

**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

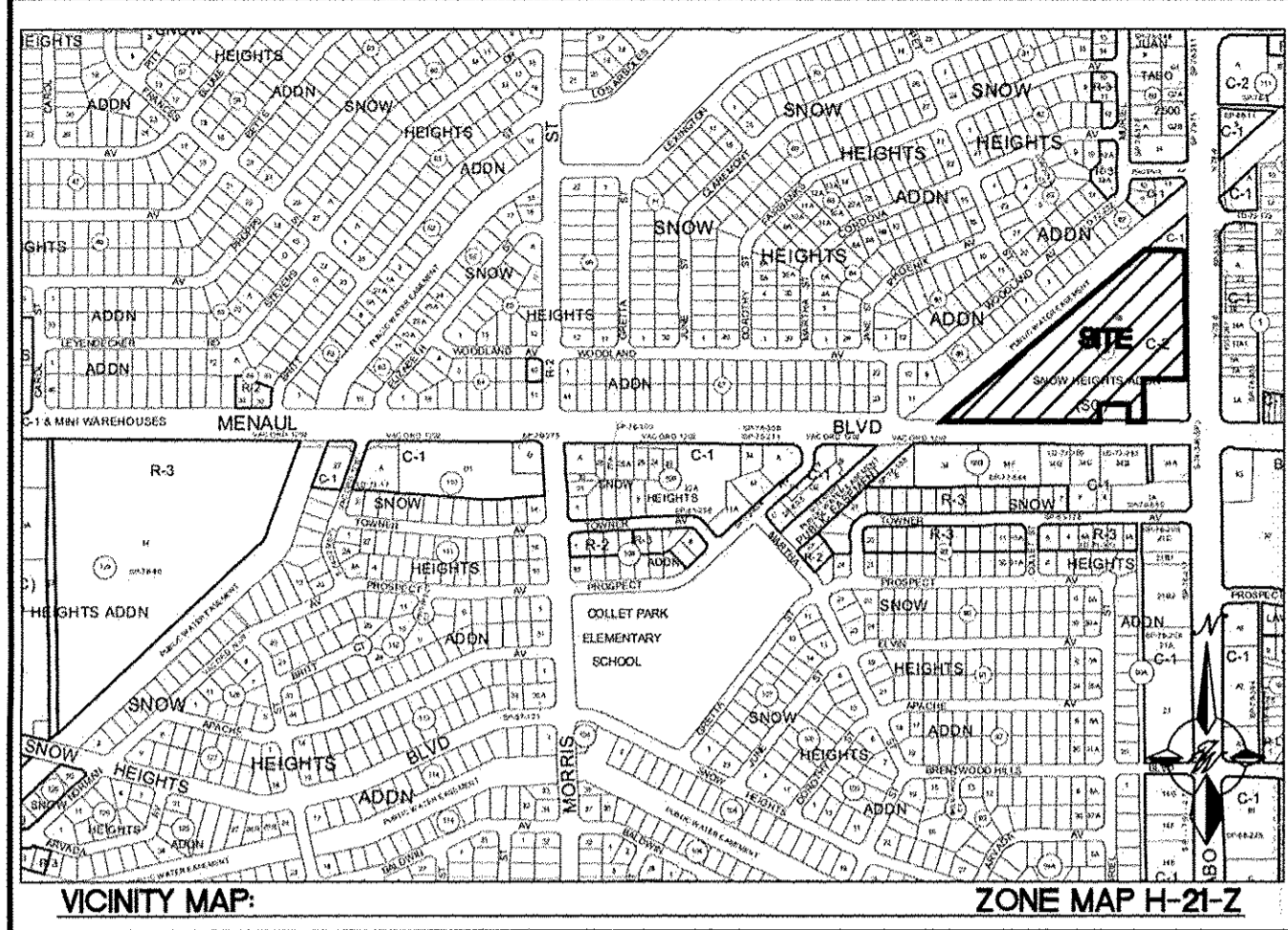
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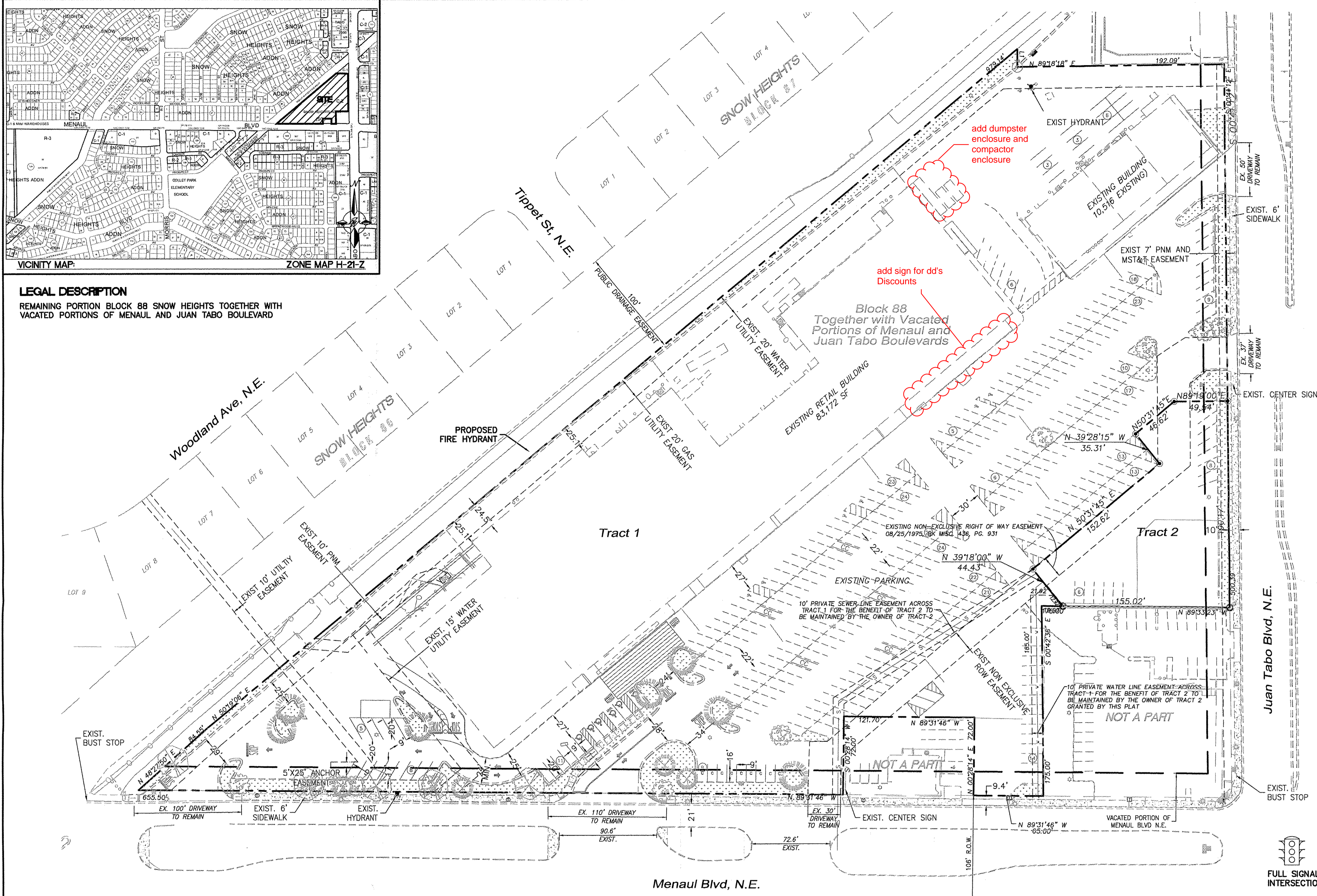
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**APPROVED BY**

**DATE**



**LEGAL DESCRIPTION**  
 REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
 VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD



**SITE DATA**  
 LEGAL DESCRIPTION: TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITION  
 ZONING: C-2 (SC)  
 SITE AREA: 8.61 ACRES (TRACT 1: 8.1075 AC)  
 (TRACT 2: 0.5033 AC)

**PROPOSED USE/EXISTING USE:**  
 COMMERCIAL RETAIL

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
 EXISTING INGRESS AND EGRESS IS PROVIDED DIRECTLY TO MENAUL BLVD AT FOUR DRIVEWAY APRONS AND DIRECTLY TO JUAN TABO BLVD AT THREE DRIVEWAY APRONS.

THE PROPOSED BUILDING ADDITION WILL REQUIRE THE TWO MOST SOUTHWESTERLY DRIVEWAY APRONS RECONFIGURED AS SHOWN TO CONTINUE TO MAINTAIN INGRESS AND EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MENAUL BLVD WHICH IS ADA COMPLIANT.

**INTERNAL CIRCULATION REQUIREMENTS:**  
 AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE ACCESS TO THE TWO SEPARATE RESTAURANT PADS ALONG MENAUL BOULEVARD WHICH ARE "NOT A PART" OF THIS SITE DEVELOPMENT PLAN.

**MAXIMUM BUILDING HEIGHT ALLOWED:**  
 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

**PROPOSED BUILDING HEIGHT:** 32' MAXIMUM

**MINIMUM BUILDING SETBACK:**  
 THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

**MAXIMUM TOTAL DWELLING UNITS:**  
 N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING

**NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:**  
 NO REQUIREMENT. (0.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED)

**PHASING**

NONE.

**STRUCTURE LOCATIONS:**

EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY TENANT SPACE TO BE DEMOLISHED AND REBUILT AS INDICATED ON THE PLAN.

**STRUCTURE ELEVATIONS AND DIMENSIONS:**

**BUILDING AREA:**

WEST BLDG:	82,107 SF (EXISTING) + 1,065 SF (PROPOSED EXPANSION)
	83,172 SF (AFTER EXPANSION)
EXISTING EAST BLDG:	10,516 SF
TOTAL:	93,688 SF (AFTER EXPANSION)

SEE SHEETS 8 THROUGH 9 FOR STRUCTURE ELEVATIONS

**PARKING FACILITIES**

**PARKING CALCULATIONS (TRACT 1):**

1 SPACE/200 SF (FIRST 15,000 SF):	75 SPACES
1 SPACE/250 SF (15,000 TO 60,000 SF):	180 SPACES
1 SPACE/300 SF (> 60,000 SF):	112 SPACES
REQUIRED (GROSS):	367 SPACES
10% TRANSIT REDUCTION:	-37 SPACES
TOTAL REQUIRED:	330 SPACES
TOTAL PROVIDED:	330 SPACES
CART CORRALS PROVIDED:	6 SPACES
HC PARKING REQUIRED:	12 SPACES (2 VAN ACCESSIBLE)

NOTE: BUILDING ADDITION DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING REGULATIONS APPLY.

**PARKING CALCULATIONS (TRACT 2):**

PARKING REQUIRED:	TBD
PARKING PROVIDED:	14 SPACES

**LOADING FACILITIES**

DELIVERY DOCK IS LOCATED AT THE REAR (NORTH SIDE) OF BUILDING.

**NON AUTO TRANSPORTATION**

PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRANSIT STOPS AT THE SITE SERVICED WITH ROUTES 1 AND 8.

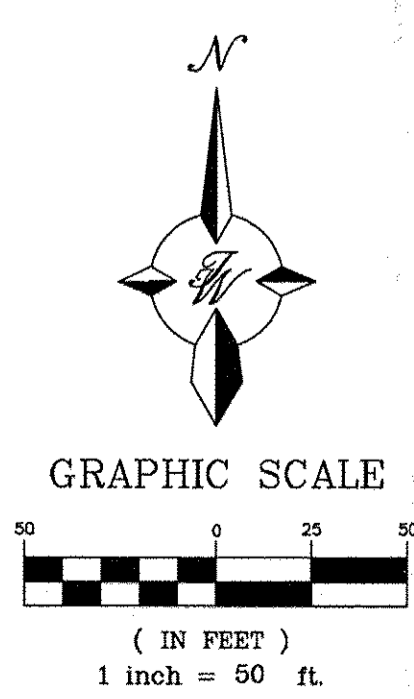
- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
  - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR THERMOPLASTIC.
  - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

ADMINISTRATIVE AMENDMENT  
 FILE # 7744 PROJECT # 1002445  
 New Tract 2  
 APPROVED BY: [Signature]  
 DATE: 10/10/2017

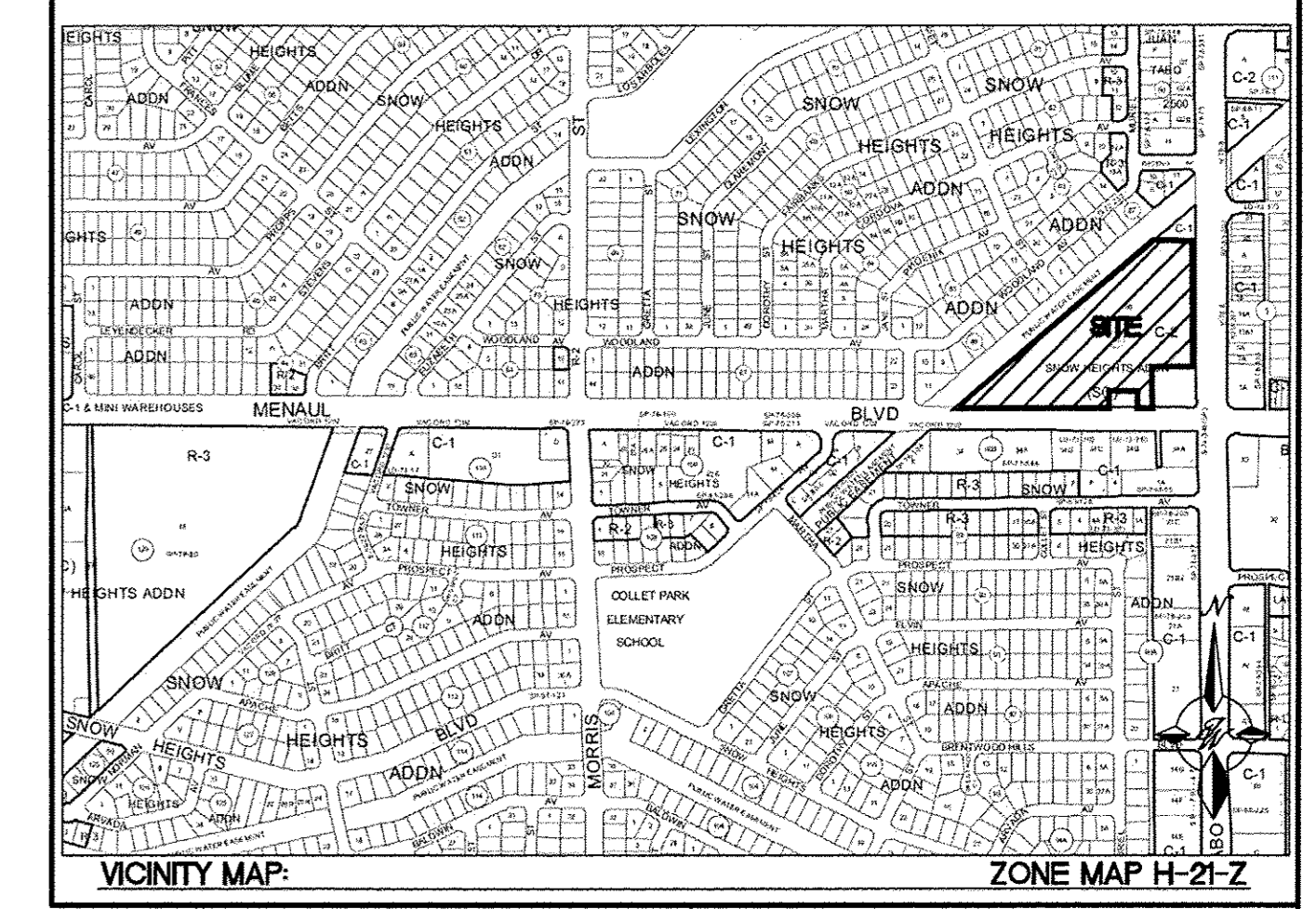
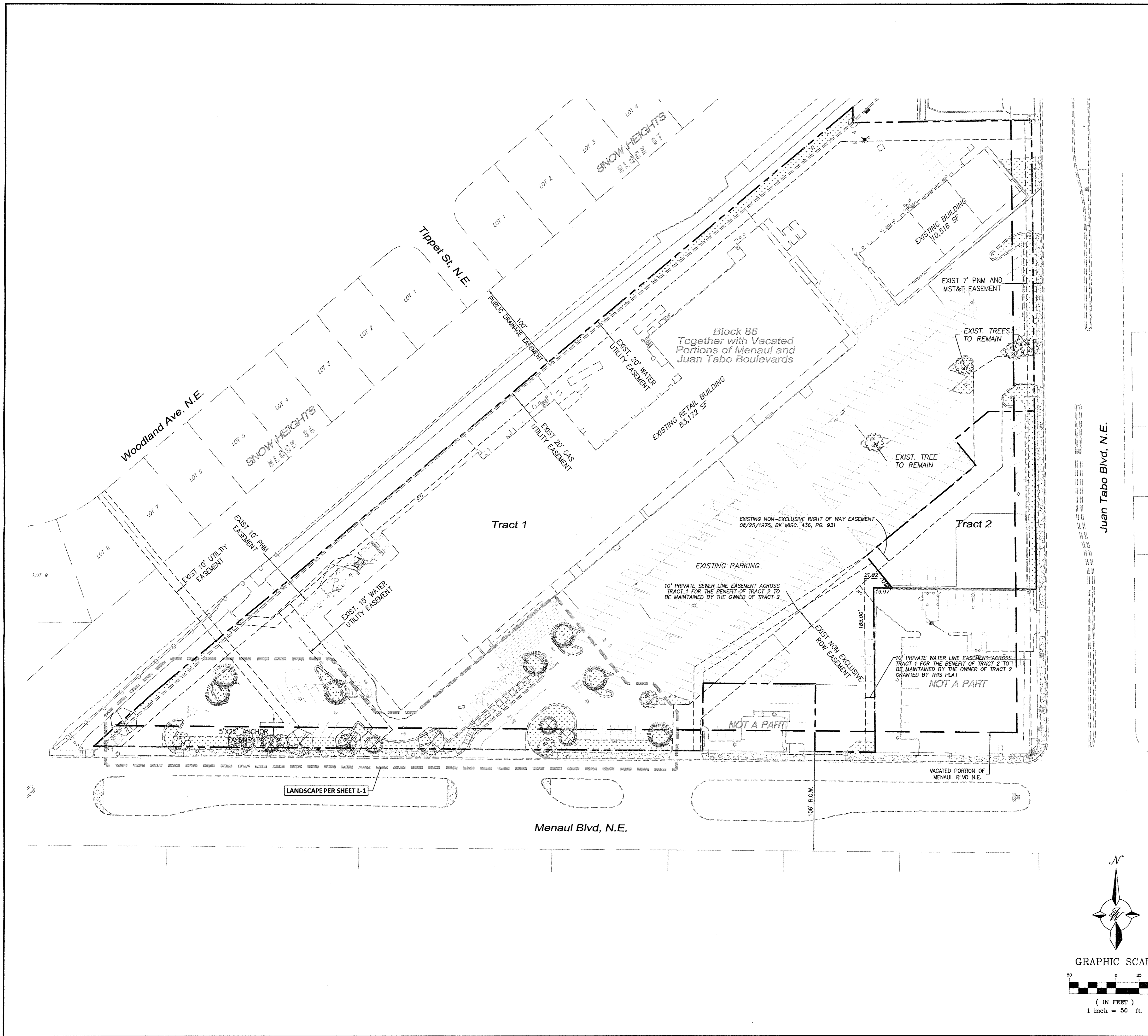
**LEGEND**

[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	EXISTING STREET LIGHTS
[Symbol]	HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
[Symbol]	HEAVY DUTY CONCRETE PAVEMENT
[Symbol]	SAWCUT
[Symbol]	STANDARD DUTY ASPHALT
[Symbol]	ADA ACCESSIBLE ROUTE
[Symbol]	PROPOSED PARKING SPACES
[Symbol]	CART CORRAL
[Symbol]	SITE LIGHTING (SEE LIGHTING PLAN)

- INDEX TO DRAWINGS**
- SITE PLAN FOR BUILDING PERMIT
  - SITE PLAN
  - L1-LANDSCAPING PLAN
  - GRADING PLAN
  - MASTER UTILITY PLAN
  - DETAILS
  - DETAILS
  - BUILDING ELEVATIONS
  - BUILDING ELEVATIONS
  - AA SITE PLAN (PREVIOUSLY APPROVED)



ENGINEER'S SEAL	<b>FOOTHILLS, S.C.</b> MENAUL AND JUAN TABO	DRAWN BY DY
	AA - SITE PLAN FOR BUILDING PERMIT (OVERALL)	DATE 10-10-17
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2016068-SPB
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>1</b>
		JOB # 2016068

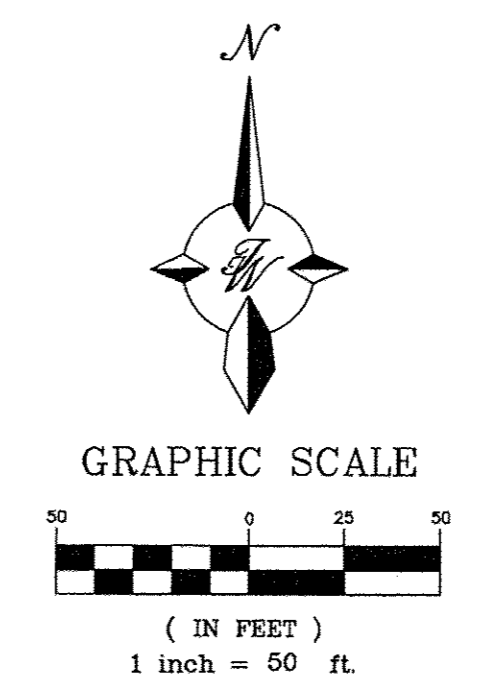


**LEGAL DESCRIPTION**  
 TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITON

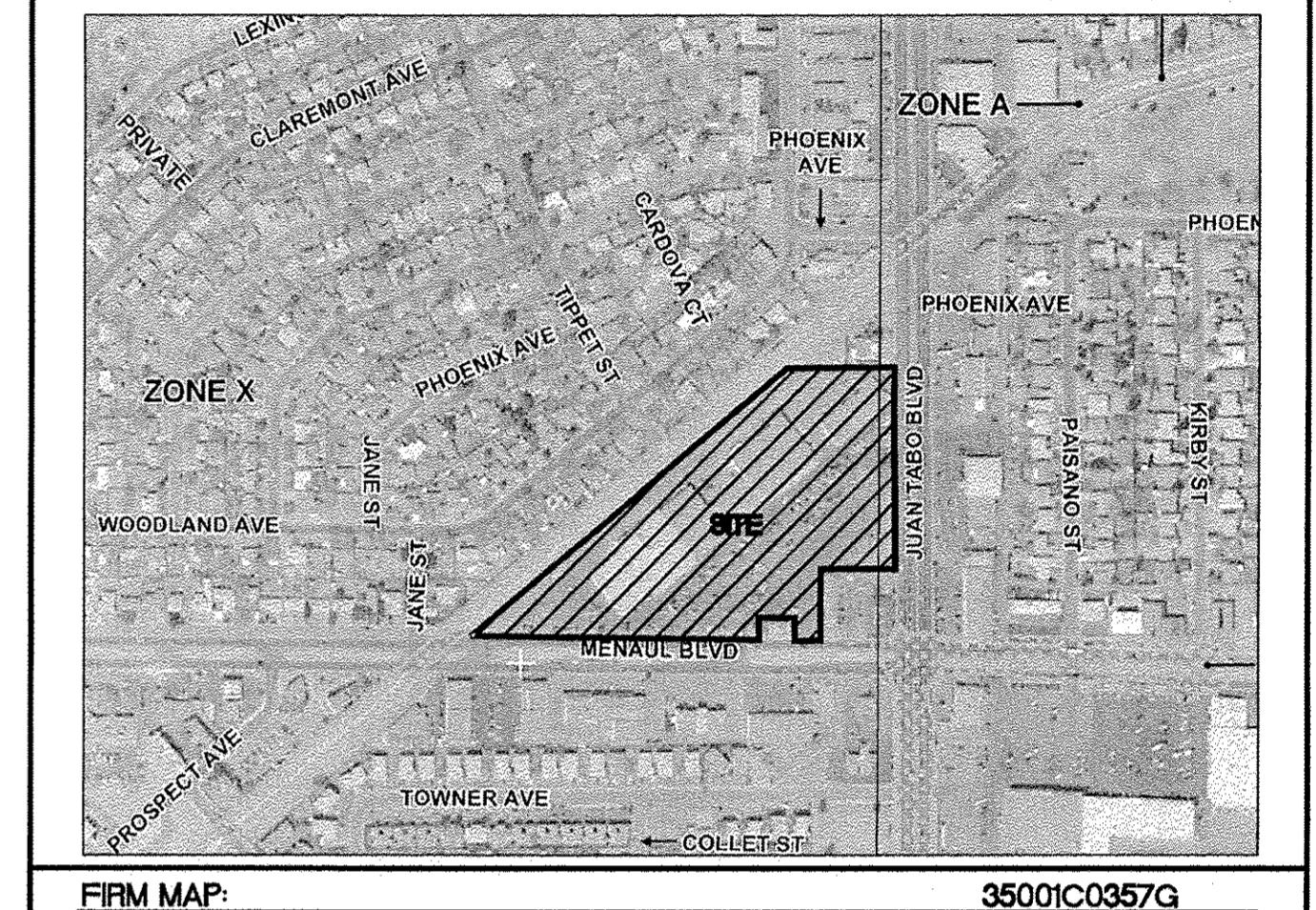
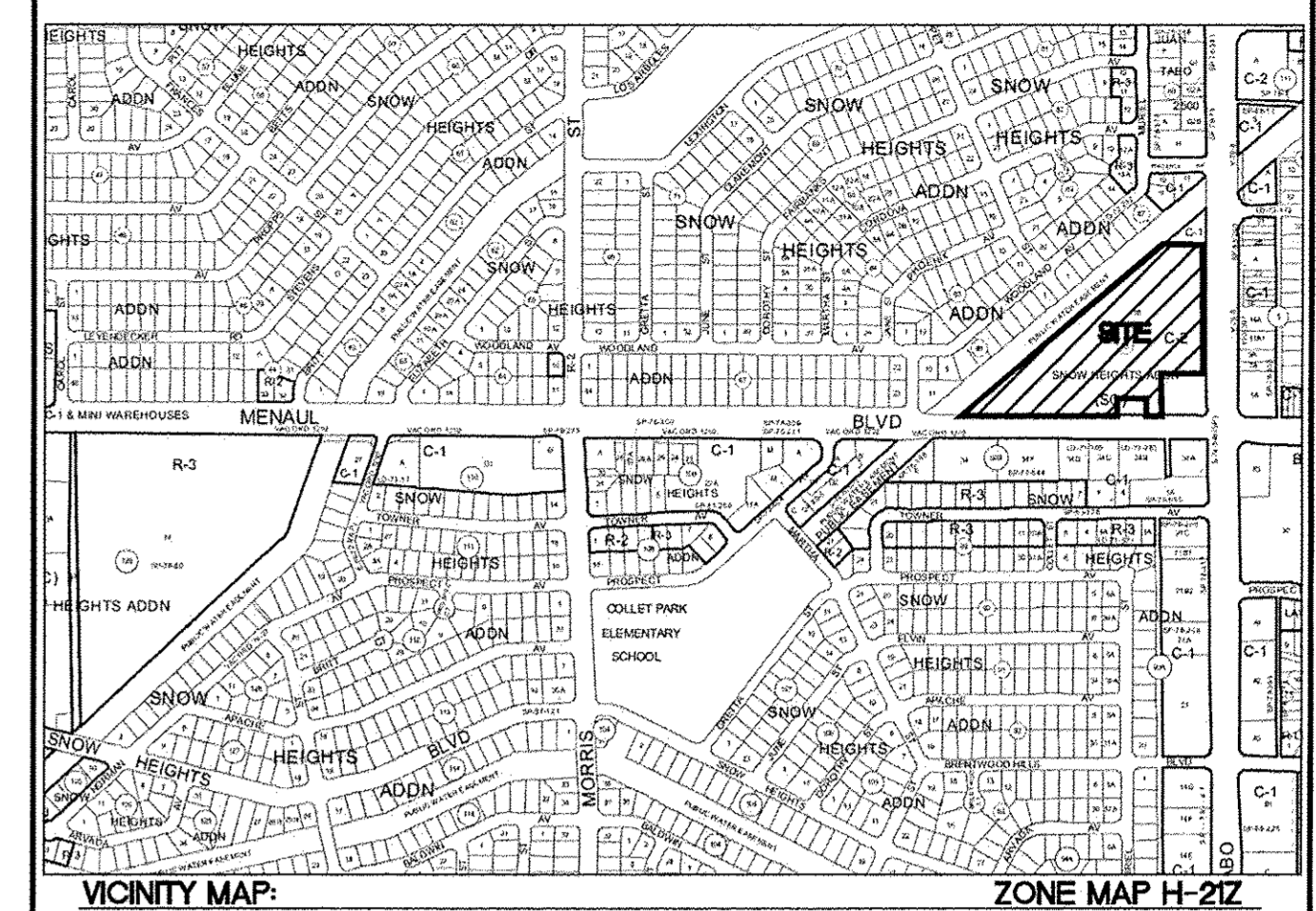
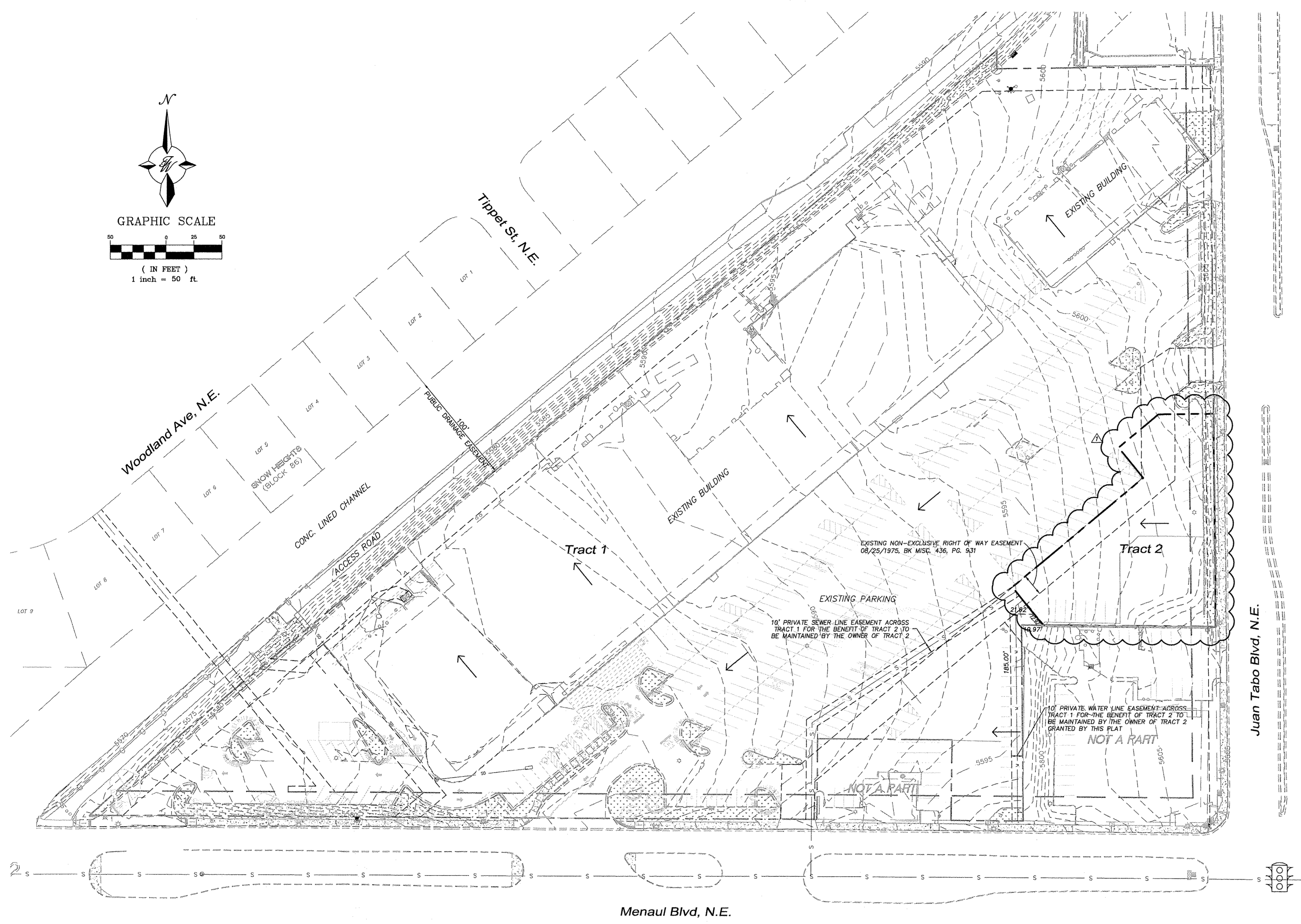
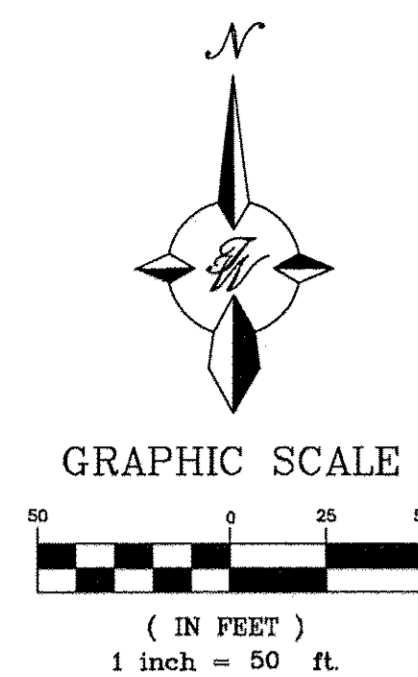
- LEGEND**
- BOUNDARY LINE
  - - - EASEMENT
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING SIDEWALK
  - - - EXISTING CURB & GUTTER
  - ☼ EXISTING STREET LIGHTS
  - ▨ EXISTING LANDSCAPE
  - ☉ EXISTING TREES PER SHEET L-1
  - ☉ EXISTING TREES TO REMAIN

**LANDSCAPE COVERAGE (OVERALL - TRACTS 1 AND 2)**

LOT 1:	353,165
LOT 2:	21,923
	375,088
<b>BUILDING FOOTPRINT LOT 1:</b>	(83,172 + 10,516) = 93,688
<b>BUILDING FOOTPRINT LOT 2:</b>	NONE
<b>TOTAL BLDG:</b>	93,688
<b>NET LOT AREA:</b>	281,400 SF
<b>15% OF NET LOT AREA:</b>	42,210 SF
<b>LANDSCAPE VARIANCE:</b>	19,297 SF
<b>REQUIRED LANDSCAPE:</b>	22,913 SF
<b>PROVIDED LOT 1 &amp; ROW:</b>	20,384 SF
<b>PROVIDED LOT 2 &amp; ROW:</b>	2,610 SF
<b>TOTAL PROVIDED:</b>	22,994 SF



ENGINEER'S SEAL	<b>FOOTHILLS, S.C.</b>	DRAWN BY DY
	<b>MENAU AND JUAN TABO</b>	DATE 10-10-17
	<b>AA - LANDSCAPE PLAN FOR OVERALL SITE</b>	DRAWING 2016068-LS
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>L-0</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2016068



**LEGAL DESCRIPTION**  
 LOTS 1 TO 12, BLOCK 1, EVA J ROBERTS ADDITION

**LEGEND**

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING STREET LIGHTS
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	EXISTING INLET

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**EROSION CONTROL NOTES**

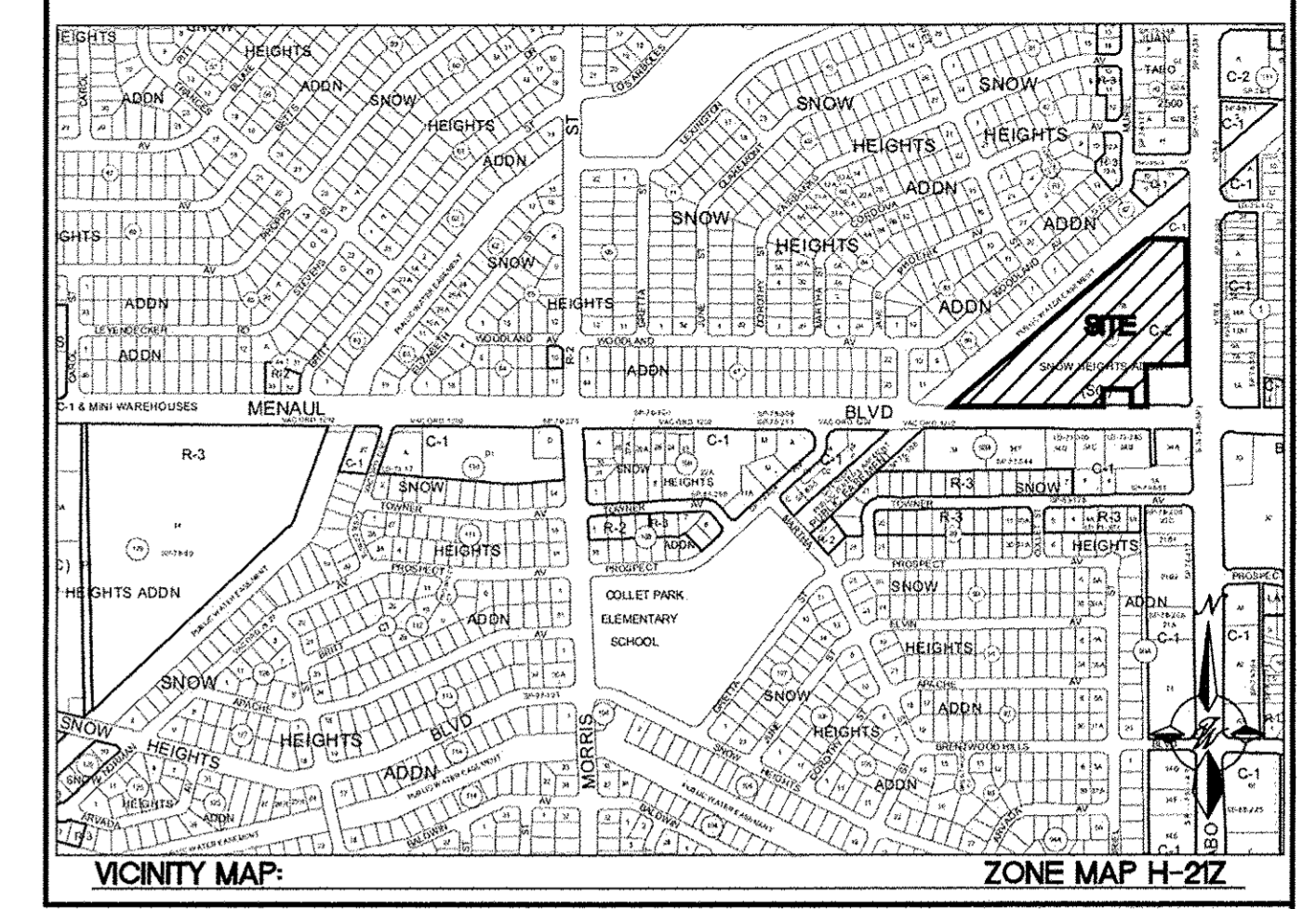
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CONCEPTUAL DRAINAGE CONFIGURATION**

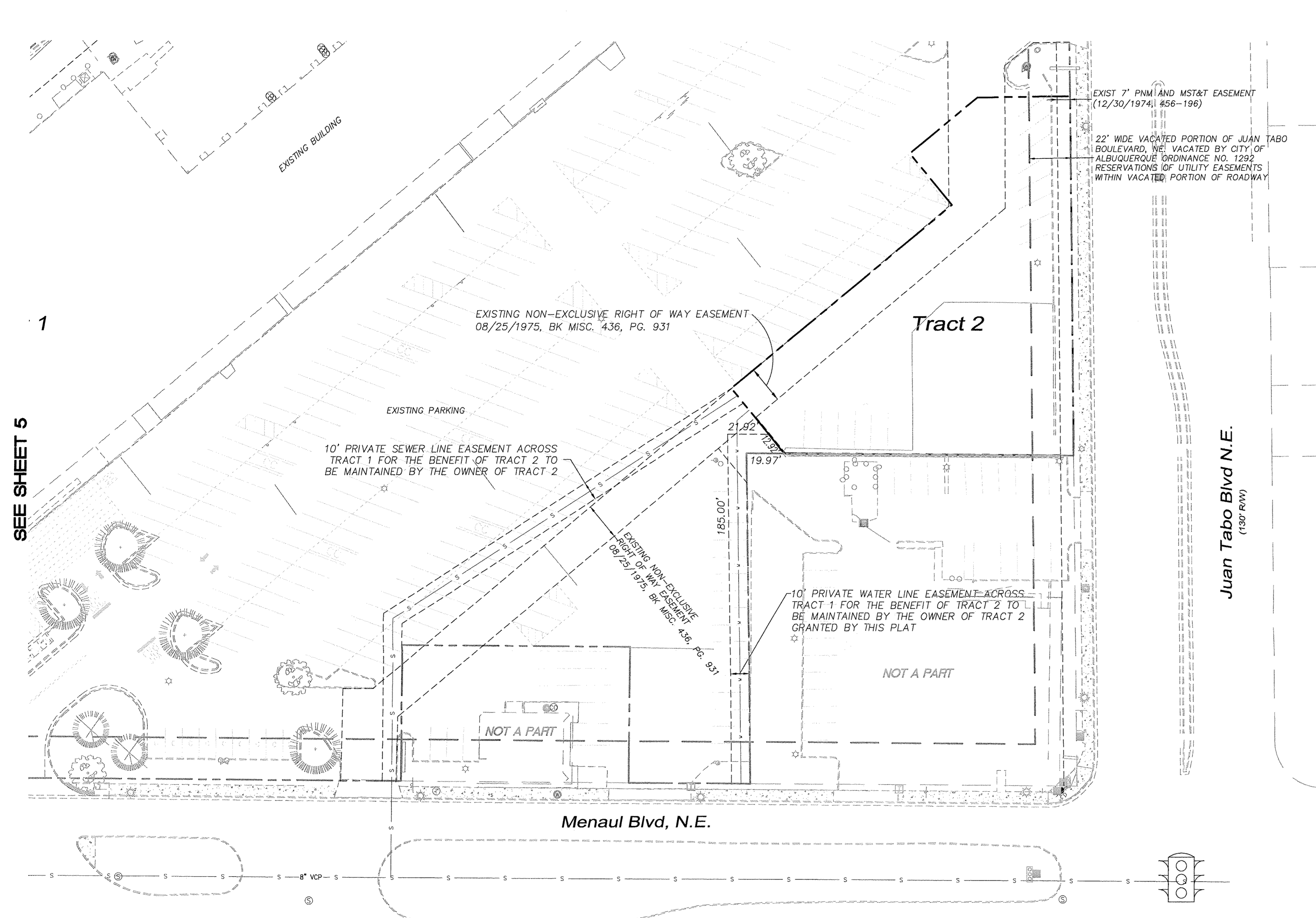
THE PURPOSE OF THIS ADMINISTRATIVE AMENDMENT IS TO DOCUMENT THE PREVIOUSLY APPROVED CONFIGURATION OF PROPOSED TRACT 2 WITHIN THE EXISTING FOOTHILLS SHOPPING CENTER AND TO ALLOW FOR A REPLATTING ACTION; NO CONSTRUCTION IS PROPOSED WITH THIS PLAN. THE SITE IS DEVELOPED AND MOST RECENTLY MODIFIED BY A BUILDING EXPANSION PER GRADING AND DRAINAGE PLANS WITH STAMP DATE 7/21/11 AND DRAINAGE REPORT IN FILE (H21/D043). TRACT 2 LIES WITHIN BASIN A OF THE REFERENCED DRAINAGE REPORT WITH ASSUMED HYDROLOGIC LAND TREATMENTS OF 10% C AND 90% D.

FUTURE DEVELOPMENT OF TRACT 2 WILL REQUIRE DEVELOPMENT AND APPROVAL OF A DETAILED GRADING AND DRAINAGE PLAN WITH ANALYSIS TO DEMONSTRATE EITHER HISTORIC DRAINAGE CHARACTERISTICS WILL BE MAINTAINED, OR DOWNSTREAM CAPACITY ANALYSIS FOR CHANGED CONDITIONS FOR APPROVAL BY THE CITY OF ALBUQUERQUE. ONSITE RETENTION/DETENTION MAY BE REQUIRED WITHIN TRACT 2 AT TIME OF DEVELOPMENT IN CONFORMANCE WITH THE DRAINAGE ORDINANCE FOR FIRST FLUSH TREATMENT REQUIREMENTS.

NO.	10/10/17	ADDED SHEET FOR PROPOSED TRACT 2	JDH
DATE		REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	FOOTHILLS, S.C. MENAUL AND JUAN TABO		DRAWN BY DY
	AA - CONCEPTUAL GRADING & DRAINAGE PLAN (TRACT 2)		DATE 10-10-17
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2016068-GRB
			SHEET # 4A
RONALD R. BOHANNAN P.E. #7868			JOB # 2016068



1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.



SEE SHEET 5

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- ▨ SIDEWALK
- ▨ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 6" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - U - - - EXISTING OVERHEAD UTILITIES
- - - EX. UGE - - - EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS - - - EXISTING GAS
- - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
- - - EX. 10" WL - - - EXISTING WATER LINE
- - - EX. 18" RCP - - - EXISTING STORM SEWER LINE

**NOTICE TO CONTRACTORS**

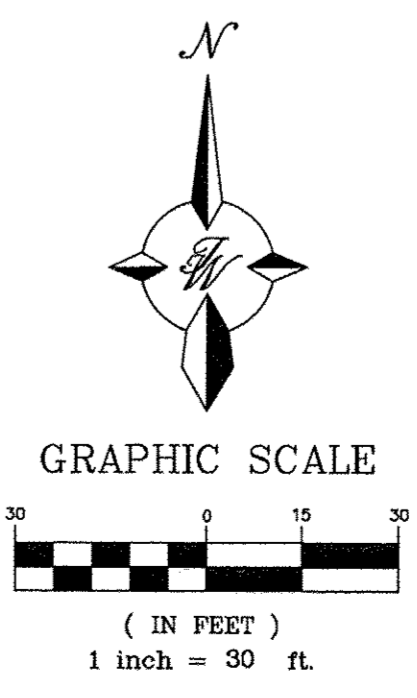
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



NO.	10/10/17	ADDED SHEET FOR AA	JDH
DATE		REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	FOOTHILLS, S.C. MENAUL AND JUAN TABO		DRAWN BY DY
	MASTER UTILITY PLAN FOR TRACT 2		DATE 10-10-17
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2016068-MUB
RONALD R. BOHANNAN P.E. #7868			SHEET # 5A
			JOB # 2016068

**UTILITY NOTES:**

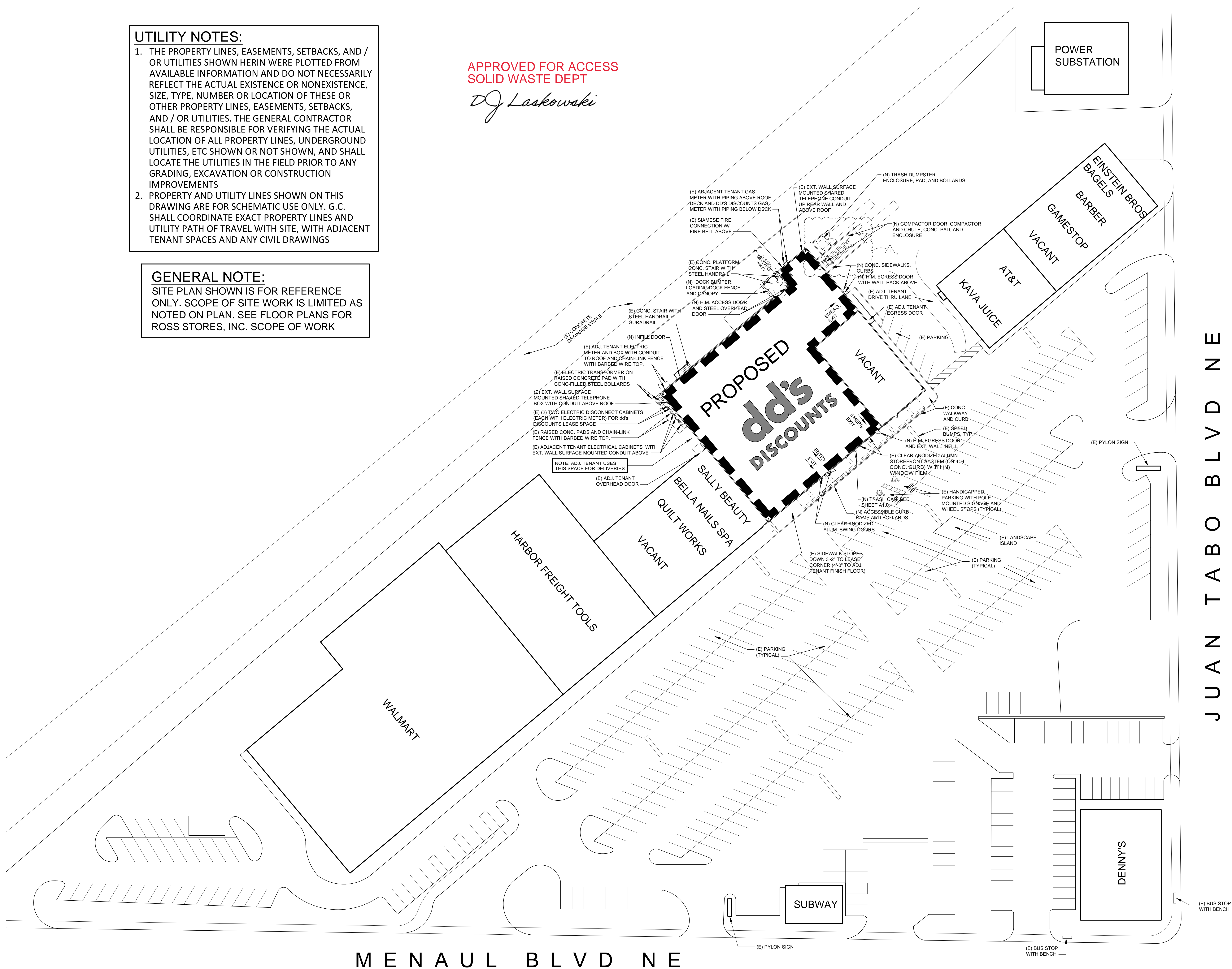
1. THE PROPERTY LINES, EASEMENTS, SETBACKS, AND / OR UTILITIES SHOWN HERIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE OR NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER PROPERTY LINES, EASEMENTS, SETBACKS, AND / OR UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL PROPERTY LINES, UNDERGROUND UTILITIES, ETC SHOWN OR NOT SHOWN, AND SHALL LOCATE THE UTILITIES IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION IMPROVEMENTS
2. PROPERTY AND UTILITY LINES SHOWN ON THIS DRAWING ARE FOR SCHEMATIC USE ONLY. G.C. SHALL COORDINATE EXACT PROPERTY LINES AND UTILITY PATH OF TRAVEL WITH SITE, WITH ADJACENT TENANT SPACES AND ANY CIVIL DRAWINGS

**GENERAL NOTE:**

SITE PLAN SHOWN IS FOR REFERENCE ONLY. SCOPE OF SITE WORK IS LIMITED AS NOTED ON PLAN. SEE FLOOR PLANS FOR ROSS STORES, INC. SCOPE OF WORK

APPROVED FOR ACCESS  
SOLID WASTE DEPT

*DJ Laskowski*



E. ALBUQUERQUE NM  
11145 MENAUL BLVD  
ALBUQUERQUE, NM 87112  
dd's DISCOUNTS STORE #5460

**dd's**  
DISCOUNTS

No.	Description	Date
1	CONSTR. DOC. & REVISIONS	01/19/21
1	CODE RESPONSE/ BID ADD # 1	

FOR REFERENCE ONLY

Drawn By/Checked By: TAK/ALS  
Project Number: 919509  
Owner/Permit Date: 12-14-20  
Bid Date: 01-11-21

SHOPPING CENTER SITE PLAN

**AS1.0**

ROSS CRITERIA DATE: 22K APRIL 2019

1 EXISTING SITE PLAN  
SCALE: 1" = 30'-0"

**GENERAL NOTES:**  
1. SEE ARCHITECTURAL GENERAL REQUIREMENTS ON SHEETS A0.1 AND A0.2 FOR ADDITIONAL INFORMATION.  
2. (E) DENOTES EXISTING TO REMAIN.  
3. SEE ROOM FINISH SCHEDULE FOR FLOOR AND WALL FINISHES.  
4. THE LOCATION OF "BACK OF HOUSE" FULL HEIGHT WALL TO BE LOCATED ACCORDING TO THE OFFICE AREA, FITTING ROOMS, RESTROOMS AND PROCESSING ROOM ARE PLACED TO COMPLY WITH ACCESSIBLE DESIGN PER ENLARGED FLOOR PLANS. SALES FLOOR DIMENSIONS ARE TO BE VERIFIED IN FIELD.  
5. TACTILE "EXIT" SIGNS, SEE SHEET A5.0 FOR LOCATIONS.  
6. PATCH AND REPAIR ALL EXISTING GYPSUM WALLBOARD TO REMAIN (FULL HEIGHT) THROUGHOUT ROSS LEASED SPACE AND PREPARE WALL SURFACES FOR NEW SCHEDULED WALL FINISH.  
7. G.C. SHALL BE RESPONSIBLE FOR RETURNING ALL AREAS DISTURBED OR DISRUPTED BY CONSTRUCTION ACTIVITIES TO PRE-CONSTRUCTION CONDITION. EVERY EFFORT SHALL BE MADE TO PROTECT ADJACENT STRUCTURES AND VEGETATION FROM DAMAGE DUE TO EQUIPMENT USAGE AND CONSTRUCTION. G.C. SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO PUBLIC.  
8. ADA ACCESSIBLE ENTRY / EXIT DOORS: GENERAL CONTRACTOR SHALL FIELD VERIFY GRADES AND SLOPES AT EXISTING AND NEW EXTERIOR DOORS. PROVIDE A 9" (MIN.) LANDING EXTENDING OUT FROM BUILDING AND EXTENDING 24" (MIN.) BEYOND DOOR FULL SIDE OF DOOR AND 1'-0" AT HINGE SIDE OF DOOR. SLOPE SHALL BE 2% MAX. IF GRADES EXCEED A 2% SLOPE CONTACT ARCHITECT WITH INFORMATION.

**FINAL FIXTURE LAYOUT:**  
1. ALL AISLES WIDTHS TO BE MAINTAINED AT A MINIMUM OF 3'-0".  
2. FINAL EGRESS PATH OF TRAVEL AND FIRE EXTINGUISHER LOCATIONS TO BE COORDINATED WITH ROSS STORES, INC. "FINAL" FIXTURE SP-1 LAYOUT PLAN AND FIRE OFFICIALS.

**CHECKOUT AREA REQUIREMENTS:**  
1. CHECKOUT SHOWN ON PLAN IS FOR CONCEPTUAL SCOPE OF WORK ONLY; LOCATIONS WILL BE PROVIDED ON ROSS STORES, INC. FIXTURE PLAN.  
2. FASTLANE POWER POLES ARE TO BE SUPPLIED BY ROSS STORES, INC. & INSTALLED BY ROSS STORES, INC. FIXTURE VENDOR.  
3. FRONT END CASEWORK SUPPLIED & INSTALLED BY ROSS STORES, INC. MILLWORK VENDOR INCLUDING "PLUG-IN" CONNECTION TO FASTLANE SYSTEM.

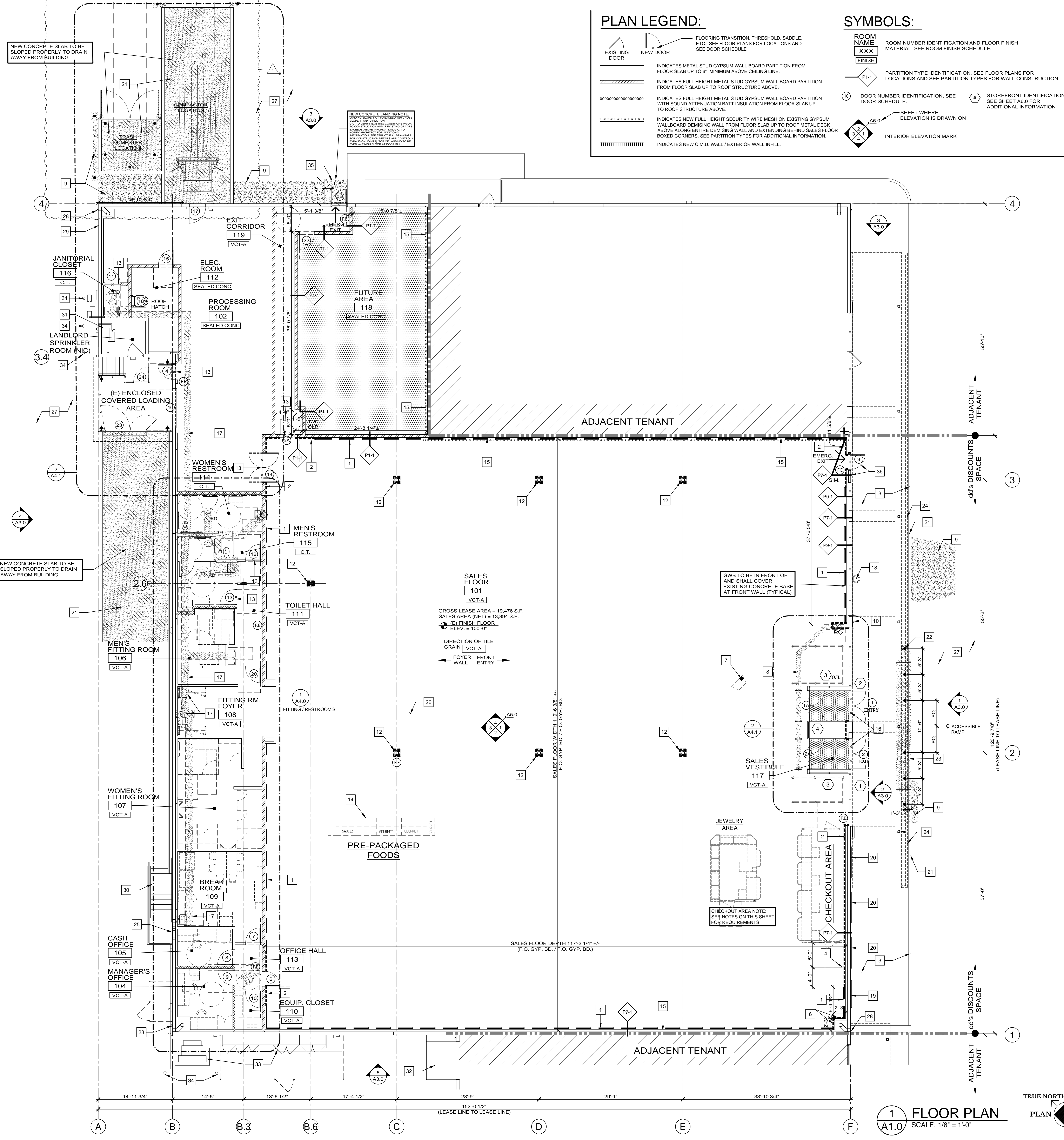
**ACCESSIBLE CHECKOUT SALES COUNTER NOTE:**  
ALL EQUIPMENT PROVIDED AND INSTALLED BY ROSS STORES, INC. MUST COMPLY WITH LOCAL GOVERNING CODES AND CURRENT ICC/ANSI 904 FOR SALES AND SERVICE COUNTERS. NOTE THAT PER ANSI 904.3 THE ACCESSIBLE PORTION OF COUNTER SHALL EXTEND THE SAME DEPTH AS THE NON-ACCESSIBLE COUNTER. NO ATTACHED COUNTERS ON THE FRONT, INCLUDING FLIP UP COUNTERS, ARE ALLOWED TO SERVE AS THE ACCESSIBLE COUNTER. THIS IS REINFORCED BY THE IBC COMMENTARY WHICH STATES "AN EXTRA PIECE OF COUNTER ATTACHED ON THE FRONT OF THE SERVICE COUNTER IS NOT ACCEPTABLE IN NEW CONSTRUCTION".  
AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36 INCHES (915 MM) IN LENGTH WITH A MAXIMUM HEIGHT OF 34 INCHES (864 MM) ABOVE THE FINISH FLOOR AND LOCATED ON AN ACCESSIBLE ROUTE.

**FIRE EXTINGUISHER'S NOTE:**  
(E) CONFIRM LOCATIONS, TYPE & QUANTITY OF FIRE EXTINGUISHERS TO BE PROVIDED WITH LOCAL MARSHALL MINIMUM OF ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN 75' MAXIMUM TRAVEL DISTANCE. PROVIDE A RATING OF 2A40BC AT EACH REQUIRED EXIT AND SHALL BE LOCATED WITHIN 75' TRAVEL DISTANCE. COORDINATE FINAL LOCATIONS WITH ROSS STORES MANAGER AND LOCAL FIRE OFFICIALS. SEE ARCHITECTURAL GENERAL REQUIREMENTS SECTION 4.10 ON SHEET A0.1

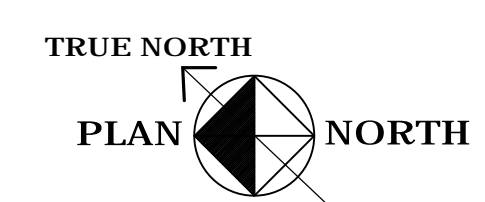
**KEYED NOTES:**  
1. SALES FLOOR: 3 ROWS OF 1X4 WOOD NAILERS @ PERIMETER WALLS AS SHOWN. SEE SALES FLOOR INTERIOR ELEVATIONS FOR LOCATIONS AND DETAIL 5/A5.1 FOR SECTION.  
2. SALES FLOOR: 6'-0" HIGH VINYL WALL PANEL SYSTEM @ PERIMETER WALLS. COLUMN LOCATIONS, BOXED CORNERS AND AT PERIMETER DOOR LOCATIONS AS SHOWN ON PLAN. SEE SALES FLOOR INTERIOR ELEVATIONS FOR DIMENSIONED LOCATIONS AND DETAILS 6, 7 ON SHEET A5.1  
3. (E) CONCRETE CURB AND WALKWAY  
4. TERMINATION POINT OF ROSS FIXTURES. SEE SALES FLOOR INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.  
5. TERMINATION POINT OF VINYL WALL PANEL / WOOD NAILERS. SEE SALES FLOOR INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.  
6. BOXED CORNER W/ 6'-0" HIGH VINYL WALL PANEL SYSTEM. SEE DETAIL 4/ A5.1 AND 6/ A5.1  
7. LP STATION AND POWER POLE SUPPLIED AND INSTALLED BY ROSS STORES, INC.  
8. (E) (SHOWN AS HATCHED AREA) ONCE ELECTRICAL EAS WIRING IS COMPLETE, INFILL CONCRETE FLOOR SLAB AND PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH. SEE STRUCTURAL DRAWINGS.  
9. ASPHALT INFILL TO MATCH EXISTING ADJACENT ASPHALT SURFACE  
10. KNOX BOX - COORDINATE EXACT LOCATION WITH LOCAL FIRE MARSHALL  
11. NEW HOLLOW METAL DOOR AND EIPS ON STUD FRAMING WHERE PORTION OF EXISTING STOREFRONT SYSTEM WAS REMOVED. SEE DOOR SCHEDULE AND ELEVATIONS.  
12. EXISTING EXPOSED STEEL COLUMN W/ NEW 6'-0" HIGH VINYL WALL PANEL SYSTEM WRAP AND PAINT ABOVE. SEE DETAIL 17/A5.1 TYPICAL AT ALL EXPOSED SALES FLOOR STEEL COLUMN LOCATIONS.  
13. LOCATE VCT FLOOR TILE TRANSITION AT THE DOOR STOP OF THE PULL SIDE OF DOOR FRAME. PROCESSING ROOM #14. LOCATE TRANSITION ON THE PROCESSING ROOM SIDE OF DOOR FRAME.  
14. PRE-PACKAGE FOOD, SEE SHEET A0.0 FOR REQUIREMENTS.  
15. FACE OF NEW 5/8" GYPSUM WALLBOARD FROM FINISH FLOOR UP TO MIN. 6" ABOVE CEILING LINE ON NEW FULL HEIGHT SECURITY MESH ON (E) GWB DEMISING WALL. SEE PARTITION TYPE GENERAL NOTES FOR SECURITY MESH SPECIFICATION. EXTEND SECURITY MESH BEHIND BOXED CORNER LOCATIONS.  
16. NEW STOREFRONT SYSTEM INFILL IN EXISTING STOREFRONT SYSTEM. SEE EXTERIOR ELEVATIONS AND SHEET A0.0.  
17. CONC. FLOOR SLAB INFILL FOR NEW PLUMBING LINES. PATCH AND REPAIR FLOOR SLAB TO RECEIVE NEW FLOOR FINISH. SEE STRUCTURAL DRAWINGS. G.C. TO VERIFY FINAL LOCATION FOR CONNECTION TO EXISTING SANITARY LINE. SEE PLUMBING DRAWINGS.  
18. CYLINDRICAL TRASH RECEPTACLE BY GENERAL CONTRACTOR: DURA ART STONE (510-283-5600) MODEL#: S-TR-D-18-EX- STANDARD-CHARCOAL, EXPOSED AGGREGATE FINISH W/ 1/2" DIA. LID OPENING.  
19. "dd's DISCOUNTS" LOGO PLAQUE, SUPPLIED BY ROSS STORES, INC. AND INSTALLED BY G.C. SEE EXTERIOR ELEVATIONS.  
20. GRAPHIC WALL PANEL SUPPLIED BY ROSS STORES, INC. AND INSTALLED BY G.C. SEE EXTERIOR ELEVATIONS.  
21. NEW CONCRETE SLAB, SEE ENLARGED FLOOR PLAN.  
22. NEW 6"x 48" HIGH STEEL PIPE BOLLARD W/ COVER TYPICAL ALONG FRONT ENTRY. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. PATCH AND REPAIR CONC. WALKWAY TO MATCH EXISTING.  
23. NEW ACCESSIBLE CURB RAMP, SEE DETAIL 5 ON A3.1  
24. (E) CANOPY STEEL COLUMNS AND OUTLINE OF (E) CANOPY ABOVE.  
25. WHERE (E) DOOR AND FRAME WERE REMOVED, INFILL (E) EXTERIOR WALL OPENING WITH SIMILAR WALL CONSTRUCTION AND EXTERIOR FINISH TO MATCH EXISTING.  
26. (E) PLUMBING CLEAN-OUT.  
27. (E) ASPHALT PAVING.  
28. (E) PAINTED ALUM. DOWNSPOUT AND GUTTER SYSTEM ABOVE. G.C. TO VERIFY FOR PROPER WORKING CONDITION AND REPAIR OR REPLACE AS NECESSARY TYPICAL ALONG SIDE AND REAR WALL.  
29. (E) TELEPHONE CONDUIT  
30. (E) METAL STAIRS WITH HANDRAILS.  
31. (E) FIRE RISER (BY LANDLORD).  
32. (E) ADJACENT TENANT LOADING DOCK  
33. (E) ELECTRICAL CABINETS AND CONCRETE PAD MOUNTED TRANSFORMER TO REMAIN  
34. (E) CONC. FILLED STEEL BOLLARDS  
35. (N) CONCRETE PAD, G.C. TO INSTALL REBAR CONNECTION FROM NEW CONC. PAD TO EXISTING FOUNDATION TO PREVENT NEW SLAB UP-HEAVE. SEE STRUCTURAL DRAWINGS

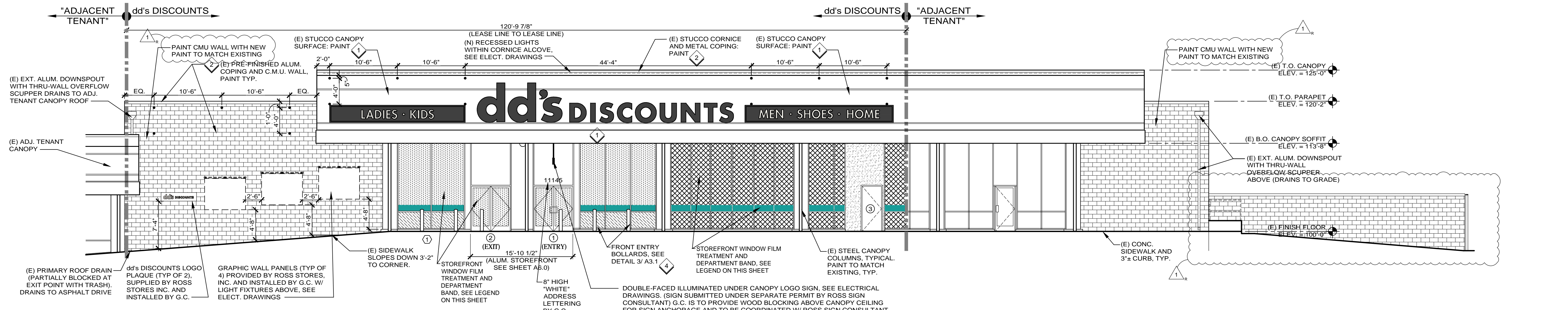
**PLAN LEGEND:**  
EXISTING DOOR  
NEW DOOR  
FLOORING TRANSITION, THRESHOLD, SADDLE, ETC. SEE FLOOR PLANS FOR LOCATIONS AND SEE DOOR SCHEDULE  
INDICATES METAL STUD GYPSUM WALL BOARD PARTITION FROM FLOOR SLAB UP TO 6" MINIMUM ABOVE CEILING LINE.  
INDICATES FULL HEIGHT METAL STUD GYPSUM WALL BOARD PARTITION FROM FLOOR SLAB UP TO ROOF STRUCTURE ABOVE.  
INDICATES FULL HEIGHT METAL STUD GYPSUM WALL BOARD PARTITION WITH SOUND ATTENUATION BATT INSULATION FROM FLOOR SLAB UP TO ROOF STRUCTURE ABOVE.  
INDICATES NEW FULL HEIGHT SECURITY WIRE MESH ON EXISTING GYPSUM WALLBOARD DEMISING WALL AND EXTENDING BEHIND SALES FLOOR BOXED CORNERS. SEE PARTITION TYPES FOR ADDITIONAL INFORMATION.  
INDICATES NEW C.M.U. WALL / EXTERIOR WALL INFILL.

**SYMBOLS:**  
ROOM NAME  
XXX  
FINISH  
PARTITION TYPE IDENTIFICATION, SEE FLOOR PLANS FOR LOCATIONS AND SEE PARTITION TYPES FOR WALL CONSTRUCTION.  
DOOR NUMBER IDENTIFICATION, SEE DOOR SCHEDULE.  
SHEET WHERE ELEVATION IS DRAWN ON  
A5.0  
INTERIOR ELEVATION MARK  
STOREFRONT IDENTIFICATION, SEE SHEET A0.0 FOR ADDITIONAL INFORMATION.

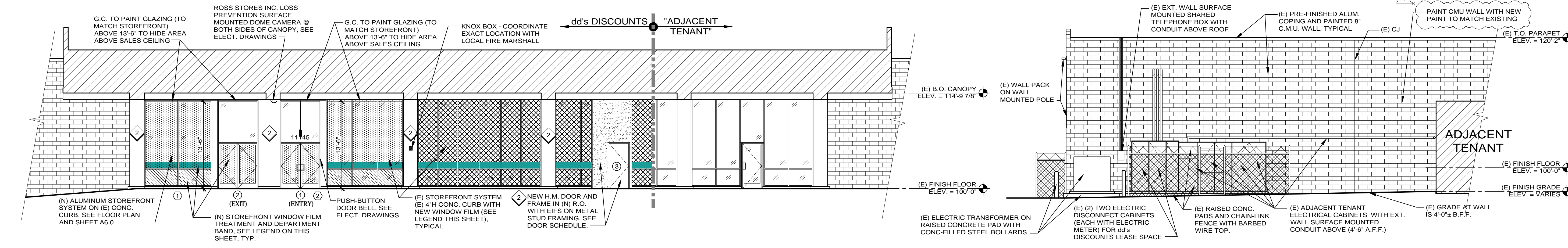


**1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

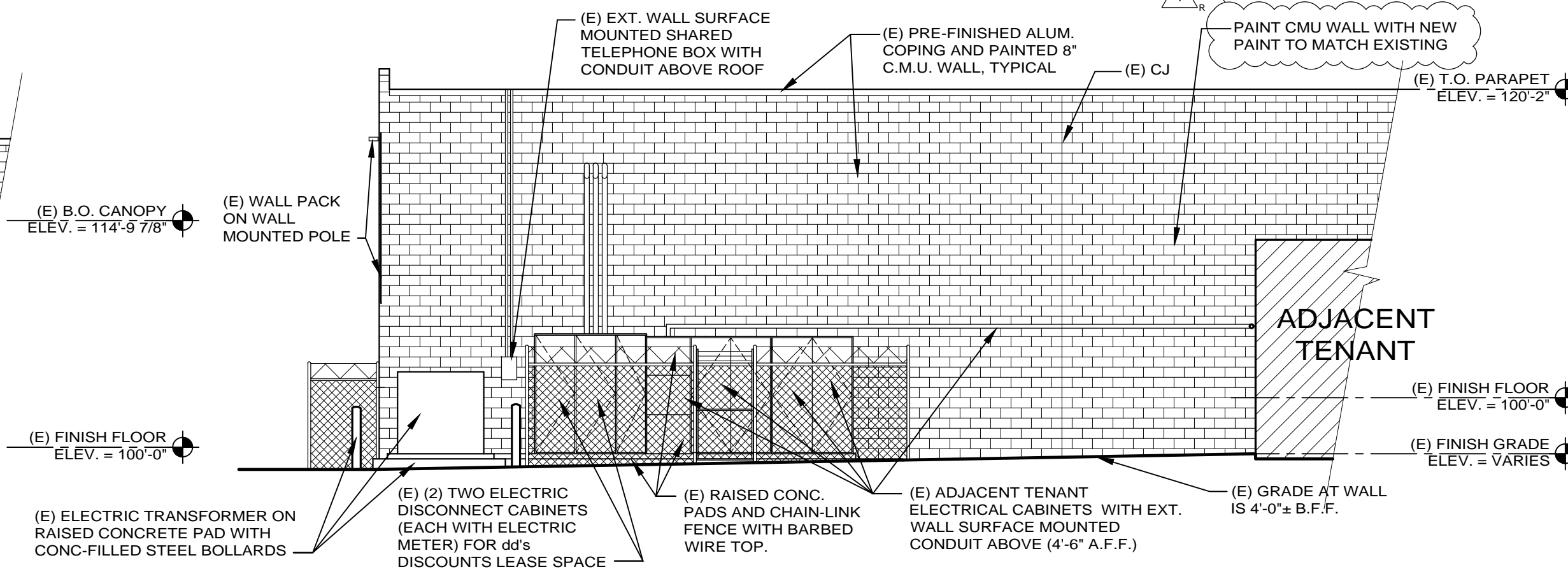




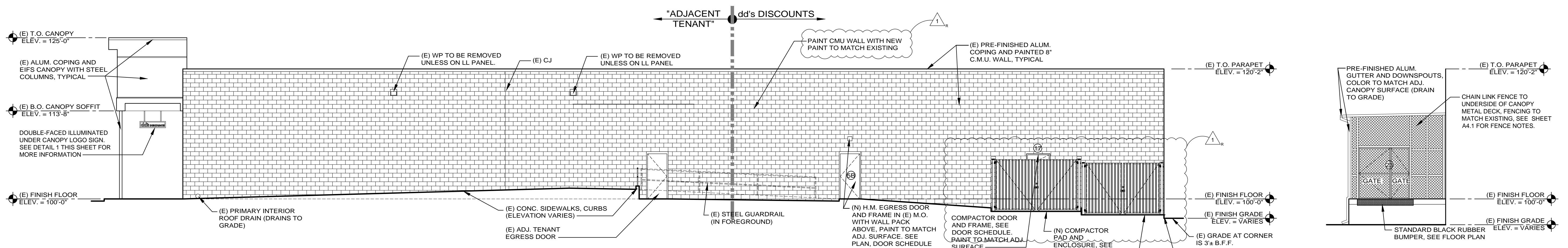
**1 SOUTH (FRONT) ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



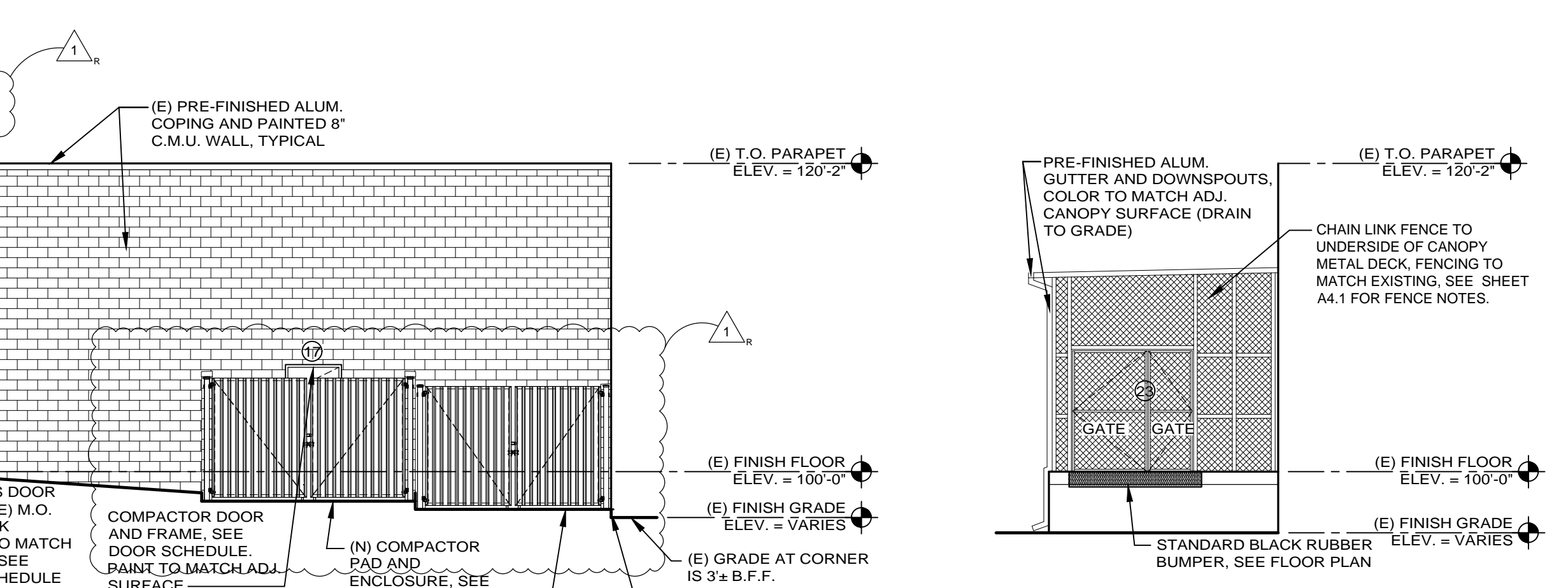
**2 SOUTH (STOREFRONT) ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



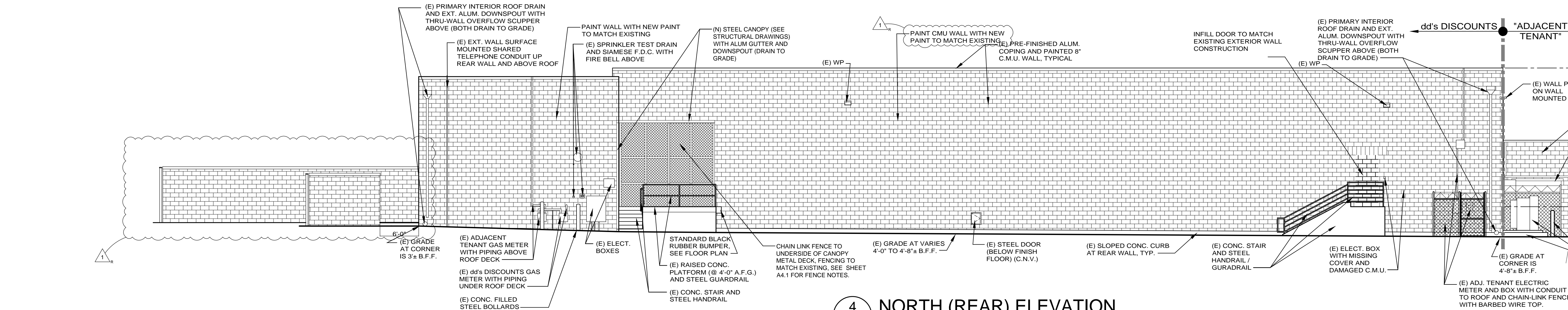
**5 WEST (SIDE) ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



**3 EAST (SIDE) ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



**3A WEST (SIDE) ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"



**4 NORTH (REAR) ELEVATION**  
A3.0 SCALE: 1/8" = 1'-0"

### GENERAL NOTES:

- DO NOT USE THIS DRAWING FOR SIGNAGE PURPOSES. SIGNAGE IS SHOWN FOR CONCEPT ONLY. ACTUAL SIGNAGE CONFIGURATION IS GOVERNED BY SEPARATELY APPROVED SIGNAGE DRAWINGS, LEASE EXHIBIT "J".
- THE ACTUAL COATING OR FINISH SYSTEM USED ON THE EXTERIOR OF THE ROSS STORES, INC. STORE MUST BE IN AN EXTERIOR FORMULATION SUITABLE FOR EXPOSURE TO INTENSE SUNLIGHT (UV) AND WEATHER.
- IF THE SIGNAGE PROPOSED IN THIS DRAWING IS ALTERED BY THE ACTION OF LOCAL GOVERNMENTAL AUTHORITY, ROSS STORES, INC. MAY ALTER THE ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.
- ANY DAMAGE TO THE TEXTURED SURFACES DURING CONSTRUCTION IS TO BE PATCHED/REPAIRED TO MATCH ADJACENT SURFACES.
- ROSS STORES, INC. RESERVES THE RIGHT TO MODIFY ROSS STORES, INC. COLOR SELECTION UPON SUBMITTAL OF COLORED CENTER ELEMENTS AND CENTER COLOR AND MATERIAL SAMPLES.
- ALL EXISTING EXTERIOR CONSTRUCTION TO REMAIN INCLUDING BUT NOT LIMITED TO: C.M.U., BOLLARDS, EXPOSED STEEL, GUTTERS, DOWNSPOUTS, ETC. TO REMAIN SHALL BE CLEANED AND POWER WASHED. PATCH AND REPAIR TO LIKE NEW CONDITION AND TO BE PAINTED AS NOTED ON ELEVATIONS. SURFACES NOT NOTED FOR NEW PAINT ARE TO BE COORDINATED WITH ROSS STORES, INC. C.P.M. FOR REPAINT TO LIKE NEW CONDITION.
- REPAIR ALL EXISTING DOWNSPOUTS AS REQUIRED FOR PROPER DRAINAGE.
- SYMBOL INDICATES NEW PAINT OR REPAINTED AREAS REQUIRED BY G.C., SEE COLOR AND MATERIAL LEGEND ON THIS SHEET FOR MATERIAL COLORS.
- BUILDING REPAIR NOTE: G.C. IS TO REPAIR AND SEAL ALL AREAS ALONG FRONT AND REAR BUILDING WALLS OF THE ROSS STORES, INC. LEASED AREA INCLUDING BUT NOT LIMITED TO: CRACKS, DAMAGED CONCRETE FOUNDATION, DOWNSPOUTS, GUTTERS, METAL PARAPET CORNICES, DAMAGED MASONRY, ETC.
- G.C. SHALL CLEAN ALL EXISTING TO REMAIN EXTERIOR SURFACES FROM ANY PREVIOUS COLORS.
- PAINT 3'-0" - 4'-0" AROUND ALL NEW WORK, DOOR INFILLS, AND NEW DOORS TO MATCH ADJACENT SURFACE ON FRONT SIDES AND REAR OF BUILDING.

### EXTERIOR SIGNAGE:

- ROSS SIGN CONSULTANT, TO SUBMIT EXTERIOR SIGNAGE PACKAGE UNDER A SEPARATE PERMIT APPROVAL.
- IN THE EVENT THAT THE LOCAL JURISDICTION WILL NOT ALLOW THE SIGN OF THE SIZE SHOWN, ROSS STORES, INC. RESERVES THE RIGHT WITHOUT COST TO MODIFY THE ARCHITECTURAL CONFIGURATION IN ORDER TO ACCOMMODATE A SMALLER SIZE SIGN.

### WINDOW FILM LEGEND:

- 7 MIL GRAFFITI "SOLARGARD CLEAR ANTI-GRAFFITI WINDOW FILM" ON EXTERIOR FACE OF GLAZING, FURNISHED AND INSTALLED BY GENERAL CONTRACTOR AS SHOWN ON ELEVATION #1 OF THIS SHEET (SEE SHEET A4.0 FOR CONTACT).
- DEPARTMENT BAND (BY SIGN CONSULTANT). DEPARTMENT BAND TO BE INSTALLED OVER G.C. INSTALLED GRAFFITI GUARD. ROSS STORES, INC. SIGN CONSULTANT TO FURNISH AND INSTALL 7 MIL GRAFFITI GUARD CLEAR FILM OVER DEPARTMENT BAND AS SHOWN ON ELEVATION #1 OF THIS SHEET (SEE SHEET A4.0 FOR CONTACT).
- STOREFRONT DOOR PACKAGE AT VESTIBULE: 3M 3524 "FROSTED WHITE CRYSTAL" FILM A ON INTERIOR FACE OF WINDOW GLAZING & VESTIBULE AND BEKAERT 7 MIL GRAFFITI GUARD CLEAR FILM ON EXTERIOR FACE OF WINDOW GLAZING, FURNISHED AND INSTALLED BY GENERAL CONTRACTOR AS SHOWN ON ELEVATION #1 OF THIS SHEET (SEE SHEET A4.0 FOR CONTACT).
- GENERAL NOTE: FOR ADDITIONAL INTERIOR "FROSTED WHITE CRYSTAL" FILM LOCATIONS, SEE SHEET A5.0 ELEVATION #1.
- ANTI-GRAFFITI FILM OVER EXTERIOR WINDOW GRAPHICS FURNISHED AND INSTALLED BY ROSS STORES, INC. SIGN CONSULTANT. SECURITY WALL BEHIND WINDOWS ON INTERIOR - INTERIOR FACE OF GLAZING TO BE PAINTED TO MATCH ADJACENT WALL SURFACE BY G.C., COORDINATE WITH ROSS CONSTRUCTION MANAGER.

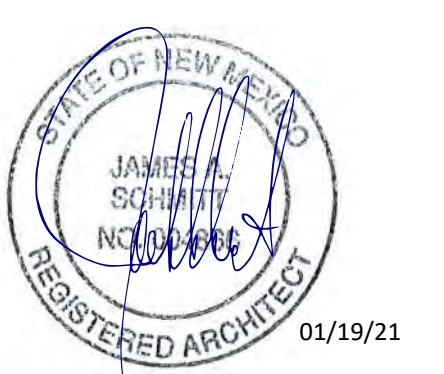
### COLOR AND MATERIAL LEGEND:

NOTE:  
1. THESE COLORS ARE BASED ON THE SHERWIN-WILLIAMS INTERIOR COLOR DECK. THEY REPRESENT TONE AND VALUE BY LRV% (LIGHT REFLECTIVE VALUE) ONLY. ACTUAL LRV IS AFFECTED BY THE SURFACE APPLICATION AND TEXTURE. HEAVY TEXTURE SURFACES MUST BE LIGHTENED TO GIVE EQUIVALENT LRV LEVELS.  
2. E.I.F.S. TEXTURE TO MATCH 130 STUOL 1.0 UNLESS OTHERWISE NOTED.  
3. FINAL COLOR APPROVAL PENDING ROSS STORES, INC. DESIGN APPROVAL.

COLORS:			
NUMBER	COLOR NAME	SW NUMBER	LRV %
1	FULL MOON	SW 6679	78%
2	TORCHLIGHT	SW 6374	50%
3	NOT USED	-	-
4	PMS PURPLE 'C' (90% INTENSITY)	PANTONE	-

E. ALBUQUERQUE NM  
11145 MENAUL BLVD  
ALBUQUERQUE, NM 87112  
dd's DISCOUNTS STORE #5460

CONSTR. DOC. & REVISIONS  
No. Description  
1 CODE RESPONSE/BID ADD #1



PROFESSIONAL OF RECORD  
JAMES A. SCHMITT  
License No. 90886  
Expiration Date 12/31/22

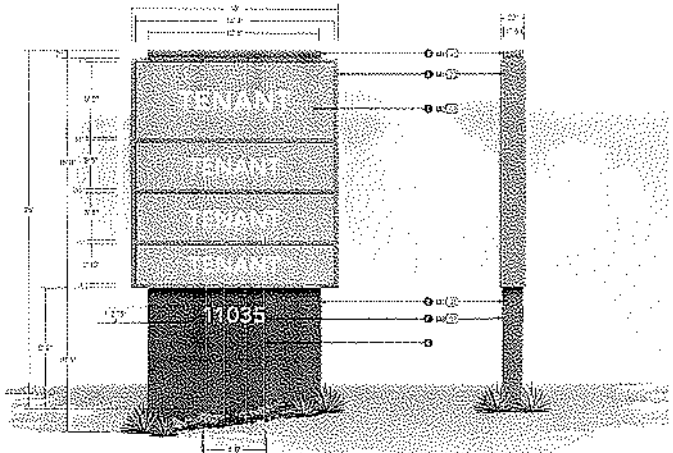
Drawn By/Checked By: TAK/ALS  
Project Number: 919509  
Owner/Permit Date: 12-14-20  
Bid Date: 01-11-21

**EXTERIOR ELEVATIONS**

**A3.0**  
ROSS  
CRITERIA DATE:  
22K APRIL 2019



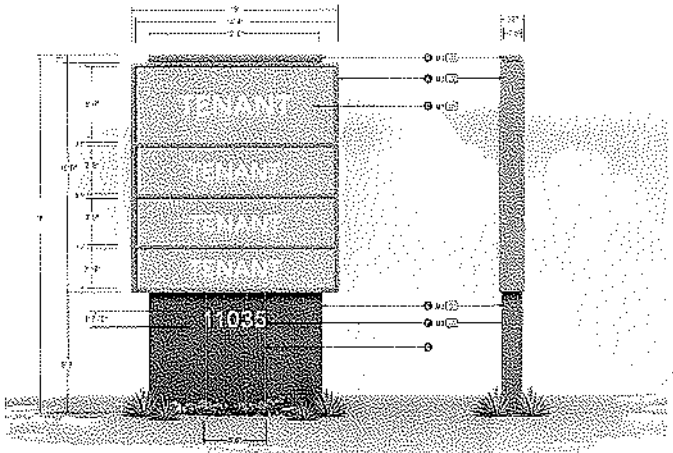
2 Refurbished Monument Signs - East Elevation



1	2	3	4	5	6	7	8	9	10
10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN

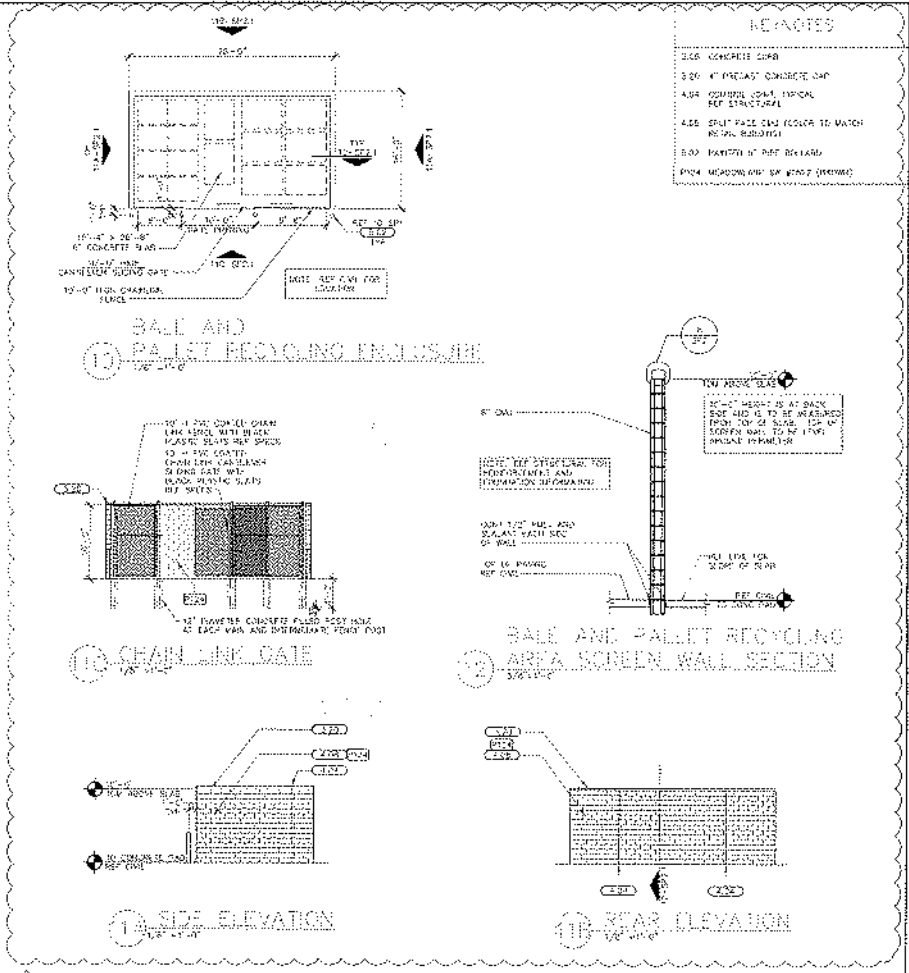
1	2	3	4	5	6	7	8	9	10
10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN

1 Refurbished Monument Signs - South Elevation



1	2	3	4	5	6	7	8	9	10
10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN

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10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN	10' x 10' x 10' CONCRETE SIGN



- REMARKS**
- 1. 10' x 10' CONCRETE SIGN
  - 2. 10' x 10' PRECAST CONCRETE CAP
  - 3. 10' x 10' CONCRETE SIGN, TOPICAL REF. STRUCTURAL
  - 4. 10' x 10' SPILT PALE AND Pallet TO MATCH REAR ELEVATION
  - 5. 10' x 10' BARRIER BY PINE BELLEAU
  - 6. 10' x 10' MEASUREMENT BY 10' x 10' (10' x 10')

2	10' x 10' CONCRETE SIGN	10' x 10' PRECAST CONCRETE CAP	10' x 10' CONCRETE SIGN, TOPICAL REF. STRUCTURAL	10' x 10' SPILT PALE AND Pallet TO MATCH REAR ELEVATION	10' x 10' BARRIER BY PINE BELLEAU	10' x 10' MEASUREMENT BY 10' x 10' (10' x 10')
PROJECT NO.	FOOTHILLS, SC. MENAUL AND JUAN TABO				DATE	7-11-12
PROJECT NAME	PYLON SIGN ELEVATIONS AND BALE/PALLET ENCLOSURE				PROJECT NO.	1016107001-1016107001-1016107001
DATE	7-11-12				SHEET #	11
DESIGNED BY	CHRISTINA SPINNEY, AIA, P.E.				SCALE	AS SHOWN
DRAWN BY	JULIE WATSON, P.E.				APPROVED BY	LEW BRUCE STONE, P.E.
CHECKED BY	JULIE WATSON, P.E.				DATE	7-11-12
SCALE	AS SHOWN				PROJECT NO.	1016107001-1016107001-1016107001
DATE	7-11-12				PROJECT NO.	1016107001-1016107001-1016107001