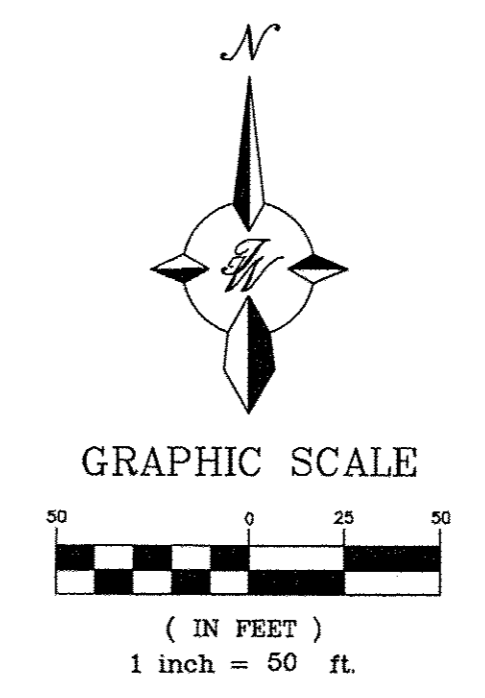


**LEGAL DESCRIPTION**  
TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITON

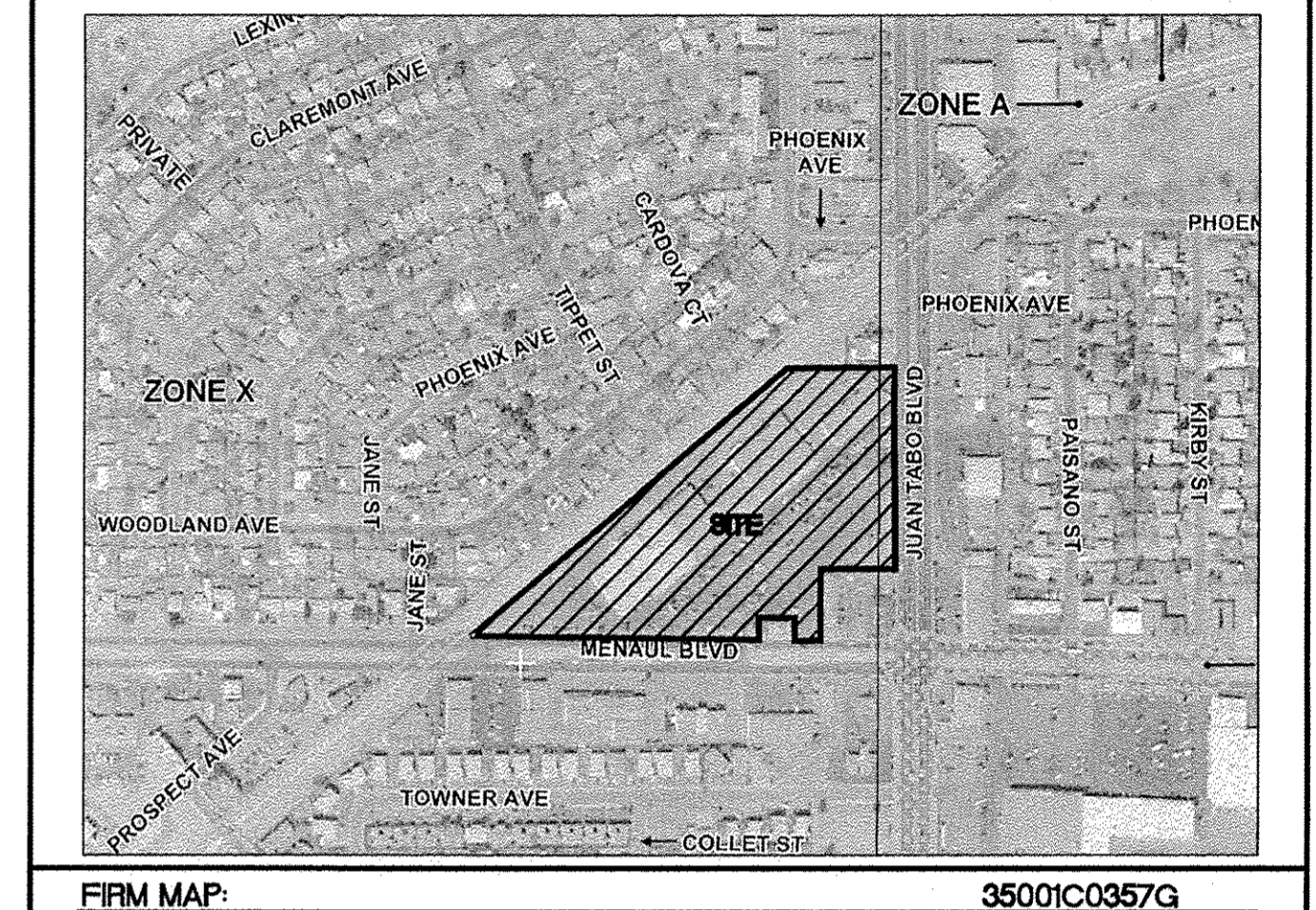
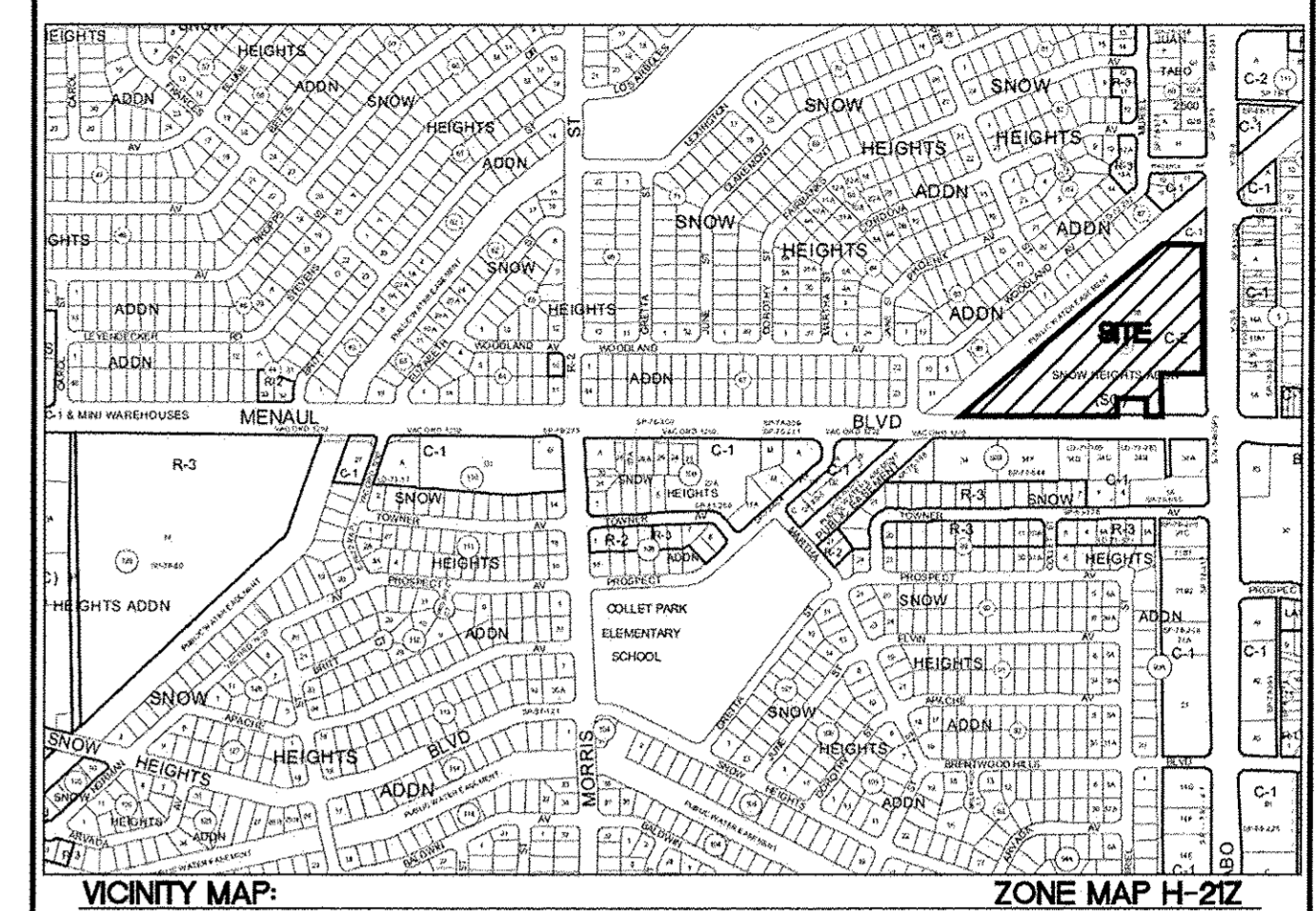
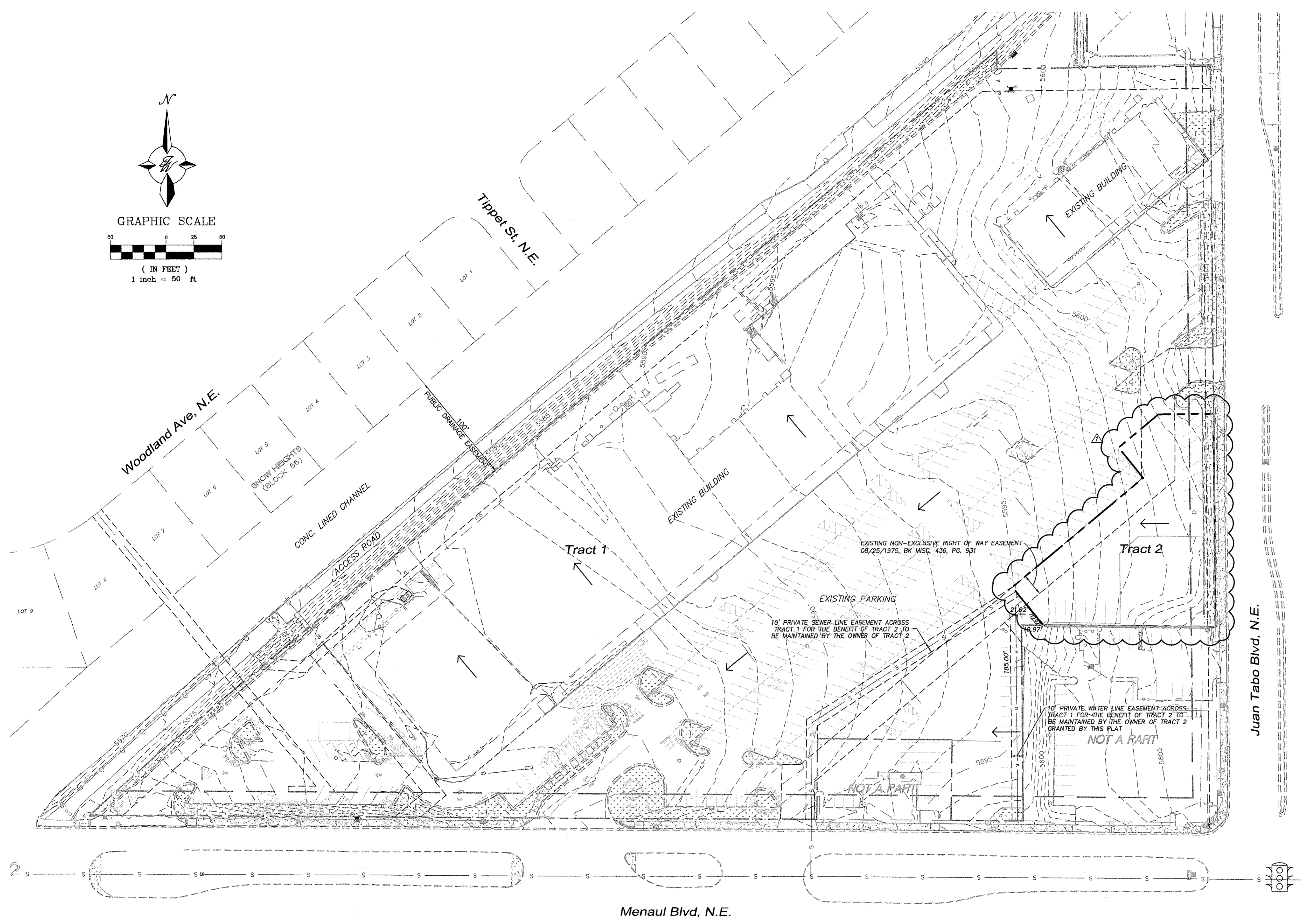
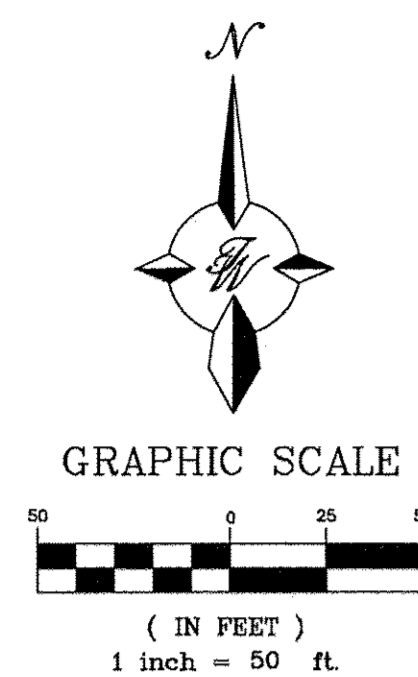
- LEGEND**
- BOUNDARY LINE
  - - - EASEMENT
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING SIDEWALK
  - - - EXISTING CURB & GUTTER
  - ☼ EXISTING STREET LIGHTS
  - ▬ EXISTING LANDSCAPE
  - ☉ EXISTING TREES PER SHEET L-1
  - ☉ EXISTING TREES TO REMAIN

**LANDSCAPE COVERAGE (OVERALL - TRACTS 1 AND 2)**

LOT 1:	353,165
LOT 2:	21,923
	375,088
BUILDING FOOTPRINT LOT 1:	(83,172 + 10,516) = 93,688
BUILDING FOOTPRINT LOT 2:	NONE
TOTAL BLDG:	93,688
NET LOT AREA:	281,400 SF
15% OF NET LOT AREA:	42,210 SF
LANDSCAPE VARIANCE:	19,297 SF
REQUIRED LANDSCAPE:	22,913 SF
PROVIDED LOT 1 & ROW:	20,384 SF
PROVIDED LOT 2 & ROW:	2,610 SF
TOTAL PROVIDED:	22,994 SF



ENGINEER'S SEAL	FOOTHILLS, S.C. MENAU AND JUAN TABO	DRAWN BY DY
	AA - LANDSCAPE PLAN FOR OVERALL SITE	DATE 10-10-17
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2016068-LS
		SHEET # L-0
		JOB # 2016068



**LEGAL DESCRIPTION**  
 LOTS 1 TO 12, BLOCK 1, EVA J ROBERTS ADDITION

**LEGEND**

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING STREET LIGHTS
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	EXISTING INLET

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**EROSION CONTROL NOTES**

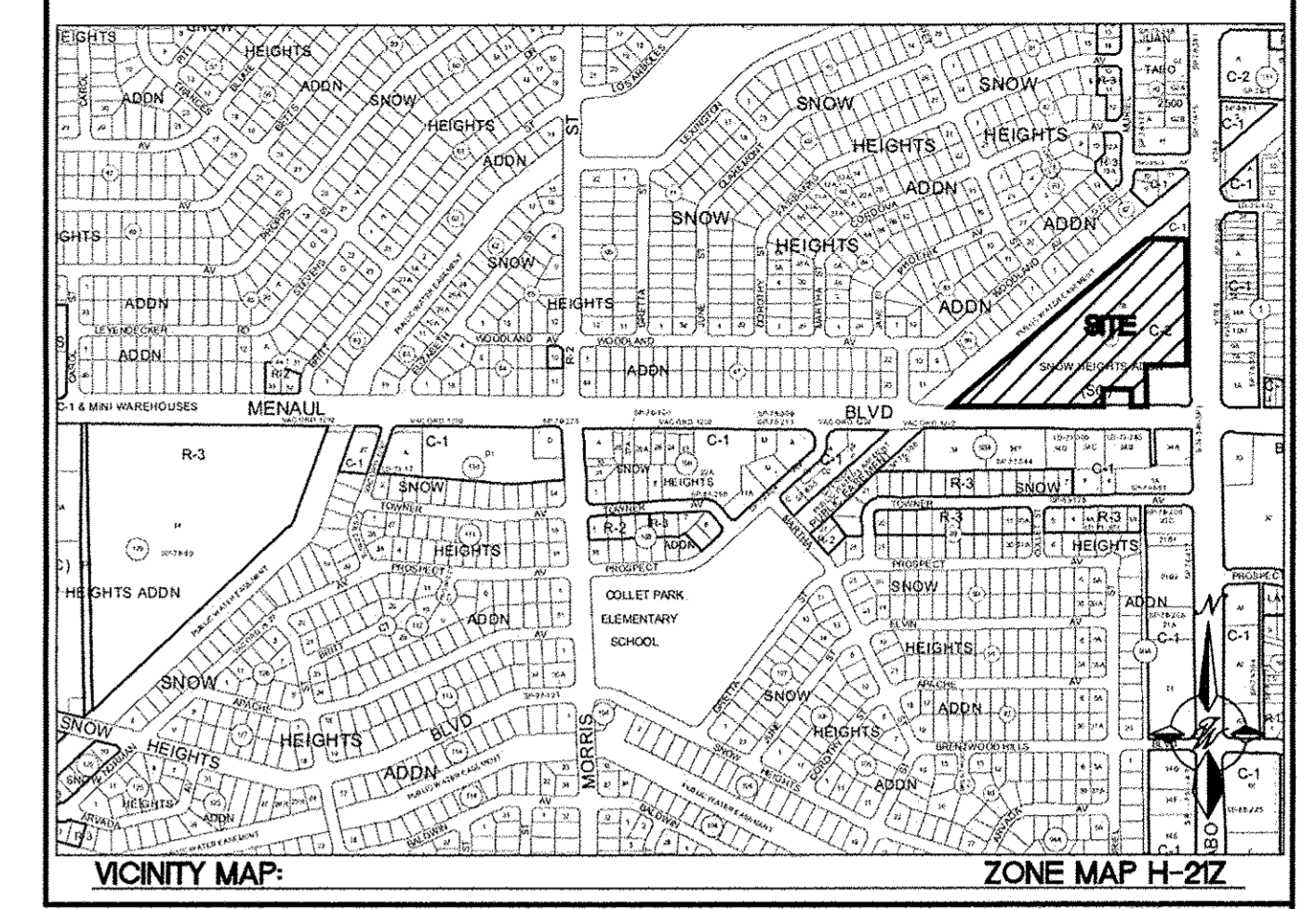
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CONCEPTUAL DRAINAGE CONFIGURATION**

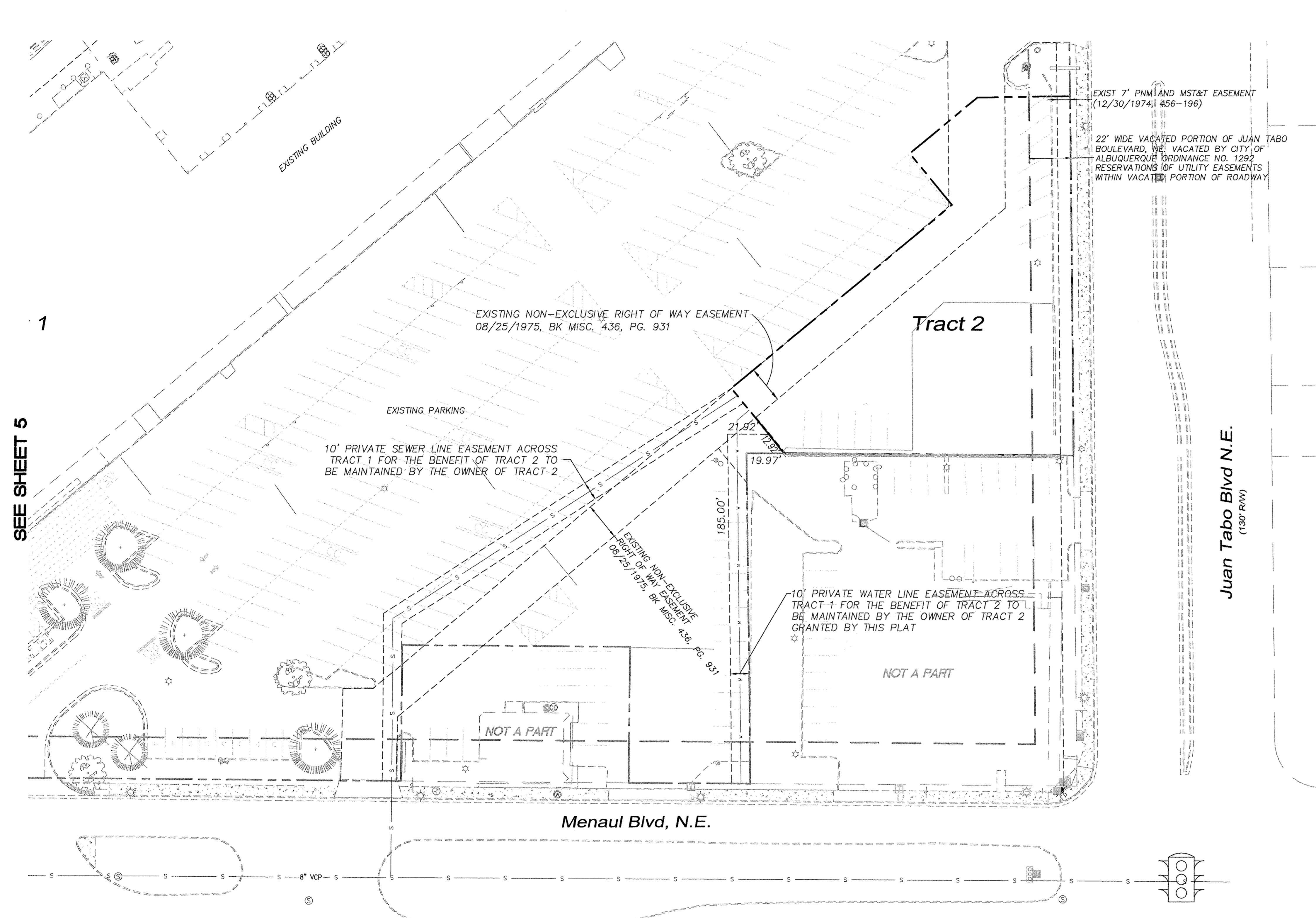
THE PURPOSE OF THIS ADMINISTRATIVE AMENDMENT IS TO DOCUMENT THE PREVIOUSLY APPROVED CONFIGURATION OF PROPOSED TRACT 2 WITHIN THE EXISTING FOOTHILLS SHOPPING CENTER AND TO ALLOW FOR A REPLATTING ACTION; NO CONSTRUCTION IS PROPOSED WITH THIS PLAN. THE SITE IS DEVELOPED AND MOST RECENTLY MODIFIED BY A BUILDING EXPANSION PER GRADING AND DRAINAGE PLANS WITH STAMP DATE 7/21/11 AND DRAINAGE REPORT IN FILE (H21/D043). TRACT 2 LIES WITHIN BASIN A OF THE REFERENCED DRAINAGE REPORT WITH ASSUMED HYDROLOGIC LAND TREATMENTS OF 10% C AND 90% D.

FUTURE DEVELOPMENT OF TRACT 2 WILL REQUIRE DEVELOPMENT AND APPROVAL OF A DETAILED GRADING AND DRAINAGE PLAN WITH ANALYSIS TO DEMONSTRATE EITHER HISTORIC DRAINAGE CHARACTERISTICS WILL BE MAINTAINED, OR DOWNSTREAM CAPACITY ANALYSIS FOR CHANGED CONDITIONS FOR APPROVAL BY THE CITY OF ALBUQUERQUE. ONSITE RETENTION/DETENTION MAY BE REQUIRED WITHIN TRACT 2 AT TIME OF DEVELOPMENT IN CONFORMANCE WITH THE DRAINAGE ORDINANCE FOR FIRST FLUSH TREATMENT REQUIREMENTS.

10/10/17	ADDED SHEET FOR PROPOSED TRACT 2	JDH
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL	FOOTHILLS, S.C. MENAU AND JUAN TABO	DRAWN BY DY
	AA - CONCEPTUAL GRADING & DRAINAGE PLAN (TRACT 2)	DATE 10-10-17
		DRAWING 2016068-GRB
		SHEET # 4A
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2016068



1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.



SEE SHEET 5

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- ▨ SIDEWALK
- ▨ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 6" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - U - - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE - - - EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS - - - EXISTING GAS
- - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
- - - EX. 10" WL - - - EXISTING WATER LINE
- - - EX. 18" RCP - - - EXISTING STORM SEWER LINE

**NOTICE TO CONTRACTORS**

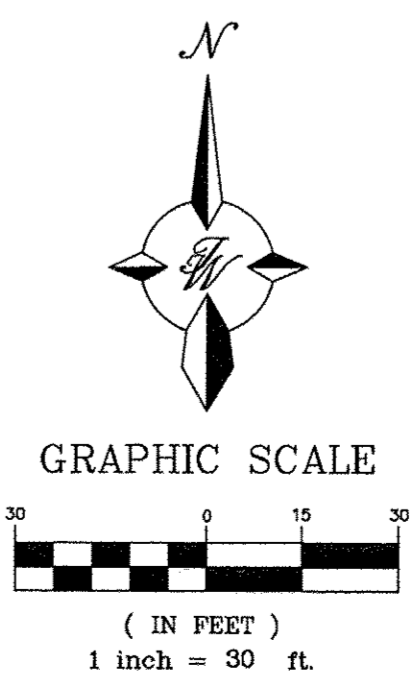
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NO.	10/10/17	ADDED SHEET FOR AA	JDH
DATE		REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	FOOTHILLS, S.C. MENAUL AND JUAN TABO		DRAWN BY DY
	MASTER UTILITY PLAN FOR TRACT 2		DATE 10-10-17
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2016068-MUB
RONALD R. BOHANNAN P.E. #7868			SHEET # 5A
			JOB # 2016068