

Bricklight Courtyards-DRB Submittal

PROJECT DATA

LEGAL DESCRIPTION:
LOTS 6,7,8,9,10,16,17,18,19,20,21, BLOCK 1, UNIVERSITY HEIGHTS

ACREAGE:
LOT 6 = .16 ACRES
LOT 7 = .16 ACRES
LOT 8 = .16 ACRES
LOT 9 = .16 ACRES
LOT 10 = .16 ACRES
LOT 16 = .16 ACRES
LOT 17 = .16 ACRES
LOT 18 = .16 ACRES
LOT 19 = .16 ACRES
LOT 20 = .16 ACRES
LOT 21 = .16 ACRES
TOTAL = 1.76 ACRES

PROPOSED BUILDING AREAS:

BUILDING A:
FIRST FLOOR: 1,200 SF. RETAIL
1,200 SF. RESIDENTIAL
SECOND FLOOR: 2,050 SF. RESIDENTIAL
TOTAL: 4,450 SF.

BUILDING B:
FIRST FLOOR: 2,400 SF. RETAIL
3,800 SF. RESIDENTIAL
SECOND FLOOR: 5,600 SF. RESIDENTIAL
THIRD FLOOR: 4,700 SF. RESIDENTIAL
TOTAL: 16,500 SF.

BUILDING C:
FIRST FLOOR: 2,400 SF. RETAIL
3,800 SF. RESIDENTIAL
SECOND FLOOR: 5,600 SF. RESIDENTIAL
THIRD FLOOR: 4,700 SF. RESIDENTIAL
TOTAL: 16,500 SF.

BUILDING D:
FIRST FLOOR: 1,200 SF. RETAIL
1,200 SF. RESIDENTIAL
SECOND FLOOR: 2,050 SF. RESIDENTIAL
TOTAL: 4,450 SF.

TOTAL DEVELOPMENT: 44,300 SF. (INCLUDING STAIRS)

PARKING CALCULATIONS:

PARKING REQUIRED:
7,200 SF. RETAIL
1 PER 300 SF. PER UC ZONE
7,200/300 = 24 SPACES REQUIRED

34,700 SF. RESIDENTIAL UNITS
1 PER 600 SF. PER R3C ZONE
33,400/600 = 56 SPACES REQUIRED

80 TOTAL SPACES REQUIRED
LESS 10% REDUCTION AS PROJECT IS WITHIN 300' OF TRANSIT ROUTE = 72 SPACES REQUIRED

PARKING PROVIDED:
26 SPACES ARE PROVIDED OFF OF ALLEY.
LOTS 17,18,19,20.

46 SPACES PROVIDED AND DESIGNATED IN ADJACENT PARKING LOT. LOTS 6,7,8,9,10.

72 TOTAL SPACES PROVIDED

ADDITIONAL REQUIREMENTS:
4 HC ACCESSIBLE SPACES AND 3 MOTORCYCLE SPACES REQUIRED PER C.O.A. REQUIREMENTS.

4 HC ACCESSIBLE SPACES PROVIDED OFF OF ALLEY.
7 MOTORCYCLE SPACES PROVIDED IN ADJACENT LOT.

BICYCLE PARKING CALCULATIONS:

BICYCLE PARKING REQUIRED:
RETAIL = 4 SPACES REQUIRED
RESIDENTIAL = 23 SPACES REQUIRED
TOTAL = 28 SPACES REQUIRED

BICYCLE PARKING PROVIDED:
RETAIL = 18 SPACES PROVIDED (3 RACK)
RESIDENTIAL = 24 SPACES PROVIDED (4 RACKS)
TOTAL = 42 SPACES PROVIDED

OPEN SPACE CALCULATIONS:

200 SF. PER EFFICIENCY OR 1 BEDROOM
PER SU-1 ZONING REGULATIONS.

46 RESIDENTIAL UNITS x 200 = 9200 SF. OPEN SPACE REQUIRED

COURTYARDS = 8900 SF.
BALCONIES = 2160 SF.
TOTAL = 11060 SF. OPEN SPACE PROVIDED

SHEET LIST

G101 TITLE SHEET
A001 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
L001 CONCEPTUAL LANDSCAPE PLAN
C001 NOTES AND DRAINAGE INFORMATION
C002 EXISTING GRADING AND DRAINAGE PLAN
C003 GRADING AND DRAINAGE PLAN
C004 SITE UTILITY PLAN
A401 OVERALL EXTERIOR ELEVATIONS
A402 ENLARGED EXTERIOR ELEVATIONS

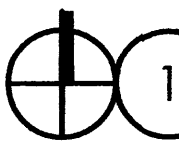
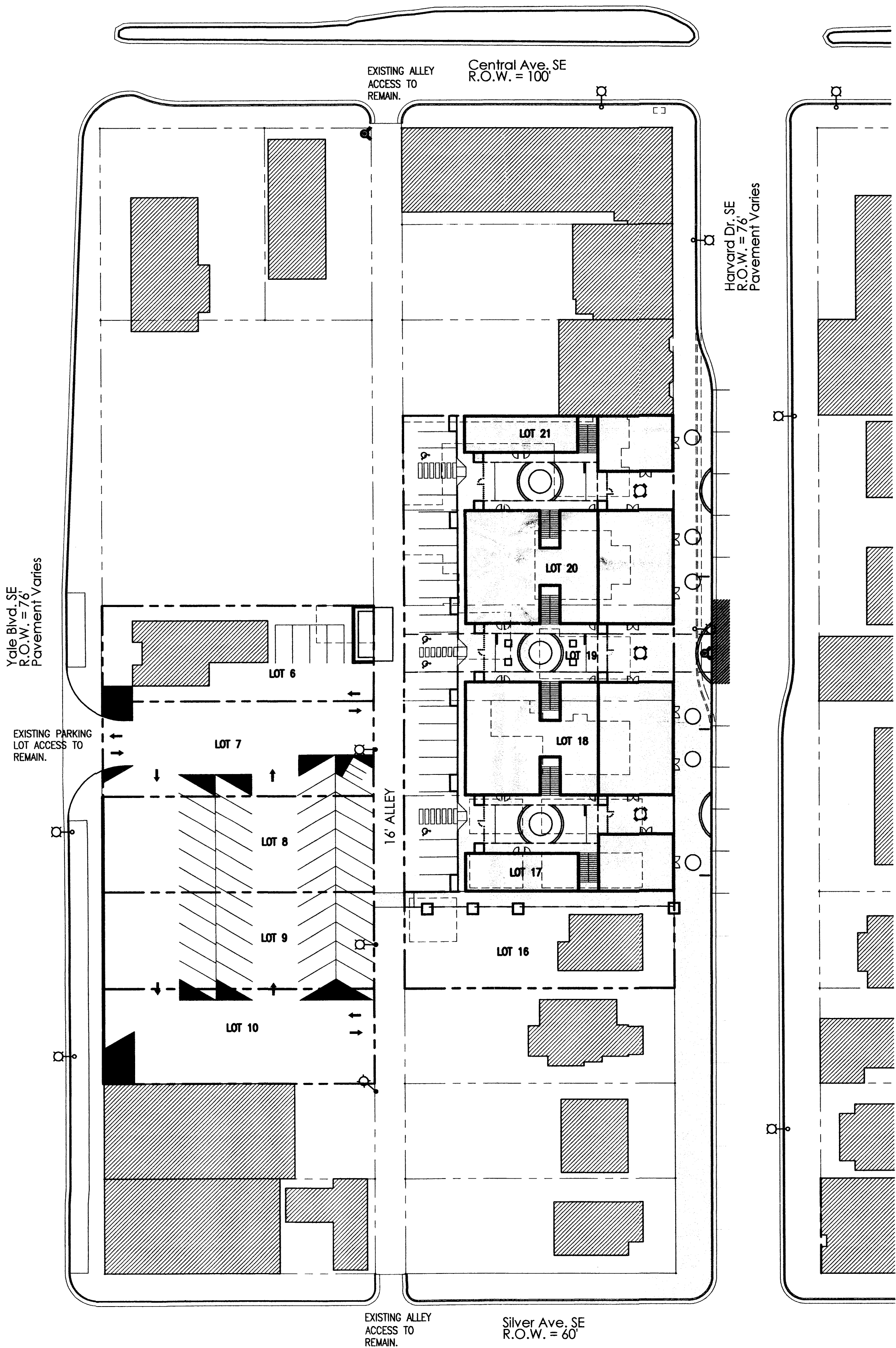
REQUESTED ZONING

ZONE CHANGE FROM SU-2/UC AND SU-2/R-3-C TO SU-2/SU-1 FOR A MIXED USE PROJECT INCLUDING A 46 DWELLING UNIT COURTYARD DEVELOPMENT AND 7,200 SQUARE FEET FOR COMMERCIAL USE, AND A SECTOR PLAN AMENDMENT TO THE ZONING MAP FROM UC AND R3C TO SU-1 FOR MIXED USE.

PERMISSIVE COMMERCIAL USES INCLUDE:

- MULTIPLE-FAMILY DWELLINGS, NOT TO EXCEED A TOTAL OF 46 DWELLING UNITS.
- CHURCH OR OTHER PLACE OF WORSHIP, INCLUDING INCIDENTAL RECREATIONAL AND EDUCATIONAL FACILITIES.
- LIBRARY.
- OFFICE.
- OFFICE MACHINES AND EQUIPMENT SALES AND REPAIR.
- RETAIL SALES OF THE FOLLOWING GOODS, PLUS INCIDENTAL RETAILING OF RELATED GOODS AND INCIDENTAL SERVICE OR REPAIR:
 - ARTS AND CRAFTS OBJECTS, SUPPLIES, PLUS THEIR INCIDENTAL CREATION PROVIDED THERE IS LITTLE OR NO REPRODUCTION OF SUBSTANTIALLY IDENTICAL OBJECTS.
 - BOOKS, MAGAZINES, NEWSPAPERS, STATIONERY, PROVIDED THAT NO SUCH MATERIAL IS ADVERTISED TO BE FORBIDDEN TO BE SOLD TO MINORS.
 - CLOTHING, SHOES, DRY GOODS.
 - COSMETICS, NOTIONS, HOBBY SUPPLIES.
 - DRUGS, MEDICAL SUPPLIES.
 - FLOWERS AND PLANTS, INCLUDING MINOR AND INCIDENTAL OUTDOOR SALES.
 - RESTAURANTS, WITH OR WITHOUT BEER AND WINE PROVIDED:
 - THERE SHALL BE NO DRIVE-IN RESTAURANT OR DRIVE-UP WINDOW; AND,
 - THE RETAILING OF ALCOHOLIC DRINKS, INCLUDING BEER AND WINE, FOR ON OR OFF PREMISE CONSUMPTION, WITHIN 500 FEET OF A COMMUNITY RESIDENTIAL PROGRAM OR HOSPITAL FOR TREATMENT OF SUBSTANCE ABUSERS, IS PROHIBITED.
 - FURNITURE, HOUSEHOLD FURNISHINGS, AND APPLIANCES.
 - JEWELRY.
 - BICYCLE SALES. REPAIR IS ALLOWED AS AN ACCESSORY USE TO SALES PROVIDED ALL REPAIR ACTIVITIES, INCLUDING TEMPORARY STORAGE, ARE DONE WITHIN A COMPLETELY ENCLOSED BUILDING.
 - GAMES, INCLUDING COMPUTER AND VIDEO GAMES. (RETAIL SALES ONLY, NO ARCADES).
 - MUSICAL INSTRUMENTS AND SUPPLIES.
 - PHOTOGRAPH EQUIPMENT.
 - SPORTING GOODS.
- SERVICES:
 - WALK-UP AUTOMATIC TELLER MACHINES (ATM'S).
 - BARBER, BEAUTY.
 - DAY CARE CENTER.
 - DRY CLEANING STATION (NO PROCESSING), SELF SERVICE LAUNDRY.
 - HEALTH GYMNASIUMS.
 - INSTRUCTION IN MUSIC, DANCE, FINE ARTS, CRAFTS, MODELING.
 - INTERIOR DECORATING.
 - PET GROOMING.
 - PHOTOGRAPHY, PHOTOCOPY, EXCEPT ADULT PHOTO STUDIO.
 - REPAIR OF SHOES, HOUSEHOLD EQUIPMENT.
 - TAILORING, DRESSMAKING.
 - PARKING LOT.

THERE ARE NO CONDITIONAL COMMERCIAL USES PERMITTED WITH THIS REQUEST.



Overall Site Plan for Building Permit
Scale: 1"= 40'-0"

rev	by	date
1		
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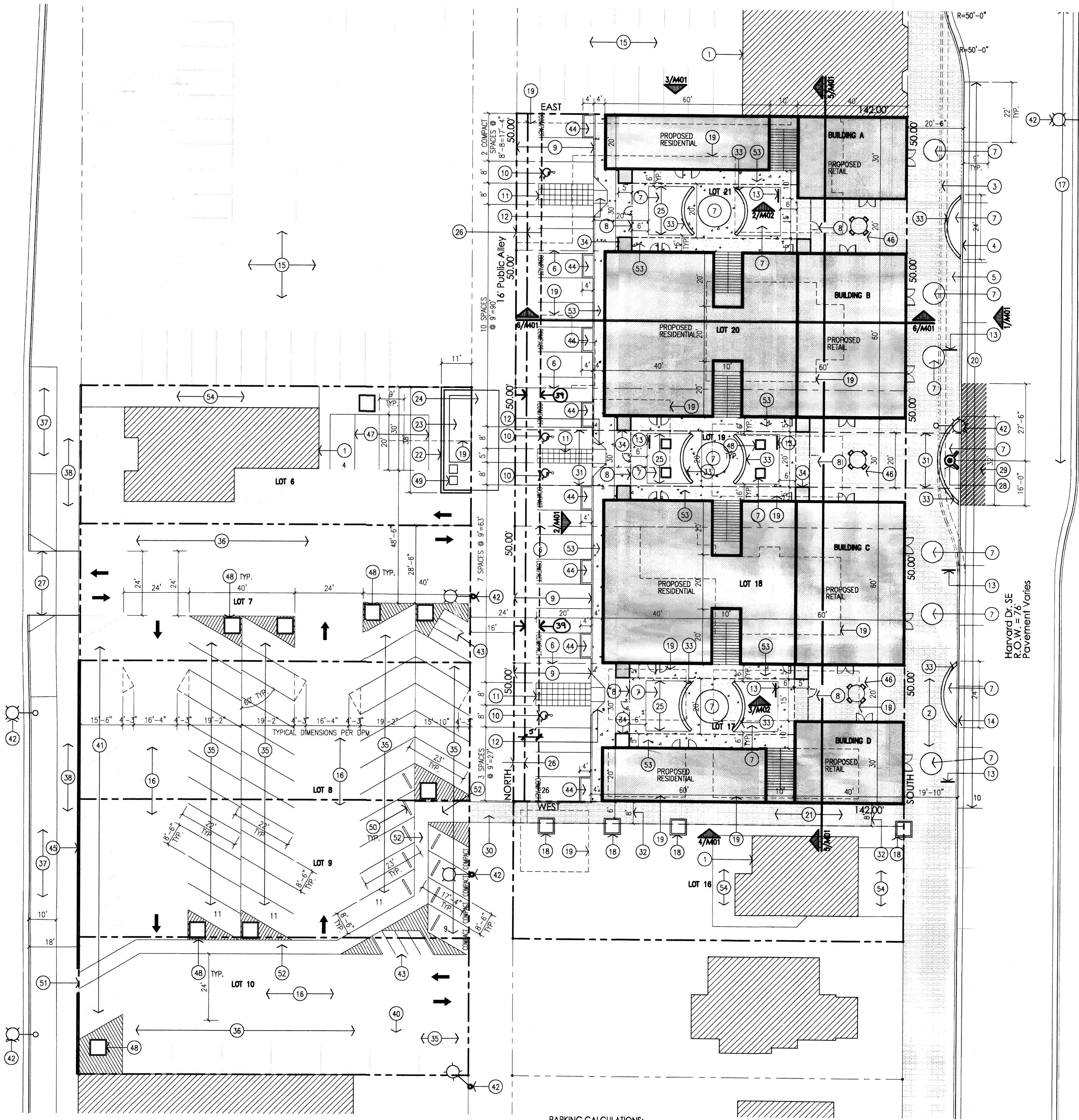
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job number	06-13
drawn by	MAG
project manager	Douglas Heller, AIA
date	11/14/06

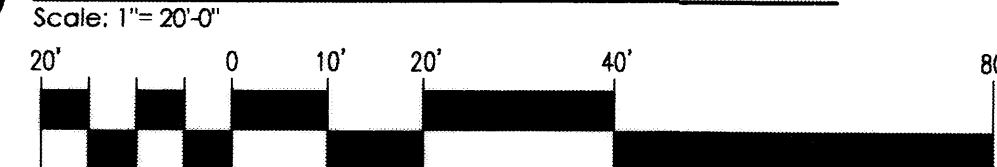
project title
Bricklight Courtyards
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico

sheet title
Title Sheet

sheet
G101



1 Site Plan for Building Permit



PARKING CALCULATIONS:

PARKING REQUIRED:
7,200 SF. RETAIL
1 PER 300 SF. PER UC ZONE
7,200/300 = 24 SPACES REQUIRED

34,700 SF. RESIDENTIAL UNITS
1 PER 600 SF. PER R30 ZONE
33,400/600 = 56 SPACES REQUIRED

80 TOTAL SPACES REQUIRED
LESS 10% REDUCTION AS PROJECT IS WITHIN
300' OF TRANSIT ROUTE = 72 SPACES REQUIRED

PARKING PROVIDED:
26 SPACES ARE PROVIDED OFF OF ALLEY.
LOTS 17,18,19,20.

46 SPACES PROVIDED AND DESIGNATED IN
ADJACENT PARKING LOT. LOTS 6,7,8,9,10.

72 TOTAL SPACES PROVIDED

ADDITIONAL REQUIREMENTS:
4 HC ACCESSIBLE SPACES AND 3 MOTORCYCLE
SPACES REQUIRED PER C.O.A. REQUIREMENTS.
4 HC ACCESSIBLE SPACES PROVIDED OFF OF ALLEY.
7 MOTORCYCLE SPACES PROVIDED IN ADJACENT LOT.

COMPREHENSIVE PLAN WATER MANAGEMENT

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES
THAT WILL ENFORCE THE COMPREHENSIVE PLAN:
A. WATER HARVESTING THAT CHANNELS STORM
WATER FROM HARD SURFACES TO LANDSCAPE AREAS,
B. LOW WATER USE LANDSCAPING,
C. COMPLY WITH STORM WATER RUN-OFF PLAN, AND
D. LOW-FLOW WATER CLOSETS AND SHOWER HEADS IN
ALL RESIDENTIAL UNITS.

GENERAL NOTES:

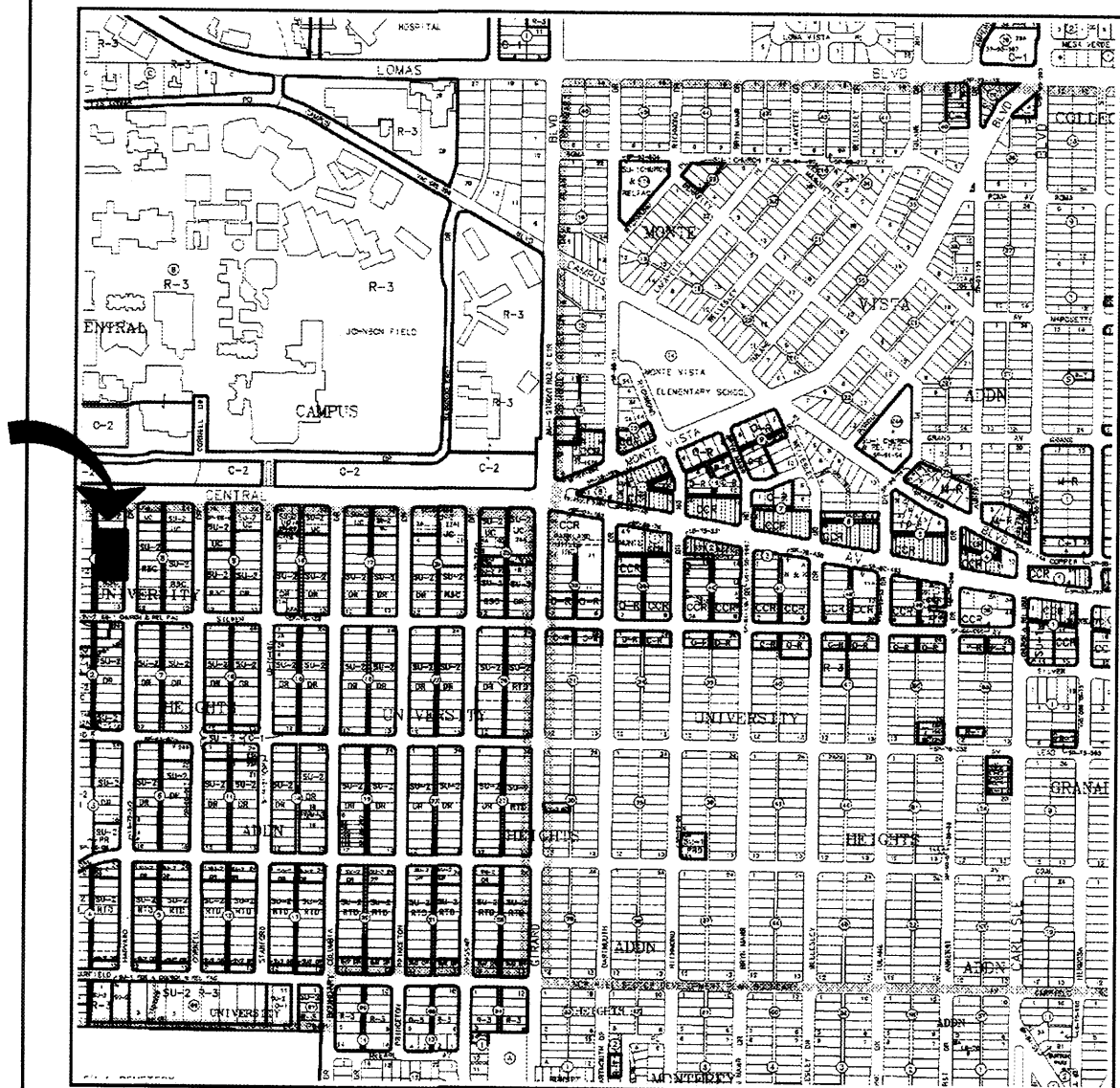
- A. SITE LIGHTING WILL BE PROVIDED BY THE
FOLLOWING:
- RECESSED HID FLUORESCENT DOWN LIGHTS
ALONG RETAIL FRONTAGE.
- SHIELDED HID METAL HALIDE WALL PACKS
AT WEST SIDE OF PROJECT AND AT
PEDESTRIAN WALKWAY
- COMPACT FLUORESCENT STEP LIGHTS AT
RAISED PLANTERS AT COURTYARDS AND
AT PEDESTRIAN WALKWAY
- LOW WATTAGE LANDSCAPE LIGHTING IN
THE COURTYARDS
- DECORATIVE FIXTURE ADJACENT TO EACH
RESIDENCE DOOR.
- B. CURRENT PARKING IN LOTS 6,7,8,9,10 ARE
COMPRISED OF 63 PAID PARKING SPACES AND
19 REQUIRED SPACES FOR ADJACENT
BUSINESSES. 46 OF THE 63 PAID PARKING
SPACES WILL BE DESIGNATED FOR REQUIRED
OFF STREET PARKING FOR THE PROPOSED
DEVELOPMENT. 7 MOTORCYCLE SPACES WILL BE
ADDED. ANY FUTURE DEVELOPMENT OF THESE
LOTS WILL REQUIRE THESE 48 DESIGNATED
SPACES TO BE ACCOMMODATED ELSEWHERE AS
REQUIRED BY THE CITY OF ALBUQUERQUE.
- C. THE RESIDENTIAL SQUARE FOOTAGE SHALL BE
LIMITED TO 33,400 NET SQUARE FEET AND THE
NUMBER OF DWELLING UNITS IS LIMITED TO A
TOTAL OF 46.

KEYED NOTES:

- [1] EXISTING BUILDING TO REMAIN.
[2] EXISTING BRICK SIDEWALK TO REMAIN.
[3] EXISTING CURB AND GUTTER TO BE REMOVED PER
CITY WORK ORDER.
[4] PROPOSED CITY STANDBOARD CURB AND GUTTER PER
CITY WORK ORDER.
[5] PROPOSED BRICK SIDEWALK TO MATCH EXISTING.
EXISTING PROPERTY LINE TO BE DELETED BY
REPLAT.
[6] PROPOSED LANDSCAPED AREA.
[7] PROPOSED WROUGHT IRON GATE.
[8] NEW ASPHALT PAVING TO BE LEVEL WITH ALLEY
PAVING. SEE GRADING AND DRAINAGE PLAN.
[9] PROPOSED HANDICAP ACCESSIBLE PARKING.
[10] PROPOSED SCORED CONCRETE HANDICAP
ACCESSIBLE ACCESS AISLE.
[11] PROPOSED HANDICAP ACCESSIBLE RAMP.
[12] PROPOSED BIKE RACK LOCATION. 6 SPACES PER
RACK.
[13] EXISTING CITY CURB TO REMAIN.
[14] EXISTING PARKING LOT TO REMAIN. NOT A PART OF
THIS PROJECT.
[15] EXISTING PARALLEL AND METERED PARKING TO
REMAIN.
[16] PROPOSED 6'x6'x2' HIGH RAISED BRICK
LANDSCAPE PLANTER WITH RECESSED
FLUORESCENT STEP LIGHTING TYPICAL OF 3
EACH.
[17] EXISTING BUILDING TO BE REMOVED.
[18] NEW PARALLEL AND CITY METERED PARKING
SPACES. PARKING METERS TO BE RELOCATED PER
CITY WORK ORDER.
[19] NEW 8' WIDE BRICK PEDESTRIAN CONNECTION
FROM EXISTING PARKING LOT TO HARVARD DRIVE.
[20] 8' HIGH CMU COMPACTOR ENCLOSURE. STUCCO
TO MATCH PROPOSED BUILDINGS. SEE 4/A402.
[21] SELF-CONTAINED REFUSE COMPACTOR ON WHEEL
GUIDES. PROVIDED BY OWNER.
[22] 10' WIDE x 6" THICK CONCRETE APRON.
[23] LINE OF PROPOSED WALKWAY ABOVE.
[24] ADDITIONAL 4' RIGHT-OF-WAY DEDICATED TO ALLEY
BY REPLAT.
[25] EXISTING CURB CUT, DRIVEWAY AND HANDICAP
RAMPS TO REMAIN.
[26] NEW FIRE HYDRANT FED BY 6" LINE IN PUBLIC
ALLEY.
[27] NEW FIRE LANE ACCESS. 4" STRIPING TO BE RED.
ADJACENT CURB TO BE PAINTED RED WITH WHITE
LETTERING TO READ "FIRE LANE NO PARKING".
[28] RAISED 8' WIDE PEDESTRIAN CONNECTION ACROSS
ALLEY. PER CITY WORK ORDER.
[29] NEW 20" WATER UTILITY EASEMENT.
[30] NEW 8" PEDESTRIAN ACCESS EASEMENT.
[31] 16" HIGH BRICK SEATWALL WITH RECESSED
FLUORESCENT STEP LIGHTING. TYPICAL OF 3 AT
EACH SEATWALL.
[32] BRICK PLASTER AT GATE LOCATIONS. TYPICAL.
[33] EXISTING PAID PARKING SPACES TO BE
DESIGNATED TO THE PROPOSED PROJECT.
TOTAL OF 42.
[34] EXISTING SPACES REQUIRED BY EXISTING
BUSINESSES TO REMAIN.
[35] EXISTING LANDSCAPE AREA.
[36] EXISTING CITY SIDEWALK.
[37] NOT USED. 5' PUBLIC WATERLINE AND SEWERLINE
EASEMENT.
[38] EXISTING DUMPSTER ENCLOSURE.
[39] PAID PARKING SPACES TO REMAIN.
[40] EXISTING LITE POLE TO REMAIN.
[41] NEW 4'x10' MOTORCYCLE PARKING-7 TOTAL.
CONCRETE PLANTER BOXES LEVEL WITH SIDEWALK.
[42] NEW 36" HIGH STUCCO SCREEN WALL. SEE 6/A402
AND SEATING.
[43] NEW PAID PARKING SPACES TO BE
DESIGNATED TO THE PROPOSED PROJECT.
TOTAL OF 4.
[44] 36 SQUARE FOOT PLANTER. SEE LANDSCAPE PLAN.
[45] RECYCLING BINS (2) WITHIN COMPACTOR
ENCLOSURE.
[46] PARKING BUMPER, TYPICAL ALONG PEDESTRIAN
WALKWAY.
[47] 9' WIDE OPENING IN YARD WALL WITH ADA
COMPLIANT ACCESS TO EXISTING SIDEWALK.
[48] STRIPED PEDESTRIAN WALKWAY.
[49] COLORED CONCRETE SIDEWALK TO MATCH BRICK
PAVING.
[50] EXISTING LANDSCAPING TO REMAIN.

COMPREHENSIVE PLAN ENERGY MANAGEMENT

THIS PROJECT WILL INCLUDE THE FOLLOWING TECHNIQUES
THAT WILL ENFORCE THE COMPREHENSIVE PLAN:
A. INSULATED WINDOWS IN ALL RETAIL SPACES AND
RESIDENTIAL UNITS.
B. MINIMIZE GLAZING ON THE WEST ELEVATIONS.
C. UTILIZE LANDSCAPING AND OVERHANGS TO PROVIDE
BUILDING SHADING.
D. PROVIDE SINGLE METERING OF UTILITIES FOR ALL
RESIDENTIAL UNITS.
E. CERTIFY COMPLIANCE WITH THE SOLAR ACCESS
PROVISION.
F. PROMOTE MASS TRANSIT AND PEDESTRIAN
IMPROVEMENTS BY PROVIDING THE EXACT NUMBER OF
PARKING SPACES REQUIRED.



2 Vicinity Map



3 Aerial Photograph

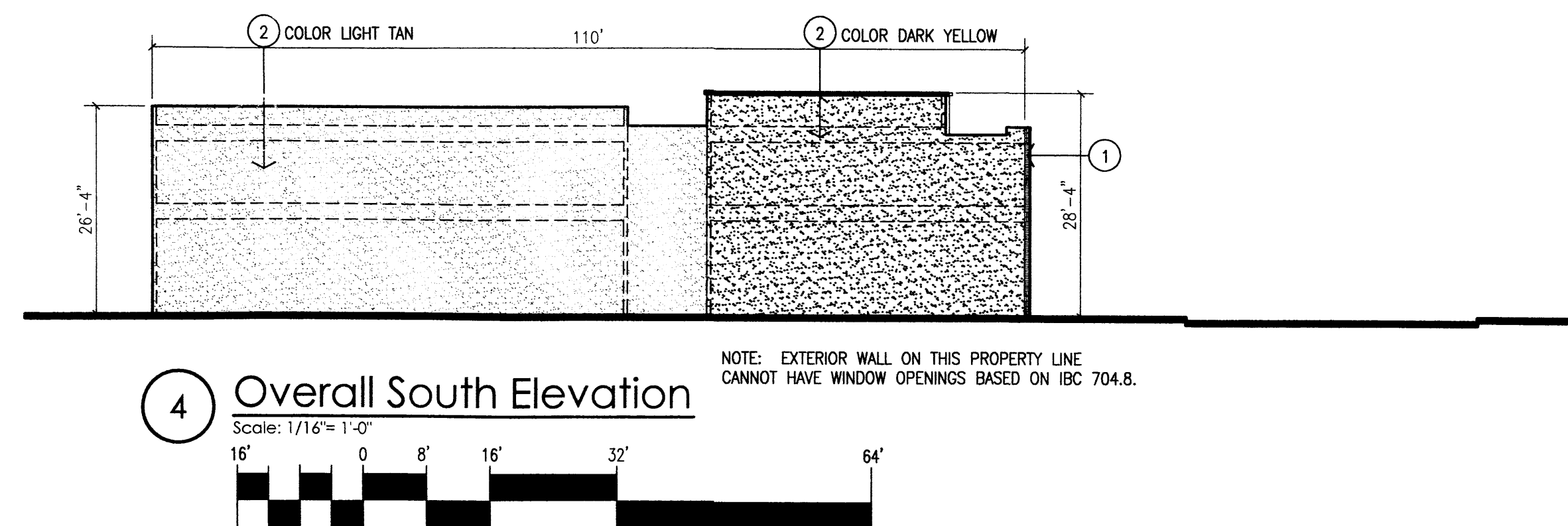
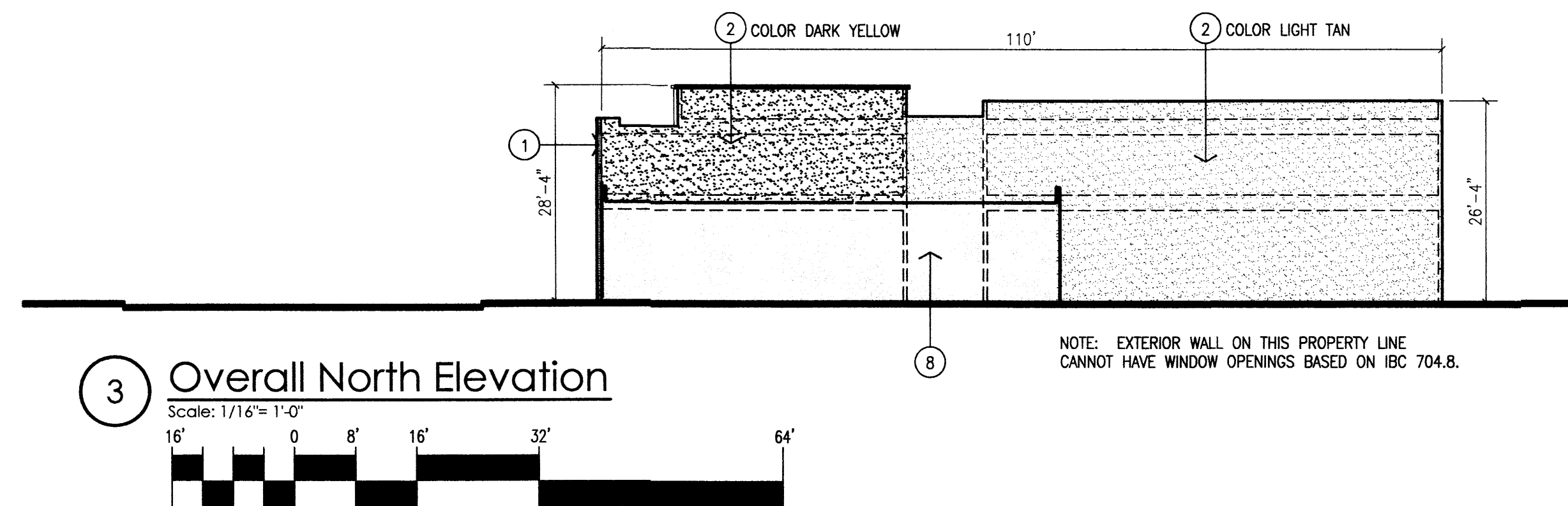
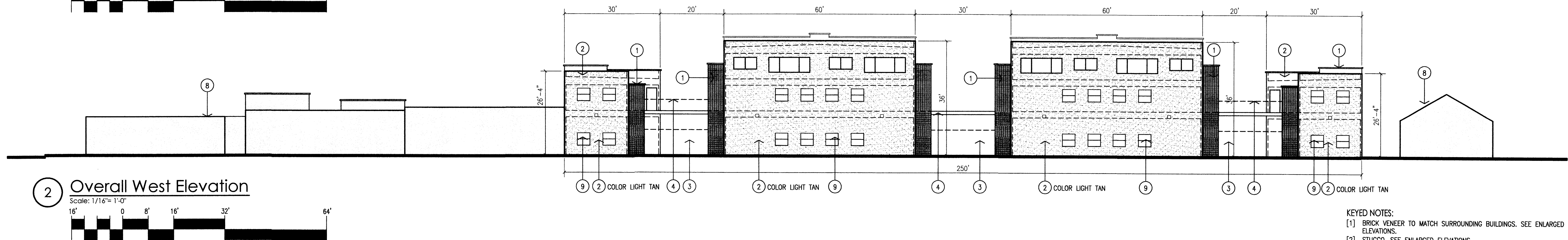
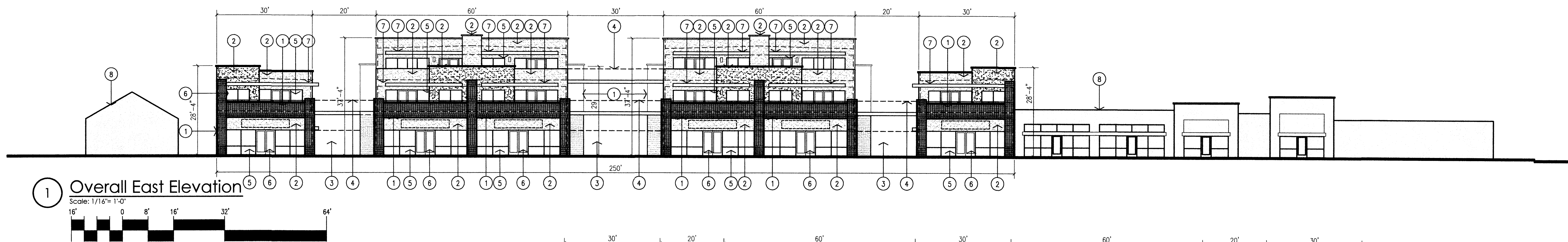
PROJECT NUMBER: 1004927	APPLICATION NUMBER: 06DRB-01632
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: AUGUST 17, 2006 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION <i>Shirley S. S. S.</i>	5-9-07 Date
UTILITIES DEVELOPMENT <i>Ronald H. H.</i>	5/9/07 Date
PARKS AND RECREATION DEPARTMENT <i>Christine S. S.</i>	5/9/07 Date
CITY ENGINEER <i>Bradley L. B.</i>	8/30/07 Date
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) <i>Joe White (Ally car)</i>	5-21-07 Date
SOLID WASTE MANAGEMENT <i>Shirley S. S.</i>	8/24/07 Date
DRB CHAIRPERSON, PLANNING DEPARTMENT <i>Shirley S. S.</i>	5/18/07 Date

revision	
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rev	1 2 3 4

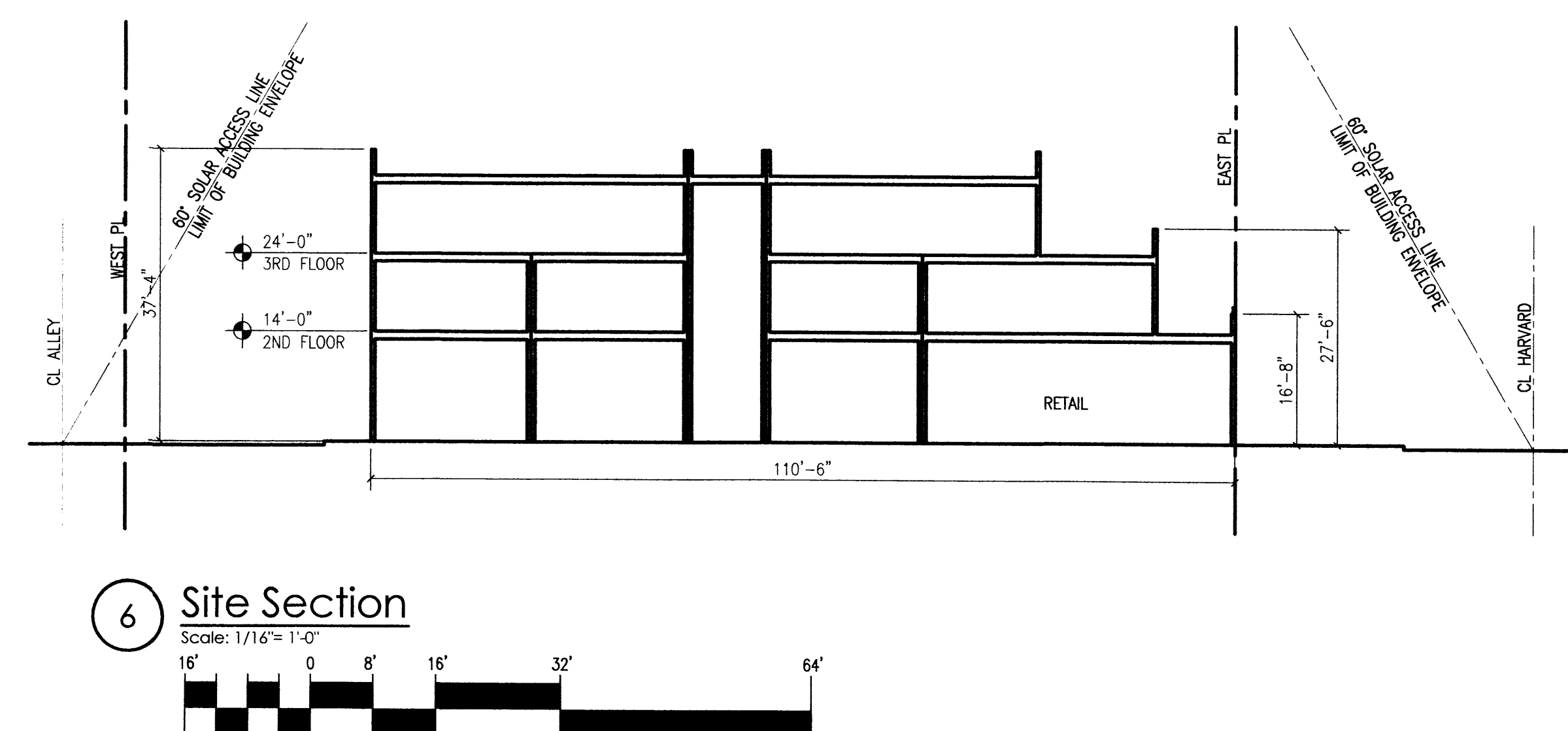
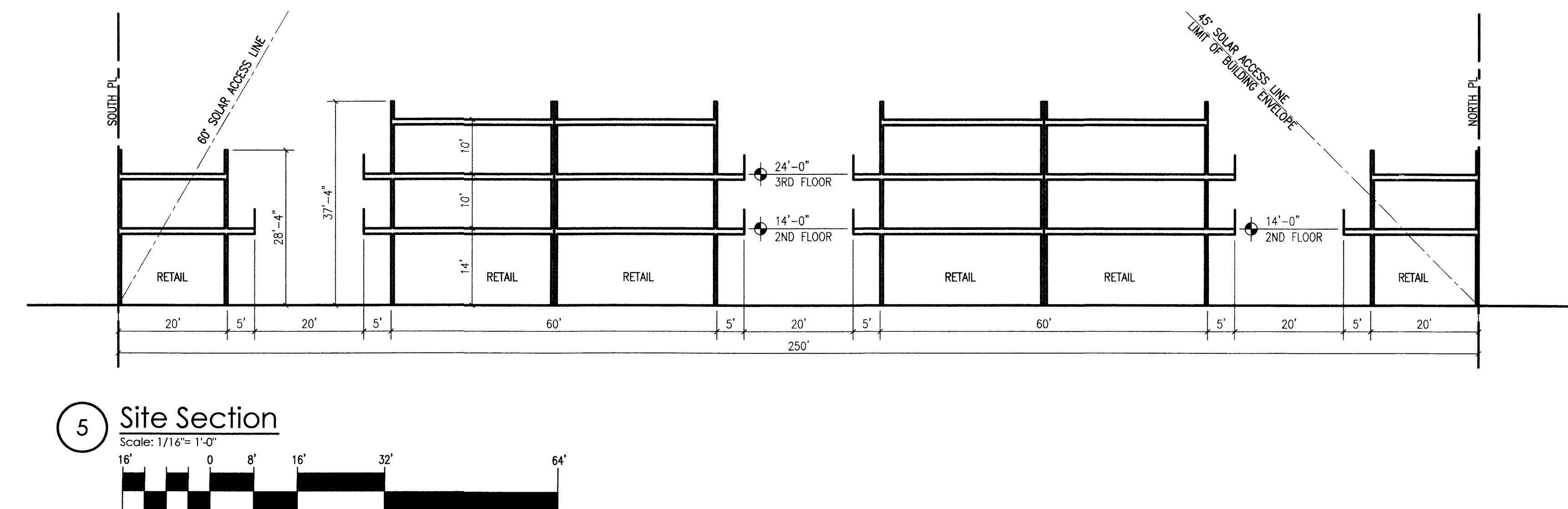
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job number	06-01
drawn by	JDH
project manager	JDH
date	11/14/06

project title
Bricklight Courtyards
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico
spec title
Site Development Plan for Building Permit



- KEYED NOTES:**
- [1] BRICK VENEER TO MATCH SURROUNDING BUILDINGS. SEE ENLARGED ELEVATIONS.
 - [2] STUCCO. SEE ENLARGED ELEVATIONS.
 - [3] WROUGHT IRON FENCE AND GATE. SEE ENLARGED ELEVATIONS.
 - [4] WROUGHT IRON GUARD RAIL. SEE ENLARGED ELEVATIONS.
 - [5] STOREFRONT WINDOW SYSTEM. SEE ENLARGED ELEVATIONS.
 - [6] STOREFRONT DOORS. SEE ENLARGED ELEVATIONS.
 - [7] STEEL CANOPY. SEE ENLARGED ELEVATIONS.
 - [8] EXISTING BUILDINGS TO REMAIN.
 - [9] CLAD WINDOWS. COLOR TO MATCH STOREFRONT.



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date	
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project title
Bricklight Courtyards
Lots 6-10, 17-21, Block 1, University Heights
Albuquerque, New Mexico

sheet title
Overall Exterior Elevations

