

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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APPROVED BY

\_\_\_\_\_  
DATE



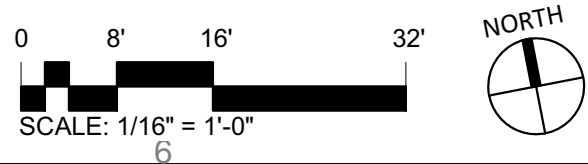
OCCUPANT LOAD CALCS					
USE	AREA	USE TYPE	OCC. LOAD FACTOR	GROSS/NET	TOTAL OCCUPANTS
BREAK AREAS	2,670 SF	A2	15 SF	NET	178
WAITING/CONFERENCE AREAS	1,729 SF	A3	15 SF	NET	115
OFFICES	14,426 SF	B	100 SF	GROSS	144
HALLS/RESTROOMS/MOTHERS ROOM	9,633 SF	B2	100 SF	GROSS	96
MECH/ELEC/STOR/I.T.	2,411 SF	S	300 SF	GROSS	8
TOTAL OCCUPANTS: 541					

PLUMBING FIXTURE SCHEDULE							
	WATER CLOSET		LAVATORIES		DRINKING FOUNTAINS		SERVICE SINKS
A2: BREAK AREAS OL: 178 MALE: 89 FEMALE: 89	FACTOR: MALE: 1/75 FEMALE: 1/75	REQUIRED: MALE: 1.2 FEMALE: 1.2	FACTOR: 1/200	REQUIRED: MALE: 0.4 FEMALE: 0.4	FACTOR: 1/500	REQUIRED 0.4	REQUIRED: 1 SERVICE SINK
A3: WAIT./CONF. OL: 115 MALE: 57.5 FEMALE: 57.5	FACTOR: MALE: 1/125 FEMALE: 1/65	REQUIRED: MALE: 0.5 FEMALE: 0.9	FACTOR: 1/200	REQUIRED: MALE: 0.3 FEMALE: 0.3	FACTOR: 1/500	REQUIRED 0.2	
B: OFFICES/REC. OL: 144 MALE: 72 FEMALE: 72	FACTOR: M&F: 1/25 (FIRST 50) 1/50 (REMAINDER)	REQUIRED: MALE: 2.4 FEMALE: 2.4	FACTOR: M&F: 1/40 (FIRST 80) 1/80 (REMAINDER)	REQUIRED: MALE: 1.8 FEMALE: 1.8	FACTOR: 1/100	REQUIRED 1.4	
B2: HALLS/RR OL: 96 MALE: 48 FEMALE: 48	FACTOR: M&F: 1/25 (FIRST 50) 1/50 (REMAINDER)	REQUIRED: MALE: 1.9 FEMALE: 1.9	FACTOR: M&F: 1/40 (FIRST 80) 1/80 (REMAINDER)	REQUIRED: MALE: 1.2 FEMALE: 1.2	FACTOR: 1/100	REQUIRED 1	
S: STOR/MECH/I.T. OL: 8	FACTOR: 1/100	REQUIRED: 0.1	FACTOR: 1/100	REQUIRED: 0.1	FACTOR: 1/1000	REQUIRED 0.0	
	REQUIRED: MALE: 6, FEMALE: 6 PROVIDED: MALE: 6, FEMALE: 7		REQUIRED: MALE: 4, FEMALE: 4 PROVIDED: MALE: 4, FEMALE: 4		REQUIRED: 3 PROVIDED: 4		REQUIRED: 1 PROVIDED: 1

CODE DATA ANALYSIS	
I.	<b>APPLICABLE BUILDING CODES AND REGULATIONS</b> 2015 NEW MEXICO COMMERCIAL BUILDING CODE (2015 IBC, AMENDED) 2015 NEW MEXICO MECHANICAL CODE (AS AMENDED BY UAC) 2015 NEW MEXICO PLUMBING CODE (AS AMENDED BY UAC) 2018 NEW MEXICO ENERGY CONSERVATION CODE 2015 NEW MEXICO EXISTING BUILDING CODE 2015 NEW MEXICO ELECTRICAL CODE 2015 INTERNATIONAL FIRE CODE ANSI 117.1, 2009 EDITION
II.	<b>CLASSIFICATION OF WORK PER IBC, CHAPTER 5 CLASSIFICATION OF WORK</b> PER IBC 2015 - ALTERATION LEVEL 2: WORK AREA EXCEEDS MORE THAN 50% OF THE BUILDING AREA.
III.	<b>OCCUPANCY CLASSIFICATION PER IBC CHAPTER 3</b> B - BUSINESS (OFFICES AND WORK SPACES)
IV.	<b>CONSTRUCTION TYPE (IBC CHAPTER 6)</b> IIB - FULLY SPRINKLERED
V.	<b>ALLOWABLE AREA FACTOR (PER IBC 2015 TABLE 506.2)</b> TOTAL BUILDING OCCUPANCY TYPE IS B - BUSINESS ALLOWABLE AREA FACTOR FOR OCCUPANCY B AND TYPE IIB CONSTRUCTION, SPRINKLERED - 92,000 SF TOTAL WORK AREA: 29,560 SF - THEREFORE COMPLIANT
VI.	<b>INTERIOR WALL AND CEILING FINISH REQUIREMENTS (PER IBC TABLE 803.1.1)</b> FOR SPRINKLERED OCCUPANCY TYPE B: CLASS B FINISHES REQUIRED FOR EXIT PASSAGEWAYS, CLASS C FOR ENCLOSED SPACES FOR SPRINKLERED OCCUPANCY TYPE S: CLASS C FINISHES REQUIRED  TYPE "X" GYPSUM BOARD FOR CEILINGS AND WALLS MEETS THE CLASS B AND C REQUIREMENTS, THEREFORE COMPLIANT (REFER TO WALL TYPES ON G-003)
VII.	<b>SEISMIC DESIGN CATEGORY: D</b>
VIII.	<b>MEANS OF EGRESS: REFER TO PLAN ON THIS SHEET</b> EXIT ACCESS AND TRAVEL DISTANCE PER 1017.2 (WITH SPRINKLER SYSTEM): 300' MAX., PROVIDED 191' MAX, THEREFORE COMPLIANT. MINIMUM NUMBER OF EXITS PER 1006.3.1: 2 REQUIRED, 5 PROVIDED, THEREFORE COMPLIANT.
IX.	<b>PLUMBING FIXTURE CALCULATIONS:</b> REFER TO PLUMBING FIXTURE TABLE ON THIS SHEET.



① CODE ANALYSIS  
1/16" = 1'-0"



IMPROVE GROUP  
AS/GRIDWORKS RENOVATION  
3900 SINGER BLVD NE  
ALBUQUERQUE, NM 87109

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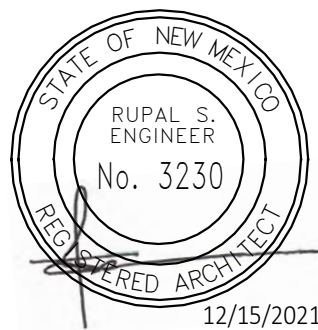
SHEET TITLE

CODE  
ANALYSIS

G-002

2415 PRINCETON DR. NE, SUITE E  
ALBUQUERQUE, NM 87107  
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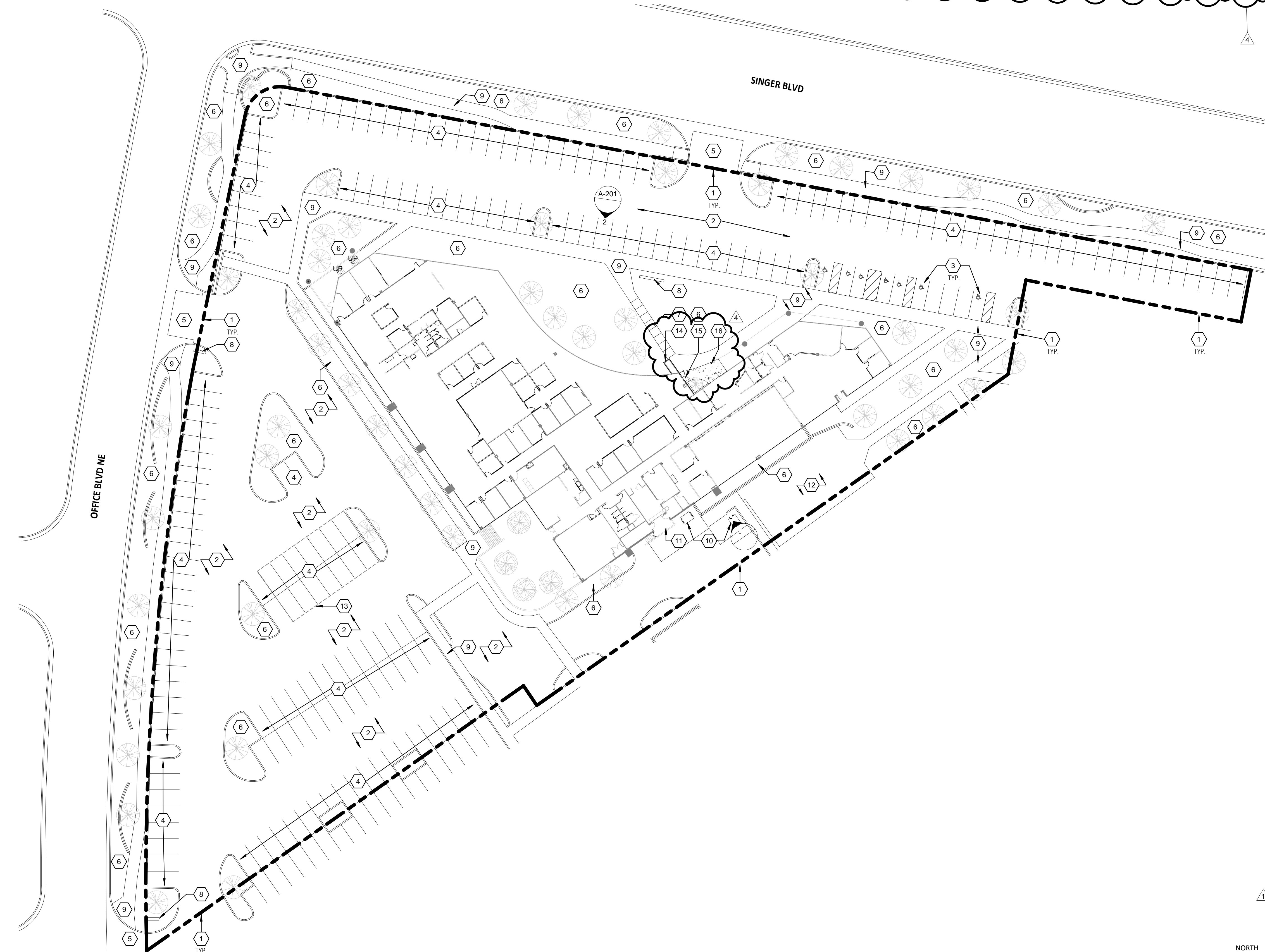
DATE: 6/23/2022	
REVISIONS	
1	2/1/2022
4	7/13/2022

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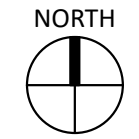
NEW SITE  
PLAN

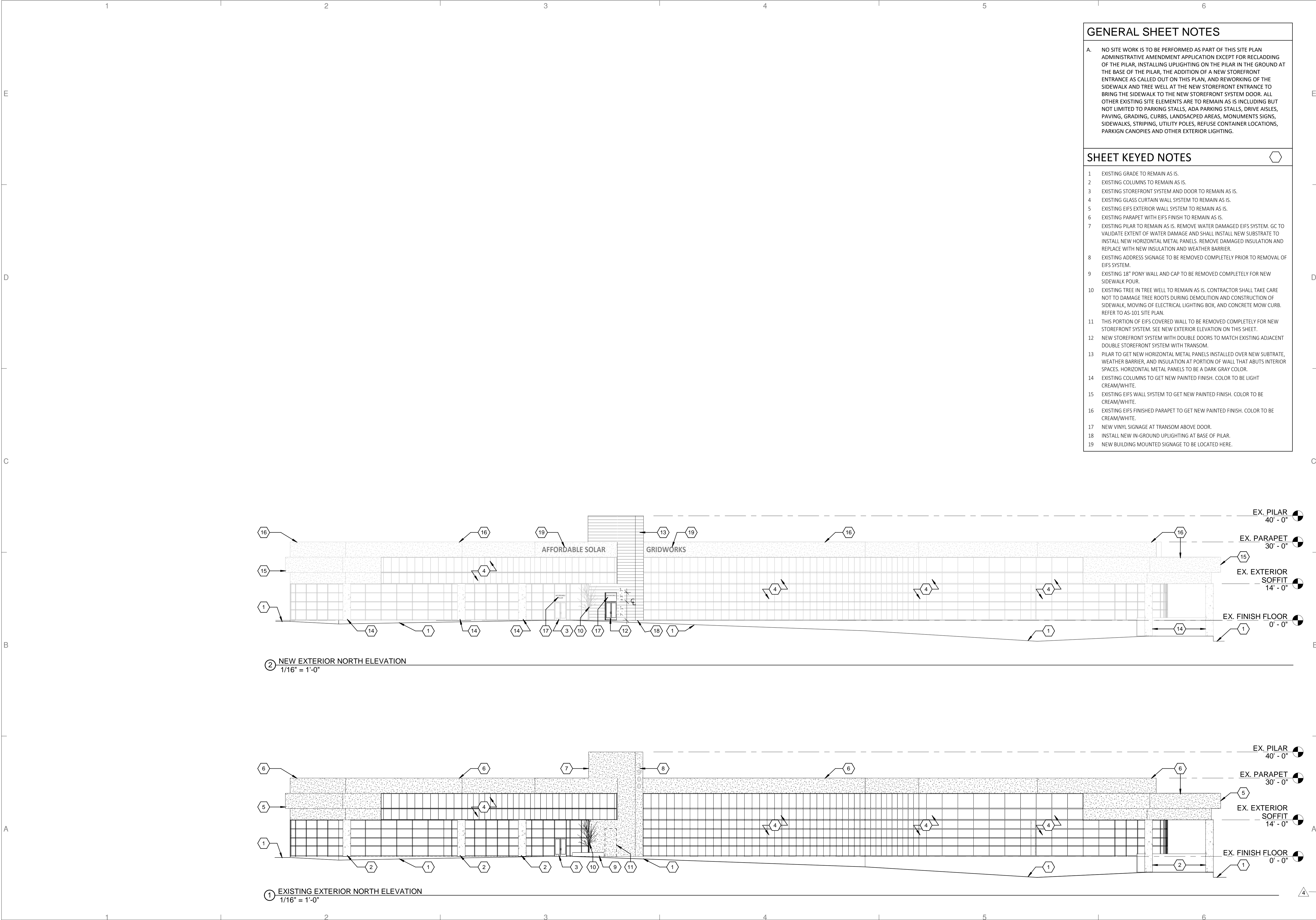
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AS-101



① EXISTING SITE PLAN  
1/32" = 1'-0"





GENERAL SHEET NOTES

A. NO SITE WORK IS TO BE PERFORMED AS PART OF THIS SITE PLAN ADMINISTRATIVE AMENDMENT APPLICATION EXCEPT FOR RECLADDING OF THE PILAR, INSTALLING UPLIGHTING ON THE PILAR IN THE GROUND AT THE BASE OF THE PILAR, THE ADDITION OF A NEW STOREFRONT ENTRANCE AS CALLED OUT ON THIS PLAN, AND REWORKING OF THE SIDEWALK AND TREE WELL AT THE NEW STOREFRONT ENTRANCE TO BRING THE SIDEWALK TO THE NEW STOREFRONT SYSTEM DOOR. ALL OTHER EXISTING SITE ELEMENTS ARE TO REMAIN AS IS INCLUDING BUT NOT LIMITED TO PARKING STALLS, ADA PARKING STALLS, DRIVE AISLES, PAVING, GRADING, CURBS, LANDSCAPED AREAS, MONUMENTS SIGNS, SIDEWALKS, STRIPING, UTILITY POLES, REFUSE CONTAINER LOCATIONS, PARKIGN CANOPIES AND OTHER EXTERIOR LIGHTING.

SHEET KEYED NOTES

- EXISTING GRADE TO REMAIN AS IS.
- EXISTING COLUMNS TO REMAIN AS IS.
- EXISTING STOREFRONT SYSTEM AND DOOR TO REMAIN AS IS.
- EXISTING GLASS CURTAIN WALL SYSTEM TO REMAIN AS IS.
- EXISTING EIFS EXTERIOR WALL SYSTEM TO REMAIN AS IS.
- EXISTING PARAPET WITH EIFS FINISH TO REMAIN AS IS.
- EXISTING PILAR TO REMAIN AS IS. REMOVE WATER DAMAGED EIFS SYSTEM. GC TO VALIDATE EXTENT OF WATER DAMAGE AND SHALL INSTALL NEW SUBSTRATE TO INSTALL NEW HORIZONTAL METAL PANELS. REMOVE DAMAGED INSULATION AND REPLACE WITH NEW INSULATION AND WEATHER BARRIER.
- EXISTING ADDRESS SIGNAGE TO BE REMOVED COMPLETELY PRIOR TO REMOVAL OF EIFS SYSTEM.
- EXISTING 18" PONY WALL AND CAP TO BE REMOVED COMPLETELY FOR NEW SIDEWALK POUR.
- EXISTING TREE IN TREE WELL TO REMAIN AS IS. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE TREE ROOTS DURING DEMOLITION AND CONSTRUCTION OF SIDEWALK, MOVING OF ELECTRICAL LIGHTING BOX, AND CONCRETE MOW CURB. REFER TO AS-101 SITE PLAN.
- THIS PORTION OF EIFS COVERED WALL TO BE REMOVED COMPLETELY FOR NEW STOREFRONT SYSTEM. SEE NEW EXTERIOR ELEVATION ON THIS SHEET.
- NEW STOREFRONT SYSTEM WITH DOUBLE DOORS TO MATCH EXISTING ADJACENT DOUBLE STOREFRONT SYSTEM WITH TRANSOM.
- PILAR TO GET NEW HORIZONTAL METAL PANELS INSTALLED OVER NEW SUBSTRATE, WEATHER BARRIER, AND INSULATION AT PORTION OF WALL THAT ABUTS INTERIOR SPACES. HORIZONTAL METAL PANELS TO BE A DARK GRAY COLOR.
- EXISTING COLUMNS TO GET NEW PAINTED FINISH. COLOR TO BE LIGHT CREAM/WHITE.
- EXISTING EIFS WALL SYSTEM TO GET NEW PAINTED FINISH. COLOR TO BE CREAM/WHITE.
- EXISTING EIFS FINISHED PARAPET TO GET NEW PAINTED FINISH. COLOR TO BE CREAM/WHITE.
- NEW VINYL SIGNAGE AT TRANSOM ABOVE DOOR.
- INSTALL NEW IN-GROUND UPLIGHTING AT BASE OF PILAR.
- NEW BUILDING MOUNTED SIGNAGE TO BE LOCATED HERE.

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DESIGN PLUS LLC

STATE OF NEW MEXICO  
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No. 3230  
REGISTERED ARCHITECT  
7/14/2022

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ALBUQUERQUE, NM 87109

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4	7/13/2022

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EXTERIOR  
ELEVATIONS  
A-201