



July 24, 2024
Project #010014-01-218

Angela Gomez
City of Albuquerque
1 Civic Plaza NW
Albuquerque, NM 87102

RE: PR-2021-004973 CHICK-FIL-A 1600 GIBSON BLVD SE – RESPONSE TO CYCLE 1 REVIEW

Dear Plan Reviewers,

Bowman Consulting is in receipt of your comment letters, regarding the above-mentioned Plans Review for PR-2021-004973 CHICK-FIL-A 1600 GIBSON BLVD SE. Please see the following response for further clarification as requested:

Code Enforcement *Jeff Palmer* jppalmer@cabq.gov

1. Code Enforcement has no comment and no objections.

Response: Comment acknowledged.

Transportation Development *Ernest Armijo, PE* earmijo@cabq.gov (505) 924-3991

2. Transportation has an approved TCL dated 5/24/2024. No objection.

Response: Comment acknowledged.

Hydrology *Renee Brissette, PE* rbrissette@cabq.gov (505) 924-3995

3. Hydrology has no objection to the Site Plan for Building Permit.

Response: Comment acknowledged.

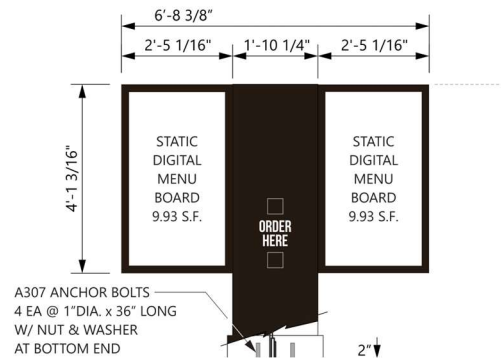
Planning *Jay Rodenbeck* jrodenbeck@cabq.gov (505) 553-0682

4. Confirmation must be provided on the Site Plan and in a comment response letter how this Standard is being met for the new drive-through lane vis-à-vis Gibson Boulevard and University Boulevard.

A restaurant is a permissive use and a drive-through is a permissive accessory use in the MX-L zone district. The drive-through accessory use has several Use Specific Standards per 4-3(F)(5) of the IDO that apply to this request as follows:

4-3(F)(5)(a) Each stacking lane is limited to a maximum of order board area of 50 square feet. The face of the order boards shall be oriented away from public streets to the maximum extent practicable. If not practicable, at least 2 evergreen trees shall be planted in the landscape buffer area required by Subsection 14-16-5-5(l)(2)(a) in locations that would best screen the order board from the public right-of-way.

Response: Menu boards are less than 20 square feet each. Please see detail below.



5. 4-3(F)(5)(b) This use shall comply with the provisions of Section 14-16-5-5 (Parking and Loading). Confirm compliance with the following IDO section:

5-5(l)(2) Drive-through or Drive-up Facility Design

5-5(l)(2)(a) Drive-through lanes adjacent to public right-of-way shall be screened by a landscape buffer area at least 6 feet wide containing a vegetative screen or wall constructed of a material similar in texture, appearance, and color to the street-facing façade of the primary building (but excluding exposed concrete masonry unit (CMU) block) at least 3 but not more than 4 feet tall. The landscape buffer area shall be provided on the public street side.

5-5(l)(2)(b) Audible electronic devices such as loudspeakers, automobile service order devices, and similar instruments shall not be audible beyond the property line of the site.

5-5(l)(2)(c) Drive-through service windows shall be angled at least 45 degrees

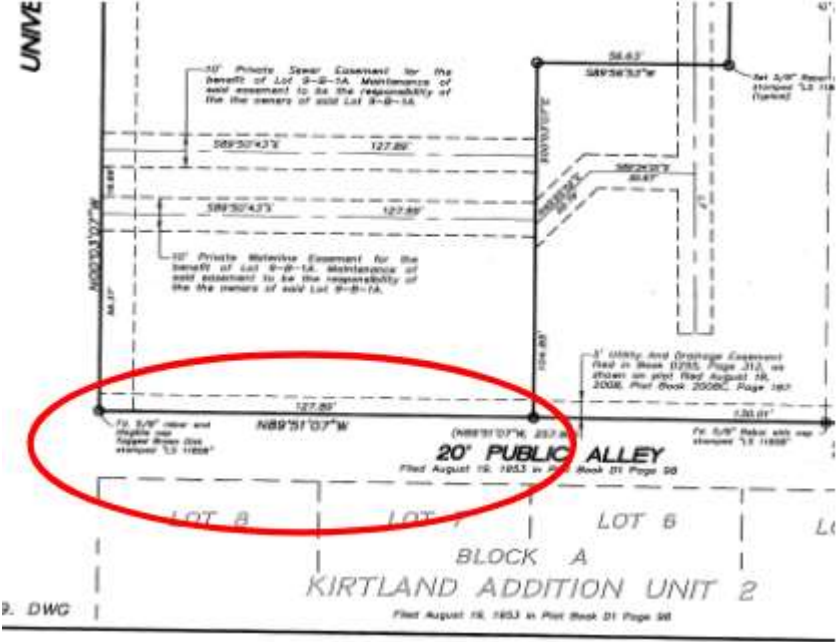
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parallel with any abutting lot line of a residential zone district so that it does not directly face the residential lot.

Response: Landscape buffers on both Gibson Blvd and University Blvd exceed 6' in width. There is a screening wall along University Blvd and vegetative screen on Gibson Blvd. Dimensions added to sheet C-2.0 – Site Plan. There are no proposed changes to the building which would affect drive-through service window orientation or existing automobile service order devices.

6. Confirm compliance with Section 14-16-5-9 (Neighborhood Edges). Confirmation must be provided on the Site Plan and in a comment response letter how these Neighborhood Edge requirements per 5-9(D) of the IDO are being met and/or will be met.

There are R-1B zoned properties with low-density residential development facing the southern boundary of the subject property across an alley.



Per the definition of "adjacent" in the IDO, these properties are considered adjacent to the to the subject property, and are therefore considered "protected lots" per 5-9(B) of the IDO, with the following Neighborhood Edge requirements per 5-9(D) of the IDO applying to the request as follows:

- 5-9(D) Parking, Drive-through or Drive-up Facilities, and Loading
- 5-9(D)(1)(a) Where parking or vehicle circulation areas on a Regulated Lot about
- a

Protected Lot, a minimum of 6-foot-high opaque wall or fence shall be required to visually screen the parking or circulation area. Chain link fence with slats shall not constitute acceptable screening.

5-9(D)(1)(b) For regulated Lots 10,000 square feet or larger, the following requirements apply.

1. Lanes associated with a drive-through use shall be separated from any abutting Protected Lot by a minimum of 50 feet. For drive-throughs, requirements in Subsection 14-16-5-5(l) apply.
2. Parking areas shall be separated from any abutting Protected Lot by a minimum of 15 feet, and edge buffer requirements in Subsection 14-16-5-6(E) apply.

5-9(D)(2) Truck Loading Areas

No truck loading area shall be located between a primary or accessory structure on a Regulated Lot and any side or rear lot line abutting a Protected Lot.

Response: Existing 6' high opaque screening wall to be extended to cover the length of the southern property line. Please see sheet C-2.0 – Site Plan. Dimension added to show distance of drive-through lane and parking lot from the southern property line. Truck loading areas not located between Regulated Lot and Protected Lot. Per IDO 5-5(H)(1), truck loading spaces not required for non-residential uses with less than 25,000 GFA.

7. Clarify compliance on the Site Plan and in a comment response letter with Section 7 of the DPM Table 7.2.29 regarding sidewalk/landscape buffer zone width requirements along University and Gibson Boulevard.

Gibson Boulevard is an arterial roadway, with a 6-foot-wide sidewalk requirement and a 5-6-foot-wide landscape buffer zone requirement.

University Boulevard is a local roadway with a 5-foot-wide sidewalk requirement and a 4-6-foot wide landscape buffer zone requirement.

**Verification of standards per Transportation.*

Response: Dimensions of sidewalks and landscape buffers shown on sheet C-2.0 – Site Plan. Sidewalk and buffer on both Gibson and University comply with the requirements of Section 7 of the DPM. Please see attached justification letter.

8. Provide confirmation in a comment response letter that/if there are no utilities and/or easements that encroach on the proposed location of the drive-through expansion.

Response: There are no easements that encroach on the proposed location of the drive-through expansion. There are existing underground electricity lines and fiber optic lines within the proposed drive through expansion which will be protected. See sheet C-1.1 – Demolition Plan.

9. Provide confirmation in a comment response letter that/if there are no renovations taking place to the interior or exterior of the existing restaurant building.

Response: There are no proposed renovations to the interior or exterior of the building.

10. Provide confirmation on the Site Plan and in a comment response letter if the landscaping approved with the original Site Plan for the existing restaurant with a drive-through was planted in its entirety and exists in its entirety.

Response: Based on the site visit conducted July 2024, the landscape improvements approved with the original submittal appear to have been installed in their entirety and exist. The notes has been added to the landscape plans.

11. An infrastructure List (IL) was not a part of this submittal. DFT staff must confirm if any public infrastructure will be required for this project.

If an IL is needed then upon IL approval, a recorded Infrastructure Improvements Agreement to guarantee the infrastructure will need to be executed and recorded with the County Clerk prior to final sign off of the Site Plan.

Response: No public infrastructure is required for this project.

12. All Plan sheets included in the Plan set must be signed and sealed by a design professional licensed in the State of New Mexico, and the Landscape Plan sheets must be signed and sealed by a Landscape Architect licensed in the State of New Mexico.

Response: All sheets signed and sealed by appropriate licensed professionals.

13. A signature block for DFT signatures must be added to the Site Plan, which can be obtained at the following link: https://documents.cabq.gov/planning/development-facilitation-team/Site_Plan_Administrative_DFT_Signature_Block.pdf

Response: Signature block added to site plan. See sheet C-2.0 – Site Plan.

14. The Project and Application numbers must be added to the Site Plan.

Response: Project and application numbers shown on signature block. Please see sheet C-2.0 – Site Plan.

15. An approval from Solid Waste was not found in the Site Plan set and must be provided.

Response: Solid Waste approved plan added to set. Please see sheet approved site plan.

If you should have any questions or require additional information, please do not hesitate to contact me at our Atlanta office at (678) 606-5277. Thank you.

Sincerely,



Andrew Wilson

awilson@bowman.com

678-606-5277

Bowman