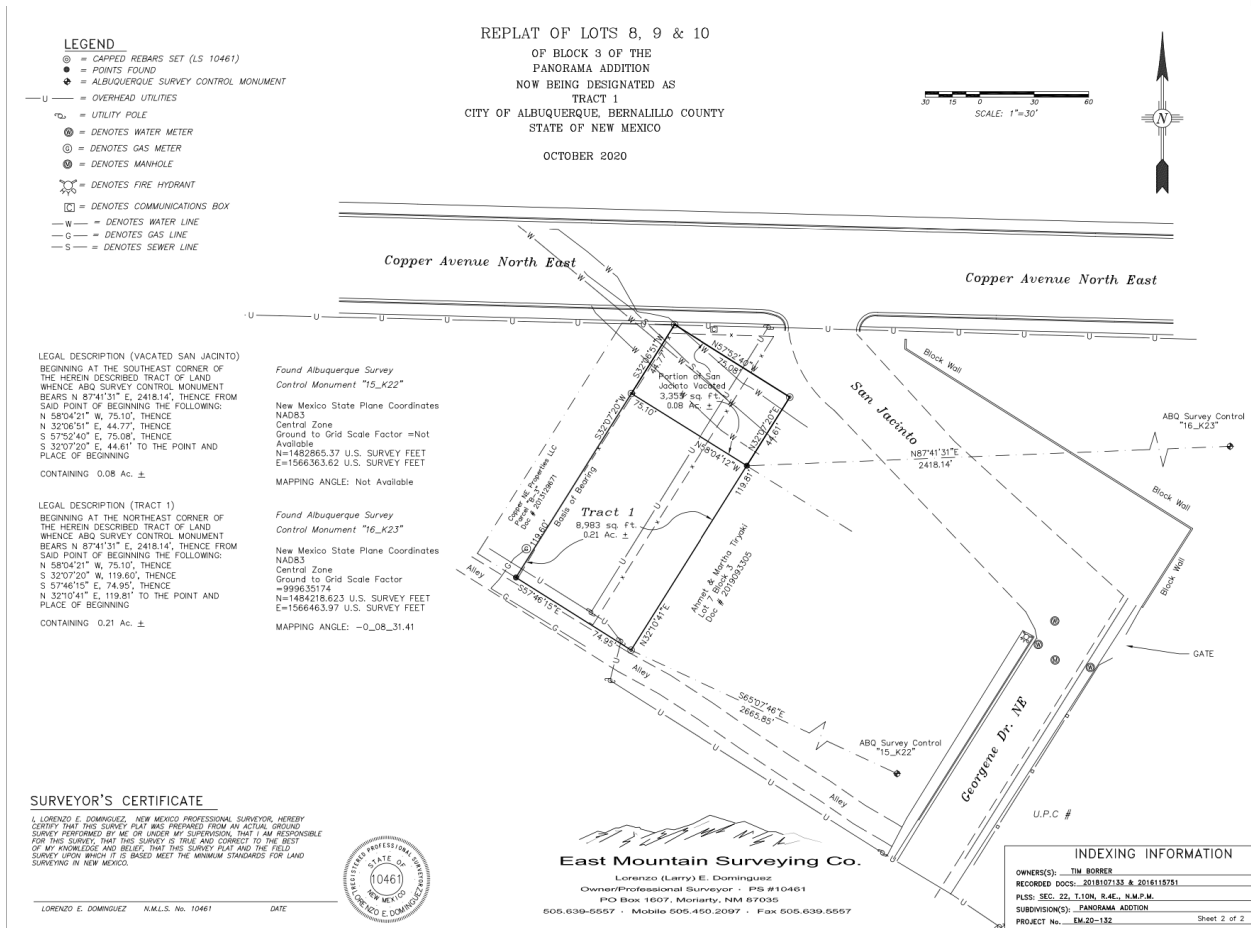
Justification Letter

I would like to vacate the right of way to the north of the 3 lots on San Jacinto (as shown on the survey). The easement is serving no purpose and the properties to the west have had the same easement vacated.

The lots are:

lot #8,9, & 10 in Block numbered 3 Panorama Addition. (12710, 12712, & 12714 San Jacinto AVE NE)

Tim Borrer, MBA
 President
 Sierra Hacienda Builders LLC
 505-220-1525
 trb607ca@hotmail.com



12710 and 12712 San Jacinto AVE NE Public Notice Inquiry



Carmona, Dalaina L. <dlcarmona@cabq.gov>

Tue 11/10/2020 12:12 PM

To: You



Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
East Gateway Coalition	James	Andrews	jamesw.andrews01@gmail.com	13121 Nandina Lane SE	Albuquerque	NM	87123		5052969700
East Gateway Coalition	Michael	Brasher	brasher@aps.edu	216 Zena Lona NE	Albuquerque	NM	87123	5053822964	5052988312

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. **PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

Re: Notice of meeting



Michael Brasher <brasher@aps.edu>

Thu 12/17/2020 1:32 PM

To: You



The East Gateway Coalition is not requesting a meeting.

Thank you.

Michael Brasher

On Wed, Dec 16, 2020 at 4:13 PM Tim Borrer <trb607ca@hotmail.com> wrote:

Hi James and Michael,

We had previously requested a pre-submittal meeting with the HOA, as required and have not heard back from with one. We also wanted to submit the pre-submittal meeting form (attached) to ensure that you had all the proper information

Tim Borrer, MBA
Managing Member
TRB Holdings LLC
505-220-1525

--

Michael Brasher
General Manager
KANW
505-242-7163
2020 Coal Avenue, SE
Albuquerque, NM 87106

[Reply](#) | [Forward](#)

Re: Notice of meeting



Michael Brasher <brasher@aps.edu>

Thu 12/17/2020 1:32 PM

To: You



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Michael Brasher

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Tim Borrer, MBA
Managing Member
TRB Holdings LLC
505-220-1525

--

Michael Brasher
General Manager
KANW
505-242-7163
2020 Coal Avenue, SE

RE: Buffer map



Delgado, Geraldine C. <gdelgado@cabq.gov>

Wed 12/23/2020 7:42 AM

To: You



12710, 12712, 12714 San Jaci...
681 KB

12710, 12712, 12714 San Jaci...
14 KB

12710, 12712, 12714 San Jaci...
8 KB

3 attachments (703 KB) Download all Save all to OneDrive

Good morning Tim,

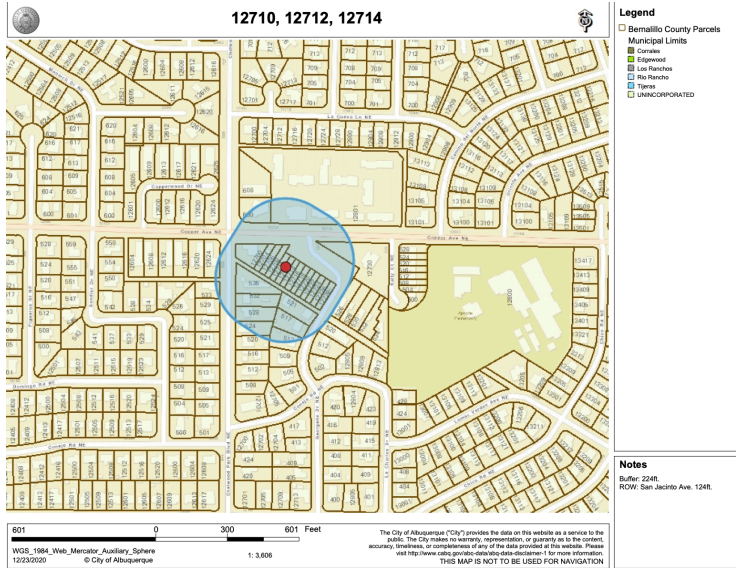
When there is a change of location a new buffer map needs to be created. See attachment for your new buffer map you requested.

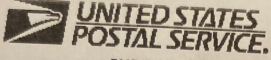
Thank you,



Geraldine Delgado
File Room Coordinator
Office 505.924.3662
Office email gdelgado@cabq.gov
cabq.gov/planning

From: Tim Borrer <trb607ca@hotmail.com>
Sent: Tuesday, December 22, 2020 5:06 PM
To: Delgado, Geraldine C. <gdelgado@cabq.gov>
Subject: Re: Buffer map





FOOTHILLS
13101 LOMAS BLVD NE
ALBUQUERQUE, NM 87123-9998
(800)275-8777

12/16/2020 11:19 AM

Product	Qty	Unit Price	Price
US Flag Bklt/20	1	\$11.00	\$11.00
Grand Total:			\$11.00

Credit Card Remitted \$11.00
 Card Name: VISA
 Account #: XXXXXXXXXXXX9668
 Approval #: 627369
 Transaction #: 455
 AID: A000000031010 Chip
 AL: Visa Credit
 PIN: Not Required

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 Go to: <https://postalexperience.com/Pos>
 or scan this code with your mobile device.



or call 1-800-410-7420.

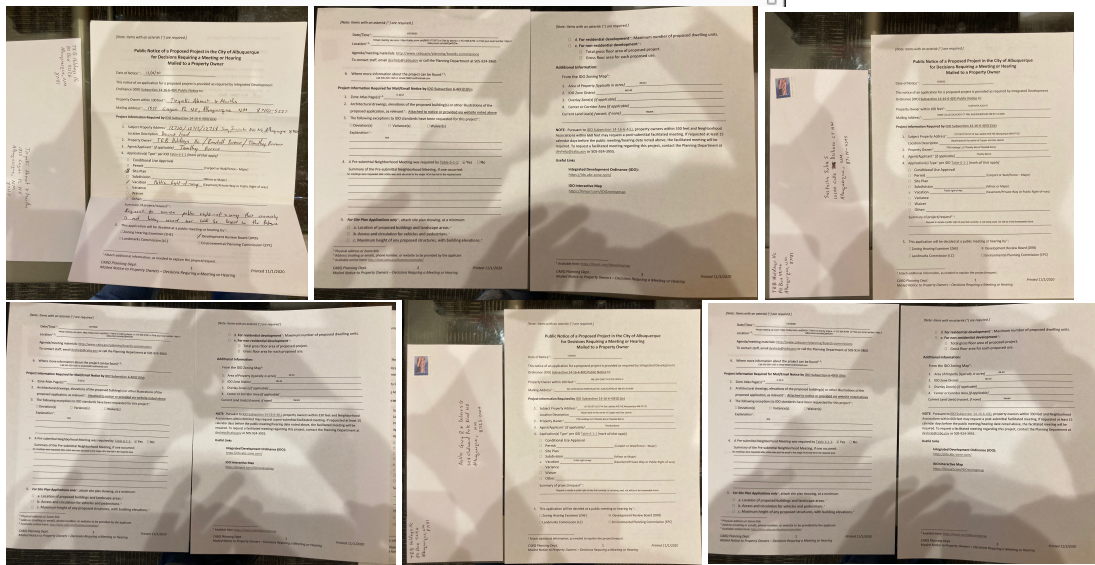
UFN: 340134-0128
 Receipt #: 840-58700336-1-6121504-1
 Clerk: 06

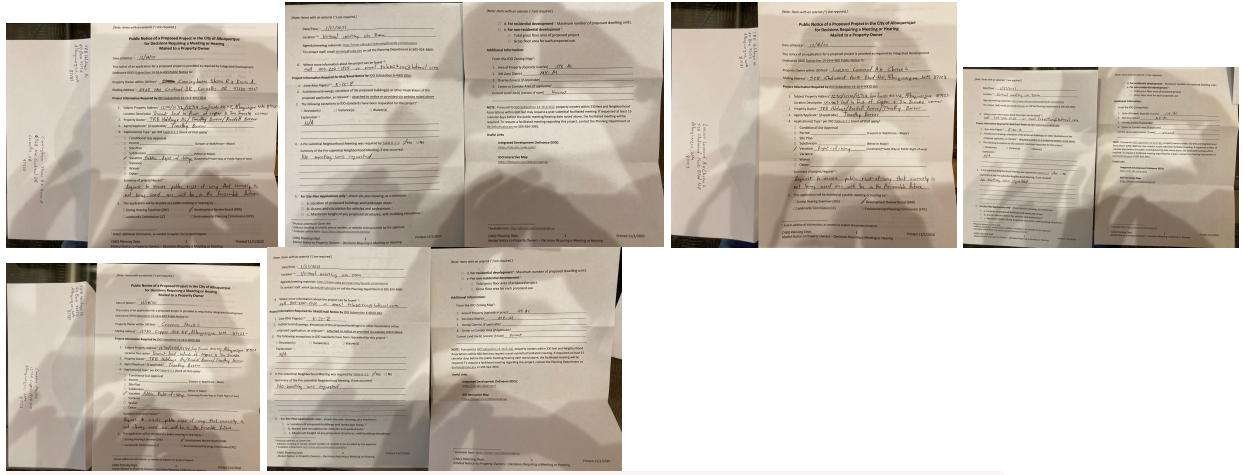
361/005
 Kwanzaa begins
 Boxing Day (Canada)

-873-2551

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 W T F S
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TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227	CRAVENS MARK C 12730 COPPER AVE NE ALBUQUERQUE NM 87123-2027	TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227
MAC LEOD KAREN 520 CHELWOOD PARK BLVD NE ALBUQUERQUE NM 87123-2004	BORROR TIMOTHY R PO BOX 52126 ALBUQUERQUE NM 87181-2126	TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227
LUCERO LEONARD A & CHRIS L 528 CHELWOOD PARK BLVD NE ALBUQUERQUE NM 87123-2004	CINNINGHAM STEVEN R & KAREN A 6968 NW CARDINAL DR CORVALLIS OR 97330-9527	TRB HOLDINGS LLC PO BOX 52126 ALBUQUERQUE NM 87181-2126
ESCARCEGA LORENZO & DOLORES 517 GEORGENE DR NE ALBUQUERQUE NM 87123	PETERS MATTHEW W & KAREN 10509 SAN GABRIEL RD NE ALBUQUERQUE NM 87111-3813	BENDALL DONALD & SANDRA 1921 SAINT ST NE ALBUQUERQUE NM 87112-2714
STOREY JAZMINE 3108 MADEIRA DR NE ALBUQUERQUE NM 87110-1954	TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227	TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227
12700 COPPER LLC PO BOX 50850 ALBUQUERQUE NM 87181-0850	VERMILLION VINCENT FITZEL & NEUMAN NICOLE 12706 COPPER AVE NE ALBUQUERQUE NM 87123-1645	BRIDGER SARAH-ELIZABETH 532 CHELWOOD PARK BLVD NE ALBUQUERQUE NM 87123-2004
ASFAN KHALIL I & EMAN M 1340 SUMMER BREEZE DR NW ALBUQUERQUE NM 87120-3877	COPPER NE PROPERTIES LLC 1211 COPPER AVE NE ALBUQUERQUE NM 87106-4916	SUSTAITA JULIA S 10200 CALLE DICHOSO CT NW ALBUQUERQUE NM 87114-5395
MILLER GARY R & DOLORES G 524 CHELWOOD PARK BLVD NE ALBUQUERQUE NM 87123-2004	FLISS MARTIN 520 GEORGENE DR NE ALBUQUERQUE NM 87123-2071	HERNANDEZ JESUS J & CRISTINA C 6421 LOUISE PL NE ALBUQUERQUE NM 87109-3657
TRB HOLDINGS LLC PO BOX 52126 ALBUQUERQUE NM 87181-2126	TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227	TIRYAKI AHMET & MARTHA 1815 CAGUA PL NE ALBUQUERQUE NM 87110-5227
VISTA GRANDE APARTMENTS LIMITED PARTNERSHIP 901 PENNSYLVANIA ST NE ALBUQUERQUE NM 87110-7403	GASCHLER LOUISE RUTH 533 CHELWOOD PARK BLVD NE ALBUQUERQUE NM 87123	





RE: SIGN POSTING AGREEMENT



Gould, Maggie S. <MGould@cabq.gov>
Tue 12/22/2020 3:01 PM



To: You

It will get filled out with your application
Thank you

From: Tim Borrer <trb607ca@hotmail.com>
Sent: Tuesday, December 22, 2020 2:53 PM
To: Gould, Maggie S. <MGould@cabq.gov>
Subject: Re: SIGN POSTING AGREEMENT

External
Hi Maggie,

Who from the city do I need to get to fill out this form? Apparently, it has to be submitted with the application

Tim Borrer, MBA
President
Sierra Hacienda Builders LLC
505-220-1525

From: Gould, Maggie S. <MGould@cabq.gov>
Sent: Thursday, December 10, 2020 9:51 AM
To: Tim Borrer <trb607ca@hotmail.com>
Subject: