



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Cole MT Albuquerque NM, LLC		Phone: 602-778-6301
Address: 2398 E Camelback Road, 4th Floor		Email: mkroeger@cimgroup.com
City: Phoenix	State: AZ	Zip: 85016
Professional/Agent (if any): Linda Laurenzi - AO Architects		Phone: 714-639-9860
Address: 144 N. Orange Street		Email: linda@aoarchitects.com
City: Orange	State: CA	Zip: 92866
Proprietary Interest in Site: Architect		List <u>all</u> owners: Cole MT Albuquerque NM, LLC

BRIEF DESCRIPTION OF REQUEST

~~Approval for redemise of existing suite into two suites. Adding storefront and hanging awnings.~~
 Approval for added trash enclosure, moving rear doors in the rear of the building and added canopy at the front facade


SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: See Attached Survey APN: 101406613006930105	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): A14	Existing Zoning: C-1, C-2	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 9.5 ac

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5001 Old Airport Avenue 6650 NM-528	Between: Old Airport Road NW	and: Alameda Blvd NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:  David Benevento 2021.01.28 15:57:15 -0700'	Date:
Printed Name: Cole MT Albuquerque NM, LLC, a Delaware limited liability company By: CIM Real Estate Finance Management, LLC, a Delaware limited liability company, its Manager	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01153	AA				
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project # PR-2021-005005		

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO


- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - Copy of the Official Notice of Decision associated with the prior approval
 - Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


ALTERNATIVE SIGNAGE PLAN

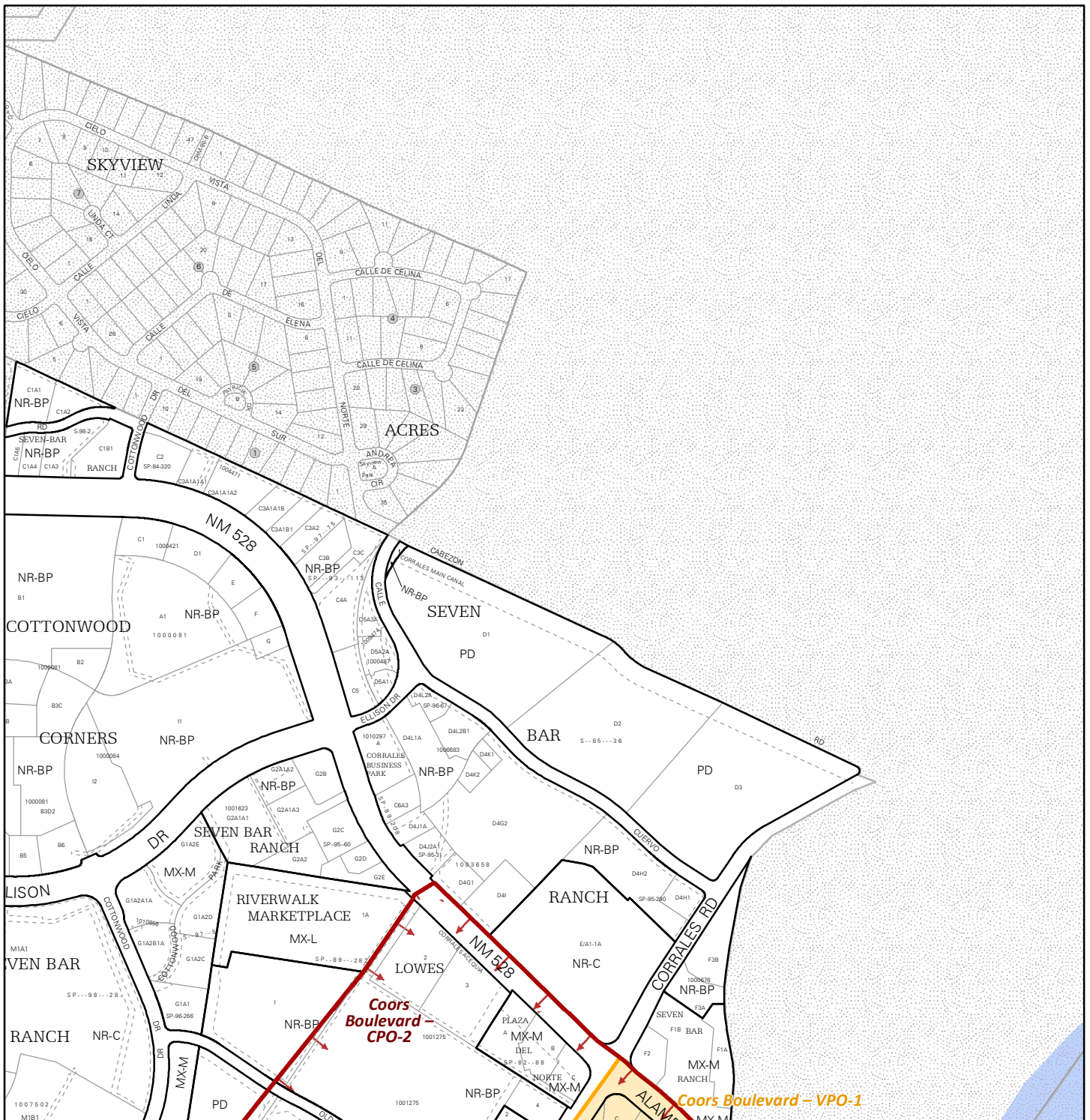
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:  David Benavente 2021.01.28 15:56:35 -07'00'	Date:
Printed Name: Cole MT Albuquerque NM, LLC, a Delaware limited liability company By: CIM Real Estate Finance Management, LLC, a Delaware limited liability company, its Manager	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

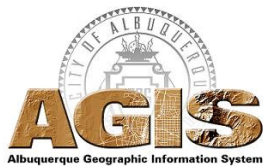
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Project Number:	Case Numbers	
PR-2021-005005	SI-2021-01153	
	-	
	-	
Staff Signature:		
Date:		

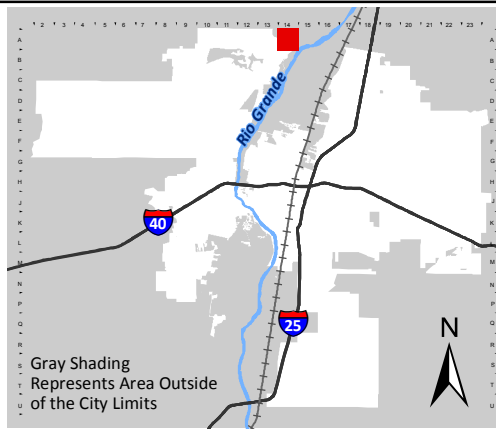


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

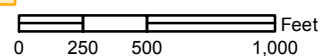


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





July 21, 2021

Re: Cottonwood Commons – Authorized Agent Letter

On behalf of Cole MT Albuquerque NM, LLC (“CIM Group”), the undersigned hereby authorizes Architects Orange, LLP (“AO”) to act as an agent on our behalf to submit plans and documents as required by the City of Albuquerque.

Cole MT Albuquerque NM, LLC
A Delaware limited liability company

By: CIM Real Estate Finance Management, LLC,
a Delaware limited liability company,
its Manager


By: _____
David Benavente
Authorized Signer

Cc: Mark Kroeger, CIM Group
Linda Laurenzi, AO

July 15,2021

City of Albuquerque
Zoning Department

Administrative Amendment justification letter per criteria 14-16-6-4 (Y)(2), not 14-16-6-4 (X)(2).

1. This is in reference to minor modifications to a previously approved AA, File #SI-2021-0013 Project # PR-2021-00505. The proposed Building modification consists of an added metal canopy over the front storefront section of the future Five Below space, a pair for rear doors in lieu of a roll up door at the back of the suite and an added trash enclosure as required by the city per city standards.

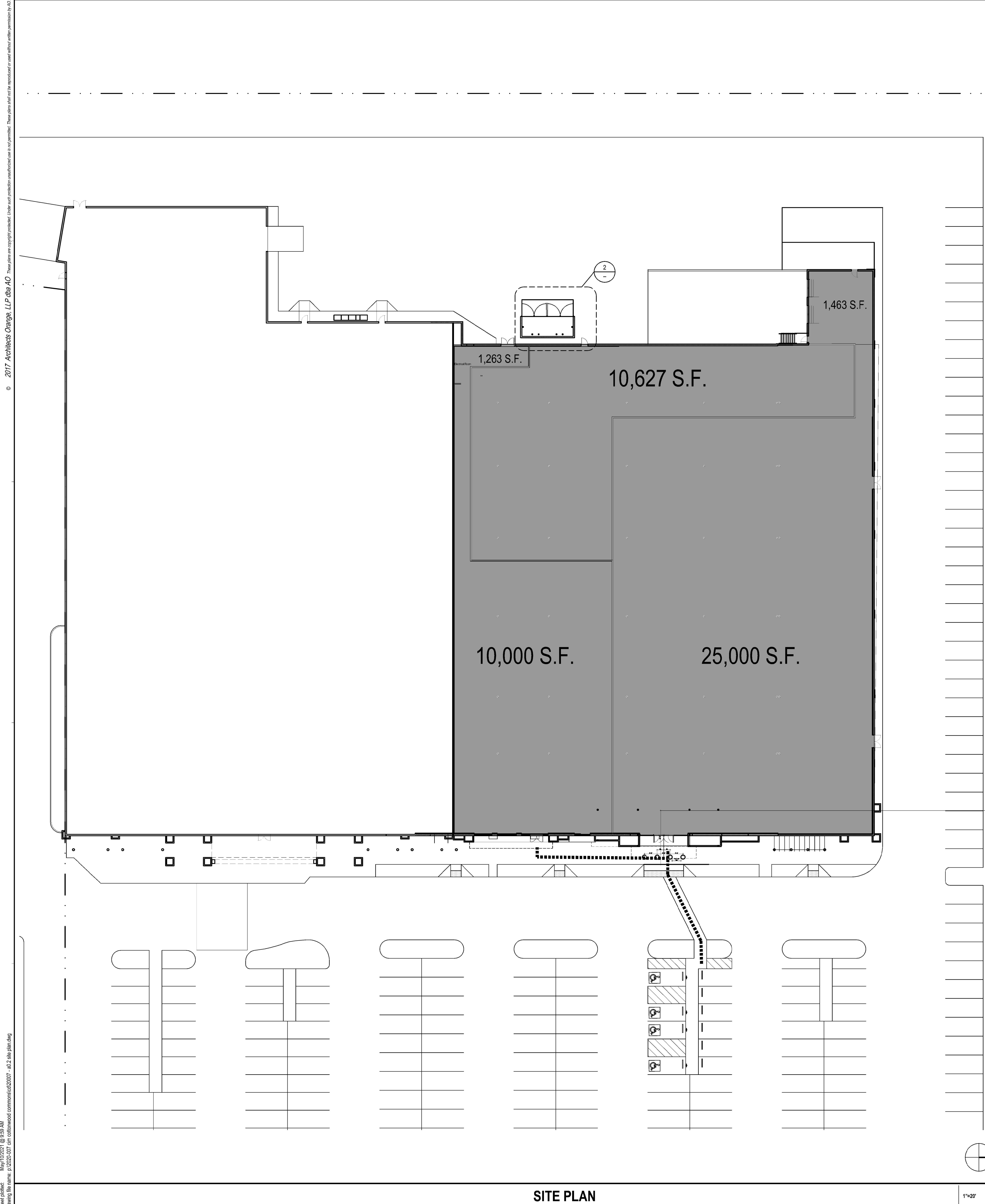
- 2 – 13. The amendment does not affect any of these items.

Please review the response/actions and call me if you have any questions or comments.

Thank You,

Linda Laurenzi

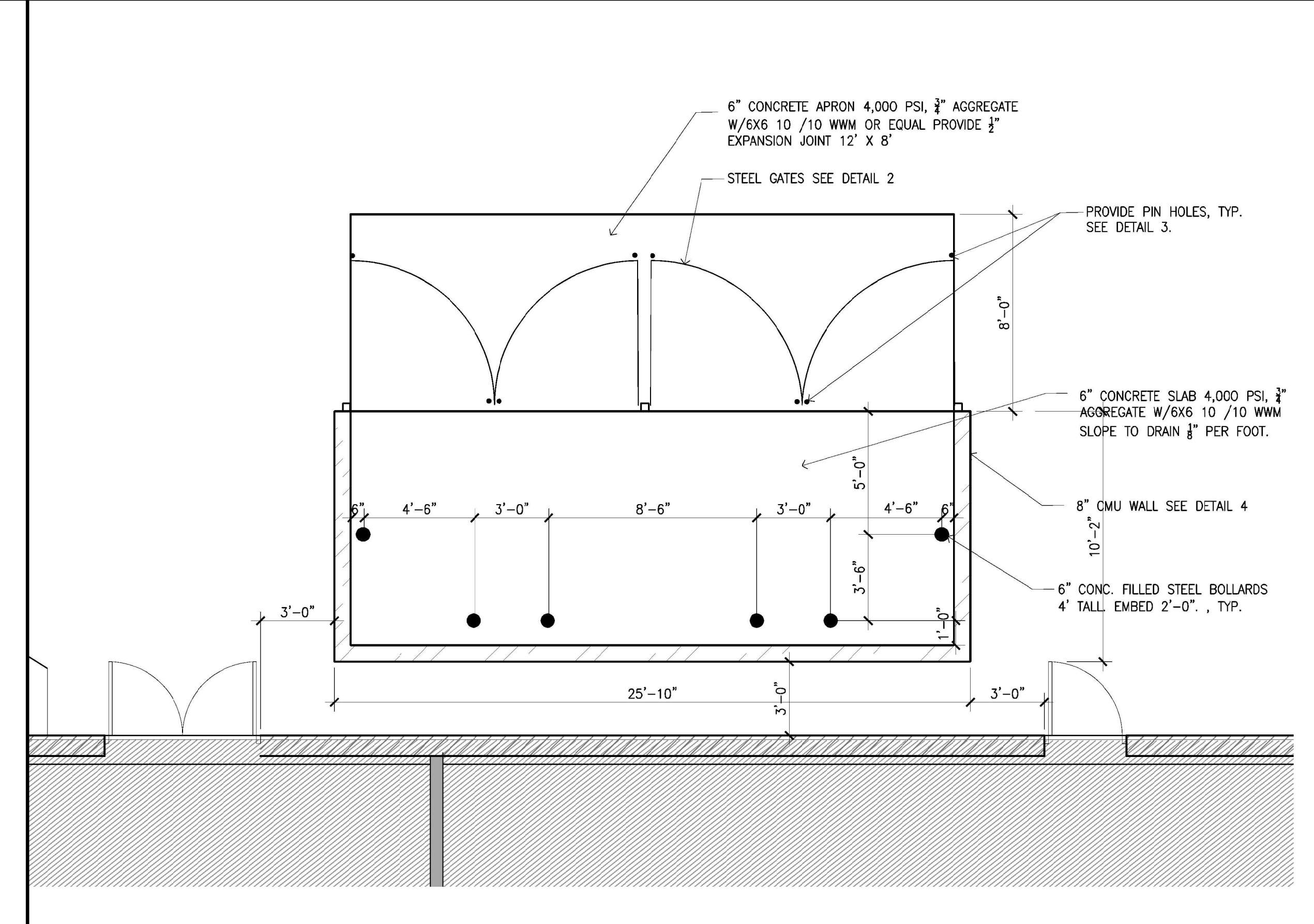
Linda Laurenzi, Associate



SITE PLAN

1"=20'

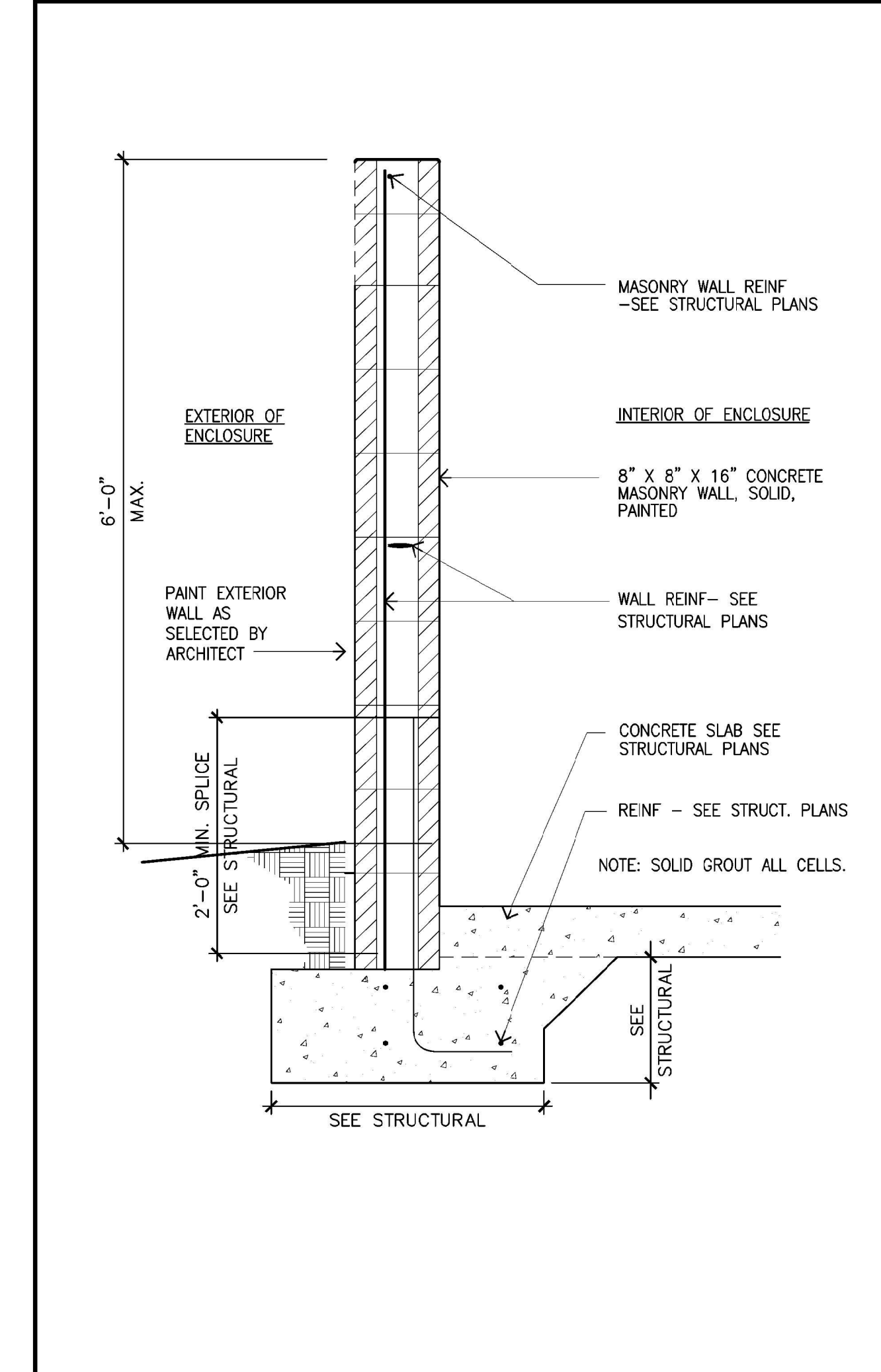
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TRASH ENCLOSURE PLAN

1/4"=1'-0"

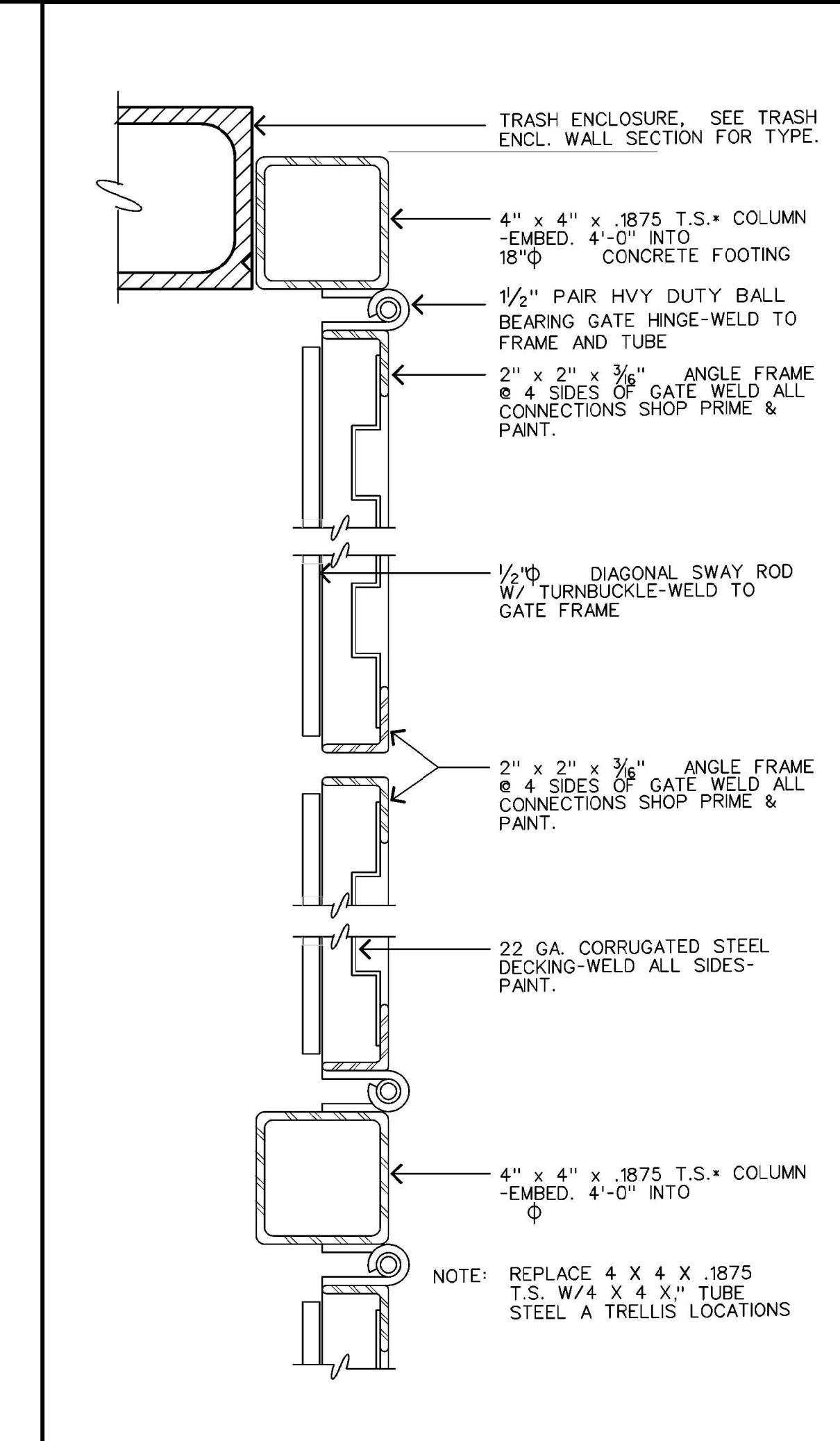
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WALL SECTION

1/4"=1'-0"

4

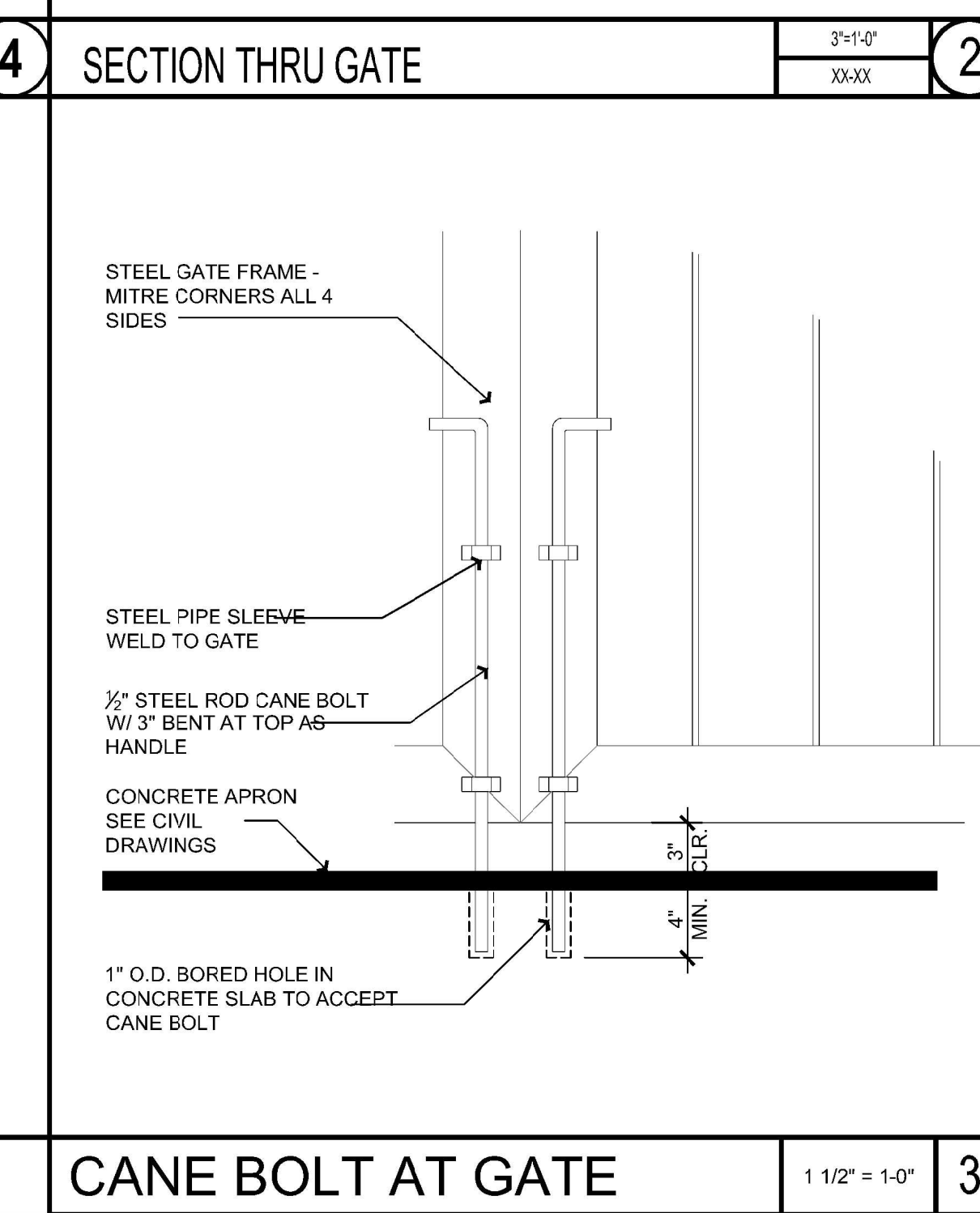


SECTION THRU GATE

3/8"=1'-0"

X-X

2

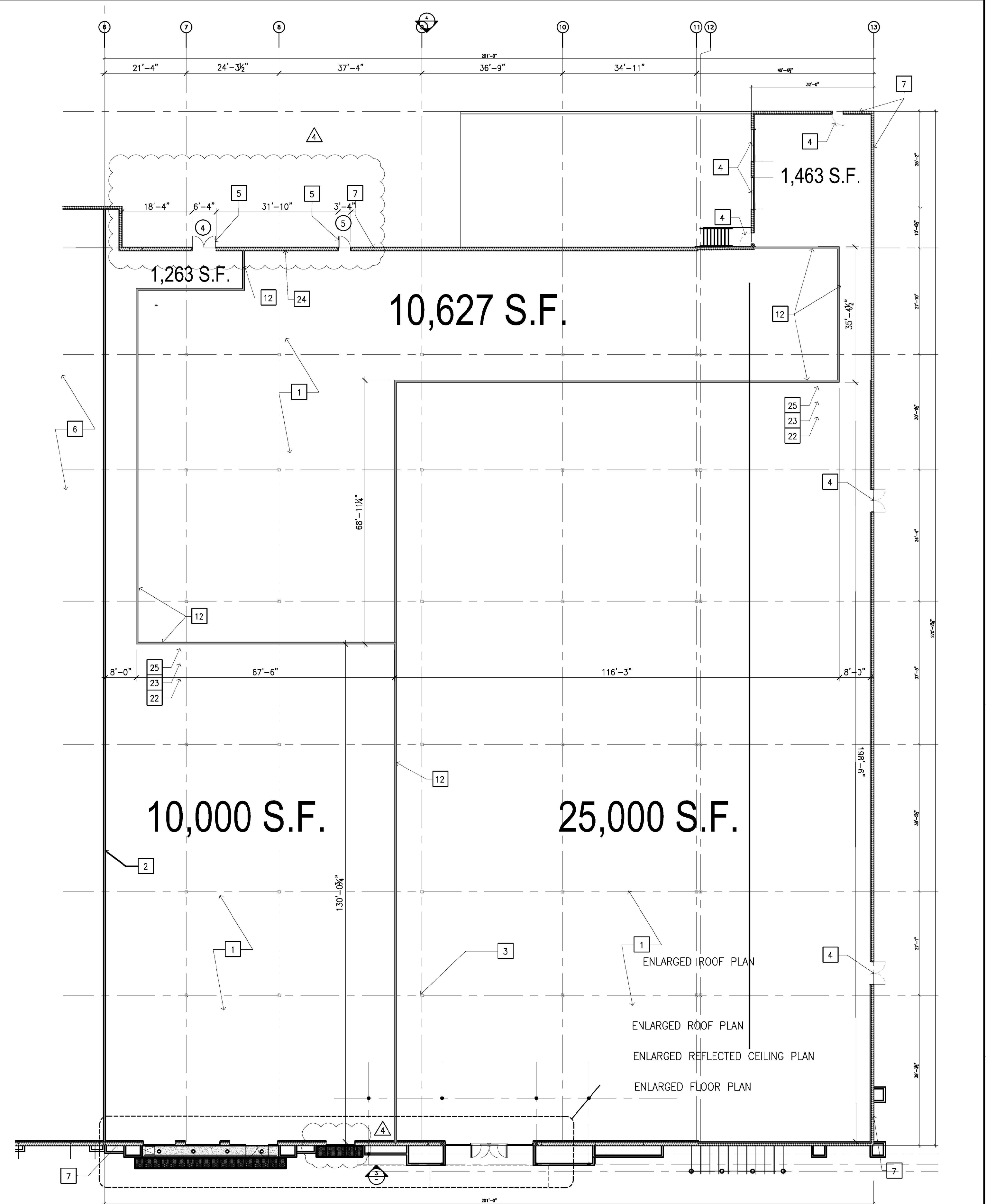


CANE BOLT AT GATE

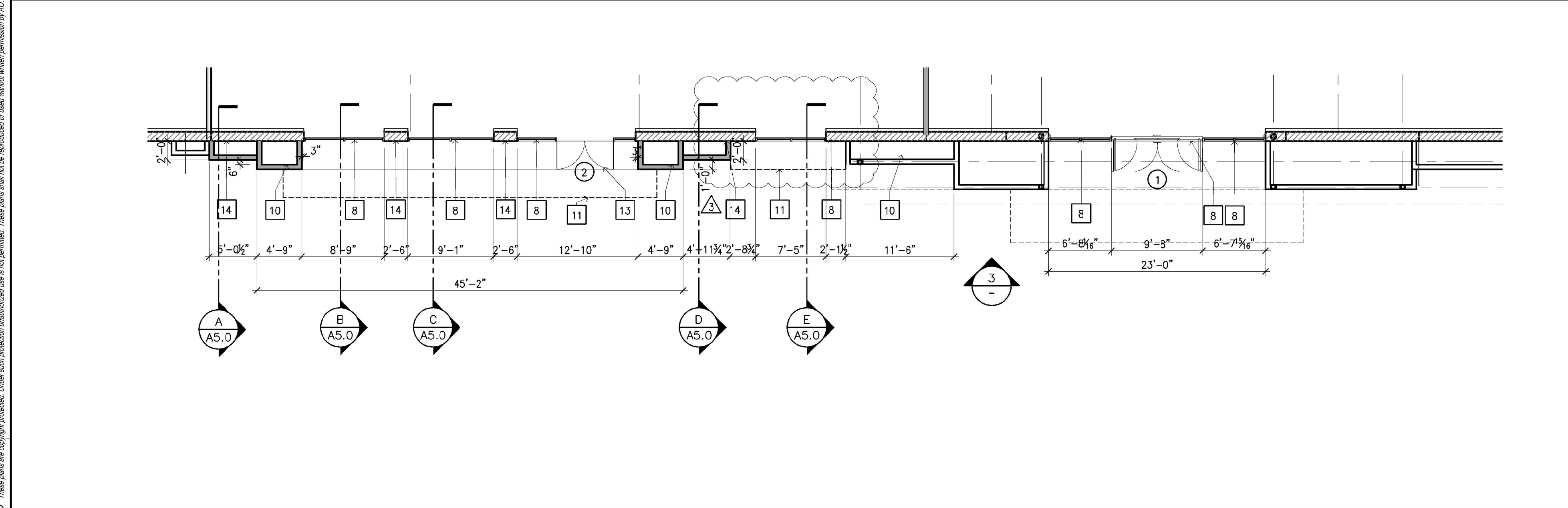
1 1/2"=1'-0"

3

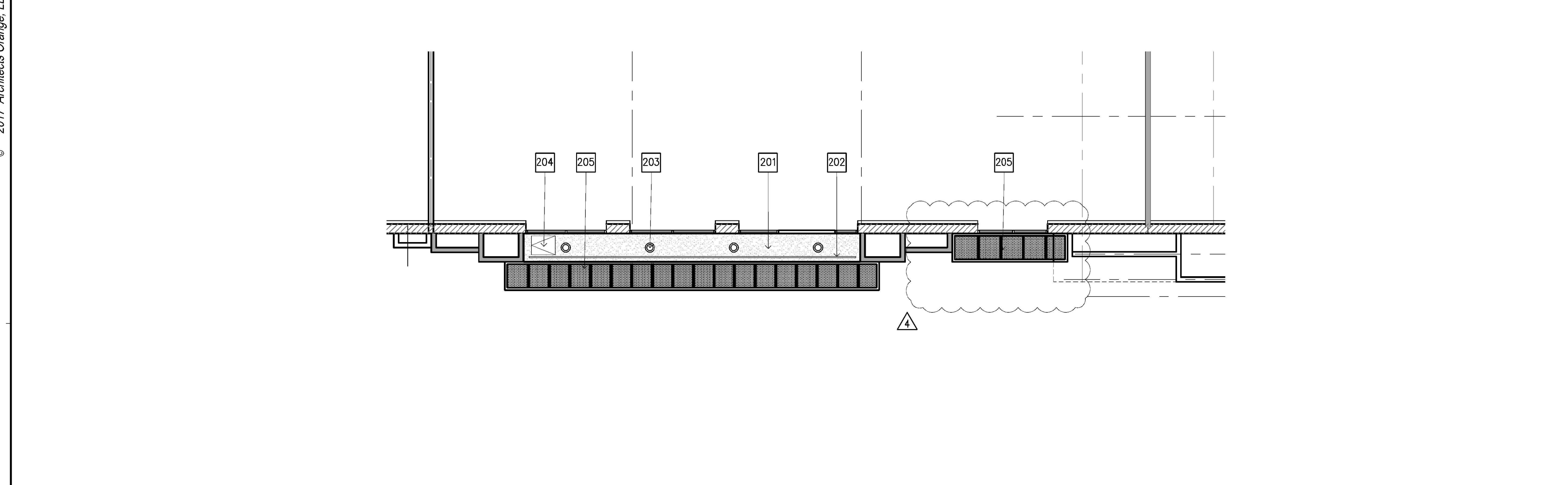
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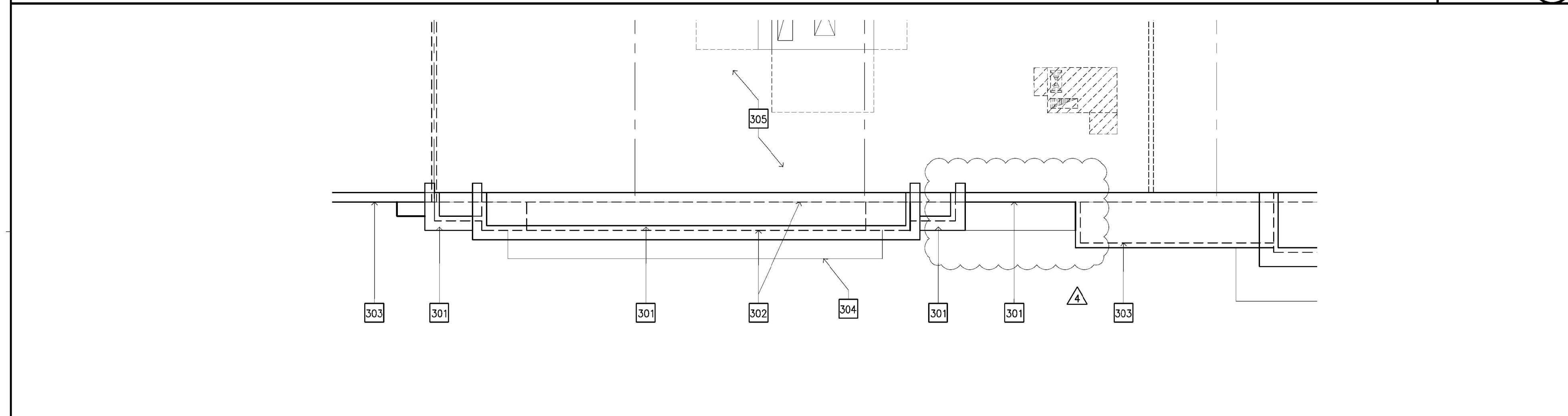
FLOOR PLAN 1/16"=1'-0" 1



ENLARGED FLOOR PLAN 1/8"=1'-0" 2



ENLARGED REFLECTED CEILING PLAN 1/8"=1'-0" 3



ENLARGED ROOF PLAN 1/8"=1'-0" 4

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 PATCH & REPAIR SLAB AS REQUIRED TO PROVIDE CLEAN & LEVEL SLAB FOR FUTURE TENANT. 2 (E) TENANT DEMISING WALL TO REMAIN PATCH AND REPAIR AS NECESSARY FOR TENANT FINISHES 3 (E) STEEL COLUMN 4 (E) EXIT DOOR TO REMAIN. 5 NEW REAR DOOR(S) - SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO. 6 ADJACENT SUITE NO WORK 7 EXISTING EXTERIOR WALL 8 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING 9 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO. 10 NEW EXTERIOR FACADE WALL- EIFS OVER GYP SHEATHING OVER STEEL STUD FRAMING 11 LINE OF NEW CANOPY ABOVE 12 NEW DEMISING WALL SEE DETAIL 9/A7.0 13 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO. | <ul style="list-style-type: none"> 14 ELASOMARIC PAINT O/SKIM COAT PLASTER O/ EXIST. CMU 15 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL 16 NEW CORNICE SEE DETAIL 6/A7.0 17 NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO. 18 NOT USED 19 SIDE TO BE FRAMED AND FINISHED TO MATCH EXIST. ADJACENT WALL. 20 EXISTING WALL TO BE PAINTED 21 NEW TENANT SIGNAGE SEE ELEC. FOR MORE INFO. 22 NEW ELEC PANEL COORDINATE WITH TENANT PLANS FOR EXACT LOCATION 23 PROVIDE WATER AND SEWER STUB OUT. COORDINATE EXACT LOCATION WITH TENANT PLANS. 24 PROVIDE ELEC. PANEL SEE ELEC. FOR MORE INFO 25 PROVIDE GAS TO SUITE PER TENANTS REQUIREMENTS. |
|---|--|

- LEGEND**
- 201 SOFFIT-EXTERIOR PLASTER SYSTEM O/GYPSHEATHING O/MTL. FRAMING
 - 202 SOFFIT VENT SEE DETAIL
 - 203 RECESSED LIGHTS SEE ELEC FOR MORE INFO.
 - 204 PROVIDE ACCESS HATCH PAINT TO MATCH ADJACENT WALL
 - 205 STEEL CANOPY SEE DETAILS 1/A7.0
- NEW RECESSED LIGHT

- 301 NEW PARAPET WALL PROVIDE G.I. FLASHING CAP OVER WATERPROOF MEMBRANE PAINT TO MATCH ADJACENT WALL. SEE STRUCT FOR MORE INFO.
- 302 LINE OF EXTERIOR WALL BELOW
- 303 EXISTING PARAPET WALL
- 304 NEW STEEL CANOPY BELOW
- 305 EXIST. ROOF PATCH AND REPAIR AS NECESSARY

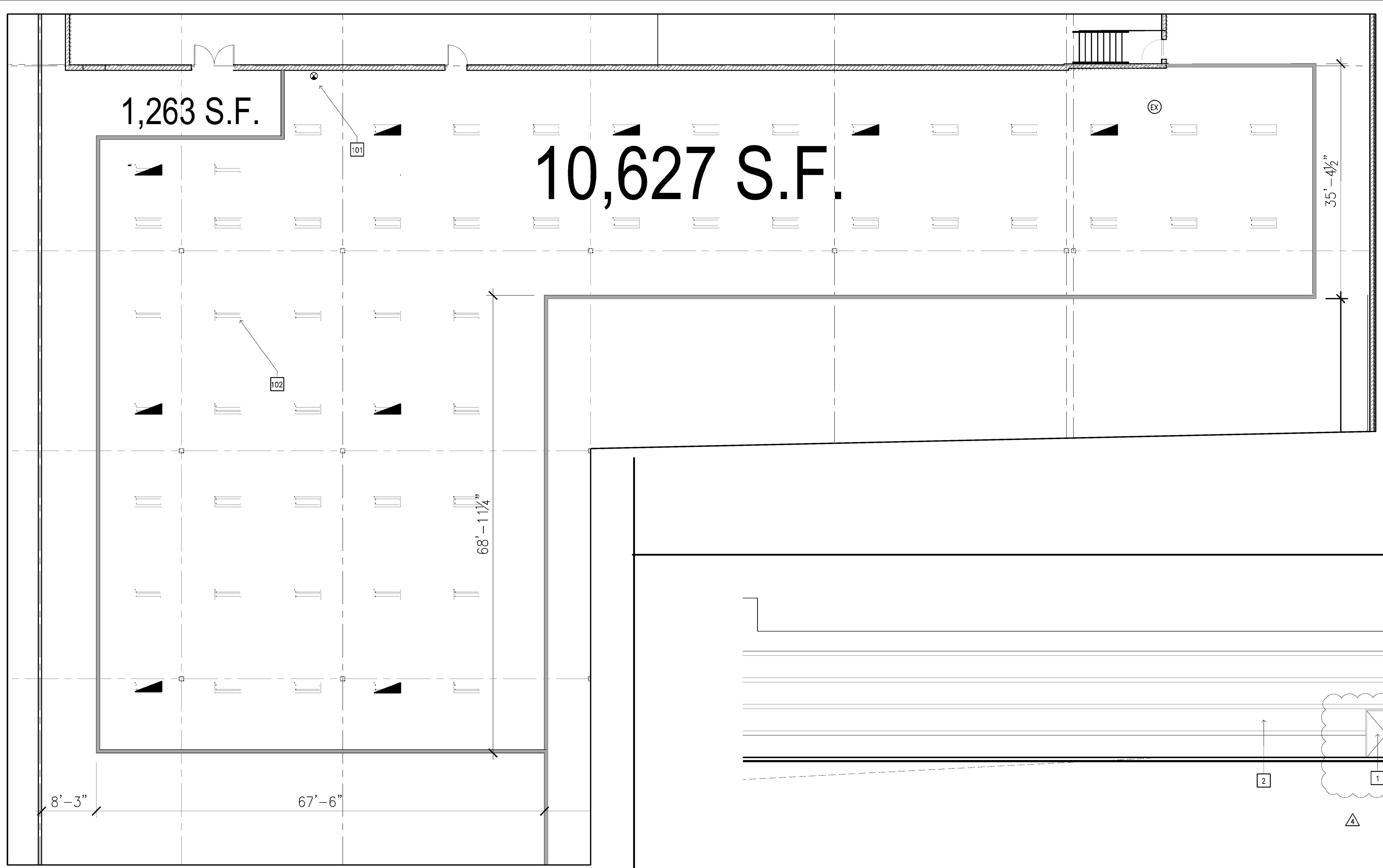
- EXISTING TO REMAIN. PATCH & REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO MAKE READY FOR FINAL TENANT FINISHES
- EXISTING EXTERIOR CMU WALL
- NEW WALL SEE DETAILS AND STRUCT. FOR MORE INFO.

1. EXIST. SPRINKLER & FP SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL APPROVED FP CONTRACTOR & LOCAL FIRE MARSHALL FOR ALL FP WORK DURING CONSTRUCTION TYP.
2. EXIST. FIRE ALARM SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. W/LL APPROVED FA CONTRACTOR & LOCAL FIRE MARSHAL FOR ALL FA WORK DURING CONSTRUCTION TYP.
3. G.C. MUST MAINTAIN A SECOND MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION. MINIMUM EGRESS WIDTH SHALL BE NO LESS THAN 3'-8"
4. All new utilities (ductwork, piping, conduit, etc.) installed under the Landlord's scope of work must be installed tight to structure, where this is not feasible, the minimum height allowed is 13'-6" to the bottom of the new utility above the finished floor.
5. The installation of all new equipment (RTU) and utility connections for the tenant must be free and clear of all obstructions whether new or existing. If existing, the GC must relocate these utilities to a location that is not obstructive.
6. The installation of all new equipment by the GC shall provide for all clearances whether required by code or by the manufacturer's installation requirements.
7. All leaks in the space caused by the existing plumbing system or HVAC system must be fixed by GC.
8. Fire sprinkler system to be installed 14' AFF min cir.

FLOOR PLAN KEYNOTES **REFLECTED CEILING PLAN KEYNOTES** **ROOF PLAN KEYNOTES** **LEGEND** **GENERAL NOTES**

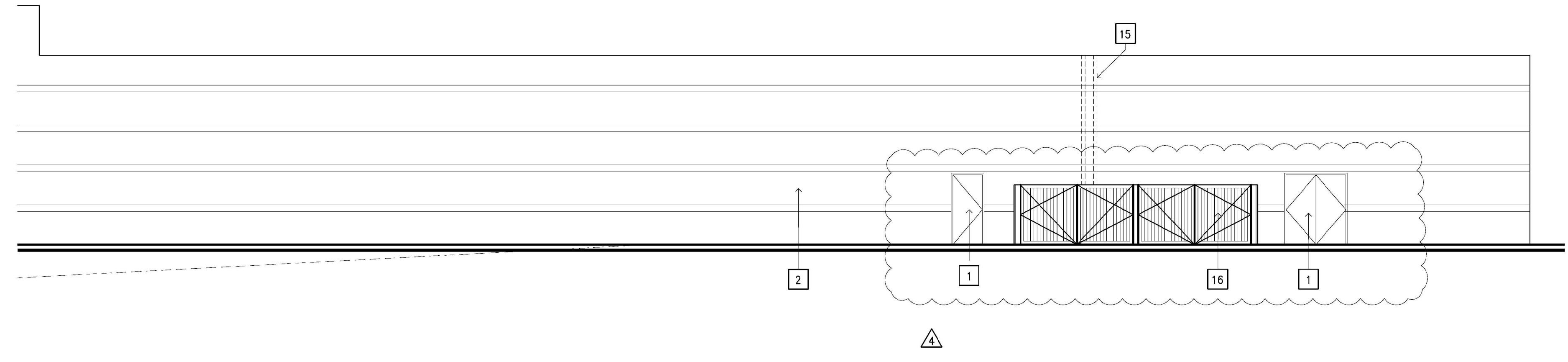
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- RCP KEYNOTES
- 101 RELOCATED EXIT SIGN
 - 102 RELOCATED LIGHT FIXTURES SEE ELEC. FOR MORE INFO.

- ELEVATION KEYNOTES
- 1 NEW REAR DOOR(S) — SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.
 - 2 EXISTING EXTERIOR WALL
 - 3 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING
 - 4 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.
 - 6 NEW EXTERIOR FACADE WALL— ELASTOMERIC PAINT OVER EXTERIOR PLASTER OVER GYP SHEATHING OVER STEEL STUD FRAMING
 - 7 PAINTED STEEL CANOPY SEE DETAILS
 - 8 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.
 - 9 NEW TRASH ENCLOSURE SEE SHEET
 - 10 NEW ELASTOMERIC PAINT OVER SKIM COAT PLASTER OVER EXIST. CMU
 - 11 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL
 - 12 NEW CORNICE SEE DETAIL 6/A7.0
 - 13 PROVIDE J-BOX FOR NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO. SIGNAGE TO SUBMITTED AND APPROVED SEPARATELY
 - 14 NEW WALL END CAP FINISH TO MATCH EXISTING WALL
 - 15 RELOCATE EXISTING ROOF GUTTER DOWNSPOUTS FROM BACK OF TRASH ENCLOSURE
 - 16 NEW TRASH ENCLOSURE SEE SHEET A0.2 FOR PLANS AND DETAILS. PAINT WITH COLOR AS SELECTED BY ARCHITECT. RELOCATE EXISTING ROOF GUTTER DOWNSPOUTS FROM BACK OF TRASH ENCLOSURE

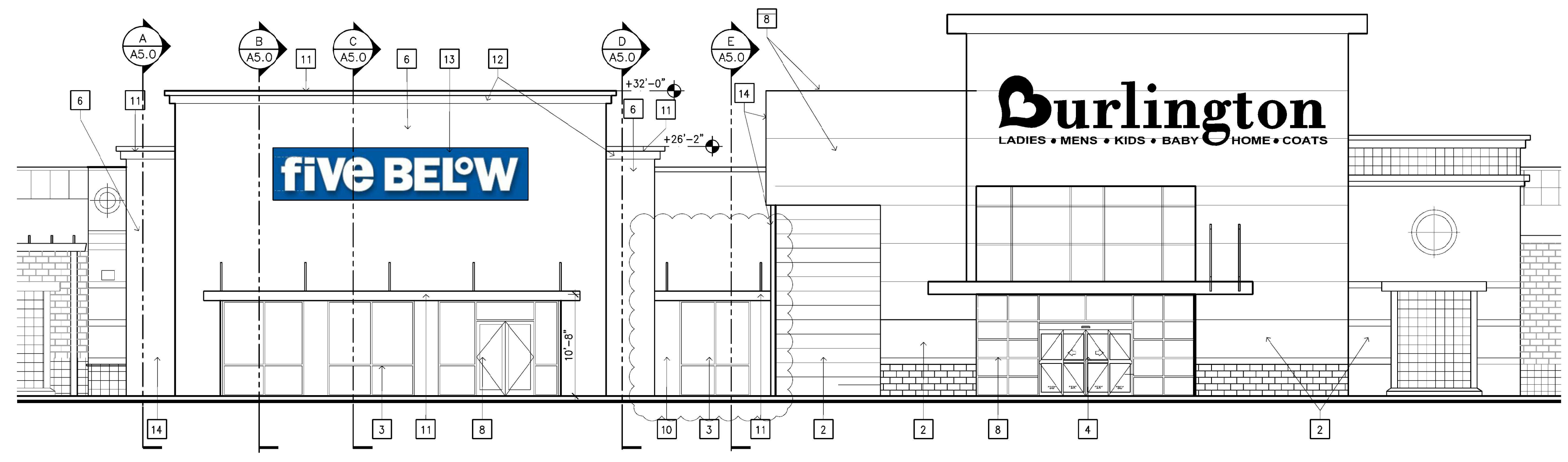


LANDLORD AREA REFLECTED CEILING PLAN

1/8"=1'-0" 4

REAR ELEVATION

1/8"=1'-0" 2



KEYNOTES

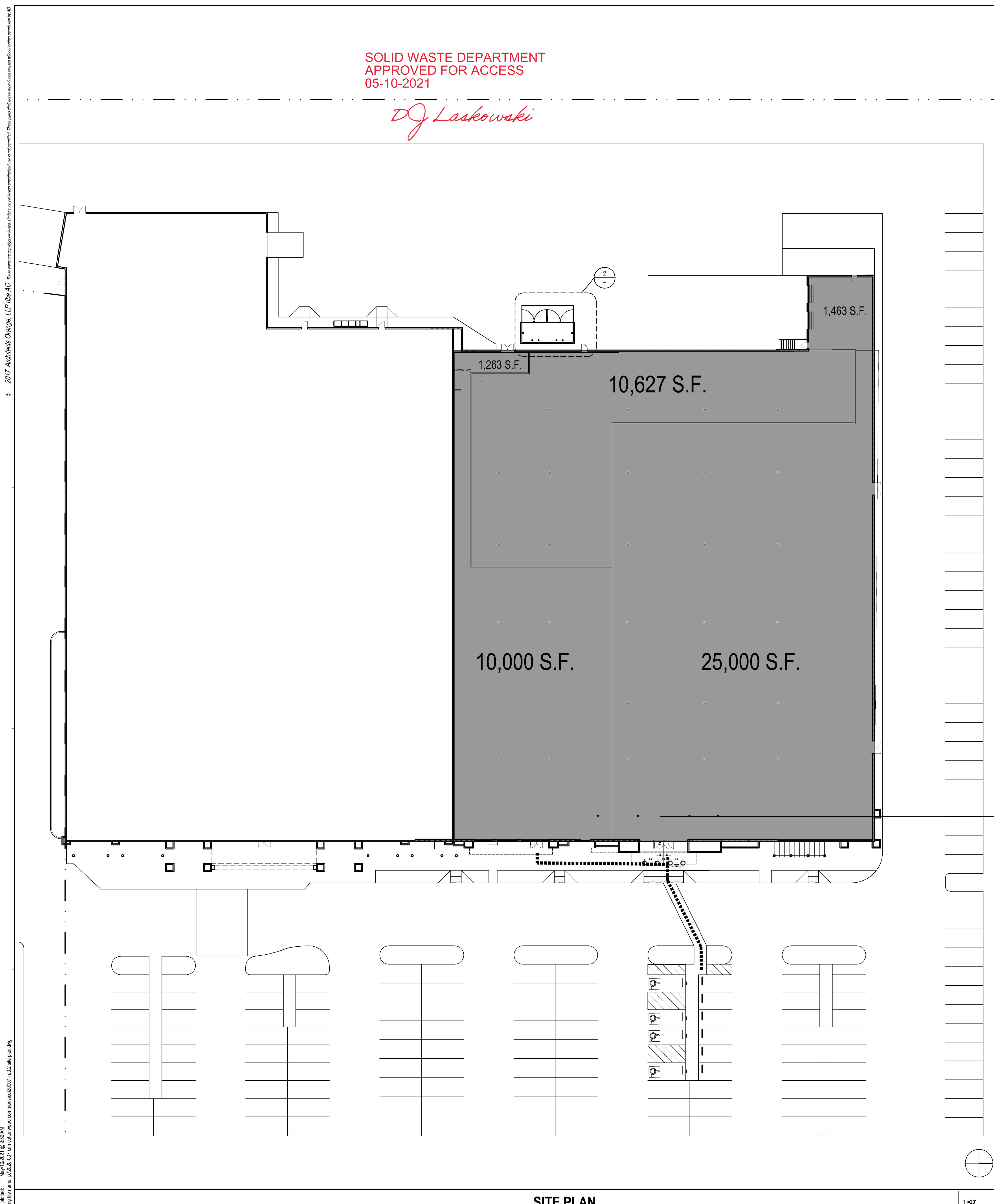
FRONT ELEVATION

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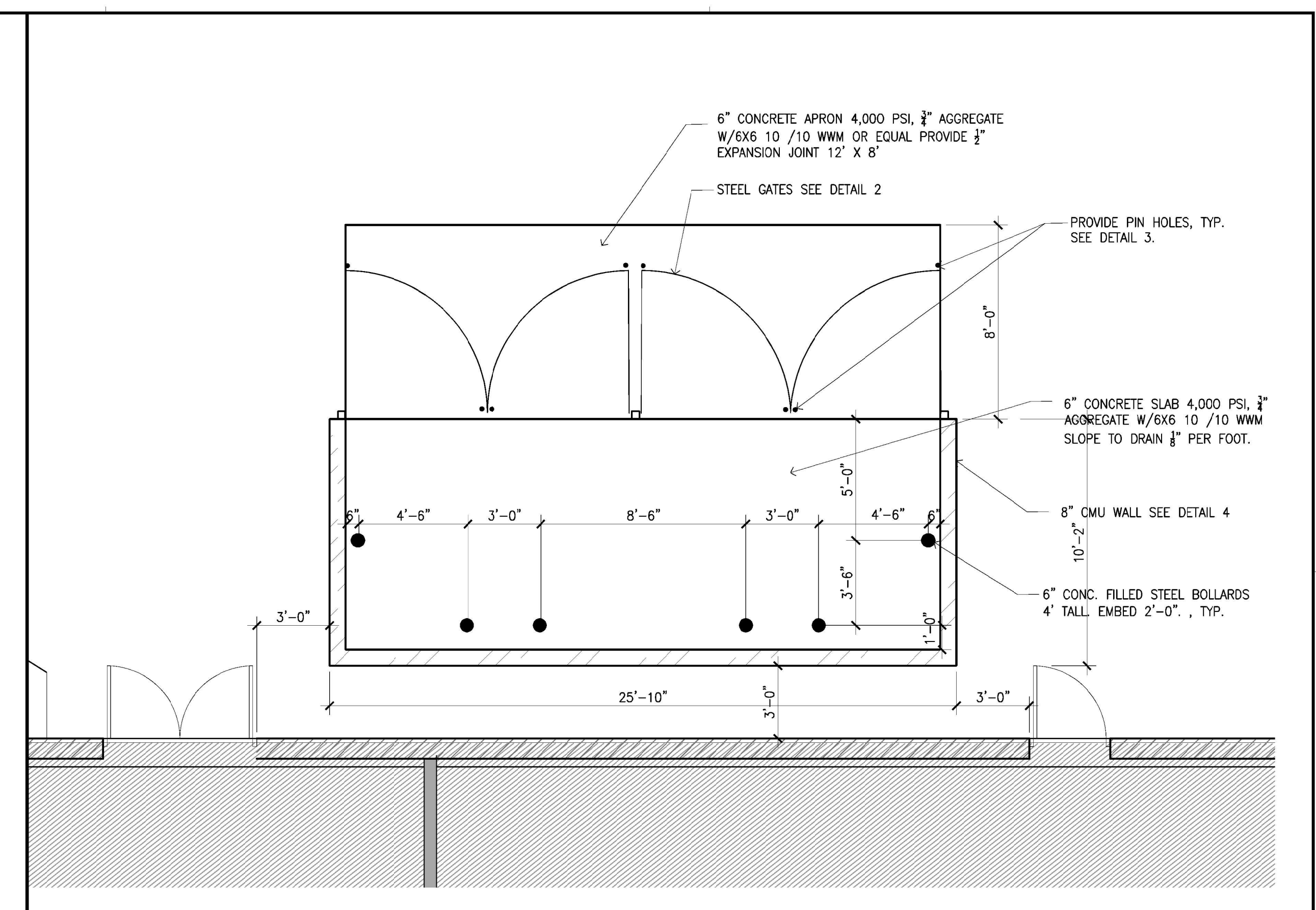
SOLID WASTE DEPARTMENT
APPROVED FOR ACCESS
05-10-2021

DJ Laskowski



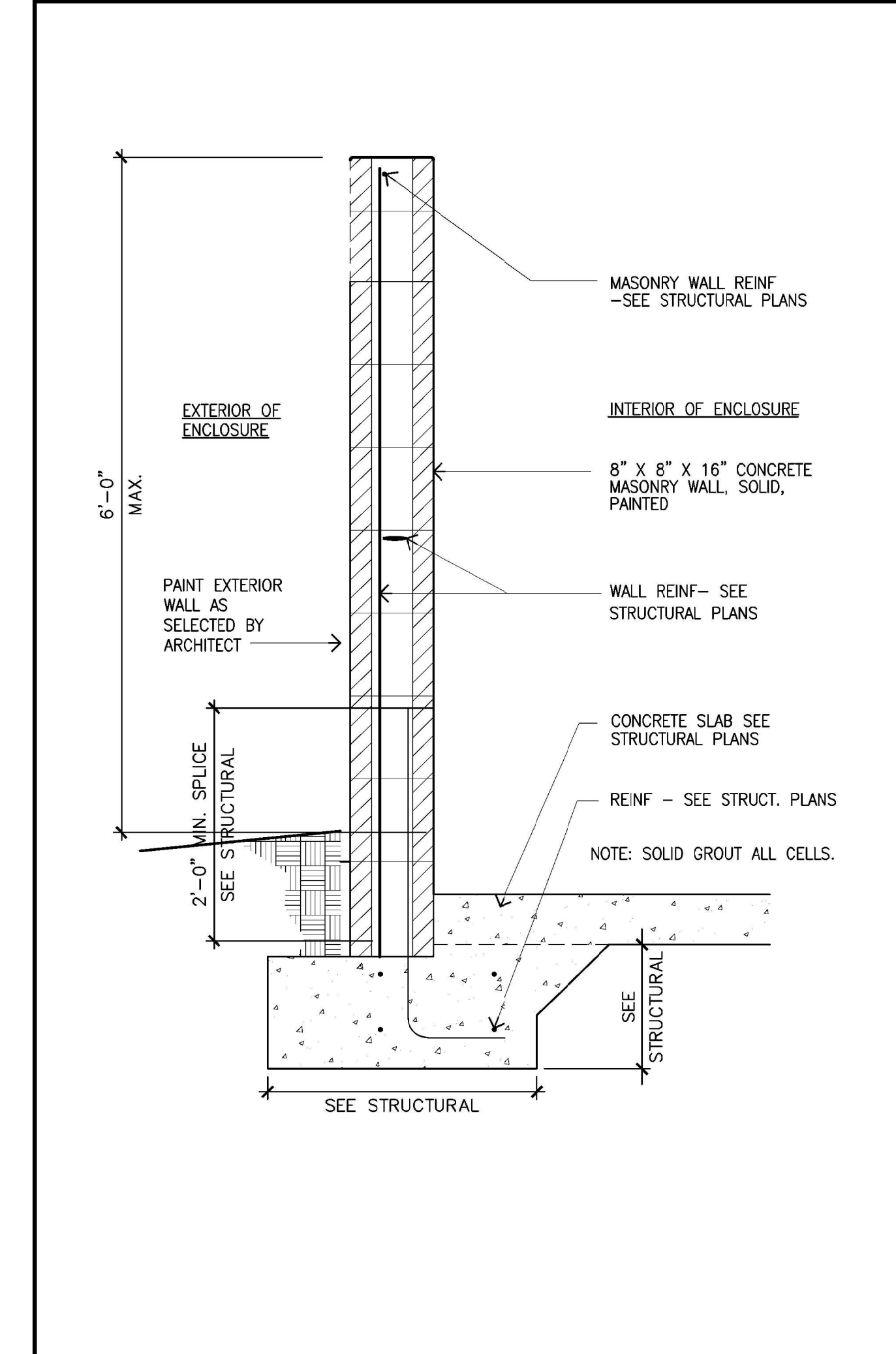
SITE PLAN

1"=20' 6



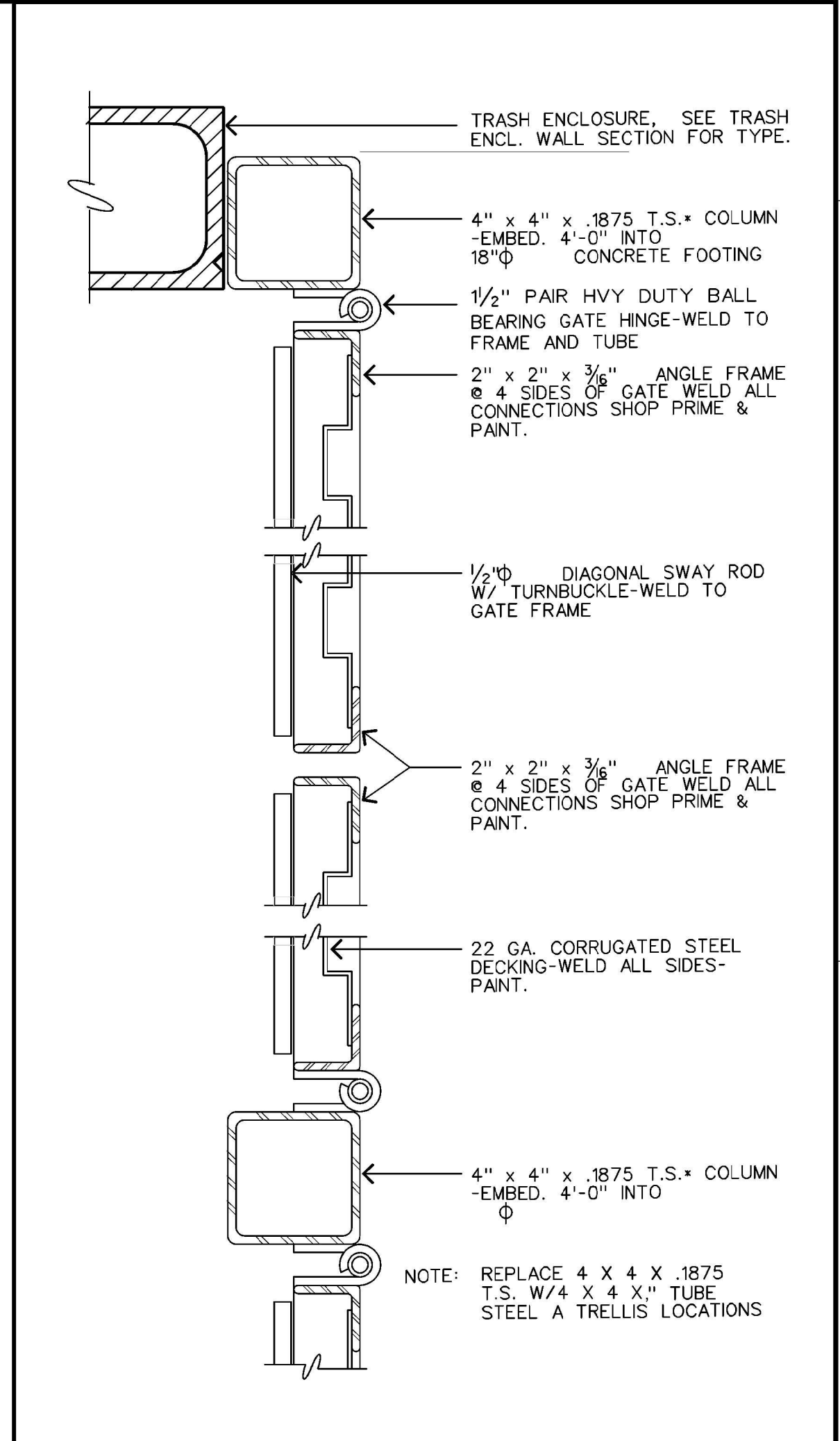
TRASH ENCLOSURE PLAN

1/4"=1'-0" 1



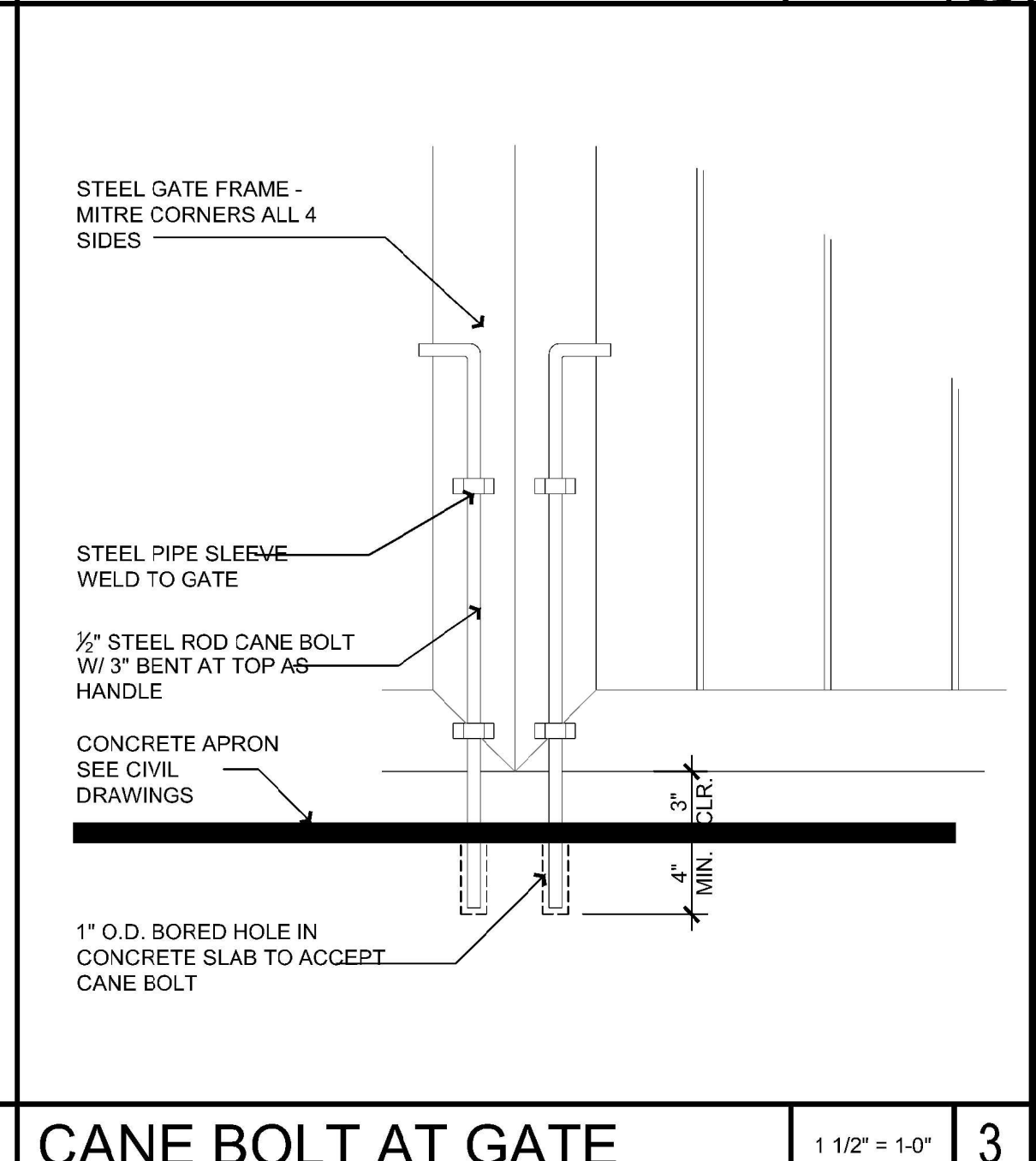
WALL SECTION

1/4"=1'-0" 4



SECTION THRU GATE

3/4"=1'-0" 2



CANE BOLT AT GATE

1 1/2"=1'-0" 3

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CITY OF ALBUQUERQUE INVOICE

AO ARCHITECTS LINDA LAURENZI

144 N ORANGE ST

Reference NO: SI-2021-01153

Customer NO: CU-128071184

Date	Description	Amount
7/27/21	2% Technology Fee	\$1.00
7/27/21	Application Fee	\$50.00

Due Date: **7/27/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 7/27/21
Amount Due: \$51.00
Reference NO: SI-2021-01153
Payment Code: 130
Customer NO: CU-128071184

AO ARCHITECTS LINDA LAURENZI
144 N ORANGE ST
ORANGE, CA 92866



130 0000SI20210115300099355114073074900000000000005100CU128071184