



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

<b>APPLICATION INFORMATION</b>		
Applicant: Central Ave & Atrisco Pros Real Estate, LLC		Phone: 951.288.5611
Address: 6565 Americas Parkway Suite 200		Email: michael@provenzanore.com
City: Albuquerque	State: NM	Zip: 87110
Professional/Agent (if any): Modulus Architects, Inc. c/o Angela Williamson, CEO		Phone: (505) 338-1499
Address: 100 Sun Ave. NE Suite 600		Email: awilliamson@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87019
Proprietary Interest in Site: Agent	List all owners: Central Ave & Atrisco Pros Real Estate, LLC	

<b>BRIEF DESCRIPTION OF REQUEST</b>
Amend approved Site Plan for Subdivision to develop the approved building pad site into a Starbucks.

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Tract A	Block:	Unit:
Subdivision/Addition: Rancho Village Partners	MRGCD Map No.:	UPC Code: 101205722915021301
Zone Atlas Page(s): K-12-Z	Existing Zoning: MX-M	Proposed Zoning: N/A
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): +/- 13.1683

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 4201 Central ave NW 87105	Between: Central Ave NW	and: Atrisco Dr NW

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>
1006814, 1007711

Signature: Regina Okoye	Date: 1/20/21
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
SI-2021-00084	AA	
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project # PR-2021-004972

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**


**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: <u>Regina Okoye</u></p>	<p>Date: <u>1/20/21</u></p>
<p>Printed Name: <u>Regina Okoye</u></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Project Number: <u>PR-2021-004972</u></p>	<p>Case Numbers: <u>SI-2021-00084</u></p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	

City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**RE: AGENT AUTHORIZATION NOTICE – 4201 CENTRAL AVE. NW, ALBUQUERQUE, NM 87105 –  
(ATRISCO PLAZA SHOPPING CENTER)**

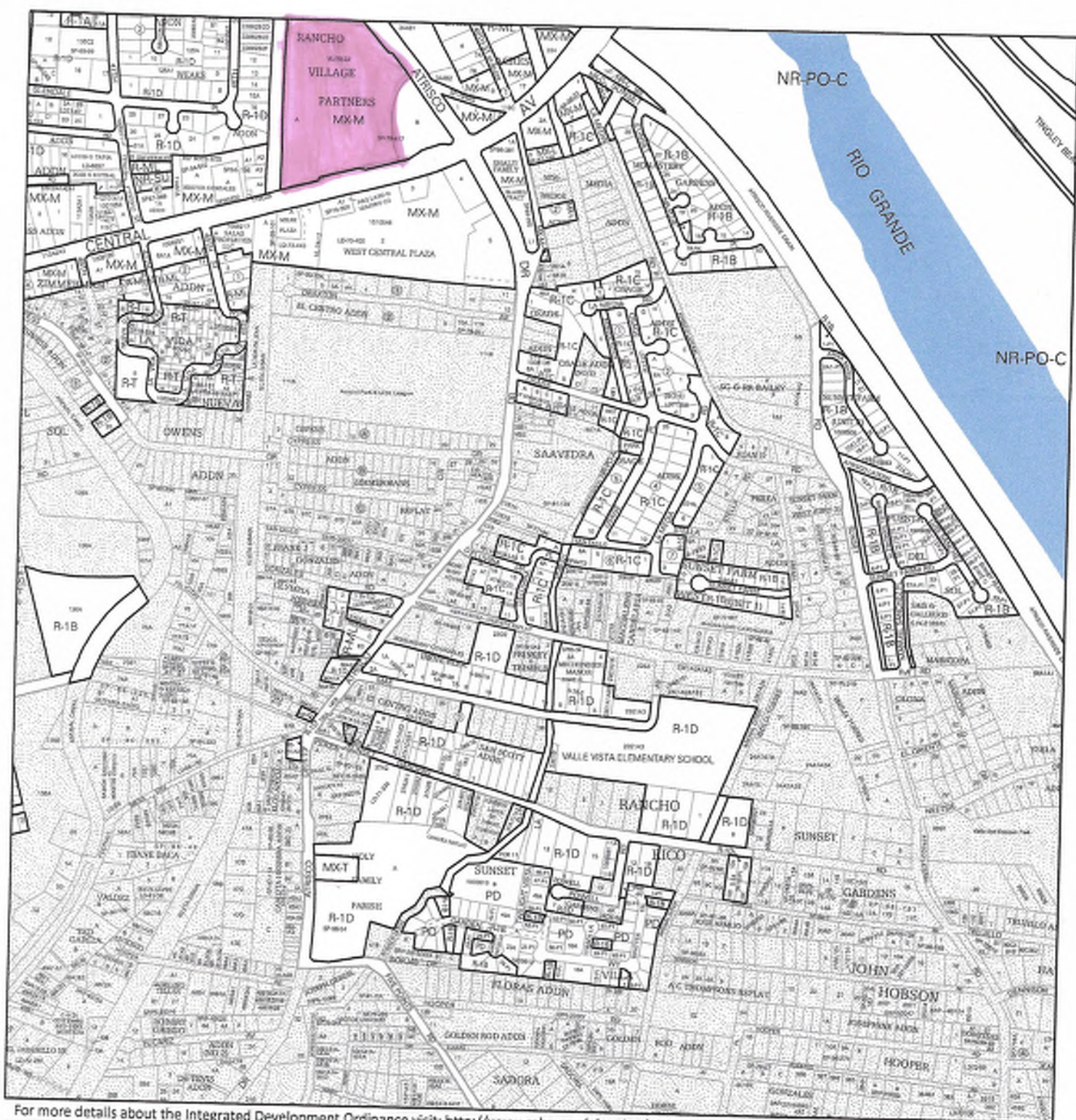
To Whom It May Concern,

Central Ave & Atrisco Pros Real Estate, LLC c/o Michael Provenzano, hereby authorizes Angela Williamson, CEO with Modulus Architects, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at: 4201 Central Ave. NW Albuquerque NM 87105 and legally described as: TRACT A A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS CONT 13.1683 AC. This authorization is valid until further written notice from Central Ave & Atrisco Pros Real Estate, LLC or Angela Williamson, CEO with Modulus Architects, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this Administrative Amendment (AA) request.

Sincerely,



Central Ave & Atrisco Pros Real Estate, LLC  
C/O Michael Provenzano  
6565 Americas Parkway Suite 200  
Albuquerque, NM 87110

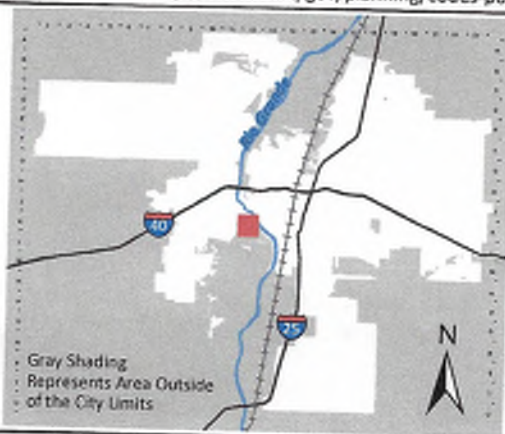


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Gray Shading  
Represents Area Outside  
of the City Limits

Zone Atlas Page:  
**K-12-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



January 20, 2021

James Aranda  
Current Planning Department Director  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW,  
Albuquerque, NM 87102

**RE: PROJECT - 4201 CENTRAL AVE. NW – ALBUQUERQUE, NM. 87105 (ATRISCO PLAZA SHOPPING CENTER)  
LEGALLY DESCRIBED AS: TRACT A A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS CONT 13.1683 AC  
ADMINISTRATIVE AMENDMENT TO SITE DEVELOPMENT PLAN FOR A STARBUCKS PAD**

Dear Mr. Aranda:

Modulus Architects, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Central Ave & Atrisco Pros Real Estate, LLC, hereafter referred to as “Applicant”. We, “Agent” is requesting approval for this submittal to amend the approved Site Development Plan to develop the approved building pad. The site is located at 4201 Central Ave. NW, currently developed as Atrisco Plaza Shopping Center. The parcel (the “subject site”) is 13.1683 acres in size, zoned Mixed-use-Medium Intensity Zone District (MX-M) and is located on the North West corner of Central Ave SW and Atrisco Dr SW.

At this time, we are requesting an Administrative Amendment to the approved Site Plan for Subdivision that was approved through the Environmental Planning Commission (EPC) (Z-77-75) in 1979. The approved Site Plan showed an existing building pad that we are now proposing to develop into a Starbucks.

The subject site is located in the following areas: Premium Transit Station Area (PT), Activity Center (AC), Main Street Corridor (MS), and a Major Transit Corridor (MT). The subject site is zoned MX-M and in an area of change. A restaurant is a permissive use and a drive-through is a permissive accessory use under the IDO for the MX-M zone district. The restaurant would be a ground up pad side located on the south end of the subject site. There will be no replatting action done on this site for this request.



This submittal addresses a proposed Administrative Amendment (AA) for Tract A at the Atrisco Plaza Shopping Center. The proposed building pad is 918 SQ FT of restaurant space. This minor amendment request falls within the thresholds established in IDO Table 6-4-5. We are developing the existing building pad that was approved in the original Site Development Plan.

This improvement will continue to increase business for this existing Shopping Center and will bring more convenient businesses to the community, while responding to market demands.

Our submittal includes the original Site Development Plan, the amended Site Development Plan, the proposed Site Plan, a Landscaping Plan, Site Detail Plans, Elevations, and Grading and Drainage Plan. All changes meet the design standards of the Integrated Development Ordinance (IDO) and the DPM. The minor changes are listed below: Changes to the overall Site Development Plan are identified in the AA drawings via bubbled areas.

#### **Overall Site Plan:**

1. Per the IDO Parking (IDO Section 14-15-5-5) with new construction the parking requirements of the IDO standards will prevail from original approvals. In this case, we are constructing a new pad site for a total of 918 SF, triggering the threshold requirement.
2. Parking Calculation – We have not created a deficiency in the parking requirements and that is demonstrated on the Site Plan (Parking Computation).
3. There is 1 new handicapped spot being added. There are 25 existing handicapped spots with the 1 new spot there will be a total of 26 handicapped spots being provided for the site.
4. There will be approximately 32 fewer parking spaces for the proposed site plan. There are a total of 835 parking spots being provided and 601 spaces are required.

#### **Proposed Site Plan:**

1. The overall square footages for the restaurant is 918 SQ FT and the required parking is 4 spaces (5 spaces per 1000SF). The total parking spaces required for the site is 601 spaces and 835 space are provided.

#### **Site Detail Plan:**

1. 1 additional handicapped parking space is being added and the site detail sheets show the detail of the handicap parking space.
2. All site details are shown.

#### **Elevation Plan:**

1. Building Design (Section 14-16-5-11) – Construction of a new building requires that the entire structure meet that façade standards for non-residential design.



2. The elevations show the north, east, south and west sides of the proposed building and the elevations of the structure. The façade design and building design meet the standards of IDO Section 14-16-5-11.

**Landscaping:**

1. A landscaping plan has been provided and meets the standards of Section 14-16-5-6 of the IDO.

**Grading and Drainage Plan:**

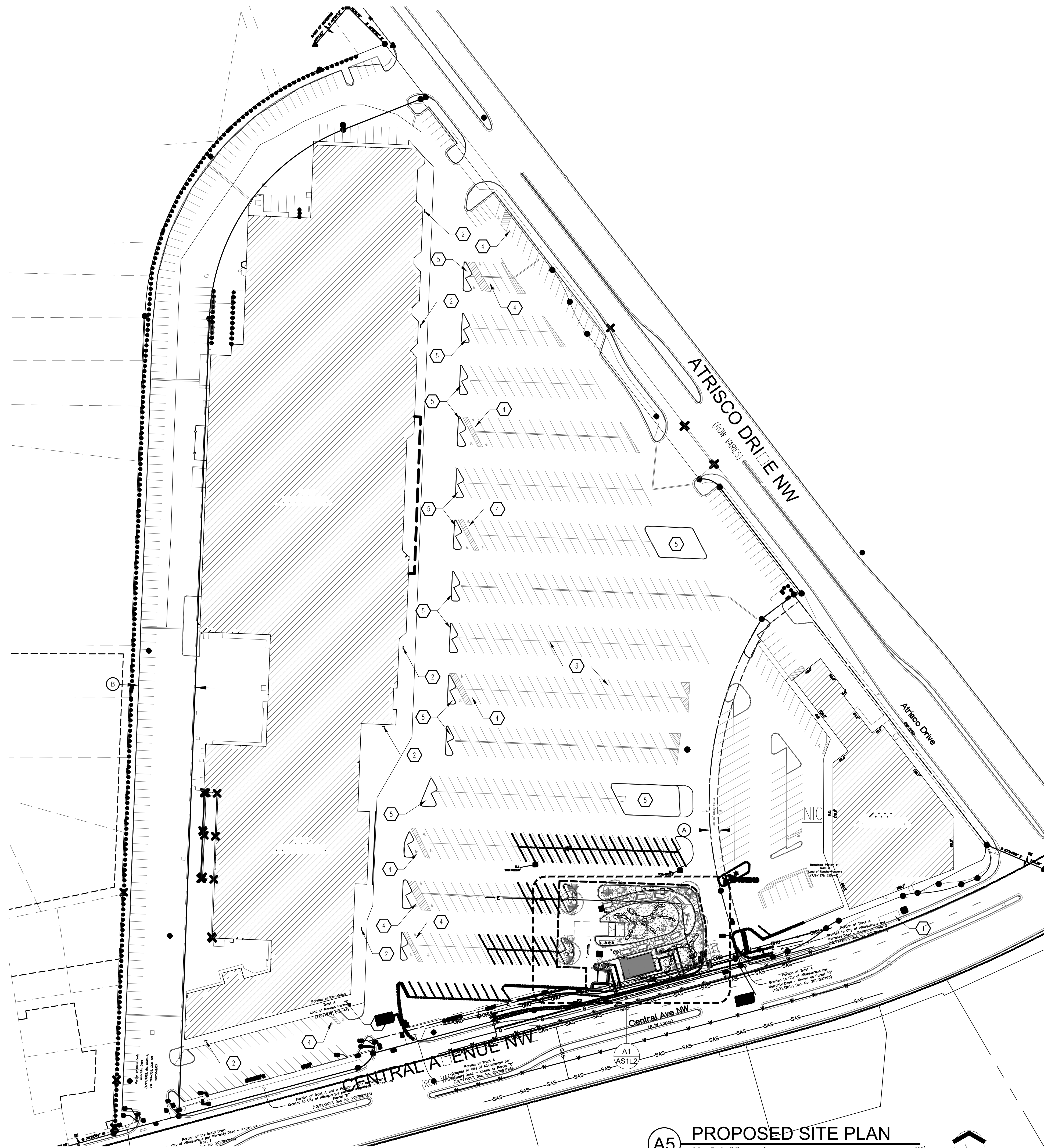
1. The plans follow the regulations of the IDO and the DPM.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: [awilliamson@modulusarchitects.com](mailto:awilliamson@modulusarchitects.com)

Best Regards,

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER**  
**MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600  
Albuquerque, NM 87109  
Office 505.338.1499 (Ext. 1003)  
Mobile + Text 505.267.7686



**A5 PROPOSED SITE PLAN**  
 SCALE: 1:60  
 0 30 60 120'



**CITY MAP**

□□□□ A □□□ M □□ K □□ □□ □□

**LEGAL DESCRIPTION:** TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 9, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:  
 THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;  
 THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;  
 THENCE NORTHEASTERLY AND TO THE RIGHT, FOLLOWING A CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 35°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;  
 THENCE N 89°17'1" E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;  
 THENCE S 37°46'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;  
 THENCE S 48°17'1" W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;  
 THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°09'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;  
 THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

**GENERAL NOTES**

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
- C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

**KEYED NOTES**

- 1. EXISTING COVERED BUS STOP.
- 2. EXISTING BIKE RACK TO REMAIN.
- 3. EXISTING PARKING TO REMAIN.
- 4. EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
- 5. PARKING ISLAND TO REMAIN.

**EASEMENTS**

- A. EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
- B. SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

**GRAPHIC LEGEND**

--- PROPERTY LINE

**PARKING CALCULATION**

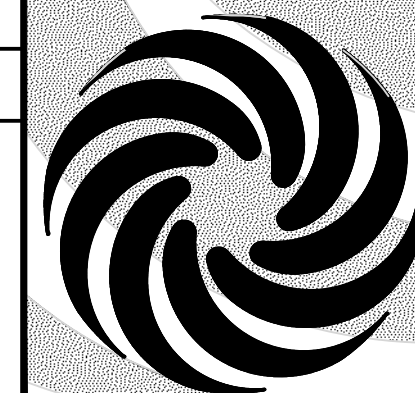
BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	918 SF
<b>TOTAL</b>		<b>215,127 SF</b>
<b>PARKING REQUIREMENTS</b>		<b>REQUIRED</b>
60,000-217,000 SF @ 1/300		524 SPACES
15,000-60,000 SF		180 SPACES
RESTAURANT = 5/1,000 SF		4 SPACES
<b>TOTAL REQUIRED # PARKING SPACES</b>		<b>708 SPACES</b>
LESS 15% (BUS STOP w/ SHELTER)		(-107 SPACES)
<b>TOTAL # PARKING SPACES REQUIRED</b>		<b>601 SPACES</b>
<b>TOTAL # PARKING SPACES PROVIDED</b>		<b>835 SPACES</b>

	REQUIRED	PROVIDED
ACCESSIBLE PARKING SPACE	16 SPACES	26 SPACES
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	6 RACKS *	6 RACK *

\* 5 BIKE SPACE PER 1 BIKE RACK

REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			
▲			

**MODULUS ARCHITECTS**  
 100 SUN AVENUE N.E., Ste 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



28 SEP 2020

PROJECT TITLE: **STARBUCKS**  
 4201 CENTRAL AVE. NW  
 ALBUQUERQUE, NEW MEXICO 87105

JOB NO.: **ABQ**

PROJECT MANAGER: **DEVIN NGUYEN**

DRAWN BY: **DTN**

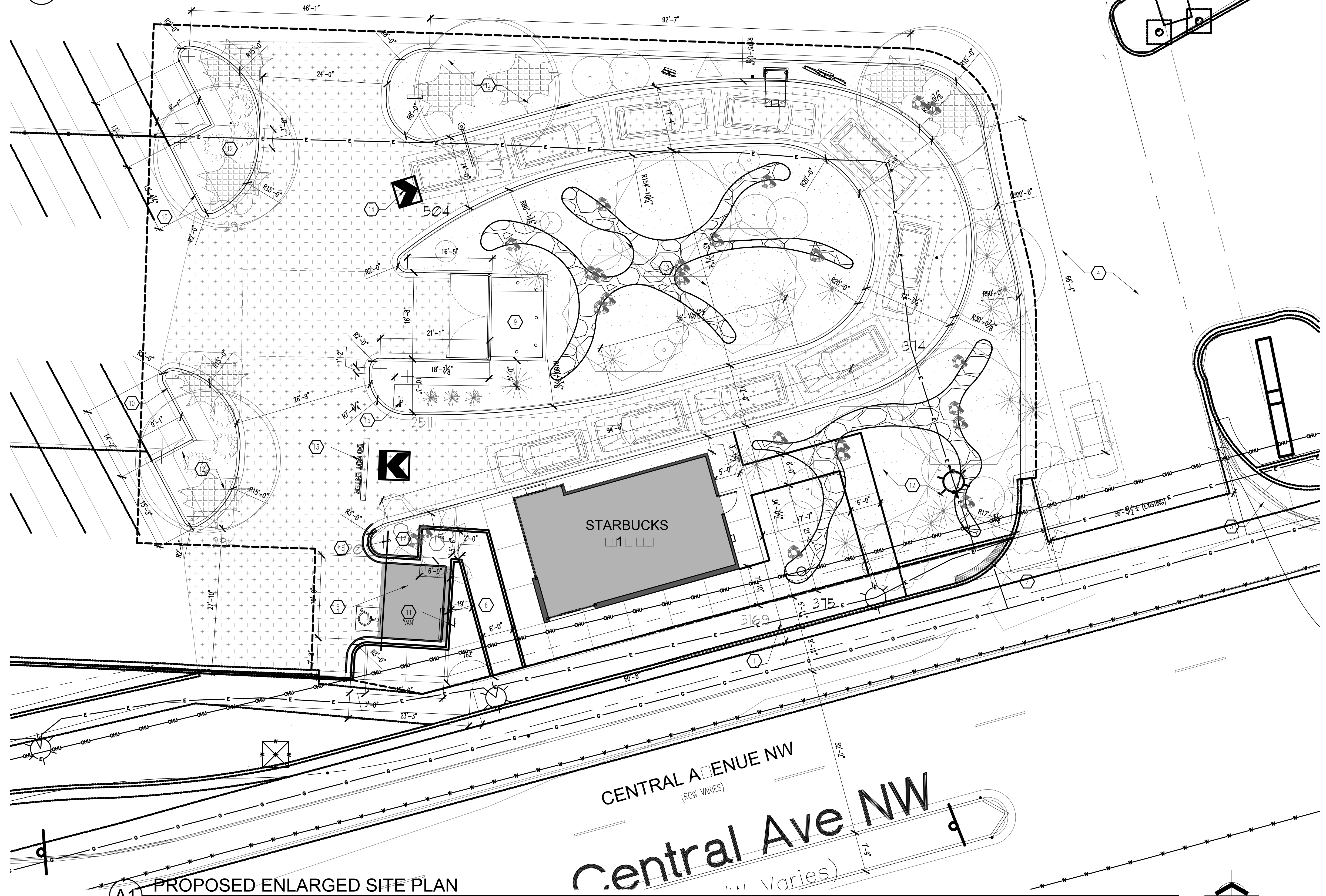
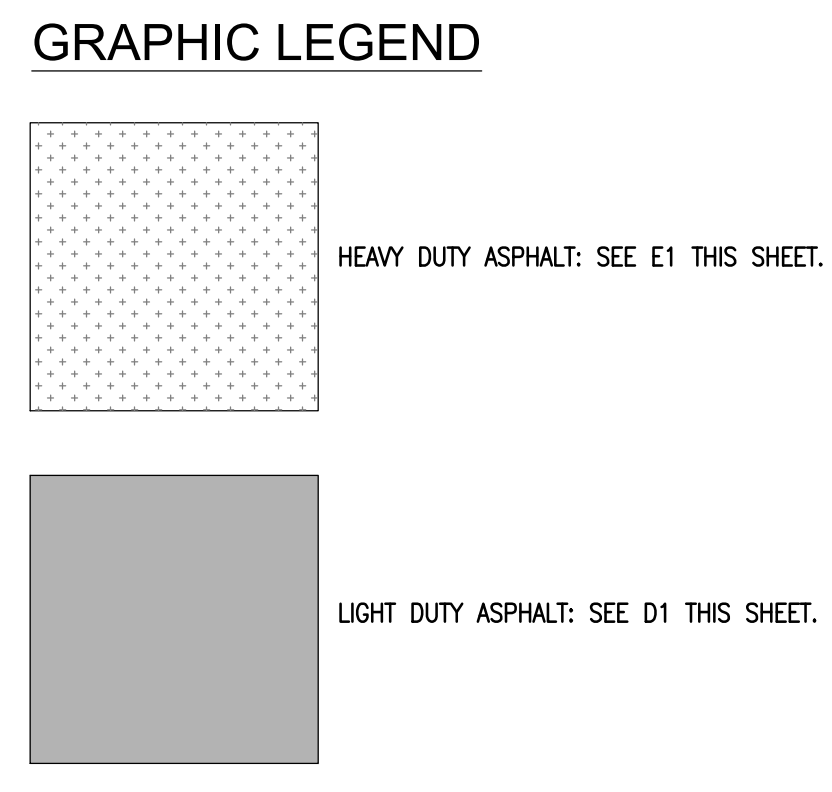
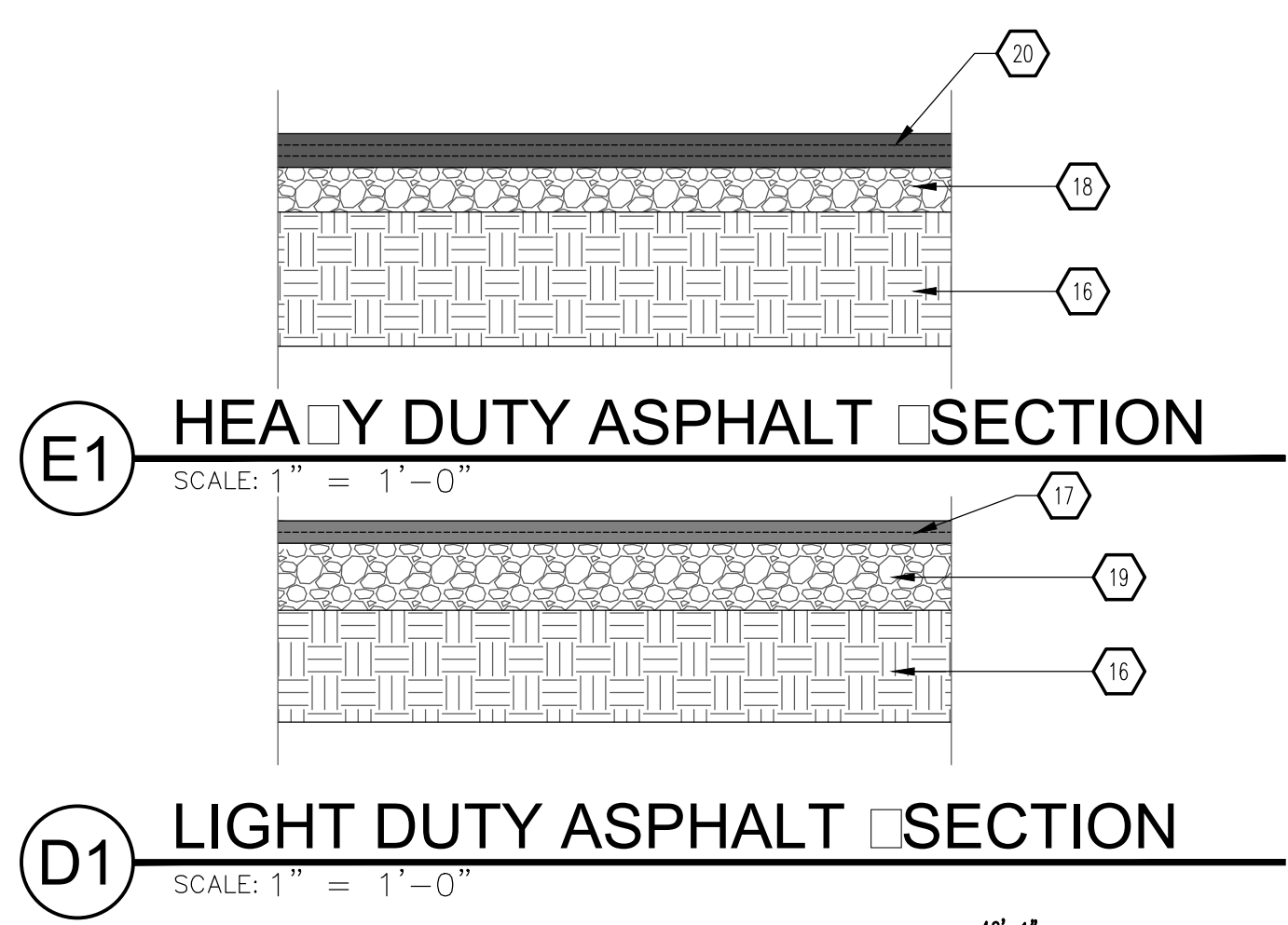
SHEET TITLE: **OVERALL SITE PLAN**

DATE: **13 AUG 2020**

SCALE: **AS NOTED**

SHEET NO.: **AS101**





**GENERAL NOTES**

- "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

**KEYED NOTES**

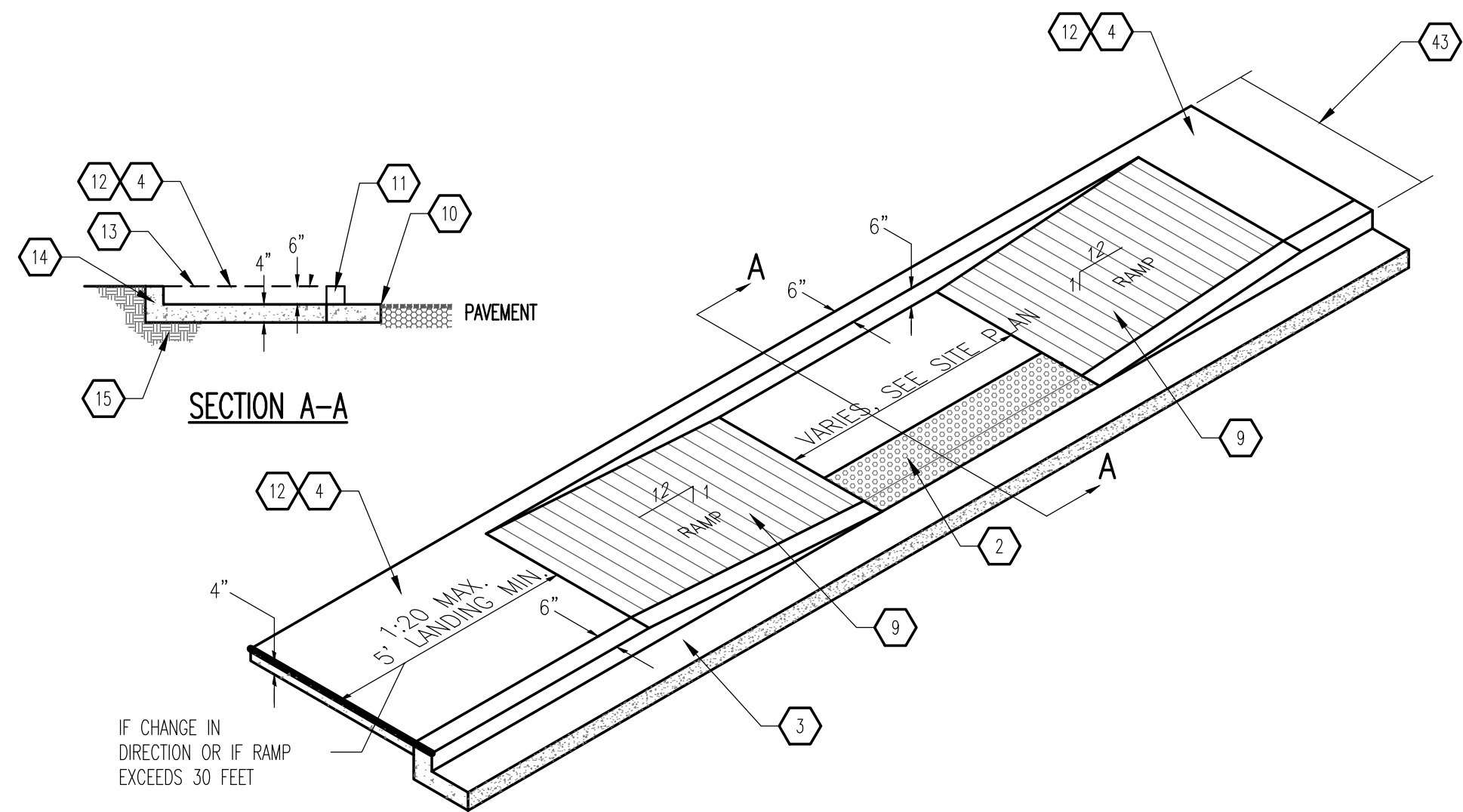
- EXISTING SIDEWALK TO REMAIN.
- INSTALL A 2'-0" WIDE TRUNCATED DOME STRIP.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING ASPHALT TO REMAIN.
- ACCESSIBLE PARKING: SEE A1&A3/A1.2.
- WHEEL STOP: SEE B5/A1.2.
- FLARED RAMP: SEE A3/A1.1.
- CURB & GUTTER: SEE B1/A1.1.
- AREA OF REFUSE: SEE D2/A1.3.
- PARKING ISLAND.
- HANDICAP PARKING SIGNAGE: SEE B4/A1.2.
- LANDSCAPING: SEE LANDSCAPE PLAN ON SHEET LS101.
- 'DO NOT ENTER' PAVEMENT MARKING: SEE A1/A1.3.
- 'DRIVE-THRU' PAVEMENT MARKING: SEE B1/A1.3.
- 'DO NOT ENTER' SIGNAGE: SEE B3/A1.2.
- 10" COMPACTED SUBGRADE @ 95%.
- 2" ASPHALT CONCRETE PAVEMENT.
- 4" BASE COURSE.
- 6" BASE COURSE.
- 3" ASPHALT CONCRETE PAVEMENT.

REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

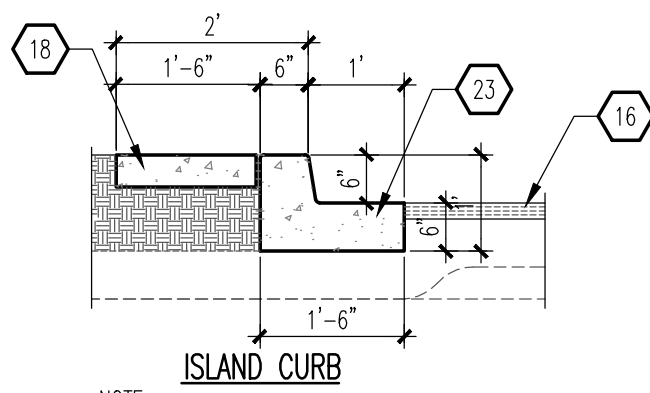
28 SEP 2020

PROJECT TITLE <b>STARBUCKS</b> 4001 CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105	JOB NO. ABO	DRAWN BY: DTN
PROJECT MANAGER DEVIN NGUYEN	SHEET TITLE <b>ENLARGED SITE PLAN</b>	
DATE 13 AUG 2020	sheet- AS102	
SCALE AS NOTED	et.	

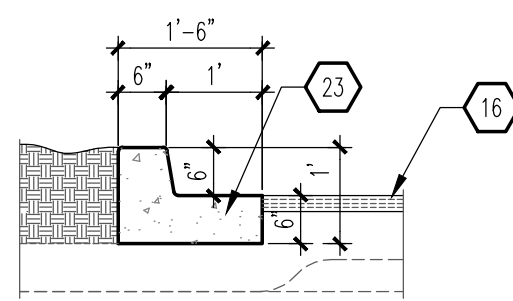


NOTE:  
H.C. RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**C1 TAPERED RAMP**  
SCALE: NTS



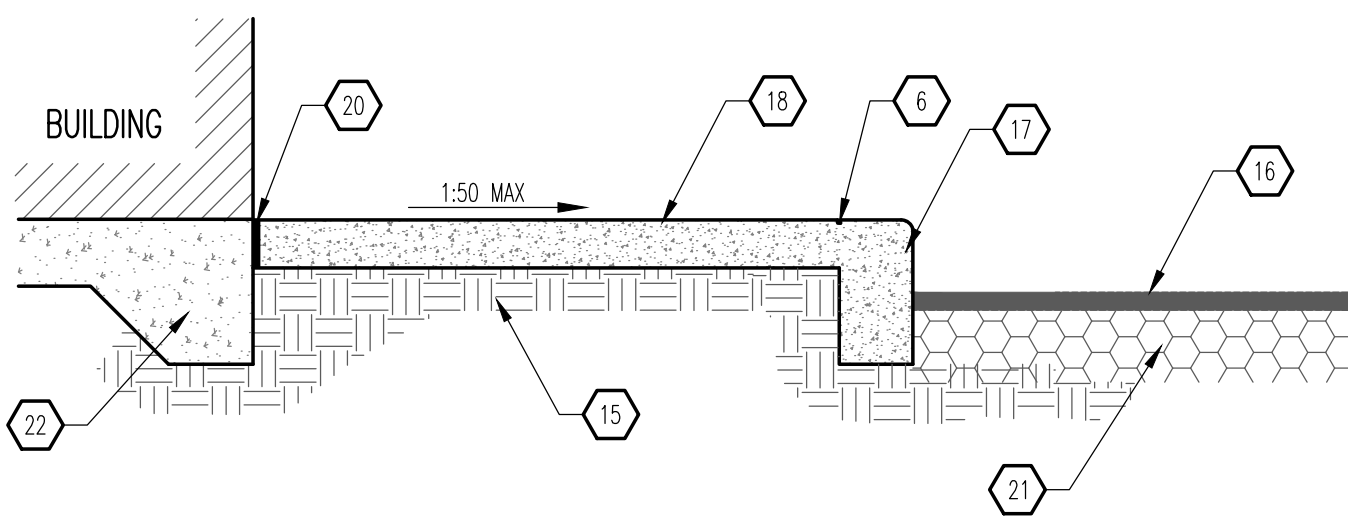
NOTE:  
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B



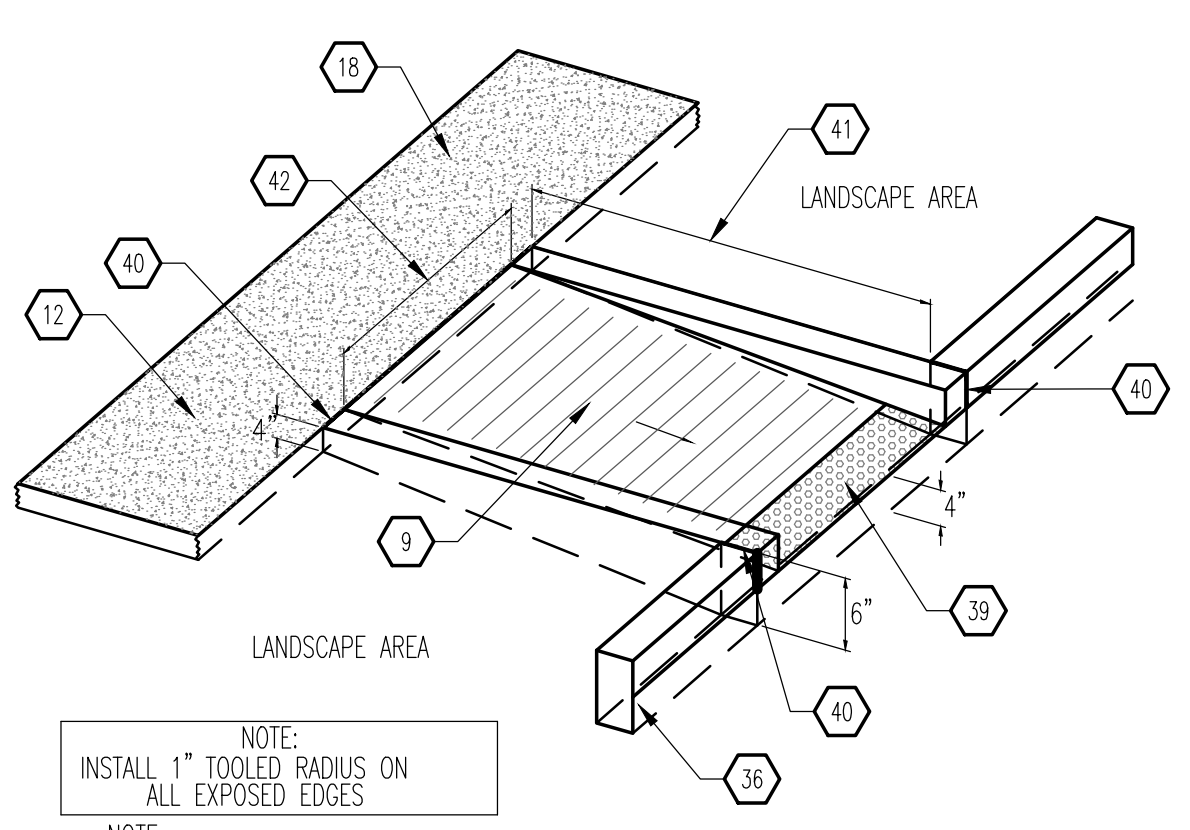
NOTE:  
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B

**B1 CURB & GUTTER**  
SCALE: 1/2" = 1'-0"

**B2 TURNDOWN SIDEWALK SECTION**  
SCALE: 3/4" = 1'-0"



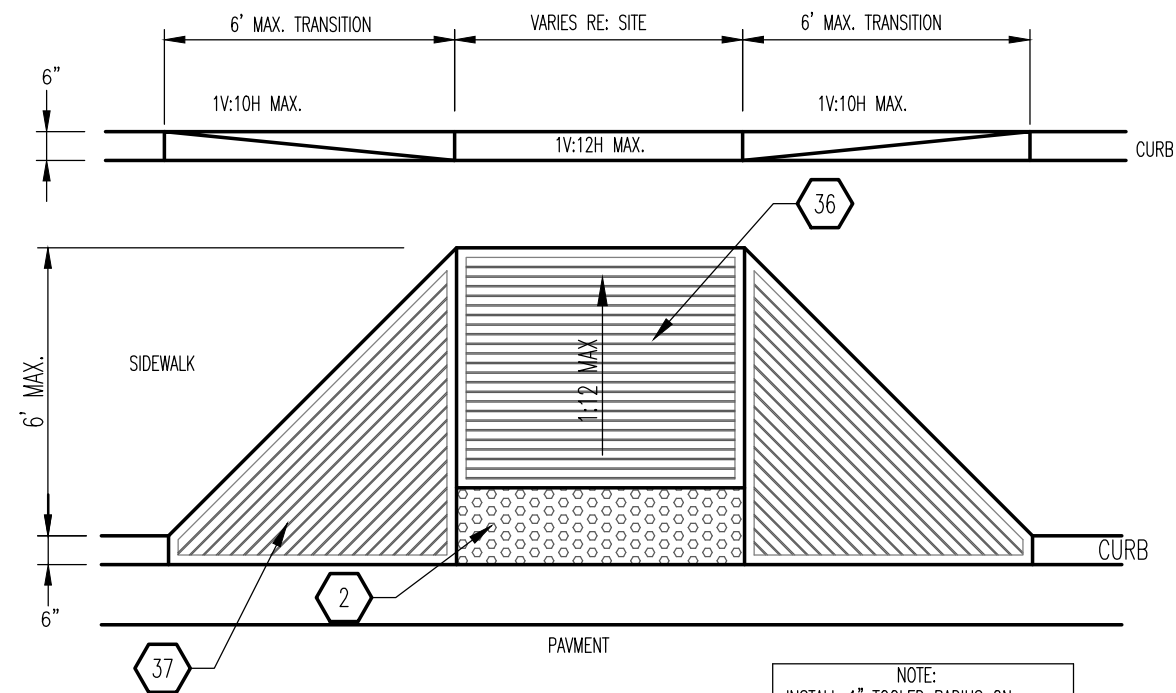
NOTE:  
1. CONTRACTION JOINTS AT 5'-0" OC TOOLED 1/2" (±1/4") WIDE, 1" OR MAXIMUM D/4 (DEEP) WHICHEVER IS GREATER EXPANSION JOINTS AT 20' MAXIMUM AND ALL P.C.'S, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.  
2. ALIGN CURB AND SIDEWALK JOINTS AT ALL TIMES.



NOTE:  
INSTALL 1" TOOLED RADIUS ON ALL EXPOSED EDGES

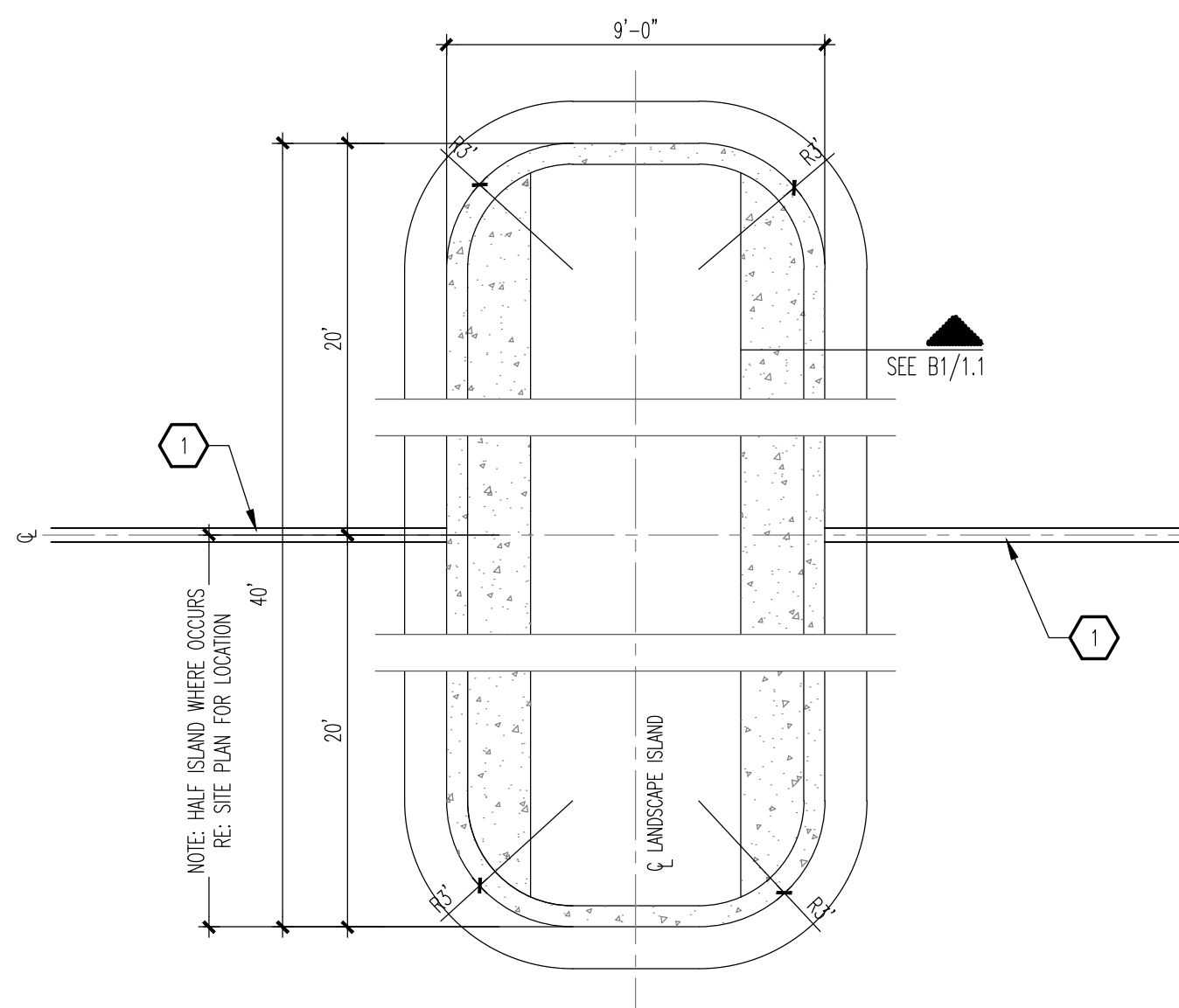
NOTE:  
H.C. RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**A1 CURBED RAMP**  
SCALE: 3/4" = 1'-0"

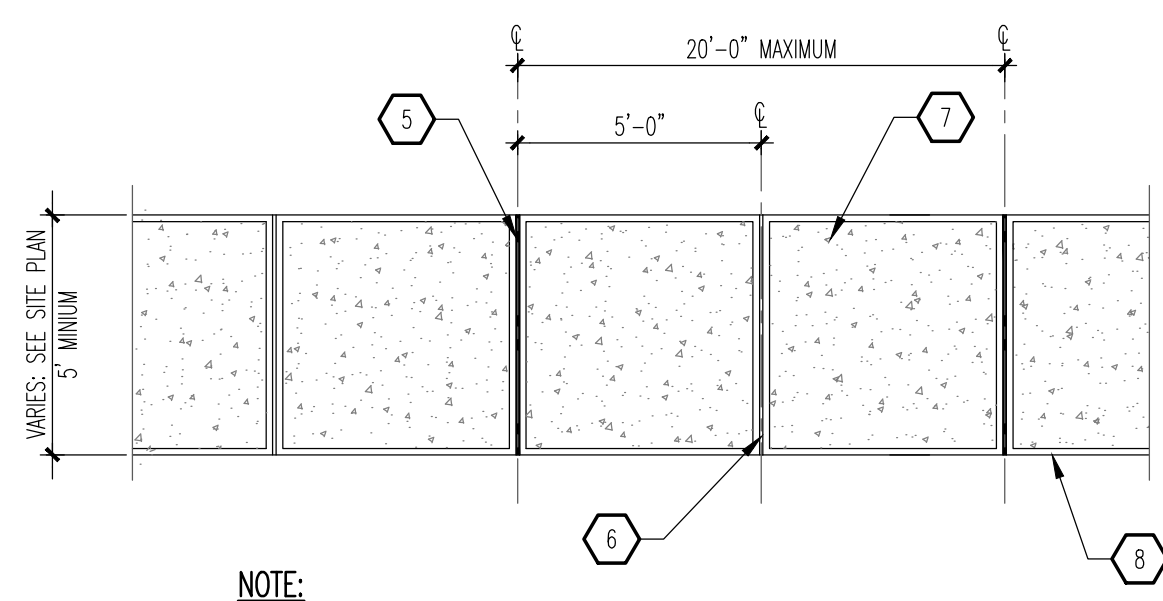


NOTE:  
HANDICAP RAMPS SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM WITH ALL APPLICABLE ANSI REQUIREMENTS. GC SHALL VERIFY CONFORMANCE WITH ALL APPLICABLE ANSI REQUIREMENT.

**A3 END ISLAND ADA RAMP**  
SCALE: 1/4" = 1'-0"

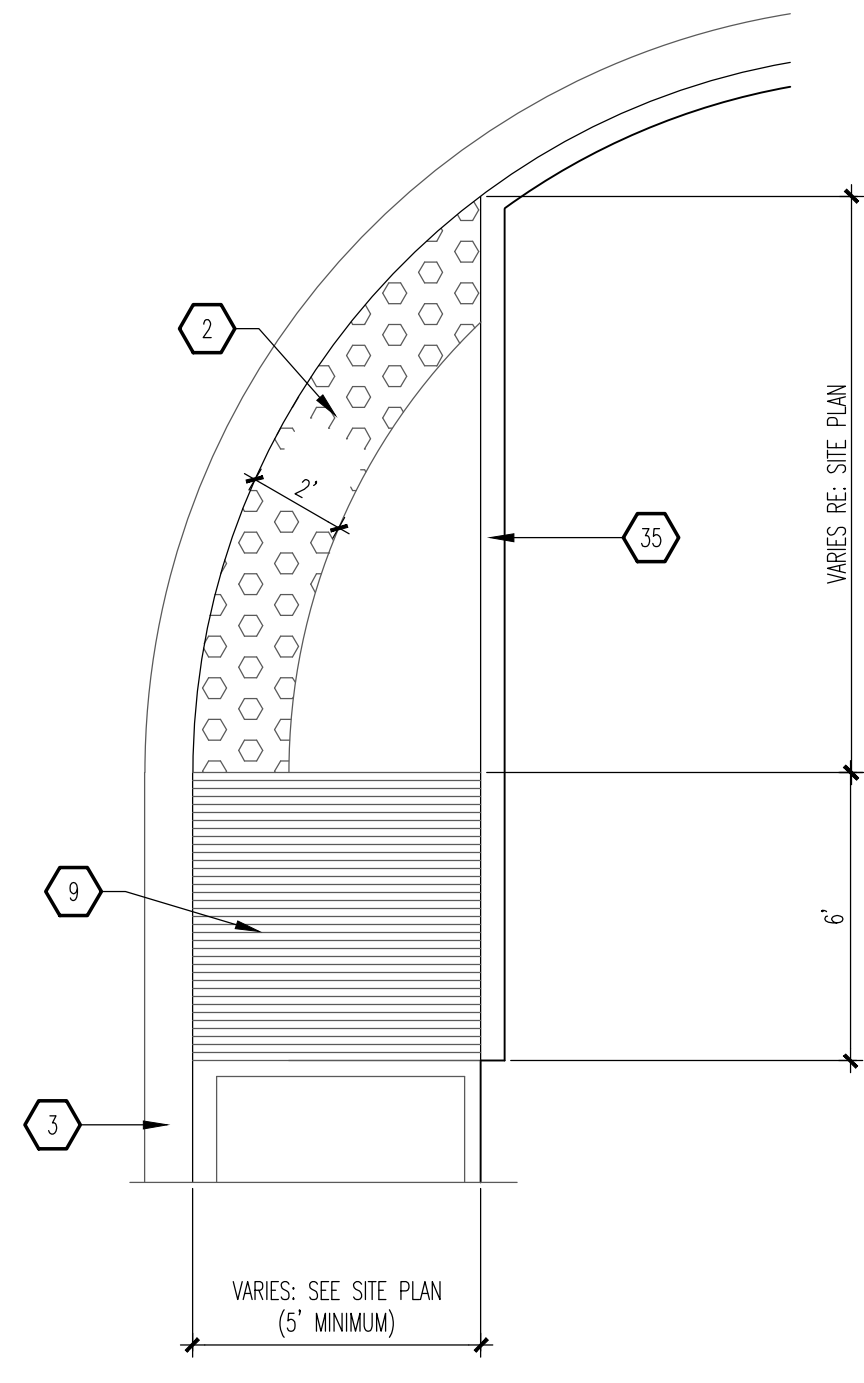


**C3 TYPICAL ISLAND**  
SCALE: 1/4" = 1'-0"



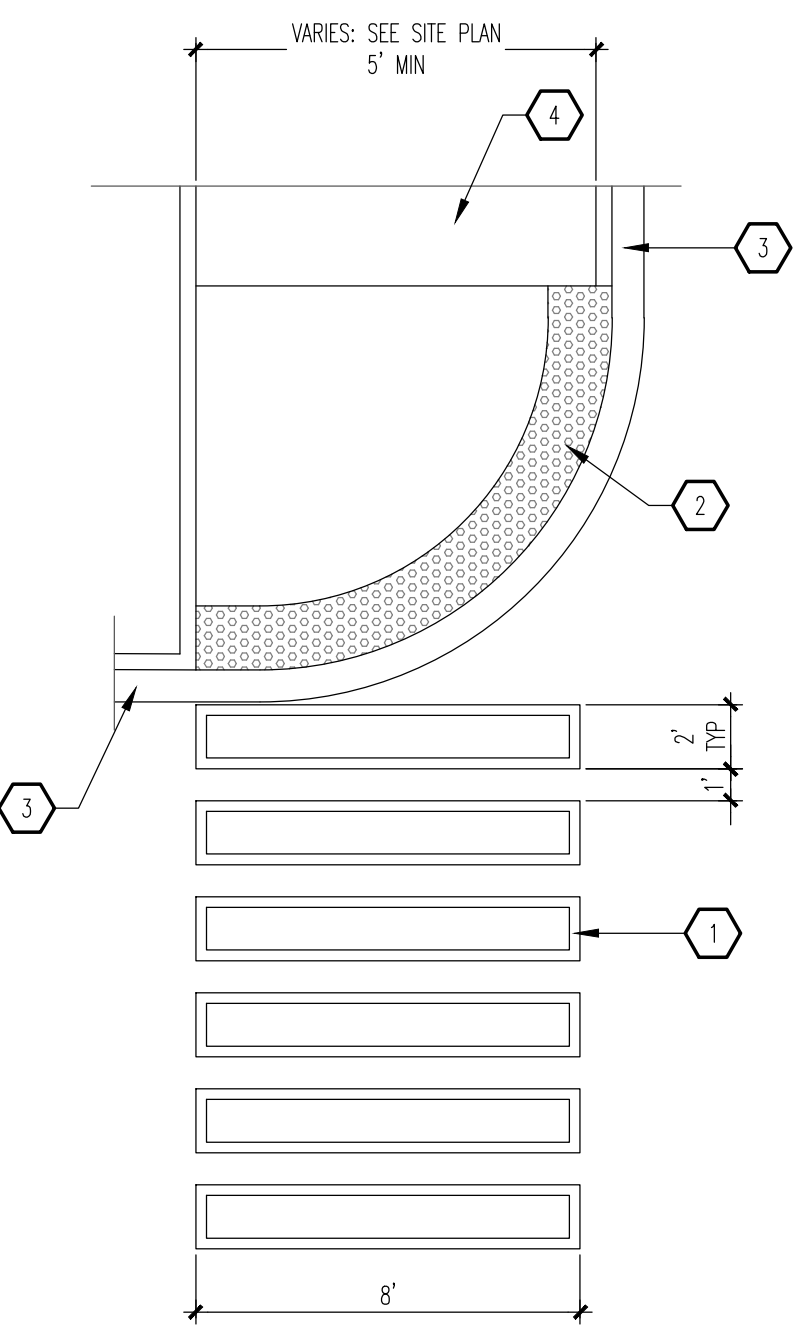
NOTE:  
FOLLOW COA STANDARD DRAWING #2430.

**B3 TYPICAL SIDEWALK**  
SCALE: 3/4" = 1'-0"

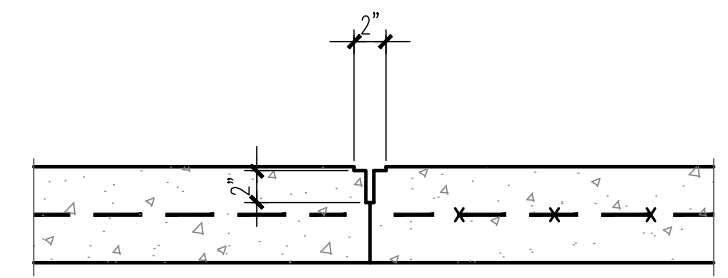
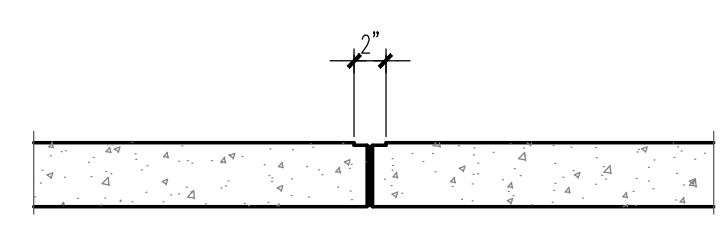


NOTE:  
FOLLOW COA STANDARD DRAWING #2443.

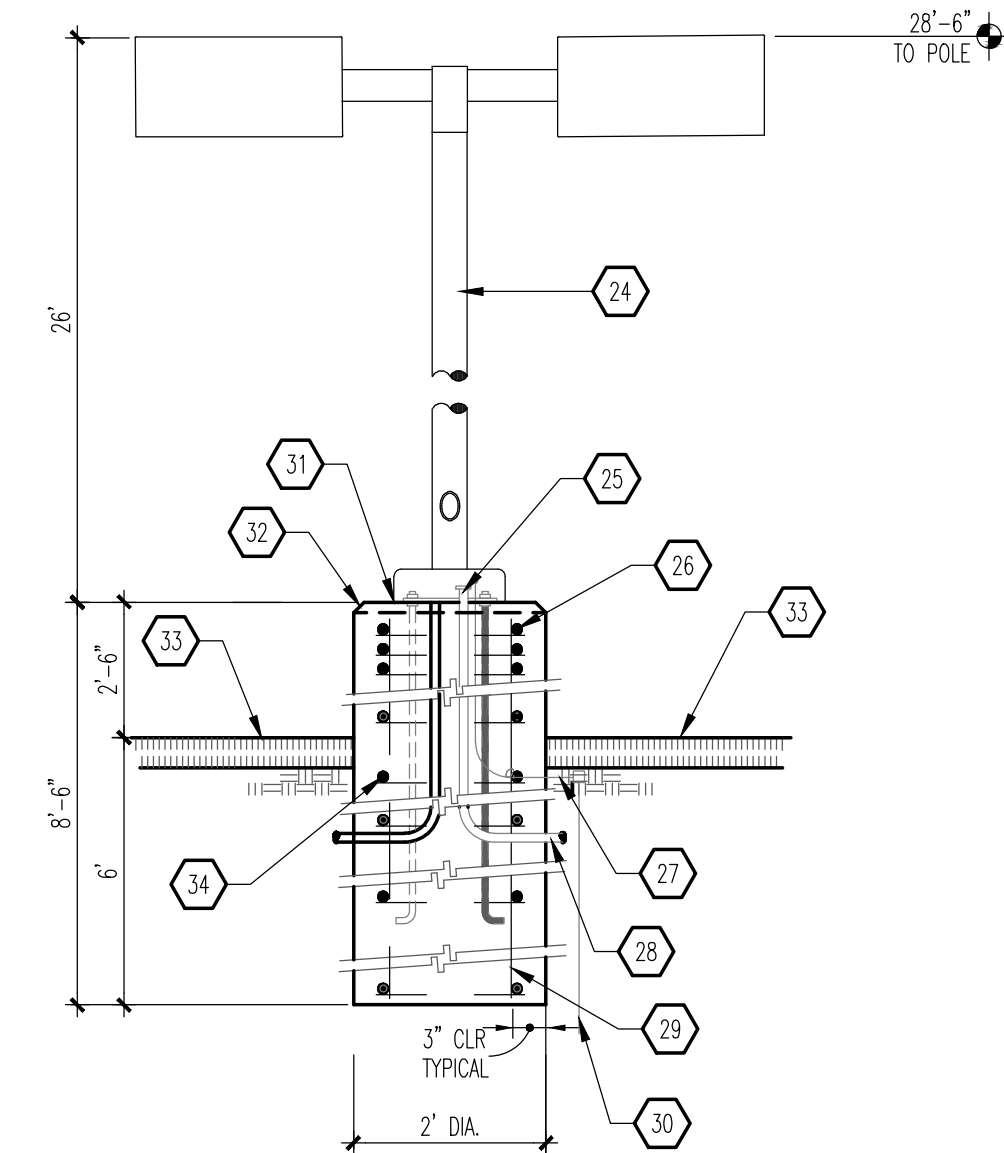
**A4 END ISLAND ADA RAMP**  
SCALE: 1/4" = 1'-0"



**C5 CONCRETE CROSSWALK**  
SCALE: 1/4" = 1'-0"



**B5 EXPANSION/CONTROL JOINT**  
SCALE: 1" = 1'-0"



NOTE:  
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION; WHICHEVER IS MORE RESTRICTIVE.  
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.  
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22', GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

**A5 LIGHT POLE**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

**KEYED NOTES**

- 4" THICK PAVEMENT MARKING, WHITE IN COLOR.
- 2" WIDE ADA APPROVED TRUNCATED DOME STRIP.
- CURB AND GUTTER: SEE B1/A1.1.
- CONCRETE SIDEWALK: SEE B3/A1.1.
- CONCRETE EXPANSION JOINT: SEE B5/A1.1.
- CONCRETE CONTROL JOINT: SEE B5/A1.1.
- BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
- SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.
- MONOLITHIC CONCRETE HANDICAP RAMP: INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED"; SMOOTH TEXTURE.
- FINISH WITH 1/4" DEEP x 1/4" WIDE GROOVES AT 2' OC.
- CONCRETE FLUSH WITH PAVEMENT.
- CURB, BEYOND.
- 2% CROSS SLOPE, MAXIMUM.
- RAMP, BEYOND.
- RETAINING CURB.
- SUBGRADE: COMPACTED AS SPECIFIED.
- PAVEMENT AS SPECIFIED.
- CONCRETE TURNDOWN CURB.
- 4" THICK CONCRETE SIDEWALK.
- SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
- 1/2" EXPANSION JOINT MATERIAL.
- STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.
- STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
- CONCRETE CURB AND GUTTER.
- SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE, POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
- CONNECT GROUND WIRE TO REINFORCING BARS.
- (3) #3 TIES AT 1/2" OC IN TOP 5'.
- #6 BARE COPPER GROUND WIRE.
- CONDUIT AS INDICATED ON ELECTRICAL PLAN.
- (6) #6 BARS VERTICAL.
- 8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
- NON-SHRINK GROUT.
- 2" CHAMFER.
- FINISHED GRADE.
- #3 TIES @ 12" OC.
- 6" RETAINING CURB.
- MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI); PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
- PROVIDE 1/4" DEEP BY 1/4" WIDE GROOVES @ 2" OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
- 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
- PROVIDE ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
- EXPANSION JOINT.
- WIDTH VARIES (6" MINIMUM); SEE SITE PLAN.
- PROVIDE A 5' LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
- WIDTH VARIES: SEE SITE PLAN (MINIMUM 5' WIDTH).

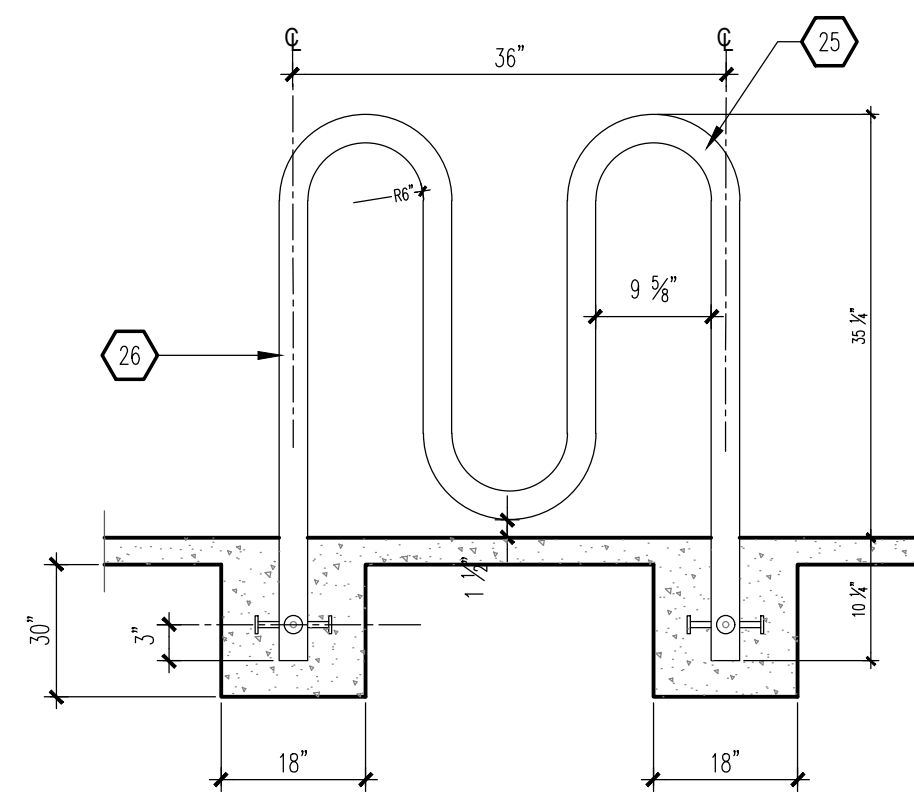
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**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

15 OCT 2020

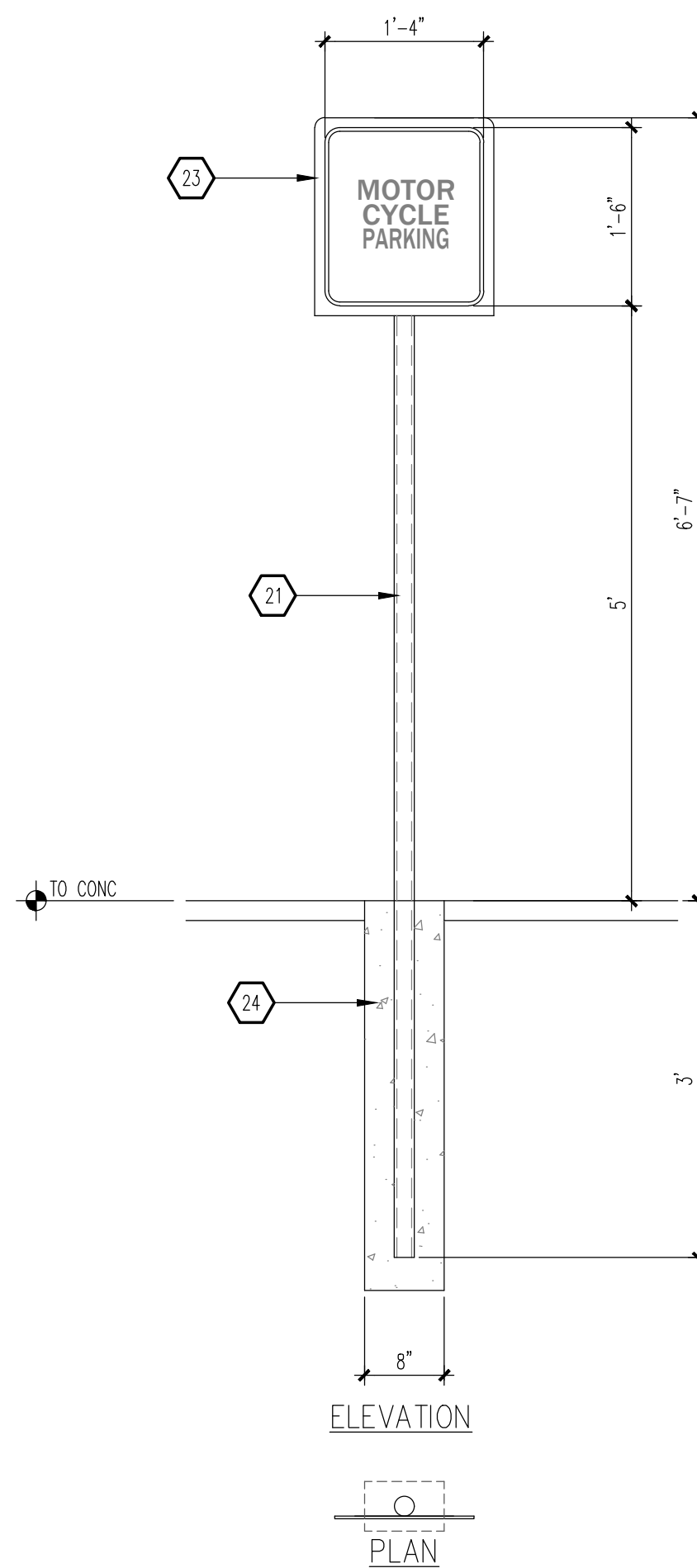
PROJECT TITLE <b>STARBUCKS</b> 8721 WASHINGTON STREET NE ALBUQUERQUE, NEW MEXICO 87113	DRAWN BY: DTN
PROJECT MANAGER <b>DEVIN NGUYEN</b>	JOB NO. ABO
SHEET TITLE <b>SITE DETAILS</b>	

DATE 30.07.2020	sheet
SCALE AS NOTED	A1.1

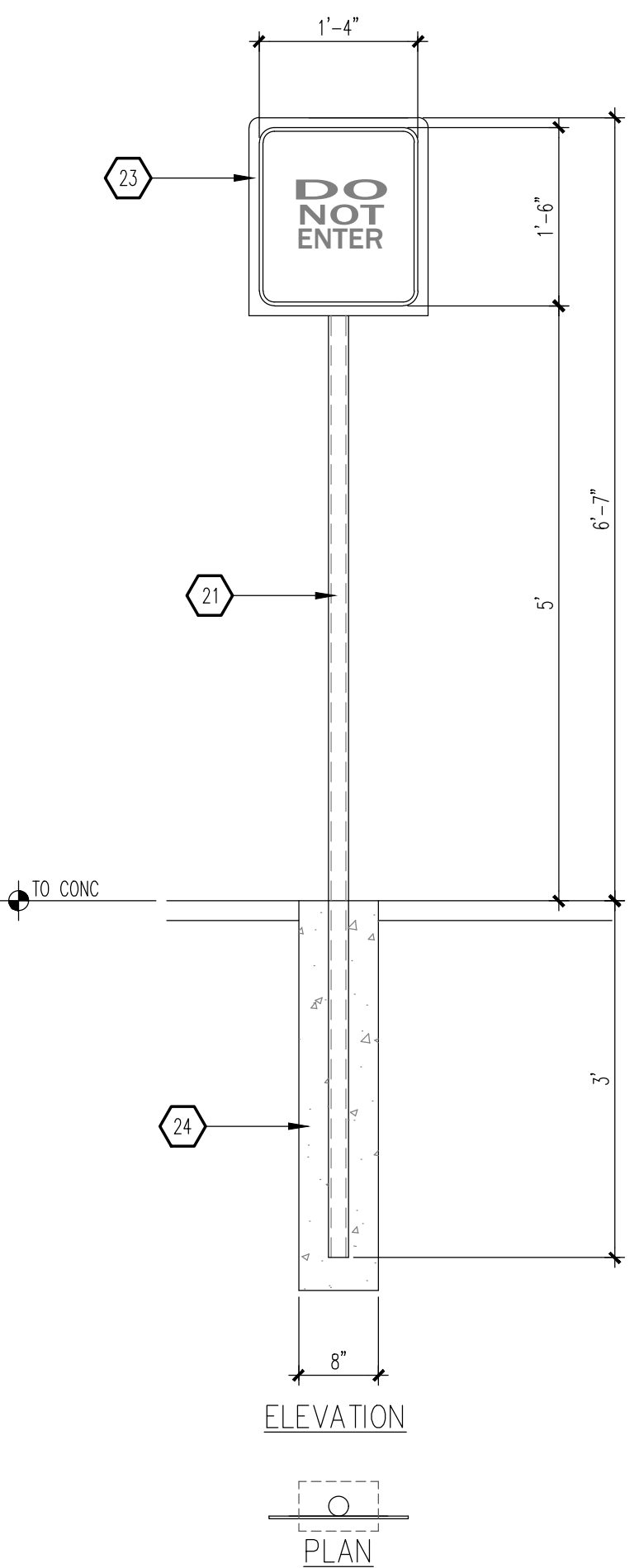


NOTE:  
 BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:  
 A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.  
 B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.  
 C. COMB/TOASTER RACKS ARE NOT ALLOWED.  
 D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.  
 E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
 F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.  
 G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

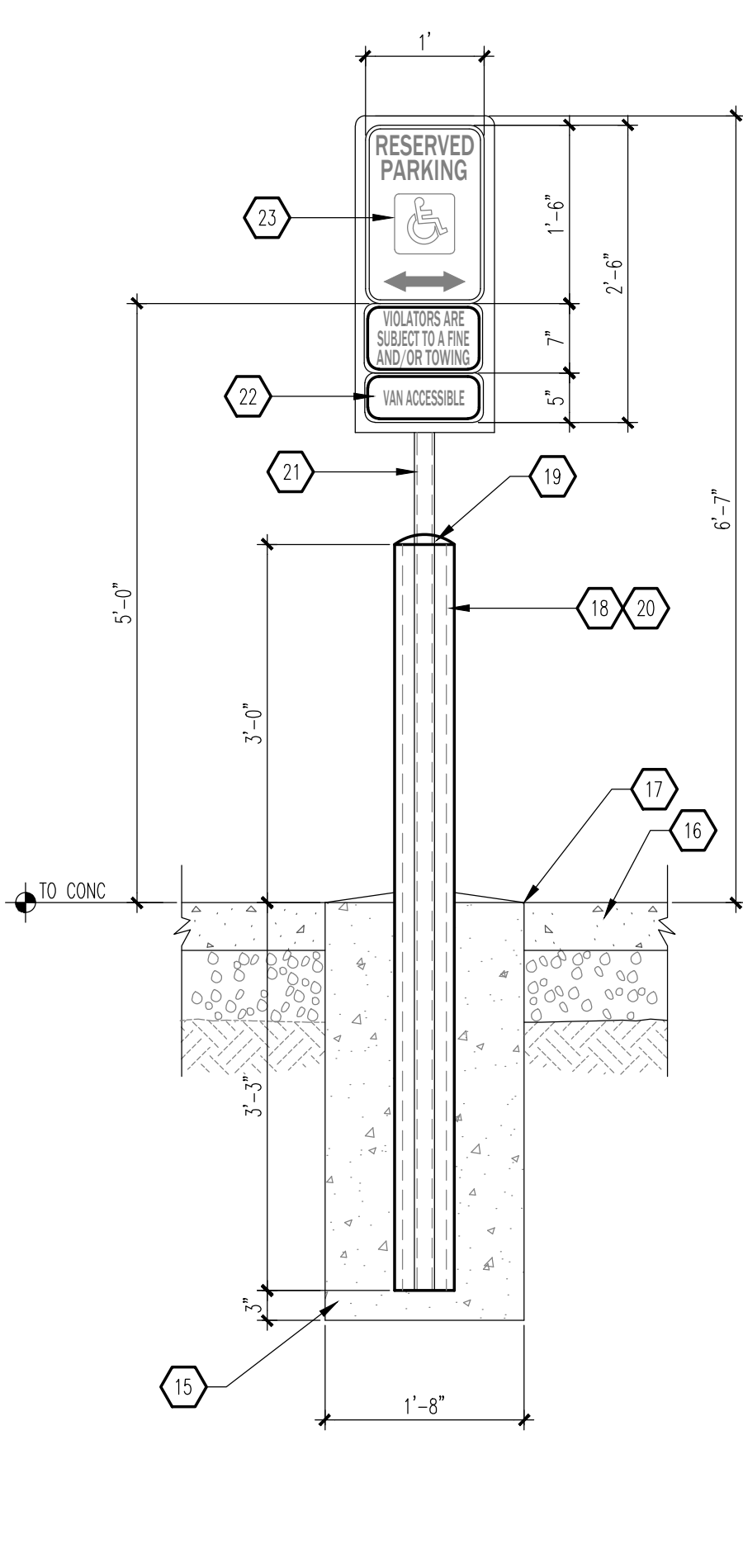
**B1 BIKE RACK**  
 SCALE: 1/2" = 1'-0"



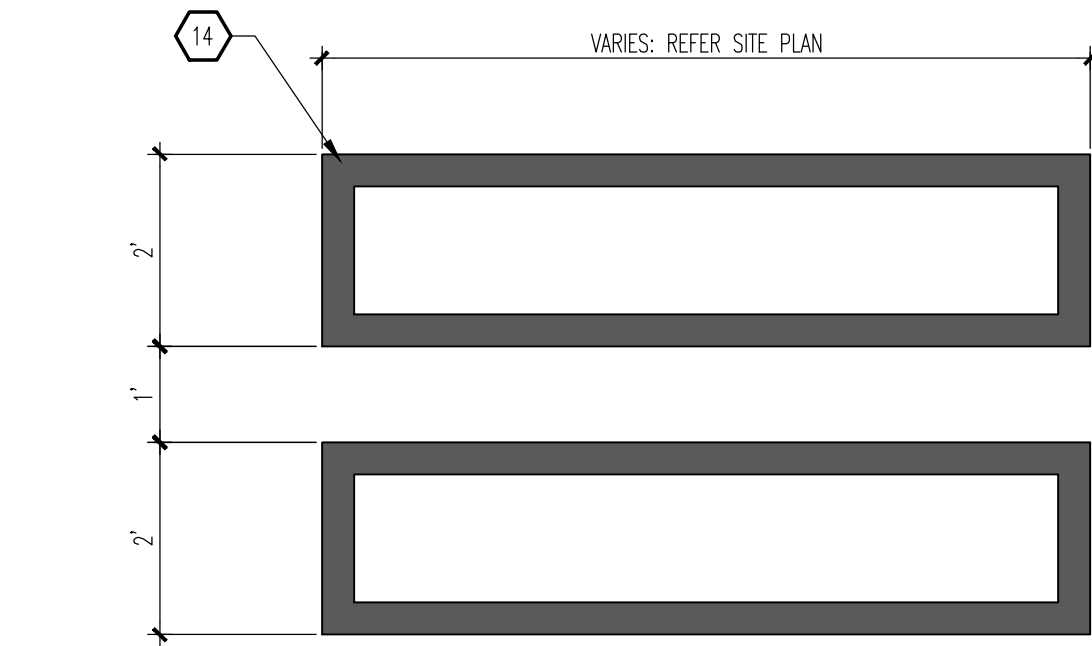
**B2 MISC SIGNAGE**  
 SCALE: 3/4" = 1'-0"  
 NOTE:



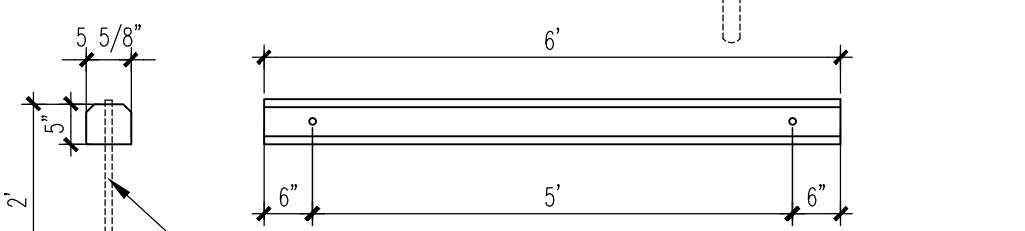
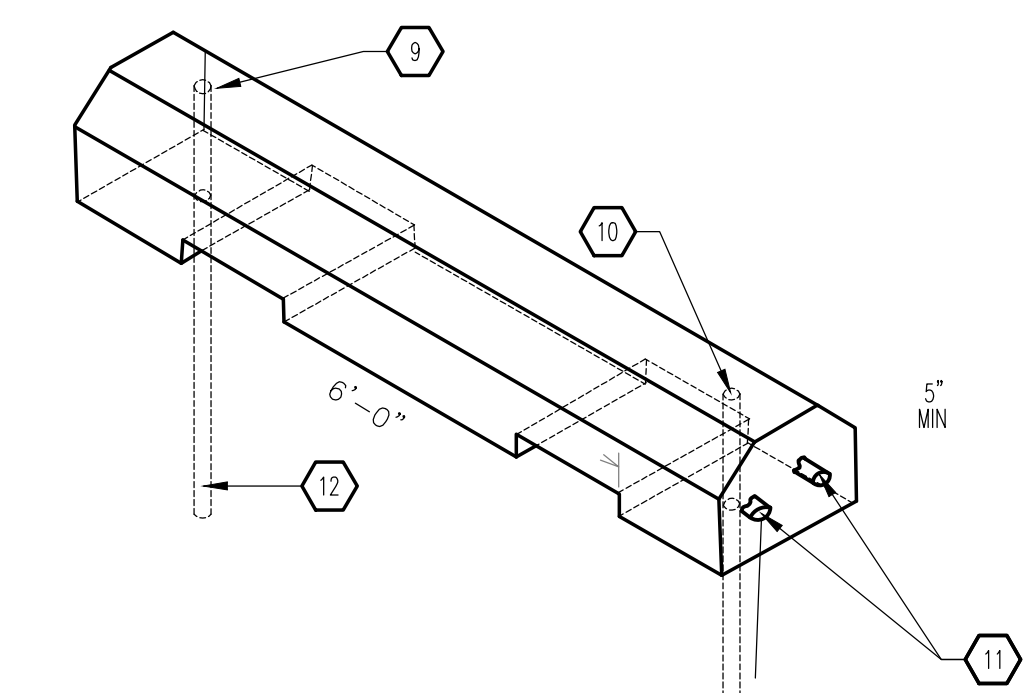
**B3 MISC SIGNAGE**  
 SCALE: 3/4" = 1'-0"



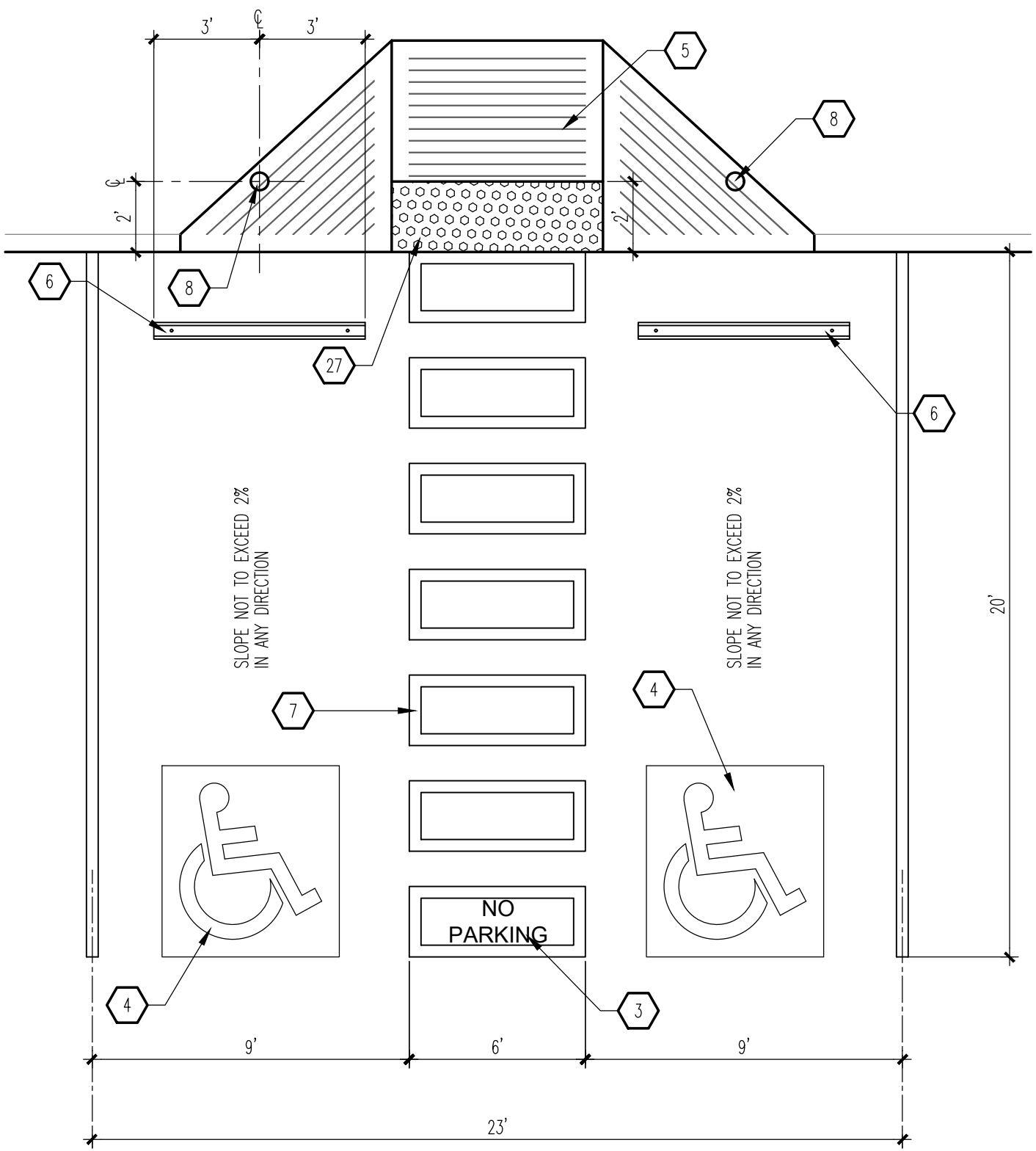
**B4 MISC SIGNAGE**  
 SCALE: 3/4" = 1'-0"  
 NOTE:



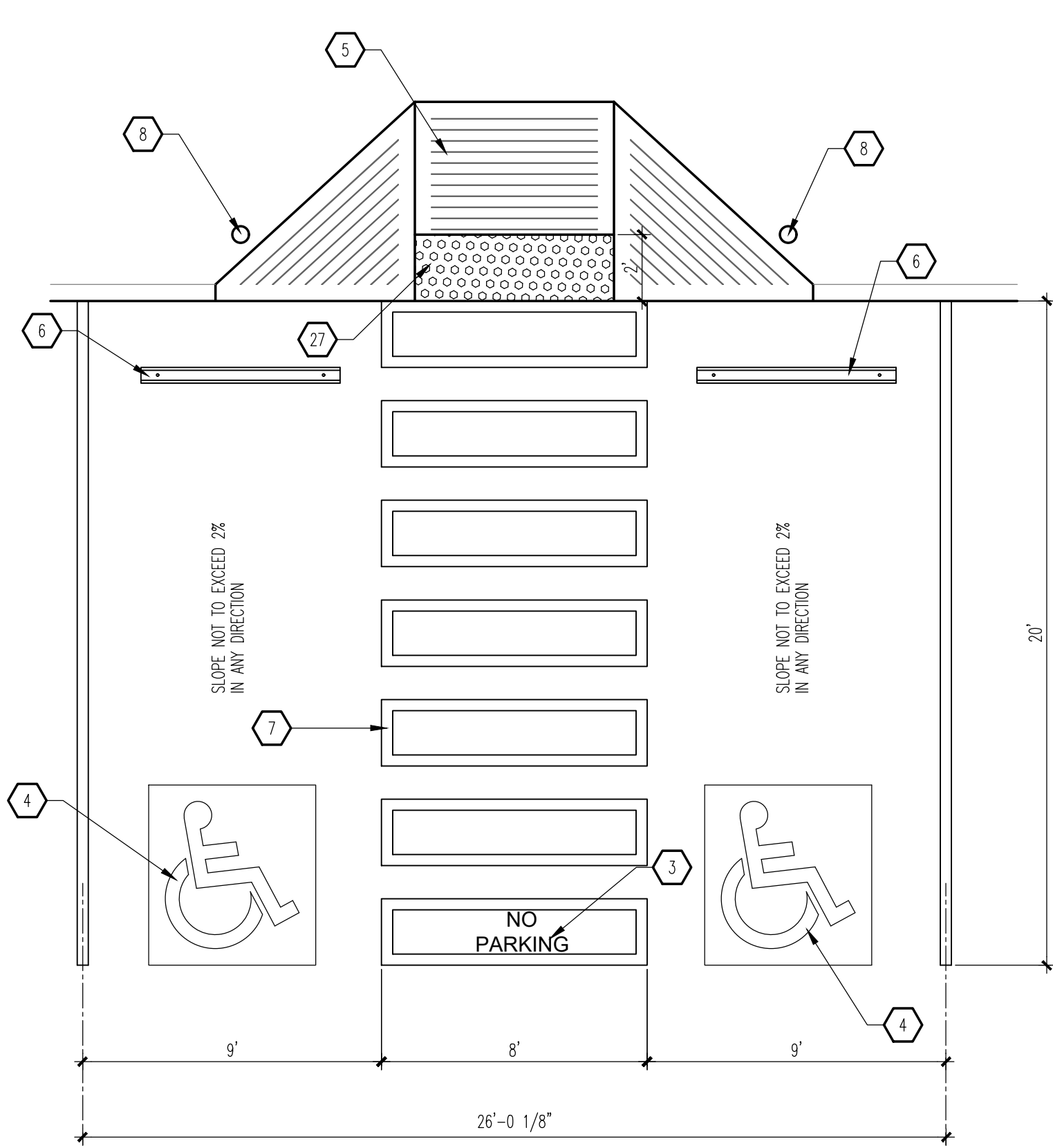
**C5 WALKWAY PAVEMENT MARKING**  
 SCALE: 1/2" = 1'-0"



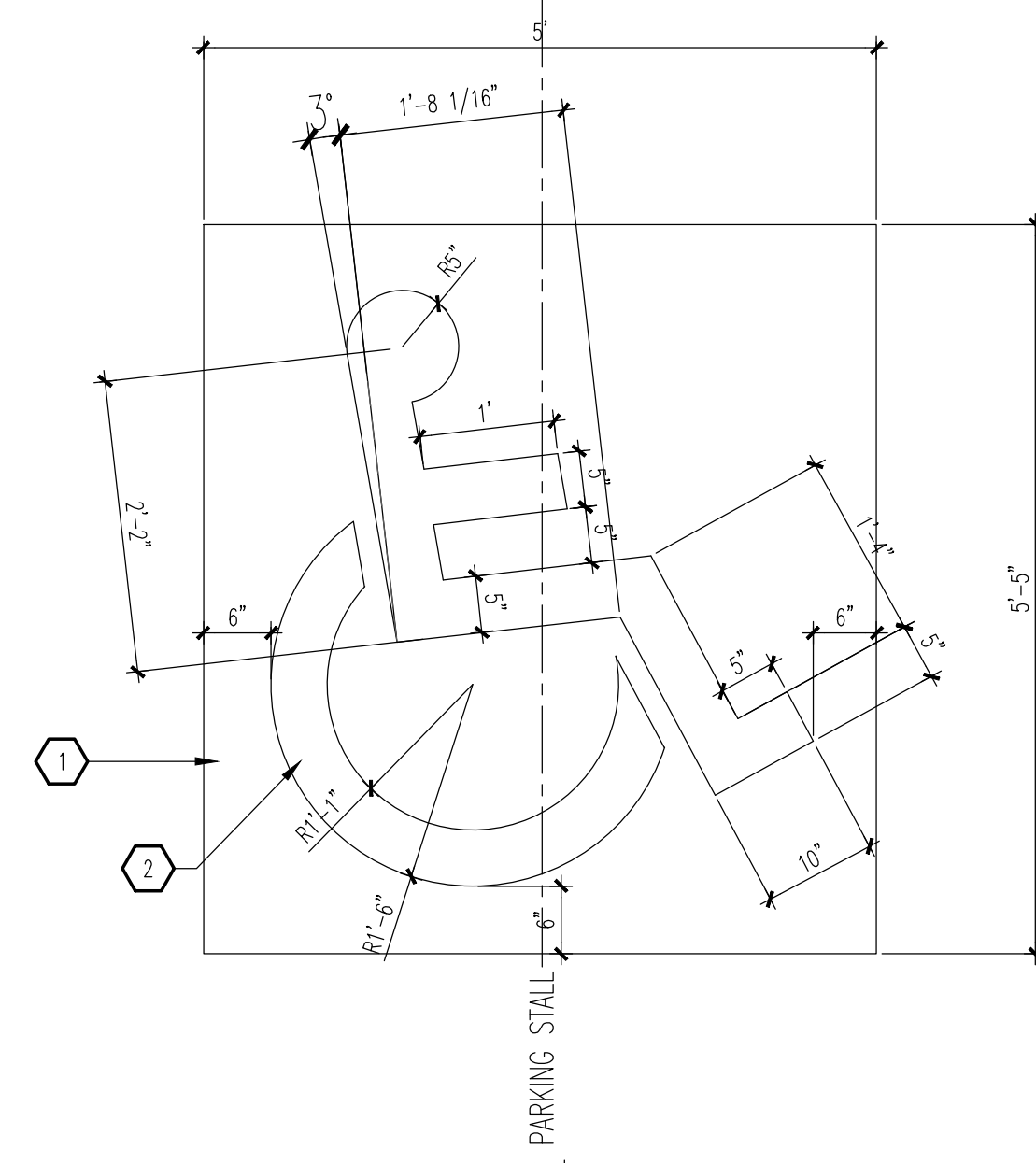
**B5 WHEEL STOP**  
 SCALE: 3/4" = 1'-0"



**A1 HC PARKING PLAN**  
 SCALE: 1/4" = 1'-0"



**A3 HC PARKING PLAN PLAN ACCESIBLE**  
 SCALE: 1/4" = 1'-0"



**A5 HANDICAP SIGNAGE**  
 SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

**KEYED NOTES**

1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. FLARED RAMP: SEE A3/A1.1.
6. WHEEL STOP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/8" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. 4" WIDE WHITE PAINTED STRIPING.
15. 3,500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 3/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 3/8" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.

- NOTE:
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION; WHICHEVER IS MORE RESTRICTIVE.
  2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.
  3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22'. GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

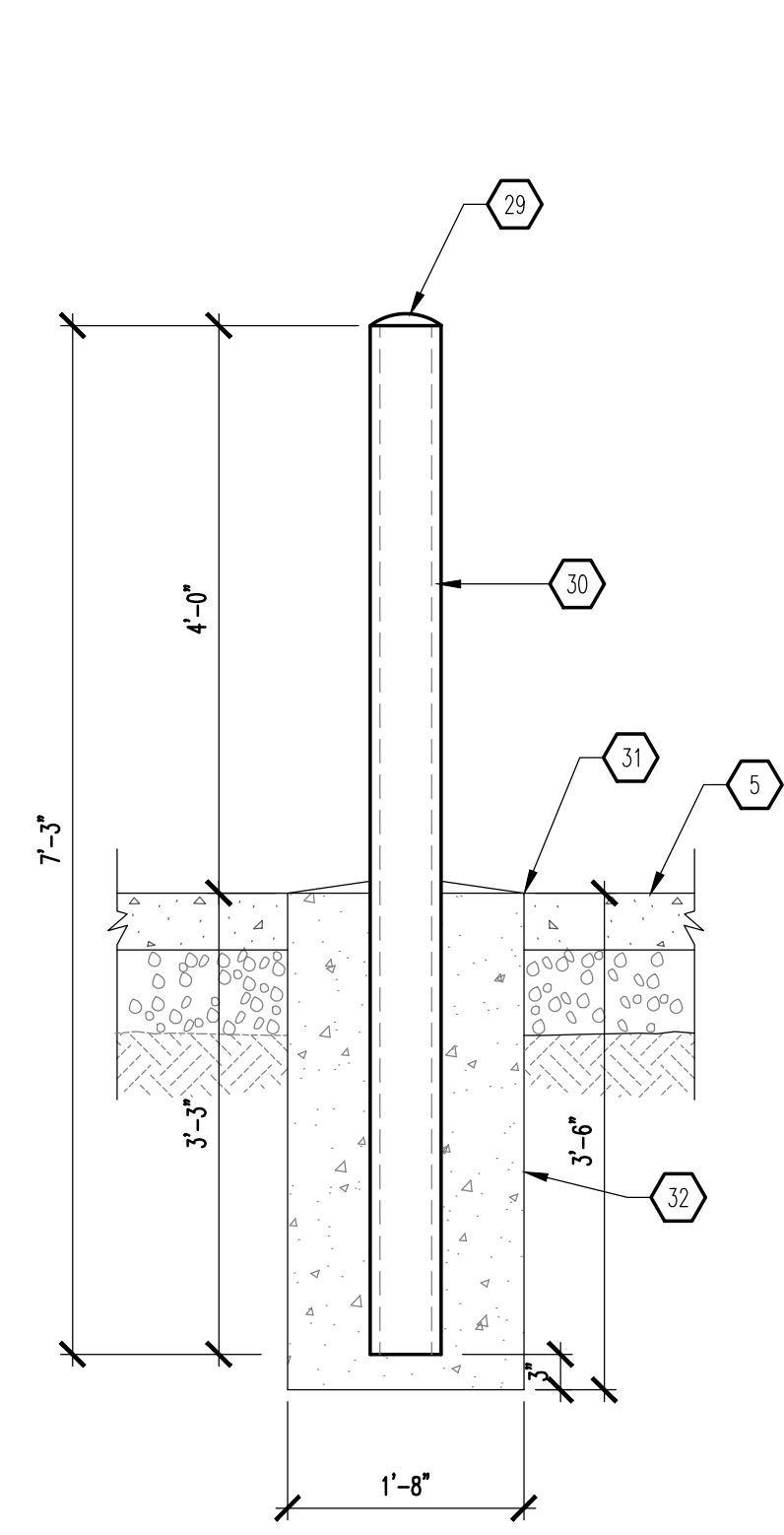
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**MODULUS ARCHITECTS**  
 100 SUN AVENUE N.E., Ste 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

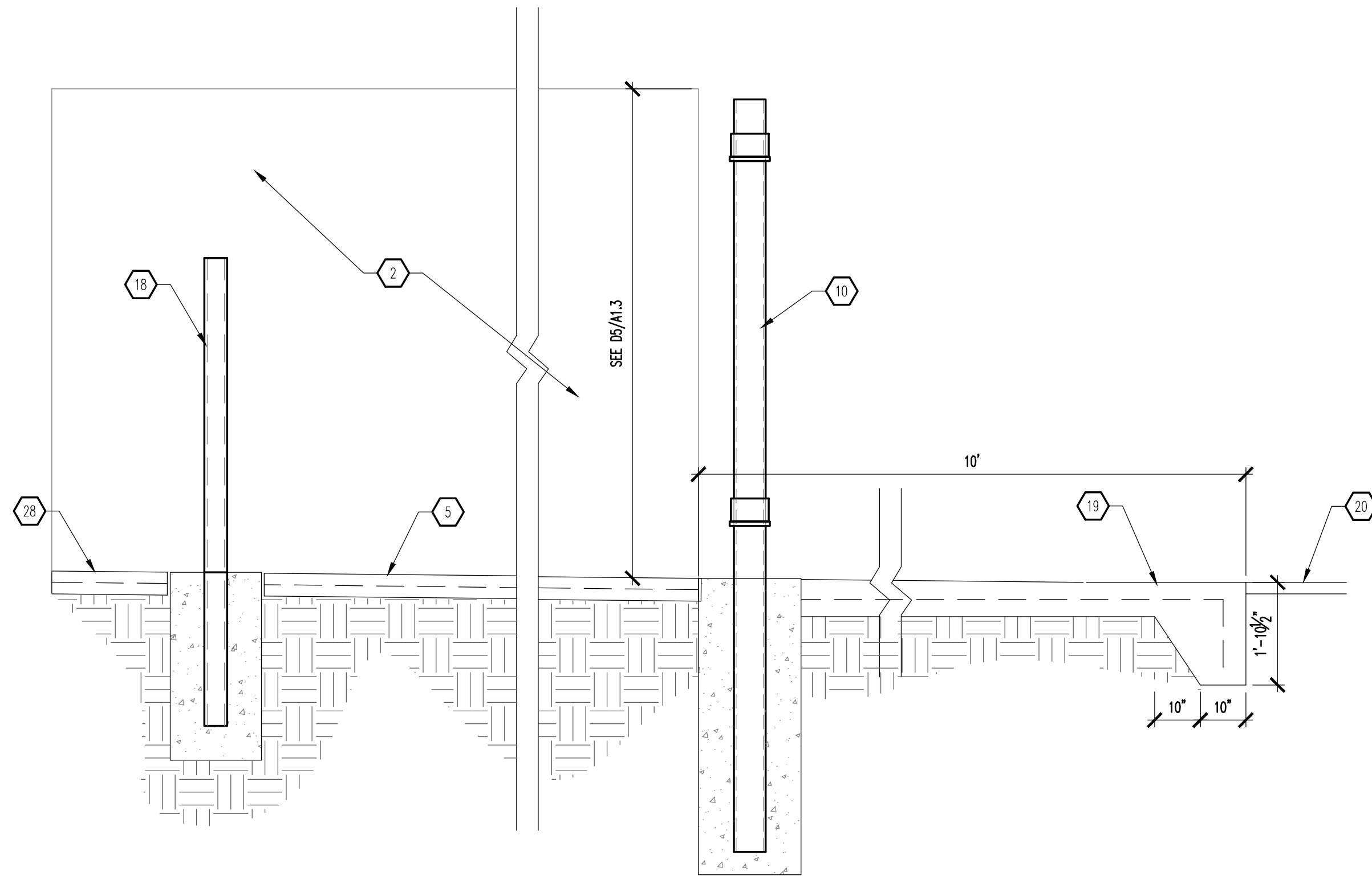
28 SEP 2020

PROJECT TITLE: **STARBUCKS CENTRAL & TRINCO ALBUQUERQUE, NEW MEXICO 87XXX**  
 PROJECT MANAGER: **DEVIN NGUYEN**  
 DRAWN BY: **DTN**  
 JOB NO.: **ARB**  
 SHEET TITLE: **SITE DETAILS**

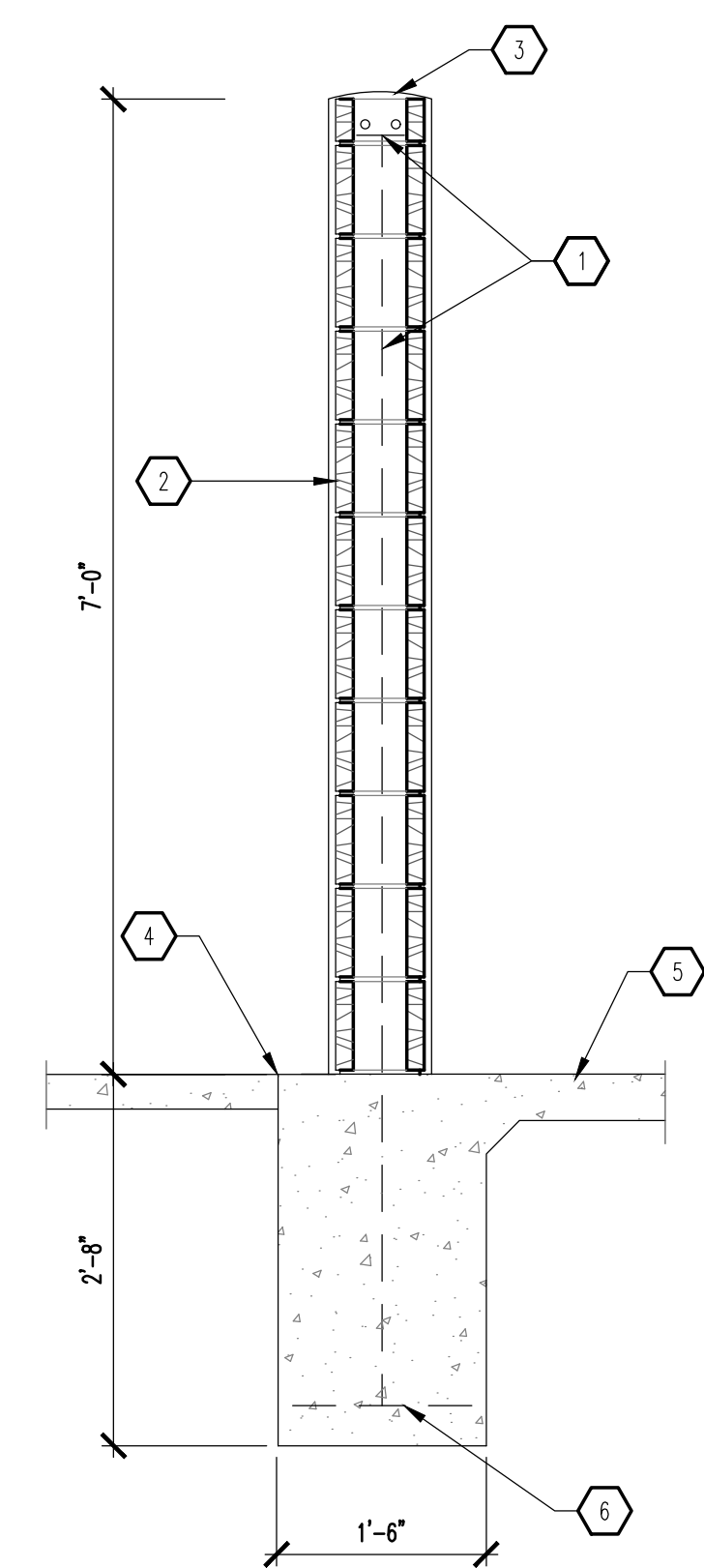
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 SHEET: **A1.2**



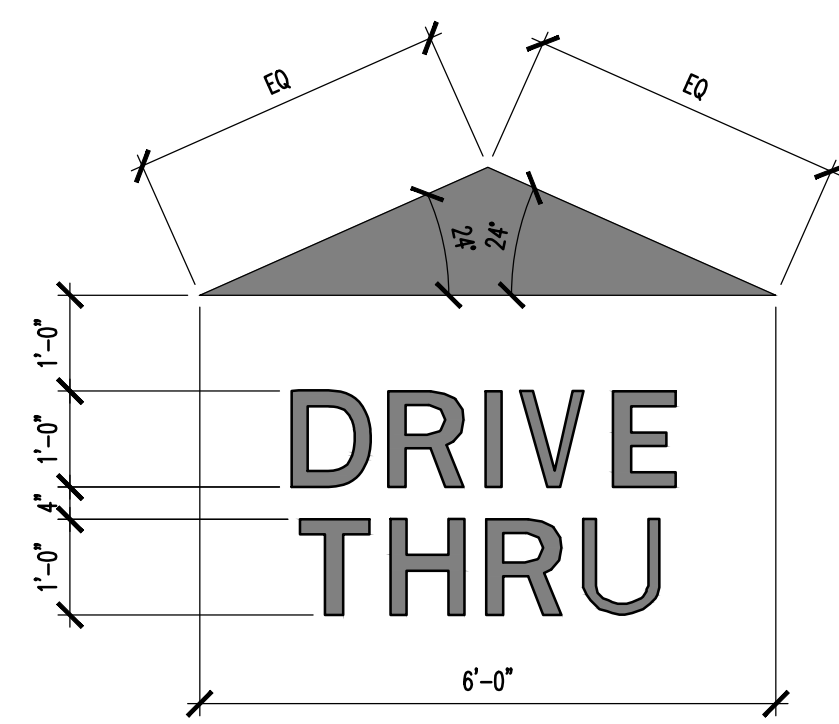
**D1 BOLLARD SECTION**  
SCALE: 3/4" = 1'-0"



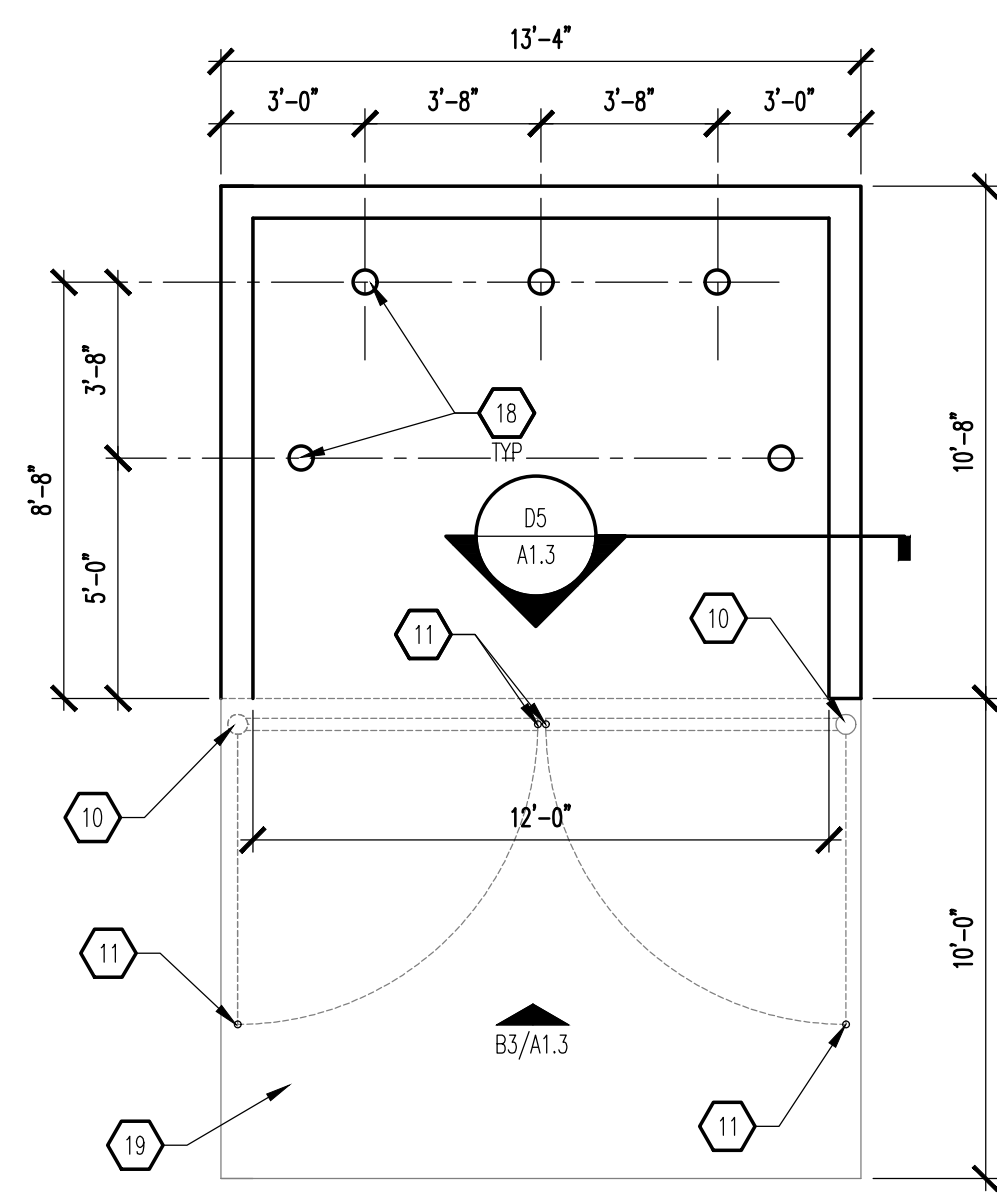
**D2 REUSE ENCLOSURE SECTION**  
SCALE: 1/2" = 1'-0"



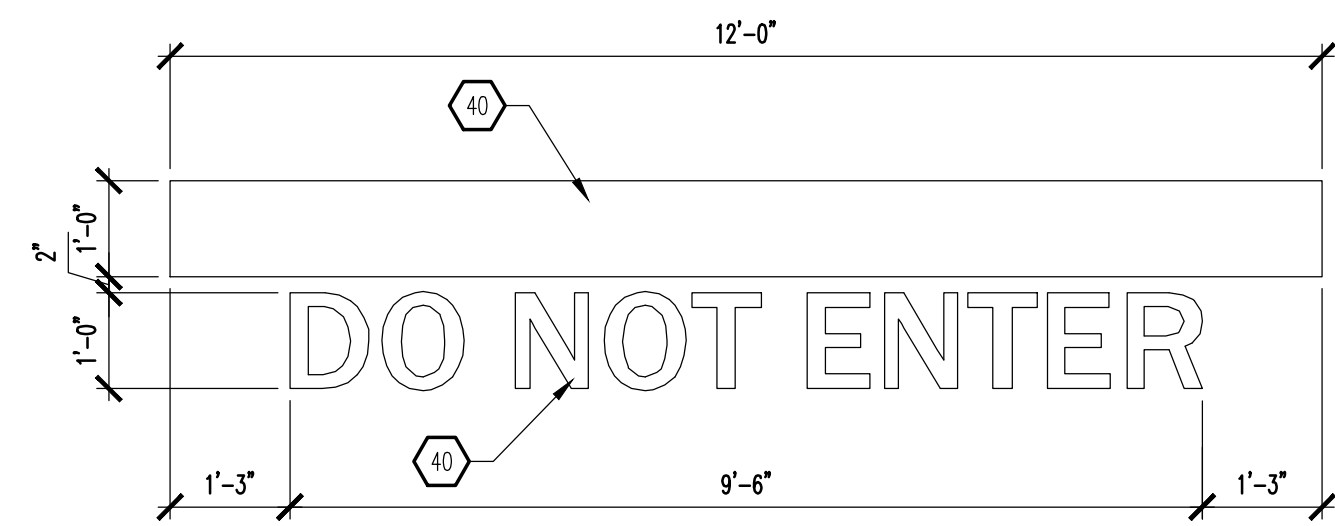
**D5 WALL SECTION**  
SCALE: 3/4" = 1'-0"



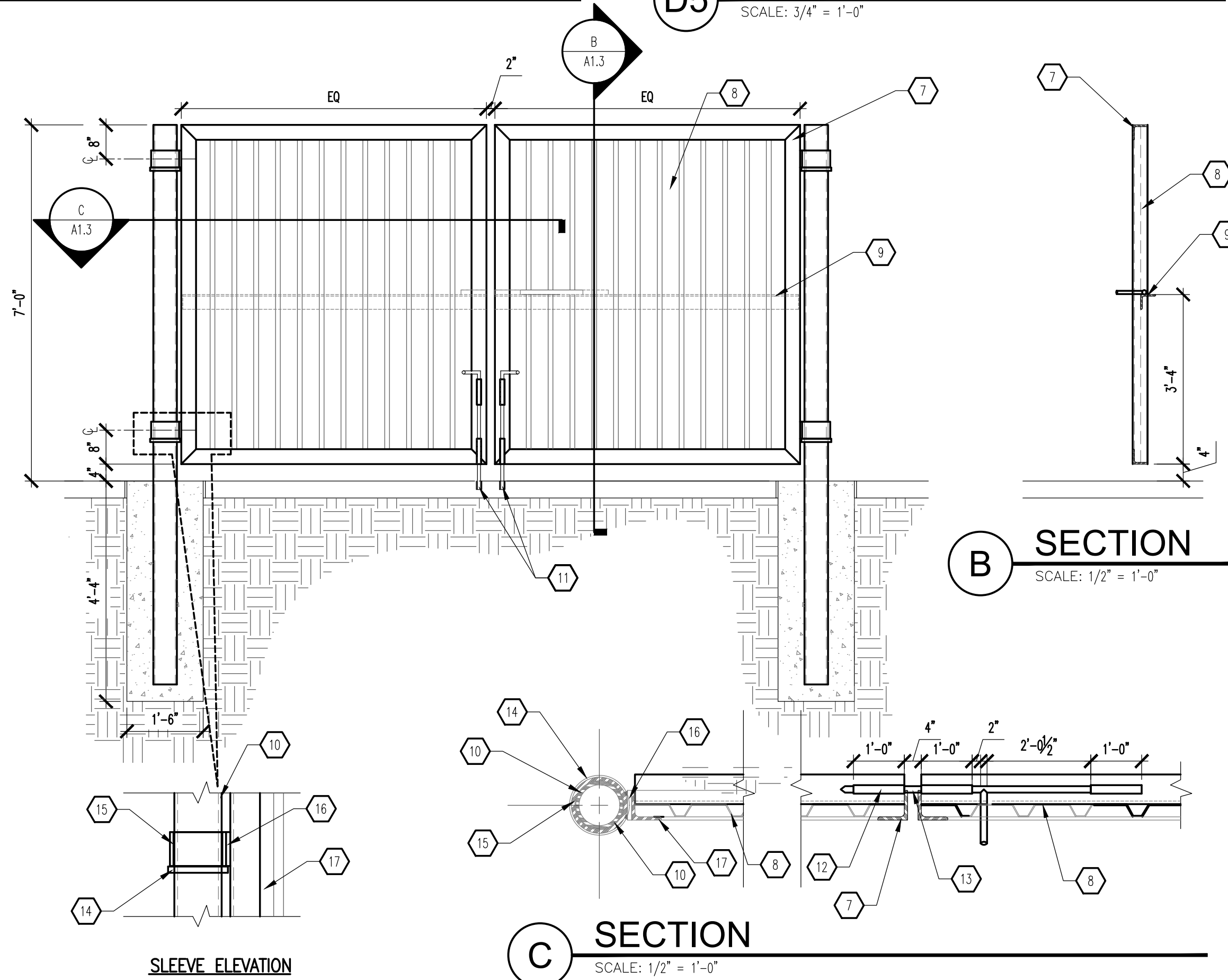
**B1 PAVEMENT MARKING**  
SCALE: 1/2" = 1'-0"



**B2 REUSE ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"



**A1 DO NOT ENTER PAVEMENT MARKING**  
SCALE: 1/2" = 1'-0"



**B3 REUSE ENCLOSURE ELEVATION**  
SCALE: 1/2" = 1'-0"

**B SECTION**  
SCALE: 1/2" = 1'-0"

**C SECTION**  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

**KEYED NOTES**

- (2) #5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" OC VERTICAL GROUT REINFORCED CELLS, DURAWALL @ 16" OC HORIZONTAL.
- 8" CMU WALL WITH 2-COAT SYNTHETIC STUCCO SYSTEM. COLOR TO MATCH BUILDING "STUCCO 1" COLOR; REFER TO EXTERIOR ELEVATIONS ON SHEET A201.
- SLOPE STUCCO CAP.
- 1/2" EXPANSION JOINT MATERIAL.
- 4" CONCRETE SLAB AT 4,000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 W/M.
- (4) #4 BARS CONTINUOUS @ BOTTOM OF FOOTING #4 @ 16" OC ACROSS BOTTOM OF FOOTING.
- 3 1/2"x3 1/2"x3/8" STEEL ANGLE-WELD CORNERS (TYPICAL OF 4 SIDES).
- METAL DECKING, 18ga WITH SHEET METAL SCREWS @ 9" OC TOP, BOTTOM AND SIDES. PAINT FINISH, SHERWIN WILLIAMS #BW6143 BASKET BRIDGE.
- 3 1/2" x 3 1/2" x 3/8" STEEL ANGLE-WELD FLUSH WITH METAL DECKING AT EACH END.
- 5" OD HEAVY DUTY PIPE POST.
- 3/4" DIAMETER CANE BOLT. PROVIDE CATCH TO HOLD IN POSITION WHEN REQUIRED TO ELIMINATE DRAG.
- STEEL TUBING WELD TO ANGLE AT TOP TO FIT STEEL ROD.
- 3/4" DIAMETER STEEL ROD TAPER END AND WELD 6" HANDLE.
- 3/4" SQUARE STOCK WRAP AROUND POST AT EACH LOCATION.
- 6" HEAVY DUTY PIPE SLEEVE 4" IN WIDTH.
- 1/2" x 3 1/2" FLAT BAR STOCK OVER 6" SLEEVE.
- 3 1/2" x 3 1/2" x 3/8" ANGLE OVER 1/2" FLAT BAR.
- BOLLARD: SEE D1/A1.3.
- 6" CONCRETE APRON AT 4,000 PSI 3/4" AGGREGATE WITH 6x6 - 10x10 W/M WITH TURNDOWN EDGE.
- ASPHALT PAVING.
- STRUCTURAL FOOTING: SEE 7/S201.
- 3/8" THICK PLATE: SEE 7/S201.
- TUBE STEEL (TS): SEE 7/S201.
- METAL CHANNEL.
- 2 1/2" METAL STUD FRAMING, 18ga.
- 6" TAG SIDING: LONGBOARD PRODUCTS, 6" V-GROOVE TAG SIDING; DARK KNOTTY PINE; OR APPROVED EQUAL. CONTRACTOR TO MATCH APPROVED SOFFIT PANEL. SEE RCP ON SHEET A111.
- BOTTOM TRIM WITH WEEP HOLE BY SIDING MANUFACTURER.
- FINISHED GRADE.
- ROUND CONCRETE TOP.
- 6" STEEL PIPE FILLED WITH CONCRETE. PAINT FINISH - SAFETY YELLOW.
- BITUMINOUS JOINT FILLER (AT CONCRETE PAVEMENT ONLY).
- CONCRETE FOOTING.
- DASHED LINE INDICATES SHRUB: SEE LANDSCAPING PLAN ON SHEET LS101.
- ARTIFICIAL TURF: SMART TURF, CYPRESS POINT 70oz WITH MICROBAN TECHNOLOGY; OR APPROVED EQUAL.
- 3 LBS INFILL.
- 2" CUSHION PAD BY ARTIFICIAL TURF MANUFACTURER.
- 4" COMPACTED SUBGRADE.
- WEED BARRIER.
- COMPACTED SOIL UNDERNEATH.
- PAINT SOLID WHITE.

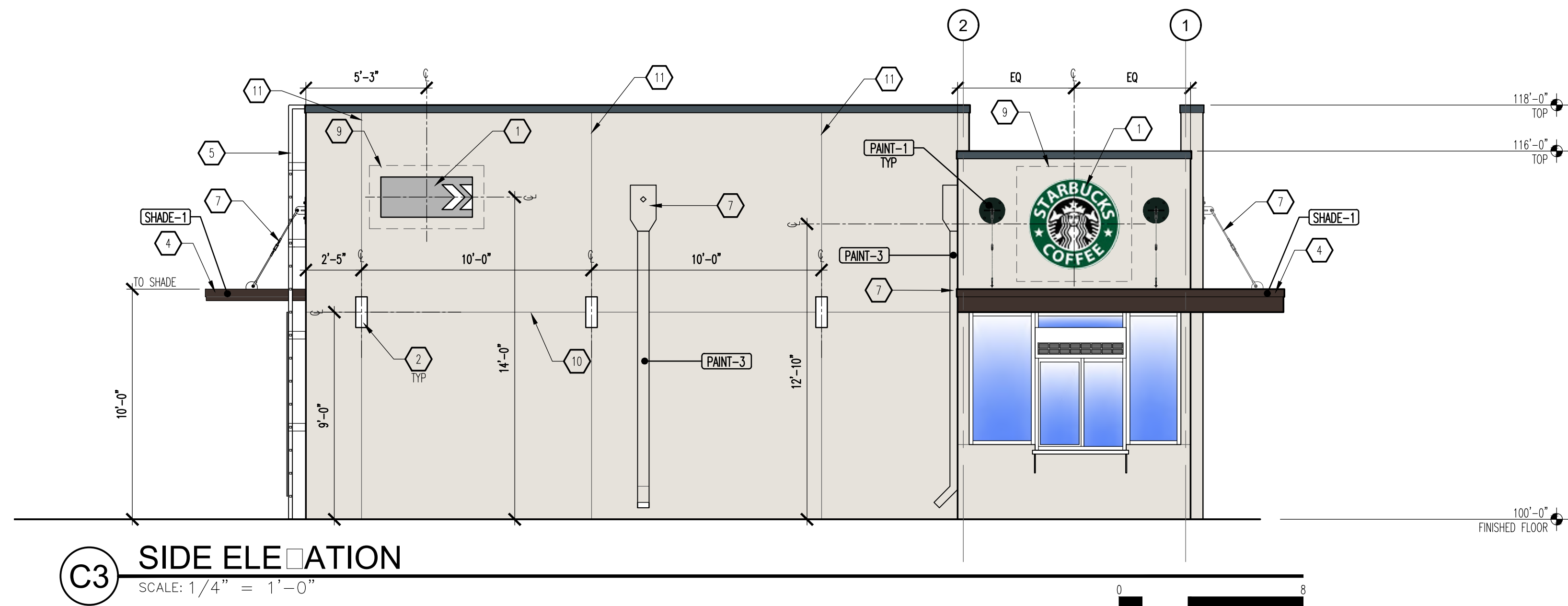
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**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

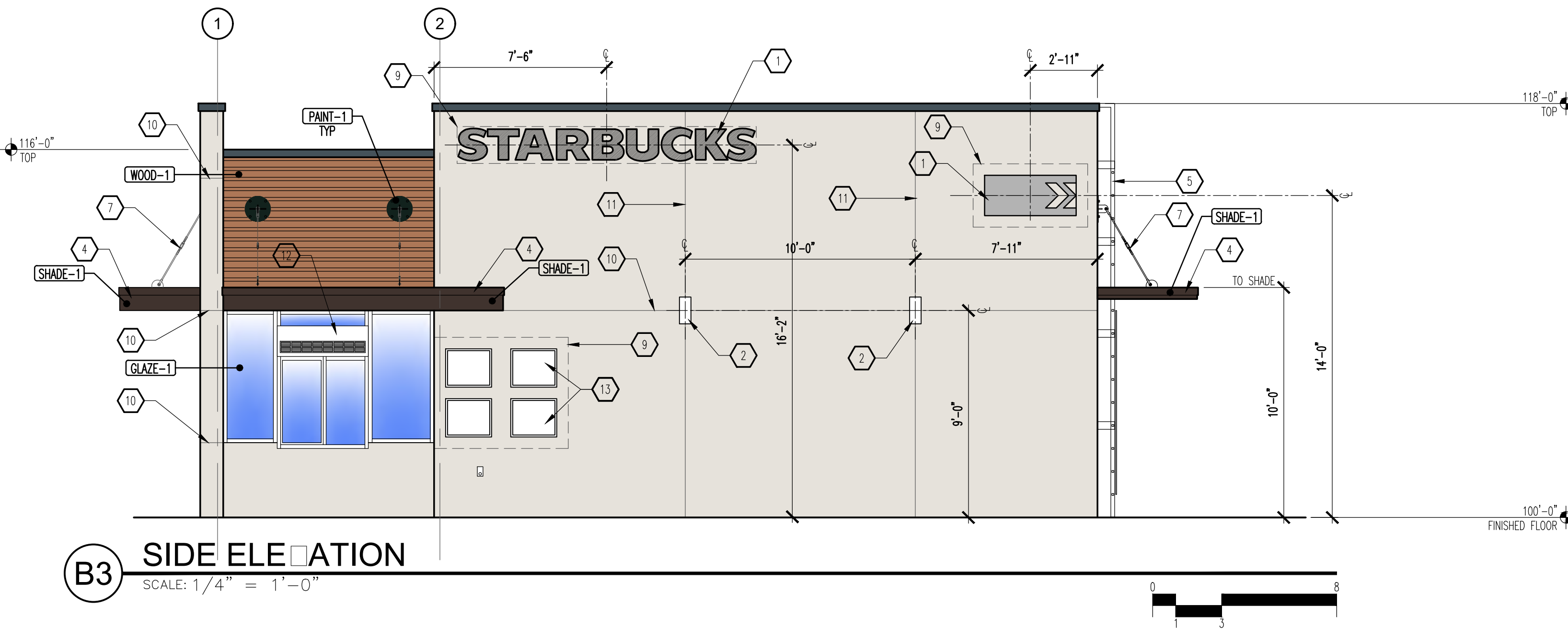
28 SEP 2020

PROJECT TITLE <b>STARBUCKS CENTRAL &amp; ATRISCO ALBUQUERQUE, NEW MEXICO 87XXX</b>	DRAWN BY: DIN
PROJECT MANAGER <b>DEVIN NGUYEN</b>	JOB NO. ABO
SHEET TITLE <b>SITE DETAILS</b>	

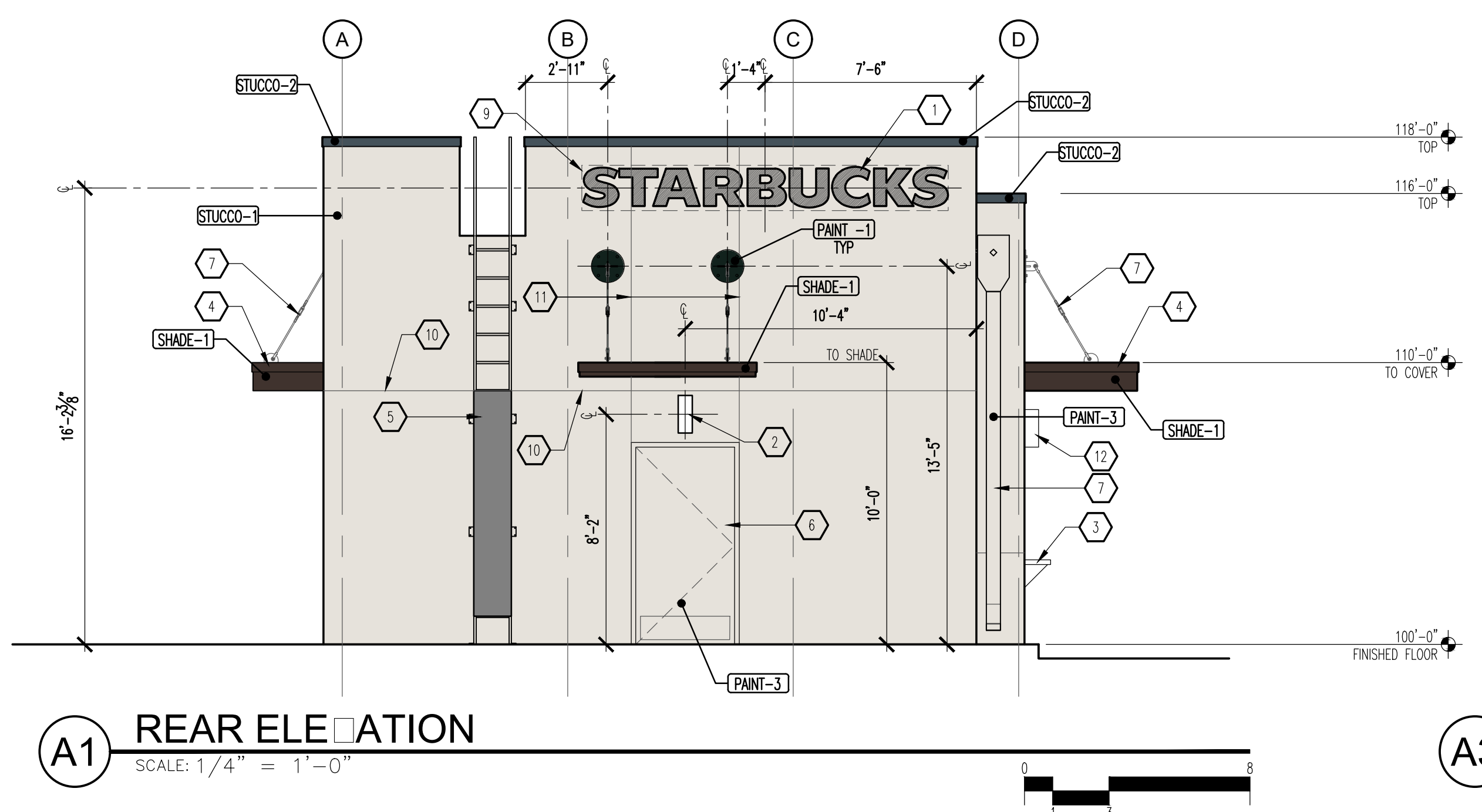
DATE: <b>13 AUG 2020</b>	sheet: <b>A1.3</b>
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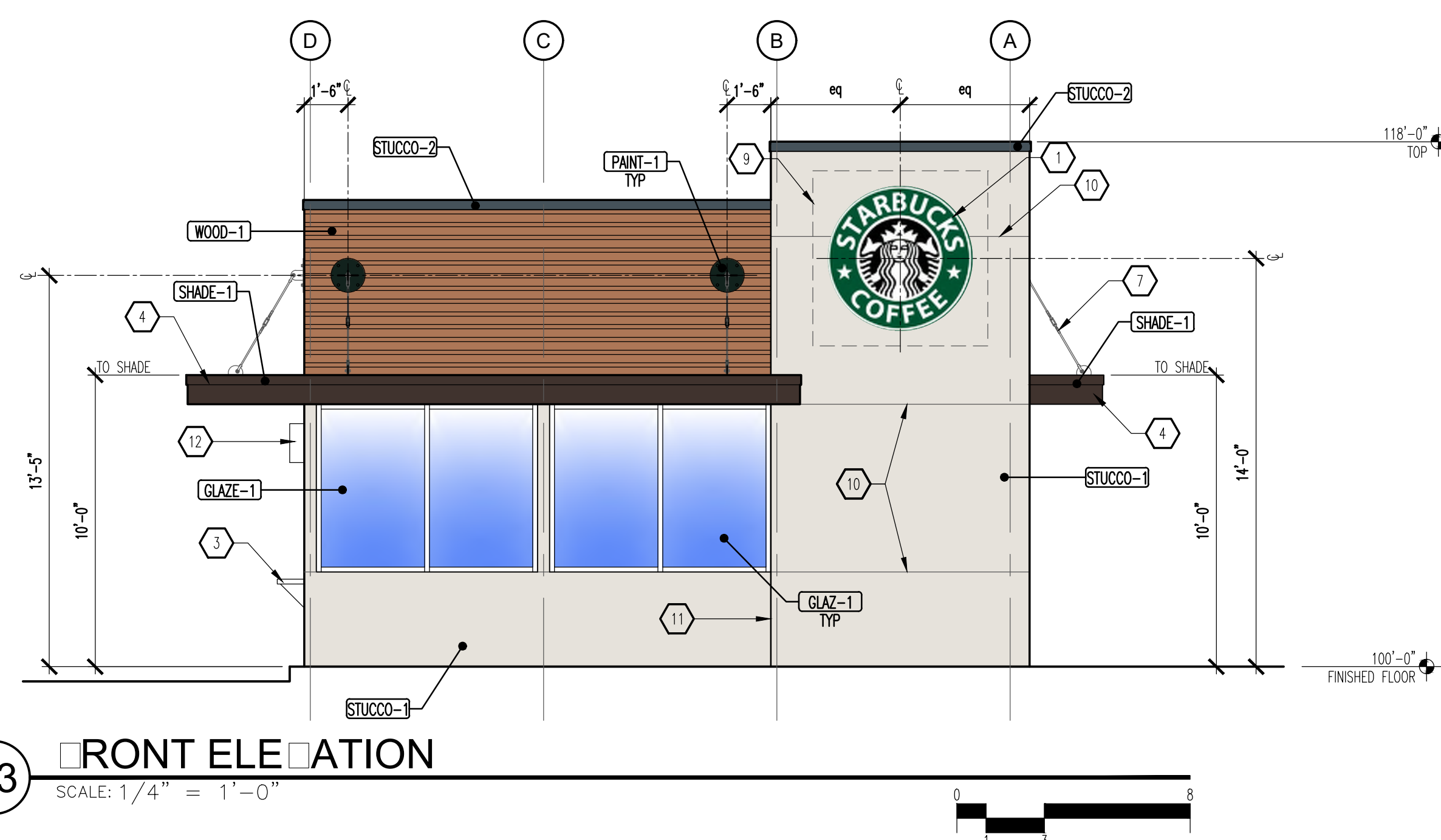
**C3** SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



**B3** SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



**A1** REAR ELEVATION  
SCALE: 1/4" = 1'-0"



**A3** FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- INDICATED DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 100'-0".

**KEYED NOTES**

- SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT; CONTRACTOR TO PROVIDE ELECTRICAL POWER UNDER THIS CONTRACT.
- SURFACE MOUNTED LIGHT FIXTURE: SEE LIGHTING PLAN ON SHEET EXXX.
- DRIVE-THRU SHELF.
- SHADE STRUCTURE.
- ROOF ACCESS LADDER: SEE XX/XXXX.
- SCHEDULED DOOR AND FRAME: SEE FLOOR PLAN ON SHEET A101.
- STEEL ROD AND TURNBUCKLE.
- LEADER HEAD AND DOWNSPOUT.
- DASHED LINE INDICATES 3/4" FIRE RETARDANT PLYWOOD BACKING AT SIGNAGE LOCATION.
- ALUMINUM STUCCO REVEAL: SEE XX/XXXX.
- STUCCO CONTROL JOINT: SEE XX/XXXX.
- AIR CURTAIN: SEE ELECTRICAL SPECIAL SYSTEMS ON SHEET EXXX.
- (4) WALK-UP MENU BOARDS, SECURE TO BUILDING FACADE.

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**MODULUS ARCHITECTS**  
 100 SUN AVENUE N.E., Ste 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

28 SEP 2020

**EXTERIOR MATERIALS**

STUCCO-1	2-COAT STUCCO SYSTEM COLOR - SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
STUCCO-2	2-COAT STUCCO SYSTEM COLOR - SHERWIN WILLIAMS SW#7605 GALE FORCE
PAINT-1	PAINT FINISH COLOR - SHERWIN WILLIAMS SW#2936 BLACK EMERALD
PAINT-2	PAINT FINISH COLOR - SHERWIN WILLIAMS SW#882 DAREDEVIL
PAINT-3	PAINT FINISH COLOR - SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
WOOD-1	WOOD VENEER LONGBOARD PRODUCTS - LIGHT CHERRY.
GLAZE-1	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E COLOR: ANODIZED BRONZE
SHADE-1	STEEL SHADE STRUCTURE COLOR: SHERWIN WILLIAMS SW#6006 BLACK BEAN

PROJECT TITLE  
**STARBUCKS**  
 4201 CENTRAL AVE. NW  
 ALBUQUERQUE, NEW MEXICO 87105

DATE  
 13 AUG 2020

SCALE  
 AS NOTED

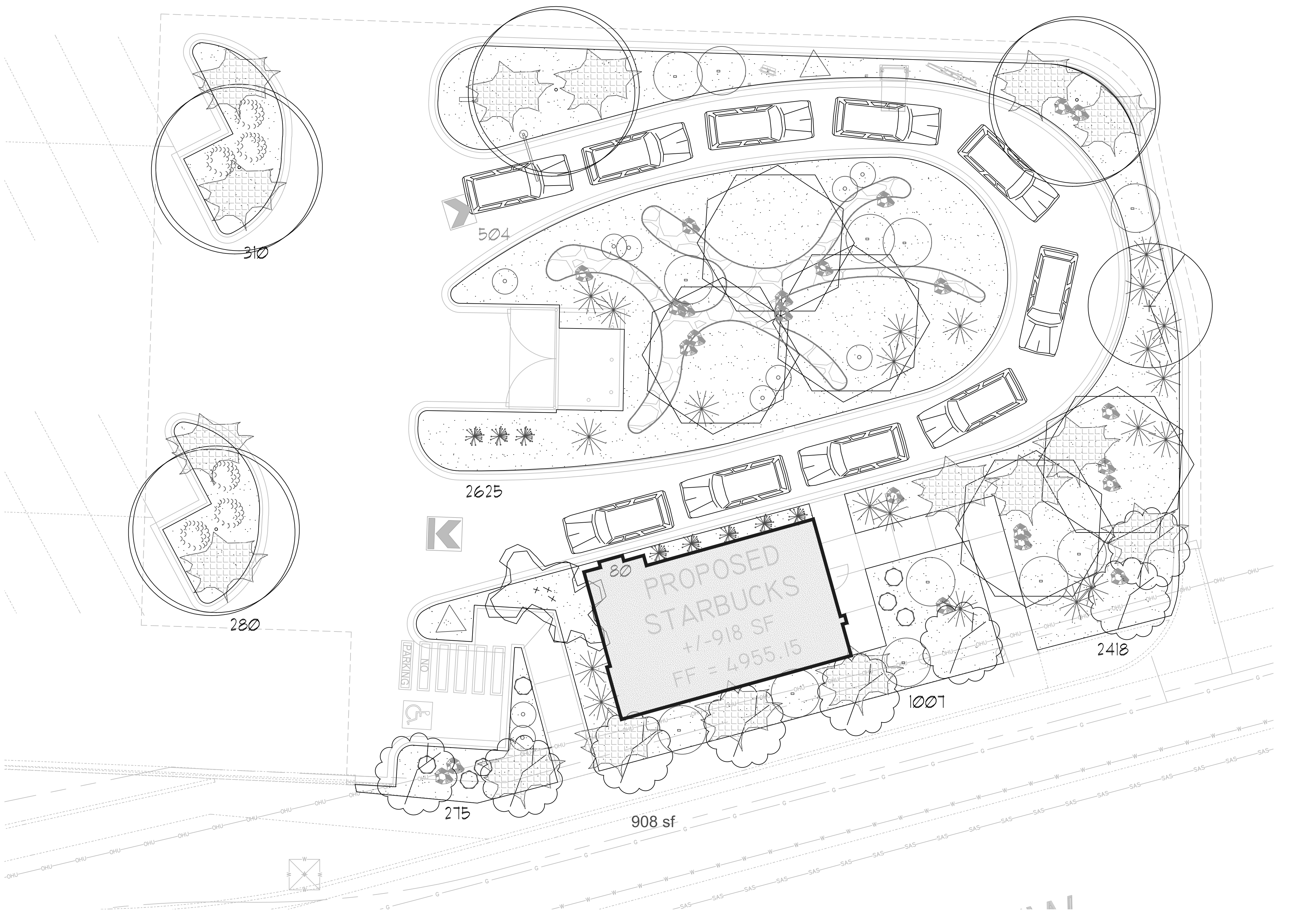
PROJECT MANAGER  
**DEVIN NGUYEN**

JOB NO.  
**ABO**

DRAWN BY  
**DIN**

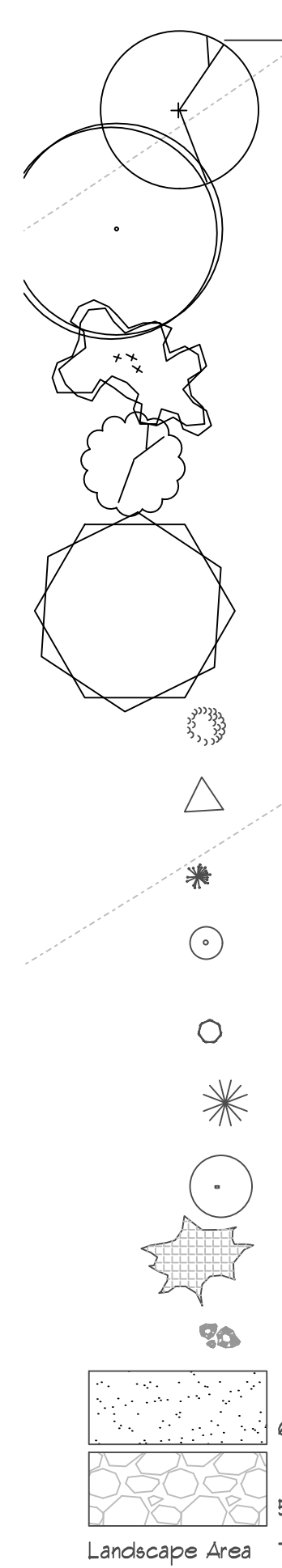
SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NO.  
**A201**



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	HXS	H2O USE
<b>Trees</b>				
1	2" cal	Washington Hawthorne <i>Crataegus phaenopyrum</i>	20x20 400	400 M
4	2" cal	Frontier Elm <i>Ulmus 'Frontier'</i>	40x30 900	3600 M
1	15 Gal	Crape Myrtle <i>Lagerstroemia indica 'Muskogee'</i>	20x15 225	225 M
8	2" Cal	Oklahoma Redbud <i>Cercis canadensis, var. texensis</i>	15x12 144	1152 M
5	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25 625	3125 M
<b>Shrubs &amp; Groundcovers</b>				
6	5 Gal	<i>Raphiolepis indica</i>	36	216 M
2	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x7 49	49 M
8	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i>	25x3 9 72	M
10	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x5 25	250 M
7	5 Gal	Autumn Sage <i>Salvia greggii</i>	2x3 9	63 M
21	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3x6 36	156 L
12	5 Gal	Gro-Low Sumac <i>Rhus aromatica 'Gro-Low'</i>	3x8 64	768 L
16	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144	2304 M
23	2-3cf	Boulders		
6995	3" Min Depth	Landscape Gravel / No Fabric		
504		Brown Fines		
Landscape Area		7499		



**LANDSCAPE NOTES:**  
Landscape Contractor is responsible for their own takeoff of quantities and materials. The quantities shown in the legend are for permitting only and shall not be considered for bidding purposes. Any discrepancy between quantities shown on the plan and in the legend shall be ruled by quantities and areas as shown on the plan.

All Nursery stock shall meet the standards of the American Standard for Nursery Stock, April 14, 2014 Edition, ANSI Z601-2014. Only plant material meeting the standards of this publication will be accepted. Only Grade A, number one plant material shall be used. Any trees, shrubs, or groundcover not meeting this requirement shall be removed from the project at the contractor's expense, and replaced with material meeting the American Standard requirements. It is the discretion of the Landscape Architect to reject any and all plants not meeting this standard and require replacement at the Contractor's expense.

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas as indicated on the plan. Any area that is less than 3" shall be rejected and repaired at the Contractor's expense.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (100' length) with 3 loops at a final radius of 6' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Trees and shrubs shall be on separate valves, no exceptions. Trees and shrubs zoned together shall be removed and replaced at the Contractor's expense.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

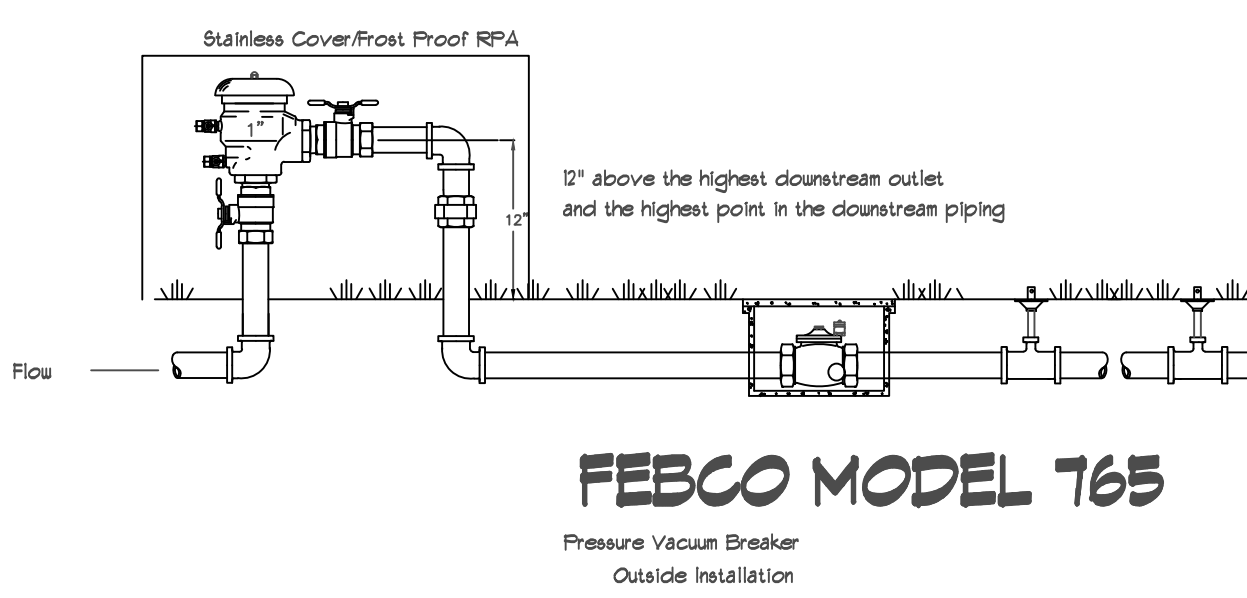
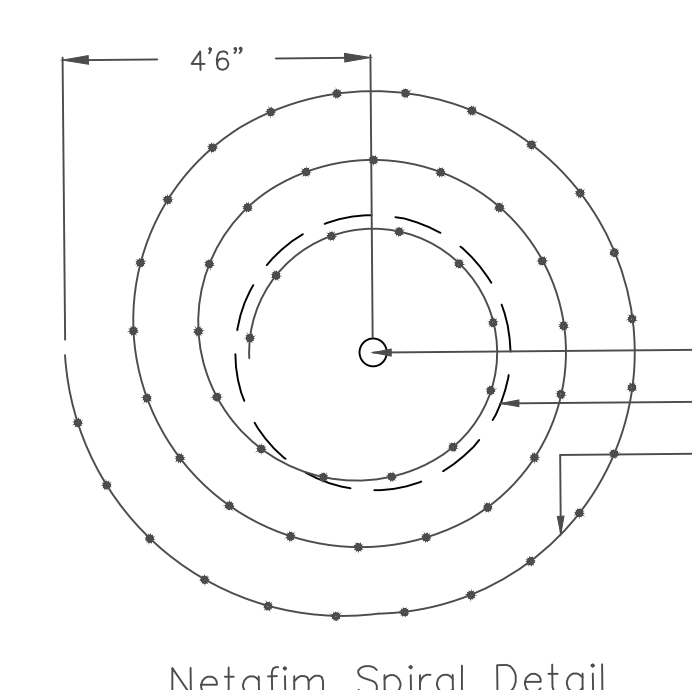
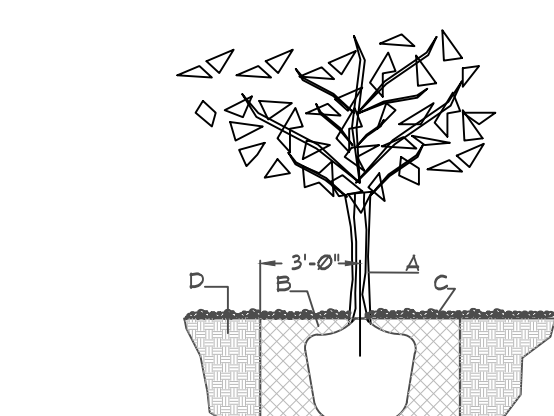
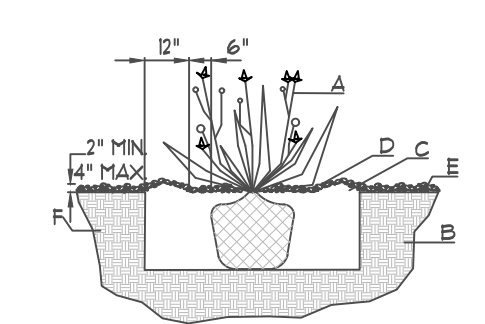
Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

TOTAL ON-SITE LANDSCAPE PROVIDED	7499
TOTAL LIVE GROUNDCOVER REQUIRED	2250
TOTAL LIVE GROUNDCOVER PROVIDED	4418
TOTAL LIVE PLANTS REQUIRED	5625
TOTAL LIVE PLANTS PROVIDED	12980



**SHRUB PLANTING DETAIL**  
NTS

**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

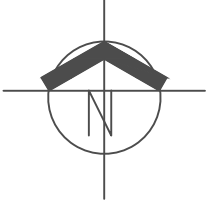
**CONSTRUCTION NOTES:**  
A. SHRUBS  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

**TREE PLANTING DETAIL**  
NTS

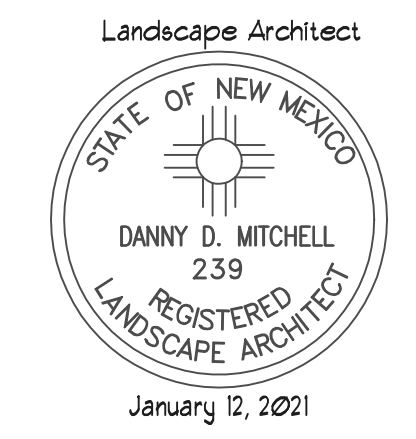
**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUGH THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

**L1 LANDSCAPE PLAN**  
SCALE: 1:10



Danny Mitchell  
Landscape Architecture  
505.639.9583  
danny@mitchellassociatesllc.com



REV	DATE	BY	REVISION
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6			

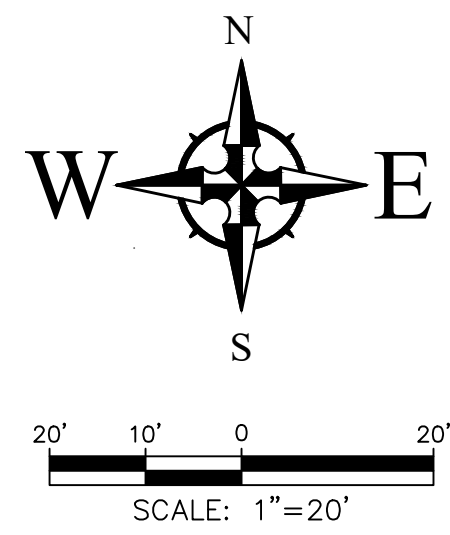
**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

31 JULY 2020

PROJECT TITLE: **STARBUCKS**  
CENTRAL & ATRISCO  
ALBUQUERQUE, NEW MEXICO 87XXX

JOB NO.: A80  
DRAWN BY: DTN  
PROJECT MANAGER: DEVIN NGUYEN  
SHEET TITLE: **LANDSCAPE PLAN**

DATE: 13 AUG 2020  
SCALE: AS NOTED  
SHEET: LS101



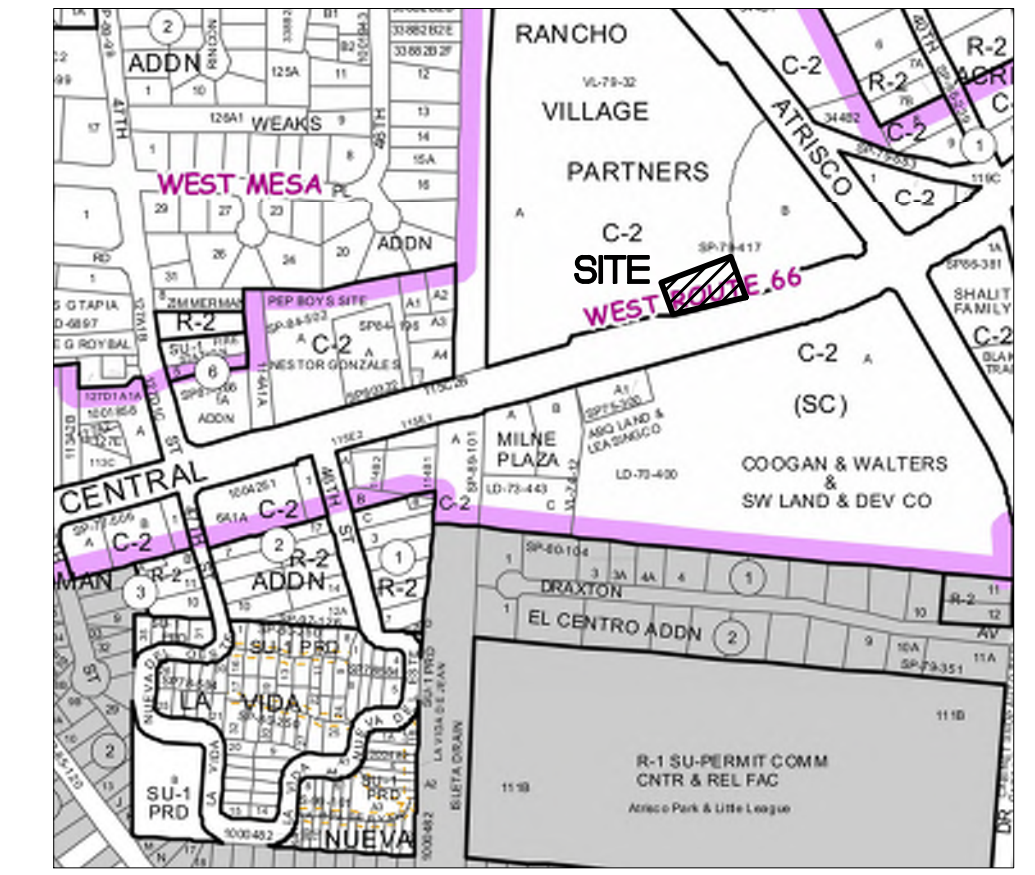
**CAUTION!!!!**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTE: POND BOTTOMS SHALL BE COMPACTED TO 90% ±3% PROCTOR DENSITY (ASTM D1557) TO KEEP FROM CLOGGING SOIL POROSITY.

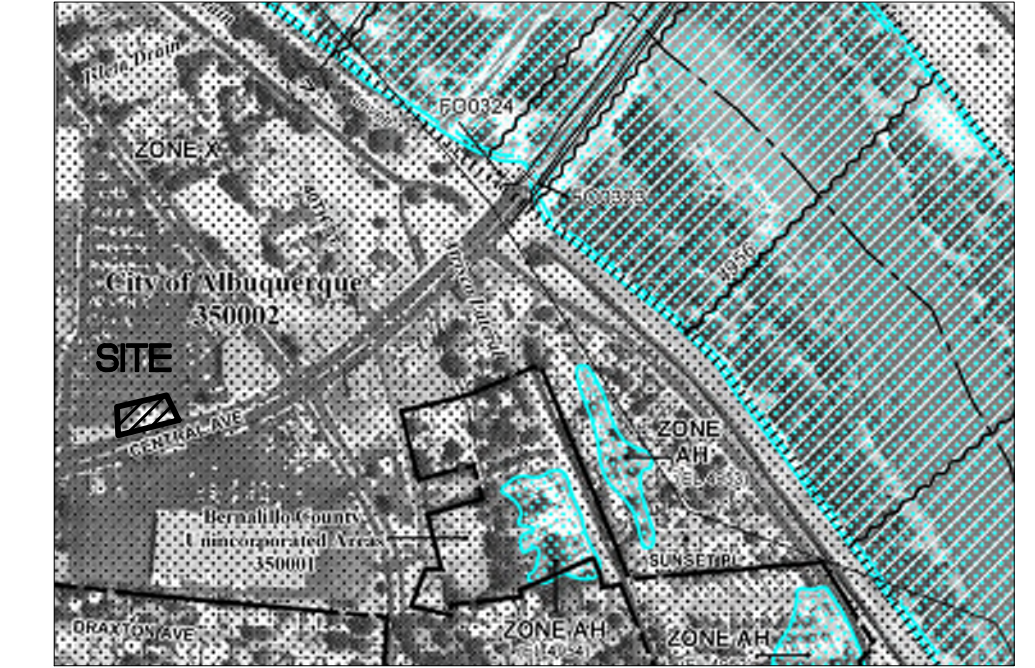
NOTE: ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE BY SEPARATE WORK ORDER. THIS INCLUDES DRIVEWAYS, SIDEWALKS, RAMPS, AND WATER/SEWER SERVICES.

- LEGEND**
- ← FLOW ARROW
  - 27.8' PROPOSED TOP OF GRADE/PVMT ELEVATIONS
  - FL27.8' PROPOSED FLOW LINE/GUTTER ELEVATIONS
  - TC27.8' PROPOSED TOP OF CURB ELEVATIONS
  - TS27.8' PROPOSED TOP OF SIDEWALK ELEVATIONS
  - 24"C.O. PROPOSED 24" CURB OPENING
  - 515 — EXISTING CONTOUR
  - 515 — PROPOSED CONTOUR
  - — — EXISTING STORM DRAIN
  - — — FLOW LINE
  - — — RIDGE LINE



**VICINITY MAP - Zone Atlas Page K-12-Z**

Legal Description: A Portion of Tract A of the Plat A & B, a Division of Land of Rancho Village Partners, Albuquerque, NM.

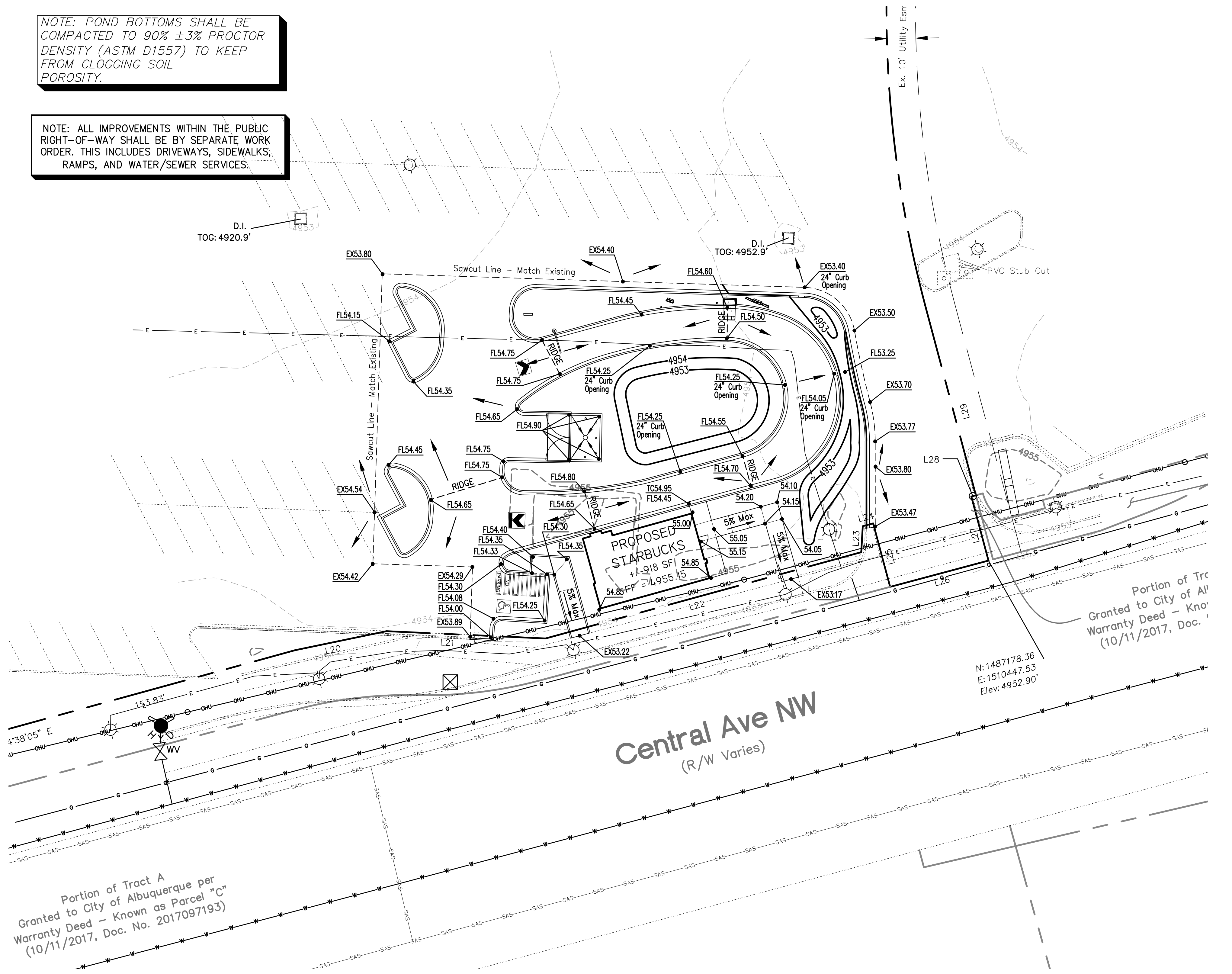


**FIRM MAP 35001C0333H**

Per FIRM Map 35001C0333H, dated August 16, 2012, the site is located inside of the 0.2% Annual Chance Floodplain.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Portion of Tract A  
Granted to City of Albuquerque per  
Warranty Deed - Known as Parcel "C"  
(10/11/2017, Doc. No. 2017097193)

Portion of Trc  
Granted to City of Al/  
Warranty Deed - Kno/  
(10/11/2017, Doc. ')

N: 1487178.36  
E: 1510447.53  
Elev: 4952.90'

REV	DATE	BY	REVISION
6			
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**MODULUS ARCHITECTS**

100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

Not For  
Construction

PROJECT TITLE <b>STARBUCKS</b> CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105	DRAWN BY: ROLAND GATTI
PROJECT MANAGER JEFF WOOTEN	JOB NO. 2020026
SHEET TITLE <b>Grading Plan</b>	

DATE 12/10/2020	Sheet C2.1
SCALE AS NOTED	of 3

**W E**

Wooten Engineering  
PO Box 15814  
Rio Rancho, N.M. 87174  
Phone: (505) 980-3560

# Starbucks at 4201 Central

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## Administrative Amendment Request

### Project #PR- 2018-004971

#### Transportation Development Comments:

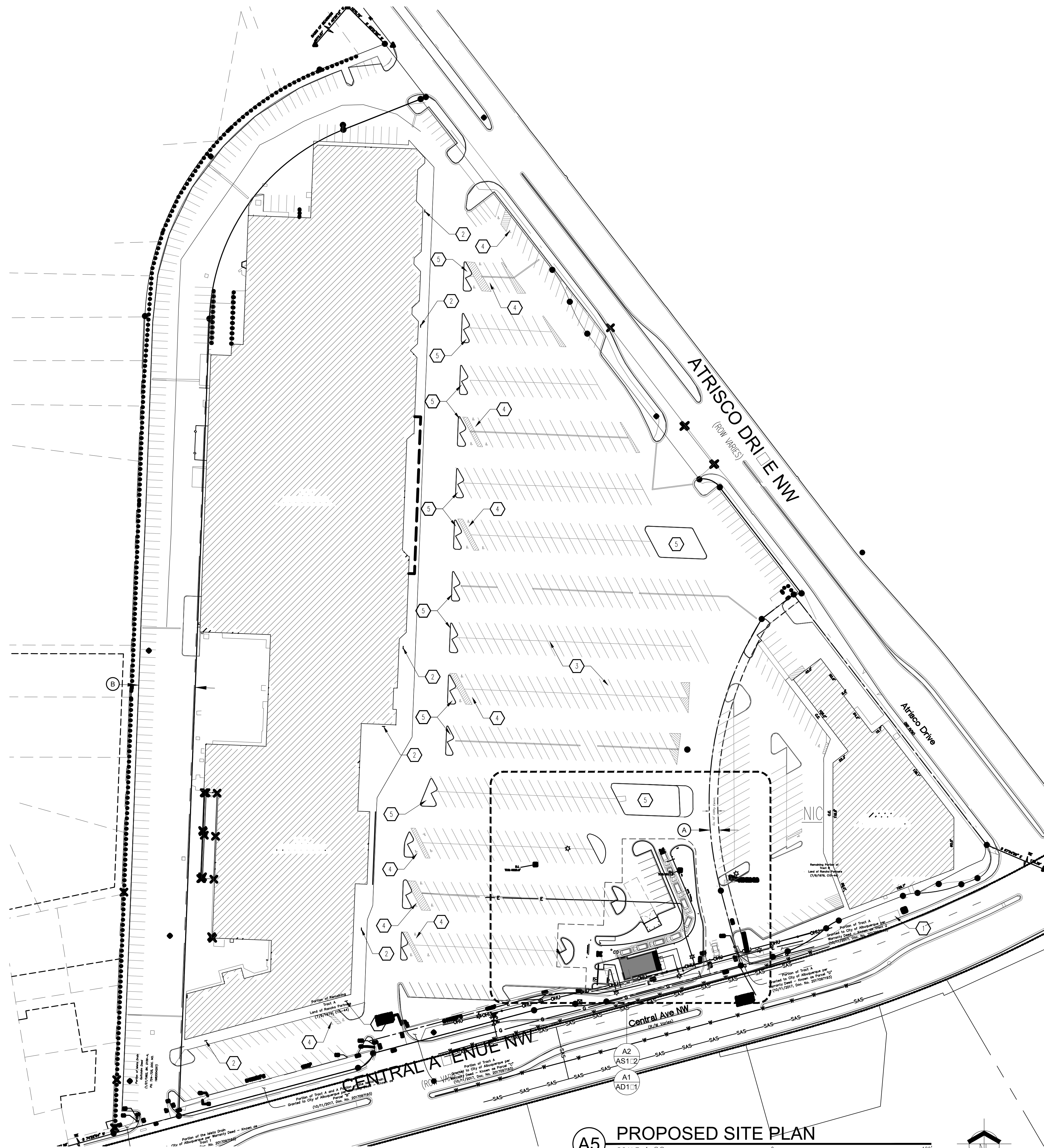
- Even though the proposed Starbucks is on a premium transit route, still provide a Traffic Scoping Form for review. **Attached is the signed Traffic Scoping form.**
- Provide Solid Waste approval for this site. **Attached is the Solid Waste Approval.**
- Show clear sight triangles at the driveway exit on both the site plan and landscaping plan.  
**See added clear sight triangles at driveway entrance/exit on both sheet AS102 and LS101 Landscape Plan.**
- Clarify new features versus existing by use of different line weights in combination with identification in the legend. **Please see updated site plan on sheet AS102.**
- Show all dimensioning of parking spaces. Include length and width of parking spaces and angles, even if existing. **Please see updated site plan on sheet AS102.**
- Include pavement arrows for one-way aisles. Delete Chevron sign graphic shown on pavement. **Please see updated site plan on sheet AS102.**
- Provide 6-foot ADA pathway from the building to the ADA parking spaces. **Please see updated site plan on sheet AS102.**
- The required number of ADA stalls just for the Starbucks should be provided nearby the building for close access. **Please see updated site plan on sheet AS102.**
- Show where the motorcycle parking and bike rack are located. **Please see updated site plan on sheet AS102.**
- For all curb ramp details, indicate 6' minimum for length of ramp to ensure it meets maximum slope requirements. **Please see keyed note #41 on sheet A1.1.**
- How much modification will be done to the existing driveway? I just wanted to clarify since the site plan showed less and the details on the details indicated more. Were you just planning to tie into existing? If there are details that are not applicable, you may delete these. (The aerial



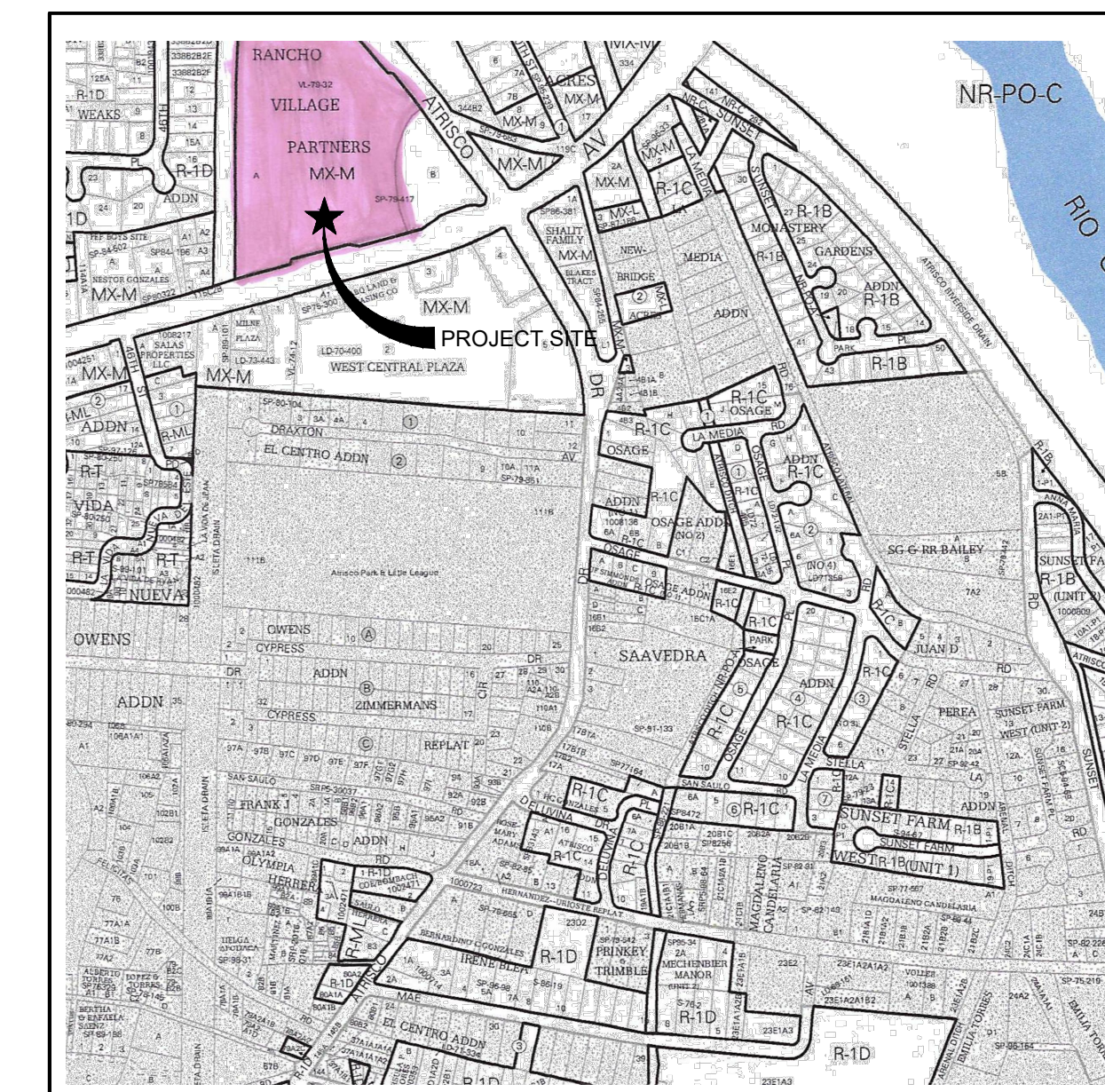
shows the truncated domes at this location, and it does not warrant crosswalk striping.) We are to utilize what's existing and tie into it. I've gotten rid on the crosswalk striping on detail C5/A1.1.

- Identify all signage locations on the site plans such as handicapped signs, etc. Please see updated site plan on sheet AS102.

Contact:           Jeanne Wolfenbarger           924-3991, [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)



**A5 PROPOSED SITE PLAN**  
SCALE: 1:60



**CITY MAP**  
A M K J

**LEGAL DESCRIPTION:** TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 3, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:  
 THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;  
 THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;  
 THENCE N07°04'51" E, ALONG SAID CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 357°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;  
 THENCE N 89°17'1" E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;  
 THENCE S 37°48'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;  
 THENCE S 48°17' W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;  
 THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°29'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;  
 THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

**GENERAL NOTES**

- 1" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.7.2.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

**KEYED NOTES**

1. EXISTING COVERED BUS STOP.
2. EXISTING BIKE RACK TO REMAIN.
3. EXISTING PARKING TO REMAIN.
4. EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
5. PARKING ISLAND TO REMAIN.

**EASEMENTS**

1. EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
2. SUBJECT TO EASEMENT OF RECORD RESERVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

**GRAPHIC LEGEND**

--- PROPERTY LINE

**PARKING CALCULATION**

BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
<b>TOTAL</b>		<b>215,117 SF</b>

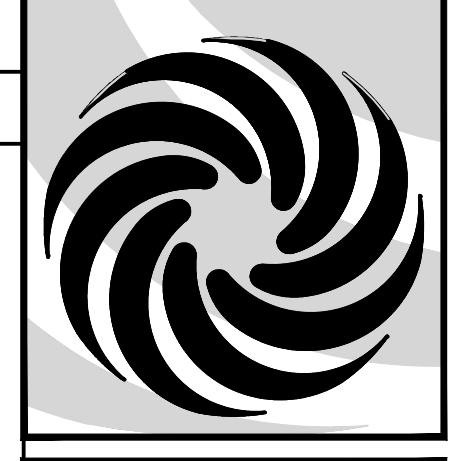
PARKING REQUIREMENTS	REQUIRED
60,000-217,000 SF @ 1/300	524 SPACES
15,000-60,000 SF	180 SPACES
RESTAURANT = 5/1,000 SF	4 SPACES
<b>TOTAL REQUIRED # PARKING SPACES</b>	<b>708 SPACES</b>
LESS 15% (BUS STOP w/ SHELTER)	(-107 SPACES)
<b>TOTAL # PARKING SPACES REQUIRED</b>	<b>601 SPACES</b>
<b>TOTAL # PARKING SPACES PROVIDED</b>	<b>835 SPACES</b>

ACCESSIBLE PARKING SPACE	REQUIRED	PROVIDED
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	16 SPACES	26 SPACES
	6 RACKS *	6 RACK *

\* 5 BIKE SPACE PER 1 BIKE RACK

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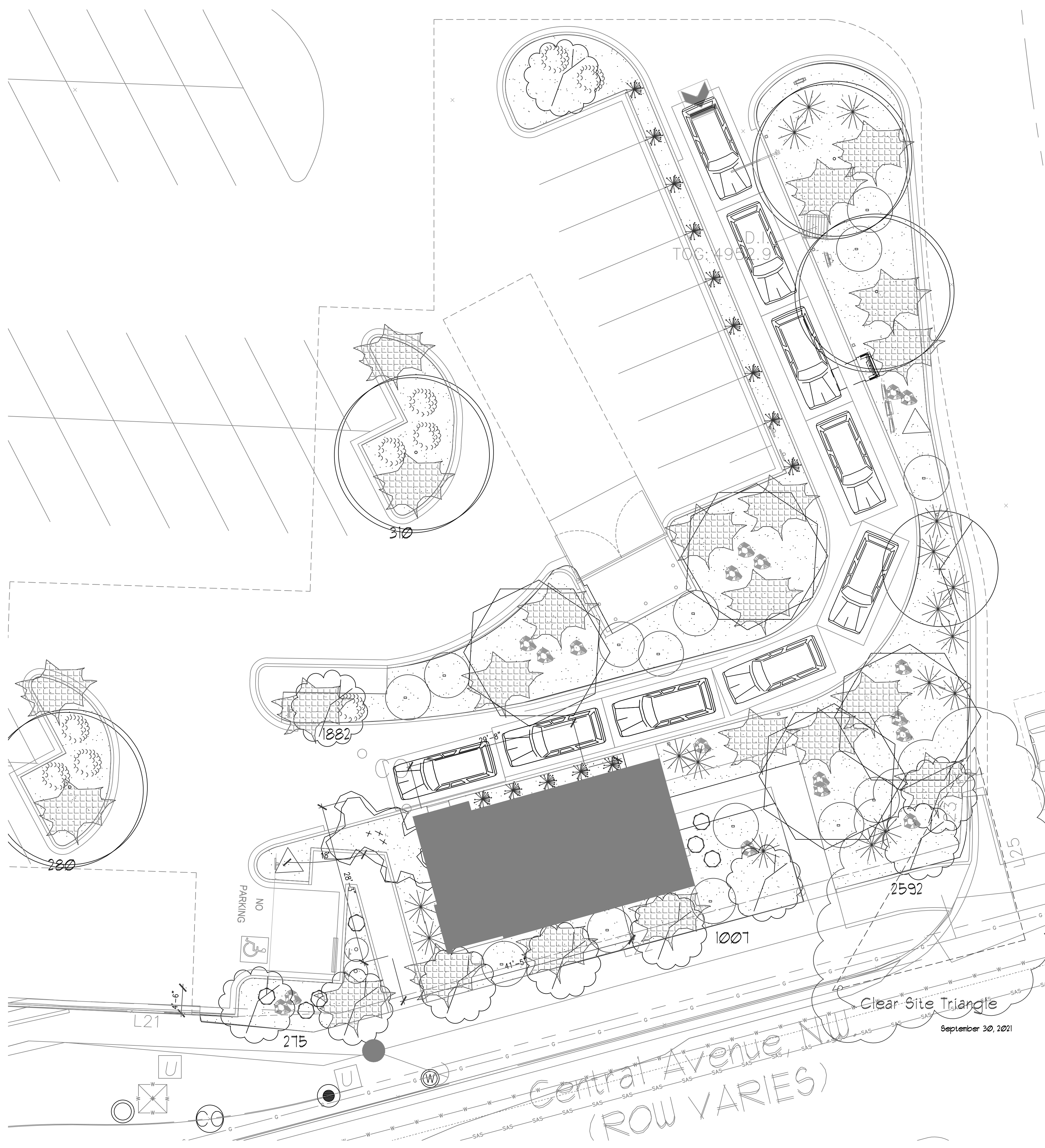
**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
No. 4218  
REGISTERED ARCHITECT  
12 JULY 2021

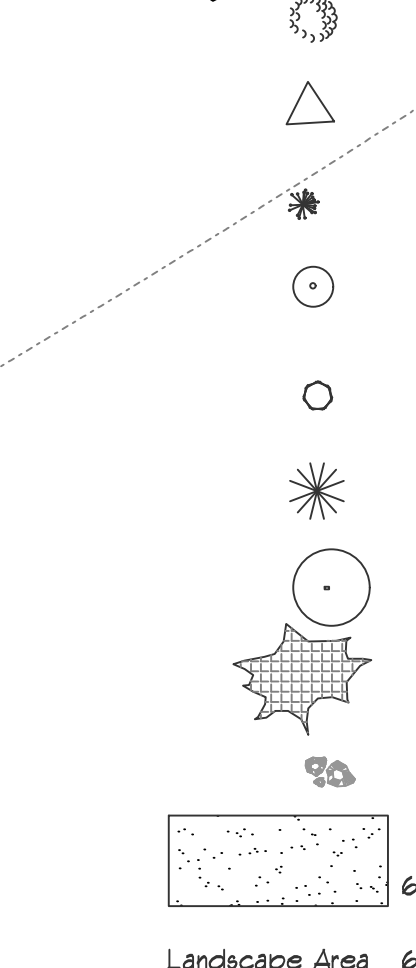
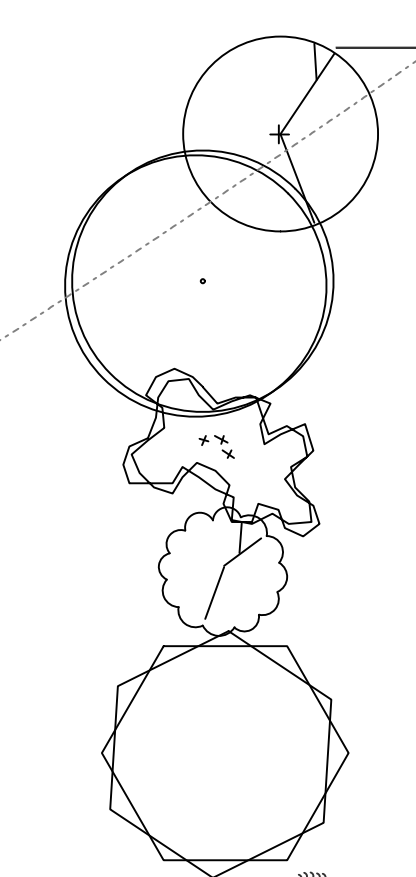
PROJECT TITLE: **STARBUCKS**  
4001 CENTRAL AVE. NW, ALBUQUERQUE, NEW MEXICO 87105  
JOB NO.: **ABO**  
DRAWN BY: **DIN**  
PROJECT MANAGER: **DEVIN NGUYEN**  
SHEET TITLE: **OVERALL SITE PLAN**

DATE: **16 FEB 2021**  
SCALE: **AS NOTED**  
SHEET NO.: **AS101**



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	HxS	H2O USE
<b>Trees</b>				
1	2" cal	Washington Hawthorn <i>Crataegus phaeopyrum</i> Multi-Stem Box or B&B	20x20 400	400 M+
4	2" cal	Frontier Elm <i>Ulmus "Frontier"</i>	40x30 900	3600 M
1	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i> Muskogee	20x15 225	225 M
10	2" Cal	Oklahoma Redbud <i>Cercis canadensis, var. texensis</i>	15x12 144	1440 M
4	15 Gal	Desert Willow <i>Chilopsis linearis</i> Tree Coverage 8165	20x25 625	2500 M
<b>Shrubs &amp; Groundcovers</b>				
9	5 Gal	Raphiolepis indica	36	324 M
2	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1 49	98 M
14	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora "Karl Foerster"</i>	25x3 9	126 M
2	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x5 25	50 M
1	5 Gal	Autumn Sage <i>Salvia greggii</i>	2x3 9	63 M
11	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3x6 36	612 L
14	5 Gal	Gro-Low Sumac <i>Rhus aromatica "Gro-Low"</i>	3x8 64	896 L
22	5 Gal	Buffalo Juniper <i>Juniperus sabina "Buffalo"</i>	1x12 144	968 M
18	2-3cf	Boulders To be placed at contractor discretion		
6426	3" Min Depth	Landscape Gravel / No Fabric Brown Fines		

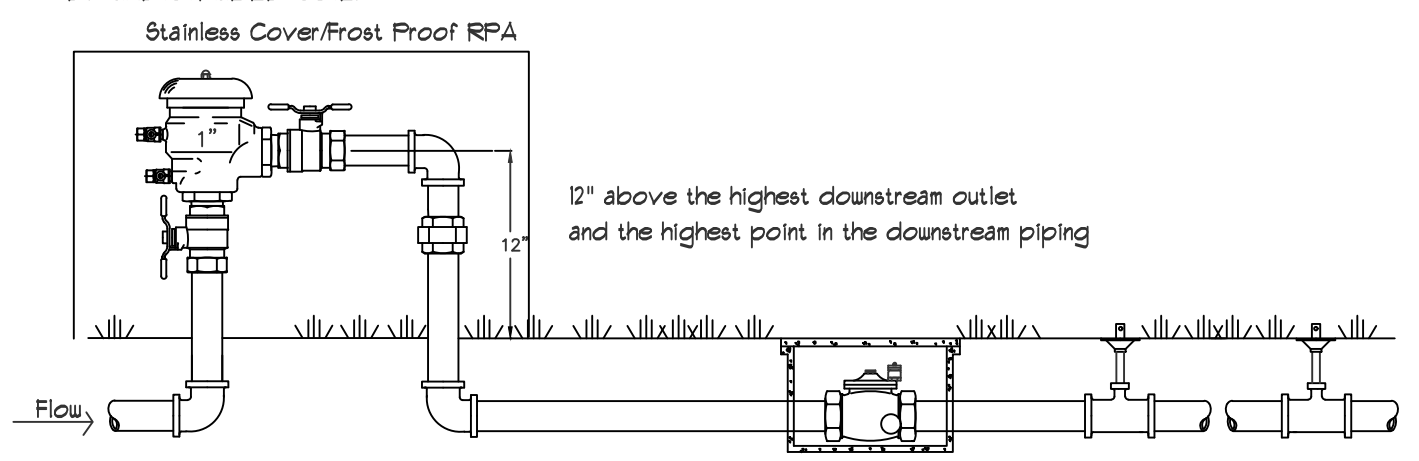


**TREE PLANTING DETAIL**

NTS  
GENERAL NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

**SHRUB PLANTING DETAIL**

NTS  
GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
CONSTRUCTION NOTES:  
A. SHRUB  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.



**FEBCO MODEL 765**

Pressure Vacuum Breaker  
Outside Installation

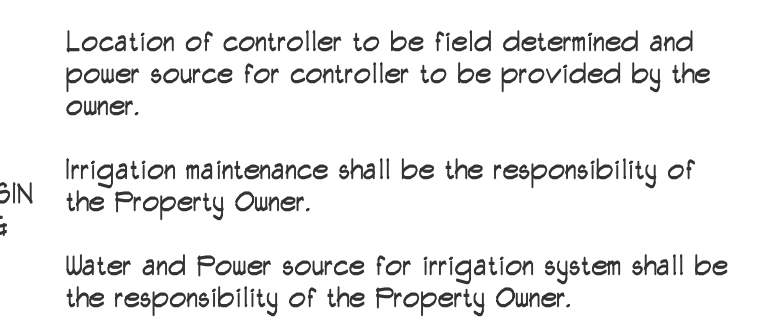
**LANDSCAPE NOTES:**  
Landscape Contractor is responsible for their own takeoff of quantities and materials. The quantities shown in the legend are for permitting only and shall not be considered for bidding purposes. Any discrepancy between quantities shown on the plan and in the legend shall be ruled by quantities and areas as shown on the plan.  
All Nursery stock shall meet the standards of the American Standard for Nursery Stock, April 14, 2014 Edition, ANSI Z601-2014. Only plant material meeting the standards of this publication will be accepted. Only Grade A, number one plant material shall be used. Any trees, shrubs, or groundcover not meeting this requirement shall be removed from the project at the contractor's expense, and replaced with material meeting the American Standard requirements. It is the discretion of the Landscape Architect to reject any and all plants not meeting this standard and require replacement at the Contractor's expense.  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.  
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
Landscape Gravel to a minimum depth of 3" shall be placed in all landscape areas as indicated on the plan. Any area that is less than 3" shall be rejected and repaired at the Contractor's expense.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (100' length) with 3 loops at a final radius of 6' from tree trunk, pined in place. Netafim shall have emitters 12" o.c. with a flow of 1 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end.  
Trees and shrubs shall be on separate valves, no exceptions. Trees and shrubs zoned together shall be removed and replaced at the Contractor's expense.  
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.  
Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.  
Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.  
Location of controller to be field determined and power source for controller to be provided by the owner.  
Irrigation maintenance shall be the responsibility of the Property Owner.  
Water and Power source for irrigation system shall be the responsibility of the Property Owner.

**LANDSCAPE CALCULATIONS**

Total Site Area	20091
Total Building Area	-929
Net Lot Area	19162
Landscape Requirement	15%
Total Landscape Required	2875
Total Landscape Provided	6426
TOTAL LIVE GROUNDCOVER REQUIRED	1928
TOTAL LIVE GROUNDCOVER PROVIDED	3131
TOTAL LIVE PLANTS REQUIRED	4830
TOTAL LIVE PLANTS PROVIDED	1302



Netafim Spiral Detail

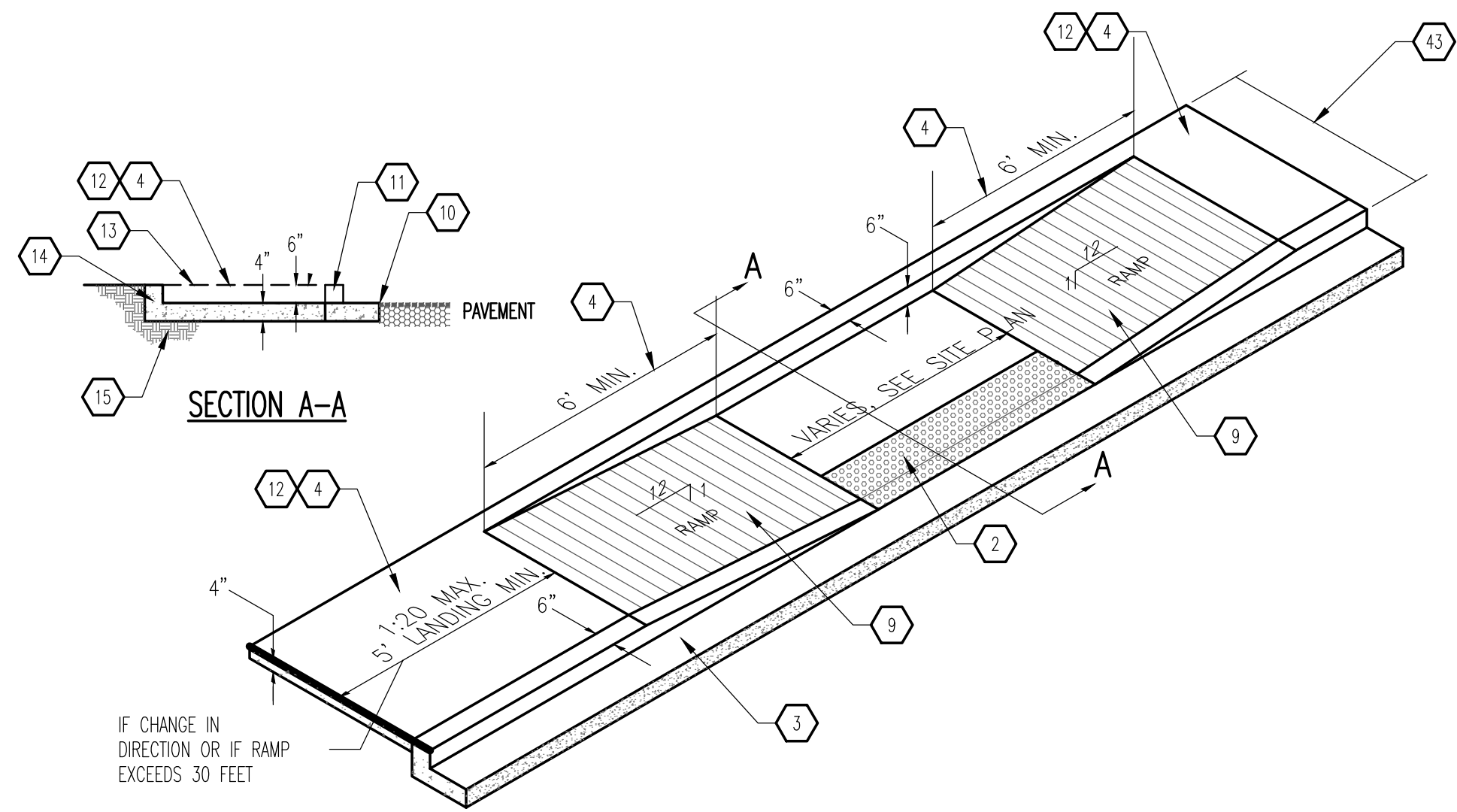
REV	DATE	BY	REVISION
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5			
6			

**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

31 JULY 2020

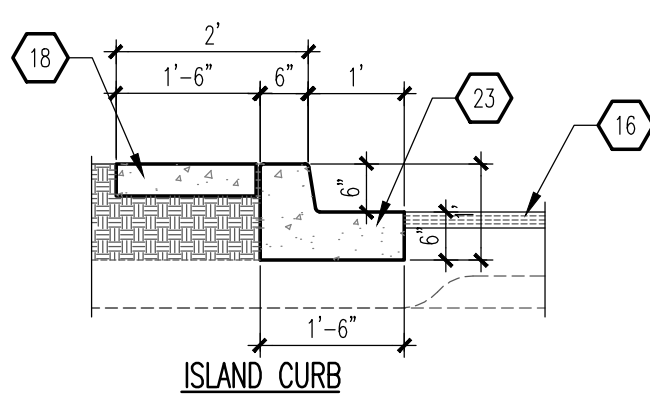
PROJECT TITLE: STARBUCKS CENTRAL & ATRISCO ALBUQUERQUE, NEW MEXICO 87XXX  
JOB NO.: A80  
DRAWN BY: DTN  
PROJECT MANAGER: DEVIN NGUYEN  
SHEET TITLE: LANDSCAPE PLAN

DATE: 13 AUG 2020  
SCALE: AS NOTED  
SHEET: LS101

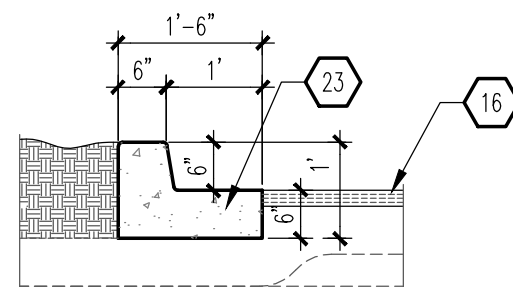


NOTE:  
H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**C1** TAPERED RAMP  
SCALE: NTS

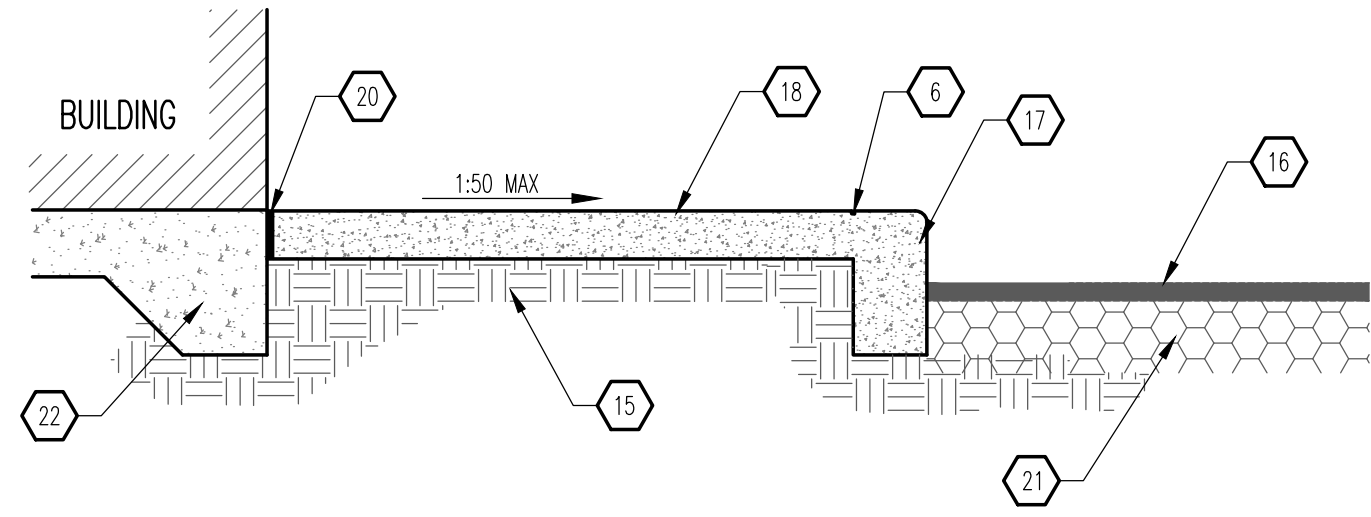


NOTE:  
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B



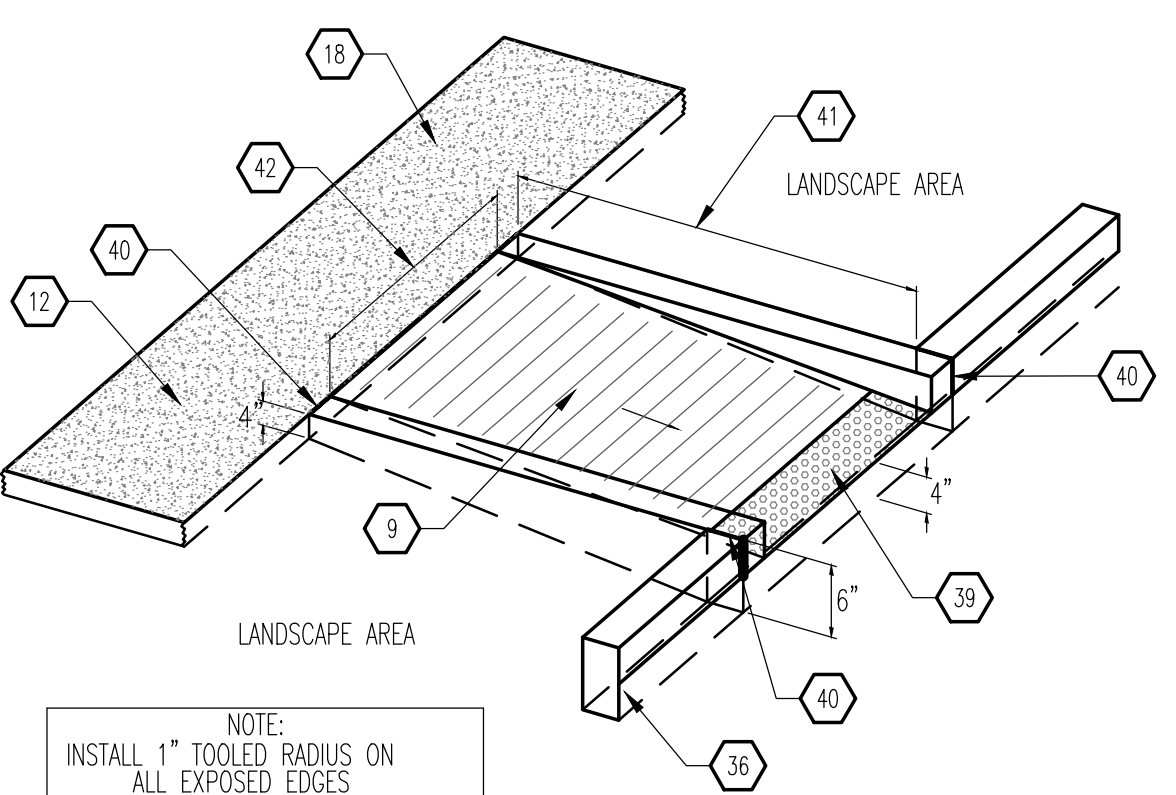
NOTE:  
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B

**B1** CURB & GUTTER  
SCALE: 1/2" = 1'-0"



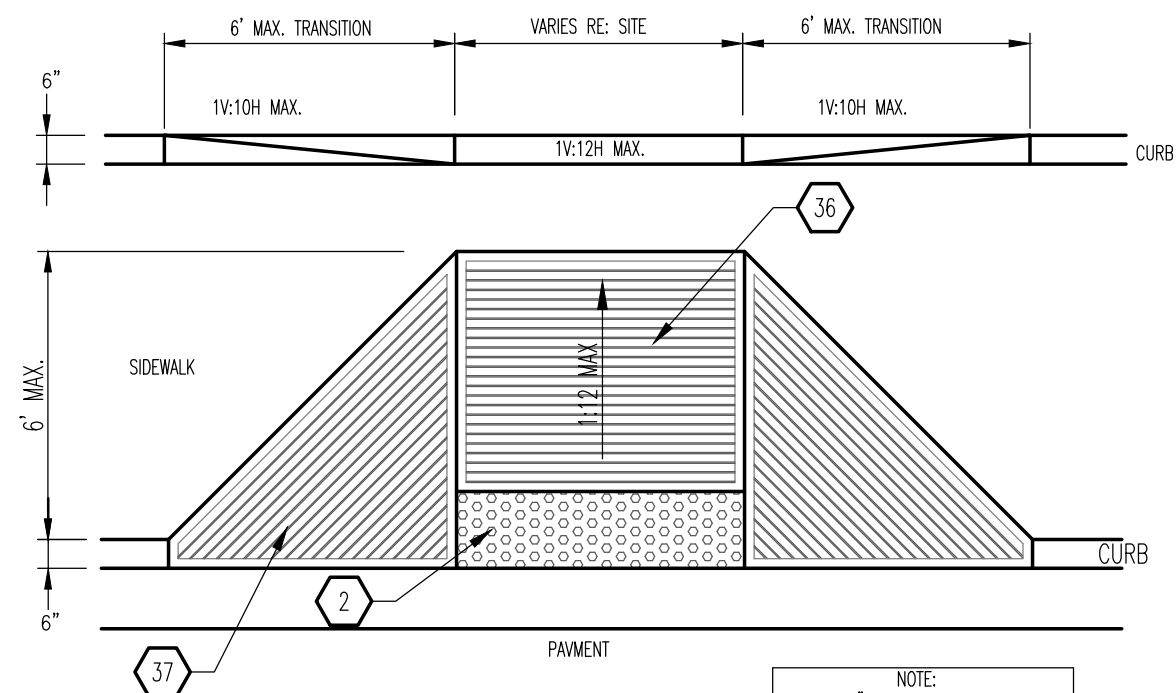
NOTE:  
1. CONTRACTION JOINTS AT 5'-0" OC TOOLED 1/2" (±1/4") WIDE, 1" OR MAXIMUM D/4 (DEEP) WHICHEVER IS GREATER EXPANSION JOINTS AT 20' MAXIMUM AND ALL P.C.s, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.  
2. ALIGN CURB AND SIDEWALK JOINTS AT ALL TIMES.

**B2** TURNDOWN SIDEWALK SECTION  
SCALE: 3/4" = 1'-0"



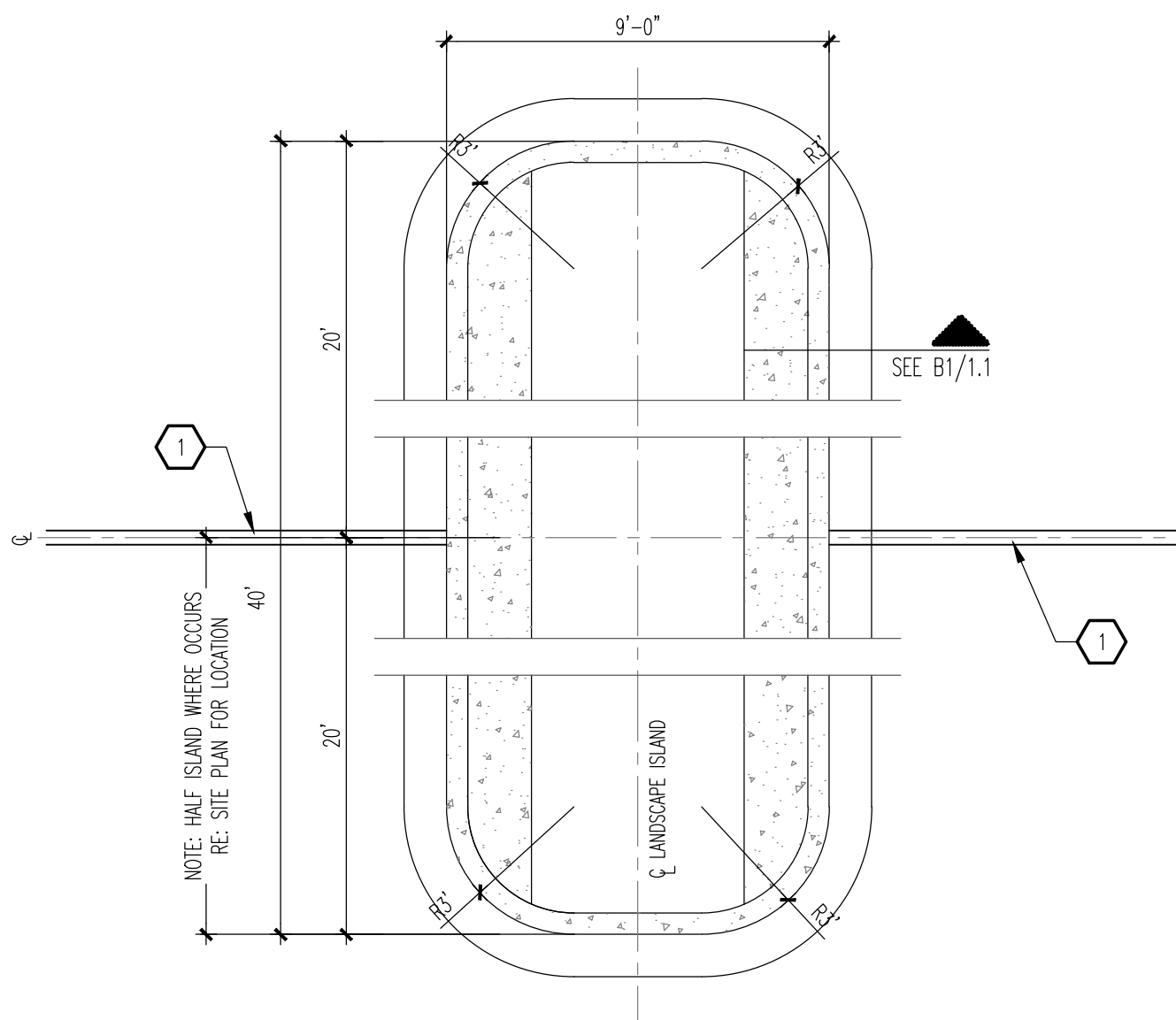
NOTE:  
INSTALL 1" TOOLED RADIUS ON ALL EXPOSED EDGES  
NOTE:  
H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**A1** CURBED RAMP  
SCALE: 3/4" = 1'-0"

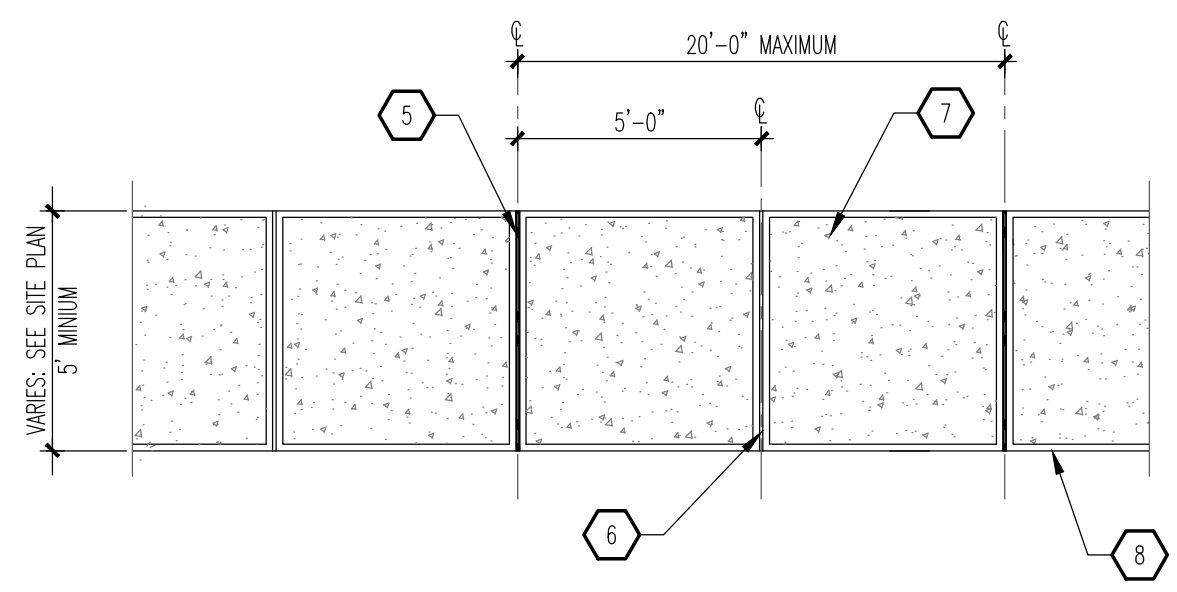


NOTE:  
HANDICAP RAMPS SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM WITH ALL APPLICABLE ANSI REQUIREMENTS. GC SHALL VERIFY CONFORMANCE WITH ALL APPLICABLE ANSI REQUIREMENT.

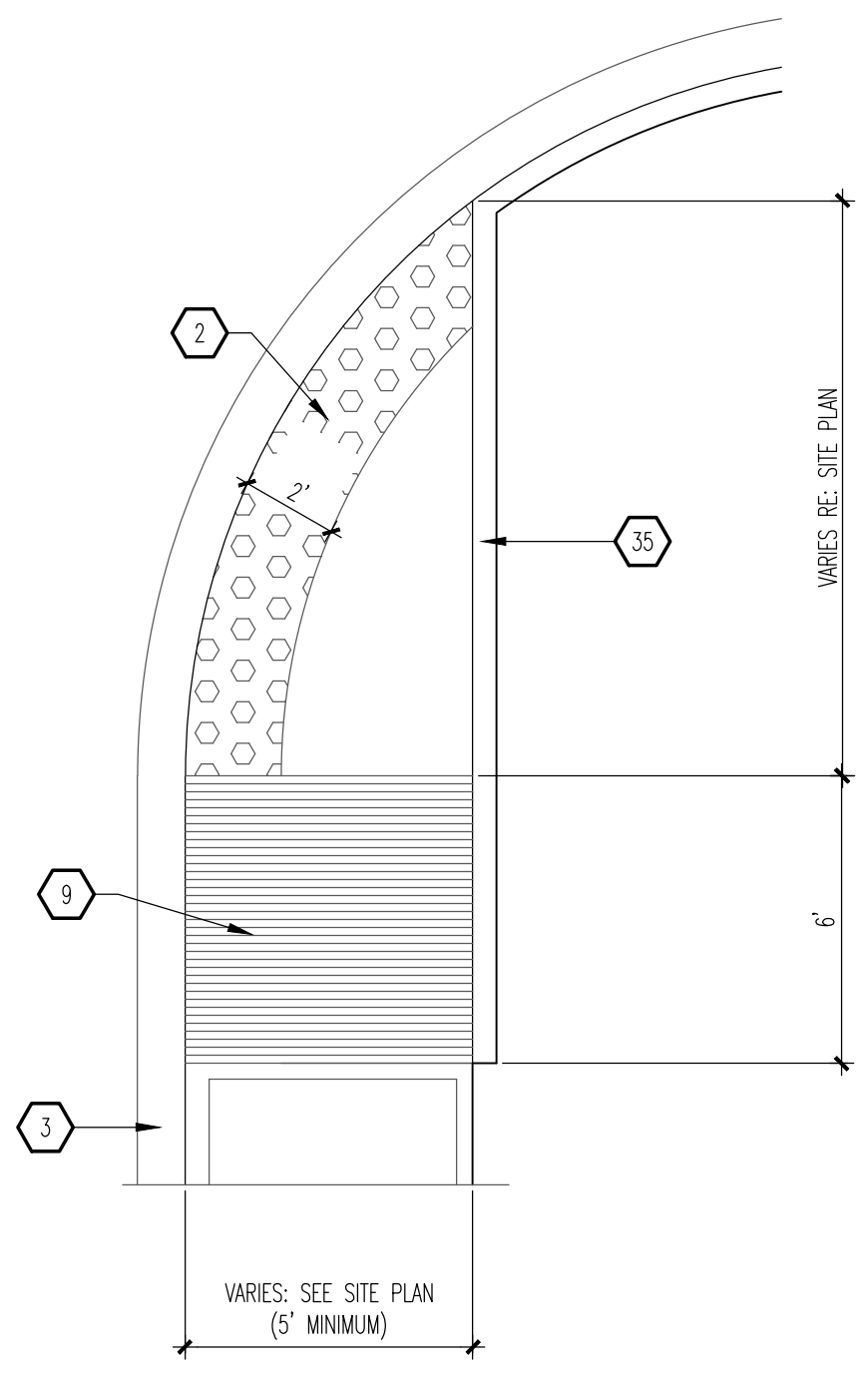
**A3** END ISLAND ADA RAMP  
SCALE: 1/4" = 1'-0"



**C3** TYPICAL ISLAND  
SCALE: 1/4" = 1'-0"

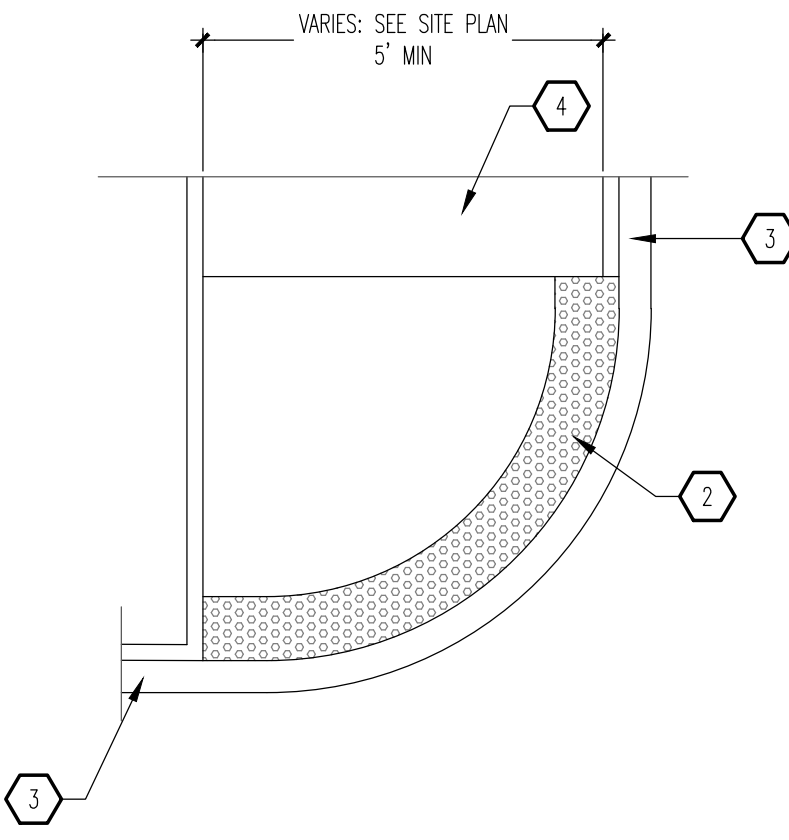


**B3** TYPICAL SIDEWALK  
SCALE: 3/4" = 1'-0"

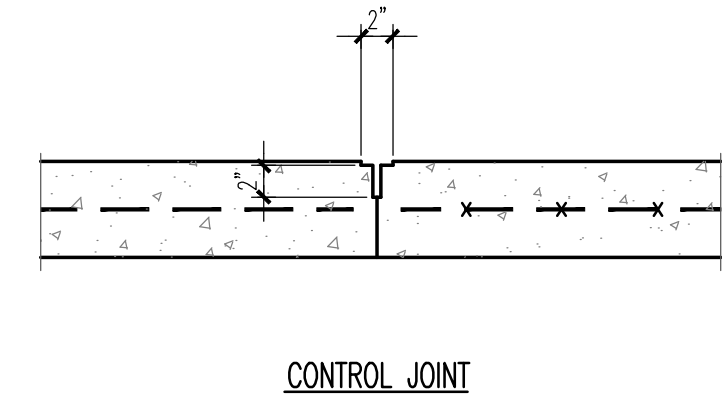
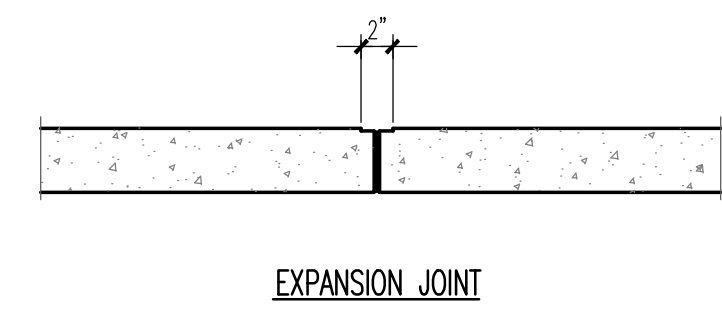


NOTE:  
FOLLOW COA STANDARD DRAWING #2443.

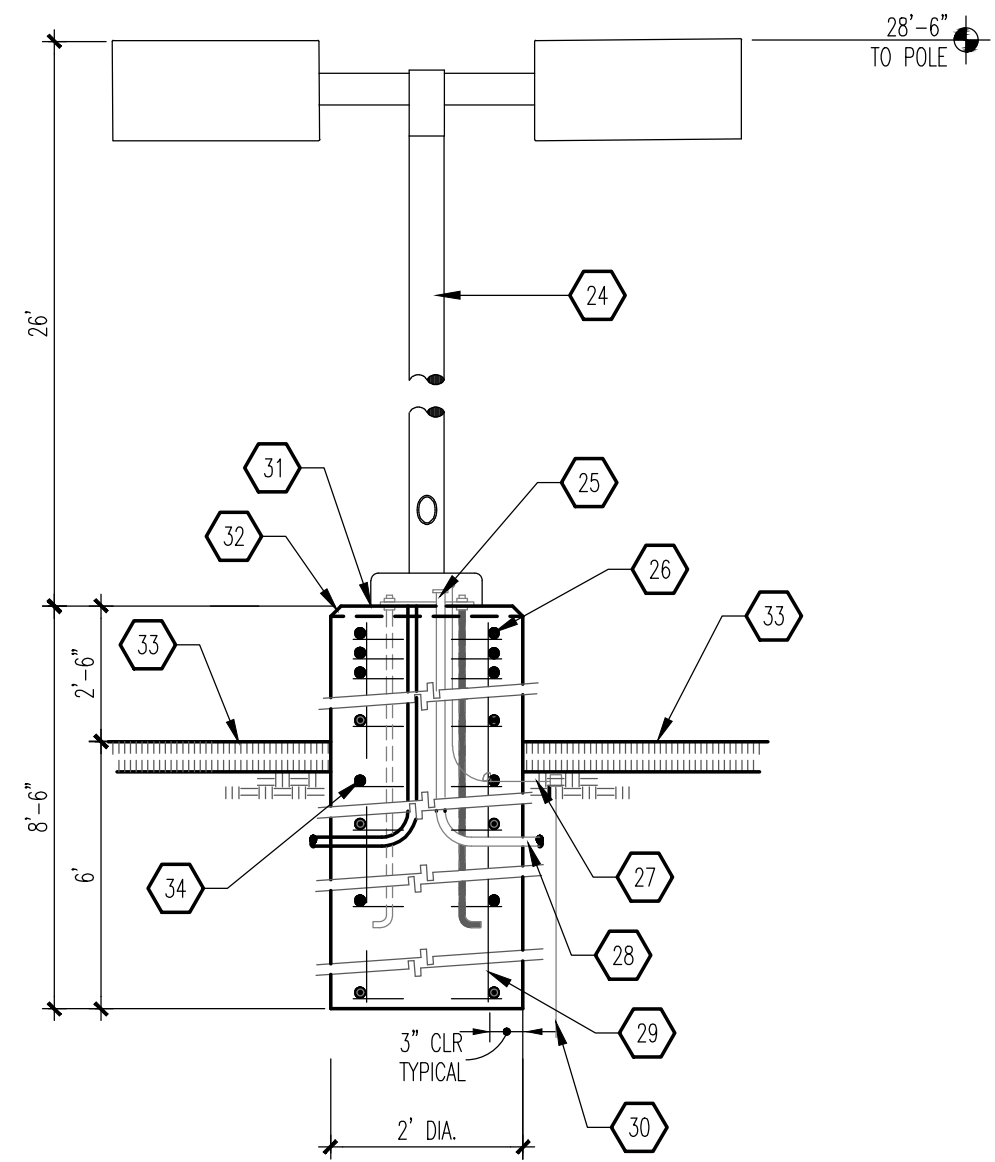
**A4** END ISLAND ADA RAMP  
SCALE: 1/4" = 1'-0"



**C5** CONCRETE CROSSWALK  
SCALE: 1/4" = 1'-0"



**B5** EXPANSION/CONTROL JOINT  
SCALE: 1" = 1'-0"



NOTE:  
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION; WHICHEVER IS MORE RESTRICTIVE.  
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.  
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22', GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

**A5** LIGHT POLE  
SCALE: 1/2" = 1'-0"

**GENERAL NOTES**

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

**KEYED NOTES**

- NOT USED.
- 2' WIDE ADA APPROVED TRUNCATED DOME STRIP.
- CURB AND GUTTER: SEE B1/A1.1.
- CONCRETE SIDEWALK: SEE B3/A1.1.
- CONCRETE EXPANSION JOINT: SEE B5/A1.1.
- CONCRETE CONTROL JOINT: SEE B5/A1.1.
- BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
- SMOOTH TOOLED FINISH AROUND EDGES: TYPICAL.
- MONOLITHIC CONCRETE HANDICAP RAMP: INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED"; SMOOTH TEXTURE FINISH WITH 1/4" DEEP x 1/4" WIDE GROOVES AT 2' OC.
- CONCRETE FLUSH WITH PAVEMENT.
- CURB, BEYOND.
- 2% CROSS SLOPE, MAXIMUM.
- RAMP, BEYOND.
- RETAINING CURB.
- SUBGRADE: COMPACTED AS SPECIFIED.
- PAVEMENT AS SPECIFIED.
- CONCRETE TURNDOWN CURB.
- 4" THICK CONCRETE SIDEWALK.
- SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
- 1/2" EXPANSION JOINT MATERIAL.
- STABILIZED AGGREGATE BASE COARSE, AS SPECIFIED.
- STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
- CONCRETE CURB AND GUTTER.
- SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE, POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
- CONNECT GROUND WIRE TO REINFORCING BARS.
- (3) #3 TIES AT 1/2" OC IN TOP 5".
- #6 BARE COPPER GROUND WIRE.
- CONDUIT AS INDICATED ON ELECTRICAL PLAN.
- (6) #6 BARS VERTICAL.
- 8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
- NON-SHRINK GROUT.
- 2" CHAMFER.
- FINISHED GRADE.
- #3 TIES @ 12" OC.
- 6" RETAINING CURB.
- MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI); PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
- PROVIDE 1/4" DEEP BY 1/4" WIDE GROOVES @ 2' OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
- 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
- PROVIDE ADA APPROVED TRUNCATED STRIP AT 2' WIDTH.
- EXPANSION JOINT.
- WIDTH VARIES (6" MINIMUM); SEE SITE PLAN.
- PROVIDE A 5 SF LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
- WIDTH VARIES: SEE SITE PLAN (MINIMUM 5' WIDTH).

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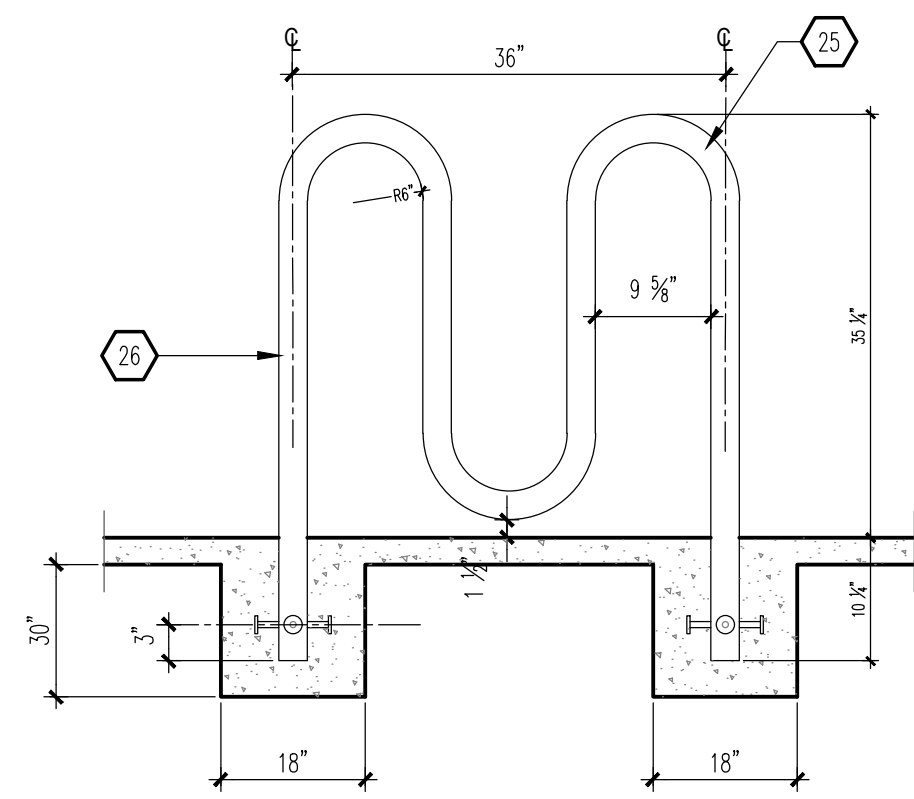
**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
REGISTERED ARCHITECT  
No. 4218  
12 JULY 2021

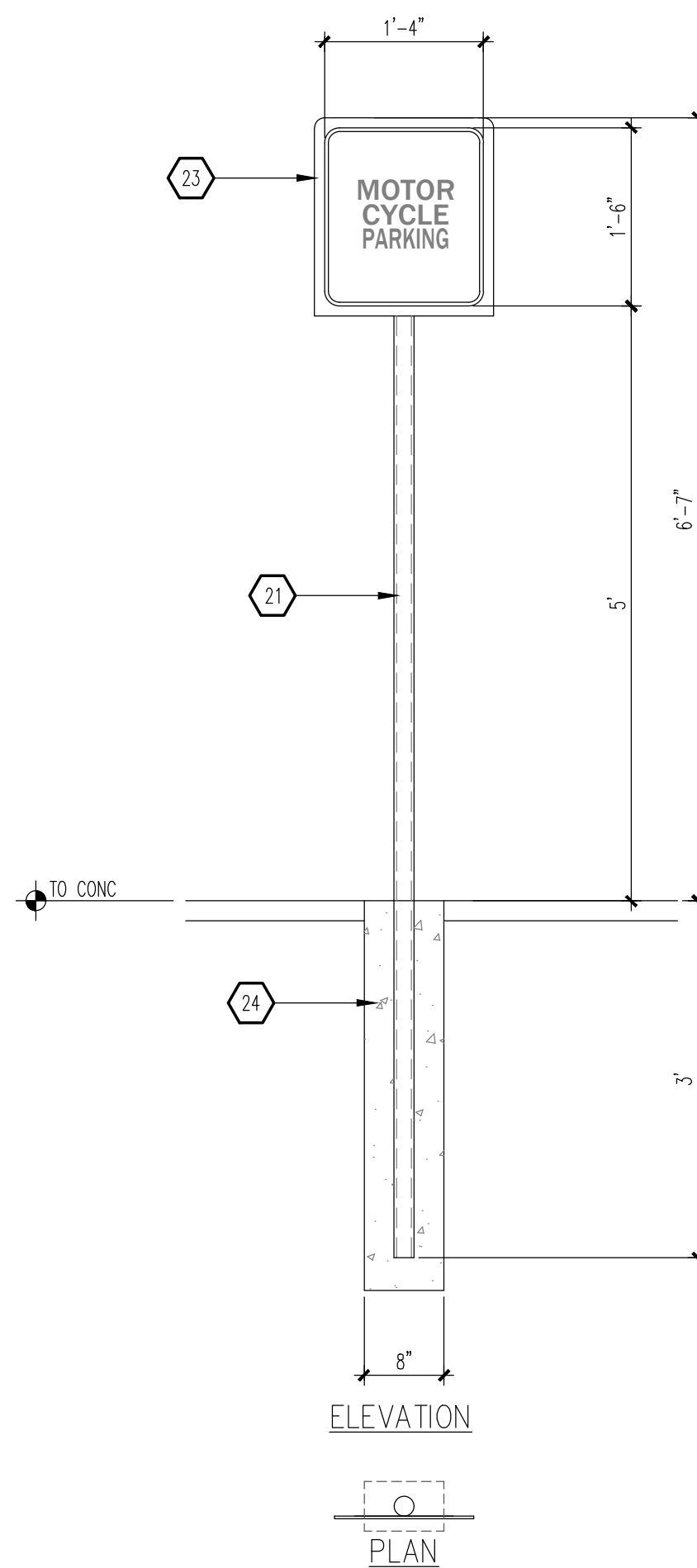
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4001 CENTRAL AVE. NW  
ALBUQUERQUE, NEW MEXICO 87105  
JOB NO.: **ARB**  
DRAWN BY: **DIN**  
PROJECT MANAGER: **DEVIN NGUYEN**  
SHEET TITLE: **SITE DETAILS**

DATE: **16 FEB 2021**  
SCALE: **AS NOTED**  
sheet: **A1.1**  
of: **1**

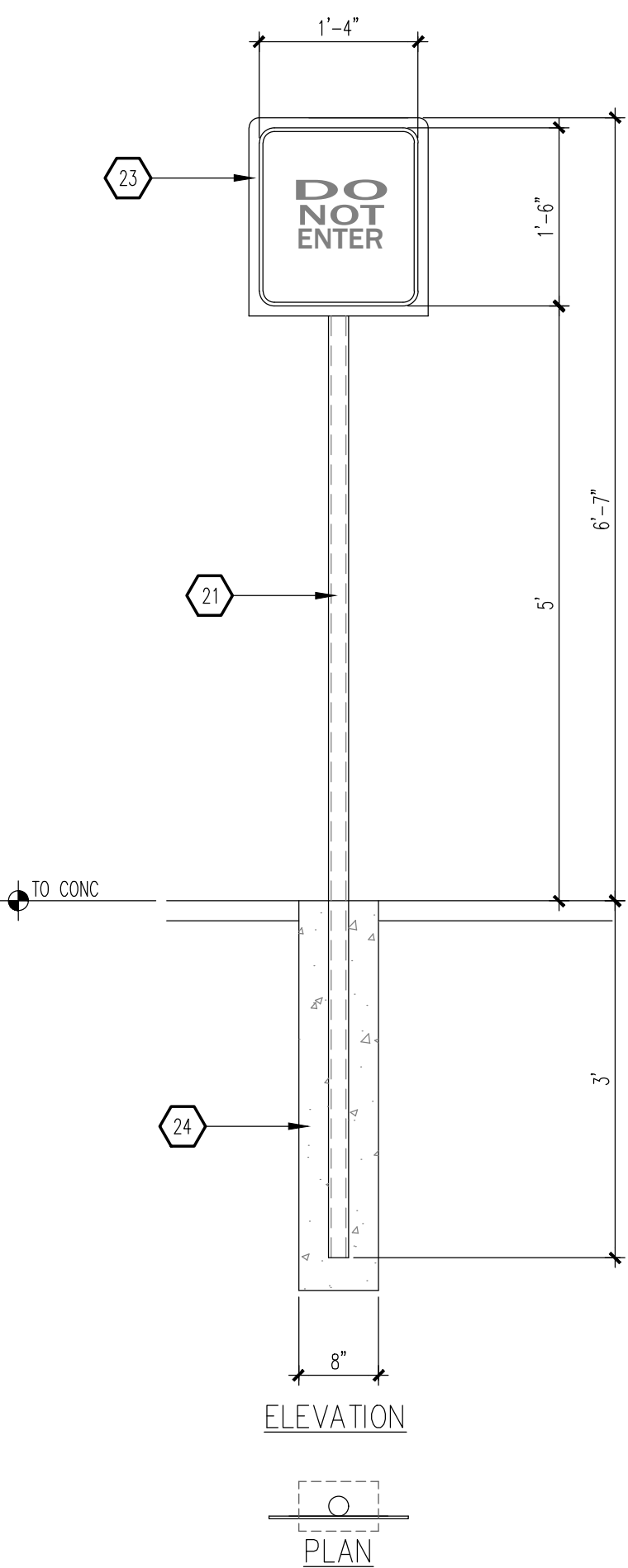


NOTE:  
 BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:  
 A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.  
 B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.  
 C. COMB/TOASTER RACKS ARE NOT ALLOWED.  
 D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.  
 E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
 F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.  
 G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

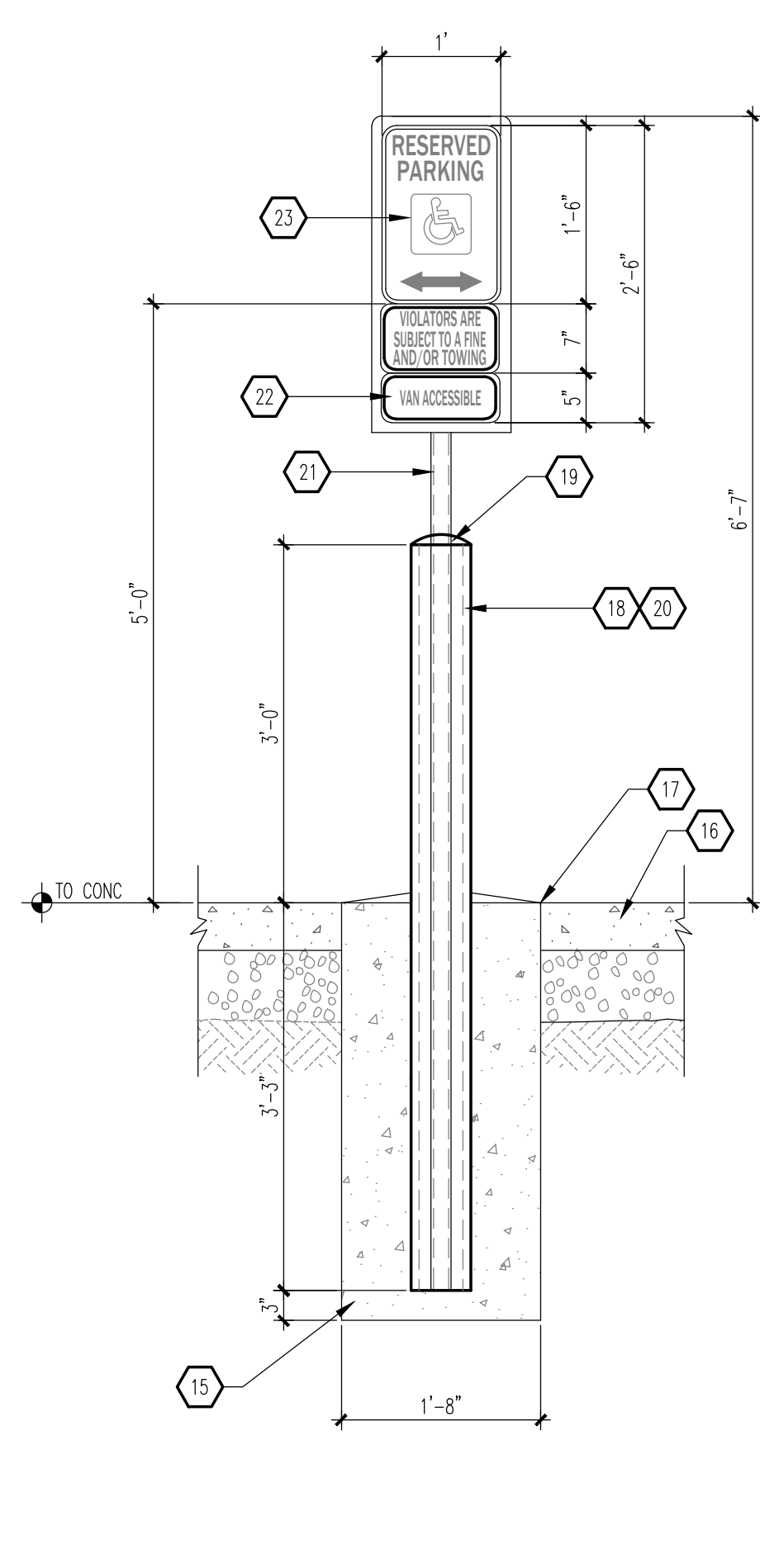
**B1 BIKE RACK**  
 SCALE: 1/2" = 1'-0"



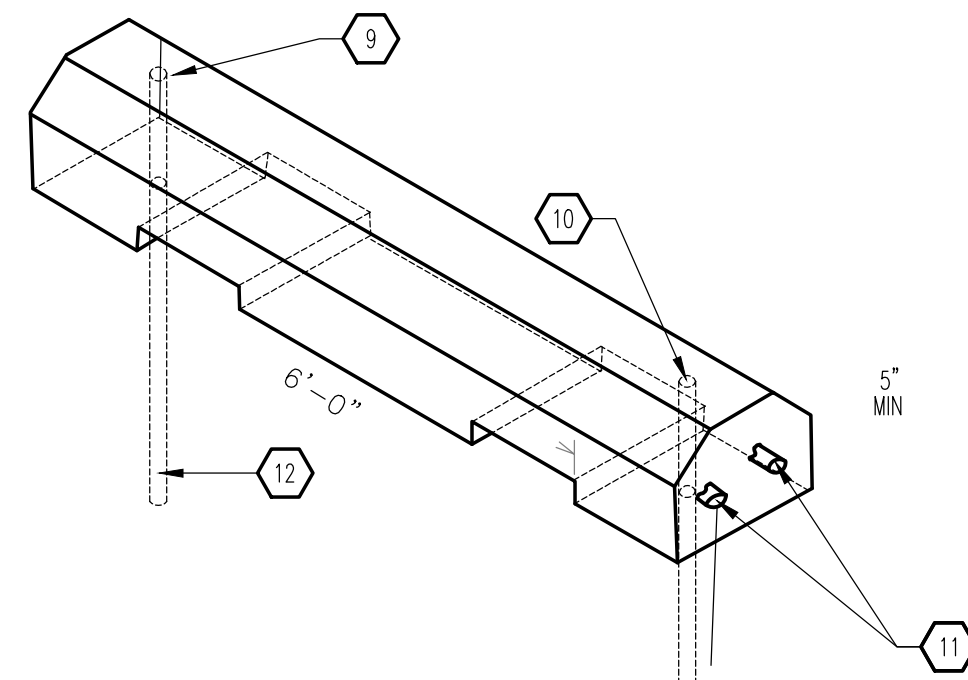
**B2 MISC SIGNAGE**  
 SCALE: 3/4" = 1'-0"  
 NOTE:



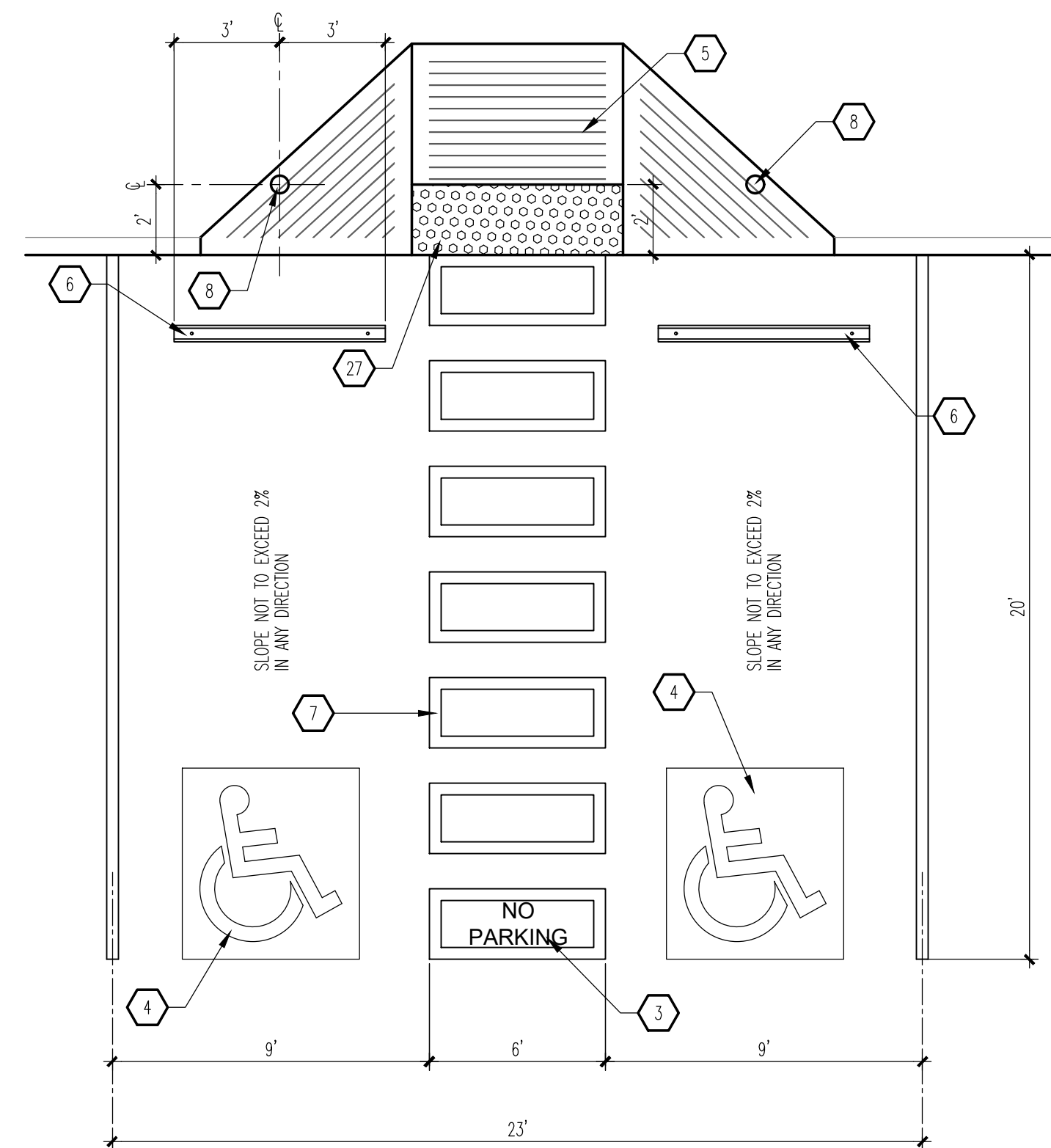
**B3 MISC SIGNAGE**  
 SCALE: 3/4" = 1'-0"



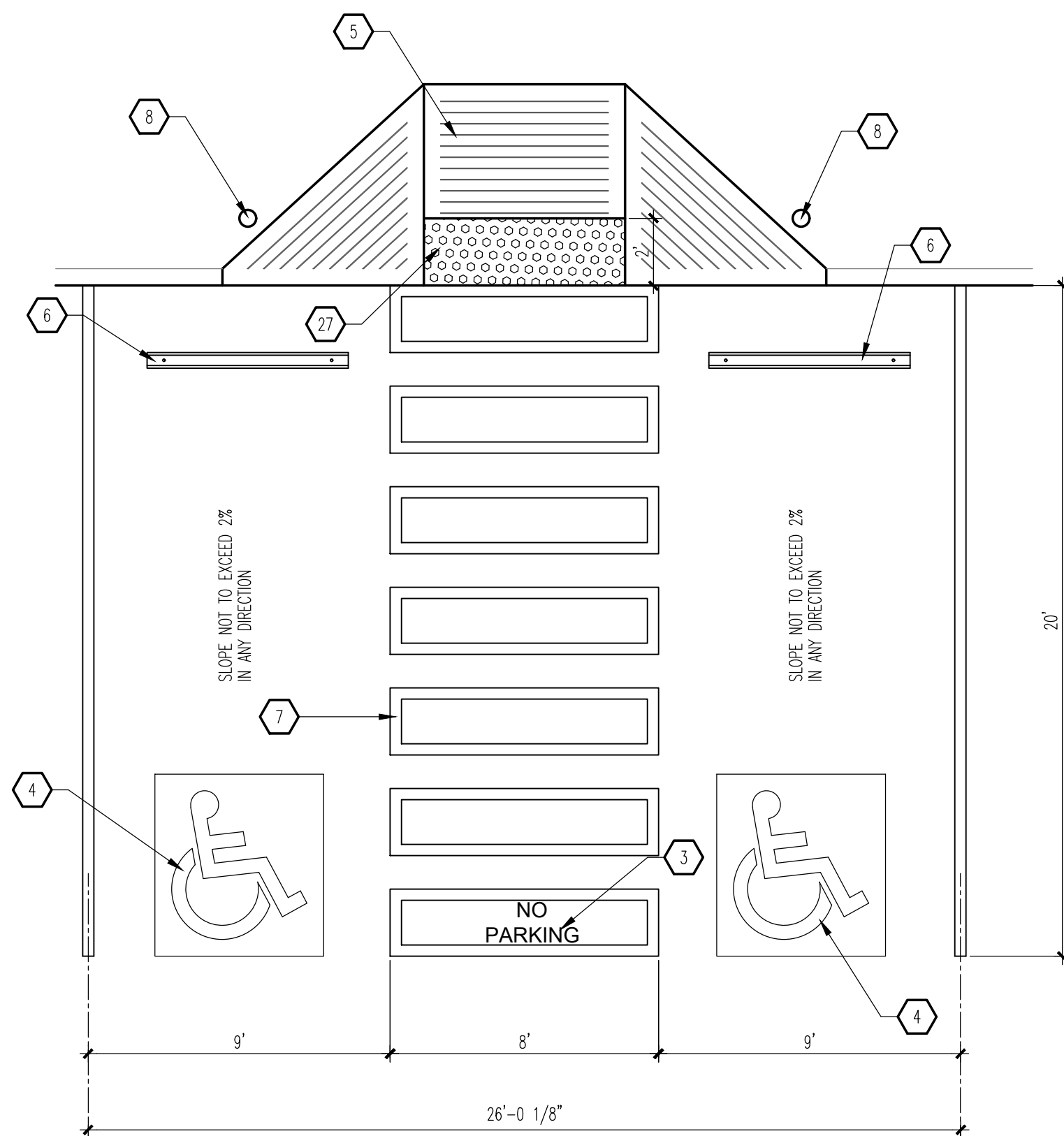
**B4 MISC SIGNAGE**  
 SCALE: 3/4" = 1'-0"  
 NOTE:



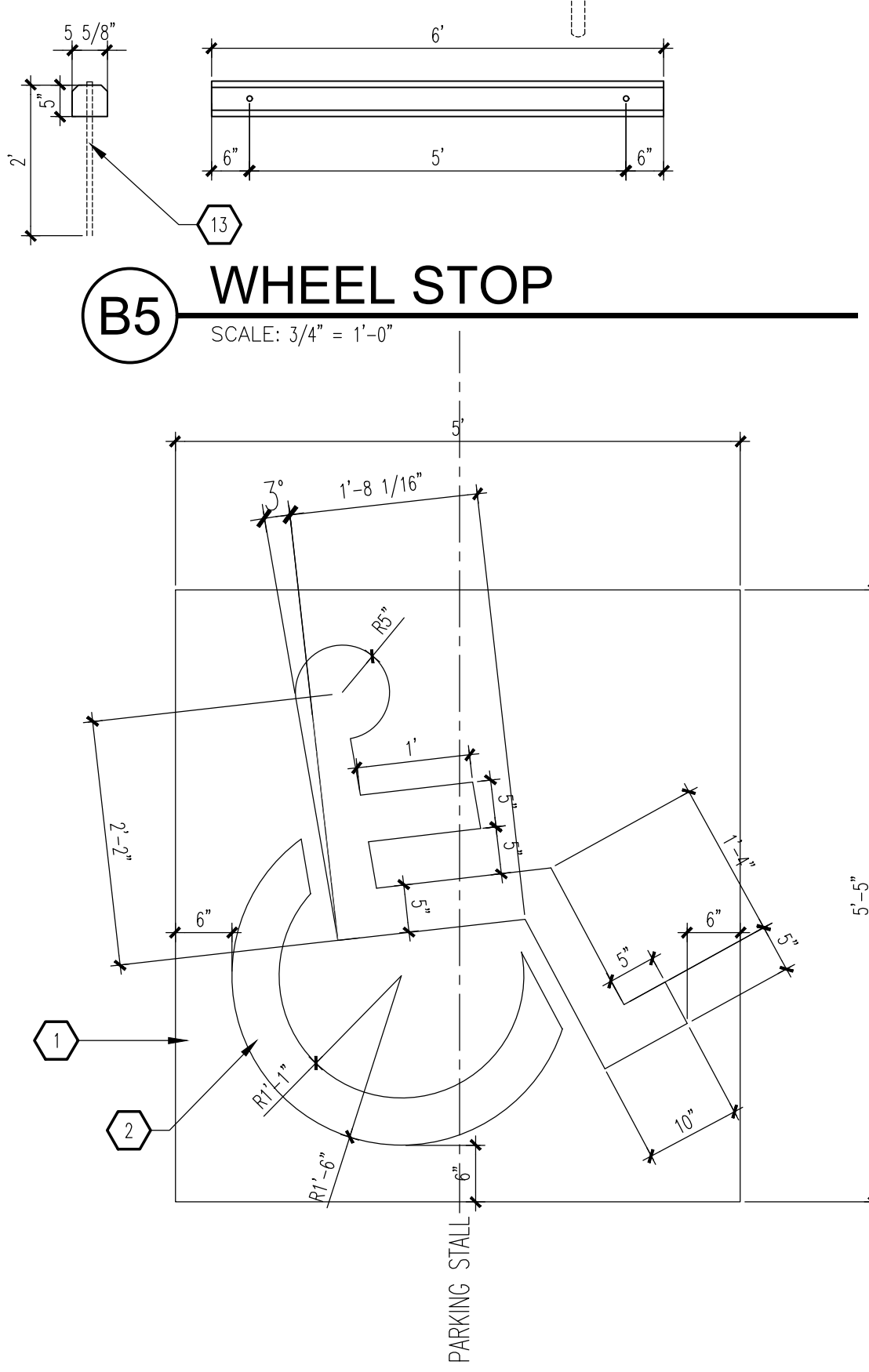
**B5 WHEEL STOP**  
 SCALE: 3/4" = 1'-0"



**A1 HC PARKING PLAN**  
 SCALE: 1/4" = 1'-0"



**A3 HC PARKING PLAN [ ] AN ACCESIBLE [ ]**  
 SCALE: 1/4" = 1'-0"



**A5 HANDICAP SIGNAGE**  
 SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.

**KEYED NOTES**

1. PAINT BLUE.
2. PAINT WHITE.
3. 12" HIGH BY 4" WIDE "NO PARKING" MARKING - WHITE PAINT.
4. HANDICAP PAVEMENT MARKING: SEE A5/A1.2.
5. FLARED RAMP: SEE A3/A1.1.
6. WHEEL STOP: SEE B5/1.2.
7. WALKWAY PAVEMENT MARKING: SEE C5/A1.2.
8. HANDICAP POST SIGNAGE: SEE B4/A1.2.
9. TOP OF REINFORCING BAR FLUSH WITH TOP OF CONCRETE.
10. 3/8" DIAMETER HOLE.
11. (2) #4 BARS CONTINUOUS.
12. 3/4" REINFORCING BAR EMBEDDED 24" INTO SUBGRADE.
13. #5 REINFORCING BAR.
14. NOT USED.
15. 3500 PSI CONCRETE FOUNDATION.
16. FINISHED SURFACE.
17. BITUMINOUS JOINT FILLER (CONCRETE PAVEMENT ONLY).
18. 6" DIAMETER STEEL PIPE FILLED WITH CONCRETE.
19. ROUND CONCRETE TOP.
20. PAINT SAFETY YELLOW.
21. 2" OD GALVANIZED STEEL SIGN POST.
22. "VAN ACCESSIBLE" SIGN WHERE INDICATED ON SITE PLAN.
23. 1/8" STEEL PLATE WITH CONTINUOUS WELD ALONG INTERSECTION OF PIPE POST AND PLATE.
24. CONCRETE FOUNDATION.
25. PRIME AND PAINT STEEL MEMBER FLAT BLACK.
26. 2 3/8" STANDARD DUTY PIPE CENTER SUPPORT.
27. ADA APPROVED TRUNCATED DOME STRIP.

REV	DATE	BY	REVISION
▲			
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**MODULUS ARCHITECTS**  
 100 SUN AVENUE N.E., Ste 305  
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 PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO  
 REGISTERED ARCHITECT  
 STEPHEN A. DUNBAR  
 No. 4218  
 12 JULY 2021

PROJECT TITLE: **STARBUCKS**  
 4001 CENTRAL AVE. NW  
 ALBUQUERQUE, NEW MEXICO 87105

PROJECT MANAGER: **DEVIN NGUYEN**

JOB NO.: **ABO**

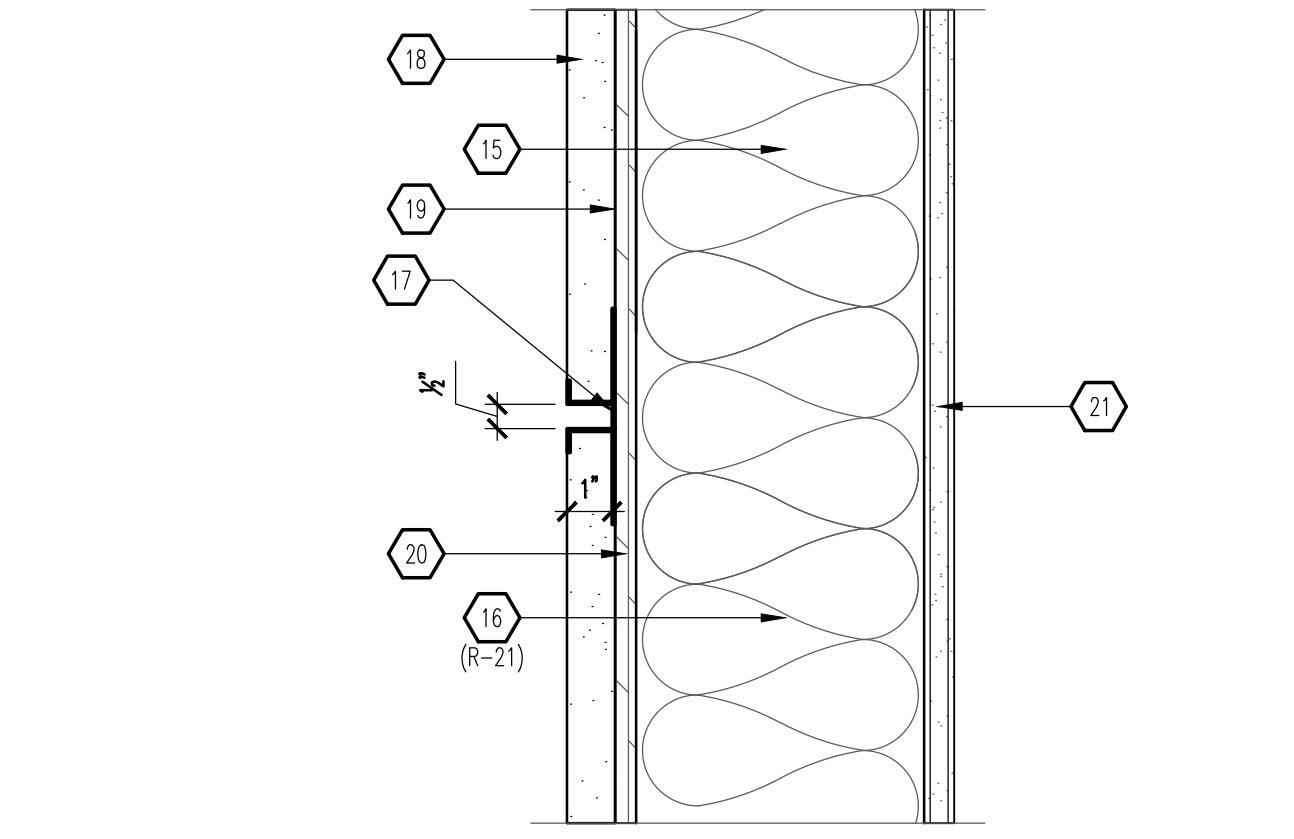
DRAWN BY: **DJN**

SHEET TITLE: **SITE DETAILS**

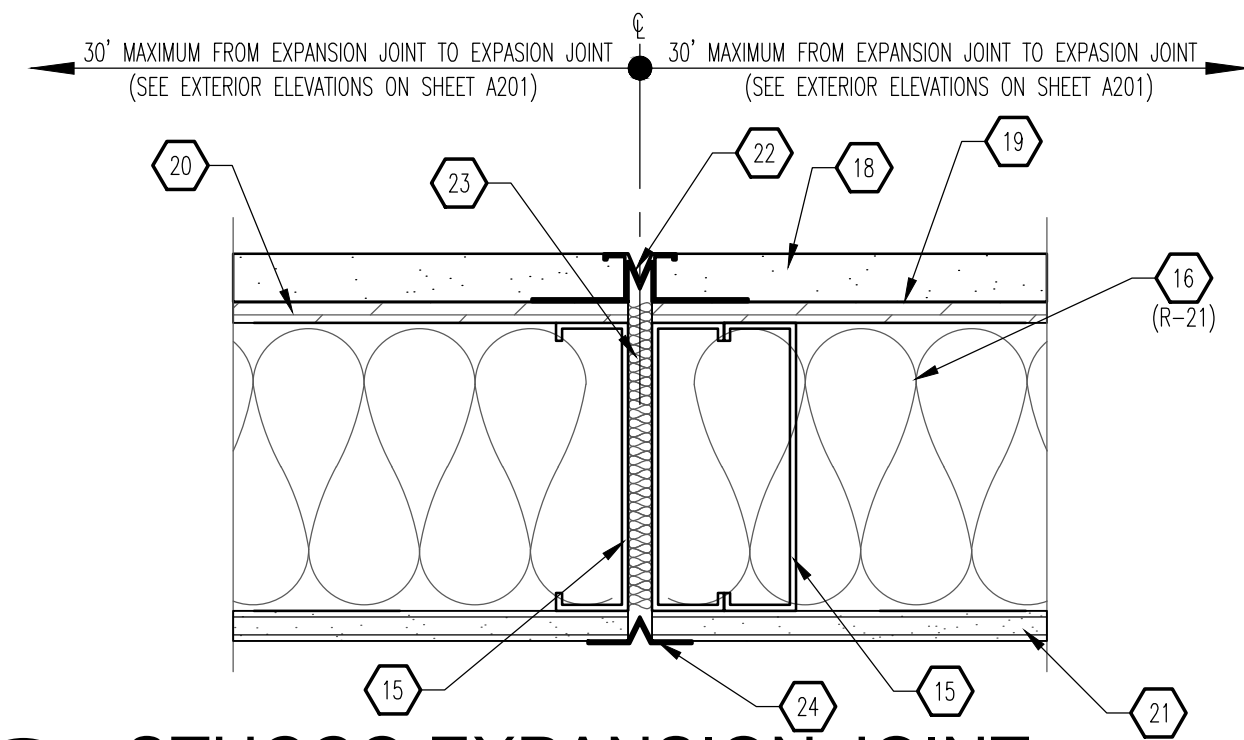
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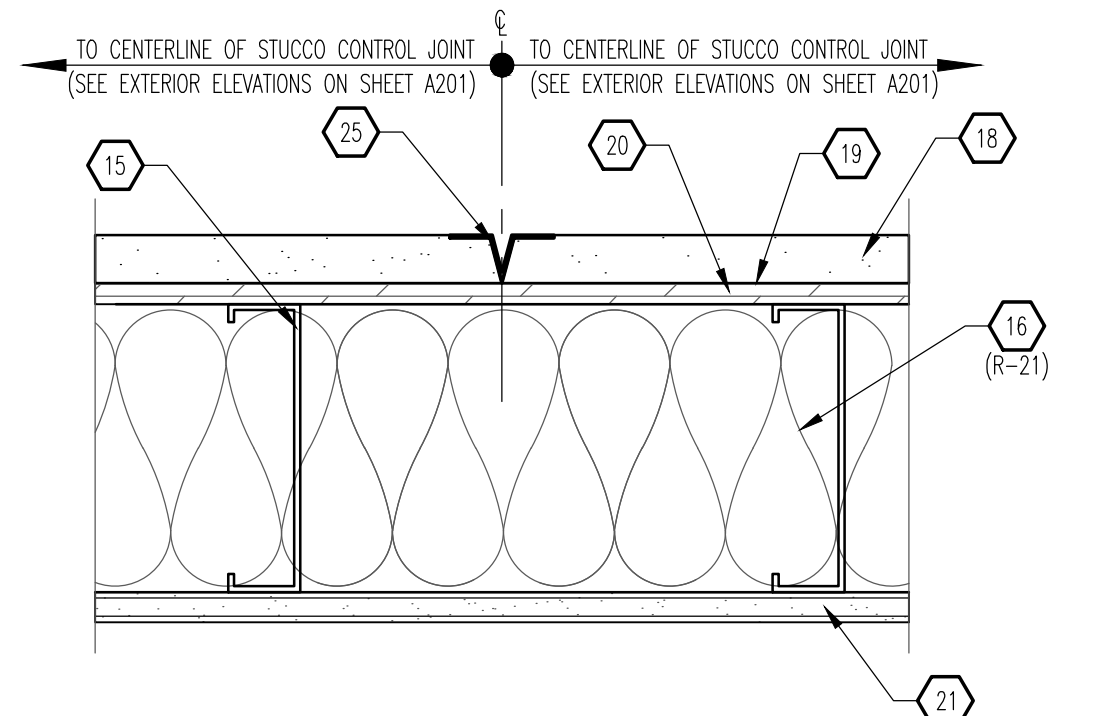
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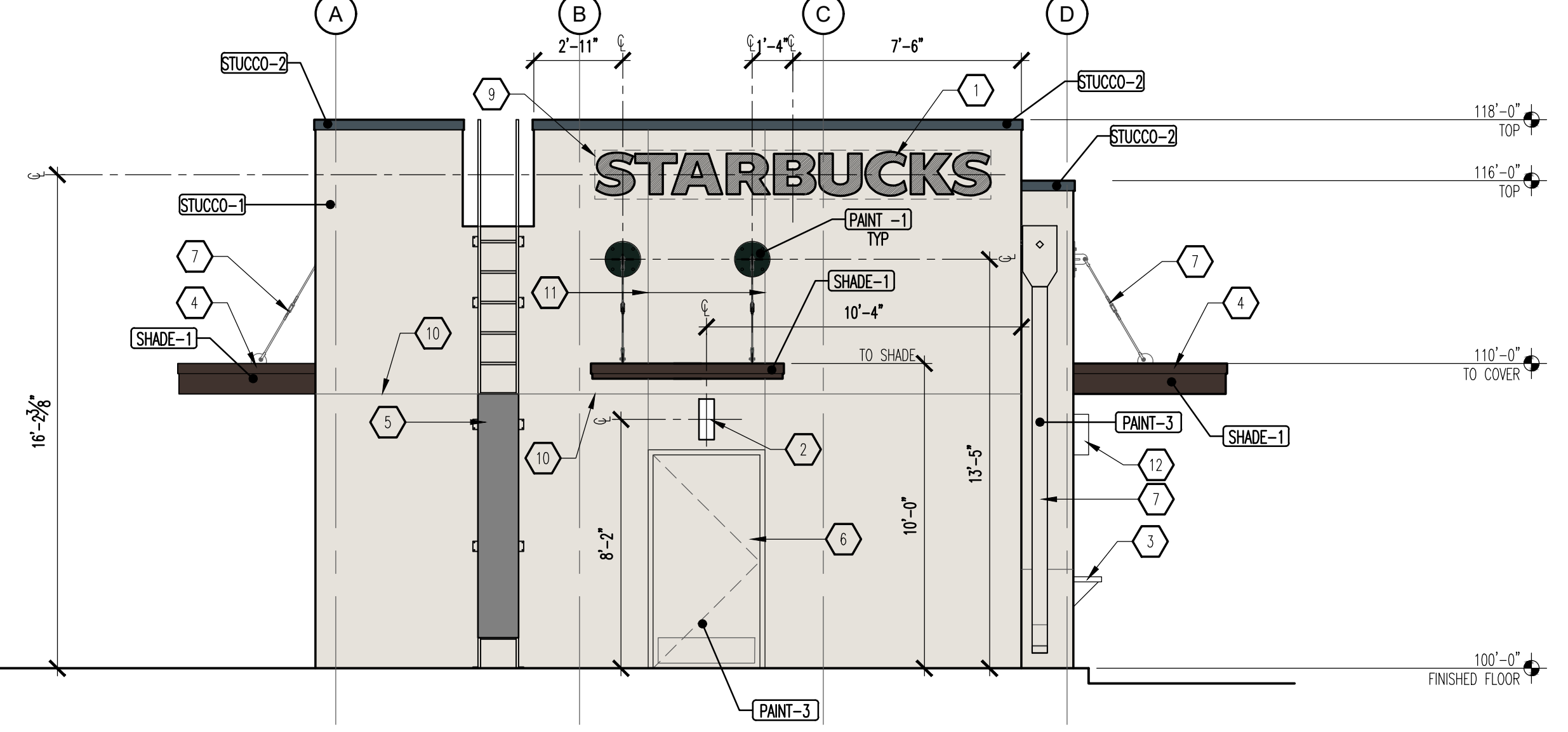
**D1 ALUMINUM STUCCO REVEAL**  
SCALE: 3" = 1'-0"



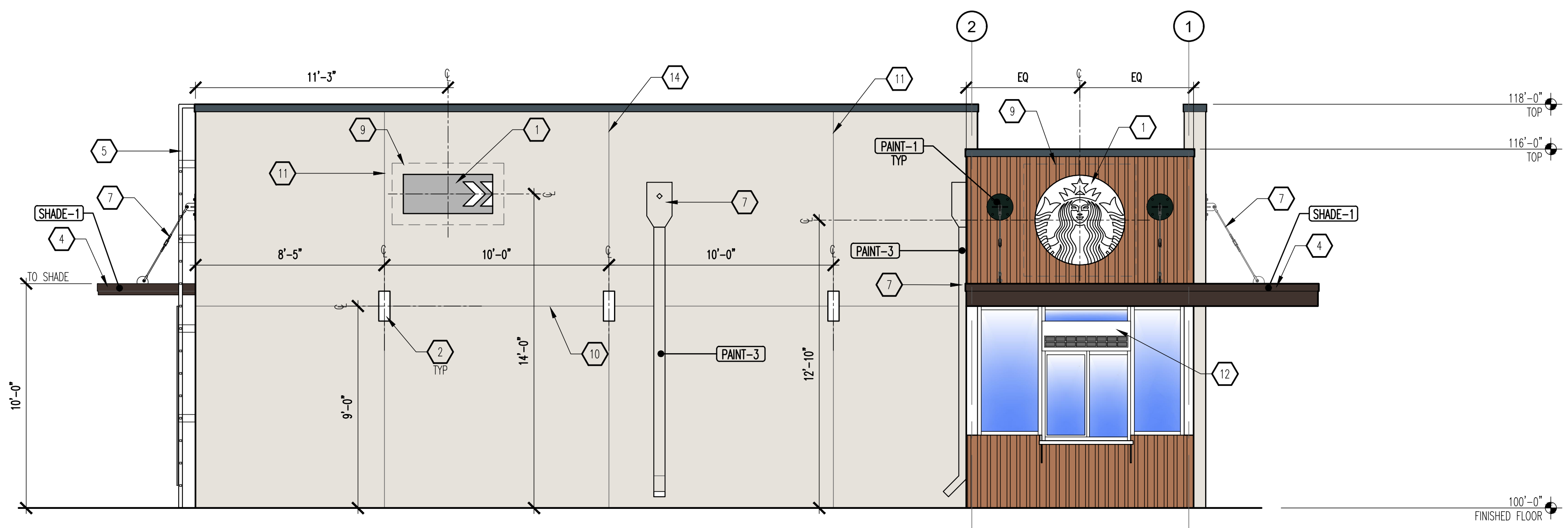
**C1 STUCCO EXPANSION JOINT**  
SCALE: 3" = 1'-0"



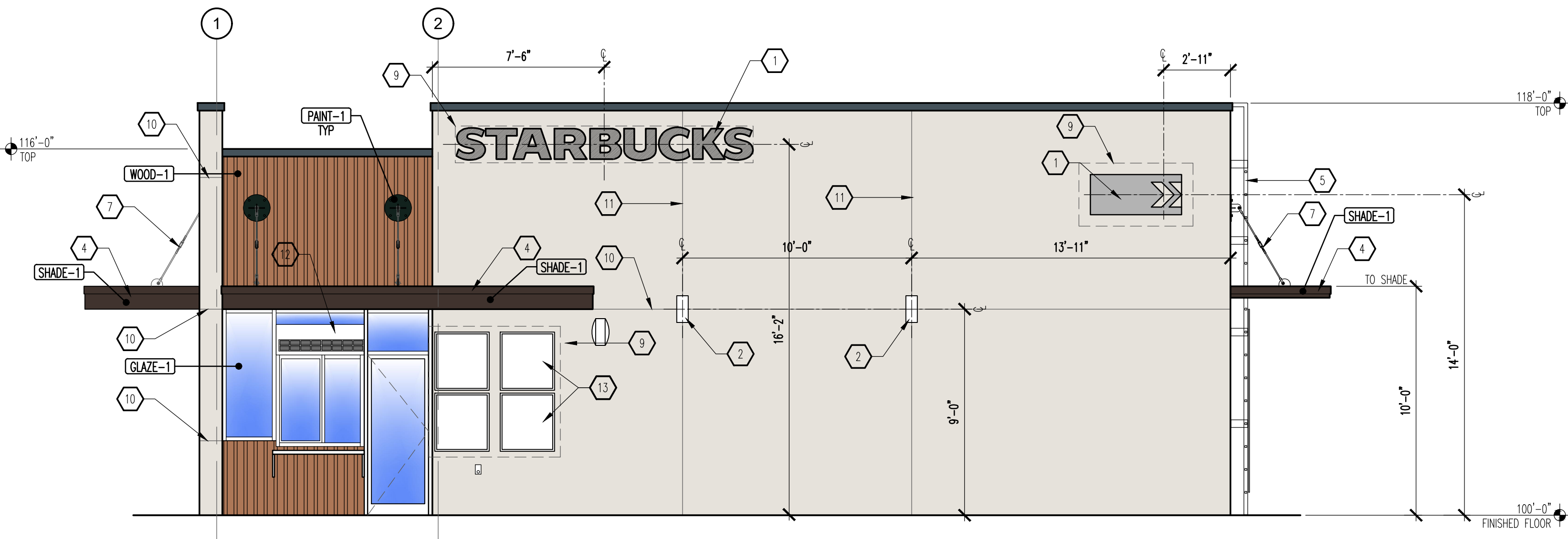
**B1 STUCCO CONTROL JOINT**  
SCALE: 3" = 1'-0"



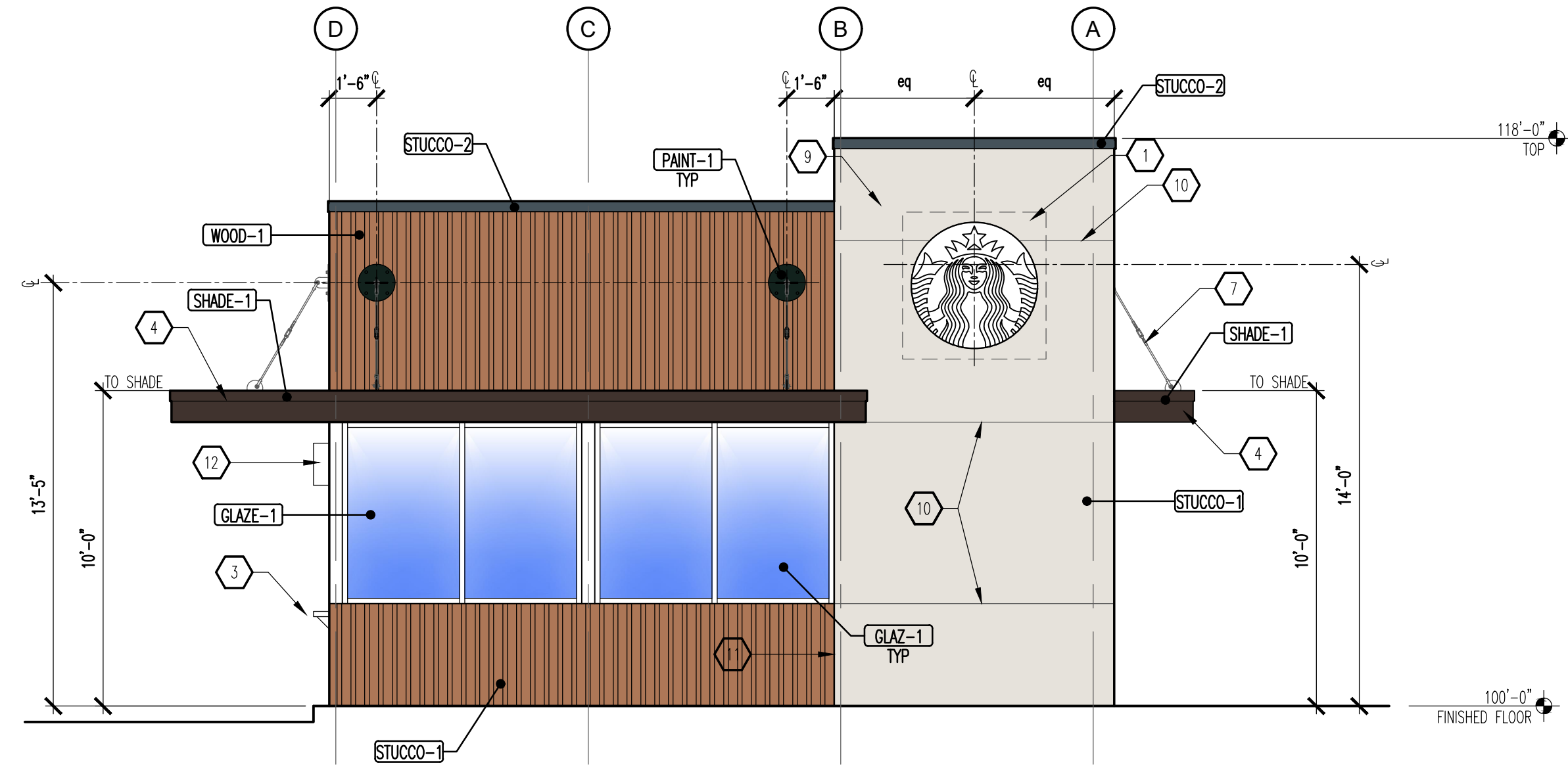
**A1 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**C3 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**B3 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**A3 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. INDICATED DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- C. INDICATED ELEVATIONS ARE BASED ON A FINISHED FLOOR OF 100'-0".

**KEYED NOTES**

1. SIGNAGE SHALL BE PROVIDED AND INSTALLED BY TENANT UNDER A SEPARATE PERMIT; CONTRACTOR TO PROVIDE ELECTRICAL POWER UNDER THIS CONTRACT.
2. SURFACE MOUNTED LIGHT FIXTURE: SEE ELECTRICAL PLAN ON SHEET E101
3. DRIVE-THRU SHELF.
4. SHADE STRUCTURE.
5. ROOF ACCESS LADDER: SEE AA/A311.
6. SCHEDULED DOOR AND FRAME: SEE FLOOR PLAN ON SHEET A101.
7. STEEL ROD AND TURNBUCKLE.
8. LEADER HEAD AND DOWNSPOUT.
9. DASHED LINE INDICATES 3/8" FIRE RETARDANT PLYWOOD BACKING AT SIGNAGE LOCATION.
10. ALUMINUM STUCCO REVEAL: SEE D1/A201.
11. STUCCO CONTROL JOINT: SEE B1/A201.
12. HEATED AIR CURTAIN: AA100.
13. (4) WALK-UP MENU BOARDS, SECURE TO BUILDING FACADE.
14. STUCCO EXPANSION JOINT: SEE C1/A201.
15. METAL STUD: SEE ROOF FRAMING PLAN ON SHEET S1.1.
16. BATT INSULATION.
17. ALUMINUM STUCCO REVEAL: FRY CHANNEL SCREED; OR APPROVED EQUAL.
18. 2-COAT STUCCO SYSTEM: SEE EXTERIOR ELEVATIONS ON THIS SHEET FOR COLOR.
19. (2) LAYERS OF VAPOR BARRIER: TYVEK OR APPROVED EQUAL.
20. 3/8" APA EXTERIOR RATED SHEATHING.
21. 3/8" GYPSUM BOARD.
22. STUCCO EXPANSION JOINT: M-PROFILE EXPANSION JOINT.
23. COMPRESSED INSULATION INFILL.
24. GYPSUM BOARD EXPANSION JOINT: TRIM-TEX #09.5V EXPANSION BEAD; OR APPROVED EQUAL.
25. 1/2" STUCCO CONTROL JOINT: REGLET V-REVEAL MOLD; OR APPROVED EQUAL.

REV	DATE	BY	REVISION
1			
2			
3			
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5			

**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
REGISTERED ARCHITECT  
No. 4218  
12 JULY 2021

**EXTERIOR MATERIALS**

<b>STUCCO-1</b>	2-COAT STUCCO SYSTEM COLOR - SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
<b>STUCCO-2</b>	2-COAT STUCCO SYSTEM COLOR - SHERWIN WILLIAMS SW#7605 GALE FORCE
<b>PAINT-1</b>	PAINT FINISH COLOR - SHERWIN WILLIAMS SW#2936 BLACK EMERALD
<b>PAINT-2</b>	PAINT FINISH COLOR - SHERWIN WILLIAMS SW#682 DAREDEVIL
<b>PAINT-3</b>	PAINT FINISH COLOR - SHERWIN WILLIAMS SW#7636 ORIGAMI WHITE
<b>WOOD-1</b>	WOOD VENEER LONGBOARD PRODUCTS - LIGHT CHERRY.
<b>GLAZE-1</b>	ALUMINUM STOREFRONT SYSTEM WITH CLEAR LOW-E COLOR: ANODIZED BRONZE
<b>SHADE-1</b>	STEEL SHADE STRUCTURE COLOR: SHERWIN WILLIAMS SW#6006 BLACK BEAN

PROJECT TITLE <b>STARBUCKS</b> 4201 CENTRAL AVE. NW ALBUQUERQUE, NEW MEXICO 87105	DRAWN BY: DIN
PROJECT MANAGER <b>DEVIN NGUYEN</b>	JOB NO. ABO
SHEET TITLE <b>EXTERIOR ELEVATIONS</b>	DATE 16 FEB 2021
SCALE AS NOTED	SHEET NO. A201



**A2 ENLARGED SITE PLAN**  
SCALE: 1:20

**GENERAL NOTES**

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

**KEYED NOTES**

- 1. EXISTING SIDEWALK TO REMAIN.
- 2. INSTALL A 2'-0" WIDE TRUNCATED DOME STRIP.
- 3. EXISTING CURB AND GUTTER TO REMAIN.
- 4. EXISTING ASPHALT TO REMAIN.
- 5. ACCESSIBLE PARKING: SEE A1&A3/A1.2.
- 6. WHEEL STOP: SEE B5/A1.2.
- 7. CURBED RAMP: SEE A1/A1.1.
- 8. CURB & GUTTER: SEE B1/A1.1.
- 9. AREA OF REFUSE: SEE D2/A1.3.
- 10. PARKING ISLAND.
- 11. HANDICAP PARKING SIGNAGE: SEE B4/A1.2.
- 12. LANDSCAPING: SEE LANDSCAPE PLAN ON SHEET LS101.
- 13. 'DO NOT ENTER' PAVEMENT MARKING: SEE A1/A1.3.
- 14. 'DRIVE-THRU' PAVEMENT MARKING: SEE B1/A1.3.
- 15. 'DO NOT ENTER' SIGNAGE: SEE B3/A1.2.
- 16. 10" COMPACTED SUBGRADE @ 95%.
- 17. 2" ASPHALT CONCRETE PAVEMENT.
- 18. 4" BASE COURSE.
- 19. 6" BASE COURSE.
- 20. 3" ASPHALT CONCRETE PAVEMENT.
- 21. CLEARANCE BAR: SEE B3/A601.
- 22. SPEAKER POST: SEE B1/A601.
- 23. DRIVE-THRU PRE-MENU BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE C1/A501.
- 24. ORDER STATION BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A3/A501.
- 25. DRIVE-THRU MENU BOARD UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A4/A501.
- 26. DRIVE-THRU ARROW SIGN: SEE B2/A601.
- 27. EXISTING PARKING ISLAND TO REMAIN.
- 28. NEW SIDEWALK: SEE B3/A1.1.
- 29. EXISTING LANDSCAPE TO REMAIN (INC).
- 30. CLEARANCE HEIGHT BAR BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE FOUNDATION - SEE B3/A501.
- 31. NON-ILLUMINATED BOLLARD BY TENANT: CONTRACTOR TO PROVIDE CONCRETE FOUNDATION - SEE B1/A501.
- 32. DRIVE-THRU ARROW SIGNAGE BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE B2/A501.
- 33. BIKE RACK: SEE B1/A1.2.
- 34. MOTOR CYCLE PARKING SIGN: SEE B2/A1.2.
- 35. MOTOR CYCLE PARKING.
- 36. DASHED LINE INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' AS MEASURED VERTICALLY FROM ADJACENT GUTTER PAN.
- 37. ADA PAVEMENT MARKING: SEE A5/A1.2.

**GRAPHIC LEGEND**

- HEAVY DUTY ASPHALT: SEE A3/A1.3.
- LIGHT DUTY ASPHALT: SEE A5/A1.3.
- 6" THICK NORMAL WEIGHT REINFORCED CONCRETE PAVING.

----- 6'-0" WIDE ADA PATHWAY TO/FROM BUILDING TO ADA PARKING SPACE.

REV	DATE	BY	REVISION
▲			
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**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

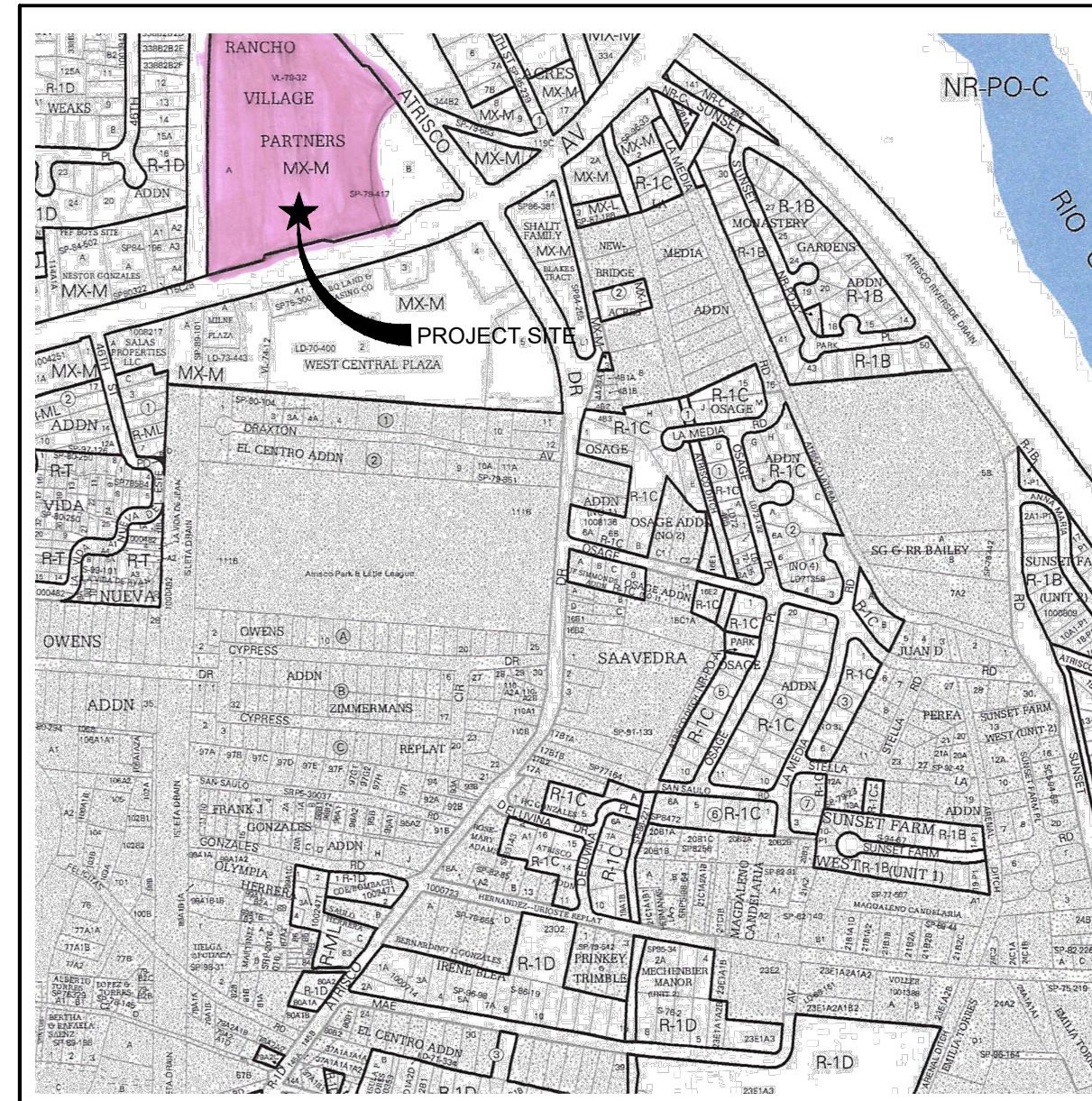
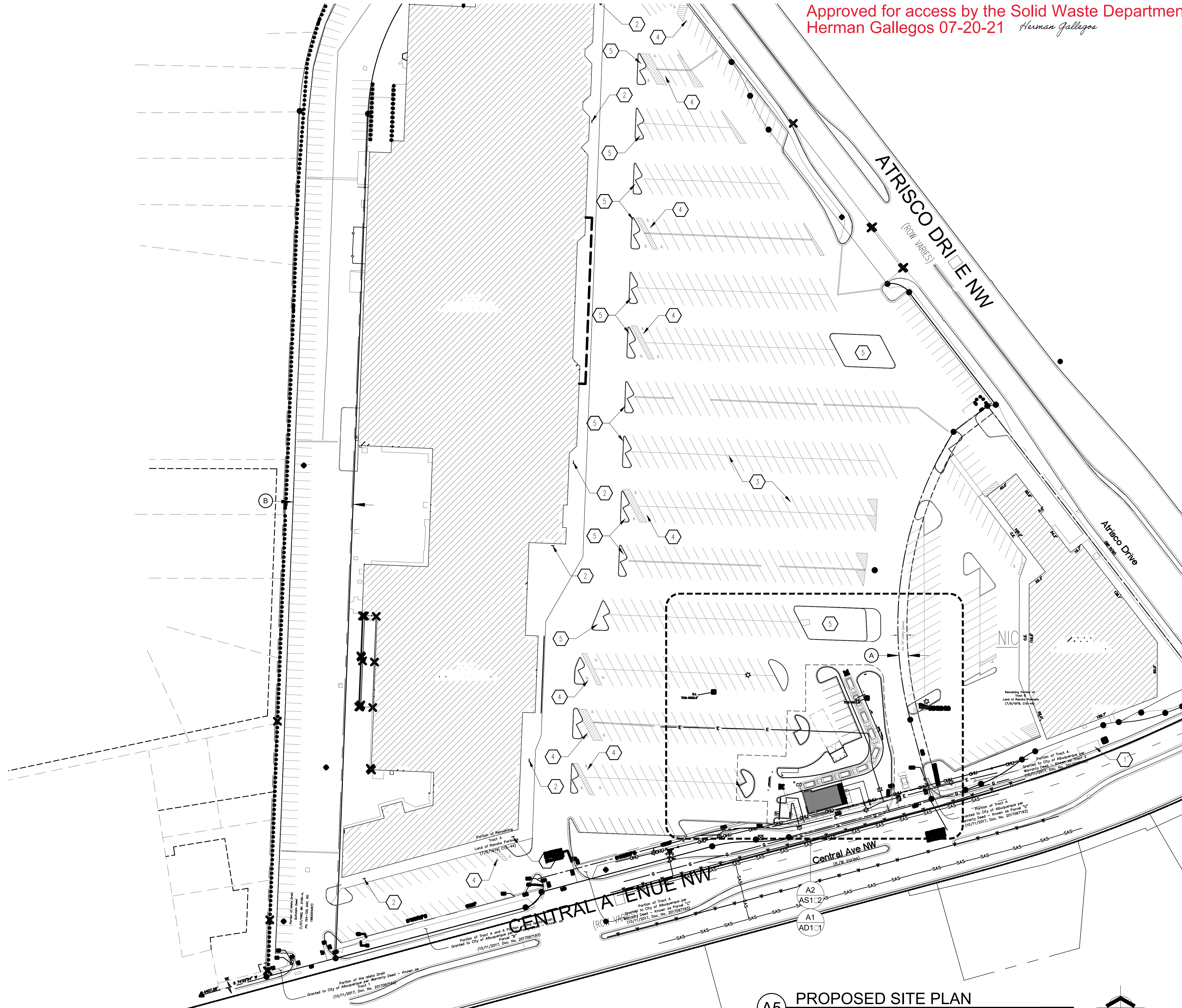
STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
REGISTERED ARCHITECT  
No. 4218  
12 JULY 2021

PROJECT TITLE: **STARBUCKS**  
4952 CENTRAL AVE. NW  
ALBUQUERQUE, NEW MEXICO 87105  
PROJECT MANAGER: **DEVIN NGUYEN**  
JOB NO.: **ABO**  
DRAWN BY: **DIN**

DATE: **16 FEB 2021**  
SCALE: **AS NOTED**  
SHEET: **AS102**

SHEET TITLE: **ENLARGED SITE PLAN**

Approved for access by the Solid Waste Department  
 Herman Gallegos 07-20-21 *Herman Gallegos*



**CITY MAP**  
 A M K J 12

**LEGAL DESCRIPTION:** TRACTS LETTERED "A" AND "B", A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 9, 1979, IN PLAT BOOK C15, FOLIO 44, TOGETHER WITH THE ADJACENT LAND AREA FORMERLY KNOWN AS A PORTION OF THE ISLETA DRAIN, MORE PARTICULARLY DESCRIBED BY SURVEY OF ELDER COMPANY IN NOVEMBER, 1979, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER, WHICH IS THE SOUTHWEST CORNER OF THE LAND OF RANCHO VILLAGE PARTNERS ABOVE MENTIONED AND RUNNING:  
 THENCE S 74°52'10" W, ALONG THE NORTHERLY LINE OF CENTRAL AVENUE WEST, 78.50 FEET TO THE SOUTHWEST CORNER;  
 THENCE N 02°02'40" E, ALONG THE WESTERLY LINE OF THE FORMER RIGHT-OF-WAY OF THE ISLETA DRAIN, 950.77 FEET TO A POINT OF CURVE;  
 THENCE NORTHWESTERLY AND TO THE RIGHT, FOLLOWING A CURVE IN SAID FORMER RIGHT-OF-WAY HAVING A RADIUS OF 321.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING 35°09'50" E, 351.30 FEET) A DISTANCE ALONG THE ARC 371.66 FEET TO A POINT OF TANGENCY;  
 THENCE N 89°17' E, 81.46 FEET TO THE NORTHERMOST CORNER, A POINT ON THE WESTERLY LINE OF ATRISCO DRIVE SW;  
 THENCE S 37°46'30" E, ALONG SAID ATRISCO DRIVE LINE, 78.05 FEET;  
 THENCE S 48°17' W, LEAVING SAID LINE, 103.05 FEET TO A POINT OF CURVE;  
 THENCE SOUTHWESTERLY AND TO THE LEFT, FOLLOWING A CURVE HAVING A RADIUS OF 246.48 FEET AND A CENTRAL ANGLE OF 66°14'20", (THE CHORD OF SAID CURVE RUNNING S 35°09'50" W, 269.35 FEET) A DISTANCE ALONG THE ARC OF 265.07 FEET TO A POINT OF TANGENCY;  
 THENCE S 02°02'40" W, 927.59 FEET TO THE POINT OF BEGINNING.

**GENERAL NOTES**

- 1" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

**KEYED NOTES**

- EXISTING COVERED BUS STOP.
- EXISTING BIKE RACK TO REMAIN.
- EXISTING PARKING TO REMAIN.
- EXISTING ACCESSIBLE PARKING STALL TO REMAIN, TYPICAL.
- PARKING ISLAND TO REMAIN.

**EASEMENTS**

- EXISTING 10' UTILITY EASEMENT (07/09, 1979, C15-44).
- SUBJECT TO EASEMENT OF RECORD RECEIVED BY M.R.G.C.D. IN INSTRUMENT NO. 82-4297 (01/27/1982, BK. D-156-A, PGS. 724-725).

**GRAPHIC LEGEND**

--- PROPERTY LINE

**PARKING CALCULATION**

BUILDING AREA	EXISTING	AREA (GROSS SQUARE FEET)
EXISTING MAIN MASS AREA	189,210 SF	189,210 SF
EXISTING CORNER BUILDING	24,999 SF	24,999 SF
PROPOSED PAD	3,000 SF	1,052 SF
<b>TOTAL</b>		<b>215,117 SF</b>

PARKING REQUIREMENTS	REQUIRED
60,000-217,000 SF @ 1/300	524 SPACES
15,000-60,000 SF	180 SPACES
RESTAURANT = 5/1,000 SF	4 SPACES
TOTAL REQUIRED # PARKING SPACES	708 SPACES
LESS 15% (BUS STOP w/ SHELTER)	(-107 SPACES)
TOTAL # PARKING SPACES REQUIRED	601 SPACES
TOTAL # PARKING SPACES PROVIDED	835 SPACES

ACCESSIBLE PARKING SPACE	REQUIRED	PROVIDED
BIKE PARKING SPACE (1 BIKE RACK PER 20 SPACES)	16 SPACES	26 SPACES *
	6 RACKS *	6 RACK *

\* 5 BIKE SPACE PER 1 BIKE RACK

**A5 PROPOSED SITE PLAN**  
 SCALE: 1:50

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 100 SUN AVENUE N.E., Ste 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
 No. 4218  
 REGISTERED ARCHITECT  
 12 JULY 2021

PROJECT TITLE: **STARBUCKS**  
 4201 CENTRAL AVE. NW, ALBUQUERQUE, NEW MEXICO 87105  
 PROJECT MANAGER: **DEVIN NGUYEN**  
 SHEET TITLE: **OVERALL SITE PLAN**

DATE: 16 FEB 2021  
 SCALE: AS NOTED

DRAWN BY: DTN  
 JOB NO.: ARB

SHEET NO.: AS101





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** Drive Through QSR

Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: K-12-Z DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT A A DIVISION OF LAND OF RANCHO VILLAGE PARTNERS CONT 13.1683 AC

Development Street Address: 4201 CENTRAL AVE NW ALBUQUERQUE 87105 1630

**Applicant:** Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave Suite 600, Albuquerque NM 87109

Phone#: 505-338-1499 Fax#: \_\_\_\_\_

E-mail: rokoye@modulusarchitects.com

### Development Information

Build out/Implementation Year: 2020 Current/Proposed Zoning: MX-M

Project Type: New:  Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: ( ) Office: ( ) Retail: ( ) Mixed-Use: ( ) **Restaurant**

Describe development and Uses:

Develop pad site from an existing Site Plan for Subdivision approved by the EPC to construct a 908 sq. ft. Drive Through QSR.

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): 908 sq. ft.

Number of Residential Units: N/A

Number of Commercial Units: 1

### Traffic Considerations

ITE Trip Generation Land Use Code #937 Coffee/Donut Shop with Drive-Through Window

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* AM 80 vph, PM 40 vph

Driveway(s) Located on: Street Name Central Ave W, Atrisco Dr W

Adjacent Roadway(s) Posted Speed: Street Name Central Ave W Posted Speed 35 MPH  
Street Name Atrisco Dr W Posted Speed 35 MPH

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Atrisco Dr W - Urban Major Collector  
Central Ave W - Urban Principal Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Activity Center  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 21300 (2018) Volume-to-Capacity Ratio (v/c): 0.75-1.0  
(if applicable)

Adjacent Transit Service(s): Bus Route 66, 766, 92, 94 Nearest Transit Stop(s): Rapid Ride 766 Stop, Bus Route 66,766

Is site within 660 feet of Premium Transit?: Yes

Current/Proposed Bicycle Infrastructure: Bike lanes on Central  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Has sidewalks

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes:

*M. P. E.*

918/2020

TRAFFIC ENGINEER

DATE

---

### **Submittal**

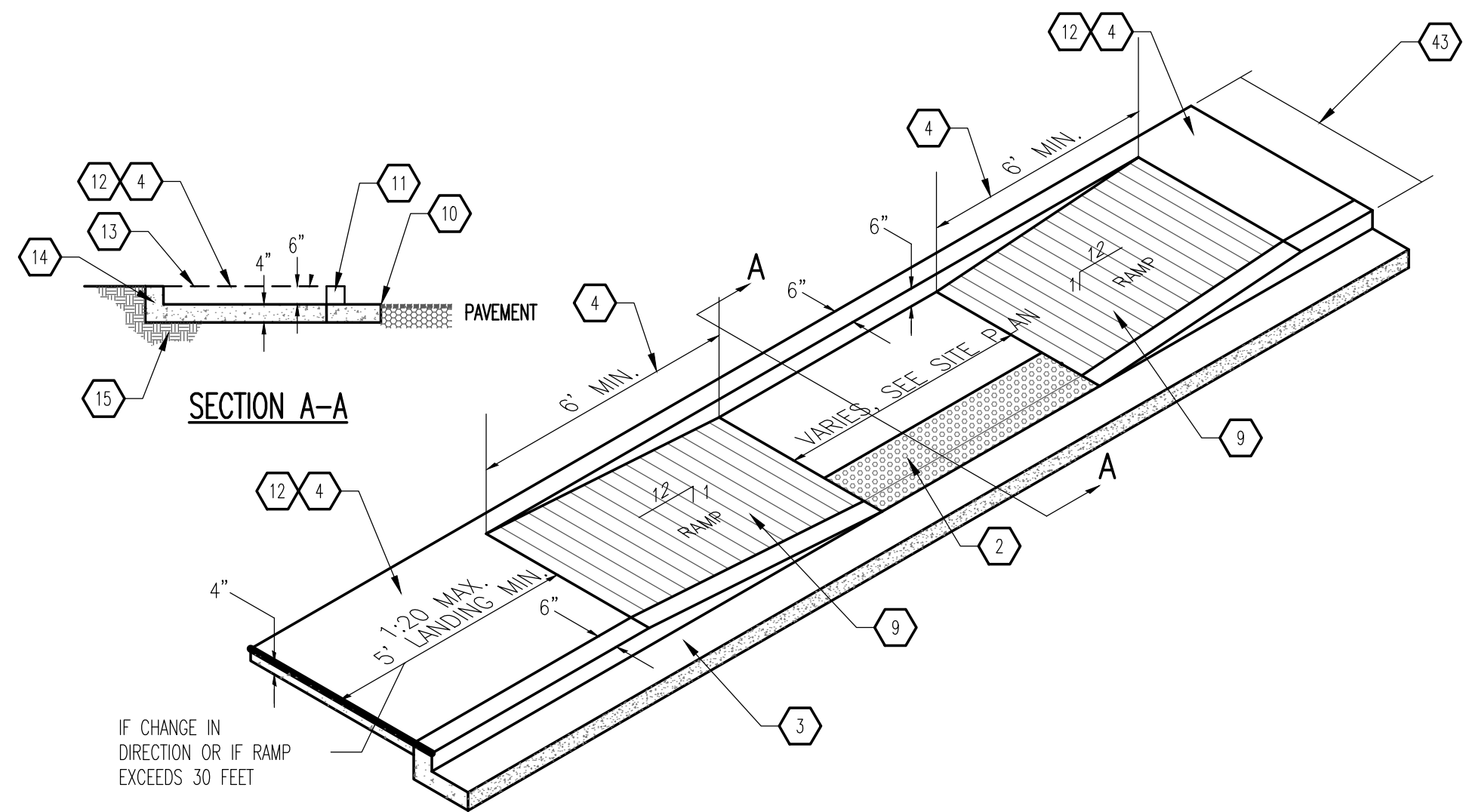
The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

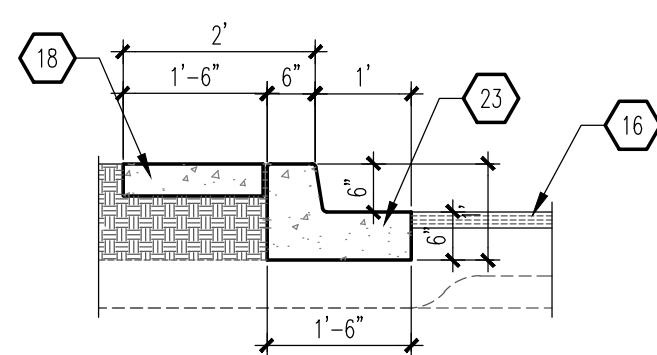
Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

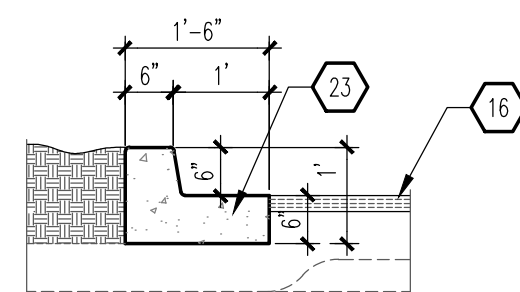


NOTE:  
H.C. RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**C1 TAPERED RAMP**  
SCALE: NTS

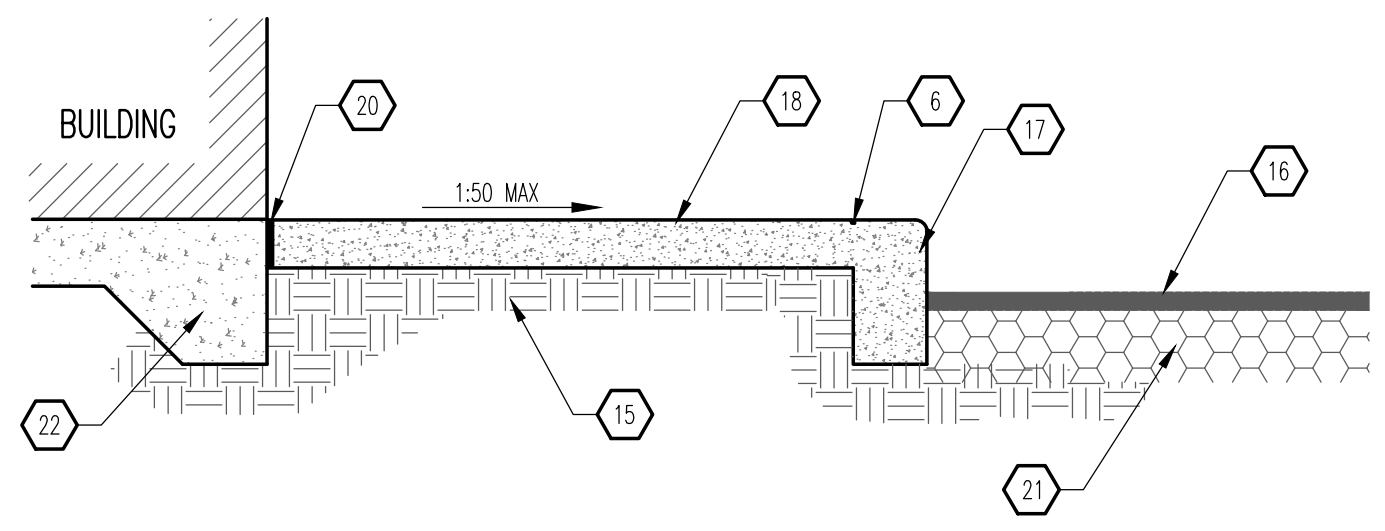


NOTE:  
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B



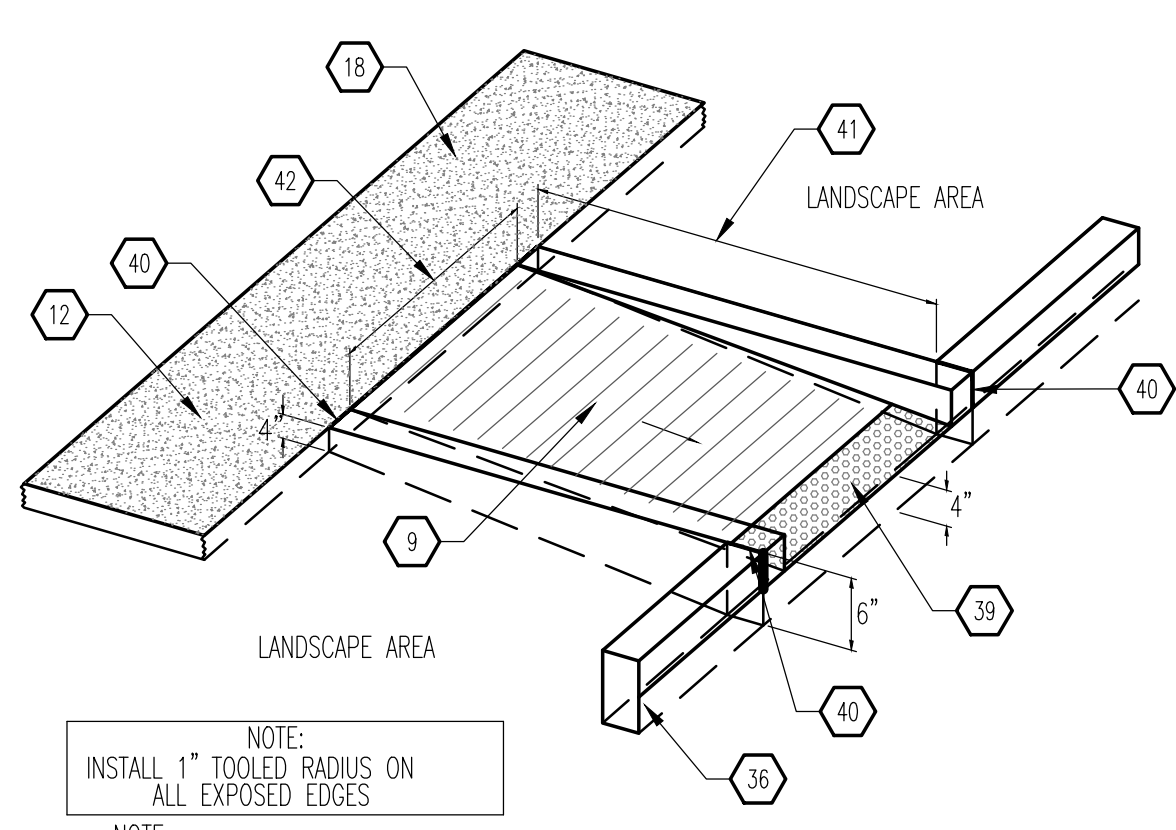
NOTE:  
RE: SITE PLAN FOR LOCATIONS OF PAVEMENT SECTION DESIGN PER THE GEOTECHNICAL INVESTIGATION FOLLOW COA STANDARD DRAWING #2415B

**B1 CURB & GUTTER**  
SCALE: 1/2" = 1'-0"



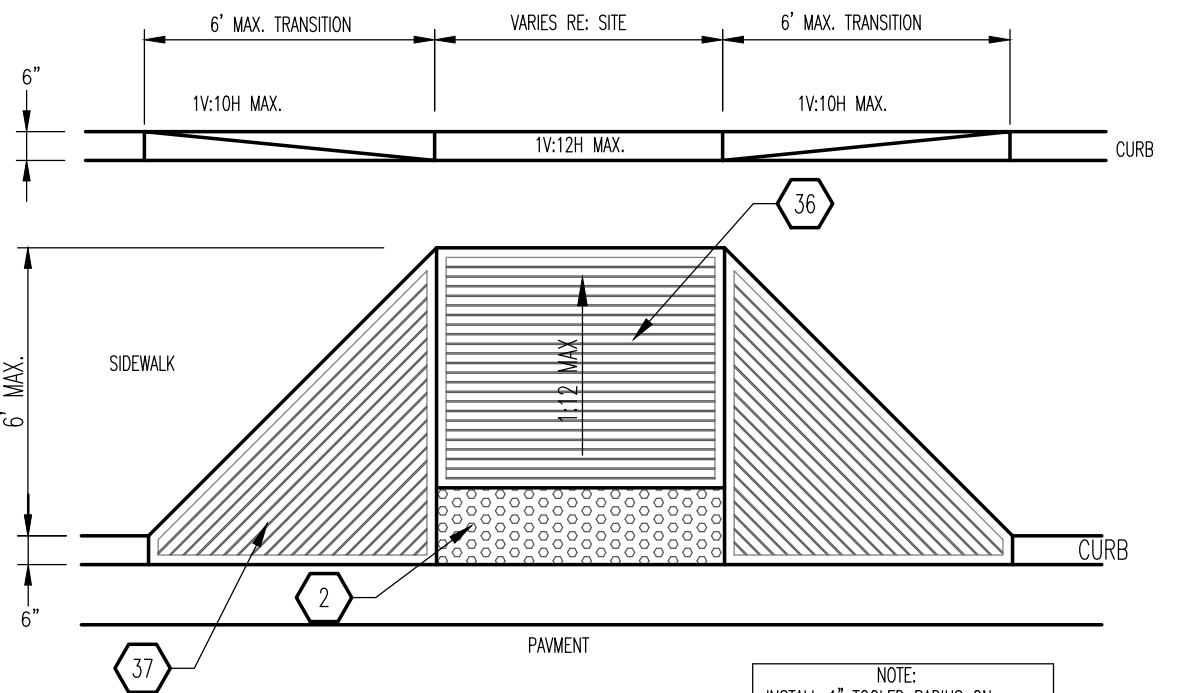
NOTE:  
1. CONTRACTION JOINTS AT 5'-0" OC TOOLED 1/2" (±1/4") WIDE, 1" OR MAXIMUM D/4 (DEEP) WHICHEVER IS GREATER EXPANSION JOINTS AT 20' MAXIMUM AND ALL P.C.'S, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.  
2. ALIGN CURB AND SIDEWALK JOINTS AT ALL TIMES.

**B2 TURNDOWN SIDEWALK SECTION**  
SCALE: 3/4" = 1'-0"



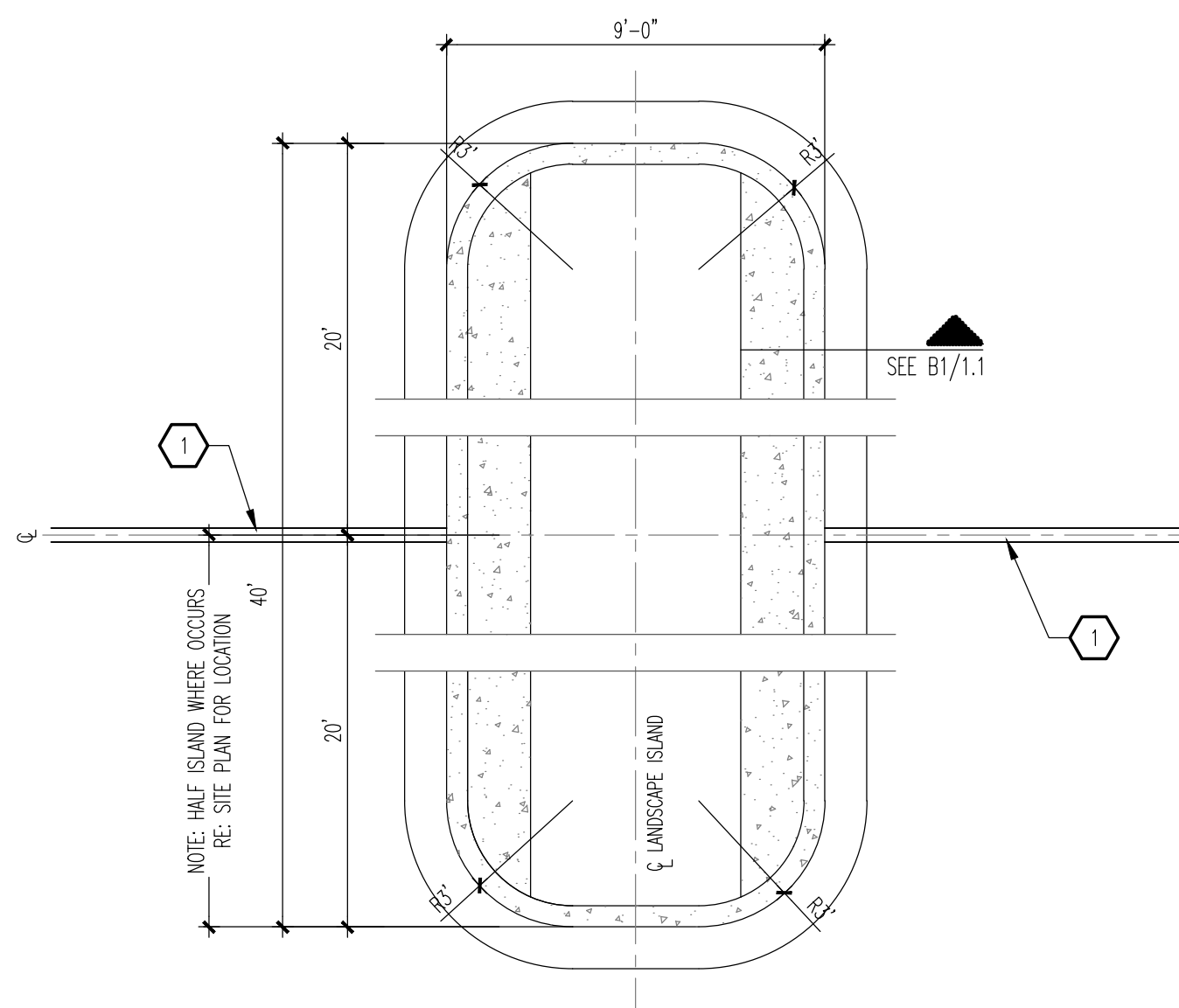
NOTE:  
INSTALL 1" TOOLED RADII ON ALL EXPOSED EDGES  
NOTE:  
H.C. RAMP SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C. SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**A1 CURBED RAMP**  
SCALE: 3/4" = 1'-0"

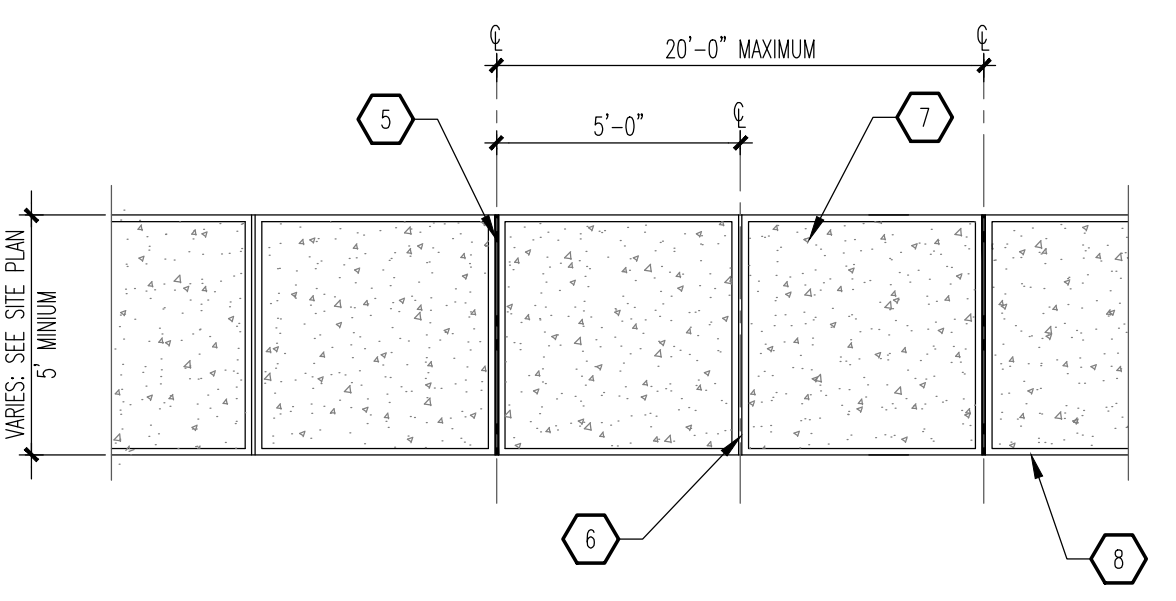


NOTE:  
HANDICAP RAMPS SHALL NOT EXCEED 6", OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM WITH ALL APPLICABLE ANSI REQUIREMENTS. GC SHALL VERIFY CONFORMANCE WITH ALL APPLICABLE ANSI REQUIREMENT.

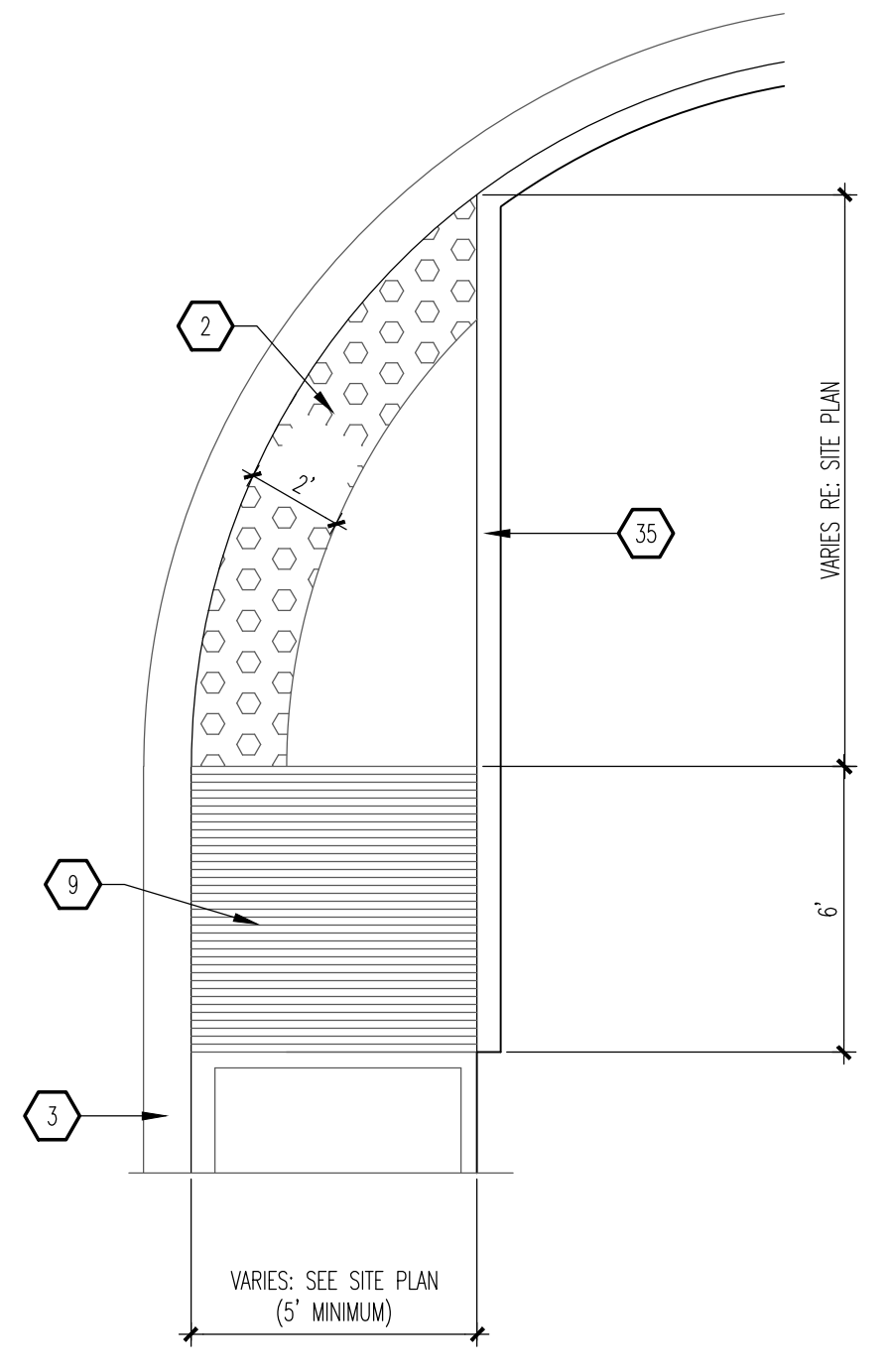
**A3 END ISLAND ADA RAMP**  
SCALE: 1/4" = 1'-0"



**C3 TYPICAL ISLAND**  
SCALE: 1/4" = 1'-0"



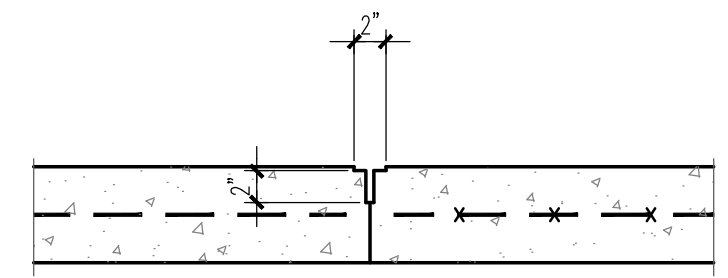
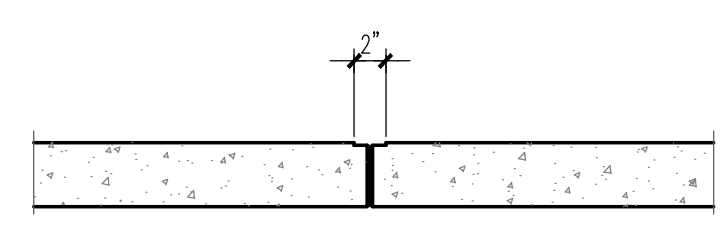
**B3 TYPICAL SIDEWALK**  
SCALE: 3/4" = 1'-0"



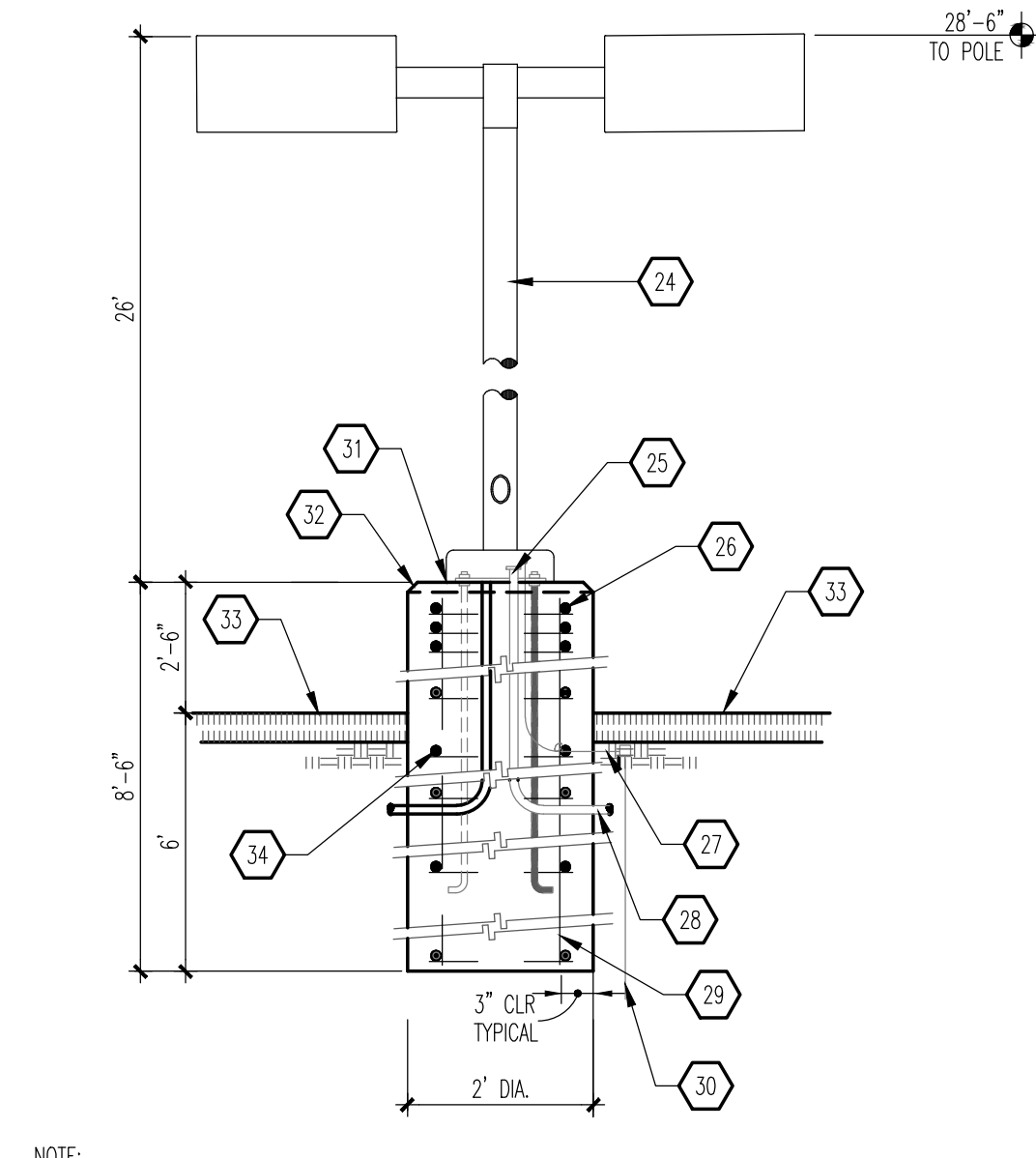
NOTE:  
FOLLOW COA STANDARD DRAWING #2443.

**A4 END ISLAND ADA RAMP**  
SCALE: 1/4" = 1'-0"

**C5 CONCRETE CROSSWALK**  
SCALE: 1/4" = 1'-0"



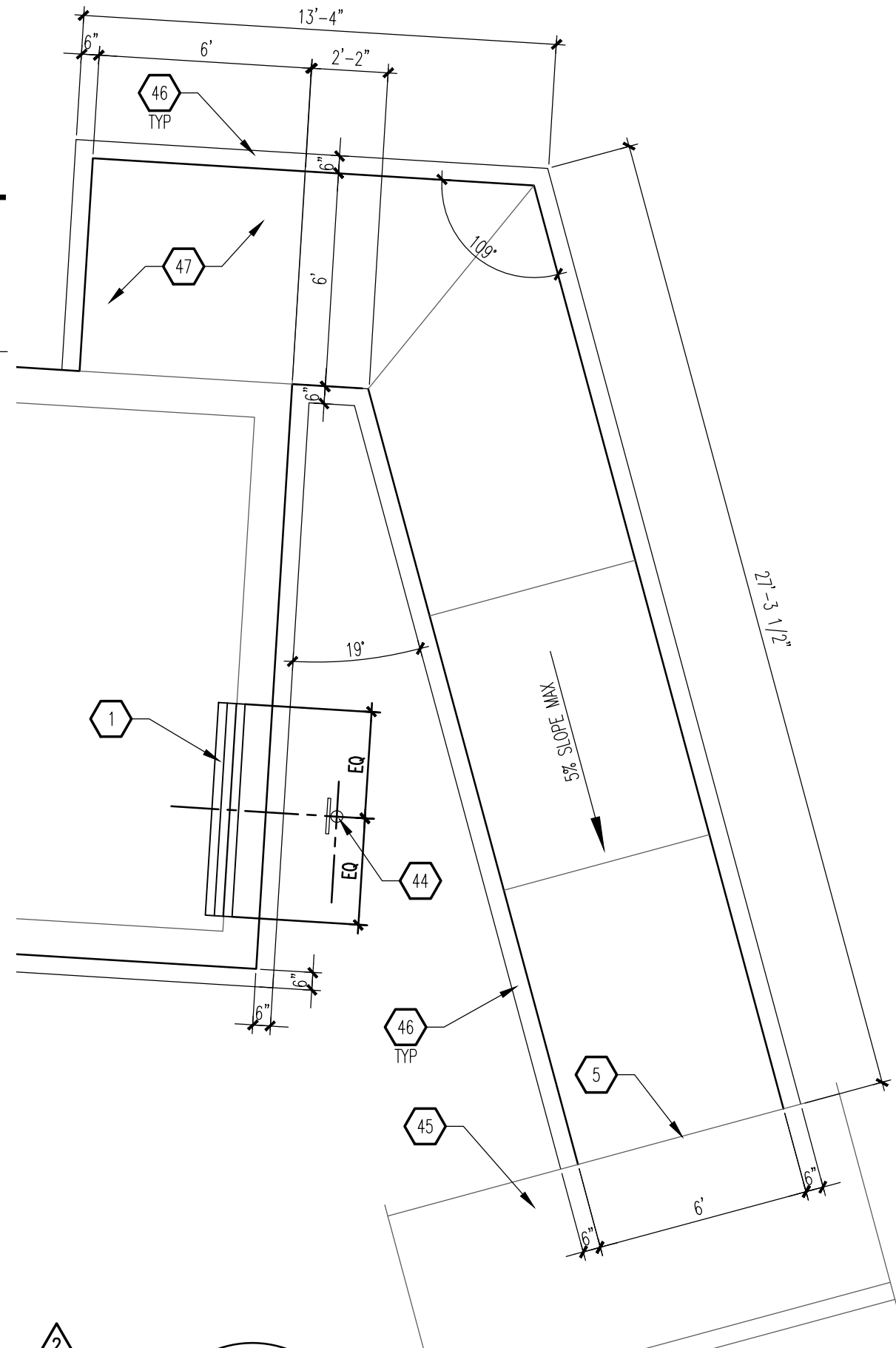
**B5 EXPANSION/CONTROL JOINT**  
SCALE: 1" = 1'-0"



NOTE:  
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY FIXTURES, POLE, BASE, SHALL WITHSTAND MINIMUM 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY HAVING JURISDICTION, WHICHEVER IS MORE RESTRICTIVE.  
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODES REQUIREMENTS.  
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22', GENERAL CONTRACTOR SHALL VERIFY WITH ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

**A5 LIGHT POLE**  
SCALE: 1/2" = 1'-0"

- GENERAL NOTES**
- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- KEYED NOTES**
1. WHEEL STOP: SEE B5/A1.2
  2. 2" WIDE ADA APPROVED TRUNCATED DOME STRIP.
  3. CURB AND GUTTER: SEE B1/A1.1.
  4. CONCRETE SIDEWALK: SEE B3/A1.1.
  5. CONCRETE EXPANSION JOINT: SEE B5/A1.1.
  6. CONCRETE CONTROL JOINT: SEE B5/A1.1.
  7. BROOM FINISH CONCRETE SURFACE AREA INSIDE OF TOOLED EDGE TO CREATE PICTURE FRAME EFFECT.
  8. SMOOTH TOOLED FINISH AROUND EDGES, TYPICAL.
  9. MONOLITHIC CONCRETE HANDICAP RAMP INTEGRALLY COLORED DAVIS COLORS #160 "BRICK RED"; SMOOTH TEXTURE FINISH WITH 1/4" DEEP x 1/4" WIDE GROOVES AT 2" OC.
  10. CONCRETE FLUSH WITH PAVEMENT.
  11. CURB, BEYOND.
  12. 2% CROSS SLOPE, MAXIMUM.
  13. RAMP, BEYOND.
  14. RETAINING CURB.
  15. SUBGRADE: COMPACTED AS SPECIFIED.
  16. PAVEMENT AS SPECIFIED.
  17. CONCRETE TURNDOWN CURB.
  18. 4" THICK CONCRETE SIDEWALK.
  19. SIDEWALK ELEVATIONS VARY - HOLD FLUSH WITH FINISHED FLOOR AT ENTRANCE WAYS. PLANTING AREAS MAY EXIST BETWEEN THE BUILDING AND THE BACK-OF-SIDEWALK (SEE SITE PLAN). EXPANSION JOINTS DO NOT APPLY TO SIDEWALK SECTION ADJACENT TO PLANTING AREAS.
  20. 3/4" EXPANSION JOINT MATERIAL.
  21. STABILIZED AGGREGATE BASE COURSE, AS SPECIFIED.
  22. STRUCTURAL FOUNDATION SYSTEM: SEE STRUCTURAL FOUNDATION PLAN.
  23. CONCRETE CURB AND GUTTER.
  24. SQUARE, STRAIGHT, STEEL ANCHOR BASE POLE, POLE & BRACKETS SHALL BE FACTORY FINISHED, PAINTED SEMI GLOSS BLACK WRAP POLES FOR SHIPPING. PROVIDE 1 QT. MATCHING PAINT TO TOUCH ANY SCRATCHES ON POLES ON JOB. SEE LIGHT FIXTURE SCHEDULE FOR SPECIFICATIONS.
  25. CONNECT GROUND WIRE TO REINFORCING BARS.
  26. 1/2" BARS @ 2' OC TO TOP OF CURB.
  27. 1/2" BARS @ 2' OC TO TOP OF CURB.
  28. CONDUIT AS INDICATED ON ELECTRICAL PLAN.
  29. (6) #6 BARS VERTICAL.
  30. 8'-0" COPPER WELD GROUND ROD BY ELECTRICAL CONTRACTOR.
  31. NON-SHRINK GROUT.
  32. 2" CHAMFER.
  33. FINISHED GRADE.
  34. #3 TIES @ 12" OC.
  35. 6" RETAINING CURB.
  36. MONOLITHIC INTEGRALLY COLORED CONCRETE HANDICAP RAMP (4,000 PSI); PROVIDE ARCHITECT WITH SAMPLE COLOR FOR APPROVAL.
  37. PROVIDE 1/4" DEEP BY 1/4" WIDE GROOVES @ 2" OC. EXTEND THE PULL WIDTH AND DEPTH OF THE RAMP.
  38. 6" STANDUP CURB OR CURB AND GUTTER AS APPLICABLE (SEE SITE PLAN).
  39. PROVIDE ADA APPROVED TRUNCATED STRIP AT 2" WIDTH.
  40. EXPANSION JOINT.
  41. WIDTH VARIES (6" MINIMUM); SEE SITE PLAN.
  42. PROVIDE A 5 SF LAND AT TOP OF RAMP FOR CHANGE IN DIRECTION.
  43. PROVIDE A 5 SF LAND AT TOP OF RAMP (MINIMUM 5' WIDTH).
  44. HANDICAP PARKING SIGNAGE: SEE B4/1.2.
  45. EXISTING PUBLIC SIDEWALK TO REMAIN.
  46. 6" HIGH CONCRETE CURB.
  47. CONCRETE LANDING.



**A6 ADA RAMP**  
SCALE: 1/4" = 1'-0"

REV	DATE	BY	REVISION
10	OCT 2021	DIN	COA COMMENTS

**MODULUS ARCHITECTS**  
100 SUN AVENUE N.E., Ste 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO  
**STEPHEN A. DUNBAR**  
No. 4218  
REGISTERED ARCHITECT  
12 JULY 2021

PROJECT TITLE: **STARBUCKS**  
4201 CENTRAL AVE. NW  
ALBUQUERQUE, NEW MEXICO 87105  
JOB NO.: **ARB**  
PROJECT MANAGER: **DEVIN NGUYEN**  
DRAWN BY: **DIN**

SHEET TITLE: **SITE DETAILS**

DATE: 16 FEB 2021	sheet-
SCALE: AS NOTED	A1.1



**A2 ENLARGED SITE PLAN**  
SCALE: 1:20

**GENERAL NOTES**

- A. "C" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. PARKING AND ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3 #7.2.
- C. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.

**KEYED NOTES**

- 1. EXISTING SIDEWALK TO REMAIN.
- 2. INSTALL A 2'-0" WIDE TRUNCATED DOME STRIP.
- 3. EXISTING CURB AND GUTTER TO REMAIN.
- 4. EXISTING ASPHALT TO REMAIN.
- 5. ACCESSIBLE PARKING: SEE A1&A3/A1.2.
- 6. WHEEL STOP: SEE B5/A1.2.
- 7. CURBED RAMP: SEE A6/A1.2.
- 8. CURB & GUTTER: SEE B17/A1.1.
- 9. AREA OF REFUSE: SEE D2/A1.3.
- 10. PARKING ISLAND.
- 11. HANDICAP PARKING SIGNAGE: SEE B4/A1.2.
- 12. LANDSCAPING: SEE LANDSCAPE PLAN ON SHEET LS101.
- 13. 'DO NOT ENTER' PAVEMENT MARKING: SEE A1/A1.3.
- 14. 'DRIVE-THRU' PAVEMENT MARKING: SEE B1/A1.3.
- 15. 'DO NOT ENTER' SIGNAGE: SEE B3/A1.2.
- 16. 10" COMPACTED SUBGRADE @ 95%.
- 17. 2" ASPHALT CONCRETE PAVEMENT.
- 18. 4" BASE COURSE.
- 19. 6" BASE COURSE.
- 20. 3" ASPHALT CONCRETE PAVEMENT.
- 21. CLEARANCE BAR: SEE B3/A601.
- 22. SPEAKER POST: SEE B1/A601.
- 23. DRIVE-THRU PRE-MENU BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE C1/A501.
- 24. ORDER STATION BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A3/A501.
- 25. DRIVE-THRU MENU BOARD UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE A4/A501.
- 26. DRIVE-THRU ARROW SIGN: SEE B2/A601.
- 27. EXISTING PARKING ISLAND TO REMAIN.
- 28. NEW SIDEWALK: SEE B3/A1.1.
- 29. EXISTING LANDSCAPE TO REMAIN (INC).
- 30. CLEARANCE HEIGHT BAR BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE FOUNDATION - SEE B3/A501.
- 31. NON-ILLUMINATED BOLLARD BY TENANT: CONTRACTOR TO PROVIDE CONCRETE FOUNDATION - SEE B1/A501.
- 32. DRIVE-THRU ARROW SIGNAGE BY TENANT UNDER A SEPARATE CONTRACT: CONTRACTOR TO PROVIDE ELECTRICAL POWER AND FOUNDATION - SEE B2/A501.
- 33. BIKE RACK: SEE B1/A1.2.
- 34. MOTOR CYCLE PARKING SIGN: SEE B2/A1.2.
- 35. MOTOR CYCLE PARKING.
- 36. DASHED LINE INDICATES CLEAR SIGHT TRIANGLE. NOTE: CLEAR SITE AREA SHALL BE FREE OF SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' AS MEASURED VERTICALLY FROM ADJACENT GUTTER PAN.
- 37. ADA PAVEMENT MARKING: SEE A5/A1.2.

**GRAPHIC LEGEND**

- HEAVY DUTY ASPHALT: SEE A3/A1.3.
- LIGHT DUTY ASPHALT: SEE A5/A1.3.
- 6" THICK NORMAL WEIGHT REINFORCED CONCRETE PAVING.

----- 6'-0" WIDE ADA PATHWAY TO/FROM BUILDING TO ADA PARKING SPACE.

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DRAWN BY: **DIN**

DATE: **16 FEB 2021**  
SCALE: **AS NOTED**  
SHEET: **AS102**

SHEET TITLE: **ENLARGED SITE PLAN**