

January 20, 2021
Via: Online submittal

Angie Seguin
Project Manager

CASCO

12 Sunnen Drive, Suite 100
St. Louis, MO 63143

To: Jay Rodenbeck – Planner
City of Albuquerque
505-924-3994
Email: jrodenbeck@cabq.gov

Re: **dd's Discounts #5460 BP-2020-55865**
Minor Site Plan Submittal
11145 Menaul Blvd, Albuquerque, NM

Dear Jay,

Dd's Discounts is proposing to remodel the previous Big Lots vacant space. The space is in the MX-M Zoning District. We are submitting documents for an Administrative Site Plan Amendment. The following items are included in this package:

1. Signed/dated application sheets
2. Letter of Authorization from the property owner for CASCO to submit the application as an agent of the owner.
3. Zone Atlas Map
4. Justification for the Site Plan Amendment request below.
5. No Official Notice of Decision appears to be available from the prior approvals
6. Copies of the previously approved site plans with the proposed changes clouded in red.
7. Proposed site plan and exterior elevations drawings.

The proposed exterior modification includes the following items and meets the criteria identified in IDO Section 14-16-6-4 (X)(2):

- All proposed exterior signage including: dd's Discounts illuminated letters, wall plaques, under canopy sign and window film graphics to be permitted separated by Sign Vendor. Sign Vendor will provide specific design drawings for sign permit approval.
- Front exterior façade will be painted per the A3.0 sheet. No changes to the parapet design or height are proposed.
- Existing storefront to remain. New glass doors will be relocated within the existing storefront.
- Existing raised rear dock will receive a fenced enclosure with canopy for added security at the dock area.
- New dumpster and compactor are proposed along the east side elevation. Both items will be screened on all sides by a CMU wall (painted to match the adjacent building wall) and metal solid gates.

CASCO

12 Sunnen Drive, Suite 100
St. Louis, MO 63143

Dd's Discounts #5460

E. Albuquerque, NM

Page 2

If you have any questions, please do not hesitate to contact me (314) 960-0167 or angie.seguin@cascoCorp.com.

Sincerely,

A handwritten signature in blue ink that reads "Angie Seguin". The signature is written in a cursive, flowing style.

Angie Seguin
(314) 960.0167

cc: Kevin Costa – Ross Stores, Inc.
ACT/File

CASCO



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| Administrative Decisions | Decisions Requiring a Public Meeting or Hearing | Policy Decisions |
|---|---|--|
| <input type="checkbox"/> Archaeological Certificate (Form P3) | <input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1) | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1) | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L) |
| <input type="checkbox"/> Alternative Signage Plan (Form P3) | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Amendment of IDO Text (Form Z) |
| <input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3) | <input type="checkbox"/> Demolition Outside of HPO (Form L) | <input type="checkbox"/> Annexation of Land (Form Z) |
| <input type="checkbox"/> WTF Approval (Form W1) | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L) | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z) |
| | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2) | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z) |
| | | Appeals |
| | | <input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A) |

APPLICATION INFORMATION

| | | |
|-------------------------------------|-----------|-----------------------------------|
| Applicant: CASCO - Angie Seguin | | Phone: 314-238-2028 |
| Address: 12 Sunnen Drive, Suite 100 | | Email: angie.seguin@cascoCorp.com |
| City: St. Louis | State: MO | Zip: 63143 |
| Professional/Agent (if any): | | Phone: |
| Address: | | Email: |
| City: | State: | Zip: |
| Proprietary Interest in Site: | | List <u>all</u> owners: |

BRIEF DESCRIPTION OF REQUEST

Minor interior TI remodel for dd's Discounts #5460. Adding dumpster enclosure and compactor.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

| | | |
|--------------------------------------|-----------------------|-----------------------------|
| Lot or Tract No.: 102105948329410307 | Block: | Unit: |
| Subdivision/Addition: | MRGCD Map No.: | UPC Code: |
| Zone Atlas Page(s): H-21-Z | Existing Zoning: MX-M | Proposed Zoning: MX-M |
| # of Existing Lots: 1 | # of Proposed Lots: 1 | Total Area of Site (acres): |

LOCATION OF PROPERTY BY STREETS

| | | |
|---|----------|------|
| Site Address/Street: 11145 Menaul Blvd. | Between: | and: |
|---|----------|------|

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

| |
|--|
| |
|--|

| | |
|----------------------------|---|
| Signature: | Date: |
| Printed Name: Angie Seguin | <input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent |

FOR OFFICIAL USE ONLY

| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
|---------------|--------|------|--------------|--------|------|
| SI-2021-00090 | AA | | | | |
| | | | | | |
| | | | | | |

| | |
|-----------------------|--------------------------------|
| Meeting/Hearing Date: | Fee Total: |
| Staff Signature: | Date: Project # PR-2021-004975 |

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

| | | |
|--|--|---|
| <p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p> | | |
| <p>Signature:</p> | <p>Date: 1/20/21</p> | |
| <p>Printed Name: Angie Seguin - CASCO</p> | <p><input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent</p> | |
| <p>FOR OFFICIAL USE ONLY</p> | | |
| <p>Project Number:</p> | <p>Case Numbers</p> |  |
| <p> </p> | <p>-</p> | |
| <p> </p> | <p>-</p> | |
| <p> </p> | <p>-</p> | |
| <p>Staff Signature:</p> | | |
| <p>Date:</p> | | |

AGENT AUTHORIZATION FORM

PROPERTY LEGAL DESCRIPTION: dd's Discounts

PARCEL ID: 102105948329410307

STREET ADDRESS: 11145 Menaul Blvd NE, Albuquerque, NM 87112

Please print:

Property Owner: FPA FOOTHILLS, LLC

The undersigned, registered property owners of the above noted property, do hereby authorize

Angie Seguin, of CASCO
(Contractor / Agent) (Name of consulting firm)

to act on my behalf and take all actions necessary for the processing, issuance and acceptance of this permit or certification and any and all standard and special conditions attached.

This consent is limited solely to amending the previously approved shopping center site plan to show the proposed dumpster enclosure and compactor for Ross, Inc. *ew*

Telephone: 949-399-2525

We hereby certify the above information submitted in this application is true and accurate to the best of our knowledge.

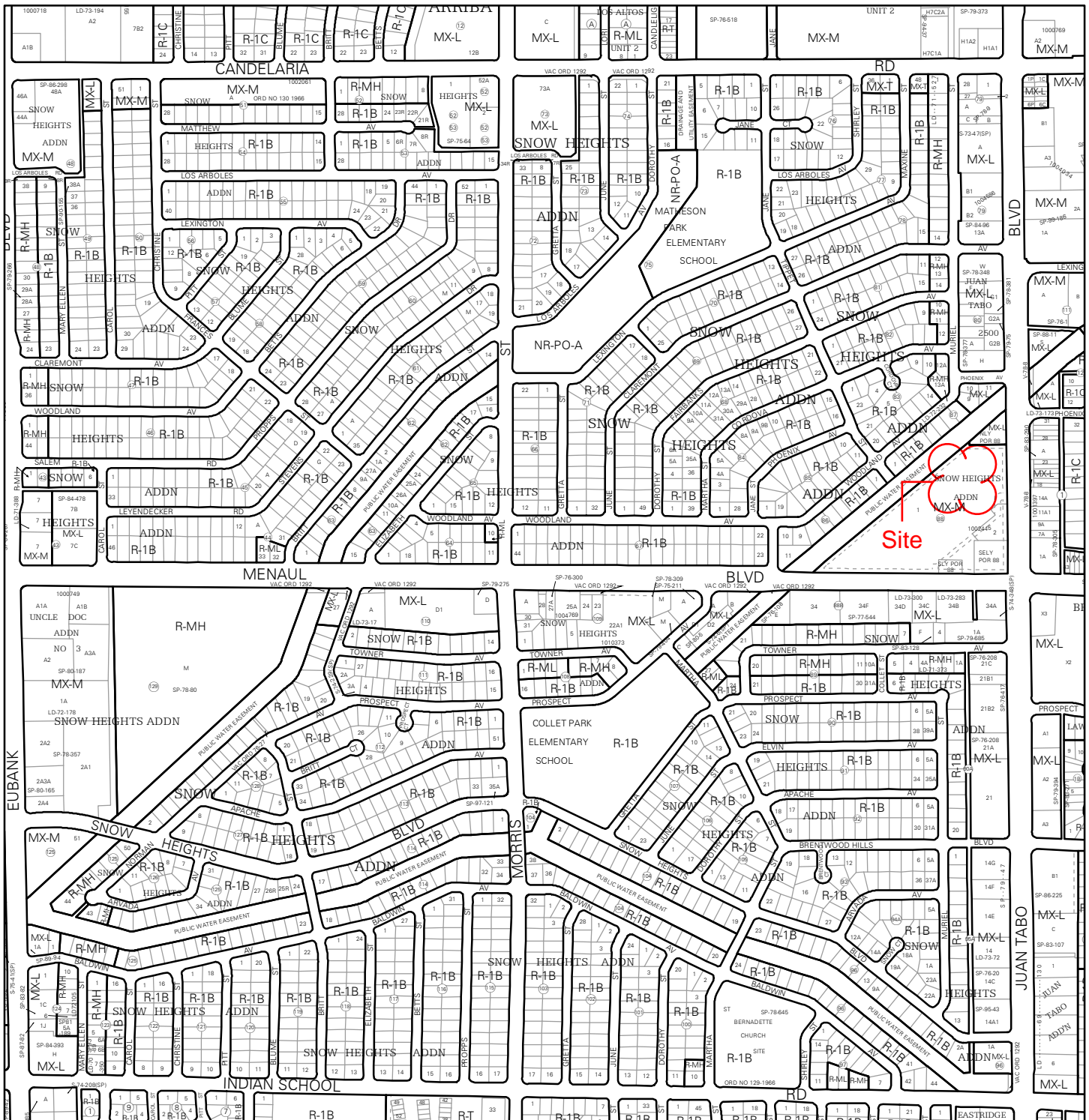
FPA FOOTHILLS, LLC

BY:

[Signature]
Authorized Signature

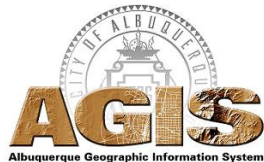
Michael B. Earl
Manager

Date: 1-19-21

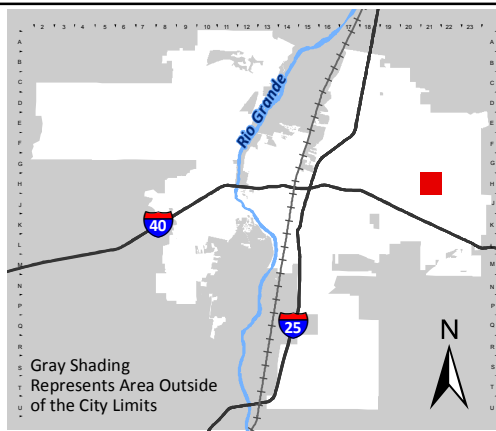


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

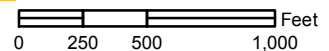


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



UTILITY NOTES:

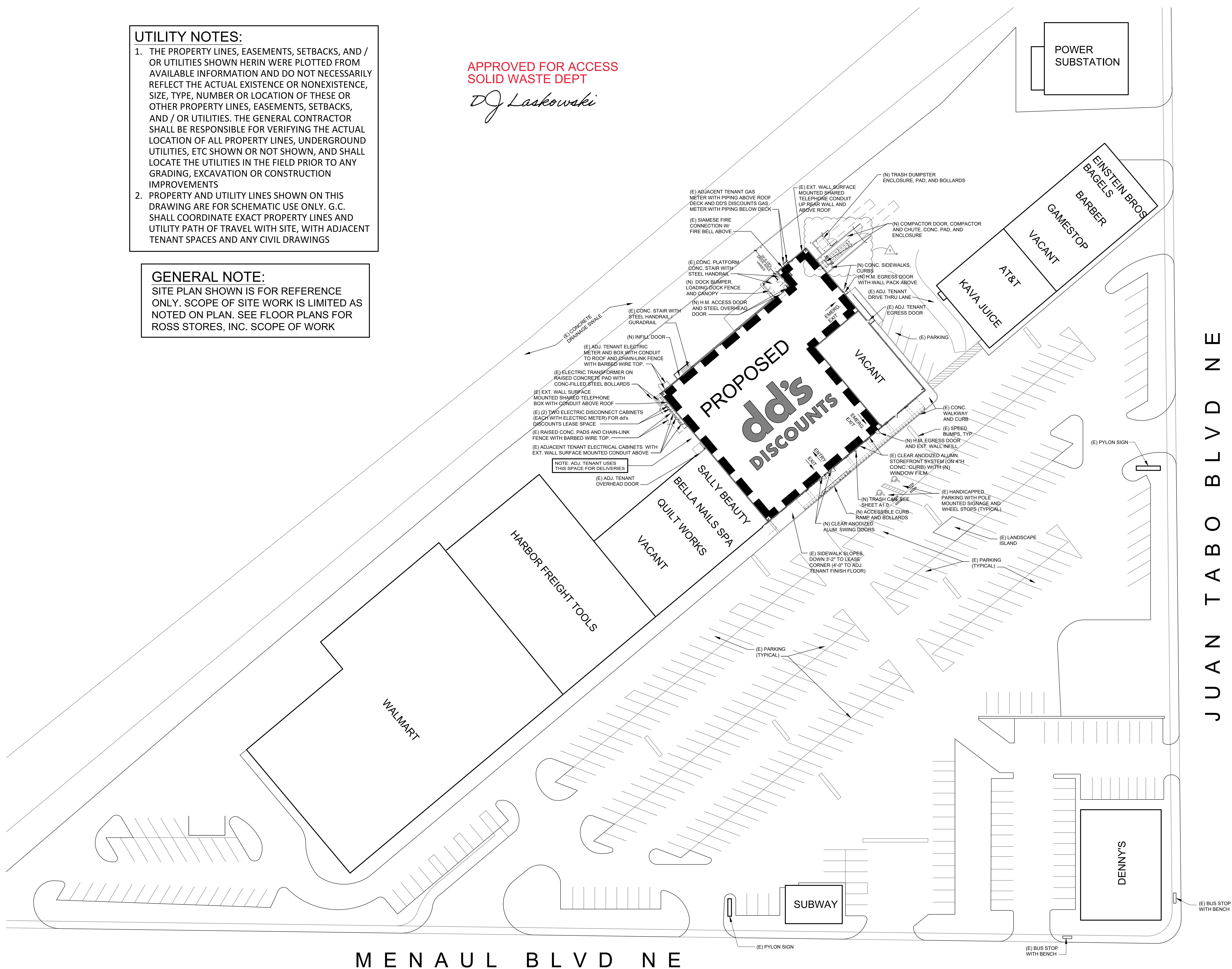
1. THE PROPERTY LINES, EASEMENTS, SETBACKS, AND / OR UTILITIES SHOWN HERIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE OR NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER PROPERTY LINES, EASEMENTS, SETBACKS, AND / OR UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL PROPERTY LINES, UNDERGROUND UTILITIES, ETC SHOWN OR NOT SHOWN, AND SHALL LOCATE THE UTILITIES IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION IMPROVEMENTS
2. PROPERTY AND UTILITY LINES SHOWN ON THIS DRAWING ARE FOR SCHEMATIC USE ONLY. G.C. SHALL COORDINATE EXACT PROPERTY LINES AND UTILITY PATH OF TRAVEL WITH SITE, WITH ADJACENT TENANT SPACES AND ANY CIVIL DRAWINGS

GENERAL NOTE:

SITE PLAN SHOWN IS FOR REFERENCE ONLY. SCOPE OF SITE WORK IS LIMITED AS NOTED ON PLAN. SEE FLOOR PLANS FOR ROSS STORES, INC. SCOPE OF WORK

APPROVED FOR ACCESS
SOLID WASTE DEPT

DJ Laskowski



E. ALBUQUERQUE NM
11145 MENAUL BLVD
ALBUQUERQUE, NM 87112
dd's DISCOUNTS STORE #5460

dd's
DISCOUNTS

| No. | Description | Date |
|-----|----------------------------|----------|
| 1 | CONSTR. DOC. & REVISIONS | 01/19/21 |
| 1 | CODE RESPONSE/ BID ADD # 1 | |

FOR REFERENCE ONLY

Drawn By/Checked By: TAK/ALS
Project Number: 919509
Owner/Permit Date: 12-14-20
Bid Date: 01-11-21

SHOPPING CENTER SITE PLAN

AS1.0

ROSS CRITERIA DATE: 22K APRIL 2019

1 EXISTING SITE PLAN
SCALE: 1" = 30'-0"



PROFESSIONAL OF RECORD
 JAMES A. SCHMITT
 License No. 1001888
 Expiration Date 12/31/22

Drawn By/Checked By: TAK/ALS
 Project Number: 919509
 Owner/Permit Date: 12-14-20
 Bid Date: 01-11-21

FLOOR PLAN

A1.0
 ROSS
 CRITERIA DATE:
 22K APRIL 2019

GENERAL NOTES:

- SEE ARCHITECTURAL GENERAL REQUIREMENTS ON SHEETS A0.1 AND A0.2 FOR ADDITIONAL INFORMATION.
- (E) DENOTES EXISTING TO REMAIN.
- SEE ROOM FINISH SCHEDULE FOR FLOOR AND WALL FINISHES.
- THE LOCATION OF "BACK OF HOUSE" FULL HEIGHT WALL TO BE LOCATED ACCORDING TO THE OFFICE AREA, FITTING ROOMS, RESTROOMS AND PROCESSING ROOM ARE PLACED TO COMPLY WITH ACCESSIBLE DESIGN PER ENLARGED FLOOR PLANS. SALES FLOOR DIMENSIONS ARE TO BE VERIFIED IN FIELD.
- TACTILE "EXIT" SIGNS, SEE SHEET A5.0 FOR LOCATIONS.
- PATCH AND REPAIR ALL EXISTING GYPSUM WALLBOARD TO REMAIN (FULL HEIGHT) THROUGHOUT ROSS LEASED SPACE AND PREPARE WALL SURFACES FOR NEW SCHEDULED WALL FINISH.
- G.C. SHALL BE RESPONSIBLE FOR RETURNING ALL AREAS DISTURBED OR DISRUPTED BY CONSTRUCTION ACTIVITIES TO PRE-CONSTRUCTION CONDITION. EVERY EFFORT SHALL BE MADE TO PROTECT ADJACENT STRUCTURES AND VEGETATION FROM DAMAGE DUE TO EQUIPMENT USAGE AND CONSTRUCTION. G.C. SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO PUBLIC.
- ADA ACCESSIBLE ENTRY / EXIT DOORS: GENERAL CONTRACTOR SHALL FIELD VERIFY GRADES AND SLOPES AT EXISTING AND NEW EXTERIOR DOORS. PROVIDE 4'-0" (MIN.) LANDING EXTENDING OUT FROM BUILDING AND EXTENDING 24" (MIN.) BEYOND DOOR FULL SIDE OF DOOR AND 1'-0" AT HINGE SIDE OF DOOR. SLOPE SHALL BE 2% MAX. IF GRADES EXCEED A 2% SLOPE CONTACT ARCHITECT WITH INFORMATION.

FINAL FIXTURE LAYOUT:

- ALL AISLES WIDTHS TO BE MAINTAINED AT A MINIMUM OF 3'-0".
- FINAL EGRESS PATH OF TRAVEL AND FIRE EXTINGUISHER LOCATIONS TO BE COORDINATED WITH ROSS STORES, INC. "FINAL" FIXTURE SP-1 LAYOUT PLAN AND FIRE OFFICIALS.

CHECKOUT AREA REQUIREMENTS:

- CHECKOUT SHOWN ON PLAN IS FOR CONCEPTUAL SCOPE OF WORK ONLY; LOCATIONS WILL BE PROVIDED ON ROSS STORES, INC. FIXTURE PLAN.
- FASTLANE POWER POLES ARE TO BE SUPPLIED BY ROSS STORES, INC. & INSTALLED BY ROSS STORES, INC. FIXTURE VENDOR.
- FRONT END CASEWORK SUPPLIED & INSTALLED BY ROSS STORES, INC. MILLWORK VENDOR INCLUDING "PLUG-IN" CONNECTION TO FASTLANE SYSTEM.

ACCESSIBLE CHECKOUT SALES COUNTER NOTE:
 ALL EQUIPMENT PROVIDED AND INSTALLED BY ROSS STORES, INC. MUST COMPLY WITH LOCAL GOVERNING CODES AND CURRENT ICC/ANSI 904 FOR SALES AND SERVICE COUNTERS. NOTE THAT PER ANSI 904.3 THE ACCESSIBLE PORTION OF COUNTER SHALL EXTEND THE SAME DEPTH AS THE NON-ACCESSIBLE COUNTER. NO ATTACHED COUNTERS ON THE FRONT, INCLUDING FLIP UP COUNTERS, ARE ALLOWED TO SERVE AS THE ACCESSIBLE COUNTER. THIS IS REINFORCED BY THE IBC COMMENTARY WHICH STATES "AN EXTRA PIECE OF COUNTER ATTACHED ON THE FRONT OF THE SERVICE COUNTER IS NOT ACCEPTABLE IN NEW CONSTRUCTION". AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36 INCHES (915 MM) IN LENGTH WITH A MAXIMUM HEIGHT OF 34 INCHES (864 MM) ABOVE THE FINISH FLOOR AND LOCATED ON AN ACCESSIBLE ROUTE.

FIRE EXTINGUISHER'S NOTE:

- CONFIRM LOCATIONS, TYPE & QUANTITY OF FIRE EXTINGUISHERS TO BE PROVIDED WITH LOCAL MARSHALL. MINIMUM OF ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN 75' MAXIMUM TRAVEL DISTANCE. PROVIDE A RATING OF 2A40BC AT EACH REQUIRED EXIT AND SHALL BE LOCATED WITHIN 75' TRAVEL DISTANCE. COORDINATE FINAL LOCATIONS WITH ROSS STORES MANAGER AND LOCAL FIRE OFFICIALS. SEE ARCHITECTURAL GENERAL REQUIREMENTS SECTION 4.10 ON SHEET A0.1

KEYED NOTES:

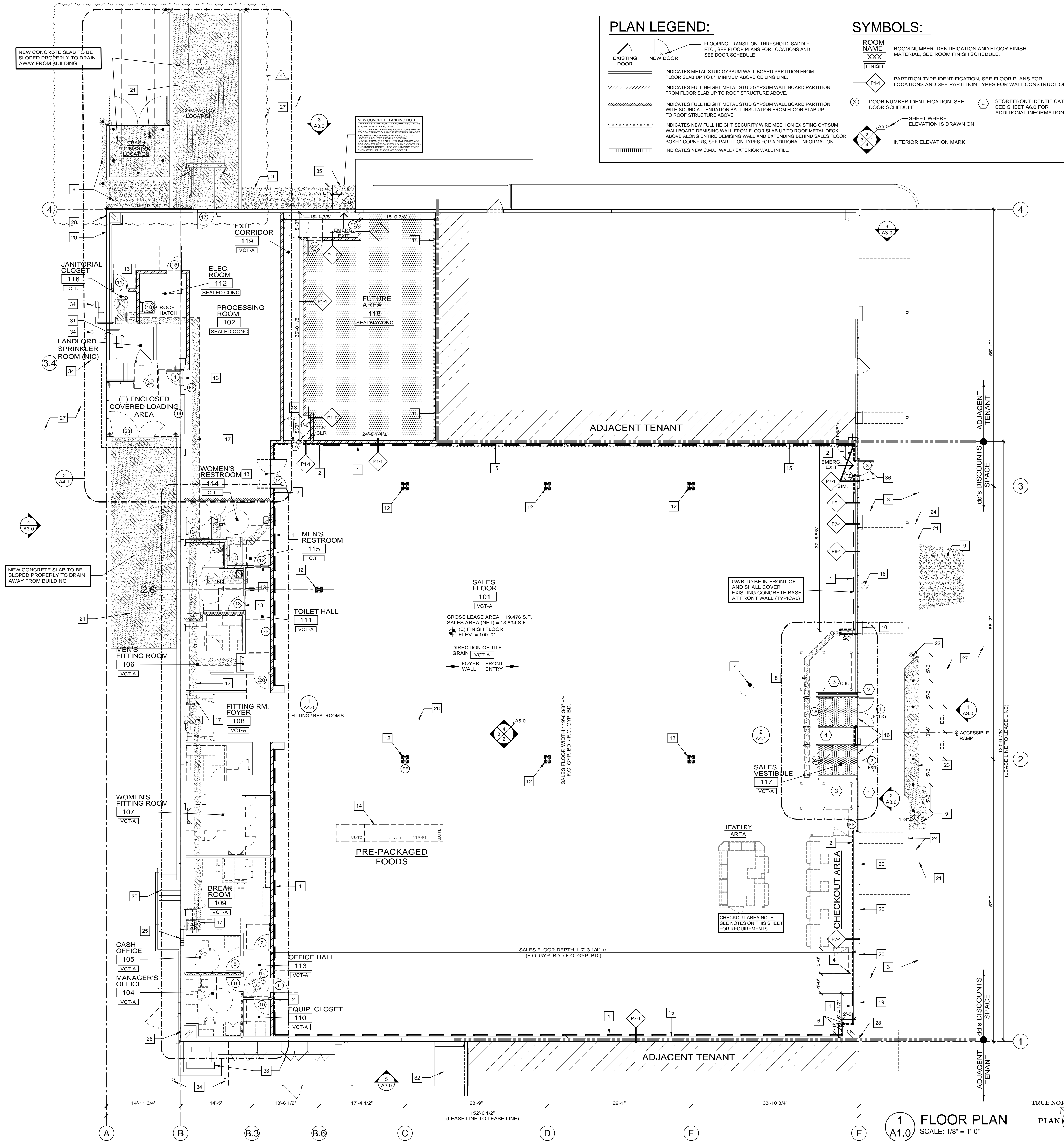
- SALES FLOOR: 3 ROWS OF 1X4 WOOD NAILERS @ PERIMETER WALLS AS SHOWN. SEE SALES FLOOR INTERIOR ELEVATIONS FOR LOCATIONS AND DETAIL 5/A5.1 FOR SECTION.
- SALES FLOOR: 6'-0" HIGH VINYL WALL PANEL SYSTEM @ PERIMETER WALLS. COLUMN LOCATIONS, BOXED CORNERS AND AT PERIMETER DOOR LOCATIONS AS SHOWN ON PLAN. SEE SALES FLOOR INTERIOR ELEVATIONS FOR DIMENSIONED LOCATIONS AND DETAILS 6, 7 ON SHEET A5.1
- (E) CONCRETE CURB AND WALKWAY
- TERMINATION POINT OF ROSS FIXTURES, SEE SALES FLOOR INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- TERMINATION POINT OF VINYL WALL PANEL / WOOD NAILERS, SEE SALES FLOOR INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- BOXED CORNER W/ 6'-0" HIGH VINYL WALL PANEL SYSTEM, SEE DETAIL 4/ A5.1 AND 6/ A5.1
- LP STATION AND POWER POLE SUPPLIED AND INSTALLED BY ROSS STORES, INC.
- (SHOWN AS HATCHED AREA) ONCE ELECTRICAL EAS WIRING IS COMPLETE, INFILL CONCRETE FLOOR SLAB AND PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH. SEE STRUCTURAL DRAWINGS.
- ASPHALT INFILL TO MATCH EXISTING ADJACENT ASPHALT SURFACE
- KNOX BOX - COORDINATE EXACT LOCATION WITH LOCAL FIRE MARSHALL
- NEW HOLLOW METAL DOOR AND EIPS ON STUD FRAMING WHERE PORTION OF EXISTING STOREFRONT SYSTEM WAS REMOVED. SEE DOOR SCHEDULE AND ELEVATIONS.
- EXISTING EXPOSED STEEL COLUMN W/ NEW 6'-0" HIGH VINYL WALL PANEL SYSTEM WRAP AND PAINT ABOVE. SEE DETAIL 17/A5.1 TYPICAL AT ALL EXPOSED SALES FLOOR STEEL COLUMN LOCATIONS.
- LOCATE VCT FLOOR TILE TRANSITION AT THE DOOR STOP OF THE PULL SIDE OF DOOR FRAME. PROCESSING ROOM #14, LOCATE TRANSITION ON THE PROCESSING ROOM SIDE OF DOOR FRAME.
- PRE-PACKAGE FOOD, SEE SHEET A0.0 FOR REQUIREMENTS.
- FACE OF NEW 5/8" GYPSUM WALLBOARD FROM FINISH FLOOR UP TO MIN. 6" ABOVE CEILING LINE ON NEW FULL HEIGHT SECURITY MESH ON (E) GWB DEMISING WALL. SEE PARTITION TYPE GENERAL NOTES FOR SECURITY MESH SPECIFICATION. EXTEND SECURITY MESH BEHIND BOXED CORNER LOCATIONS.
- NEW STOREFRONT SYSTEM INFILL IN EXISTING STOREFRONT SYSTEM. SEE EXTERIOR ELEVATIONS AND SHEET A0.0.
- CONC. FLOOR SLAB INFILL FOR NEW PLUMBING LINES. PATCH AND REPAIR FLOOR SLAB TO RECEIVE NEW FLOOR FINISH. SEE STRUCTURAL DRAWINGS. G.C. TO VERIFY FINAL LOCATION FOR CONNECTION TO EXISTING SANITARY LINE. SEE PLUMBING DRAWINGS.
- CYLINDRICAL TRASH RECEPTACLE BY GENERAL CONTRACTOR: DURA ART STONE (510-283-5600) MODEL#: S-TR-05-18-EX- STANDARD-CHARCOAL, EXPOSED AGGREGATE FINISH W/ 1/2" DIA. LID OPENING.
- "dd's DISCOUNTS" LOGO PLAQUE, SUPPLIED BY ROSS STORES, INC. AND INSTALLED BY G.C. SEE EXTERIOR ELEVATIONS.
- GRAPHIC WALL PANEL SUPPLIED BY ROSS STORES, INC. AND INSTALLED BY G.C. SEE EXTERIOR ELEVATIONS.
- NEW CONCRETE SLAB, SEE ENLARGED FLOOR PLAN.
- NEW 6"x 4" HIGH STEEL PIPE BOLLARD W/ COVER TYPICAL ALONG FRONT ENTRY. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. PATCH AND REPAIR CONC. WALKWAY TO MATCH EXISTING.
- NEW ACCESSIBLE CURB RAMP, SEE DETAIL 5 ON A3.1
- CANOPY STEEL COLUMNS AND OUTLINE OF (E) CANOPY ABOVE.
- WHERE (E) DOOR AND FRAME WERE REMOVED, INFILL (E) EXTERIOR WALL OPENING WITH SIMILAR WALL CONSTRUCTION AND EXTERIOR FINISH TO MATCH EXISTING.
- PLUMBING CLEAN-OUT.
- ASPHALT PAVING.
- PAINTED ALUM. DOWNSPOUT AND GUTTER SYSTEM ABOVE. G.C. TO VERIFY FOR PROPER WORKING CONDITION AND REPAIR OR REPLACE AS NECESSARY TYPICAL ALONG SIDE AND REAR WALL.
- TELEPHONE CONDUIT
- METAL STAIRS WITH HANDRAILS.
- FIRE RISER (BY LANDLORD).
- ADJACENT TENANT LOADING DOCK
- ELECTRICAL CABINETS AND CONCRETE PAD MOUNTED TRANSFORMER TO REMAIN
- CONC. FILLED STEEL BOLLARDS
- CONCRETE PAD, G.C. TO INSTALL REBAR CONNECTION FROM NEW CONC. PAD TO EXISTING FOUNDATION TO PREVENT NEW SLAB UP-HEAVE. SEE STRUCTURAL DRAWINGS

PLAN LEGEND:

- EXISTING DOOR
- NEW DOOR
- FLOORING TRANSITION, THRESHOLD, SADDLE, ETC. SEE FLOOR PLANS FOR LOCATIONS AND SEE DOOR SCHEDULE
- INDICATES METAL STUD GYPSUM WALL BOARD PARTITION FROM FLOOR SLAB UP TO 6" MINIMUM ABOVE CEILING LINE.
- INDICATES FULL HEIGHT METAL STUD GYPSUM WALL BOARD PARTITION FROM FLOOR SLAB UP TO ROOF STRUCTURE ABOVE.
- INDICATES FULL HEIGHT METAL STUD GYPSUM WALL BOARD PARTITION WITH SOUND ATTENUATION BATT INSULATION FROM FLOOR SLAB UP TO ROOF STRUCTURE ABOVE.
- INDICATES NEW FULL HEIGHT SECURITY WIRE MESH ON EXISTING GYPSUM WALLBOARD DEMISING WALL FROM FLOOR SLAB UP TO ROOF STRUCTURE ABOVE. EXTENDING BEHIND SALES FLOOR BOXED CORNERS. SEE PARTITION TYPES FOR ADDITIONAL INFORMATION.
- INDICATES NEW C.M.U. WALL / EXTERIOR WALL INFILL.

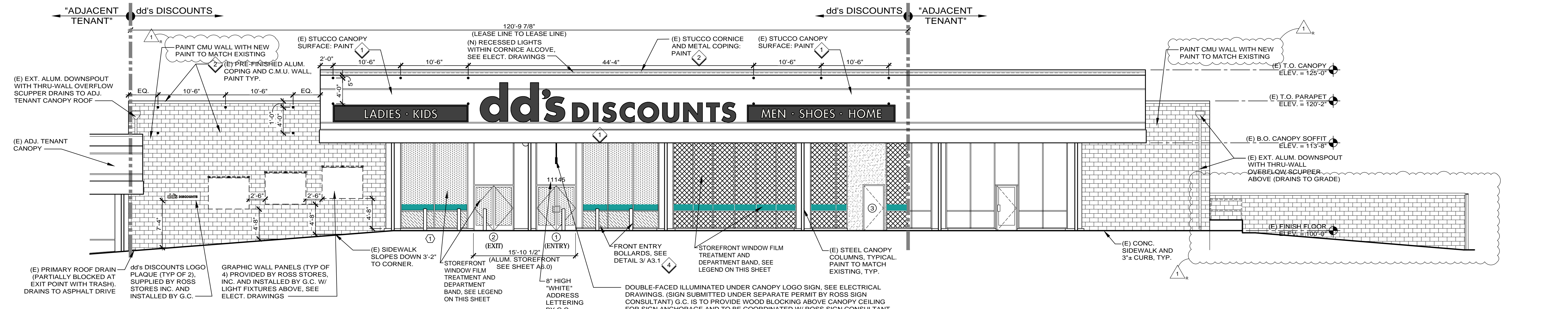
SYMBOLS:

- ROOM NAME: XXX FINISH
- ROOM NUMBER IDENTIFICATION AND FLOOR FINISH MATERIAL. SEE ROOM FINISH SCHEDULE.
- PARTITION TYPE IDENTIFICATION, SEE FLOOR PLANS FOR LOCATIONS AND SEE PARTITION TYPES FOR WALL CONSTRUCTION.
- DOOR NUMBER IDENTIFICATION, SEE DOOR SCHEDULE.
- SHEET WHERE ELEVATION IS DRAWN ON
- INTERIOR ELEVATION MARK
- STOREFRONT IDENTIFICATION, SEE SHEET A0.0 FOR ADDITIONAL INFORMATION.

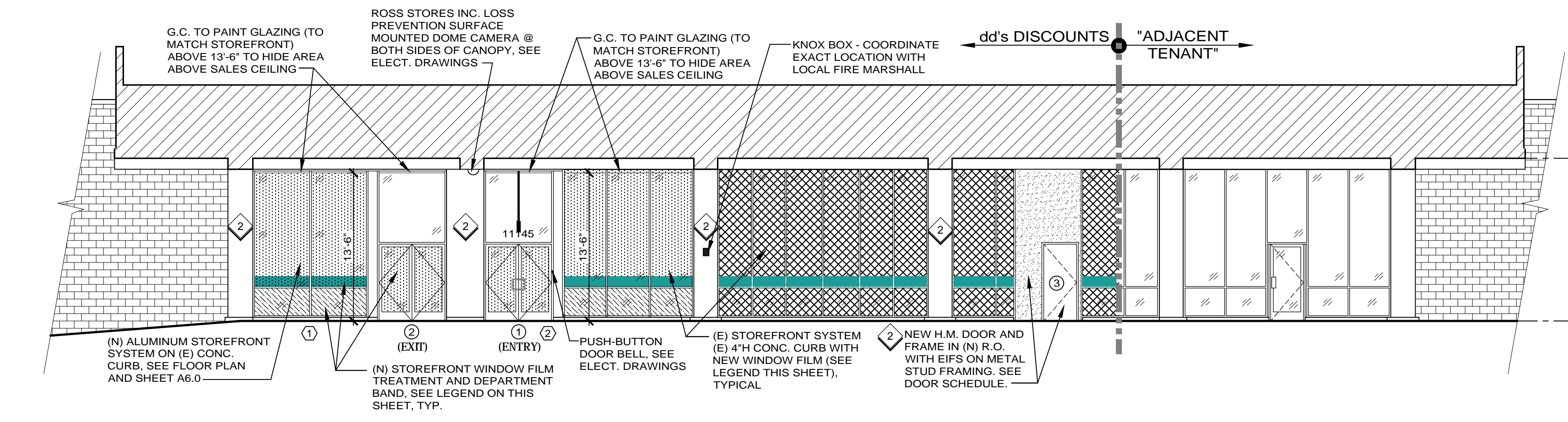


1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

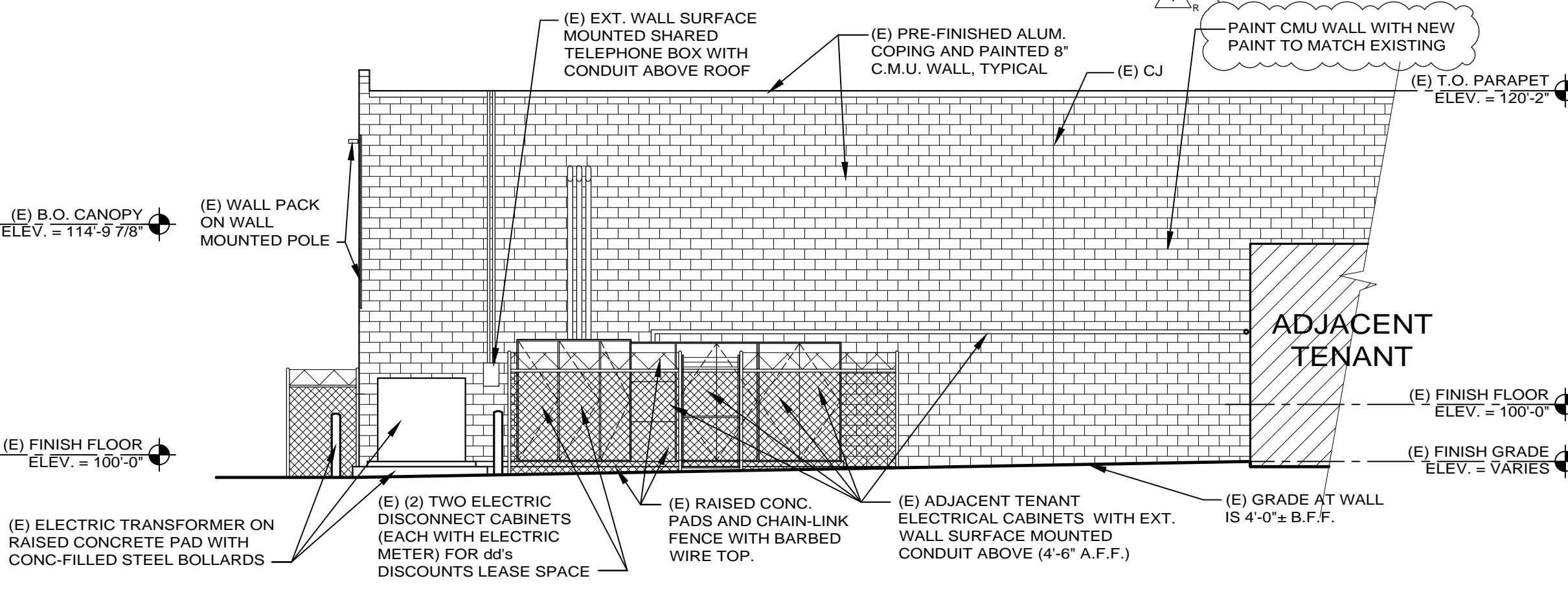




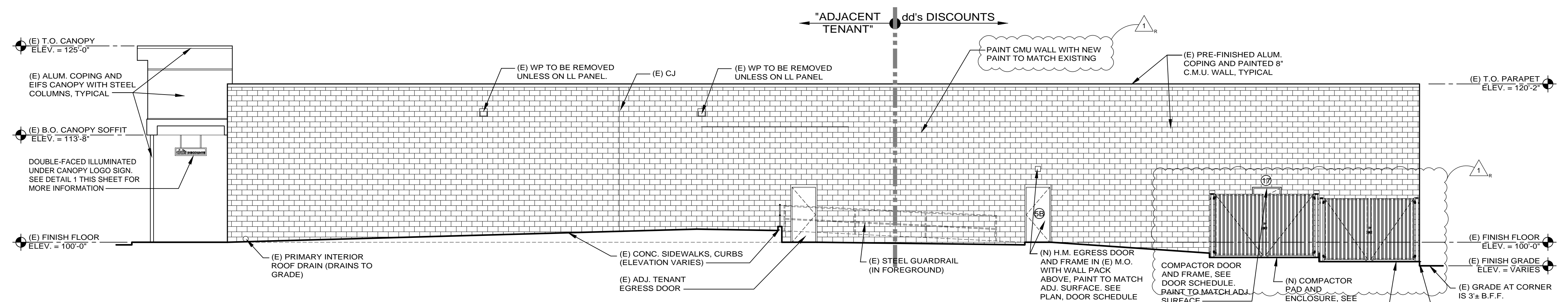
1 SOUTH (FRONT) ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"



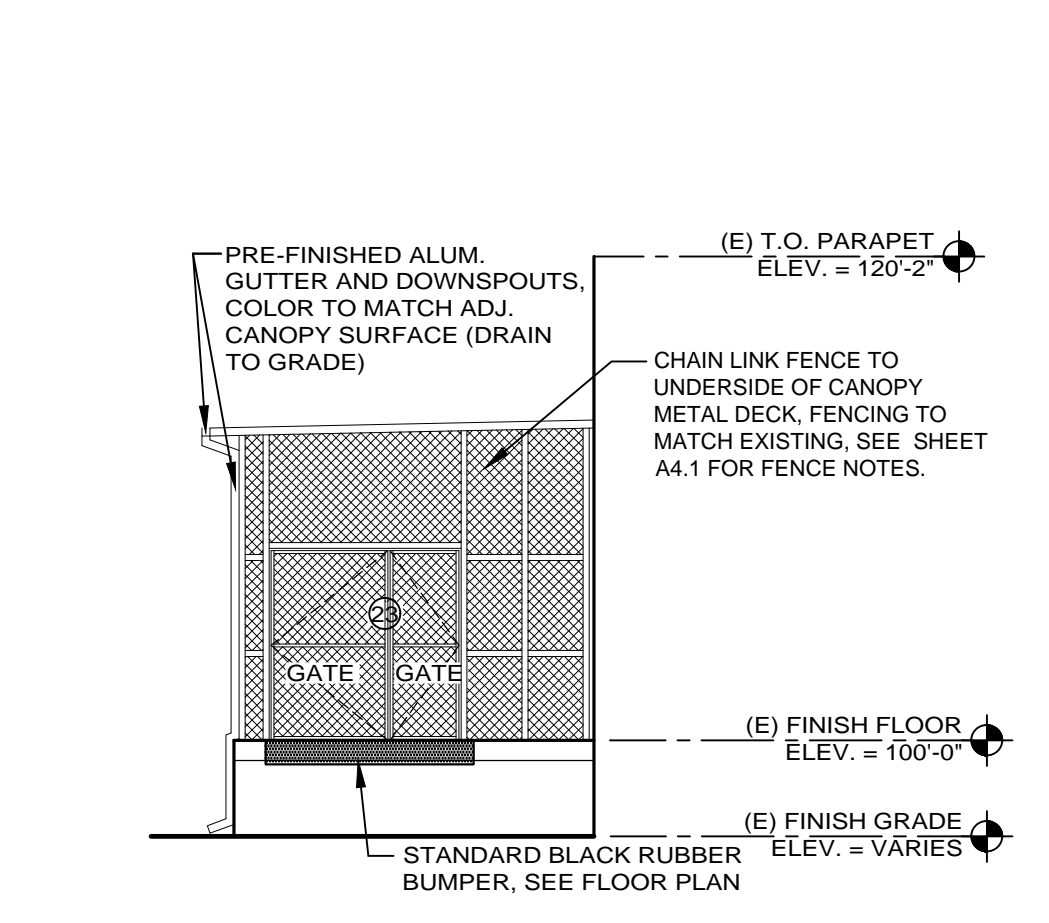
2 SOUTH (STOREFRONT) ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"



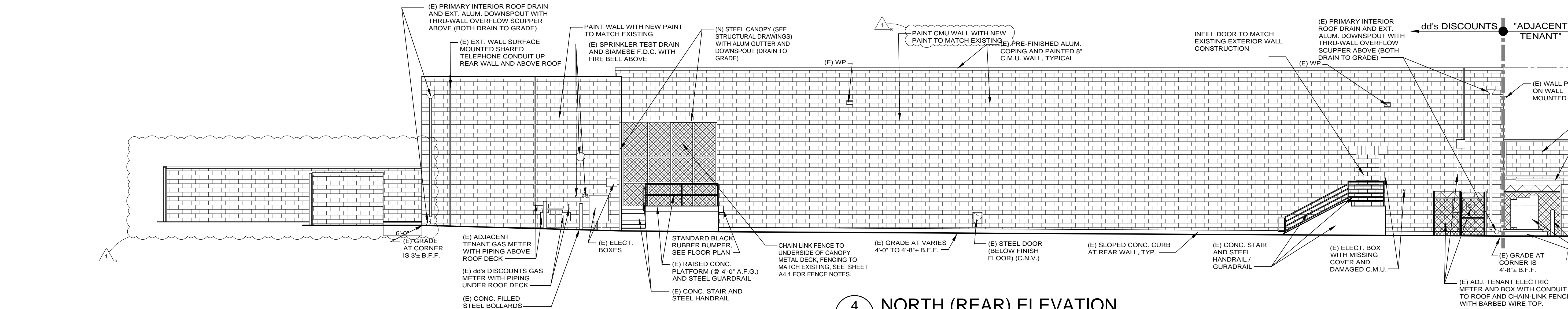
5 WEST (SIDE) ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"



3 EAST (SIDE) ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"



3A WEST (SIDE) ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"



4 NORTH (REAR) ELEVATION
 A3.0 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- DO NOT USE THIS DRAWING FOR SIGNAGE PURPOSES. SIGNAGE IS SHOWN FOR CONCEPT ONLY. ACTUAL SIGNAGE CONFIGURATION IS GOVERNED BY SEPARATELY APPROVED SIGNAGE DRAWINGS, LEASE EXHIBIT "J".
- THE ACTUAL COATING OR FINISH SYSTEM USED ON THE EXTERIOR OF THE ROSS STORES, INC. STORE MUST BE IN AN EXTERIOR FORMULATION SUITABLE FOR EXPOSURE TO INTENSE SUNLIGHT (UV) AND WEATHER.
- IF THE SIGNAGE PROPOSED IN THIS DRAWING IS ALTERED BY THE ACTION OF LOCAL GOVERNMENTAL AUTHORITY, ROSS STORES, INC. MAY ALTER THE ARCHITECTURAL FEATURES TO BEST ACCOMMODATE THE ALTERED SIGNAGE.
- ANY DAMAGE TO THE TEXTURED SURFACES DURING CONSTRUCTION IS TO BE PATCHED/REPAIRED TO MATCH ADJACENT SURFACES.
- ROSS STORES, INC. RESERVES THE RIGHT TO MODIFY ROSS STORES, INC. COLOR SELECTION UPON SUBMITTAL OF COLORED CENTER ELEMENTS AND CENTER COLOR AND MATERIAL SAMPLES.
- ALL EXISTING EXTERIOR CONSTRUCTION TO REMAIN INCLUDING BUT NOT LIMITED TO: C.M.U., BOLLARDS, EXPOSED STEEL, GUTTERS, DOWNSPOUTS, ETC. TO REMAIN SHALL BE CLEANED AND POWER WASHED. PATCH AND REPAIR TO LIKE NEW CONDITION AND TO BE PAINTED AS NOTED ON ELEVATIONS. SURFACES NOT NOTED FOR NEW PAINT ARE TO BE COORDINATED WITH ROSS STORES, INC. C.P.M. FOR REPAINT TO LIKE NEW CONDITION.
- REPAIR ALL EXISTING DOWNSPOUTS AS REQUIRED FOR PROPER DRAINAGE.
- SYMBOL INDICATES NEW PAINT OR REPAINTED AREAS REQUIRED BY G.C., SEE COLOR AND MATERIAL LEGEND ON THIS SHEET FOR COLORS.
- BUILDING REPAIR NOTE: G.C. IS TO REPAIR AND SEAL ALL AREAS ALONG FRONT AND REAR BUILDING WALLS OF THE ROSS STORES, INC. LEASED AREA INCLUDING BUT NOT LIMITED TO: CRACKS, DAMAGED CONCRETE FOUNDATION, DOWNSPOUTS, GUTTERS, METAL PARAPET CORNICES, DAMAGED MASONRY, ETC.
- G.C. SHALL CLEAN ALL EXISTING TO REMAIN EXTERIOR SURFACES FROM ANY PREVIOUS COLORS.
- PAINT 3'-0" - 4'-0" AROUND ALL NEW WORK, DOOR INFILLS, AND NEW DOORS TO MATCH ADJACENT SURFACE ON FRONT SIDES AND REAR OF BUILDING.

EXTERIOR SIGNAGE:

- ROSS SIGN CONSULTANT, TO SUBMIT EXTERIOR SIGNAGE PACKAGE UNDER A SEPARATE PERMIT APPROVAL.
- IN THE EVENT THAT THE LOCAL JURISDICTION WILL NOT ALLOW THE SIGN OF THE SIZE SHOWN, ROSS RESERVES THE RIGHT WITHOUT COST TO MODIFY THE ARCHITECTURAL CONFIGURATION IN ORDER TO ACCOMMODATE A SMALLER SIZE SIGN.

WINDOW FILM LEGEND:

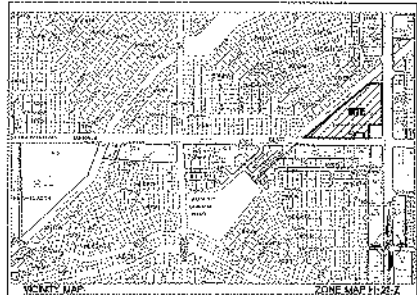
- 7 MIL GRAFFITI "SOLARGARD CLEAR ANTI-GRAFFITI WINDOW FILM" ON EXTERIOR FACE OF GLAZING, FURNISHED AND INSTALLED BY GENERAL CONTRACTOR AS SHOWN ON ELEVATION #1 OF THIS SHEET (SEE SHEET A4.0 FOR CONTACT)
- DEPARTMENT BAND (BY SIGN CONSULTANT). DEPARTMENT BAND TO BE INSTALLED OVER G.C. INSTALLED GRAFFITI GUARD. ROSS STORES, INC. SIGN CONSULTANT TO FURNISH AND INSTALL 7 MIL GRAFFITI GUARD CLEAR FILM OVER DEPARTMENT BAND AS SHOWN ON ELEVATION #1 OF THIS SHEET (SEE SHEET A4.0 FOR CONTACT)
- STOREFRONT DOOR PACKAGE AT VESTIBULE: 3M 3524 "FROSTED WHITE CRYSTAL" FILM A ON INTERIOR FACE OF WINDOW GLAZING & VESTIBULE AND B&K 7 MIL GRAFFITI GUARD CLEAR FILM ON EXTERIOR FACE OF WINDOW GLAZING, FURNISHED AND INSTALLED BY GENERAL CONTRACTOR AS SHOWN ON ELEVATION #1 OF THIS SHEET (SEE SHEET A4.0 FOR CONTACT)
- GENERAL NOTE: FOR ADDITIONAL INTERIOR "FROSTED WHITE CRYSTAL" FILM LOCATIONS, SEE SHEET A5.0 ELEVATION #1
- ANTI-GRAFFITI FILM OVER EXTERIOR WINDOW GRAPHICS FURNISHED AND INSTALLED BY ROSS STORES, INC. SIGN CONSULTANT. SECURITY WALL BEHIND WINDOWS ON INTERIOR - INTERIOR FACE OF GLAZING TO BE PAINTED TO MATCH ADJACENT WALL SURFACE BY G.C., COORDINATE WITH ROSS CONSTRUCTION MANAGER.

COLOR AND MATERIAL LEGEND:

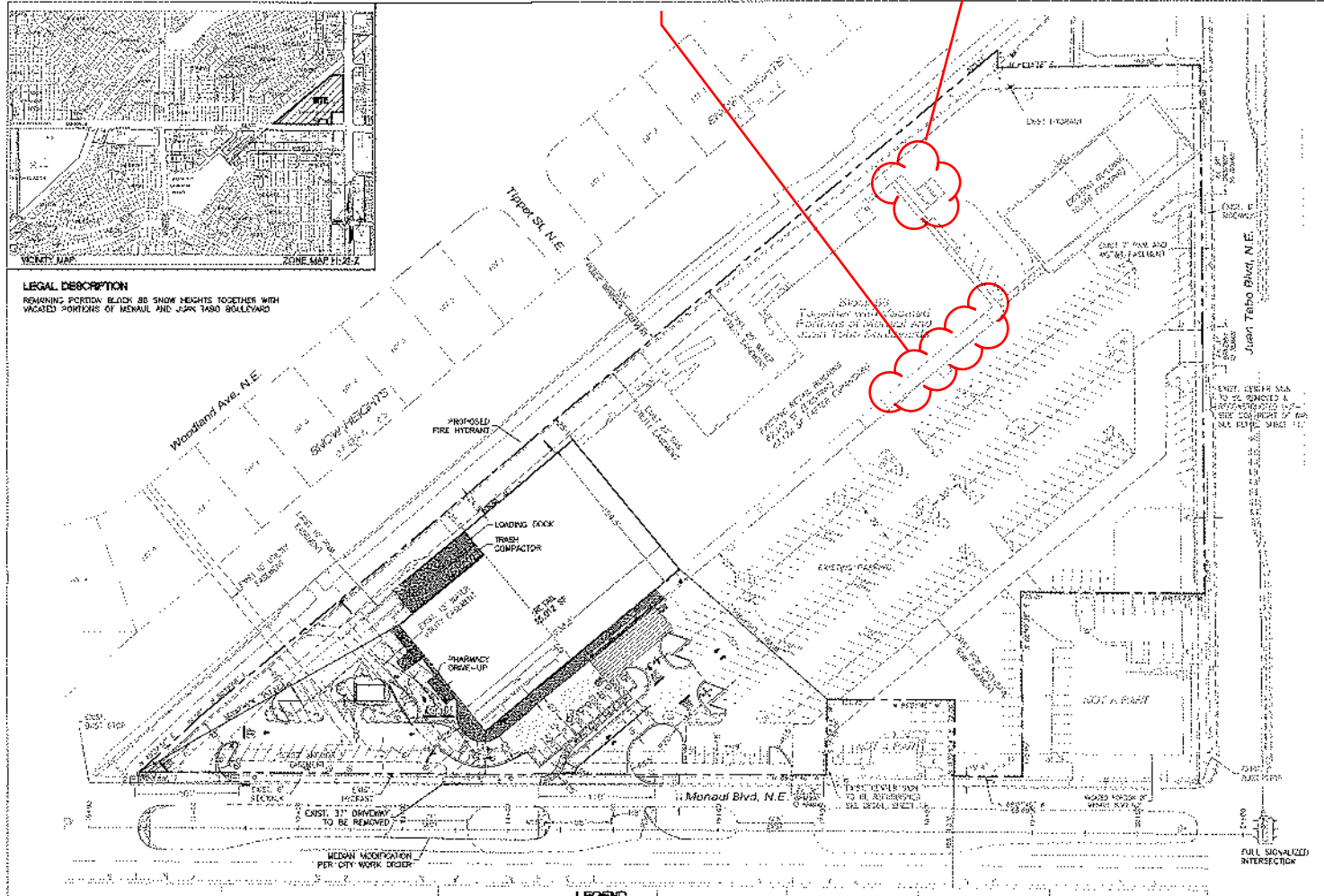
- NOTE:
- THESE COLORS ARE BASED ON THE SHERWIN-WILLIAMS INTERIOR COLOR DECK. THEY REPRESENT TONE AND VALUE BY LRV% (LIGHT REFLECTIVE VALUE) ONLY. ACTUAL LRV IS AFFECTED BY THE SURFACE APPLICATION AND TEXTURE. HEAVY TEXTURE SURFACES MUST BE LIGHTENED TO GIVE EQUIVALENT LRV LEVELS.
 - E.I.F.S. TEXTURE TO MATCH 130 STUOL 1.0 UNLESS OTHERWISE NOTED
 - FINAL COLOR APPROVAL PENDING ROSS STORES, INC. DESIGN APPROVAL.

| COLORS: | | | |
|---------|--------------------------------|-----------|-------|
| NUMBER | COLOR NAME | SW NUMBER | LRV % |
| 1 | FULL MOON | SW 6679 | 78% |
| 2 | TORCHLIGHT | SW 6374 | 50% |
| 3 | NOT USED | - | - |
| 4 | PMS PURPLE 'C' (90% INTENSITY) | PANTONE | - |

add sign for dd's Discounts
add dumpster and compactor enclosure



LEGAL DESCRIPTION
REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH VACATED PORTIONS OF MANUAL AND JUAN TABO BOULEVARD



SEE MAP
LEGAL DESCRIPTION: PORTION OF BLOCK 88 SNOW HEIGHTS
ZONING: C-2 (SC)
SEE AREA: 6.41 ACRES

PROPOSED USE (OVERSIC USE):
COMMERCIAL, RETAIL

PEDESTRIAN AND VEHICULAR ACCESS AND EGRESS:
EXISTING WALKWAY AND CURBS IS PROVIDED DIRECTLY TO MANUAL BLVD. AT FOUR DRIVEWAY APPROACH AND DIRECTLY TO JUAN TABO BLVD. AT THREE DRIVEWAY APPROACHS.

THE PROPOSED BUILDING FOOTPRINT WILL REQUIRE THE TWO MOST SOUTHWESTERLY DRIVEWAY APPROACHES RECONSTRUCTED AS SHOWN TO CONTROL TO HARBORAN INGRESS AND EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MANUAL BLVD WHICH IS ADA COMPLIANT.

INTERNAL CIRCULATION REQUIREMENTS:
AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE ACCESS TO THE TWO SEPARATE RESTAURANT PANS ALONG MANUAL BOULEVARD WHICH ARE NOT A PART OF THIS SITE DEVELOPMENT PLAN.

MINIMUM BUILDING HEIGHT ALLOWED:
20 FEET AT ANY CORNER LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 20 FEET SHALL BE WITHIN 45 DEGREE PLACES DRAWN FROM THE HORIZONLINE AT THE CORNER ALONG EACH INTERIOR BOUNDARY OF THE PROXIMITY AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRIVEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 16 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45 DEGREE PLACES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLACES DRAWN AT A 60 DEGREE ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

PROPOSED BUILDING HEIGHT: 30' MAXIMUM

MINIMUM BUILDING SETBACK:
REAR SHALL BE A FRONT AND A CORNER 50' YARD SETBACK OF NOT LESS THAN 5' FEET, AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

MAXIMUM IDEAL SHADING LIMITS:
N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING.

INDEPENDENT USES' MAXIMUM FLOOR AREA RATIO:
NO REQUIREMENT, 10.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED.

PARKING:
NONE.

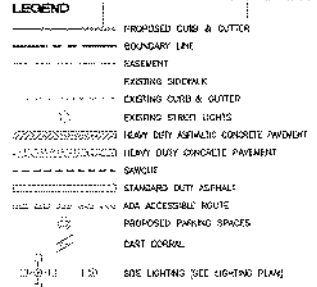
STRUCTURE LOCATIONS:
EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY TRUCK SPACE TO BE DEMOLISHED AND REBUILD AS INDICATED ON THE PLAN.

STRUCTURE DIMENSIONS AND DIMENSIONS:
BUILDING AREA:
WEST BLDG: 82,107 SF (EXISTING) + 1,066 SF (PROPOSED EXPANSION)
93,173 SF (AFTER EXPANSION)
EXISTING EAST BLDG: 10,510 SF
TOTAL: 93,683 SF (AFTER EXPANSION)
SEE SHEETS 2 THROUGH 3 FOR STRUCTURE ELEVATIONS

PARKING FACILITIES:
PARKING CALCULATIONS:
1 SPACE/200 SF (FIRST 15,000 SF) 75 SPACES
1 SPACE/250 SF (15,000 TO 30,000 SF) 120 SPACES
1 SPACE/300 SF (> 30,000 SF) 312 SPACES
REQUIRE (TOTALS): 507 SPACES
100 TRUCK BAY/STATION: ~37 SPACES
TOTAL REQUIRED: 544 SPACES
TOTAL PROVIDED: 621 SPACES
CART CORNERS PROVIDED: 8 SPACES
HC PARKING REQUIRED: 12 SPACES (2 MIN ACCESSIBLE)
NOTE: BUILDING FOOTPRINT DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING REGULATIONS APPLY.

LOADING FACILITIES:
OVERLAY DOK IS LOCATED AT T-C, REAR (NORTH SIDE) OF BUILDING.

NON-UTILITY TRANSMISSIONS:
PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRAVEL STOP AT THE SITE SERVED WITH ROUTES 1 AND 2.



INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. SITE PLAN
3. LI-LANDSCAPING PLAN
4. GRADING PLAN
5. MASTER UTILITY PLAN
6. DETAILS
7. DETAILS
8. BUILDING ELEVATIONS
9. BUILDING ELEVATIONS
10. AA SITE PLAN (PREVIOUSLY APPROVED)



- NOTES:**
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM BRUSH WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORGANIC WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET TALL WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FLUORESCENT LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 4. PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE ABLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (COARSE) COLORED CONCRETE OR THERMOPLASTIC.
 5. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PINE UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSED.

ADMINISTRATIVE APPENDIX

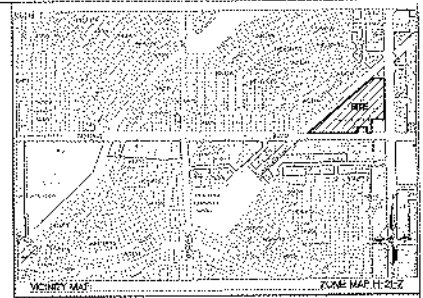
FILE # 11-000000 PROJECT # 11-000000

DATE 11/11/2011

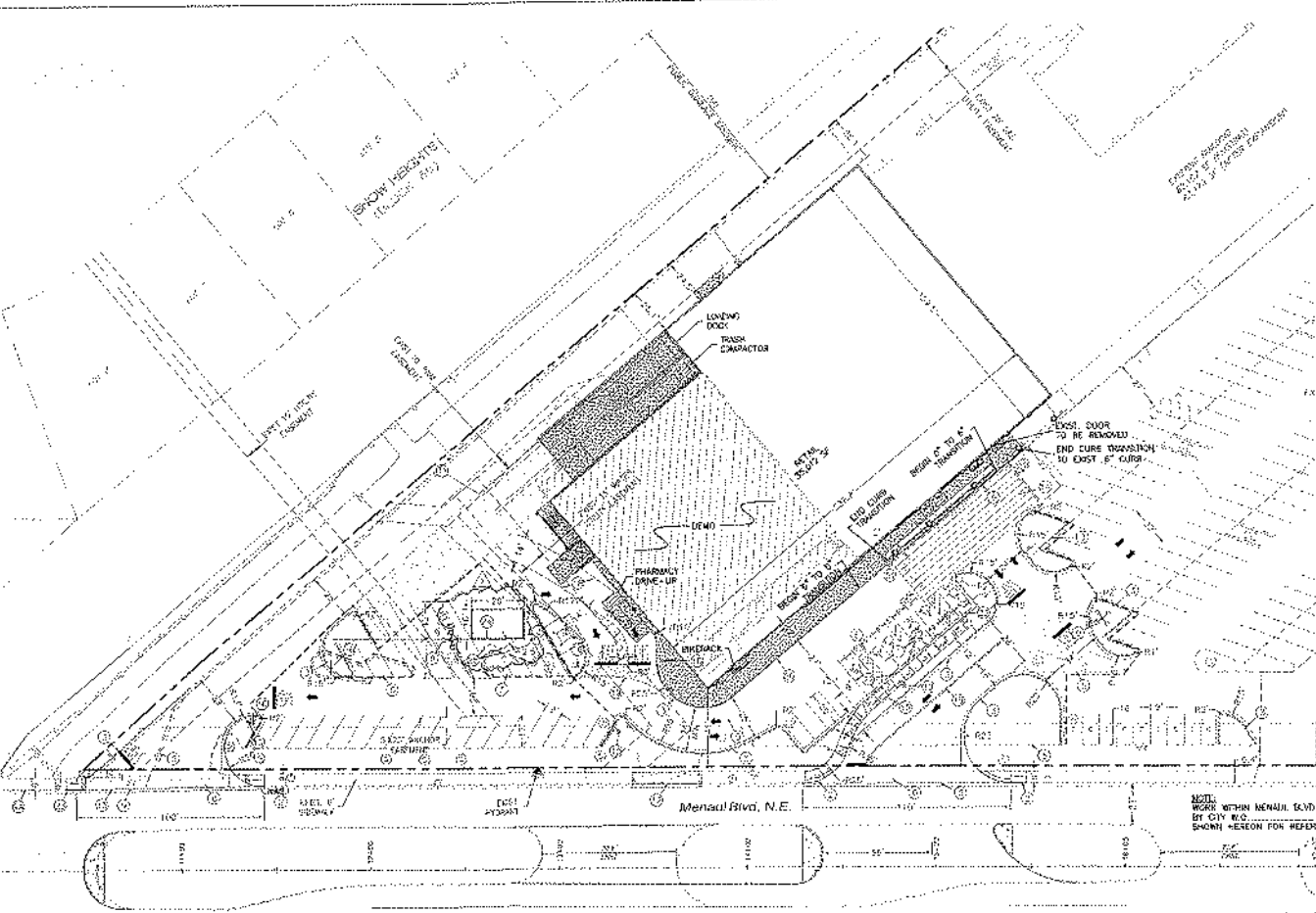
APPROVED BY [Signature]

FIRE MARSHALL APPROVAL

| | |
|--|----------------|
| APPROVED BY: [Signature] | DATE: 11-11-11 |
| FOOTHILLS, S.C. | |
| MANUAL AND JUAN TABO | |
| AA - SITE PLAN FOR BUILDING PERMIT (OVERALL) | |
| SHEET # 1 | |
| 1 | |

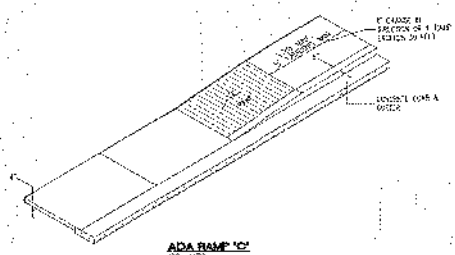


LEGAL DESCRIPTION
 REMAINING PORTION BLOCK 86 SAGW HEIGHTS TOGETHER WITH
 ADJACENT PORTIONS OF MENALL AND JUAN TABO BOULEVARDS



- KEYED NOTES**
- 1 ACCESSIBLE PARKING SEE DETAIL SHEET B
 - 2 ACCESSIBLE RAMP W/ TRUNCATED DOWNS PER CSA STD DWG #2424
 - 3 6" CURB AND GUTTER PER CSA STD DWG 24155
 - 4 SIDEWALK FLUSH WITH ASPHALT
 - 5 REMOVE AND DISPOS. EXIST CURB
 - 6 6" VALLEY SLICER PER CSA STD DWG 2420
 - 7 6" MIN CROSSWALK
 - 8 NEW MEDIAN CURB PER CSA STD DWG 2415A
 - 9 REMOVE & RELOCATE POLE AND LAMP BY CONTRACTOR (SEE LIGHTING PLAN)
 - 10 REMOVE & RELOCATE POLE AND LAMP BY PHM (SEE LIGHTING PLAN)
 - 11 NEW POLE AND LAMP (SEE LIGHTING PLAN)
 - 12 4" WIDE X 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES 17" WIDE
 - 13 REMOVE EXIST. OVERWAY ACCESS. CONSTRUCT 39" L" OF CURB, GUTTER, & 6" SIDEWALK PER CSA STD DWG #2415A & #2430
 - 14 ENTRANCE TO BE WIDENED
 - 15 PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" ELS AND 4'-0" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE
 - 16 ACCESSIBLE RAMP "B" SEE DETAIL SHEET B
 - 17 18"-1 3/8" X 30" X 30" (DO NOT ENCH) SIGN
 - 18 PAINT MEDIAN NOSE YELLOW
 - 19 4" SOLID YELLOW STRIPE
 - 20 4" SOLID WHITE STRIPE
 - 21 4" CURB
 - 22 SIDEWALK FLUSH WITH PAVEMENT. SEE ARCHITECTURAL PLAN FOR DETAIL WARNING DETAILS
 - 23 BOLLARD MOUNTED SIGN FOR DETAIL ON SHEET 7
 - 24 SLOPEPAD PER CSA STD DWG #2425
 - 25 WHEEL/PALLETT RECYCLING ENCLOSURE. SEE SHEET 11 FOR DETAILS
 - 26 WHEEL STOP

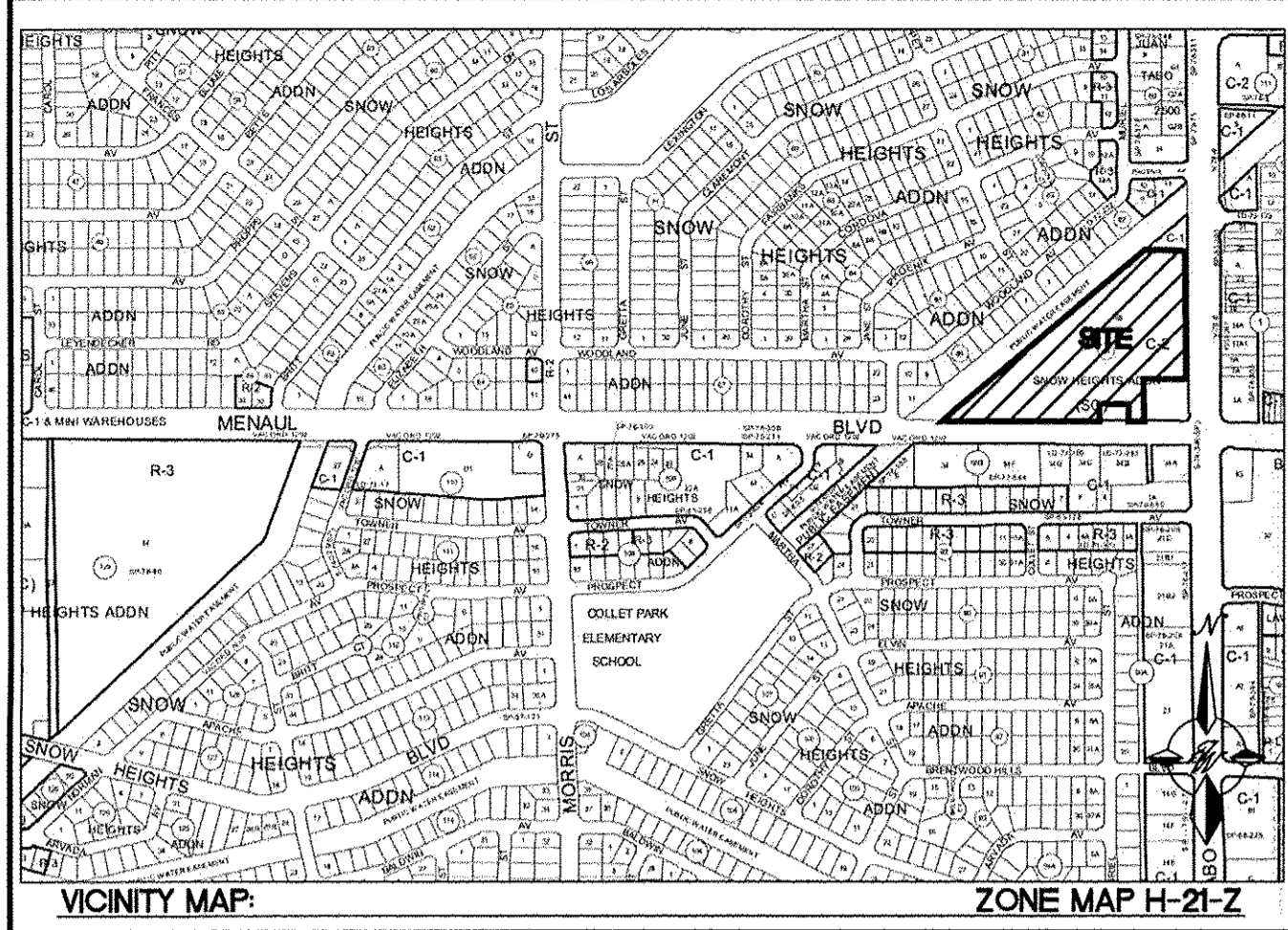
- LEGEND**
- PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING CURB & GUTTER
 - EXISTING STREET LIGHTS
 - HEAVY DUTY ASPHALT CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - SAWCUT
 - STANDARDS DUTY ASPHALT
 - ADA ACCESSIBLE ROUTE
 - PROPOSED PARKING SPACES
 - CART CORRAL
 - SITE LIGHTING (SEE LIGHTING PLAN)



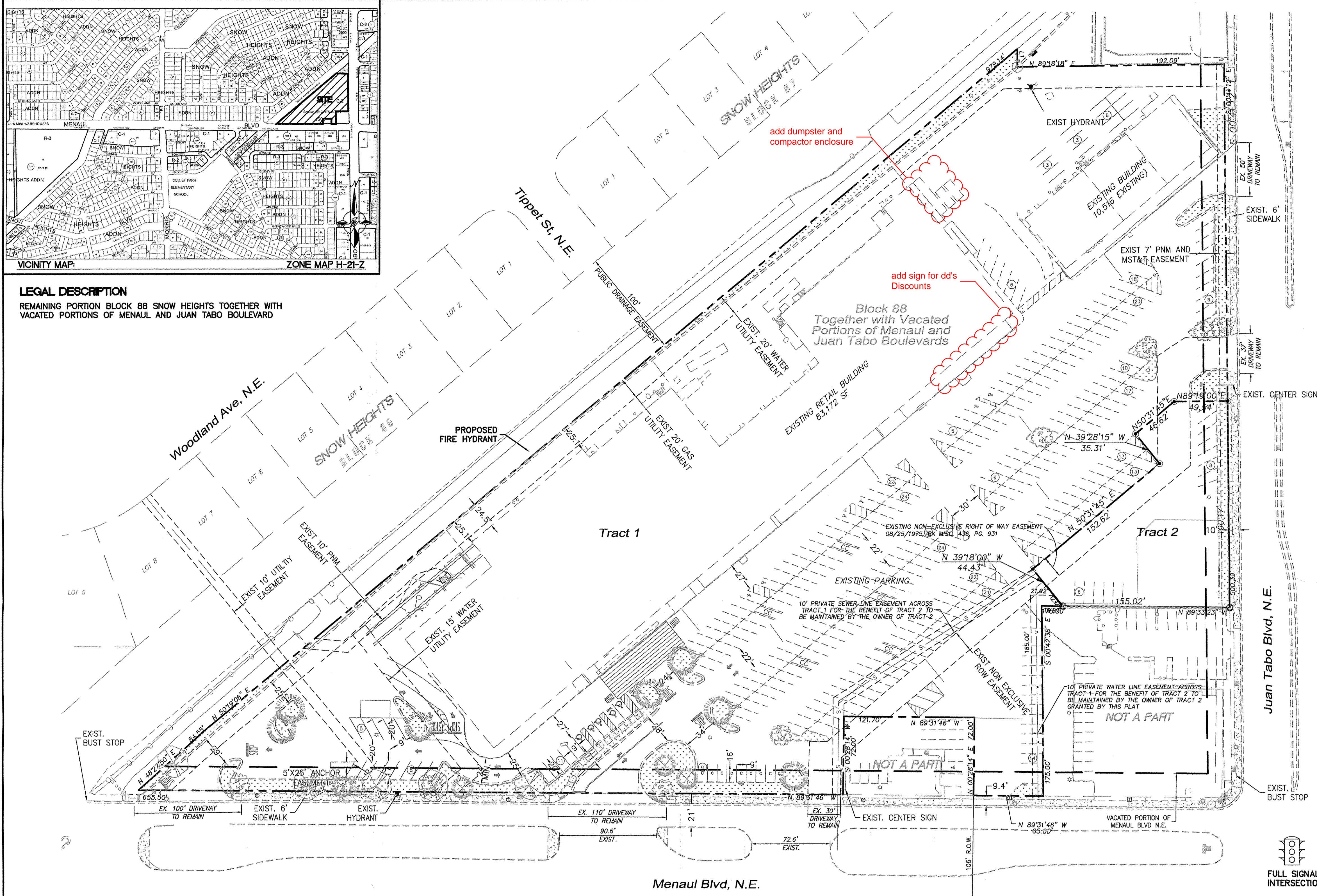
ADA RAMP
 SEE FIG. 2



| | | |
|--|--|--|
| 10' 0" 20' 0" 30' 0" 40' 0" 50' 0" 60' 0" 70' 0" 80' 0" 90' 0" 100' 0" | | |
| PROJECT NO. 2024-001 | FOOTHILLS, S.C. MENALL AND JUAN TABO AA - SITE PLAN FOR BUILDING PERMIT | DRAWN BY JSM CHECKED BY JSM DATE 12/15/23 SHEET NO. 2 TOTAL SHEETS 2 |
| YSHEUNG ARCHITECTS, A.P.C. 1001 WOODBURY PARK BLVD. NEW YORK, NY 10019 TEL: 212-693-7700 WWW.YSHEUNGARCHITECTS.COM | | |



LEGAL DESCRIPTION
 REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH
 VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD



SITE DATA
 LEGAL DESCRIPTION: TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITION
 ZONING: C-2 (SC)
 SITE AREA: 8.61 ACRES (TRACT 1: 8.1075 AC)
 (TRACT 2: 0.5033 AC)

PROPOSED USE/EXISTING USE:
 COMMERCIAL RETAIL

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 EXISTING INGRESS AND EGRESS IS PROVIDED DIRECTLY TO MENAUL BLVD AT FOUR DRIVEWAY APRONS AND DIRECTLY TO JUAN TABO BLVD AT THREE DRIVEWAY APRONS.

THE PROPOSED BUILDING ADDITION WILL REQUIRE THE TWO MOST SOUTHWESTERLY DRIVEWAY APRONS RECONFIGURED AS SHOWN TO CONTINUE TO MAINTAIN INGRESS AND EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MENAUL BLVD WHICH IS ADA COMPLIANT.

INTERNAL CIRCULATION REQUIREMENTS:
 AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE ACCESS TO THE TWO SEPARATE RESTAURANT PADS ALONG MENAUL BOULEVARD WHICH ARE "NOT A PART" OF THIS SITE DEVELOPMENT PLAN.

MAXIMUM BUILDING HEIGHT ALLOWED:
 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTERLINE.

PROPOSED BUILDING HEIGHT: 32' MAXIMUM

MINIMUM BUILDING SETBACK:
 THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

MAXIMUM TOTAL DWELLING UNITS:
 N/A, RESIDENTIAL USE NOT PERMITTED PER ZONING

NONRESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:
 NO REQUIREMENT. (0.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED)

PHASING

NONE.

STRUCTURE LOCATIONS:
 EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY TENANT SPACE TO BE DEMOLISHED AND REBUILT AS INDICATED ON THE PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS:
 BUILDING AREA:
 WEST BLDG: 82,107 SF (EXISTING) + 1,065 SF (PROPOSED EXPANSION)
 83,172 SF (AFTER EXPANSION)
 EXISTING EAST BLDG: 10,516 SF
 TOTAL: 93,688 SF (AFTER EXPANSION)
 SEE SHEETS 8 THROUGH 9 FOR STRUCTURE ELEVATIONS

PARKING FACILITIES
PARKING CALCULATIONS (TRACT 1):
 1 SPACE/200 SF (FIRST 15,000 SF): 75 SPACES
 1 SPACE/250 SF (15,000 TO 60,000 SF): 180 SPACES
 1 SPACE/300 SF (> 60,000 SF): 112 SPACES
 REQUIRED (GROSS): 367 SPACES
 10% TRANSIT REDUCTION: -37 SPACES
 TOTAL REQUIRED: 330 SPACES
 TOTAL PROVIDED: 330 SPACES
 CART CORRALS PROVIDED: 6 SPACES
 HC PARKING REQUIRED: 12 SPACES (2 VAN ACCESSIBLE)
 NOTE: BUILDING ADDITION DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING REGULATIONS APPLY.

PARKING CALCULATIONS (TRACT 2):
 PARKING REQUIRED: TBD
 PARKING PROVIDED: 14 SPACES

LOADING FACILITIES
 DELIVERY DOCK IS LOCATED AT THE REAR (NORTH SIDE) OF BUILDING.

NON AUTO TRANSPORTATION
 PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRANSIT STOPS AT THE SITE SERVICED WITH ROUTES 1 AND 8.

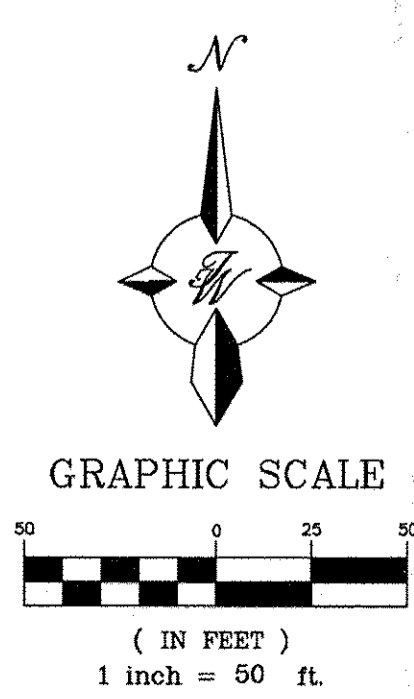
| | | |
|----------------------------------|---|------------------------|
| ENGINEER'S SEAL | FOOTHILLS, S.C. | DRAWN BY |
| | MENAUL AND JUAN TABO | DATE |
| RONALD R. BOHANNAN P.E. #7868 | AA - SITE PLAN FOR BUILDING PERMIT (OVERALL) | 10-10-17 |
| | TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com | DRAWING 2016068-SPB |
| | | SHEET # 1 |
| | | JOB # 2016068 |

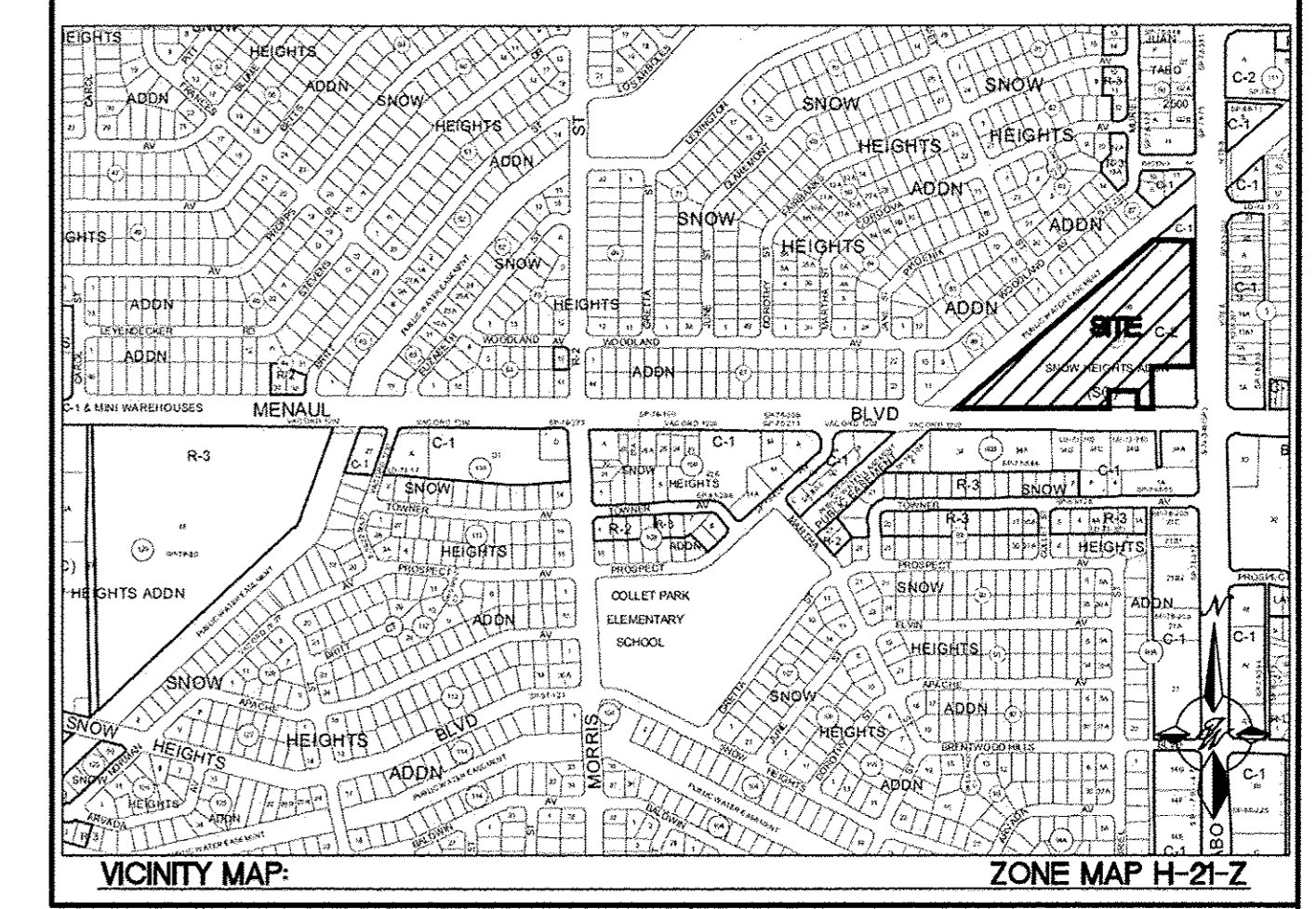
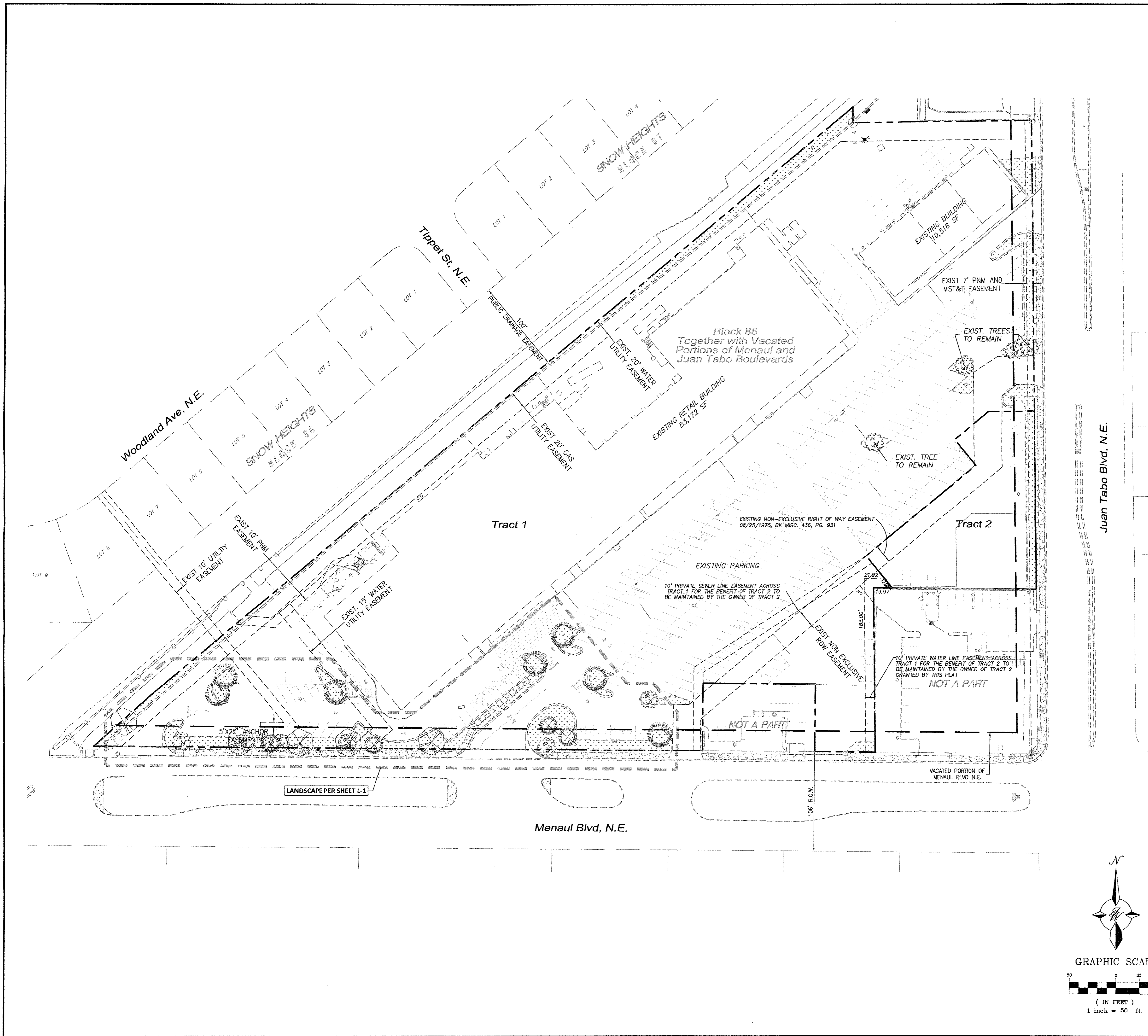
- NOTES:**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR THERMOPLASTIC.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

ADMINISTRATIVE AMENDMENT
 FILE # 7744 PROJECT # 1002445
 New Tract 2
 APPROVED BY [Signature] DATE 10/10/17

- LEGEND**
- PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - EXISTING SIDEWALK
 - EXISTING CURB & GUTTER
 - EXISTING STREET LIGHTS
 - HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - SAWCUT
 - STANDARD DUTY ASPHALT
 - ADA ACCESSIBLE ROUTE
 - PROPOSED PARKING SPACES
 - CART CORRAL
 - SITE LIGHTING (SEE LIGHTING PLAN)

- INDEX TO DRAWINGS**
- SITE PLAN FOR BUILDING PERMIT
 - SITE PLAN
 - L1-LANDSCAPING PLAN
 - GRADING PLAN
 - MASTER UTILITY PLAN
 - DETAILS
 - DETAILS
 - BUILDING ELEVATIONS
 - BUILDING ELEVATIONS
 - AA SITE PLAN (PREVIOUSLY APPROVED)



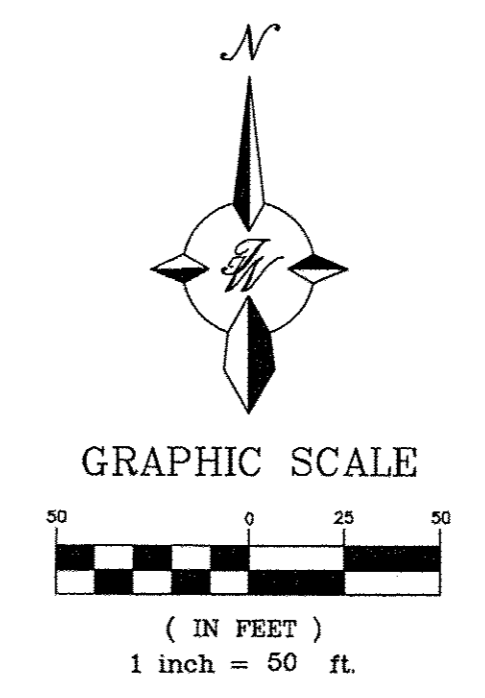


LEGAL DESCRIPTION
 TRACTS 1 AND 2, BLOCK 88 SNOW HEIGHTS ADDITON

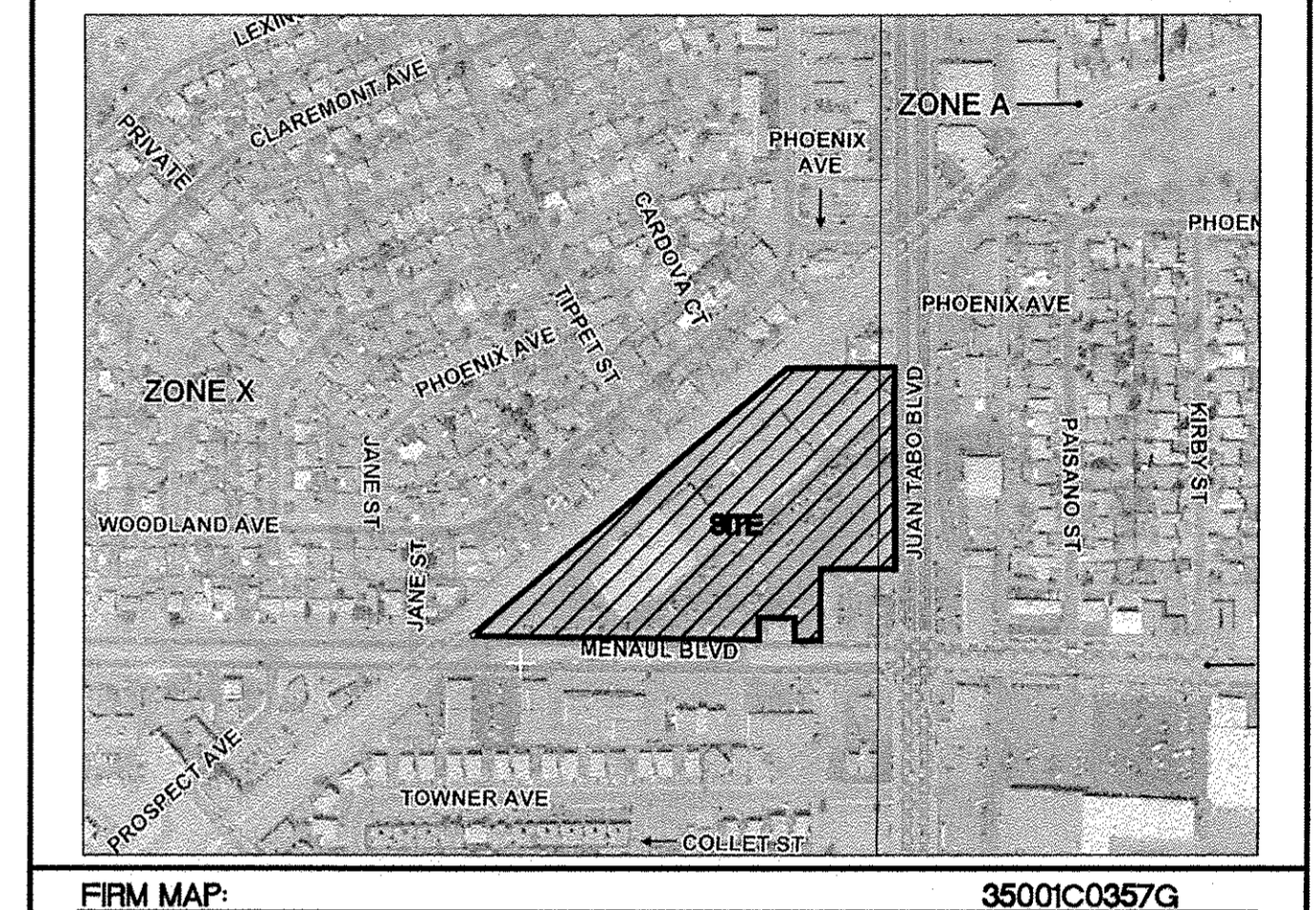
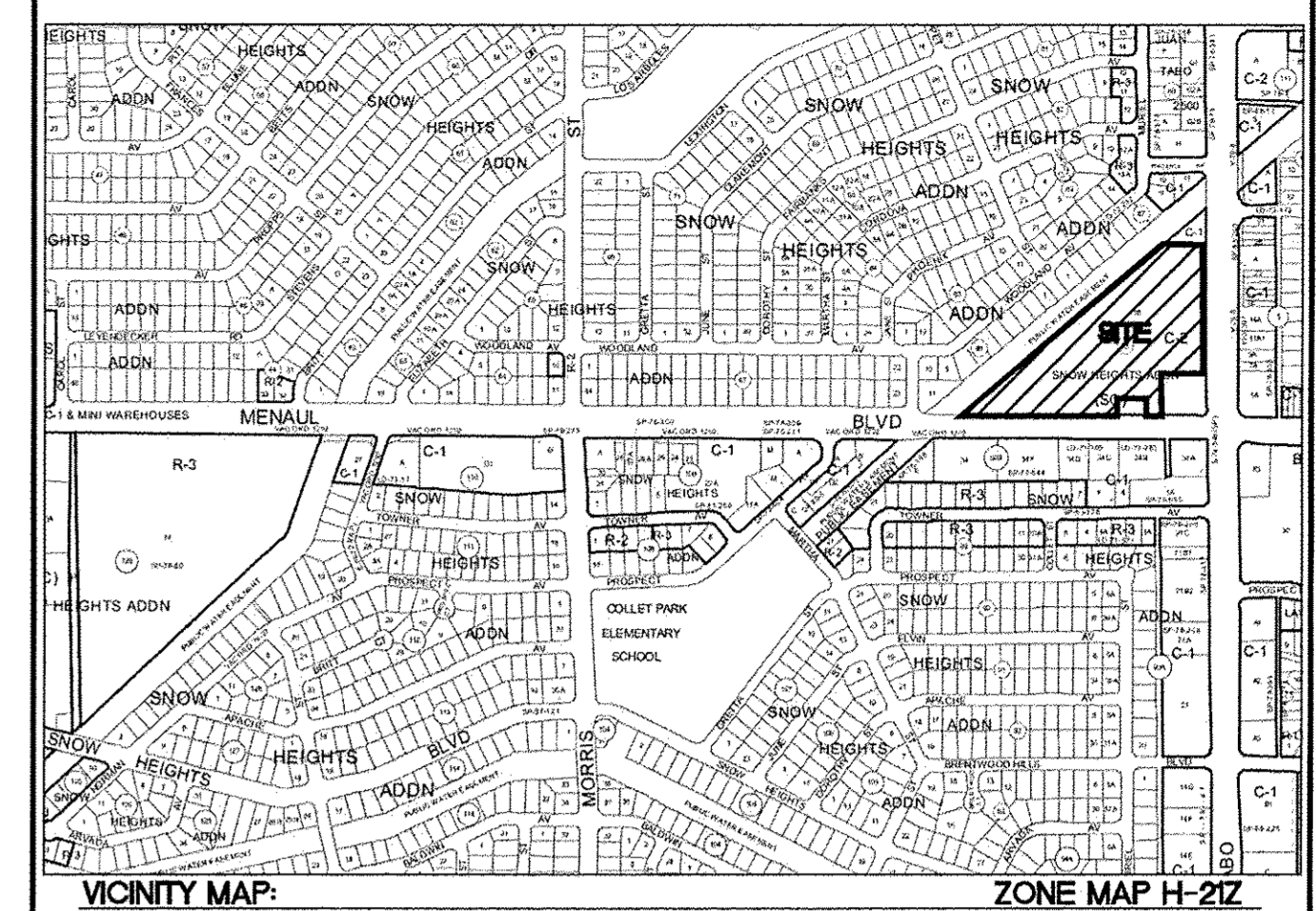
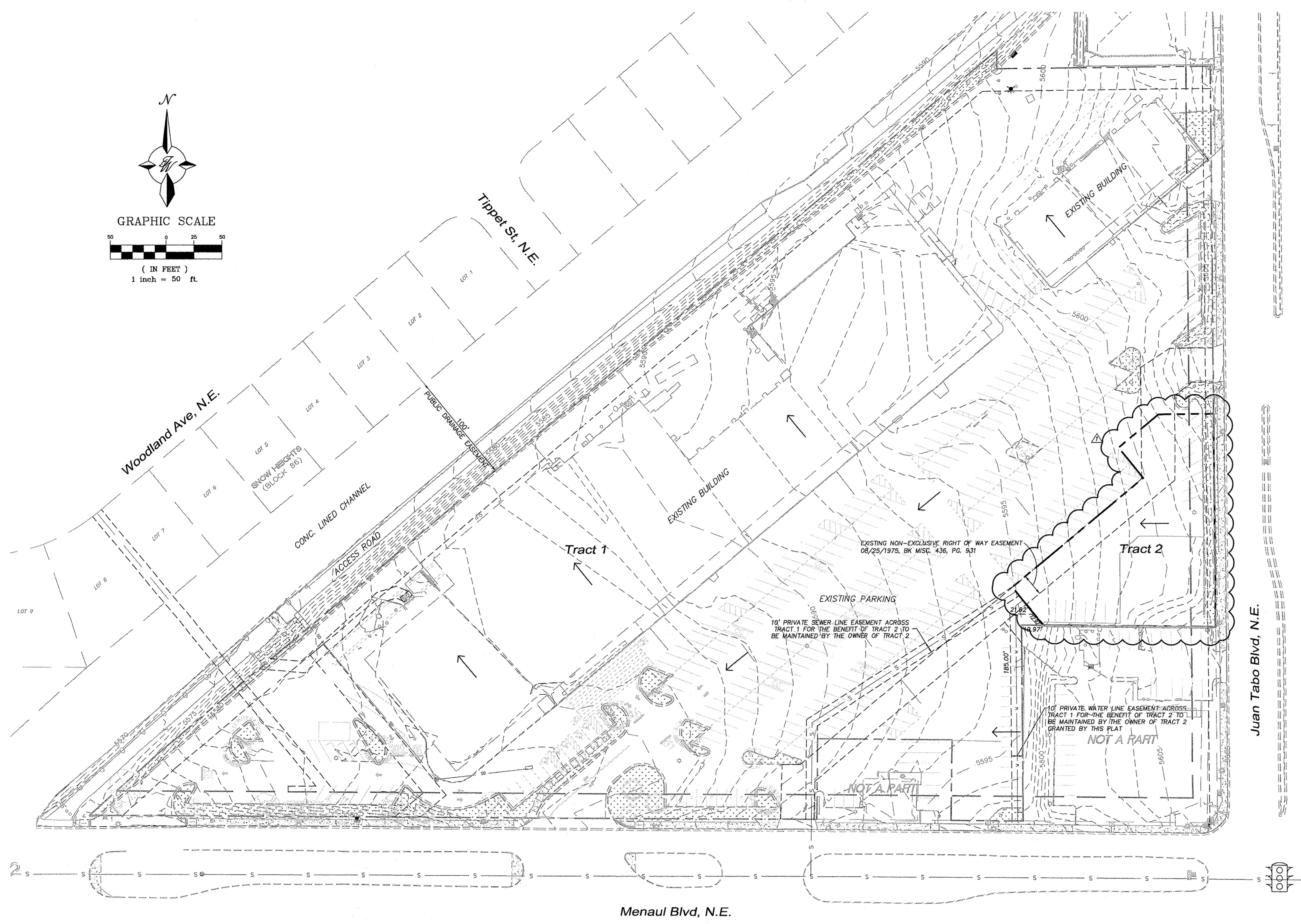
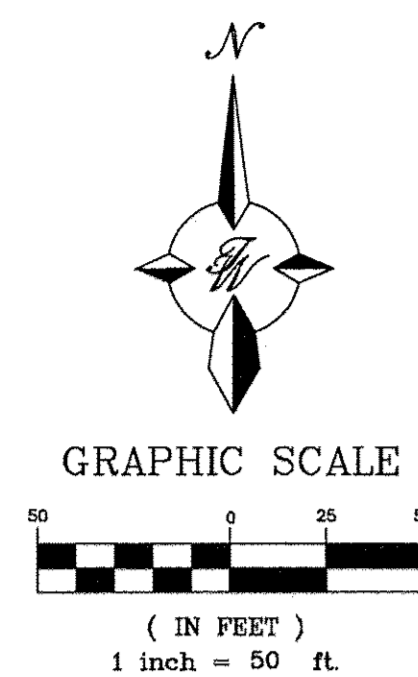
- LEGEND**
- BOUNDARY LINE
 - - - EASEMENT
 - - - EXISTING BOUNDARY LINE
 - - - EXISTING SIDEWALK
 - - - EXISTING CURB & GUTTER
 - ☼ EXISTING STREET LIGHTS
 - ▨ EXISTING LANDSCAPE
 - ☉ EXISTING TREES PER SHEET L-1
 - ☉ EXISTING TREES TO REMAIN

LANDSCAPE COVERAGE (OVERALL - TRACTS 1 AND 2)

| | |
|----------------------------------|----------------------------|
| LOT 1: | 353,165 |
| LOT 2: | 21,923 |
| | 375,088 |
| BUILDING FOOTPRINT LOT 1: | (83,172 + 10,516) = 93,688 |
| BUILDING FOOTPRINT LOT 2: | NONE |
| TOTAL BLDG: | 93,688 |
| NET LOT AREA: | 281,400 SF |
| 15% OF NET LOT AREA: | 42,210 SF |
| LANDSCAPE VARIANCE: | 19,297 SF |
| REQUIRED LANDSCAPE: | 22,913 SF |
| PROVIDED LOT 1 & ROW: | 20,384 SF |
| PROVIDED LOT 2 & ROW: | 2,610 SF |
| TOTAL PROVIDED: | 22,994 SF |



| | | |
|----------------------------------|---|-----------------------|
| ENGINEER'S SEAL | FOOTHILLS, S.C. MENAUL AND JUAN TABO | DRAWN BY DY |
| | AA - LANDSCAPE PLAN FOR OVERALL SITE | DATE 10-10-17 |
| RONALD R. BOHANNAN P.E. #7868 | TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | DRAWING 2016068-LS |
| | | SHEET # L-0 |
| | | JOB # 2016068 |



LEGAL DESCRIPTION
 LOTS 1 TO 12, BLOCK 1, EVA J ROBERTS ADDITION

LEGEND

| | |
|--|-------------------------|
| | PROPOSED CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | EXISTING SIDEWALK |
| | EXISTING CURB & GUTTER |
| | EXISTING STREET LIGHTS |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |
| | EXISTING INLET |

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

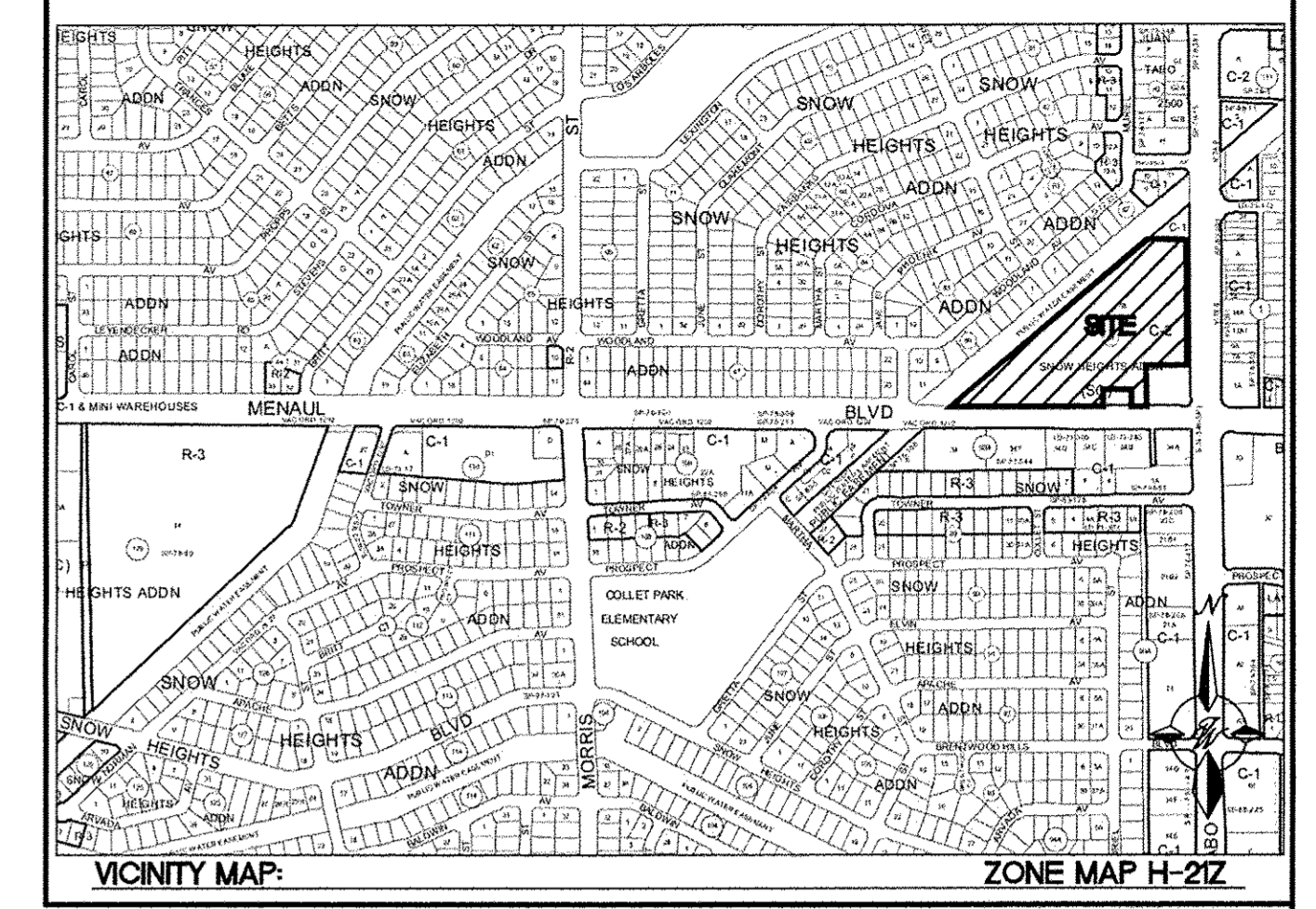
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CONCEPTUAL DRAINAGE CONFIGURATION

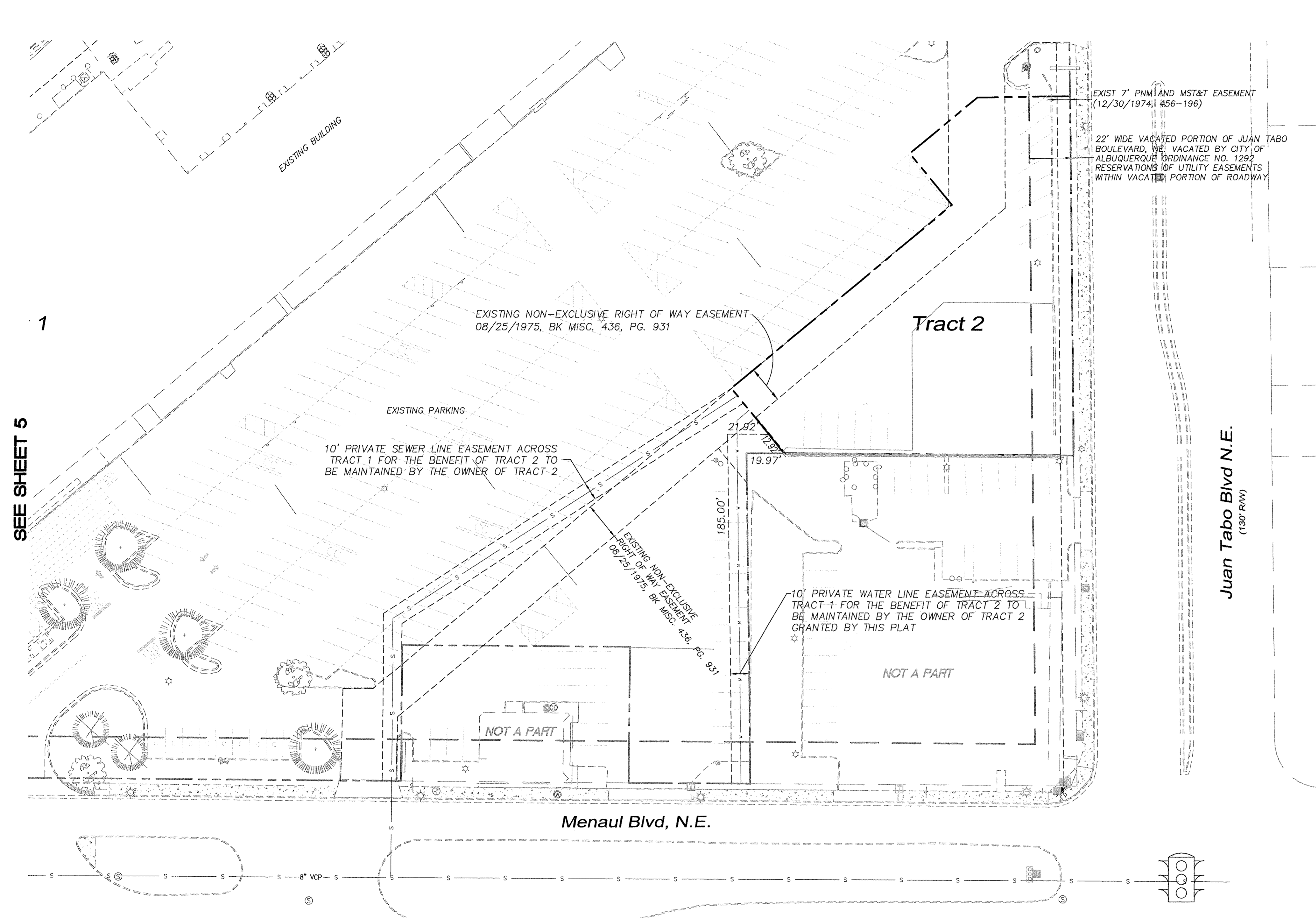
THE PURPOSE OF THIS ADMINISTRATIVE AMENDMENT IS TO DOCUMENT THE PREVIOUSLY APPROVED CONFIGURATION OF PROPOSED TRACT 2 WITHIN THE EXISTING FOOTHILLS SHOPPING CENTER AND TO ALLOW FOR A REPLATTING ACTION; NO CONSTRUCTION IS PROPOSED WITH THIS PLAN. THE SITE IS DEVELOPED AND MOST RECENTLY MODIFIED BY A BUILDING EXPANSION PER GRADING AND DRAINAGE PLANS WITH STAMP DATE 7/21/11 AND DRAINAGE REPORT IN FILE (H21/D043). TRACT 2 LIES WITHIN BASIN A OF THE REFERENCED DRAINAGE REPORT WITH ASSUMED HYDROLOGIC LAND TREATMENTS OF 10% C AND 90% D.

FUTURE DEVELOPMENT OF TRACT 2 WILL REQUIRE DEVELOPMENT AND APPROVAL OF A DETAILED GRADING AND DRAINAGE PLAN WITH ANALYSIS TO DEMONSTRATE EITHER HISTORIC DRAINAGE CHARACTERISTICS WILL BE MAINTAINED, OR DOWNSTREAM CAPACITY ANALYSIS FOR CHANGED CONDITIONS FOR APPROVAL BY THE CITY OF ALBUQUERQUE. ONSITE RETENTION/DETENTION MAY BE REQUIRED WITHIN TRACT 2 AT TIME OF DEVELOPMENT IN CONFORMANCE WITH THE DRAINAGE ORDINANCE FOR FIRST FLUSH TREATMENT REQUIREMENTS.

| | | |
|----------------------------------|--|------------------------|
| 10/10/17 | ADDED SHEET FOR PROPOSED TRACT 2 | JDH |
| NO. | DATE | REMARKS |
| REVISIONS | | |
| ENGINEER'S SEAL | FOOTHILLS, S.C. MENAUL AND JUAN TABO | DRAWN BY DY |
| | AA - CONCEPTUAL GRADING & DRAINAGE PLAN (TRACT 2) | DATE 10-10-17 |
| | | DRAWING 2016068-GRB |
| | | SHEET # 4A |
| RONALD R. BOHANNAN P.E. #7868 | TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | JOB # 2016068 |



1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.



SEE SHEET 5

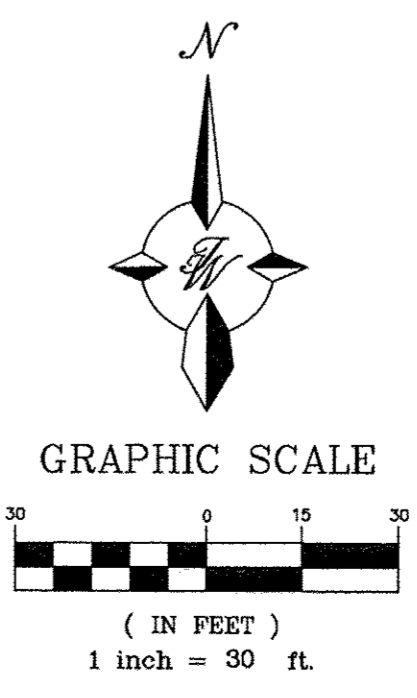
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GENERAL NOTES:**
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
 6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

LEGEND

| | |
|--|---|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | CENTERLINE |
| | SIDEWALK |
| | RETAINING WALL |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | 36" SD STORM SEWER LINE |
| | 8" SAS SANITARY SEWER LINE |
| | 6" WL WATERLINE |
| | SINGLE CLEAN OUT |
| | DOUBLE CLEAN OUT |
| | EXISTING SD MANHOLE |
| | EXISTING INLET |
| | EXISTING SAS MANHOLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER METER |
| | EXISTING POWER POLE |
| | EXISTING GAS VALVE |
| | EXISTING OVERHEAD UTILITIES |
| | EX. UGE EXISTING UNDERGROUND UTILITIES |
| | EX. 2" GAS EXISTING GAS |
| | EX. 8" SAS EXISTING SANITARY SEWER LINE |
| | EX. 10" WL EXISTING WATER LINE |
| | EX. 18" RCP EXISTING STORM SEWER LINE |



| | | | |
|----------------------------------|--|--------------------|------------------------|
| NO. | 10/10/17 | ADDED SHEET FOR AA | JDH |
| DATE | | REMARKS | BY |
| REVISIONS | | | |
| ENGINEER'S SEAL | FOOTHILLS, S.C. MENAUL AND JUAN TABO | | DRAWN BY DY |
| | MASTER UTILITY PLAN FOR TRACT 2 | | DATE 10-10-17 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | | DRAWING 2016068-MUB |
| RONALD R. BOHANNAN P.E. #7868 | | | SHEET # 5A |
| | | | JOB # 2016068 |

