

# ADMINISTRATIVE AMENDMENT

FILE # <sup>SI-2021-0013</sup> 7 PROJECT # <sup>PR-2021-00505</sup>                     

Division of existing retail space into (2) spaces;

Addition of new storefront and facade

*J.M.A.*

Digitally signed by James M. Aranda  
DN: c=James M. Aranda, o=City of  
Albuquerque, ou=Planning Department,  
email=jm.anda@cityofalb.gov, cn=US  
Date: 2021.03.22 10:30:23 -0600

3/22/2021

APPROVED BY

DATE



Sheet plotted: Jan/20/2021 @ 11:56 AM  
Drawing title: 3550 NM-528 Cottonwood Commons  
dwg file named: Jan/20/2021 10:53 AM by Linda  
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- WHEN FIRE PROTECTION SYSTEMS ARE INSTALLED OR MODIFIED, A STATE-LICENSED CONTRACTOR MUST SUBMIT PLANS TO THE FIRE DEPARTMENT. PLANS MUST BE SENT WITH A COMPLETED PERMIT APPLICATION AND PERMIT FEE. UPON APPROVAL OF PLANS, A PERMIT WILL BE ISSUED AND WORK CAN THEN COMMENCE. WORK BEING DONE WITHOUT A PERMIT WILL RESULT IN A FINE.
- PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA 10. CONSULT WITH A FIRE INSPECTOR REGARDING THIS PRIOR TO OR AT THE TIME OF YOUR FIRE FINAL INSPECTION (FDOO).
- EXIT DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY.
- PROVIDE BUILDING/SUITE ADDRESS NUMBER/LETTER ON THE FRONT AND REAR OF THE PREMISES AND ON UTILITY DISCONNECTS. ADDITIONAL ADDRESSING MAY BE REQUIRED PER THE FIRE INSPECTOR AT THE TIME OF FIRE FINAL.
- VERIFY EXIT AND EMERGENCY LIGHTING ARE OPERATIONAL AND WILL SUPPLY 90 MINUTES OF BACKUP ILLUMINATION. ADDITIONAL EMERGENCY LIGHTING MAY BE REQUIRED AND IS SUBJECT TO FIELD VERIFICATION. EMERGENCY LIGHTING IS REQUIRED IN ALL RESTROOMS PER CITY OF ALLEN REQUIREMENT.
- VERIFY THAT ANY FIRE ALARM, FIRE SPRINKLER SYSTEMS, FIRE EXTINGUISHERS HAVE CURRENT INSPECTIONS AND TAGS AFFIXED AT THE TIME OF FINAL FIRE INSPECTION.
- A FIRE DEPARTMENT FINAL INSPECTION IS REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL INSPECTIONS SHALL BE SCHEDULED AT LEAST 48 HOURS IN ADVANCE.
- PROVIDE PREMISE KEYS TO BE PLACED IN THE KNOX BOX ALREADY PRESENT ON THE BUILDING.

## FIRE DEPT. NOTES

- PROPERTY LINE  
DIMENSION LINE  
FACE  
CENTERLINE  
COLUMN LINE/  
GRID LINE  
LETTERS IN ONE DIRECTION  
NUMBERS IN THE OTHER DIRECTION  
SECTION CUT  
SECTION IDENTIFICATION  
SHEET WHERE SECTION IS DRAWN  
DETAIL REFERENCE  
DETAIL IDENTIFICATION  
SHEET WHERE DETAIL IS DRAWN  
INTERIOR ELEVATION  
REFERENCE  
ELEVATION IDENTIFICATION  
DOOR SYMBOL  
DOOR NUMBER  
WINDOW SYMBOL  
WINDOW LETTER  
NOTE SYMBOL  
NOTE NUMBER  
REVISION  
REVISION NUMBER WITH CLOUD  
AROUND REVISED AREA  
MATCH LINE  
SHADED PORTION INDICATES  
THE SIDE CONSIDERED  
WORK POINT, DATUM POINT,  
OR CONTROL POINT  
ROOM IDENTIFICATION

ROOM NAME	ROOM NAME
SQUARE FEET	FLOOR FINISH

CEILING HEIGHT  
CEILING MATERIAL  
WALL FINISH

- EARTH  
ROCK FILL  
SAND/MORTAR/PLASTER  
CONCRETE  
CAST IN PLACE OR PRECAST  
METAL  
OMIT INDICATION AT SMALL SCALE  
WOOD, FINISH  
WOOD, FRAMING  
CONTINUOUS MEMBER  
WOOD, FRAMING  
INTERRUPTED MEMBER  
PLYWOOD  
GLASS  
OMIT INDICATION AT SMALL SCALE  
GYPSUM BOARD  
OMIT DOUBLE LINES AT SMALL SCALE  
INSULATION, BATT  
INSULATION, RIGID

## ABBREVIATIONS

ALL WORK SHALL BE IN CONFORMANCE WITH THE CODES IDENTIFIED IN THE GOVERNING CODES SECTION LISTED BELOW.

2016 NEW MEXICO COMMERCIAL BUILDING CODE  
2016 NEW MEXICO EARTHEN BUILDING MATERIALS CODE  
2017 NEW MEXICO ELECTRICAL CODE  
2009 NEW MEXICO ENERGY CONSERVATION CODE  
2016 NEW MEXICO EXISTING BUILDING CODE  
2016 NEW MEXICO HISTORIC EARTHEN BUILDINGS CODE  
2016 NEW MEXICO MECHANICAL CODE  
2016 NEW MEXICO PLUMBING CODE  
2016 NEW MEXICO RESIDENTIAL BUILDING CODE

ACCESSIBILITY REQUIREMENTS PER THE FEDERAL ADA, ANSI 117.1-2009 AND 2016 CBC OR AS AMENDED BY STATE OR LOCAL REGULATIONS, WHICHEVER IS MOST RESTRICTIVE

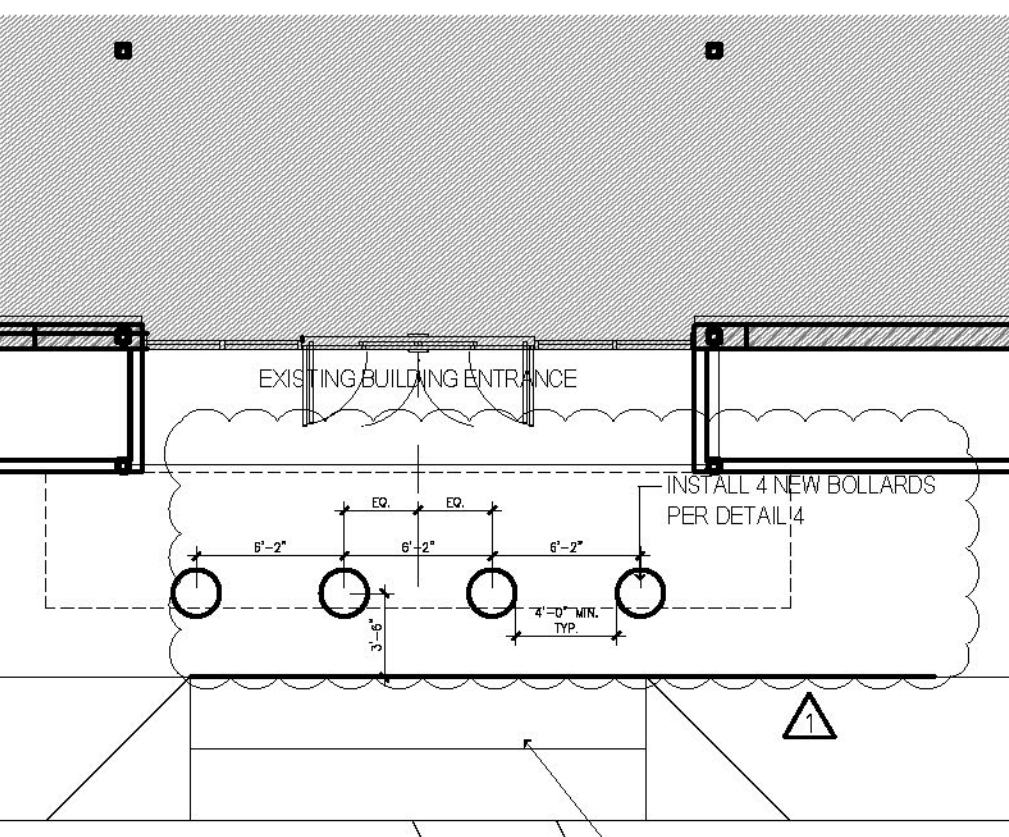
## GOVERNING CODES

1. FIRE SPRINKLER:  
A. FIRE SPRINKLER SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM OR ANY OTHER FIRE RELATED SYSTEM.  
B. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE.
2. SEPARATE PLAN CHECK & PERMIT REQUIRED FOR MISCELLANEOUS STRUCTURES:  
• CONSTRUCTION BARRIERS FOR PEDESTRIAN ACCESS  
• EXTERIOR SIGNAGE  
• TENANT PROVIDED FENCING

AO ARCHITECTS, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE, SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

## DEFERRED/ SEPARATE SUBMITTALS



## ENLARGED SITE DETAIL

1/4"=1'-0"

- THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTS ORANGE AND ARE NOT TO BE USED FOR ANY OTHER THAN THE LOCATION SHOWN HEREON.
- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS, DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT AND TO THE OWNER. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED BY THE OWNER PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED. ARCHITECT'S DRAWINGS SHALL GOVERN OVER STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO 2019 CALIFORNIA BUILDING CODE.

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- PROVIDE SAFETY GLAZING IN LOCATIONS INDICATED IN SECTION 2406.3 OF THE IBC.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE CONSTRUCTION SAFETY ORDERS ENFORCED BY THE STATE OF TEXAS.
- CONTRACTOR NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- EXACT LOCATION AND NUMBER OF EXIT SIGNS SHALL BE DETERMINED BY FIELD INSPECTOR AFTER THE INSTALLATION OF ALL MAJOR EQUIPMENT. CONTRACTOR SHALL CONDUCT SUCH FIELD INSPECTION PRIOR TO INSTALLATION OF ANY EXIT SIGNAGE.
- PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW EXISTING CONDITIONS. THE PRICE QUOTED SHALL INCLUDE ALL NECESSARY LABOR AND MATERIALS REQUIRED TO COMPLETE THE CONSTRUCTION DUE TO EXISTING CONDITIONS NOT SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL VISIT THE SITE AND COORDINATE ALL CONSTRUCTION WITH EXISTING PHASES AND THE OWNER PRIOR TO BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITION SHALL BE VERIFIED PRIOR TO BID AND CONSTRUCTION.

## GENERAL NOTES

## PROJECT TITLE

### DEVELOPER/OWNER MANAGER

CIM Group  
2398 East Camelback Rd.  
4th Floor  
Phoenix, AZ 85016  
(602) 778-6301  
Mark Kroeger  
MKroeger@cimgroup.com

### ARCHITECT:

AO ARCHITECTS  
144 North Orange Street  
Orange, CA 92666  
(714) 639-9860  
(714) 639-5286 Fax  
Darrel Hebenstreit - Partner  
Linda Laurenzi - PM  
Email: linda@aoarchitects.com

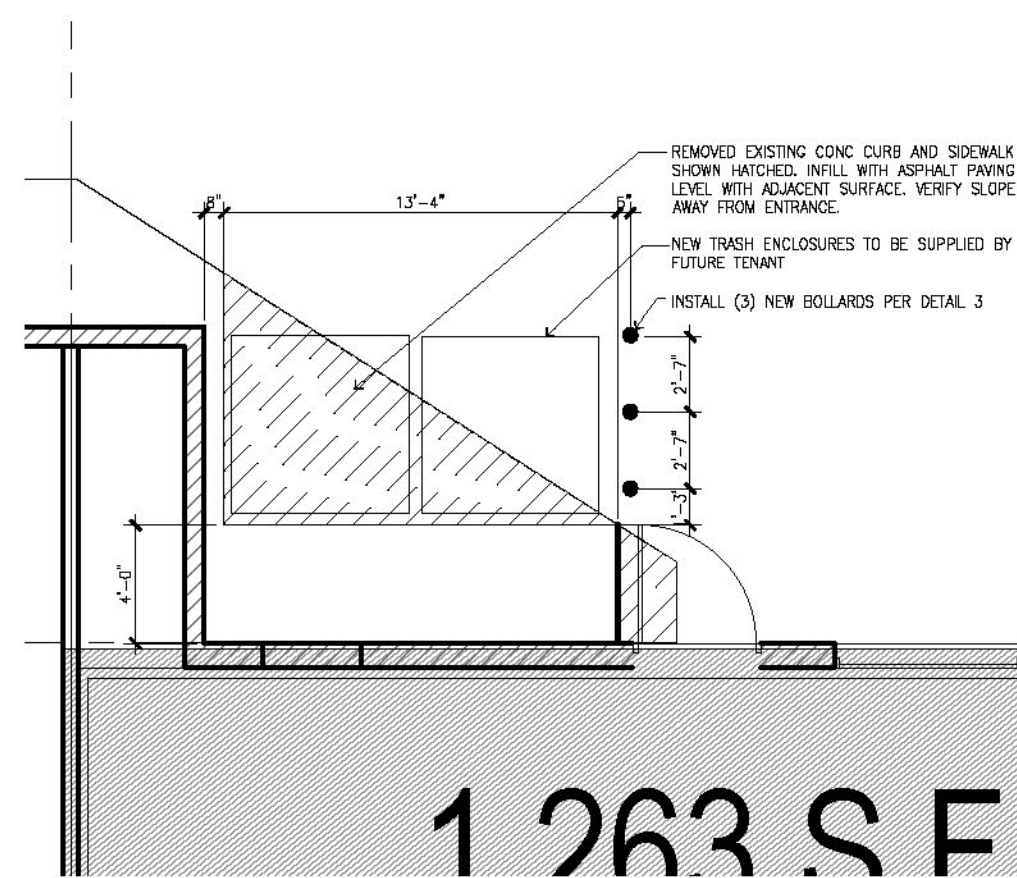
### MEP:

DIALECTIC ENGINEERING  
310 W. 20TH ST., STE. 200  
Kansas City, MO 64108  
(951) 371-1860  
David Coburn  
Email: david.coburn@diagnosticeng.com

### STRUCTURAL:

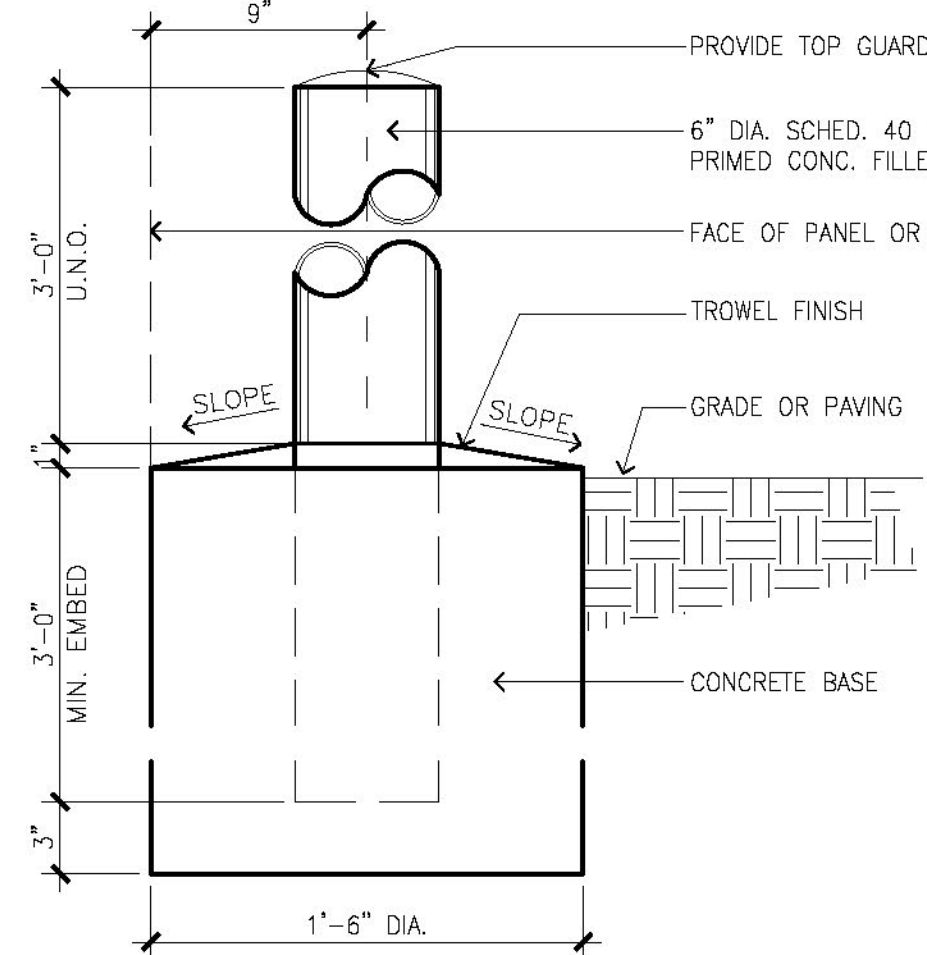
CHAVEZ-GRIEVE CONSULTING ENGINEERS, INC.  
4700 Lincoln Rd NE, Suite 102  
Albuquerque, NM 87109  
(505) 344-4080  
Chris Romero  
Email: c.romero@cg-eng.com

## PROJECT TEAM



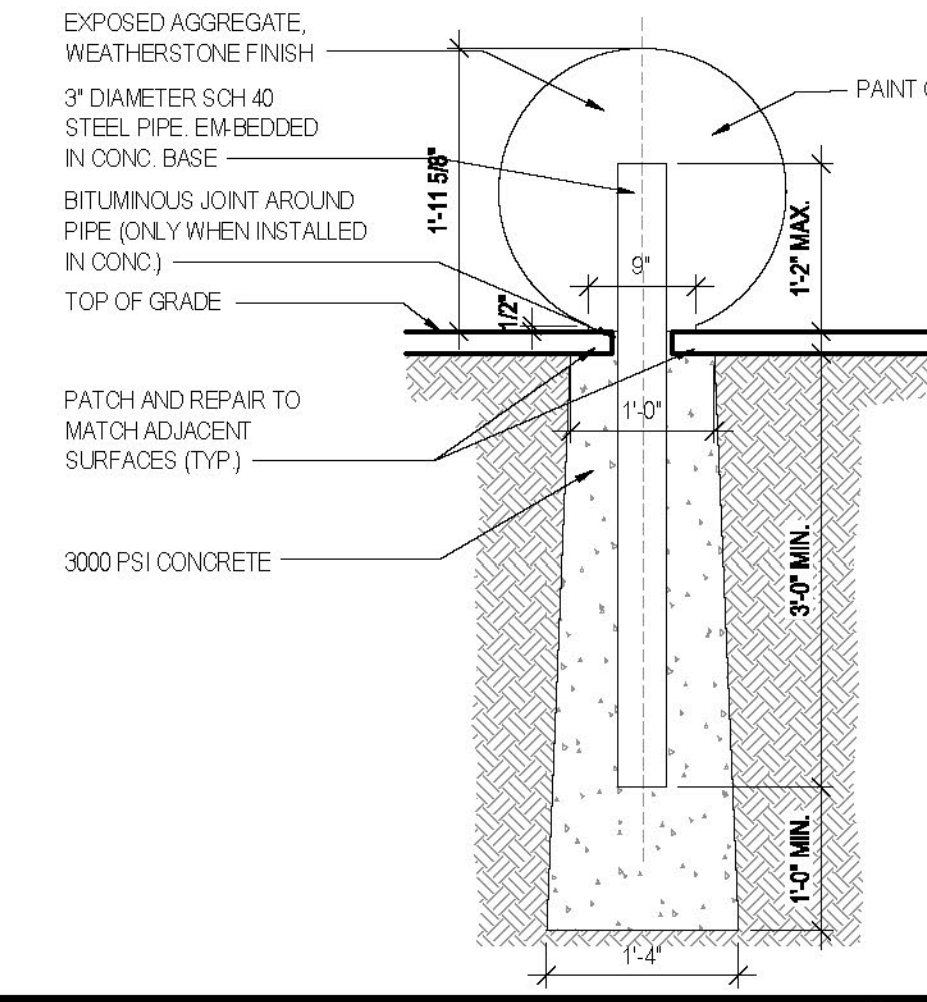
## ENLARGED SITE DETAIL

1/4"=1'-0"



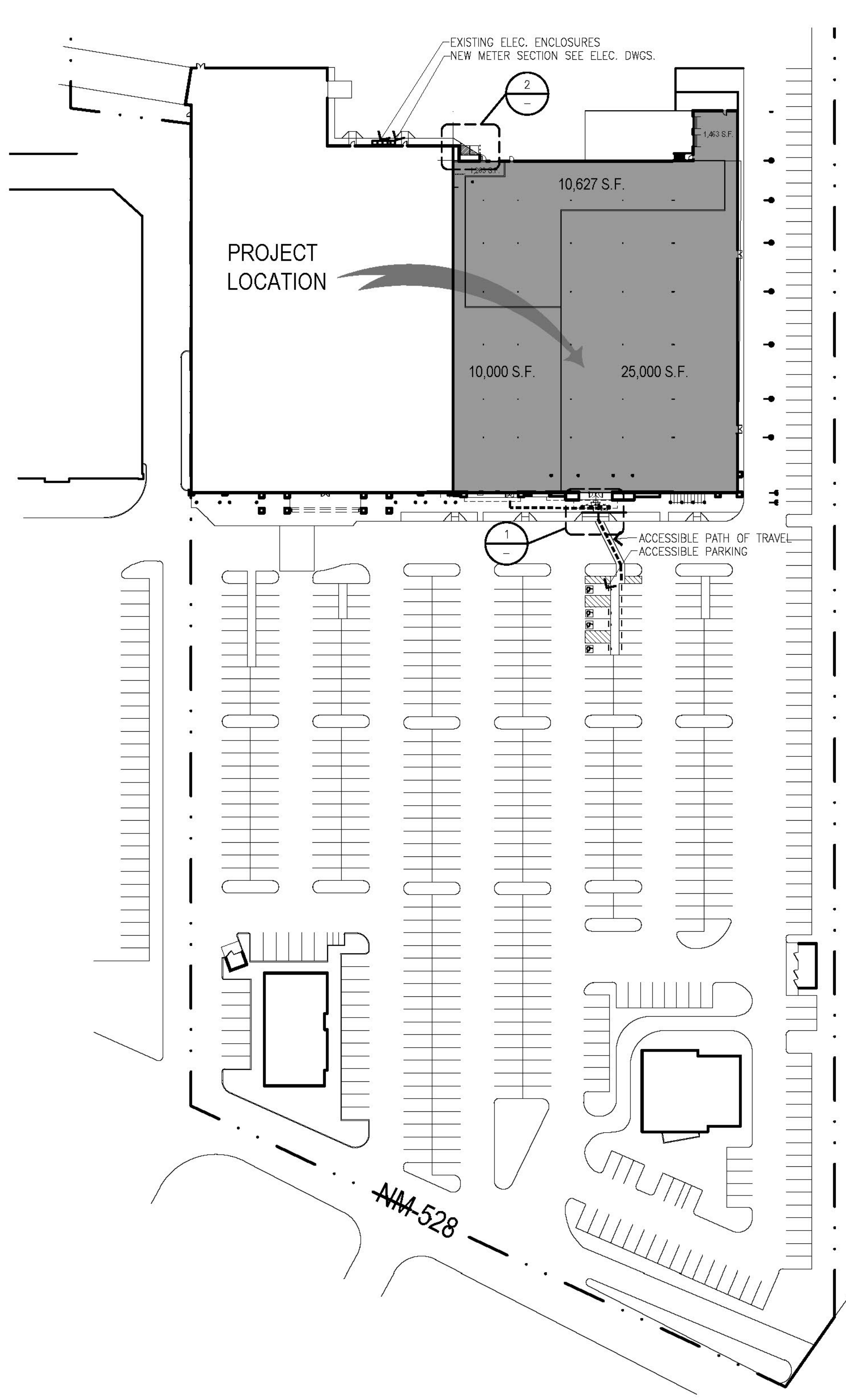
## BOLLARD WITH CAP

1/16"=1'-0"



## BURLINGTON BOLLARD

3/16"=1'-0"



## SITE PLAN

1"=60'

REDWISSE EXISTING 48,510 RETAIL SUITE INTO 3 SPACES, CONSISTING OF:  
RETAIL SPACE = 11,297 S.F.  
LANDLORD SPACE (STORAGE) = 10,471 S.F.  
EXISTING UTILITIES ARE TO BE SPLIT AND SEPARATE ELEC., SEWER, WATER AND GAS TO BE SUPPLIED TO EACH SUITE. A NEW EXTERIOR FACADE AND STOREFRONT IS ADDED FOR NEW FUTURE TENANT.

THIS WORK IS LANDLORD BUILDING SHELL IMPROVEMENTS ONLY AND NOT FOR OCCUPANCY. THE INDIVIDUAL TENANTS WILL BE SUBMITTING THEIR OWN TENANT IMPROVEMENT DRAWINGS FOR PERMIT.

TYPE OF CONSTRUCTION: IIA  
OCCUPANCY: M  
FULLY SPRINKLED: YES  
FIRE ALARM SYSTEM: YES

## PROJECT DESCRIPTION / CODE ANALYSIS

### ARCHITECTURAL

- A0.0 TITLE SHEET, SHEET INDEX, GENERAL NOTES  
A0.1 ADA NOTES  
A1.0 DEMOLITION FLOOR PLAN  
A2.0 DEMOLITION REFLECTED CEILING PLAN  
A3.0 FLOOR PLAN  
A4.0 ELEVATIONS AND ROOF PLAN  
A5.0 WALL SECTIONS  
A6.0 DOOR SCHEDULE AND DETAILS  
A7.0 DETAILS  
F2 FIRE 2 SHEET

### STRUCTURAL

- S-001 ABBREVIATIONS AND LEGENDS  
S-002 GENERAL STRUCTURAL NOTES  
S-003 SPECIAL INSPECTION TABLES  
S-001 OVERALL PLAN  
S-101 FOUNDATION AND FRAMING PLANS  
S-301 SECTIONS AND DETAILS

### ELECTRICAL

- E1.0 ELECTRICAL DEMOLITION  
E2.0 ELECTRICAL ELECTRICAL PLAN  
E3.0 ELECTRICAL SYMBOLS PANELS SCHEDULES AND ONE-LINE DIAGRAMS  
E4.0 ELECTRICAL SPECIFICATIONS

### MECHANICAL

- M1.0 MECHANICAL PLAN  
M1.1 MECHANICAL

### PLUMBING

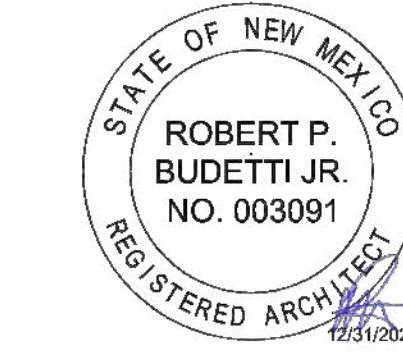
- P1.0 PLUMBING PLAN

## SHEET INDEX



## VICINITY MAP

AO  
Architecture.  
Design.  
Relationships.



COTTONWOOD COMMONS  
3550 NM-528  
ALBUQUERQUE, NEW MEXICO 87114

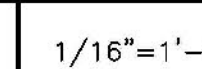
TITLE SHEET,  
SHEET INDEX, GENERAL NOTES

1-22-21	PLAN CHECK
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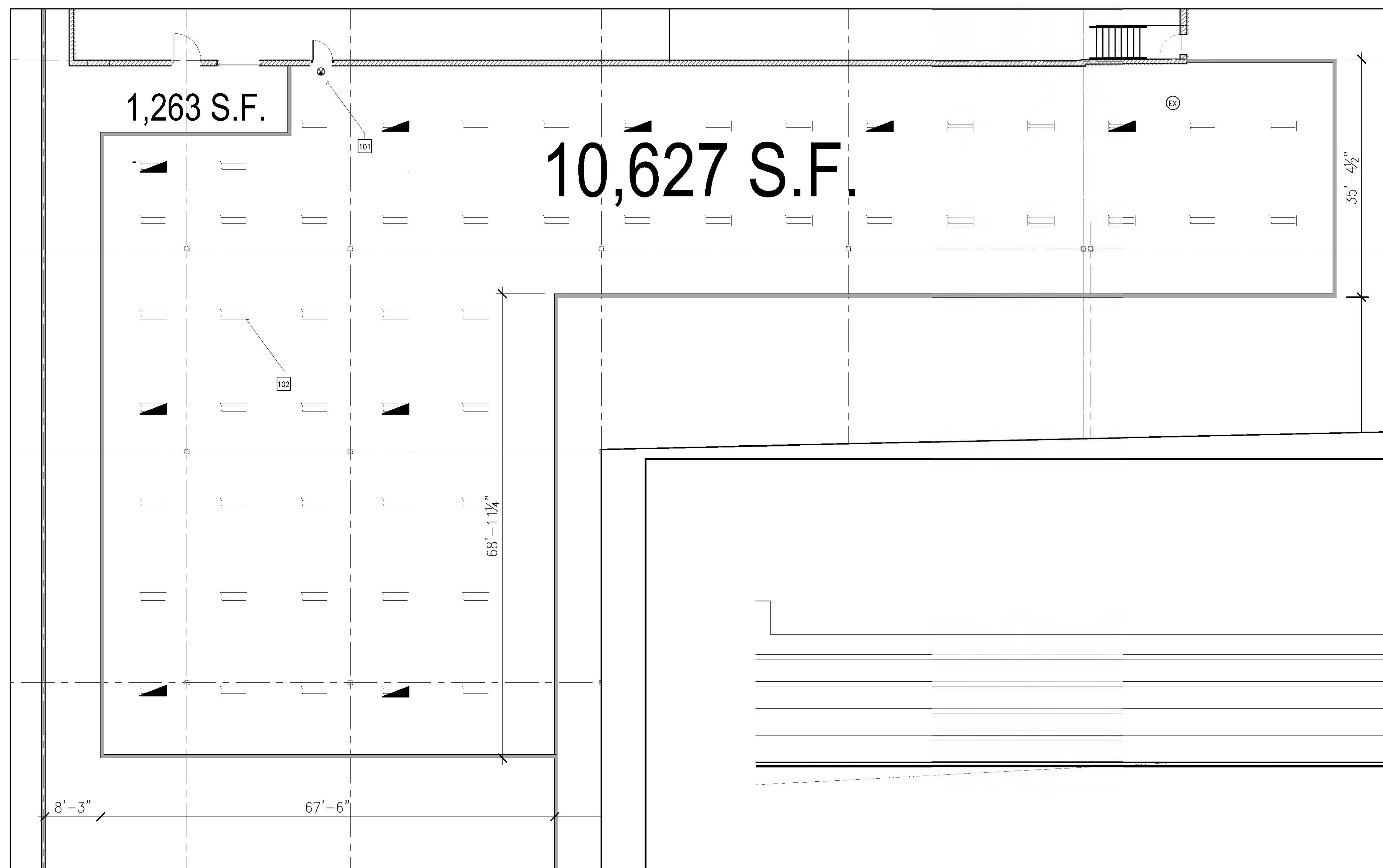
SHEET

A0.0







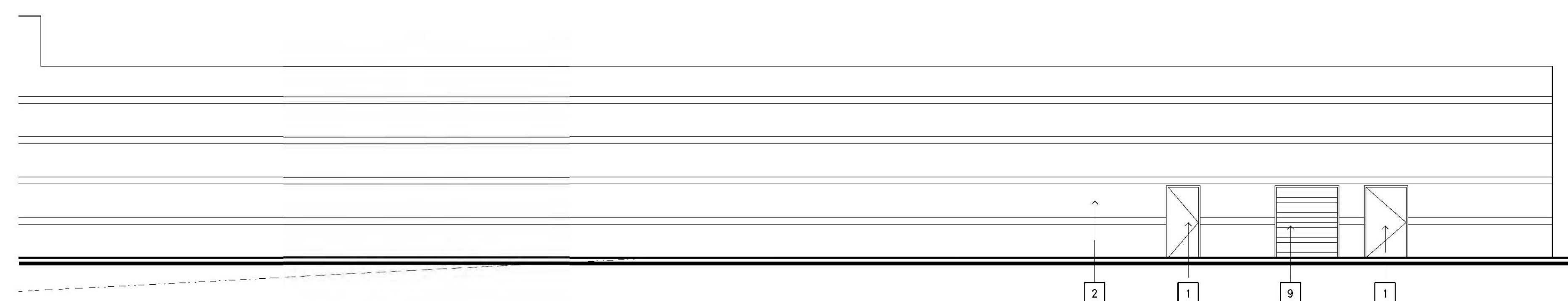


- 101 RELOCATED EXIT SIGN
- 102 RELOCATED LIGHT FIXTURES  
SEE ELEC. FOR MORE INFO.

- 1 NEW REAR DOOR(S) — SEE DOOR HARDWARE SCHEDULE FOR ADDITIONAL INFO.
- 2 EXISTING EXTERIOR WALL
- 3 NEW ALUMINUM STOREFRONT WITH CLEAR GLAZING
- 4 NEW AUTOMATIC DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 6 NEW EXTERIOR FACADE WALL— ELASTOMERIC PAINT OVER EXTERIOR PLASTER OVER GYP SHEATHING OVER STEEL STUD FRAMING
- 7 PAINTED STEEL CANOPY SEE DETAILS
- 8 ONE PAIR OF STOREFRONT DOORS SEE DOOR SCHEDULE FOR MORE INFO.
- 9 NEW ROLL UP DOOR PAINTED TO MATCH ADJACENT EXTERIOR WALL
- 10 NEW ELASTOMARIC PAINT OVER SKIM COAT PLASTER OVER EXIST. CMU
- 11 FLASHING OVER CORNICE PAINTED TO MATCH ADJACENT WALL
- 12 NEW CORNICE SEE DETAIL XXX/XXX
- 13 NEW SIGNAGE LOCATION SEE ELEC. FOR MORE INFO.
- 14 NEW WALL END CAP FINISH TO MATCH EXISTING WALL

RCP KEYNOTES

	ELEVATION KEYNOTES
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LANDLORD AREA REFLECTED CEILING PLAN

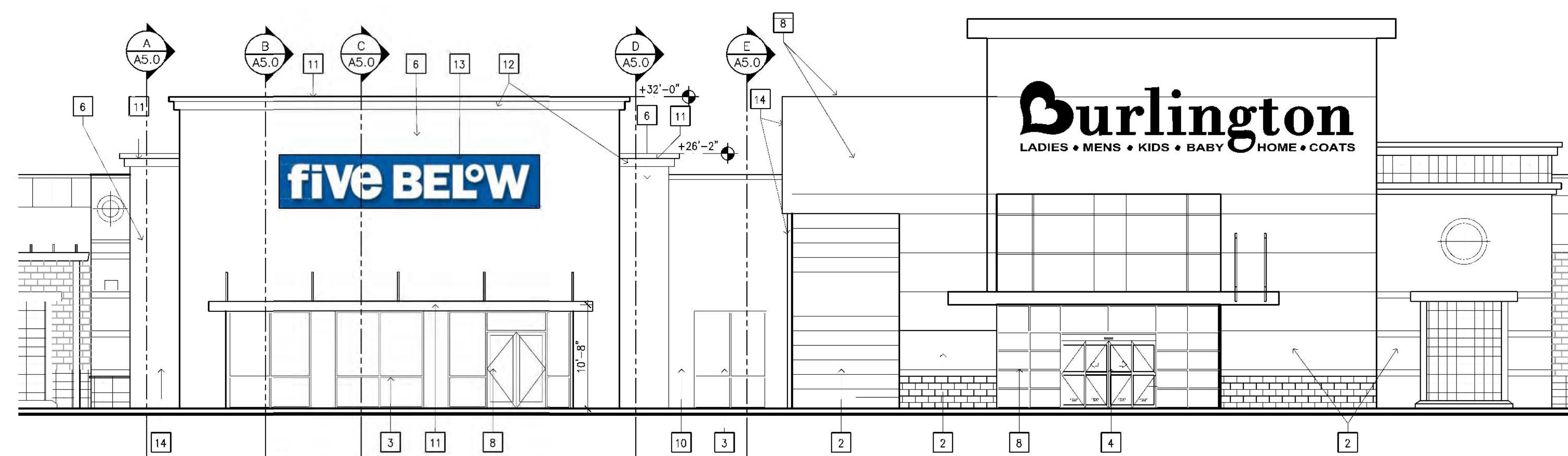
$$1/8'' = 1' - 0''$$

4

REAR ELEVATION

	$1/8'' = 1' - 0''$
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②



## KEYNOTES

FRONT ELEVATION

	$1/8'' = 1' - 0''$
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7



ADMINISTRATIVE AMENDMENT  
FILE # 12-10164 PROJECT # 1027644  
APPROVED BY DATE  
11/14/12

TRACT B-2A-1-A  
SEVEN BAR RANCH  
Final December 12, 2006 to Plat Book 2006, Page 266

TRACT B-2A-2  
SEVEN BAR RANCH  
Final December 12, 2006 to Plat Book 2006, Page 266

TRACT B-2E  
SEVEN BAR RANCH  
Final December 12, 2006 to Plat Book 2006, Page 266

TRACT B-1A-2D  
SEVEN BAR RANCH  
Final May 6, 1997 to Volume PAC, Page 108

TRACT B-1A-2D  
SEVEN BAR RANCH  
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TRACT B-1A-2D  
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TRACT B-1A-2D  
SEVEN BAR RANCH  
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SEVEN BAR RANCH  
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SEVEN BAR RANCH  
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SEVEN BAR RANCH  
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TRACT B-1A-2D  
SEVEN BAR RANCH  
Final May 6, 1997 to Volume PAC, Page 108

NOTE: DELTA NOTATION INDICATES PROPOSED ADMINISTRATIVE AMENDMENT ITEMS 25 THRU 42 BELOW AND A6 BUBBLED WITHIN THE OVERALL SITE PLAN

KEYED NOTE:

25 DASHED LINE INDICATES PROPOSED PHASE TRANSITION ELEMENT TYPICAL OF PHASES 1 THRU 2

26 PROPOSED Pylon SIGN LOCATION RE: DETAIL 2/SP3

27 EXISTING LIGHT POLE LOCATION TO REMAIN RE: DETAIL 3/SP3

28 EXISTING SPEED BUMP TO REMAIN

29 PROPOSED H.C. RAMP RE: DETAIL 4/SP3

30 PROPOSED H.C. VAN ACCESSIBLE PARKING LOCATION RE: DETAIL 5/SP3

31 PROPOSED H.C. PAINTED ROUTE DESIGNATION RE: DETAIL 8/SP3

32 PROPOSED H.C. CONC. SIDEWALK FLUSH WITH ADJACENT PAVEMENT RE: DETAIL 12/SP3

33 KNOTCH EXISTING ISLAND AS SHOWN. REINSTALL HEADER CURB AND SIDEWALK RE: DETAIL 12&13/SP3

34 EXISTING CONC. WALK TO REMIN. REPAIR AS DIRECTED BY TENANT PRI ARCHITECT DURING AFFECTED PHASED IMPROVEMENTS

35 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 9/SP3

36 PROPOSED BENCH LOCATION RE: DETAIL 7/SP3

31 EXISTING LANDSCAPE AREA. RE: LANDSCAPE PLAN FOR DETAILS

31A PROPOSED TRUCK DOCK LOCATION

32 EXISTING FIRE HYDRANT LOCATION TO REMAIN

33 EXISTING ASPHALT TO REMAIN. SURFACE TO BE RESEALED WITH SLURRY COAT OR RECEIVE AN ADDITIONAL OVERLAY SECTION AS DETERMINED BY LANDLORD PER PHASE

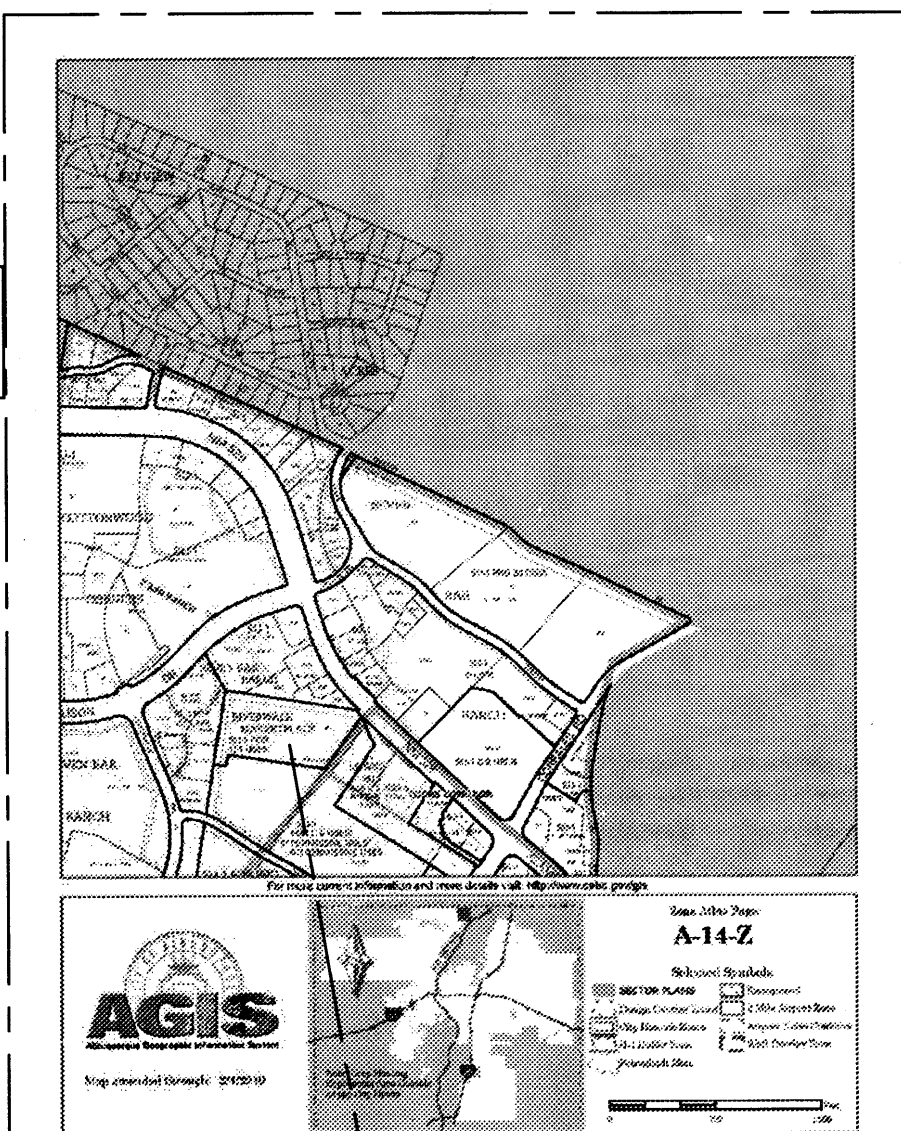
40 FUTURE EXPANSION AREA

41 SMALL CAR PARKING LOCATION PROVIDE STRIPED DESIGNATION INDICATING "SMALL CAR" AT EACH SPACE WITH MIN 8" HIGH LETTERING

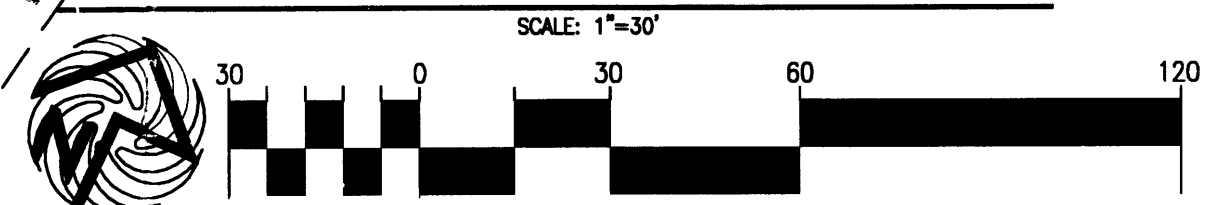
42 WHEEL STOP RE: DETAIL 10/SP3

43 4 X 16' MOTORCYCLE PARKING SPACE RE: DETAIL 6/SP3 FOR SIGNAGE

SITE DATA TABLE	RETAIL BUILDING
LEGAL DESCRIPTION	9.44 AC
TOTAL ACRES	9.44 AC
EXISTING ZONING	9.44 AC
BUILDING SIZE	98,933 SF TOTAL
PROPOSED USES	RETAIL
TOTAL PARKING PROVIDED	588 SPACES
TOTAL PARKING REQ.	413 SPACES
H.C. PROVIDED	12 H.C. (INCLUDING 8 VAN ACCESSIBLE)
H.C. REQUIRED	12 H.C. SPACES
BIKE SPACES PROVIDED	25 BIKE SPACES
BIKE SPACES REQUIRED	25 BIKE SPACES
MOTORCYCLE SPACES PROVIDED	6 BIKE SPACES
MOTORCYCLE SPACES REQUIRED	6 BIKE SPACES



PROJECT VICINITY MAP



SITE PLAN FOR BUILDING PERMIT

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498

3550 NW 528 NW

PROJECT TITLE: COTTONWOOD COMMONS  
3550 NW 528 ALBUQUERQUE NEW MEXICO  
JOB NO. XXXXX  
DRAWN BY: JS  
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 10/7/12  
SCALE: AS NOTED

REV	DATE	BY	REVISION
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