

# PROPOSED IMPROVEMENTS FOR GIBSON BLVD FSU CHICK-FIL-A STORE NUMBER # 03486



Chick-fil-A  
5200 Buffington Rd  
Atlanta, GA 30349-2998

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5200 Buffington Rd  
Atlanta, GA 30349-2998

**Bowman**  
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Alpharetta, GA 30022  
Phone: (678) 374-6687  
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KAI BURK PE #28466

**CHICK-FIL-A**  
GIBSON BLVD FSU  
1600 GIBSON BLVD SE  
ALBUQUERQUE, NEW MEXICO 87106  
FSU#03486

REVISION SCHEDULE  
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 010014-01-218  
ISSUED FOR PERMIT  
DATE September 25, 2024  
DRAWN BY BCG

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COVER SHEET

SHEET NUMBER  
**C-0.0**

## GENERAL NOTES

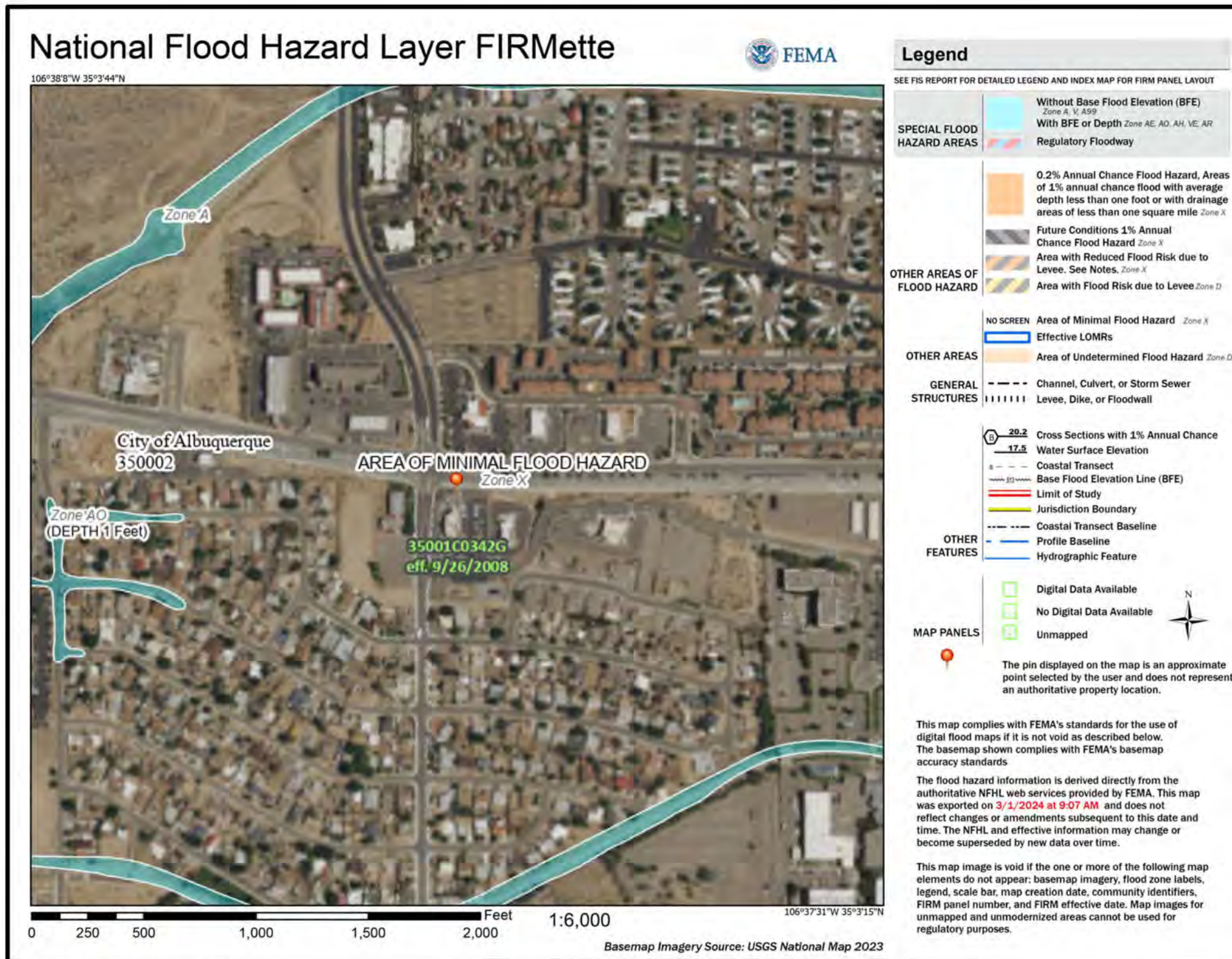
1. CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS ALONG WITH A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB ON-SITE AT ALL TIMES.
2. CONTRACTOR SHALL MEET OR EXCEED ALL SITE WORK SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS FOR ALL MATERIALS AND CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS IS ENCOUNTERED.
5. NO REVISION SHALL BE MADE TO THESE PLANS WITH OUT THE APPROVAL OF THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
7. ANY REFERENCE TO PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
9. ZONING AND SETBACKS SHOULD BE CONFIRMED AND VERIFIED BY PLANNING AND ZONING PRIOR TO DESIGN OR CONSTRUCTION ACTIVITIES

## FEMA FLOOD MAP



HORIZONTAL DATUM: NAD 1983  
VERTICAL DATUM: NAVD 1988

## VICINITY MAP



## CONTACTS

**LANDLORD**  
CHICK-FIL-A, INC  
5200 BUFFINGTON ROAD,  
ATLANTA, GA 30349

**ENGINEER**  
BOWMAN CONSULTING GROUP  
11475 GREAT OAKS WAY, SUITE 350  
ALPHARETTA, GA 30022  
KAI BURK  
678-606-5276  
KBURK@BOWMAN.COM

**SURVEYOR**  
CONSTRUCTION SURVEY  
TECHNOLOGIES, INC  
PO BOX 16560  
LAS CRUCES, NM 88004  
DAVID P. ACOSTA PS NO.21082  
(575) 644-0250

**WATER & SEWER**  
ALBUQUERQUE BERNALILLO COUNTY WATER  
UTILITY AUTHORITY  
PH: (505) 842-9287

**GAS**  
NEW MEXICO GAS COMPANY  
PH: (505) 697-3335

**ELECTRIC**  
PUBLIC SERVICE COMPANY OF NEW MEXICO  
PH: (888) 342-5766

**PLANNING AND ZONING**  
CITY OF ALBUQUERQUE  
1600 GIBSON BOULEVARD SE,  
ALBUQUERQUE, NM 87106  
ALAN VARELA, DIRECTOR  
PH: (505) 924-3860  
EMAIL: PLANNINGDEPARTMENT@CABQ.GOV

## Sheet List Table

Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	EXISTING CONDITION
C-1.1	DEMOLITION PLAN
C-1.2	EROSION CONTROL PLAN
C-2.0	SITE PLAN
C-2.1	FIRE 1 PLAN
C-3.0	GRADING PLAN
C-4.0	STANDARD DETAILS
C-5.0	CONSTRUCTION DETAILS
L0.0	LANDSCAPE COVER
L1.0	PLANTING PLAN
L2.0	IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
L3.1	LANDSCAPE DETAILS
L3.2	LANDSCAPE DETAILS
L3.3	LANDSCAPE DETAILS

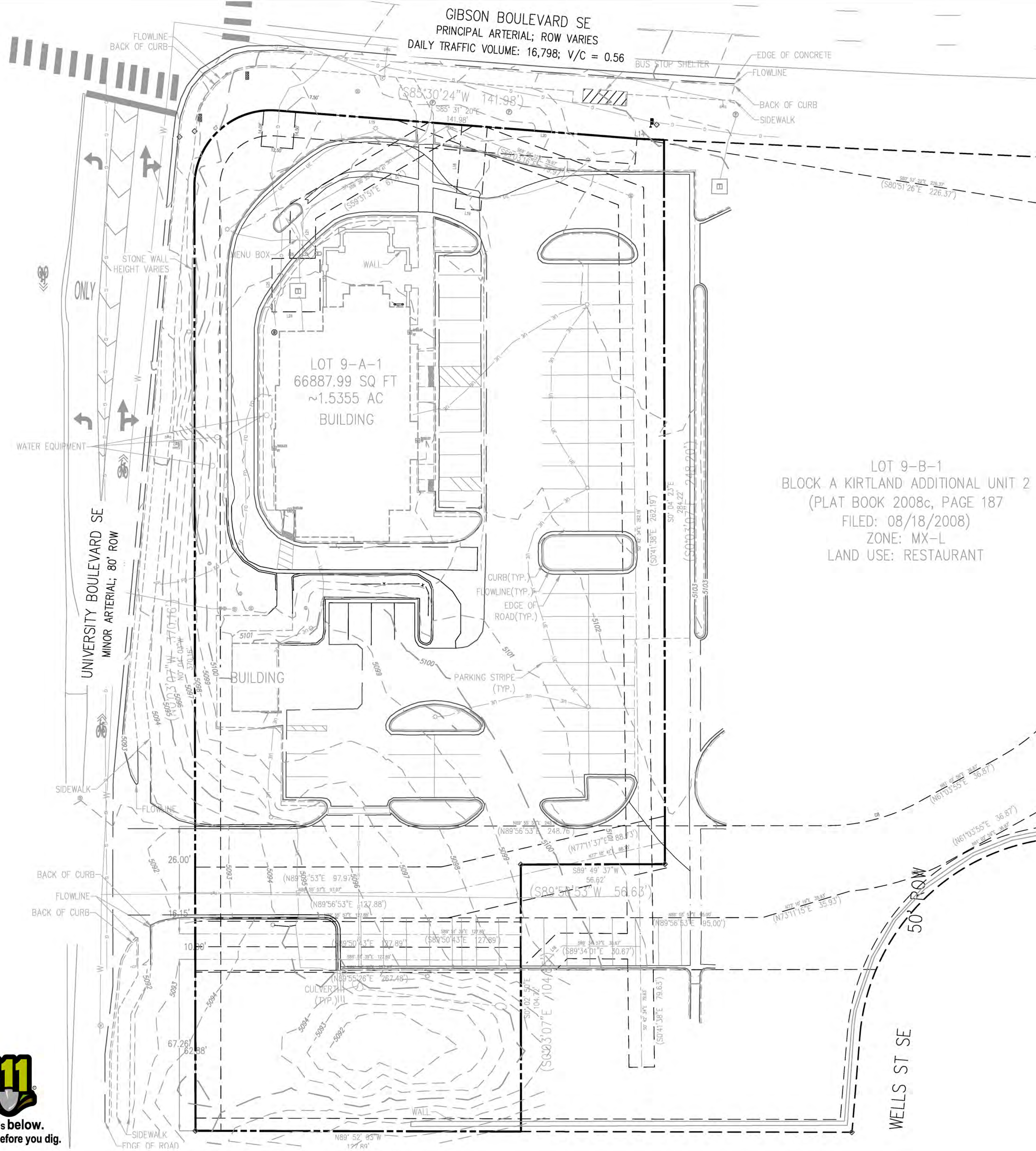


Know what's below.  
Call before you dig.

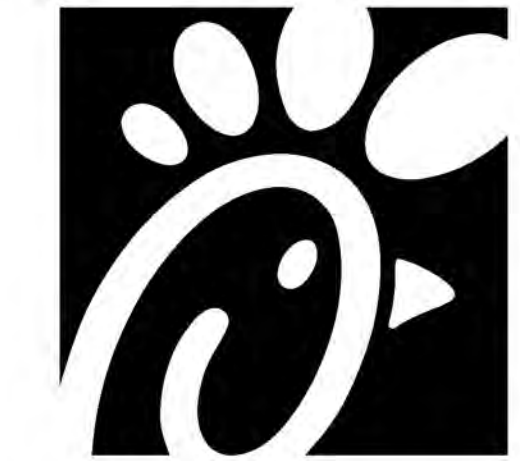
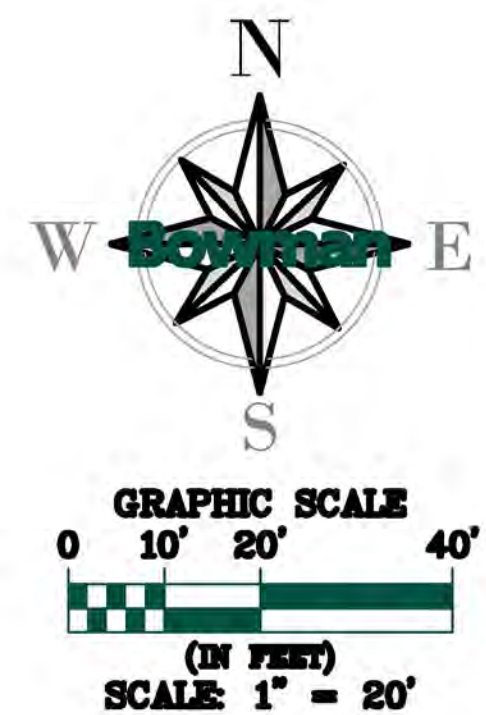
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 THE CONSULTANT'S DESIGN AND SERVICES ARE LIMITED TO THE SPECIFIC PURPOSE AND CLIENT FOR WHICH THEY WERE PROVIDED. THESE SERVICES DO NOT CONSTITUTE A GUARANTEE OF ANY KIND. THE CLIENT'S RELIANCE ON THE CONSULTANT'S DESIGN AND SERVICES SHALL BE WITHOUT LIABILITY TO THE CONSULTANT.



Know what's below.  
Call before you dig.



LEGEND	
	ELECTRICAL, UNDERGROUND LINE
	UTILITY, WATER LINE
	UTILITY, COMMUNICATIONS
	UTILITY, UNKNOWN LINE
	GAS LINE
	SANITARY LINE
	STORM DRAIN LINE
	OVERHEAD LINE
	UTILITY, FIBER OPTIC LINE
	UTILITY, ELECTRIC LINE, LEVEL B
	UTILITY, ELECTRIC LINE, LEVEL D
	UTILITY, FIBER OPTIC LINE, LEVEL B
	UTILITY, FIBER OPTIC LINE, LEVEL D
	UTILITY, GAS LINE, LEVEL B
	UTILITY, GAS LINE, LEVEL D
	UTILITY, SANITARY LINE, LEVEL B
	UTILITY, SANITARY LINE, LEVEL D
	UTILITY, WATER LINE, LEVEL B
	UTILITY, WATER LINE, LEVEL D
	RIGHT OF WAY
	PROPERTY LINE
	FENCE LINE



Chick-fil-A

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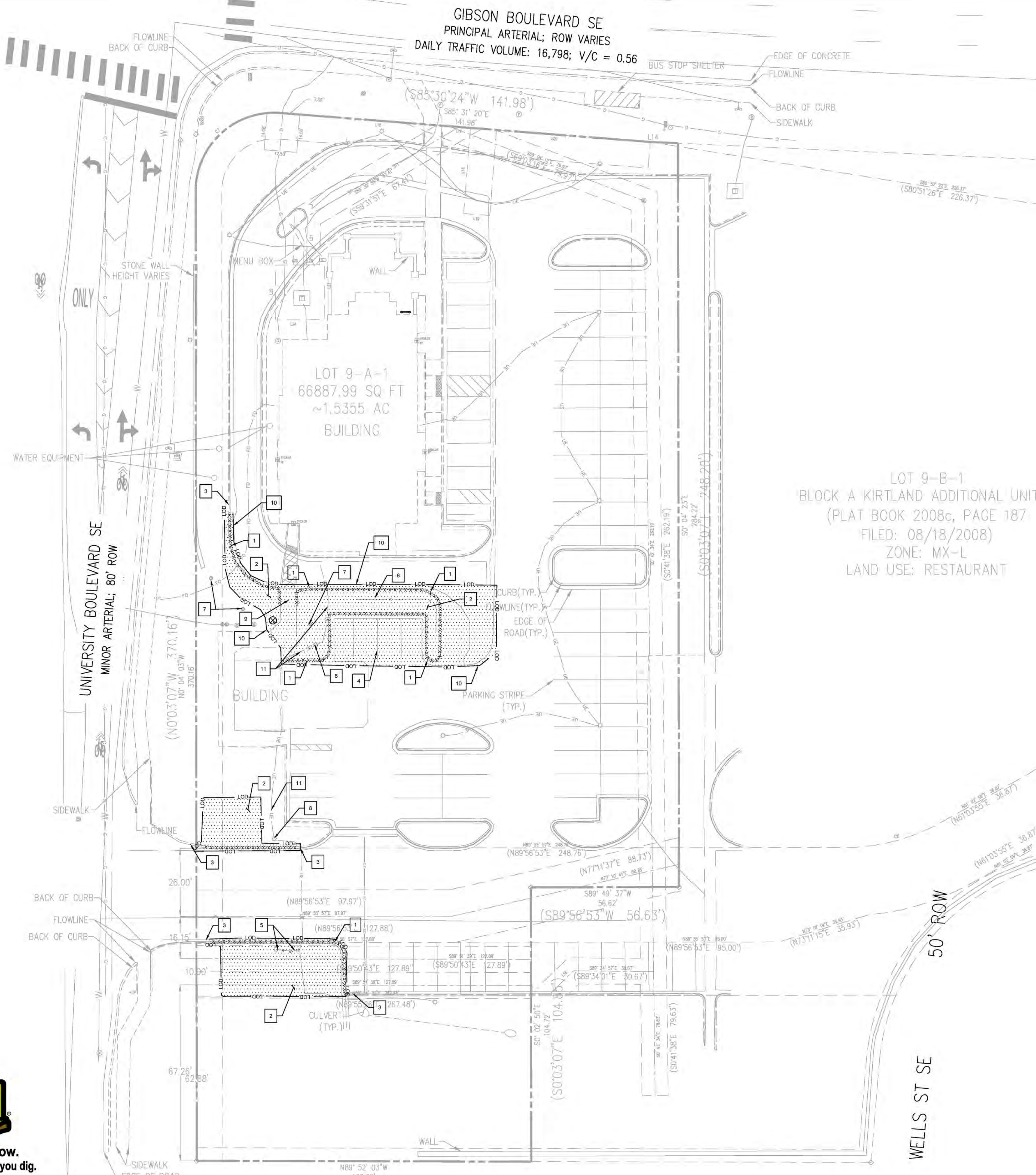
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NO.	DATE	DESCRIPTION

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 SHEET  
 EXISTING CONDITION  
 SHEET NUMBER  
**C-1.0**

September 25, 2024  
 C-1.1 DEMOLITION PLAN  
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 Plot Sheet: C-1.1  
 Plot Total: 1 of 1  
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 Plot Sheet: C-1.1  
 Plot Total: 1 of 1  
 Plot Path: \\010014-01-218 (ENG) - CFA 03486 Gibson Blvd Albuquerque NM Engineering Plans\Sheet Set\010014-01-218 - C-1.1 DEMOLITION PLAN.dwg  
 Plot Size: 11.00 x 17.00



Know what's below.  
Call before you dig.



**GENERAL DEMOLITION NOTES**

1. THE LOCATION OF THE UTILITIES SHOWN HAVE BEEN DETERMINED BY INFORMATION GATHERED AND SHALL NOT BE USED AS EXACT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY EXACT LOCATIONS PRIOR TO DEMOLITION.
2. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES FOR REMOVAL AND RELOCATIONS OF THE RESPECTIVE UTILITY. THE CONTRACTOR SHALL VERIFY ANY WORK THAT MAY BE DONE BY THE UTILITY COMPANIES.
3. CONTRACTOR SHALL PROTECT THE PUBLIC WITH BEST MANAGEMENT PRACTICES.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL STRUCTURES, PAVEMENT, AND VEGETATION THAT IS NOT TO BE DISTURBED AND IS RESPONSIBLE FOR ANY DAMAGES TO THEM.
5. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIALS RESULTING FROM THE WORK, ACCORDING TO GOVERNING AUTHORITIES AND SHALL OBTAIN THE PROPER PERMITS REQUIRED FOR DISPOSAL AND DEMOLITION.
6. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO DEMOLITION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
8. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
9. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
10. THE CONTRACTOR SHALL REFER TO THE ASBESTOS REPORT TO DETERMINE IF ASBESTOS ABATEMENT IS REQUIRED. IF REQUIRED, ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
11. LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS. ANY DAMAGE TO ANY SURROUNDING AREAS SHALL BE REPAIRED / REPLACED AT THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES, PAVEMENT, UTILITIES, LANDSCAPE, ETC. FROM DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL ENSURE THAT SERVICES TO ALL UTILITIES TO BE REMOVED HAS BEEN DISCONTINUED AND SHUT OFF. ALL UTILITY LINES SHALL BE CAPPED PER UTILITY COMPANY STANDARDS.

**DEMOLITION NOTES**

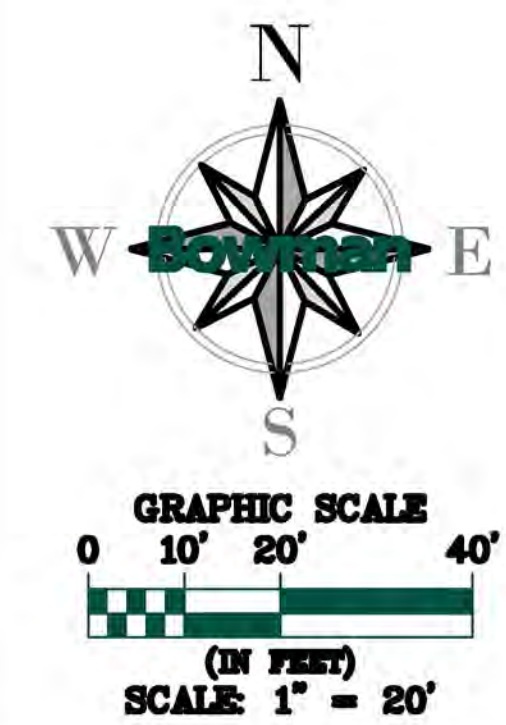
- 1 CONCRETE CURB AND GUTTER TO BE REMOVED
- 2 EXISTING LANDSCAPING TO BE REMOVED
- 3 CURB TO REMAIN
- 4 PARKING STRIPING TO BE REMOVED
- 5 EXISTING LIGHT POLE AND BASE TO BE RELOCATED
- 6 FENCE TO BE REMOVED
- 7 PROTECT EXISTING SANITARY SEWER PIPES AND STRUCTURES
- 8 PROTECT EXISTING LIGHT POLE AND BASE TO REMAIN
- 9 SIDEWALK TO BE REMOVED
- 10 LIMIT OF DISTURBANCE
- 11 PROTECT EXISTING BACKGROUND ELECTRIC LINES TO REMAIN

- TREE REMOVAL
- CURB AND GUTTER REMOVAL
- UTILITY REMOVAL
- REMOVAL OF ALL PAVEMENT AND LANDSCAPING
- LIMIT OF DISTURBANCE

**DEMOLITION NOTES**

1. ALL CONSTRUCTION DEBRIS MUST BE DISPOSED OF PROPERLY OFF SITE.

LEGEND	
	ELECTRICAL, UNDERGROUND LINE
	UTILITY, WATER LINE
	UTILITY, COMMUNICATIONS
	UTILITY, UNKNOWN LINE
	GAS LINE
	SANITARY LINE
	STORM DRAIN LINE
	OVERHEAD LINE
	UTILITY, FIBER OPTIC LINE
	UTILITY, ELECTRIC LINE, LEVEL B
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SEAL



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FSU#03486

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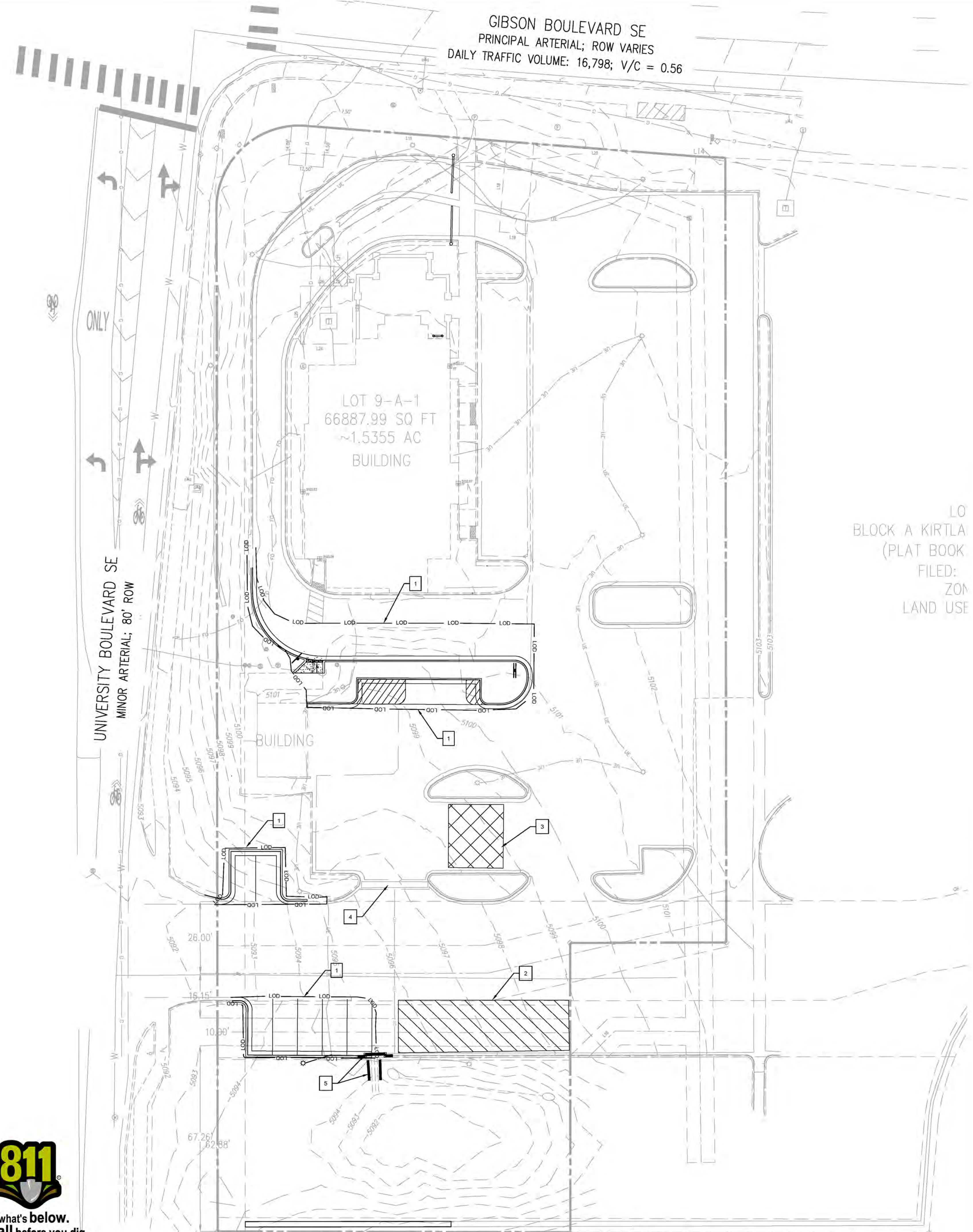
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SHEET

DEMOLITION PLAN

SHEET NUMBER

C-1.1

GIBSON BOULEVARD SE  
PRINCIPAL ARTERIAL; ROW VARIES  
DAILY TRAFFIC VOLUME: 16,798; V/C = 0.56



LO  
BLOCK A KIRTLA  
(PLAT BOOK  
FILED:  
ZON  
LAND USE

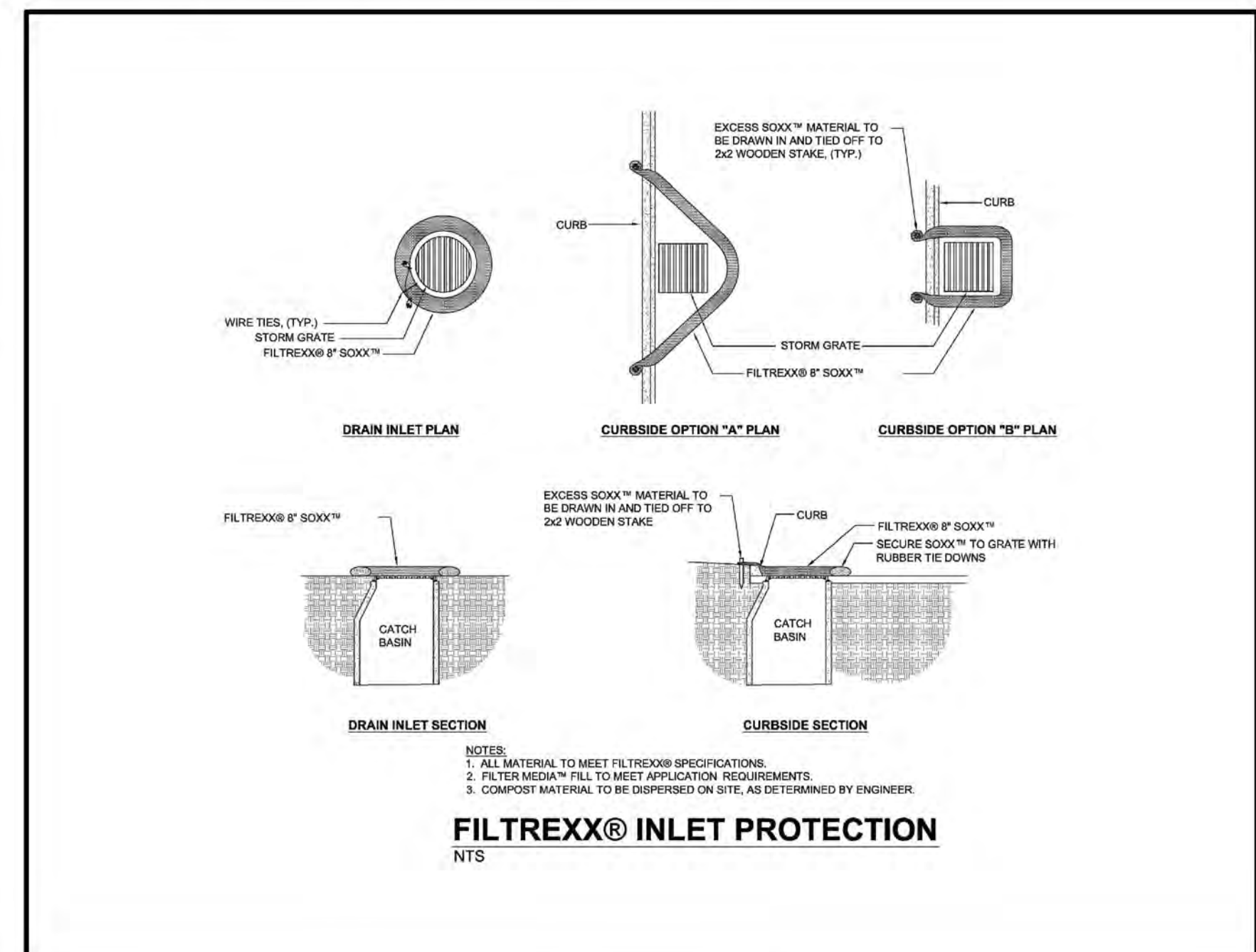
**EROSION CONTROL NOTES**

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED, AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT(S) FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREAS SHALL BE SODDED/LANDSCAPED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO CONSTRUCTION ACTIVITIES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

**EROSION CONTROL NOTES**

- LIMIT OF DISTURBANCE
- TEMPORARY PARKING AREA
- TEMPORARY STORAGE AREA
- PROTECT EXISTING TRENCH DRAIN WITH ERTEC® SLOT GUARD™ OR APPROVED SIMILAR
- PROTECT EXISTING FLUME WITH "FILTREXX SILT/SOXX" OR APPROVED SIMILAR

**DISTURBED AREA:  
± 0.10 ACRES**

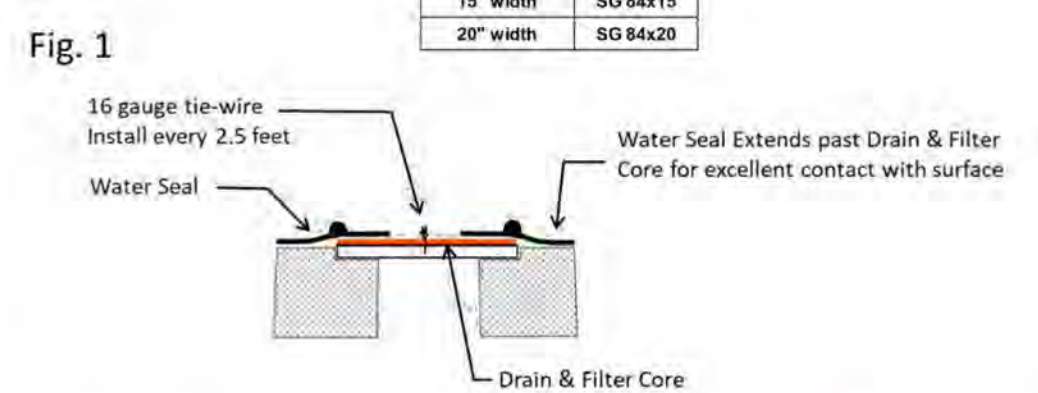


**FILTREXX® INLET PROTECTION**  
NTS

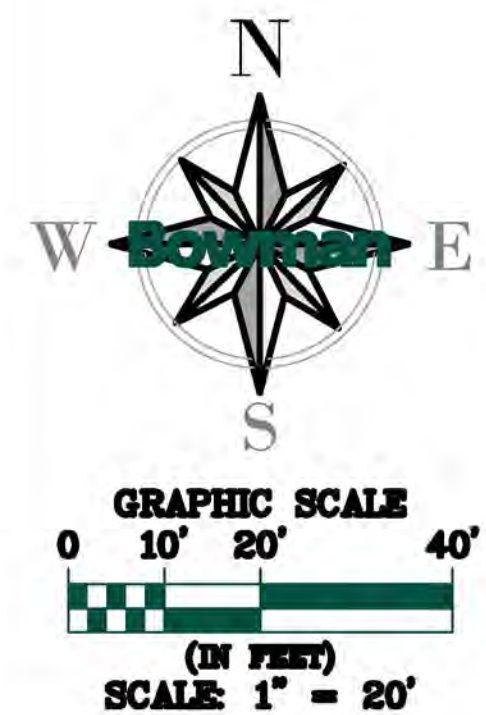
**ERTEC® Slot Guard™ - Installation Guide - For slotted or trench drain inlets with grates in paved areas**

- Installation Notes**
- Placement:** Select correct size (Table 1). Lay the Slot Guard™ on top of the slot or trench drain grate. For safety, assure that grate is in place. Do not remove grate.
  - Anchor method:** Attach with 16 gauge tie wire every 2.5 linear feet (Fig. 1). Cut wire to 12" lengths. Feed one end of wire down thru Slot Guard™, around grate bar, and back-up thru Slot Guard™. Above ground, pull tight and twist wires several times. Cut off excess and bend twisted nub down.
  - Overlap:** Slot Guard™ segments overlap for long slot/trench drains.
  - Clean:** Accumulation of leaves, debris and sediment can cause backups! Clean after every storm or as necessary.
  - Protect:** In stop and go traffic areas where exposed to constant tire abuse, it is useful to place traffic cones or delineators on or near Slot Guard to discourage run-overs. Slot Guard™ works well with periodic run-overs, but does not survive long in constant stop and start traffic.

Slot/Trench Drains up to:	SG Size
6" width	SG 84x06
12" width	SG 84x12
15" width	SG 84x15
20" width	SG 84x20



**ERTEC**  
U.S. and International Patents and Pending Patents Apply  
©2009-2024 ERTEC Environmental Systems  
ERTEC - Installation Guide - Slot Guard.pdf  
None 8.5"x11" 1 of 1



September 25, 2024  
C-1.2 EROSION CONTROL PLAN  
File Path: \01\0014 - Chick-fil-A\010014-01-218 (ENG) - CFA 03486 Gibson Blvd Albuquerque NM\Engineering\Engineering Plans\Sheet Set\010014-01-218 - C-1.2 EROSION CONTROL PLAN.dwg  
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Chick-fil-A

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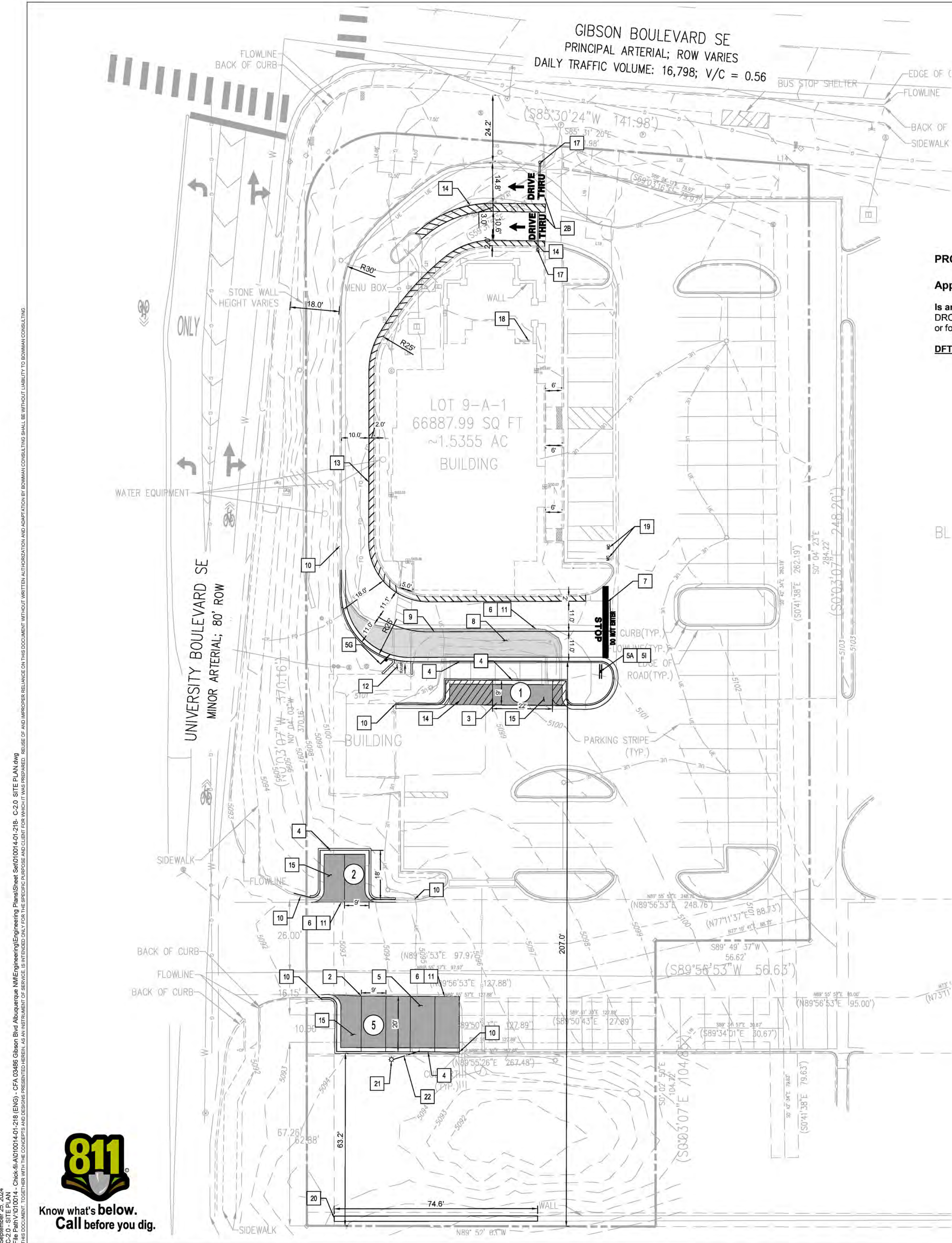
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SHEET  
EROSION CONTROL PLAN

SHEET NUMBER  
C-1.2



**LEGEND**

PROP. ASPHALT DRIVE	---	PROPERTY LINE	---
PROP. CONC. PAVEMENT	---	EX. CONCRETE	---
PROP. CURB	---	EX. CONCRETE CURB	---
PROP. PARKING STRIPE	---	EX. SIGN	---
PROP. SITE SIGNAGE	---	EX. LIGHT POLE	---
PROP. DIRECTIONAL ARROW	---	EX. TREE	---
PROP. PARKING COUNT	---	EX. ACCESSIBLE MARKING	---
PROP. ORDER POINT	---	EX. BOLLARD	---
		EX. DIRECTIONAL ARROW	---

**PROJECT NUMBER:** PR-2021-004973

**Application Number:** SI-2024-00924

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

- Ernest Arroyo**  
Traffic Engineering, Transportation Division  
ABCWUA  
Date: Nov 11, 2024
- Victoria Cha**  
Parks and Recreation Department  
Date: Nov 13, 2024
- H. De**  
Hydrology  
Date: Nov 8, 2024
- Code Enforcement**  
Date: Nov 12, 2024
- Environmental Health Department (conditional)**  
Date:
- Solid Waste Management**  
Date:
- Planning Department**  
Date:

**PARKING CALCULATIONS**

USE	QTY	RATIO	REQUIRED
BUILDING AREA	4,526	5.6 SPACE PER 1,000 SF	26
CFA STANDARD PARKING PROVIDED			68
CFA ACCESSIBLE PARKING REQUIRED			3
CFA ACCESSIBLE PARKING PROVIDED			3
MOTORCYCLE PARKING REQUIRED			2
MOTORCYCLE PARKING PROVIDED			2
BICYCLE PARKING REQUIRED			3
BICYCLE PARKING PROVIDED			3
PROPOSED TOTAL PARKING			71
EXISTING TOTAL PARKING			67
DRIVE-THROUGH STACKING REQUIRED			12
DRIVE-THROUGH STACKING PROVIDED			16

**SITE SUMMARY**

JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-L (LOW INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	ABQ181822 (CITY), 101505528948711715 (COUNTY)
LOT	
SIZE	66,888 SF (1.54 AC)
BUILDING	
SIZE	4,526
PARKING	
SIZE	9' X 20' (90°); 9' X 22' (PARALLEL)

**BUILDING SETBACKS**

SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'	67.92'
REAR (NORTH)	N/A	44.67'
SIDE (WEST)	N/A	50.90'
SIDE (EAST)	25'	95.13'

**EXISTING SITE CALCULATIONS**

EXISTING AREA	SF	ACRES	%
TOTAL AFFECTED AREA	66,888	1.54	100.00%
EXIST. OPEN SPACE AREA	19,108	0.44	28.57%
EXIST. PERVIOUS AREA	19,108	0.44	28.57%
EXIST. IMPERVIOUS AREA	47,780	1.10	71.43%
EXIST. BUILDING AREA	4,526	0.10	6.77%
EXIST. PAVEMENT AREA	43,169	0.99	64.54%
EXIST. VEHICULAR USE AREA	35,787	0.82	53.50%

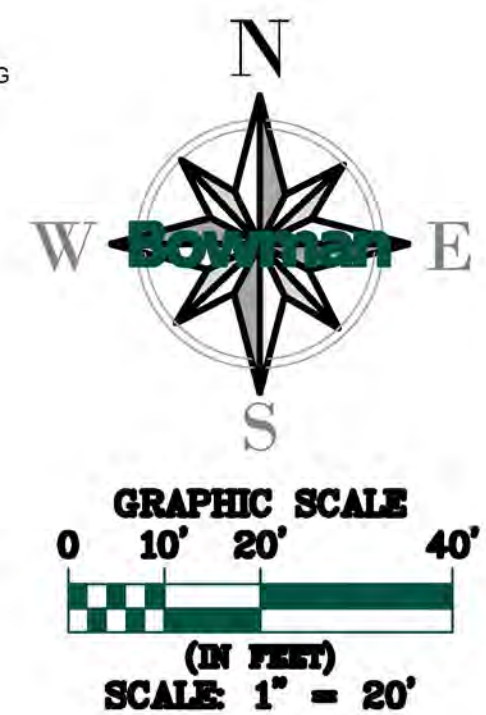
**PROPOSED SITE CALCULATIONS**

PROPOSED AREA	SF	ACRES	%
TOTAL AFFECTED AREA	66,888	1.54	100.00%
PROP. OPEN SPACE AREA	17,883	0.41	26.74%
PROP. PERVIOUS AREA	17,883	0.41	26.74%
PROP. IMPERVIOUS AREA	49,005	1.13	73.26%
PROP. BUILDING AREA	4,526	0.10	6.77%
PROP. PAVEMENT AREA	44,394	1.02	66.37%
PROP. VEHICULAR USE AREA	36,883	0.85	55.14%

**SITE NOTES**

- CONST. DIRECTIONAL ARROW (TYP.)
- CONST. PAVEMENT MARKINGS GRAPHICS
  - 2A ONE WAY GRAPHICS
  - 2B DRIVE-THRU GRAPHICS
- CONST. PARALLEL PARKING STALL (4' YELLOW STRIPING)
- CONST. CURB
- DIRECTIONAL SIGNAGE
  - 5A STOP SIGN
  - 5B BOLLARD MOUNTED ACCESSIBLE SIGN (NOT USED)
  - 5C CURBSIDE DELIVERY DESIGNATED SPACE (REMOVABLE SIGN) (NOT USED)
  - 5D NO LEFT TURN SIGN (NOT USED)
  - 5E ONE WAY SIGN (NOT USED)
  - 5F RIGHT TURN ONLY SIGN (NOT USED)
  - 5G PEDESTRIANS CROSSING SIGN
  - 5H DRIVE-THRU SIGN
  - 5I DO NOT ENTER SIGN
- CONST. PAVEMENT EDGE
- CONST. 24" STOP LINE GRAPHIC
- CONST. CONCRETE PAVING DRIVE-THRU LANE
- CONST. 4" WIDE YELLOW STRIPING
- CONNECT TO EXISTING CURB
- CONNECT TO EXISTING EDGE OF PAVEMENT
- CONST. DOUBLE LANE F2F ORDER CANOPY (NOT USED)
- EXISTING SINGLE ORDER MEAL DELIVERY CANOPY TO REMAIN (NOT USED)
- CONST. SOLID 4" YELLOW STRIPING ON ENDS W/ 4" WIDE STRIPES @ 3' O.C., YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE (NOT USED)
- CONST. ASPHALT PAVEMENT
- RELOCATED FLAG POLE AND BASE (NOT USED)
- CONST. CLEARANCE BAR
- EXISTING BICYCLE RACK
- "MC" MOTORCYCLE PAVEMENT MARKING
- MINIMUM 6" HIGH OPAQUE WALL. CONTRACTOR TO MATCH EXISTING WALL.
- RELOCATED LIGHT POLE AND BASE
- UNDERGROUND ELECTRIC LINE

NOTE: ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE PAVING SIDEWALK DETAIL.



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ALBUQUERQUE, NEW MEXICO 87106  
FSU#03486

**REVISION SCHEDULE**

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SITE PLAN  
SHEET NUMBER  
**C-2.0**

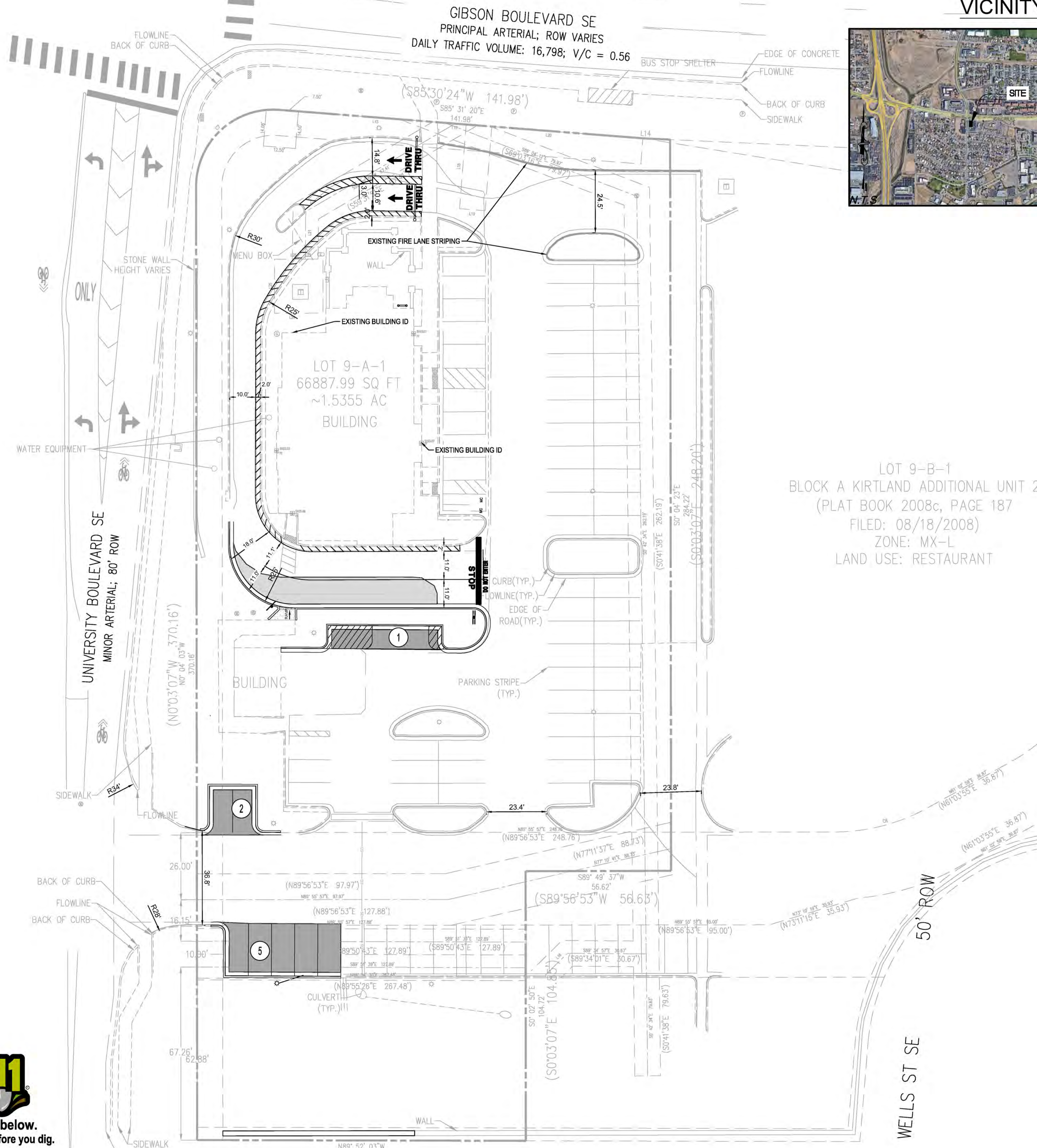


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September 25, 2024  
 C-2.1 - FIRE 1 PLAN  
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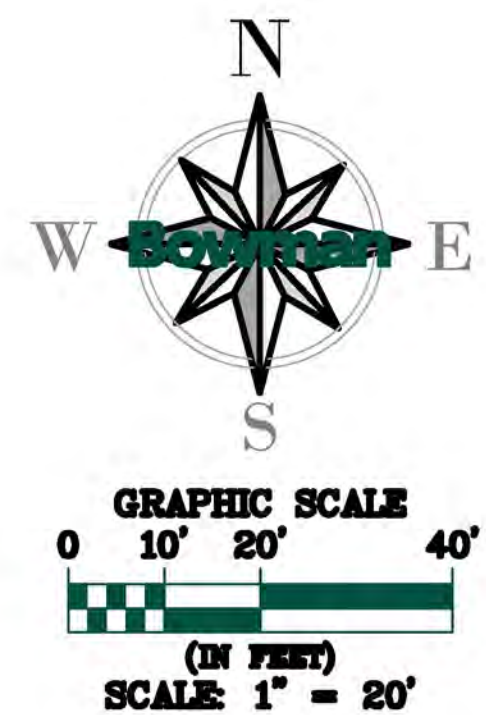
VICINITY MAP

LEGEND	
PROP. ASPHALT DRIVE	---
PROP. CONC. PAVEMENT	====
PROP. CURB	=====
PROP. PARKING STRIPE	-----
PROP. SITE SIGNAGE	↑
PROP. DIRECTIONAL ARROW	→
PROP. PARKING COUNT	⊙
PROP. ORDER POINT	⊙
PROPERTY LINE	---
EX. CONCRETE	-----
EX. CONCRETE CURB	=====
EX. SIGN	⊙
EX. LIGHT POLE	⊙
EX. TREE	⊙
EX. ACCESSIBLE MARKING	⊙
EX. BOLLARD	⊙
EX. DIRECTIONAL ARROW	→

SITE SUMMARY	
JURISDICTION	CITY OF ALBUQUERQUE
ZONING	MX-L (LOW INTENSITY ZONE DISTRICT)
USE	FAST FOOD RESTAURANT WITH DRIVE THRU
PARCEL ID	ABQ181822 (CITY), 10150528948711715 (COUNTY)
LOT	
SIZE	66,888 SF (1.54 AC)
BUILDING	
SIZE	4,526
PARKING	
SIZE	9' X 20' (90°); 9' X 22' (PARALLEL)

NOTE: FIRE 1 PLAN BASED ON ORIGINAL FIRE PROTECTION PLANS DATED 12/02/2015 BY ALLIANCE FIRE PROTECTION, INC.

LOT 9-B-1  
 BLOCK A KIRTLAND ADDITIONAL UNIT 2  
 (PLAT BOOK 2008c, PAGE 187)  
 FILED: 08/18/2008  
 ZONE: MX-L  
 LAND USE: RESTAURANT



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 FIRE 1 PLAN  
 SHEET NUMBER  
**C-2.1**

GIBSON BOULEVARD SE  
PRINCIPAL ARTERIAL; ROW VARIES  
DAILY TRAFFIC VOLUME: 16,798; V/C = 0.56

GENERAL GRADING NOTES

1. ALL ELEVATIONS ARE BASED ON NAVD88. HORIZONTAL DATUM: NAD83.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS. SLOPES IN GRASS AREAS SHALL BE GRADED AT A 1.0% MIN.

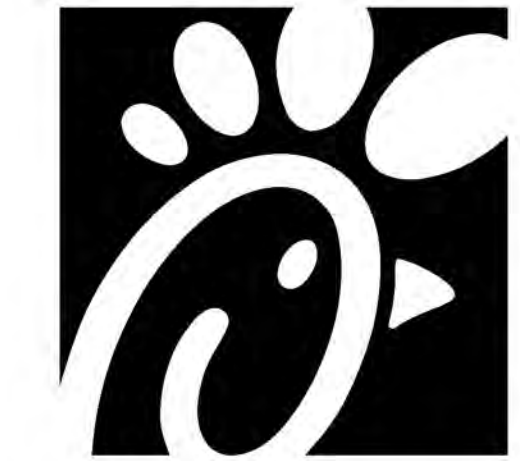
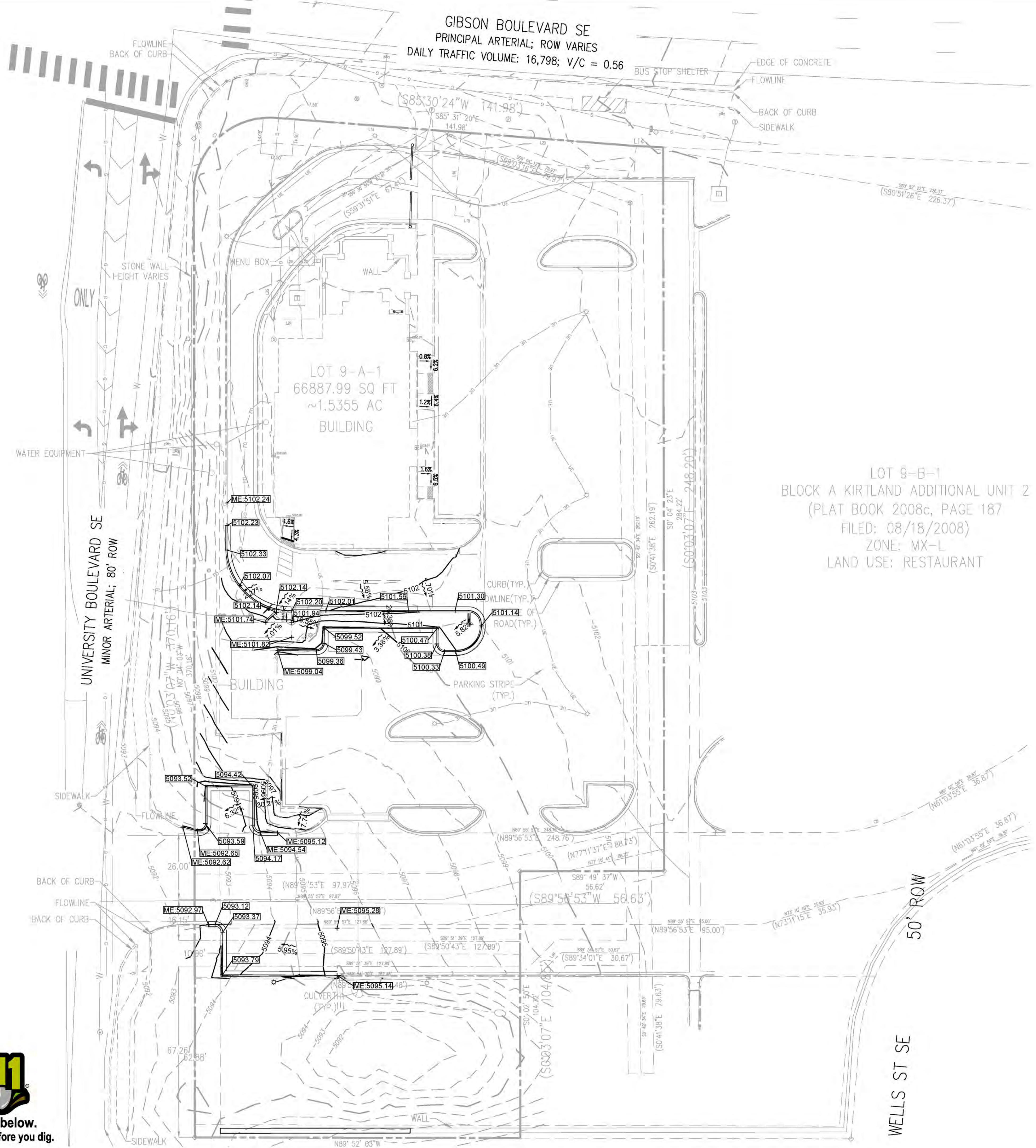
GRADING & DRAINAGE LEGEND	
	PROPOSED GRADE MAJOR CONTOUR LINE
	PROPOSED GRADE MINOR CONTOUR LINE
	EXISTING GRADE MAJOR CONTOUR LINE
	EXISTING GRADE MINOR CONTOUR LINE
	LIMITS OF DISTURBANCE
	MATCH EXISTING GRADE

ALL CURB SPOT ELEVATIONS  
REPRESENT FACE OF CURB  
UNLESS OTHERWISE NOTED

GRADING DESCRIPTION

THE EXISTING SITE IS GRADED TO DRAIN PER CITY OF ALBUQUERQUE AND STATE STANDARDS WITH ALL NECESSARY CURBING, DRIVES, AND LANDSCAPING. THE PROPOSED IMPROVEMENTS WILL ADD CURB AND GUTTER WHERE NECESSARY AND TIE IN AT EXISTING ELEVATIONS AND GRADES. THE SITE CURRENTLY GRADES DOWNWARD TOWARDS THE SOUTHWEST. THERE ARE NO OTHER TOPOGRAPHIC FEATURE OF NOTE WITHIN 100' OF THE SITE.

LOT 9-B-1  
BLOCK A KIRTLAND ADDITIONAL UNIT 2  
(PLAT BOOK 2008c, PAGE 187  
FILED: 08/18/2008)  
ZONE: MX-L  
LAND USE: RESTAURANT



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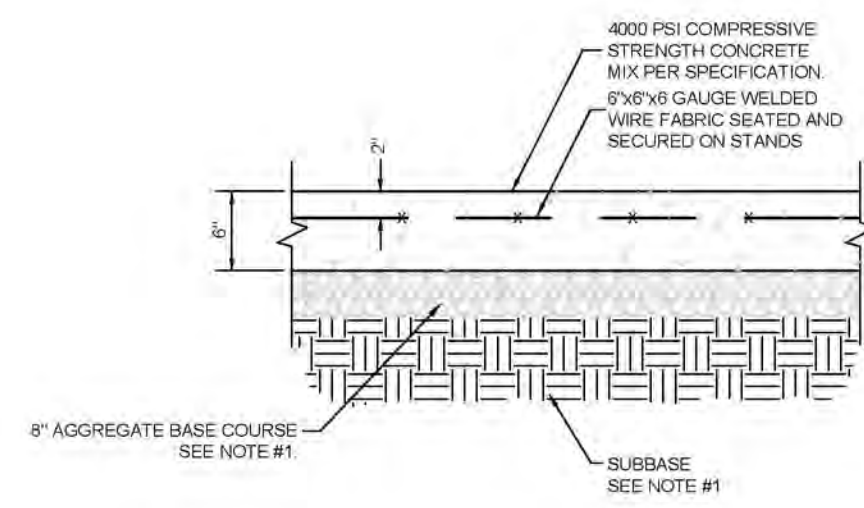
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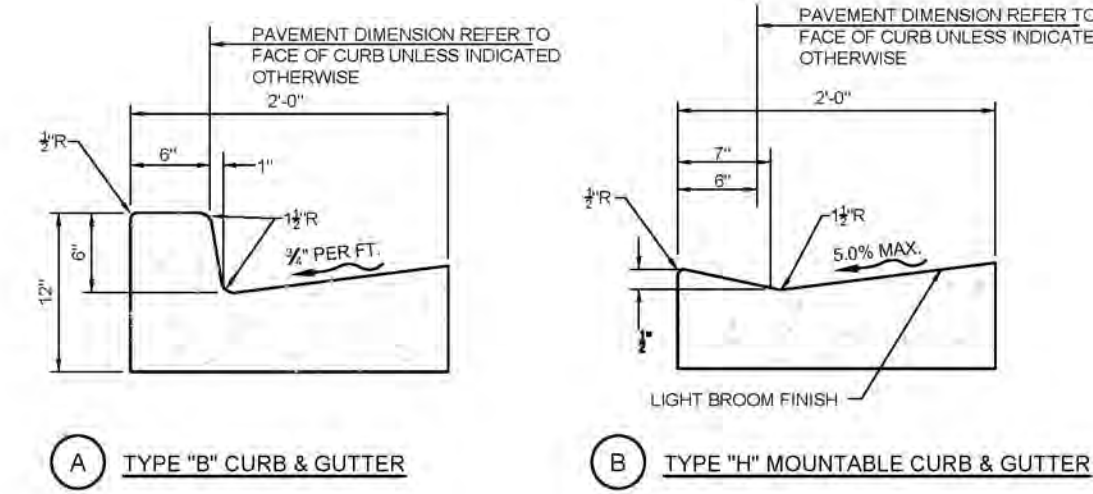
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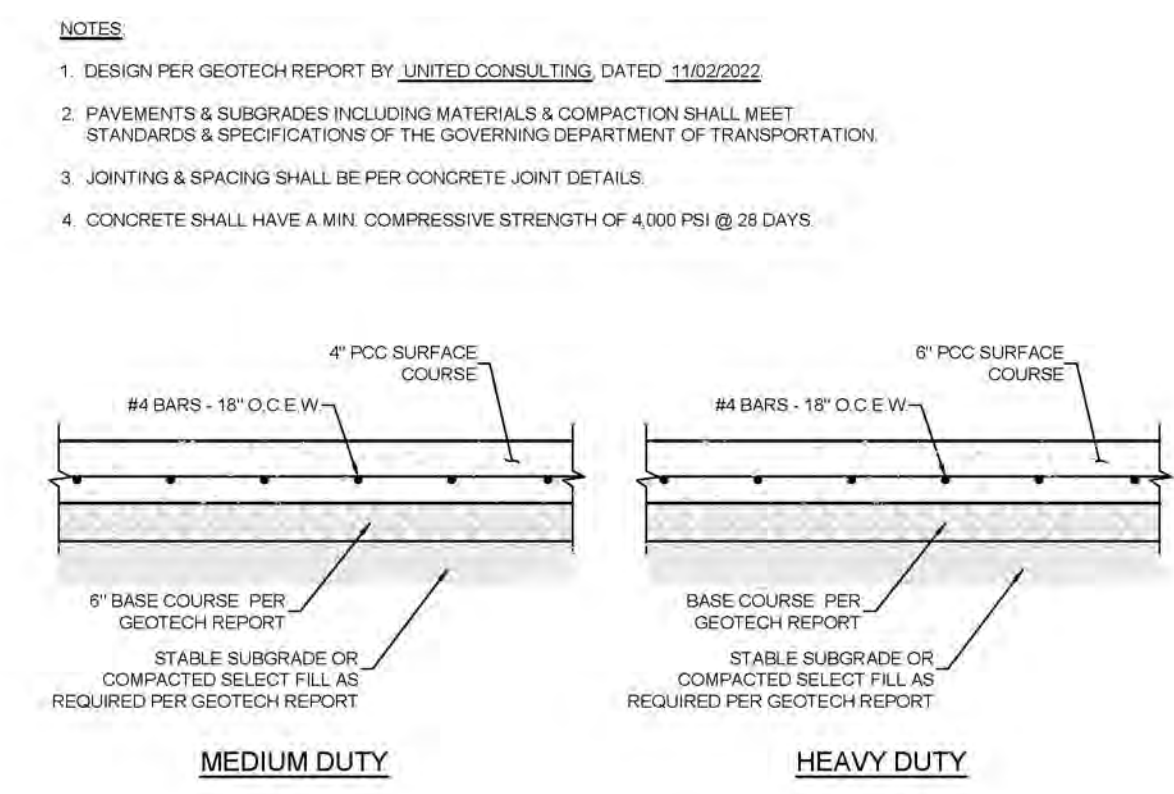
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NOTE  
GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS

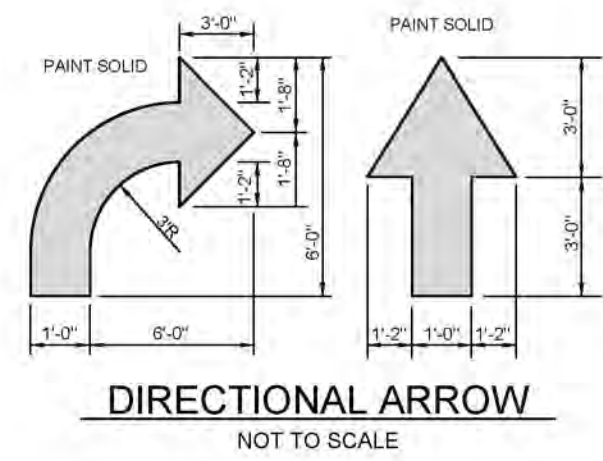


NOTES  
1. CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS  
2. CONTRACTION JOINTS @ 1'-0" O.C. TOoled (1/2" x 1/2" x 1/2") OR MAX. DIA DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 4'-0" MAX. UNLESS NOTED OTHERWISE ON PLANS  
3. IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL  
4. GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE & LONGITUDINAL



NOTES  
1. DESIGN PER GEOTECH REPORT BY LIMITED CONSULTING, DATED 11/02/2022  
2. PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION  
3. JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS  
4. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS

**26 CONCRETE PAVEMENT DRIVE-THRU LANE**  
C2.0 NOT TO SCALE



NOTES  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 9B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES  
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN

**1 PAVEMENT MARKINGS - 1**  
C2.0 NOT TO SCALE

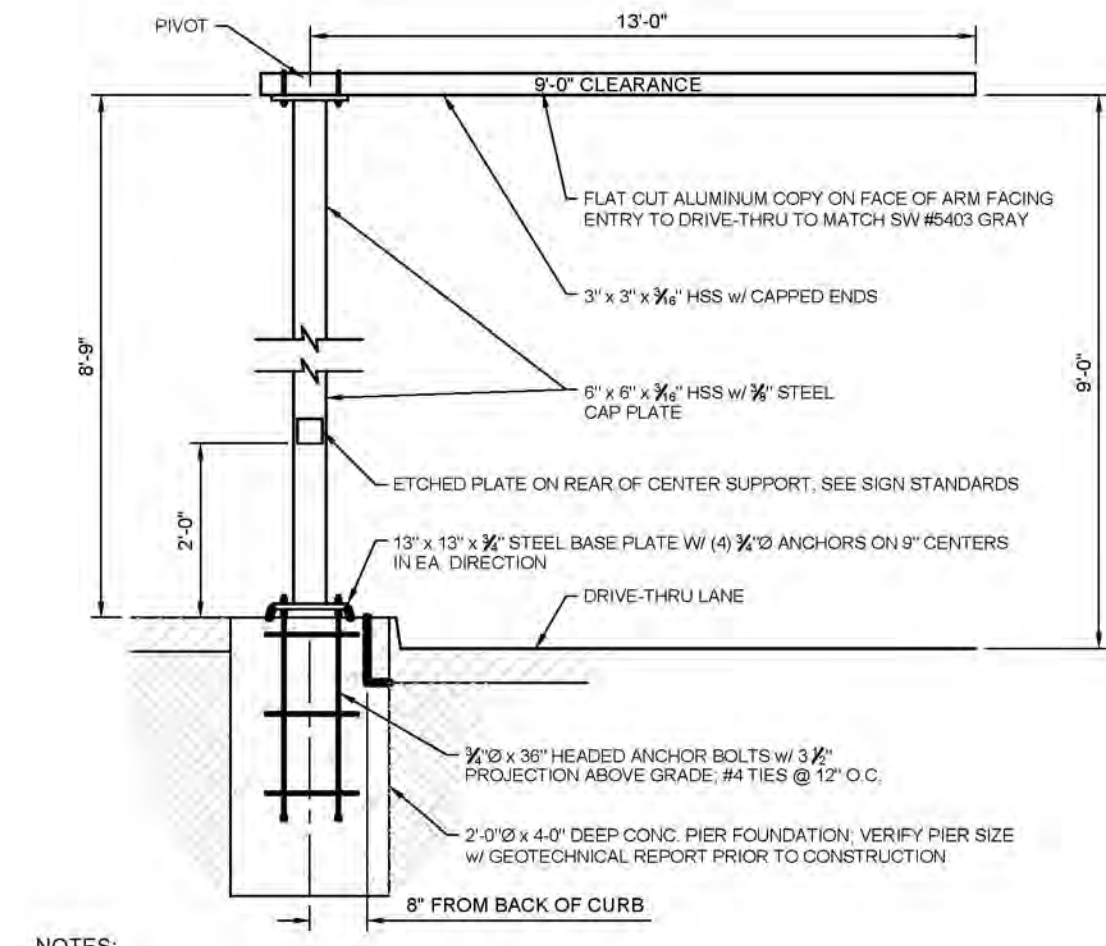
**11 CONCRETE CURB & GUTTER**  
C2.0 NOT TO SCALE



NOTES  
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 9B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES  
2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN  
3. IF STOP SIGNS ARE PROPOSED, 'STOP' LETTERING ON STOP BAR DETAIL NOT REQUIRED

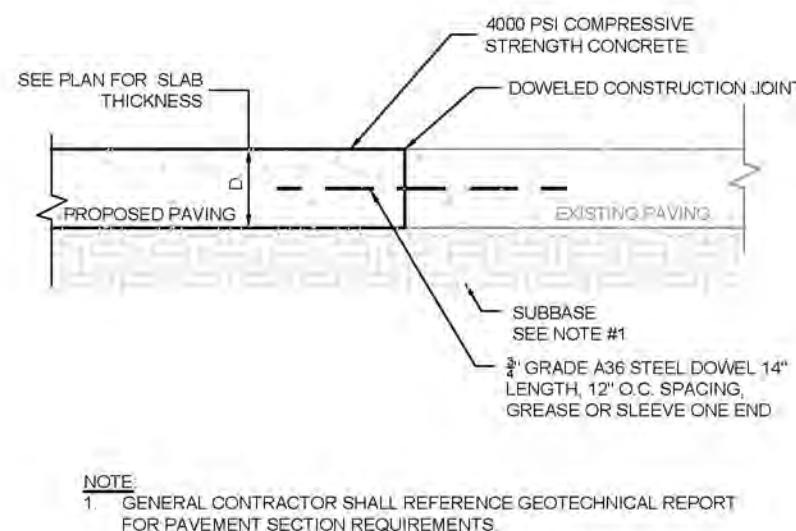
**2 PAVEMENT MARKINGS - 2**  
C2.0 NOT TO SCALE

**12 CONCRETE PAVEMENTS**  
C4.0 NOT TO SCALE



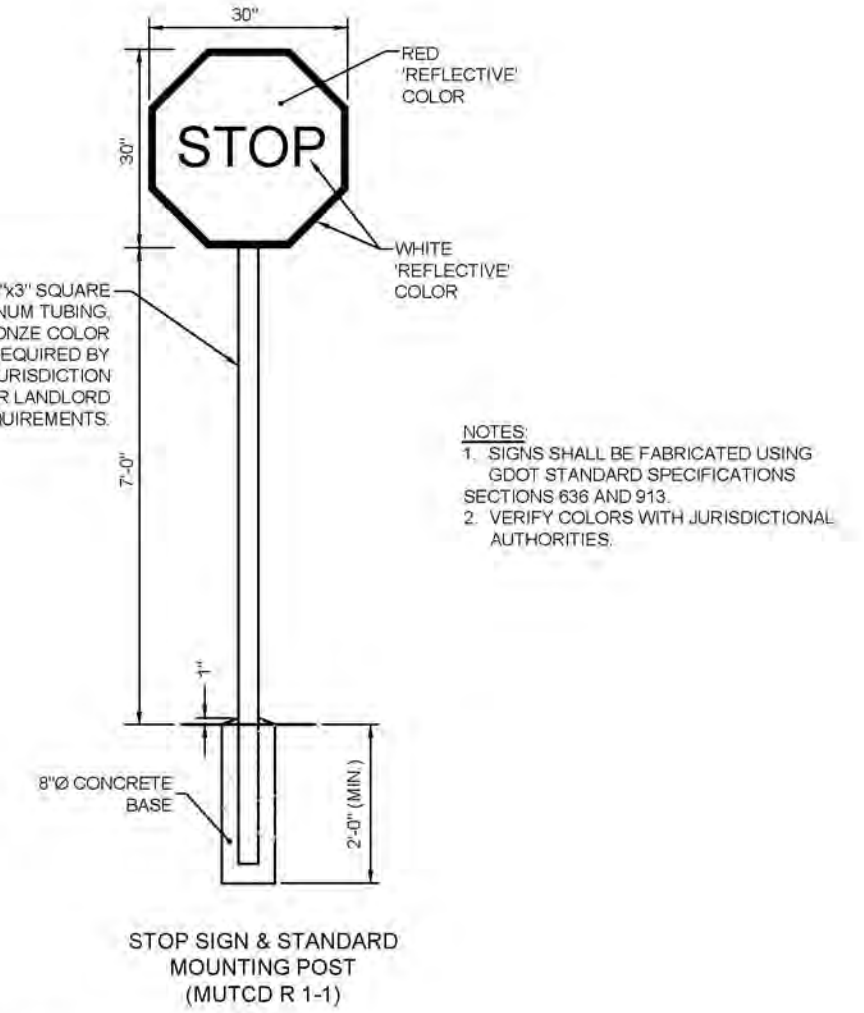
NOTES  
1. ENTIRE CLEARANCE BAR & HARDWARE TO BE POWDER COATED QPC P-820 MATTE BLACK FINISH  
2. CLEARANCE BAR ARM TO ROTATE WHEN STRUCK & RETURN TO ORIGINAL POSITION  
3. COORDINATE W/ THE ARCHITECT & STRUCTURAL ENGINEER

**5 DRIVE-THRU CLEARANCE BAR**  
C2.0 NOT TO SCALE

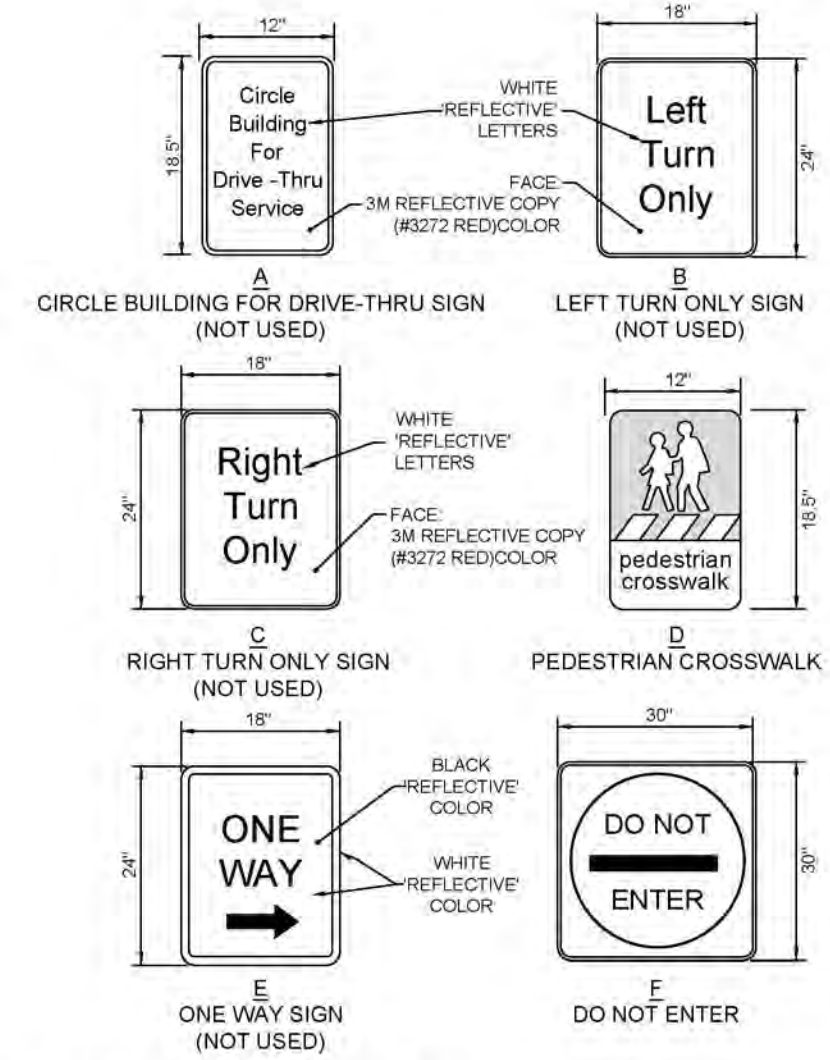


NOTE  
GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS

**22 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT**  
C2.0 NOT TO SCALE



**8 STOP SIGN**  
C2.0 NOT TO SCALE



**7 DIRECTIONAL SIGNAGE**  
C2.0 NOT TO SCALE



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SHEET  
STANDARD DETAILS

SHEET NUMBER  
**C-4.0**





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/ TRANSPORTATION DESIGN /

Section 7-4(J)(7) Entrance and Gate Requirements for Private Ways and Streets

- All gated communities must include a turnaround for visitors at the gate so that the vehicle does not stand in or back into the City right-of-way.
- Where a single gate is provided, the minimum width shall be 20 feet. For divided streets, the minimum width shall be 12 feet.
- Additional entrance and gate requirements may be required by the Fire Marshal.

Part 7-4(K) Off-street Parking and Site Design

This section provides guidance on site design and off-street parking layout. The overall site design shall accommodate all modes of transportation including automobiles, pedestrians, bicyclists, and motorcyclists. To facilitate efficient parking operations, the designer shall also consider the interface of the site with adjacent development areas.

Section 7-4(K)(1) General Provisions

- All sites and off-street parking areas shall be designed to comply with ADA PROWAG standards.
- The number of off-street, vehicle, bicycle and motorcycle parking spaces shall be provided as established in the *IDD Section 14-16-5-5 Parking and Loading*.
- Site design shall comply with design requirements and landscape buffers established by the *IDD Part 14-16-5 Dimensional Standards*.
- Parking and site layout shall be designed such that vehicles do not back into the City right-of-way, except single-family dwellings may back into local streets.

Section 7-4(K)(2) Bicycle Parking

Off-street bicycle parking location, layout and rack options vary widely. The following guidelines shall be considered when placing and designing bicycle parking areas and choosing rack options. Alternative rack design, placement, or installation methods not meeting the guidelines below may be considered and are reviewed on a case-by-case basis by the City Engineer.

- All bicycle racks shall be designed according to the following guidelines:
  - The rack shall be a minimum of 30 inches tall and 18 inches wide.
  - The bicycle frame shall be supported horizontally at two or more places. Comb/raster racks are not allowed.
  - The rack shall be designed to support the bicycle in an upright position. See the *IDD Section 14-16-5-B(E)* for additional information.
  - The rack allows varying bicycle frame sizes and styles to be attached.
  - The user is not required to lift the bicycle onto the bicycle rack.
  - Each bicycle parking space is accessible without moving another bicycle.
- Bicycle parking spaces shall be located in a well-lit area, visible from and, where feasible, located within 50 feet of the primary pedestrian entrance it serves. Bicycle rack placement shall meet the following placement requirements. (See *FIGURE 7.4.115* for direction on bicycle stall layout.)

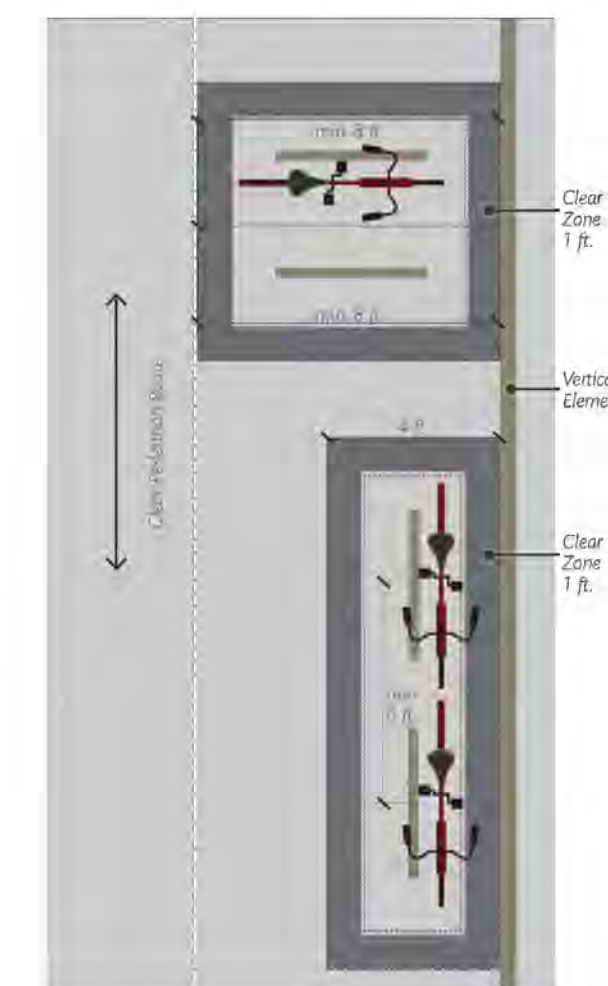


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/ TRANSPORTATION DESIGN /

- Bicycle parking shall be separated from vehicle parking areas and driveways by a barrier, such as a curb, rail, or bollard, or be located to minimize the possibility of vehicles striking parked bicycles.
- Bicycle racks shall be placed in a designated area and shall not infringe upon the width of the required clear pedestrian access route. (See *Part 7-4(E) Pedestrian Facilities*.)
- Bicycle racks shall not be placed directly in front of entrances or in locations that impede pedestrian flow.
- Bicycle racks shall be sturdy and anchored to a concrete pad.
- A 1-foot clear zone around the bicycle parking stall shall be provided.
- Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

FIGURE 7.4.115 Bicycle Parking Stall Layout Options

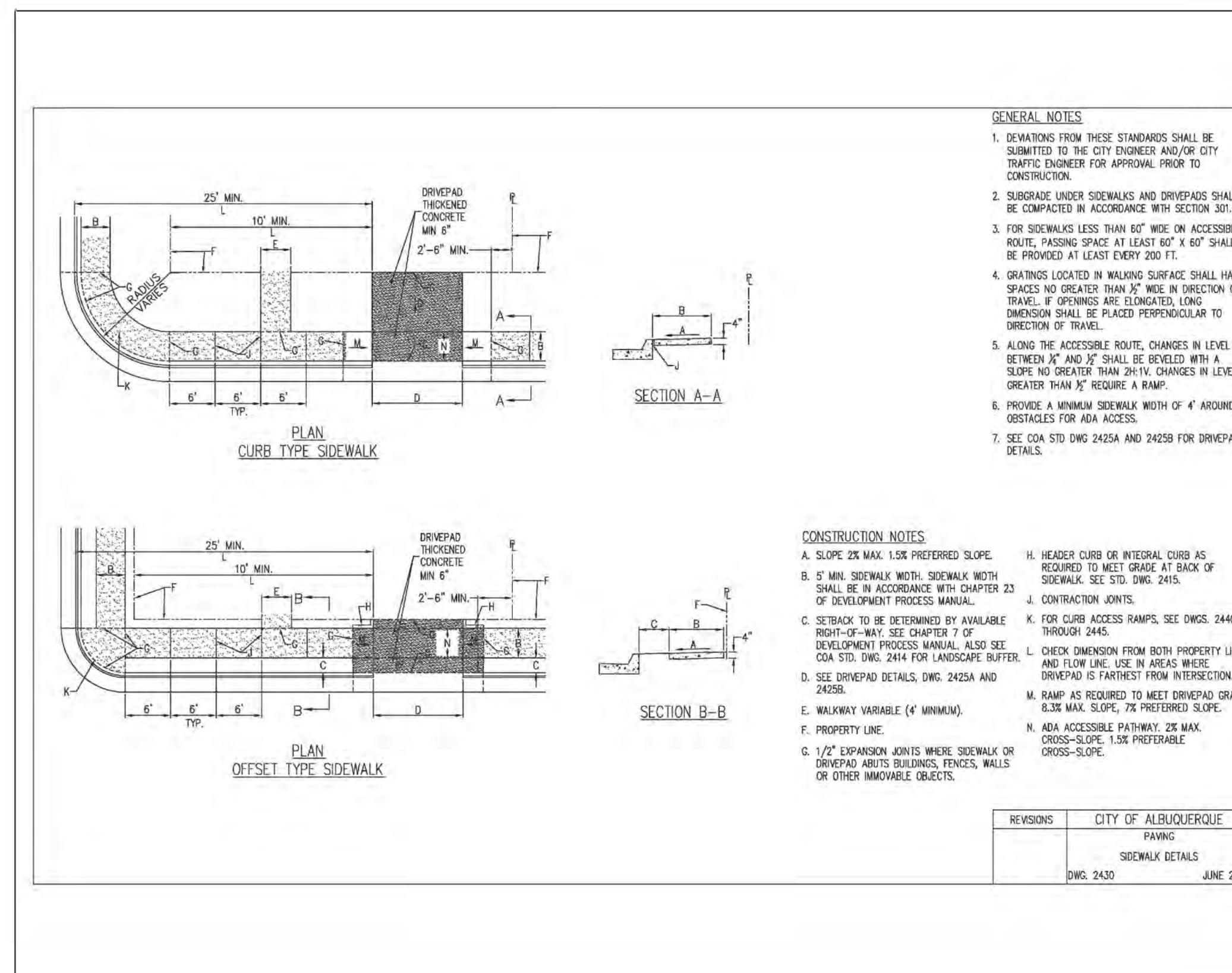


Section 7-4(K)(3) Motorcycle Parking

- Motorcycle parking shall be a minimum of 4 feet wide and 8 feet long. (See *TABLE 7.4.22* and *FIGURE 7.4.116*.)
- Motorcycle parking spaces shall be located in a well-lit area that is visible from the primary building entrance on the site.



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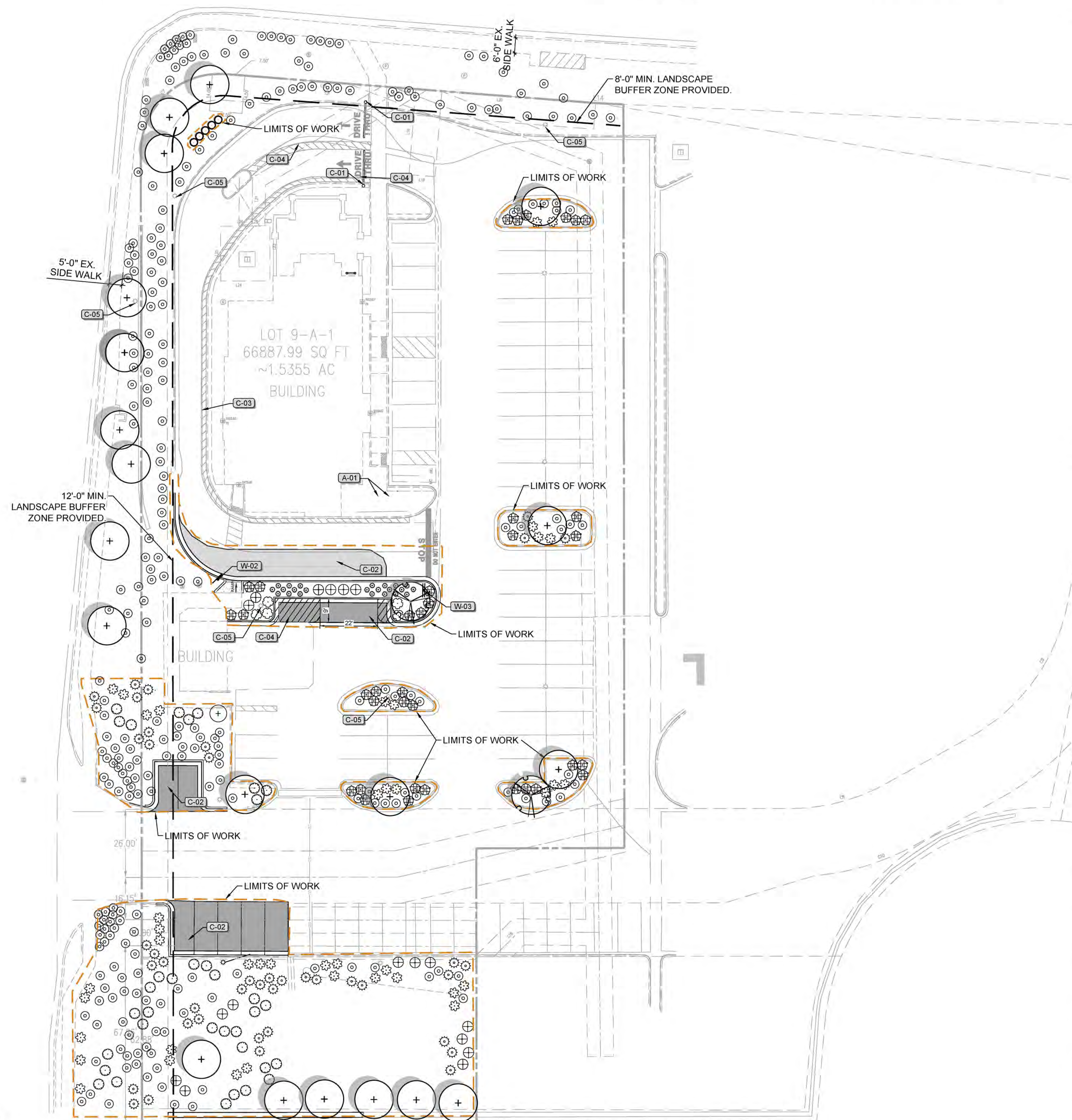
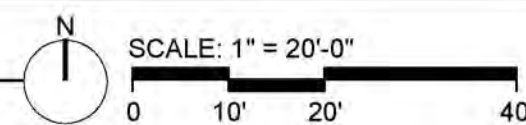
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SHEET CONSTRUCTION DETAILS

SHEET NUMBER C-5.0



01 PLANTING PLAN UPDATES



02 PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
<b>TREES</b>			
	CHILOPSIS LINEARIS 'AZT DESERT AMETHYST' DESERT AMETHYST DESERT WILLOW	15 GAL.	2
<b>EVERGREEN TREES</b>			
	JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER	24" BOX	5
<b>SHRUBS</b>			
	ARCTOSTAPHYLOS X COLORADENSIS PANCHITO	1 GAL.	36
	PANCHITO MANZANITA	1 GAL.	17
	CHAMAEBATIARIA MILLEFOLIUM	1 GAL.	5
	PRUNUS BESSEYI 'P011S'	1 GAL.	5
	PAWNEE BUTTES® SAND CHERRY	1 GAL.	23
	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES'	1 GAL.	23
	PRAIRIE BLUES LITTLE BLUESTEM	1 GAL.	23
	SHEPHERDIA ARGENTEA 'TOTEM'	5 GAL.	35
	SILVER TOTEM® BUFFALOBERRY	5 GAL.	35
<b>GRASSES</b>			
	BOUTELOUA GRACILIS 'BLONDE AMBITION'	5 GAL.	41
	BLONDE AMBITION BLUE GRAMA	5 GAL.	42
	NASELLA TENUISSIMA	5 GAL.	42
	MEXICAN FEATHER GRASS	5 GAL.	42
<b>EXISTING</b>			
	TREES ON SITE TO REMAIN		
	SHRUBS ON SITE TO REMAIN		
<b>FINISHING COVER TREATMENTS</b>			
	DG/ROCK TO MATCH EXISTING.		

03 KEY NOTES

SYMBOL	ARCHITECTURE DESCRIPTION DETAIL
	BICYCLE RACK (SEE ARCH.)
SYMBOL	CIVIL DESCRIPTION DETAIL
	CONST. CLEARANCE BAR (SEE CIVIL)
	CONST. ASPHALT PAVEMENT (SEE CIVIL)
	CANOPY TO REMAIN (SEE CIVIL)
	STRIPING ON ENDS (SEE CIVIL)
	LIGHT POLE (SEE CIVIL)
SYMBOL	WALLS, BARRIERS, & SIGNAGE DESCRIPTION DETAIL
	PEDESTRIANS CROSSING SIGN (SEE CIVIL)
	STOP SIGN (SEE CIVIL)

LANDSCAPE MATRIX			
<b>GENERAL SITE INFO</b>			
GROSS AREA	107,161	SF	
NET LOT AREA	96,023	SF	
REQUIRED LANDSCAPE AREA	15%	14,403	SF
OFF-SITE LANDSCAPE		9,150	SF
OVERALL ON-SITE LANDSCAPE AREA	23%	21,676	SF
<b>GROUNDPLANE VEGETATION</b>			
COVER PROVIDED			
PARKING SPACES PROVIDED	75	EA	
TREES REQUIRED (1/10)	7		
TREES PROVIDED	7		
SHADE TREES REQUIRED	4		
SHADE TREES PROVIDED	5		
<b>FAÇADE LANDSCAPE</b>			
		TREES REQ.	TREES PROV.
WEST	95 LF	2	1
SOUTH	53 LF	1	1
NORTH	53 LF	1	1
		SHRUBS REQ.	SHRUBS PROV.
			10
			10
<b>LANDSCAPE BUFFERS</b>			
		WIDTH	COVERAGE
SOUTH	126 LF	15	83%
WEST	277 LF	6	78%
NORTH	177 LF	10	79%
<b>STREET TREES</b>			
		TREES REQ.	TREES PROV.
WEST	360 LF	10	10
NORTH	180 LF	6	2*

Notes:  
\* Large utility easement preventing tree plantings. Shrubs used in place of street trees, per previously approved landscape plans.

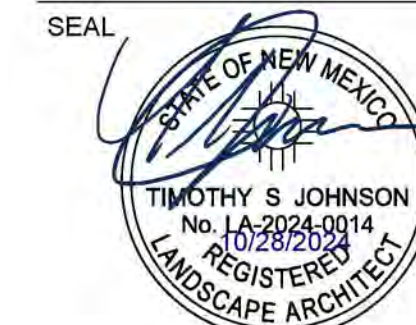


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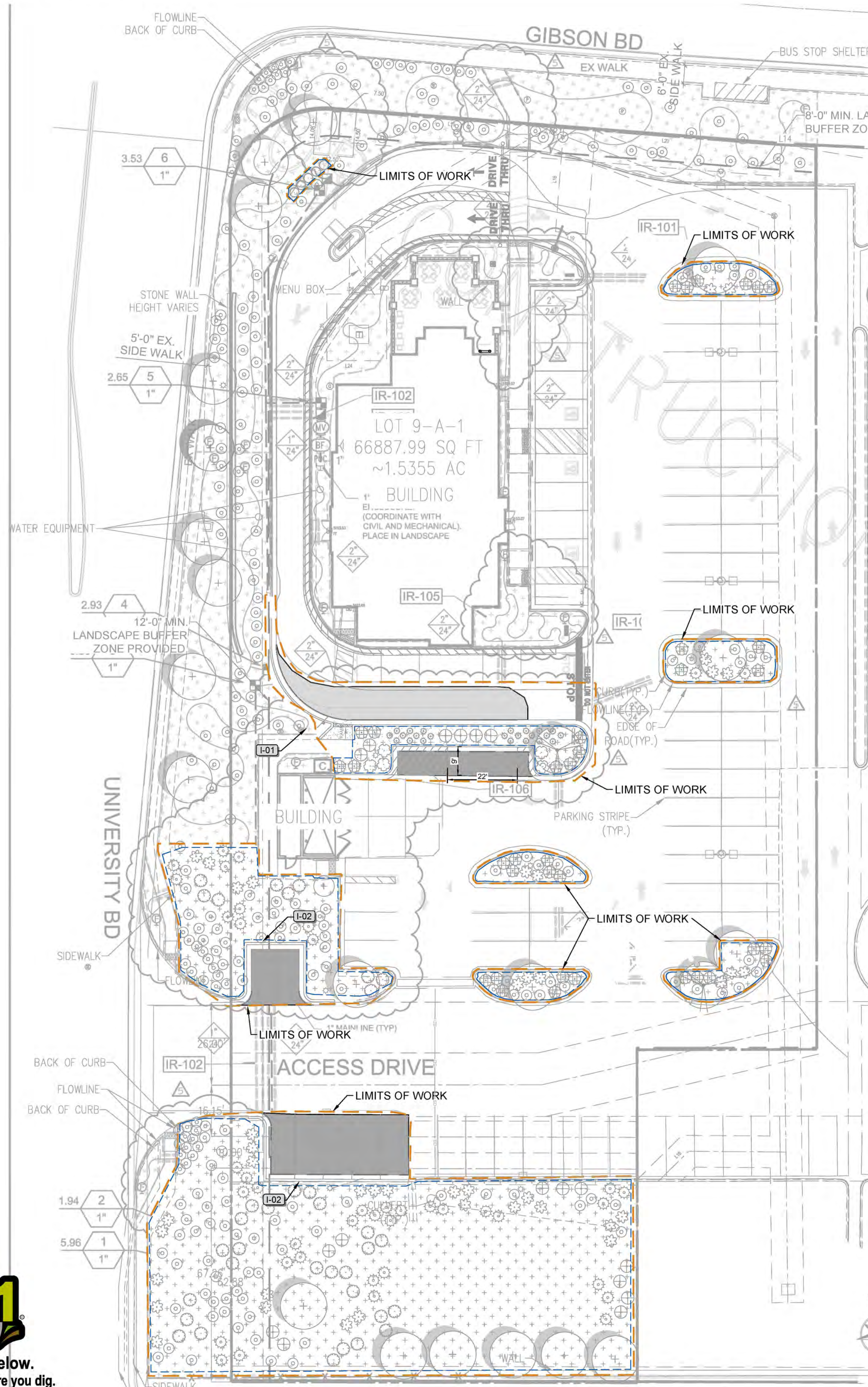
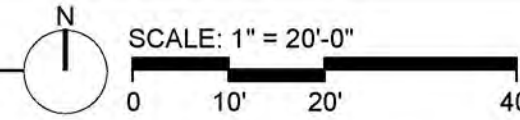
PLANTING PLAN

SHEET NUMBER  
**L1.0**

October 28, 2024  
02 - L1.0  
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01 IRRIGATION PLAN



### IRRIGATION SCHEDULE

CONFIRM ALL QTY'S, SF AND LF WITH ACTUAL PLAN GRAPHIC. PLAN GRAPHIC INFORMATION SUPERSEDES SCHEDULE INFORMATION.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
[Symbol]	HUNTER MP2000 PROS-04-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI @ 2.76 BAR, MP ROTATOR NOZZLE ON PRS40 BODY, K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	10	35
[Symbol]	RAIN BIRD XCZ-100-PRF MEDIUM FLOW-DRIE CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER-40PSI PRESSURE REGULATOR, 3GPM - 15GPM, USE LOW FLOW-MODEL FOR FLOWS UNDER 3 GPM.	5	
[Symbol]	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	17	
[Symbol]	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS, FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1 gal shrub to receive 2 of 1.0 GPH emitters. 1 gal grass/perennial to receive 1 of 0.5 GPH emitters. 5 gal shrub to receive 2 of 1.0 GPH emitters. All trees to receive 6 of 2.0 GPH emitters. 4"pot plant to receive 1 of 0.5 GPH emitter.	27,065 S.F.	
[Symbol]	RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES, LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1	
[Symbol]	RAIN BIRD S-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.	3	
[Symbol]	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"	2	
[Symbol]	RAIN BIRD PRESS 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES, LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.	1	
[Symbol]	FEBCO B25VA 1" REDUCED PRESSURE BACKFLOW PREVENTER	1	
[Symbol]	RAIN BIRD ESP4-SMTEI WITH (1) ESP-SM3 7 STATION INDOOR SMART MODULAR CONTROL SYSTEM FOR RESIDENTIAL AND LIGHT COMMERCIAL USE, WALL MOUNT, TIPPING BUCKET RAIN SENSOR THAT MEASURES RAINFALL.	1	
[Symbol]	GUARDSHACK ENCLOSURES EC-1 BACKFLOW ENCLOSURE, MADE WITH 1" ROUNDED STEEL TUBING, ECONOMICAL, LIGHT, AND EASY TO INSTALL, STILL VANDAL RESISTANT HARDWARE, LIFT OFF MODEL, 10"W X 24"H X 22"L.	1	
[Symbol]	POINT OF CONNECTION 3/4" TAP OFF OF DOMESTIC AT LEAST 5' DOWNSTREAM OF METER, COORDINATE WITH OTHER TRADES. RE: CIVIL SHEETS	1	
[Symbol]	IRRIGATION LATERAL LINE: POLYETHYLENE AND PVC CLASS 160 POLYETHYLENE SIDR-7 UP TO 1-1/4", THEN PVC CLASS 160 SIDR 26 FOR 1-1/2" AND LARGER, ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	209.1 L.F.	
[Symbol]	IRRIGATION MAINLINE: POLYETHYLENE AND PVC CLASS 200 POLYETHYLENE SIDR-7 UP TO 1-1/4", THEN PVC CLASS 200 SIDR 31 FOR 1-1/2" AND LARGER.	431.9 L.F.	
[Symbol]	PIPE SLEEVE: PVC SCHEDULE 40 PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. SLEEVES TO BE MINIMUM 2X PIPE DIAMETER UNLESS OTHERWISE NOTED. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	321.7 L.F.	

02 IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
[Symbol]	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS, FLOW RATES OF 0.5 GPH=BLUE, 1.0 GPH=BLACK, AND 2.0 GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1 GAL SHRUB TO RECEIVE 2 OF 1.0 GPH EMITTERS. 1 GAL GRASS/PERENNIAL TO RECEIVE 1 OF 0.5 GPH EMITTERS. 5 GAL SHRUB TO RECEIVE 2 OF 1.0 GPH EMITTERS. ALL TREES TO RECEIVE 6 OF 2.0 GPH EMITTERS. 4" POT PLANT TO RECEIVE 1 OF 0.5 GPH EMITTER.

03 KEY NOTES

- IRRIGATION NOTE:**  
ANY NON-FUNCTIONAL IRRIGATION COMPONENTS AT TIME OF INSTALLATION SHALL BE CORRECTED AND/OR REPLACED TO PROVIDE REQUIRED IRRIGATION TO ALL LANDSCAPE IMPROVEMENTS.
- I-01** CONTRACTOR TO TIE INTO EXISTING IRRIGATION SYSTEM AT THIS LOCATION, PER APPROVED IRRIGATION PLANS (REV #5) EXTANT LATERAL IS "IRRIGATION LATERAL LINE: POLYETHYLENE AND PVC CLASS 160 209.1 L.F. POLYETHYLENE SIDR-7 UP TO 1-1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.
  - I-02** CONTRACTOR TO MODIFY EXISTING IRRIGATION TO ASSURE PROPER IRRIGATION TO ALL REMAINING PLANTS AND TREES

### REFERENCE NOTES SCHED

SYMBOL	DESCRIPTION
IR-101	DIAGRAMMATIC DRIPLINE, ROUTE AS NECESSARY IN QUANTITIES WILL VARY FROM THOSE SHOWN ON PL.
IR-102	PROVIDE TWO (2) SLEEVES AT ALL MAINLINE CROSSI FOR PIPE AND ONE FOR WIRING.
IR-103	ALL LOCATIONS DIAGRAMMATIC FOR CLARITY, LOC/LANDSCAPE BEDS, FIELD ADJUST AS NECESSARY AI RECORD VIA AS-BUILTS. SEE NOTES.
IR-104	ALL DRIP SUPPLY TUBING TO BE 3/4". ALL MOUNT TUI 1/4" AND STAKED AT EDGE OF ROOTBALL. PROVIDE I PER SCHEDULE. PROVIDE BUG CAP AT TERMINUS O TUBING RUNS.
IR-105	PLACE ALL 3/4" DRIP TUBING AWAY FROM BUILDING I POSSIBLE, TYP.
IR-106	NEW CONTROLLER AS SPECIFIED, EXTERIOR MOUNT ENCLOSURE, LOCKING CABINET, TYP. MOUNT SMAF SENSOR PER MANUFACTURERS INSTRUCTIONS (COX FINAL LOCATION)
IR-107	ADJUST HEADS AS NECESSARY TO AVOID OVERSPR, MAINTAINING PROPER COVERAGE. ADJUST TO AVOI CONFLICTS, ETC.

October 26, 2024  
03 - L2.0  
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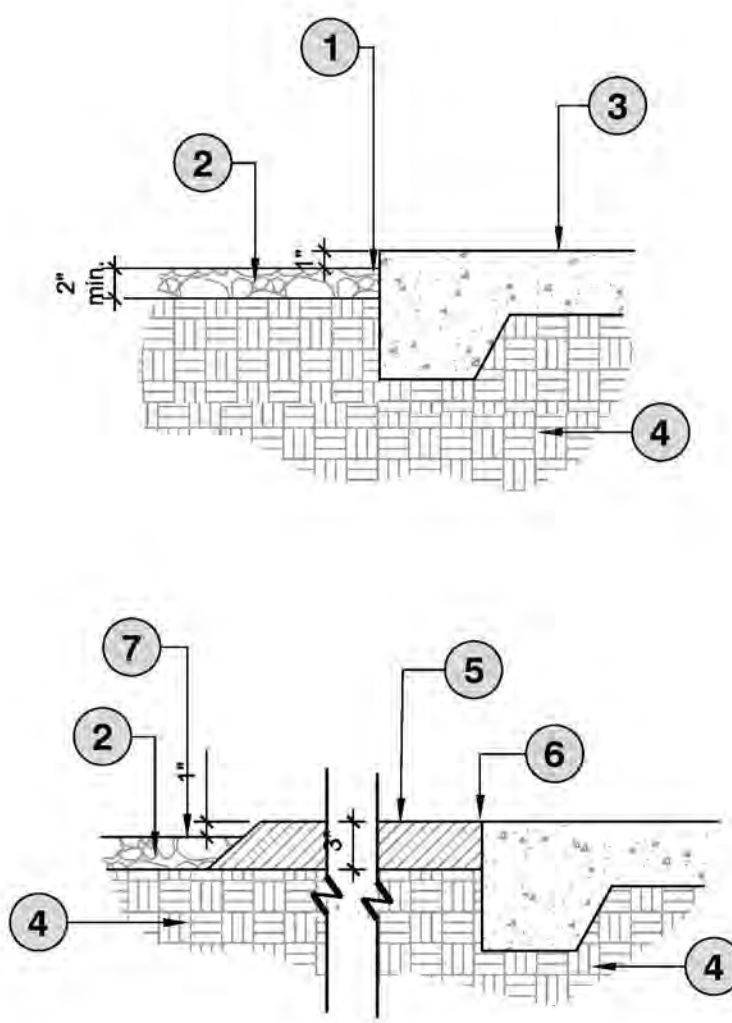
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IRRIGATION PLAN

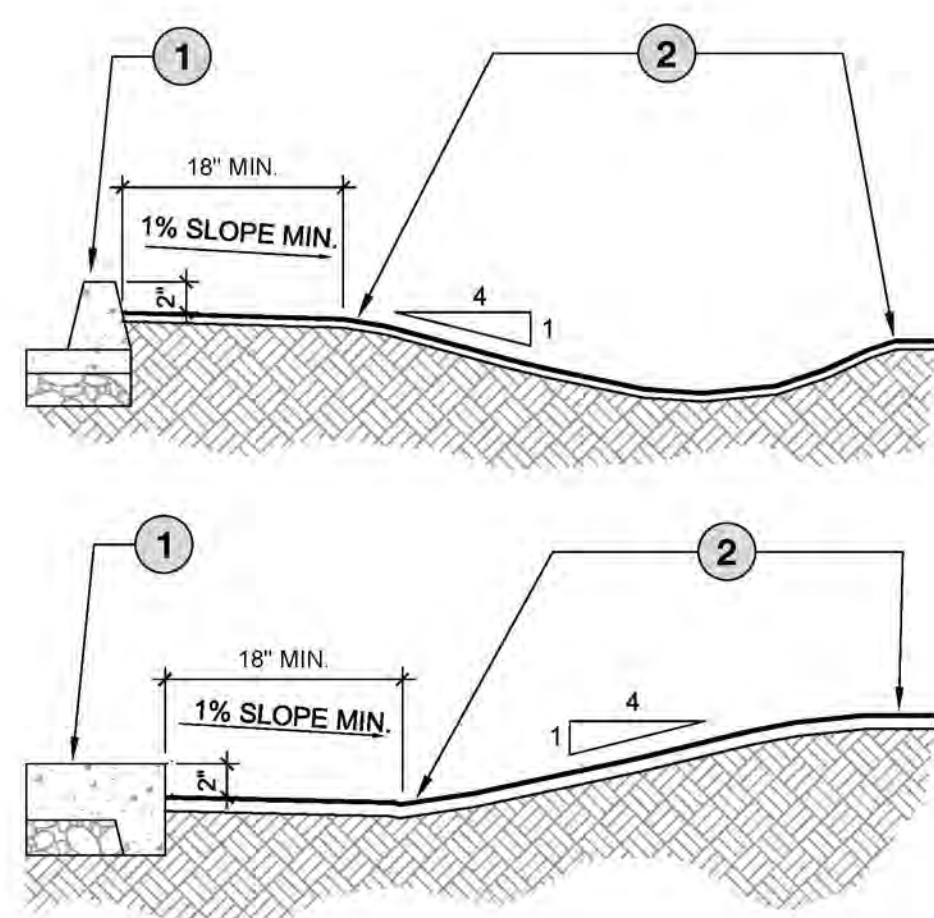
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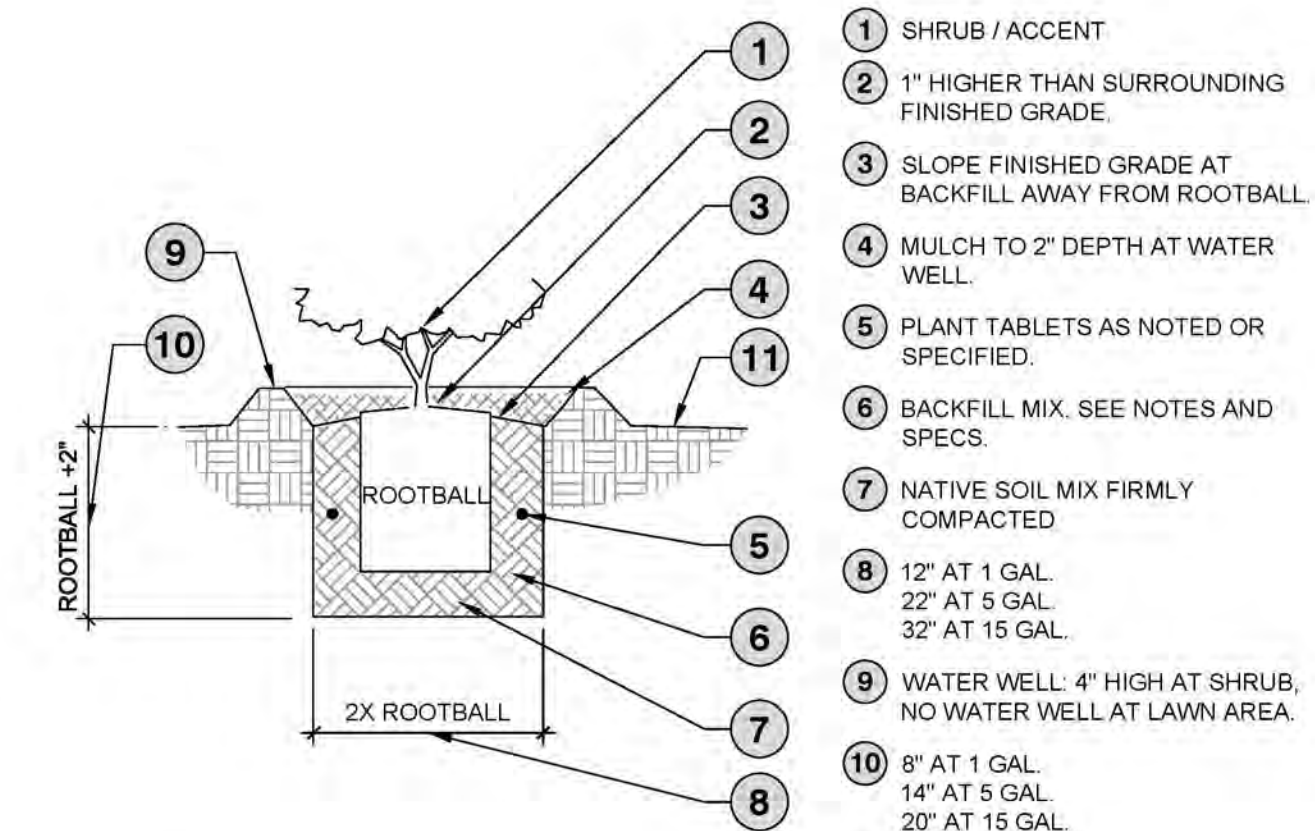
- 1 FINAL GRADE - GRADING CONTRACTOR TO COMPLETE WORK WITHIN +/- 0.10 FEET AND ALLOW FOR 2" OF DECORATIVE ROCK
- 2 DECORATIVE ROCK MULCH
- 3 HARDSCAPE (WALK, CONCRETE, PAVERS, ETC) REFER TO GRADING PLANS
- 4 COMPACTED SUBGRADE
- 5 3" THICK STABILIZED DECOMPOSED GRANITE, 45 DEG. TURNDOWN AFTER WIDTH OF PLAZA, TRAIL, ETC.
- 6 FLUSH AT EDGE OF ADJACENT HARDSCAPE
- 7 FINISH GRADE AT LANDSCAPE

- NOTES:
1. CONTRACTOR TO PROVIDE 10' SECTION MOCK UP OF 10' STABILIZED DECOMPOSED GRANITE (DG) PATH FOR APPROVAL PRIOR TO CONTINUATION OF WORK.
  2. STABILIZED DG TO BE PREMIXED OFF SITE.
  3. TOTAL DEPTH OF DG PATH TO BE 3" AND INSTALLED IN TWO LIFTS WITH TACKIFIER AND PER MANUFACTURER'S RECOMMENDATIONS.



- 1 TOP OF HARDSCAPE (WALK, CURB, ETC.)
- 2 REVERSE CURVE FINISHED GRADE TO CREATE SMOOTH TRANSITION

- NOTES:
1. ALL EARTHWORK TO BE PLACED AND WORKED SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS AND STRUCTURES.
  2. GRADE ALL MATERIAL TO FINISHED GRADE.
  3. REVERSE GRADE EARTH WORK TO CREATE SMOOTH TRANSITIONS BETWEEN SLOPES.



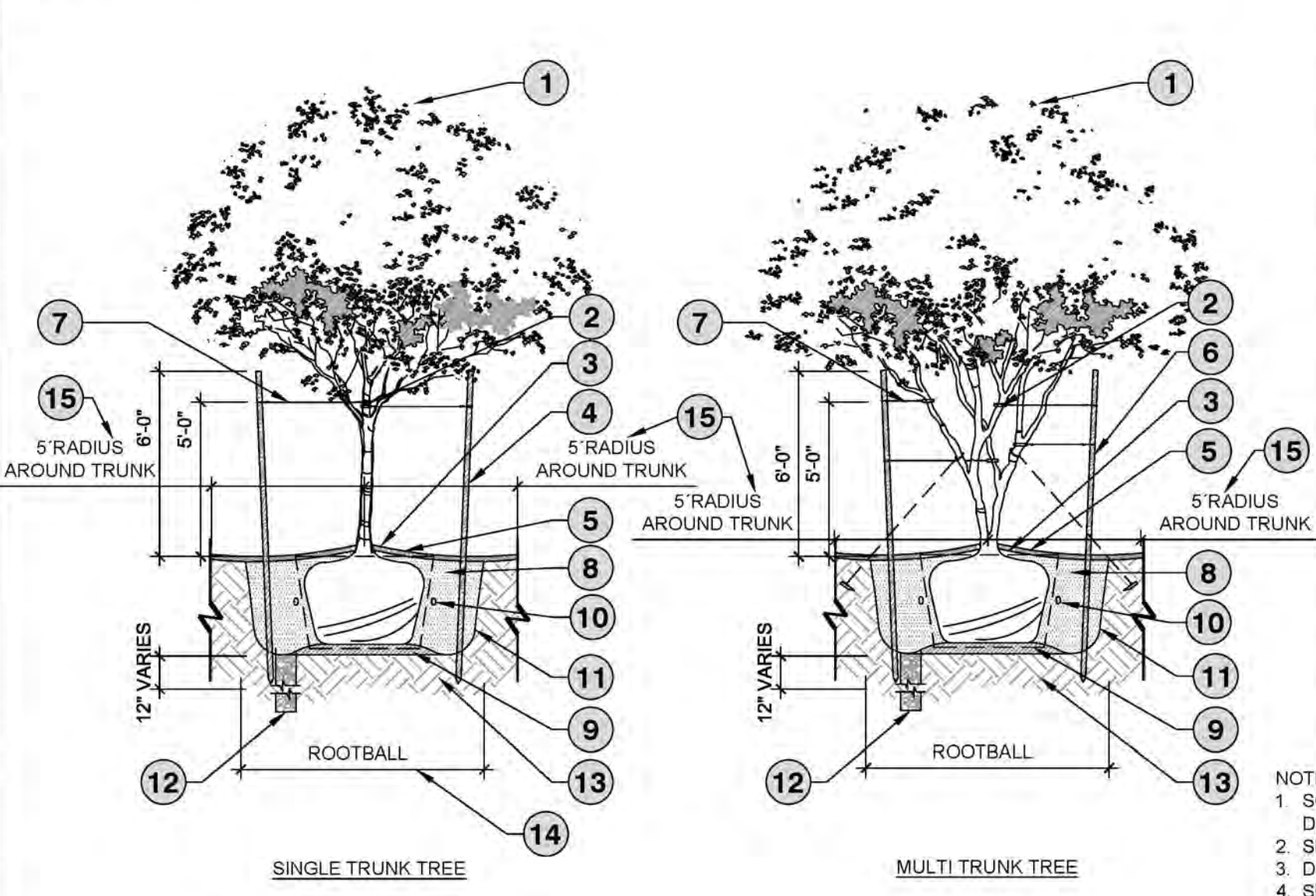
- 1 SHRUB / ACCENT
- 2 1" HIGHER THAN SURROUNDING FINISHED GRADE
- 3 SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOTBALL
- 4 MULCH TO 2" DEPTH AT WATER WELL
- 5 PLANT TABLETS AS NOTED OR SPECIFIED.
- 6 BACKFILL MIX. SEE NOTES AND SPECS.
- 7 NATIVE SOIL MIX FIRMLY COMPACTED
- 8 12" AT 1 GAL, 22" AT 5 GAL, 32" AT 15 GAL.
- 9 WATER WELL: 4" HIGH AT SHRUB, NO WATER WELL AT LAWN AREA.
- 10 8" AT 1 GAL, 14" AT 5 GAL, 20" AT 15 GAL.
- 11 FINISHED GRADE

- NOTES:
1. SCARIFY BOTTOM & SIDES OF PLANTING PIT.
  2. SET CROWN OF ROOTBALL 1-2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
  3. DO NOT COVER CROWN WITH SOIL.
  4. SETTLE BACKFILL BY WATERING AND REMOVING AIR POCKETS/COMPACTING.
  5. SHRUBS AND ACCENTS SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

**1 GRADE AT HARDSCAPE-CURB / WALK**  
1" = 1'-0" P-CH-02

**2 GRADE TRANSITION: SWALE / BERM & HARDSCAPE**  
1" = 1'-0" P-CH-05

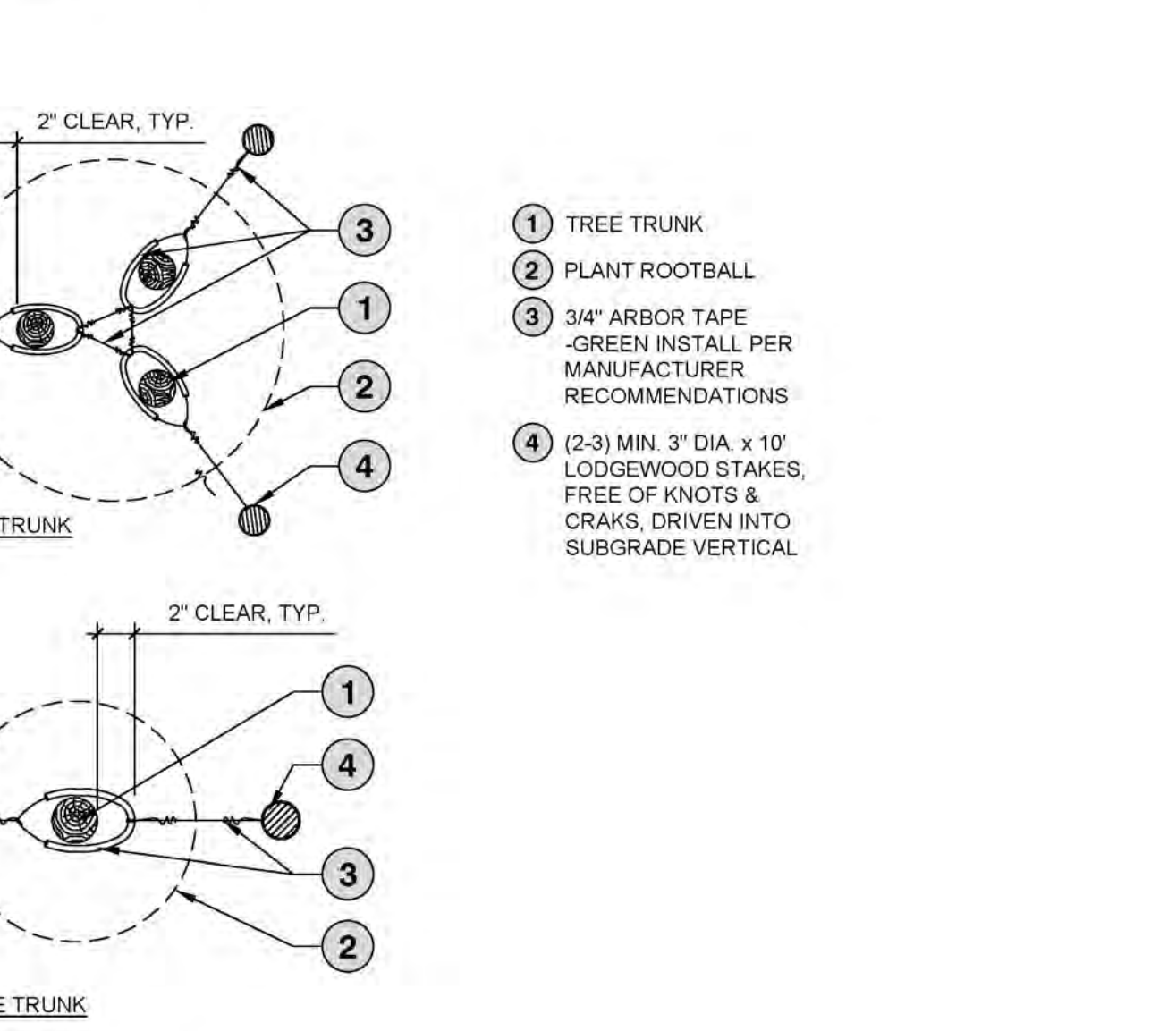
**3 SHRUB/ACCENT PLANTING**  
1 1/2" = 1'-0" P-CH-09



- 1 TREE, SEE LANDSCAPE SCHEDULE
- 2 3/4" ARBOR TAPE- GREEN INTALL PER MANUFACTURER RECOMMENDATIONS
- 3 KEEP MULCH 6"-8" MIN. FROM TREE BASE
- 4 (2) MIN 3" DIA. X 10' LODGEWOOD STAKES, FREE OF KNOTS & CRACKS, DRIVEN INTO SUBGRADE MIN 3" VERTICAL
- 5 TOP OF THE ROOTBALL to be 1"-2" ABOVE BOTTO OF PLANT WELL
- 6 DUCKBILL STAKED, FOR LARGE SALVAGED MULTI TRUNK TREES ONLY AS NECESSARY
- 7 18" POLYPROPYLENE TREE STRAP, BEIGE, WIRE THREADED THROUGH GROMMETS, ADDITIONAL AS REQUIRED DUE TO WEATHER CONDITIONS
- 8 BACKFILL W/ SPECIFIED SOIL MIX PER SPECS. WATER & TAMP TO REMOVE AIR POCKETS
- 9 AMENDED SOIL, BELOW ROOTBALL PER SPECIFICATIONS
- 10 FERTILIZER PER SPECIFICATIONS
- 11 SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING
- 12 TREE WELL, CHIMNEY DRAIN: 4" DIA. X 24" DEEPER THAN HARD PAN/CALICHE LAYER B OTTOM, AUGER DUG WELL FILLED W 3/8 PEA GRAVEL FOR DRAINAGE WHEN HARDPAN/CALICHE CONDITIONS EXIST
- 13 NATIVE SUBGRADE SOIL
- 14 2X ROOTBALL WIDTH FOR 24" BOX EQUIVALENT AND SMALLER, 3X ROOTBALL WIDTH FOR 36" BOX EQUIVALENT AND LARGER
- 15 ORGANIC TREE RING MULCH (ALL TREES) 5' RADIUS AROUND TRUNK

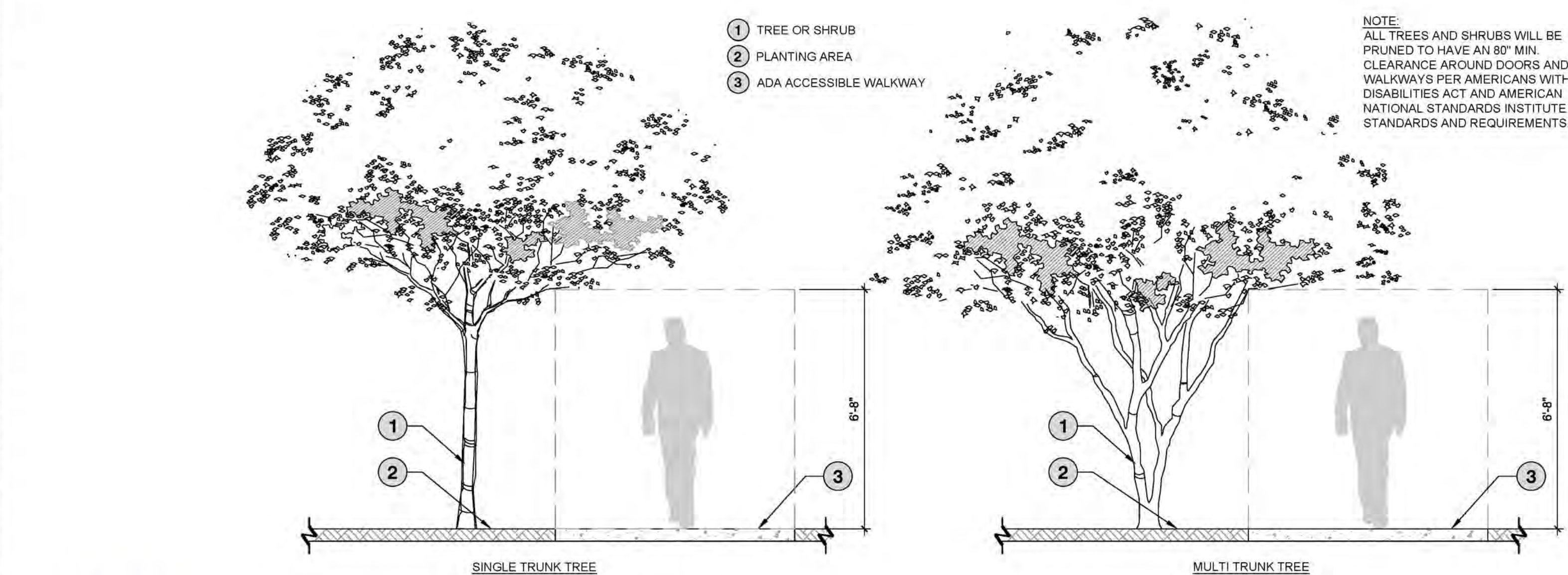
- NOTES:
1. SCARIFY BOTTOM & SIDES OF PIT, AND BORE HOLES ON ALL PITS (SEE PLANTING PIT DETAIL).
  2. SET CROWN OF ROOTBALL 1-2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
  3. DO NOT COVER CROWN WITH SOIL.
  4. SETTLE BACKFILL BY WATERING AND REMOVING AIR POCKETS/COMPACTING.
  5. STAKE TREE TO ALLOW FOR SOME FLEXIBILITY AND MOVEMENT IN WIND.
  6. TREES SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

**4 TREE PLANTING DETAIL**  
1" = 50" P-CH-20



- 1 TREE TRUNK
- 2 PLANT ROOTBALL
- 3 3/4" ARBOR TAPE -GREEN INSTALL PER MANUFACTURER RECOMMENDATIONS
- 4 (2-3) MIN. 3" DIA. X 10' LODGEWOOD STAKES, FREE OF KNOTS & CRACKS, DRIVEN INTO SUBGRADE VERTICAL

**5 TREE STAKING DETAILS**  
1" = 1'-0" P-CH-28



- 1 TREE OR SHRUB
- 2 PLANTING AREA
- 3 ADA ACCESSIBLE WALKWAY

NOTE:  
ALL TREES AND SHRUBS WILL BE PRUNED TO HAVE AN 80" MIN. CLEARANCE AROUND DOORS AND WALKWAYS PER AMERICANS WITH DISABILITIES ACT AND AMERICAN NATIONAL STANDARDS INSTITUTE STANDARDS AND REQUIREMENTS.

**6 ACCESSIBLE ROUTE CLEARANCES**  
3/8" = 1'-0" P-CH-31



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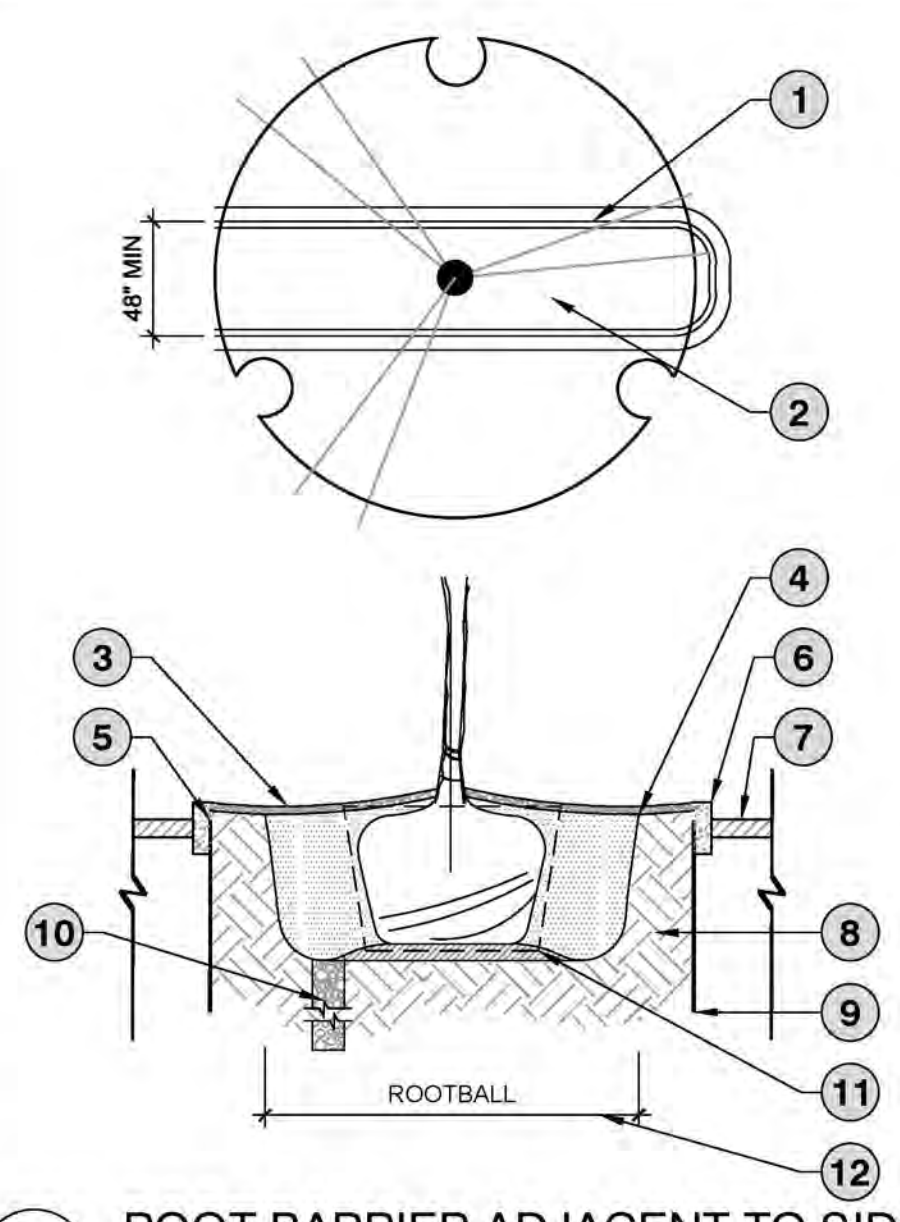
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LANDSCAPE DETAILS

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**1 ROOT BARRIER ADJACENT TO SIDEWALK AND PAVEMENT**

1/2" = 1'-0"

P-CH-06

- 1 24" DEEP ROOT BARRIER SURROUND AT ALL AREAS ADJACENT TO SIDEWALK AND PAVEMENT
- 2 TAMP SOIL ADJACENT TO ROOT BARRIERS TO STABILIZE THEN ASSURE IRRIGATION FLOWS DIRECTLY THROUGH ROOTBALL POST TAMPING
- 3 DECORATIVE ROCK/MULCH PER DRAWING/SPECS
- 4 BACKFILL FINISH GRADE
- 5 SET TOP OF BARRIER 2" BELOW FINISH GRADE
- 6 TOP OF CONCRETE CURB OR CONCRETE PAVEMENT
- 7 TOP OF ASPHALT
- 8 BACKFILL SEE SPECIFICATIONS
- 9 24" UB 24-2 DEEP-ROOT BARRIER SET SURROUND AT BACK OF CURB AND ADJACENT TO SIDEWALK
- 10 CHIMNEY FOR DRAINAGE THROUGH COMPACTED SOILS
- 11 AMENDED SOIL BELOW ROOTBALL PER SPECIFICATIONS
- 12 2X ROOTBALL WIDTH FOR 24" BOX EQUIVALENT AND SMALLER 3X ROOTBALL WIDTH FOR 36" BOX EQUIVALENT AND LARGER

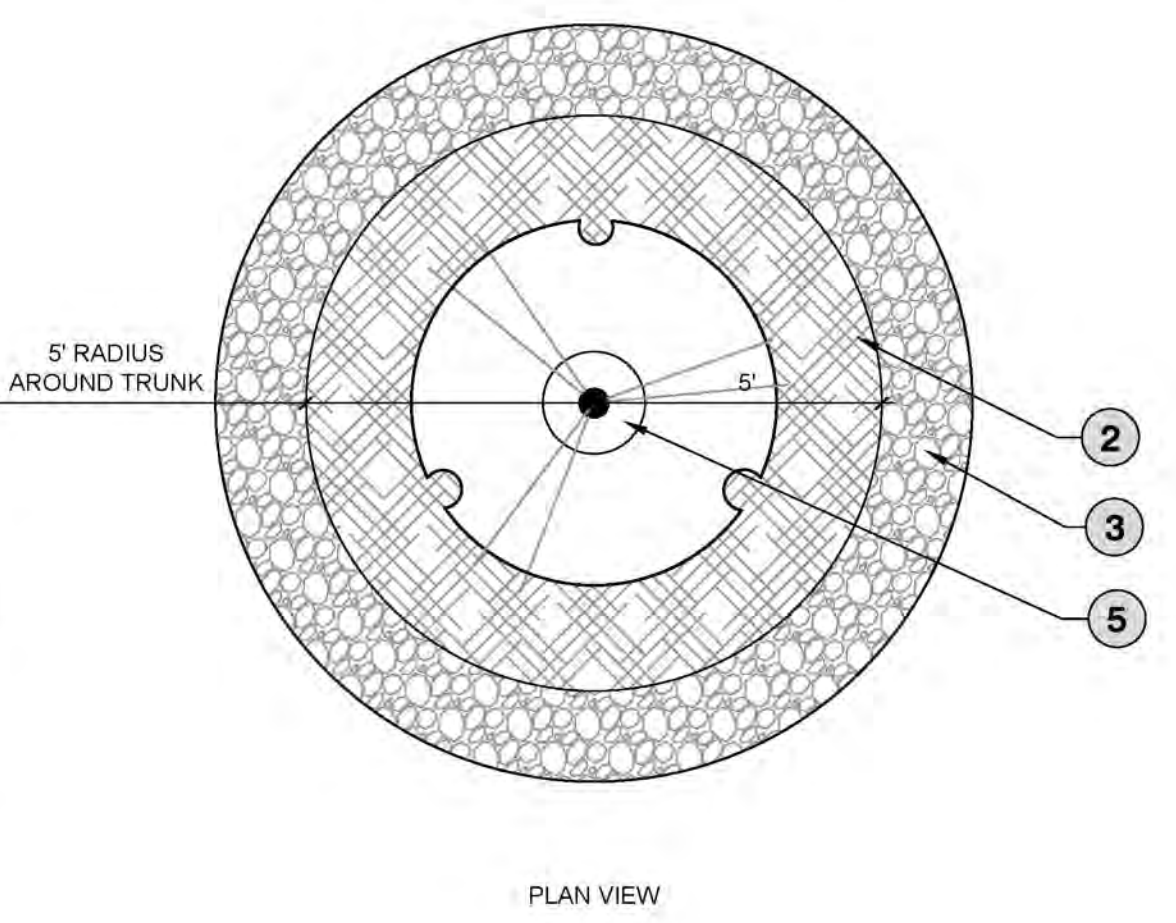
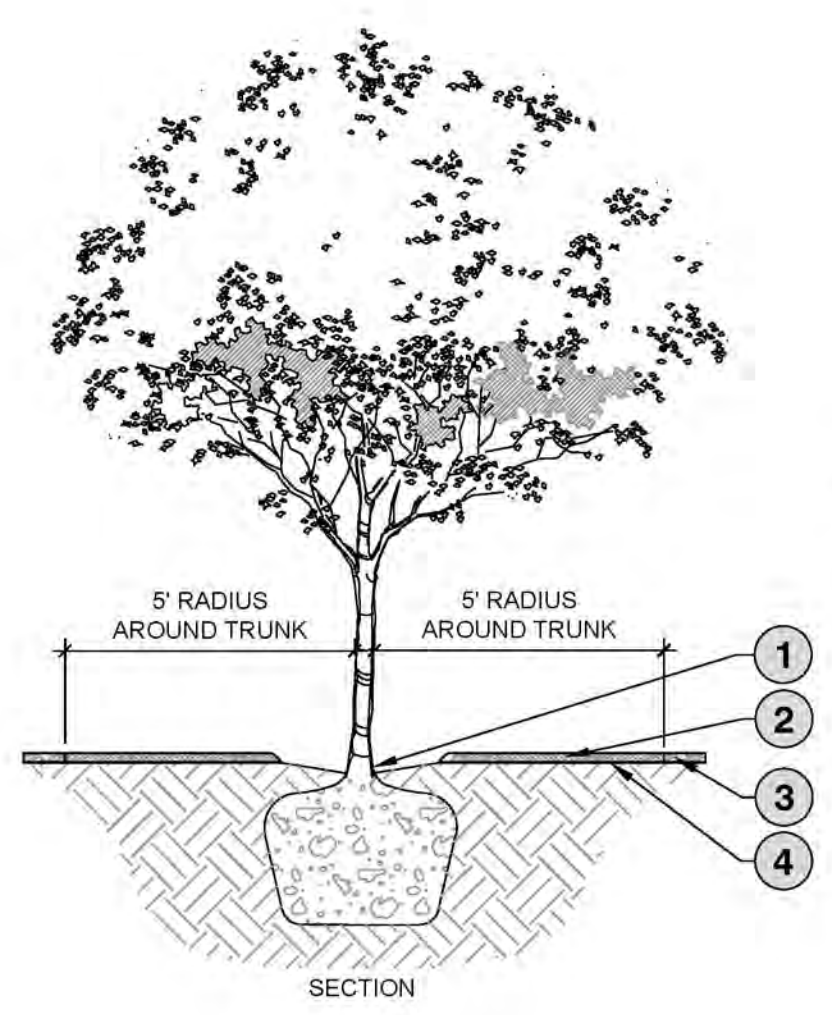
THIS DETAIL TO BE USED EVERYWHERE A TREE IS PLANTED WITHIN 5' CURB FACE AND/OR CONCRETE PAVING

- SPECIFIED TREE ROOT BARRIER IS A MECHANICAL BARRIER AND ROOT DEFLECTOR USED TO PREVENT TREE ROOTS FROM DAMAGING HARDSCAPES AND LANDSCAPES. ASSEMBLED IN 24" (609 MM) LONG MODULES TO CREATE VARYING LENGTHS FOR LINEAR APPLICATIONS, OR PERIMETER SURROUND APPLICATIONS IN VARYING SIZES.
- A. MATERIALS**
1. THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIER AS SPECIFIED. THE TREE ROOT BARRIER SHALL BE EITHER PRODUCT #UB 18-2 AS MANUFACTURED BY DEEPROOT GREEN INFRASTRUCTURE, LLC, 530 WASHINGTON STREET, SAN FRANCISCO, CA, WWW.DEEPROOT.COM (800.458.7669) OR APPROVED EQUAL.
  2. ROOT BARRIER SHALL BE RECYCLABLE, BLACK, INJECTION MOLDED PANELS WITH 0.75" (1.90 MM) WALL THICKNESS IN MODULES 24" (609 MM) LONG AND 18" (460 MM) DEEP.
  3. ROOT BARRIER SHALL BE MANUFACTURED WITH 75% REPROCESSED POLYPROPYLENE WITH ADDED ULTRAVIOLET INHIBITORS.
  4. ROOT BARRIER SHALL BE COMPRISED OF 24" (609 MM) PANELS. EACH PANEL SHALL HAVE NO LESS THAN FOUR (4) MOLDED INTEGRAL VERTICAL ROOT DIRECTING RIBS OF A MINIMUM 0.060" (1.52 MM) THICKNESS, PROTRUDING 1/2" (12.7 MM) AT 90° FROM INTERIOR OF THE BARRIER PANEL, SPACED 6" (152.4 MM) APART. (SEE DETAILS A & D)
  5. ROOT BARRIER SHALL HAVE A DOUBLE TOP EDGE CONSISTING OF TWO PARALLEL, INTEGRAL, HORIZONTAL RIBS AT THE TOP OF THE PANEL AT 0.060" (1.52 MM) THICKNESS, 3/8" (9.53 MM) WIDE AND 1/4" (6.35 MM) APART WITH THE LOWER RIB ATTACHED TO THE VERTICAL ROOT DIRECTING RIBS (SEE DETAIL A).
  6. ROOT BARRIER SHALL HAVE A MINIMUM OF NINE (9) ANTI-LIFT GROUND LOCK TABS CONSISTING OF INTEGRAL HORIZONTAL RIDGES OF MINIMUM 0.060" (1.52 MM) THICKNESS IN THE SHAPE OF A SEGMENT OF A CIRCLE, THE 2-1/4" (57.15 MM) CHORD OF THE SEGMENT JOINING THE PANEL WALL AND THE SEGMENT PROTRUDING 3/8" (9.53 MM) FROM THE PANEL. THE GROUND LOCKS ON EACH PANEL SHALL BE ABOUT EQUALLY SPACED BETWEEN EACH OF THE VERTICAL ROOT DIRECTING RIBS (SEE DETAILS B & D).
  7. ROOT BARRIER SHALL HAVE AN INTEGRATED ZIPPER JOINING SYSTEM FOR ASSEMBLY BY SLIDING ONE PANEL INTO ANOTHER (SEE DETAIL C).

**2 TREE RING MULCH (ORGANIC)**

1" = 40"

P-CH-12



- 1 EXPOSED ROOT BALL
- 2 WOOD FIBER MULCH, MIN. 2" DEPTH
- 3 DECORATIVE ROCK, DG, GRASS, OR OTHERS
- 4 WEED BARRIER, IF REQUIRED BY LOCAL CODE/STANDARDS
- 5 SOIL



Chick-fil-A

Chick-fil-A  
 5200 Buffington Rd  
 Atlanta, GA 30349-2998

**Bowman**  
 Bowman Consulting Group, Ltd  
 2075 W. Broadway  
 Tucson, Arizona 85741  
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**CHICK-FIL-A**  
 GIBSON BLVD FSU  
 1600 GIBSON BLVD SE  
 ALBUQUERQUE, NEW MEXICO 87106  
 FSU#03486

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	010014-01-218
ISSUED FOR	PERMIT
DATE	SEPT 2024
DRAWN BY	GM

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LANDSCAPE DETAILS

SHEET NUMBER  
**L3.1**







# PR-2021-004973\_SI-2024-00924\_Site\_Plan\_Aproved

Interim Agreement Report




2024-11-14


Created:	2024-11-08
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Out for Signature
Transaction ID:	CBJCHBCAABAAO0JyVGjbZfJidn-y0Yq3iLAFYaTuNU2y

## Agreement History


Agreement history is the list of the events that have impacted the status of the agreement prior to the final signature. A final audit report will be generated when the agreement is complete.

## "PR-2021-004973\_SI-2024-00924\_Site\_Plan\_Aproved" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)  
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 Jay Rodenbeck (jrodenbeck@cabq.gov) replaced signer Whitney Phelan (wphelan@cabq.gov) with Hannah Aulick (haulick@cabq.gov)


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