

BUBBA'S 33 - PATIO COVER and FENCING

4861 PAN AMERICAN FWY, NE
 ALBUQUERQUE, NM 87109

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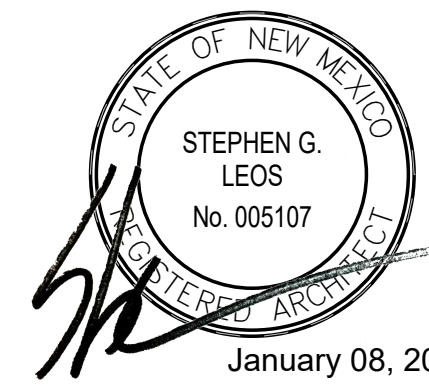
PROJECT TEAM

OWNER:
 BUBBA'S 33
 4861 PAN AMERICAN FWY, NE
 ALBUQUERQUE, NM 87109
 PH - 505.344.7427

CONTRACTOR:
 2 VETS CONSTRUCTION
 503 VINYARD RD. NE
 ALBUQUERQUE, NM 87113
 PH - 505.250.0763

ARCHITECT OF RECORD:
 STEPHEN LEOS ARCHITECT LLC
 400 GOLD AVE SW, STUDIO 911
 ALBUQUERQUE, NM 87102
 PH - 505.681.2329

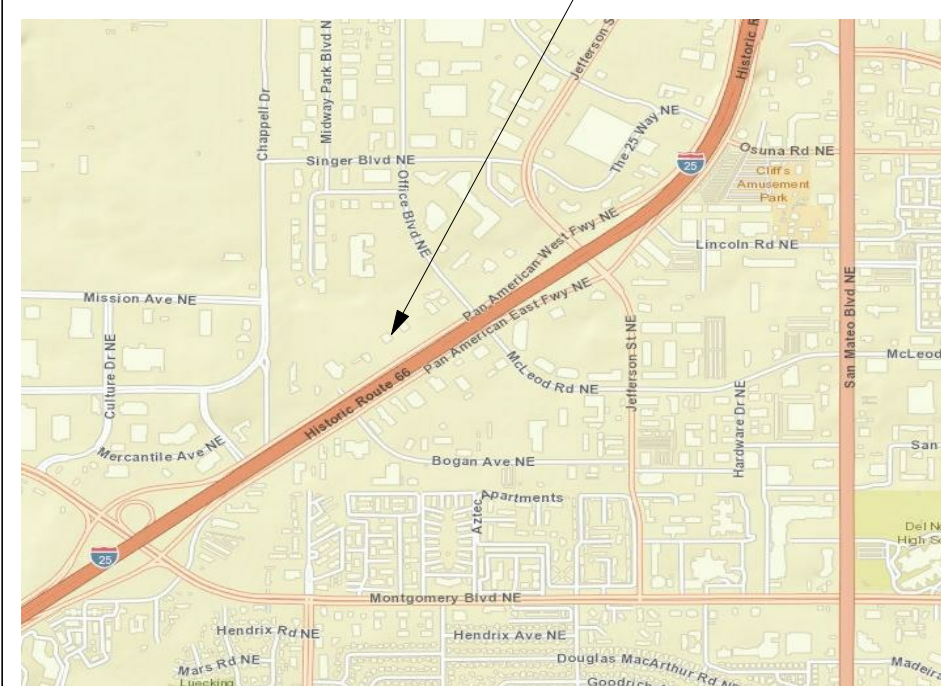
STRUCTURAL:
 RANDALL STRUCTURAL ENGINEERING
 PH - 505.463.0258



January 08, 2021

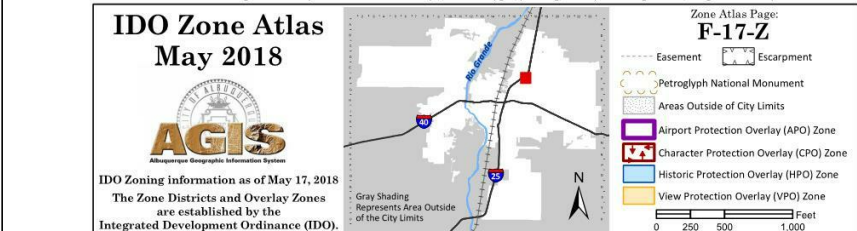
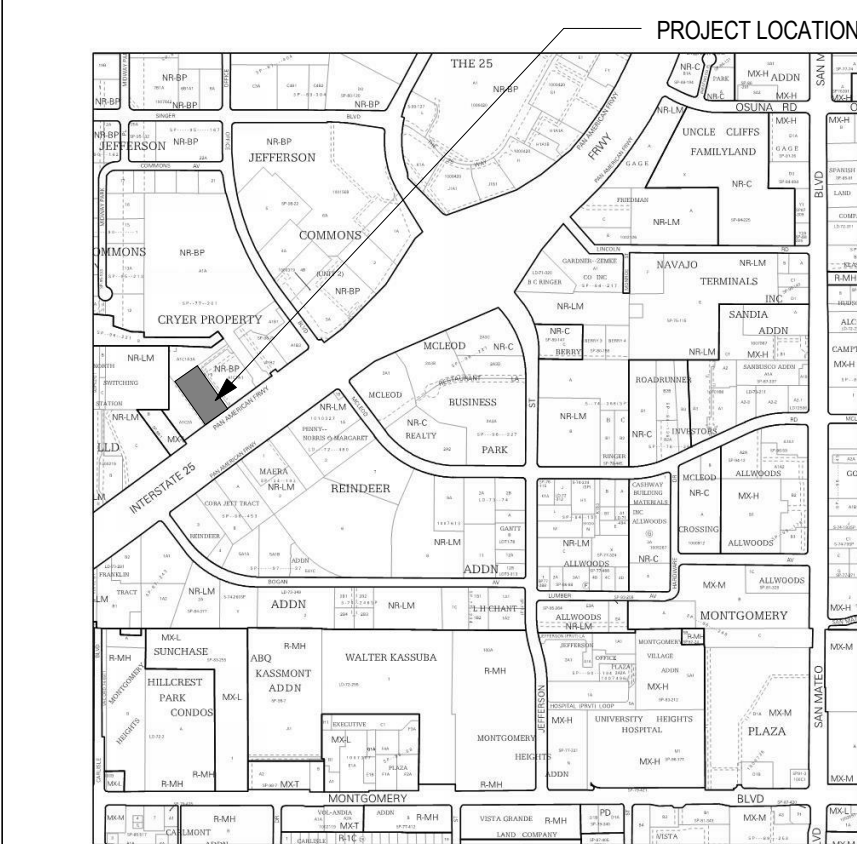
PROJECT LOCATION

VICINITY MAP



ADDRESS:
 4861 PAN AMERICAN FWY, NE
 ALBUQUERQUE, NM 87109

ZONE ATLAS PAGE: F-17-Z
ZONING: NR-RP



FIRE PROTECTION NOTES

- EXIT SIGNS ARE EXISTING AND WILL NOT BE MODIFIED WITH THIS MINOR RENOVATION.
- EMERGENCY LIGHTING IS EXISTING AND WILL NOT BE MODIFIED WITH THIS MINOR RENOVATION.
- FIRE EXTINGUISHERS ARE INDICATED ON THE CODE AND FLOOR PLAN.

THE GENERAL CONDITIONS OF THIS CONTRACT SHALL BE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION - THE UNIVERSITY OF NEW MEXICO, 2012 EDITION" AND IS HEREBY MADE A PART OF THE CONTRACT DOCUMENTS BY REFERENCE.

THE TERM "WORK" MEANS THE CONSTRUCTION AND SERVICES REQUIRED BY THE CONTRACT DOCUMENTS, WHETHER COMPLETED OR PARTIALLY COMPLETED, AND INCLUDES ALL OTHER LABOR, MATERIALS, EQUIPMENT AND SERVICES PROVIDED OR TO BE PROVIDED BY THE CONTRACTOR TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THE WORK MAY CONSTITUTE THE WHOLE OR A PART OF THE PROJECT. AS STATED IN AIA DOCUMENT A201, 1997 EDITION, UNDER ARTICLE 1, SUBPARAGRAPH 1.1.3.

THE TERM "PROJECT" IS THE TOTAL CONSTRUCTION OF WHICH THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS MAY BE THE WHOLE OR A PART AND WHICH MAY INCLUDE CONSTRUCTION BY THE OWNER AND BY SEPARATE CONTRACTORS. AS STATED IN AIA DOCUMENT A201, 1997 EDITION, UNDER ARTICLE 1, SUBPARAGRAPH 1.1.4

- THE CONSTRUCTION DOCUMENTS ARE COMPLIMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. PROVIDE ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT REQUIRED OR REASONABLY IMPLIED BY THESE DOCUMENTS FOR COMPLETION OF THE WORK AND AS NECESSARY TO ACCOMMODATE AND UNIFY THE WORK OF OUTSIDE CONTRACTORS, VENDORS OR SUPPLIERS. THE ORGANIZATION OF THE NOTES AND DRAWINGS SHALL NOT CONTROL THE DIVISION OF THE WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK PERFORMED BY ANY TRADE.
- SPECIAL PROJECT REQUIREMENTS FOR EXISTING SLABS:
 - INSPECT SUBSTRATES WITH THE FLOORING INSTALLER PRIOR TO THE COMMENCEMENT OF INSTALLATION(S).
 - WORK TO BE PERFORMED ONLY BY INSTALLERS TRAINED OR CERTIFIED IN THE INSTALLATION OF THE FLOORING MATERIALS SPECIFIED.
 - EXISTING SLABS SHALL BE PREPARED FOR INSTALLATION OF NEW FLOORING MATERIALS IN ACCORDANCE WITH ALL SPECIFIED FLOORING MATERIAL MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS, INCLUDING SOUND AND/OR CRACK SUPPRESSION MEMBRANE MANUFACTURERS, IF APPLICABLE. WORK SHALL INCLUDE:
 - TESTING FOR MOISTURE VAPOR EMISSIONS RATE AND/OR RELATIVE HUMIDITY TEST AND ALKALINITY AND BOND TEST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - PROTECTION OF SLAB FROM MOISTURE, INCLUDING FROM WET MOPPING.
 - PROMPT REMOVAL OF WATER AND OTHER FLUIDS FROM SLAB DURING THE ENTIRE DURATION OF WORK.
 - DO NOT PROCEED WITH FLOORING INSTALLATION IF ANY OF THE MANUFACTURER'S REQUIRED TESTS DO NOT MEET THE REQUIRED LEVELS. NOTIFY ARCHITECT IN WRITING OF TESTING RESULTS AND CONTACT FLOORING MANUFACTURER FOR MOISTURE MITIGATION DIRECTIVES. ADVISE ARCHITECT OF INTENDED MITIGATION SYSTEM(S) TO BE USED PRIOR TO PROCEEDING WITH THE WORK. OBTAIN WRITTEN VERIFICATION FROM FLOORING MANUFACTURER THAT PROPOSED MITIGATION SYSTEM AND FLOORING MATERIAL ADHESIVES ARE COMPATIBLE IF MITIGATION SYSTEM IS NOT FLOORING MANUFACTURER'S OWN PRODUCT.
 - IN CASE OF CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENTS PERTAINING TO THE WORK, THE ARCHITECT WILL DETERMINE WHICH DOCUMENT OR PART TAKES PRECEDENCE. IN GENERAL, BUT NOT WITHOUT EXCEPTION, AT THE SOLE DISCRETION OF THE ARCHITECT, THE MORE STRINGENT OR HIGHER COST REQUIREMENT IS REQUIRED. SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT FOR AN INTERPRETATION OF THE REQUIREMENTS PRIOR TO PROCEEDING WITH ANY WORK ASSOCIATED WITH CONFLICTS OR DISCREPANCIES BETWEEN ANY DOCUMENT PERTAINING TO THE WORK.
 - DO NOT SCALE DRAWINGS.
 - CLARIFICATIONS OR INFORMATION REQUIRED SHALL BE FURNISHED BY THE ARCHITECT IN WRITING. CONTRACTOR SHALL SUBMIT REQUESTS FOR SUCH CLARIFICATION OR INFORMATION IN WRITING TO THE ARCHITECT. VERBAL INQUIRIES AND RESPONSES ARE NOT BINDING. CONTRACTOR SHALL DISTRIBUTE ARCHITECT'S INFORMATION TO ALL INTERESTED PARTIES.
 - ALL WORK SHALL CONFORM TO APPLICABLE LOCAL BUILDING CODES AND ORDINANCES AND OTHER ENTITIES HAVING JURISDICTION. THE APPLICABLE RULES AND REGULATIONS OF OSHA SHALL BE ADOPTED FOR THIS PROJECT.

- CONTRACTOR TO OBTAIN PERMITS AND PAY ALL FEES FOR ALL REGULATORY APPROVALS, CONTROLLED INSPECTIONS AND OTHER AGENCY APPROVALS IF REQUIRED. COPIES OF ALL TRANSACTIONS SHALL BE PROVIDED TO THE OWNER. COMPLETE DOCUMENTATION OF FINAL REGULATORY AGENCY APPROVALS FOR PROJECT COMPLETION AND CONTROLLED INSPECTION REPORTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO APPLICATION FOR FINAL PAYMENT.
- MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY TELECOMMUNICATIONS, WATER, PLUMBING, POWER, LIGHTING, HEATING OR VENTILATION AND CLEAN-UP OPERATIONS AS NECESSARY TO PROPERLY CONDUCT THE WORK. ALL HOISTING CHARGES OR SPECIAL EQUIPMENT, IF ANY, SHALL BE INCLUDED IN THE WORK.
- PROVIDE AND MAINTAIN, FOR THE DURATION OF THE WORK, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS TO CONFORM TO APPLICABLE REGULATORY REQUIREMENTS.
- ADDITIONAL COORDINATION REQUIREMENTS:
 - ARRANGE FOR WORKER PARKING WITH BUILDING OWNER
 - VERIFY HOISTWAY SIZE AND CAPACITY. ARRANGE FOR ANY REQUIRED PROTECTIVE COVERINGS.
 - PLAN FOR AND PREPARE A SCHEDULE TO COORDINATE THE WORK OF SEPARATE CONTRACTS SUCH AS, BUT NOT LIMITED TO: DATA/TELECOM, TAB SHELVING, HIGH-DENSITY FILING, SECURITY CONNECTIONS AND THE LIKE.
- WRITTEN AUTHORIZATION FROM THE TENANT, OWNER AND ARCHITECT IS REQUIRED PRIOR TO PROCEEDING WITH ADDITIONAL WORK WHICH AFFECTS THE CONTRACT AMOUNT OR TIME. FAILURE TO PROCURE WRITTEN AUTHORIZATION PRIOR TO COMMENCING ADDITIONAL WORK WILL INVALIDATE ANY REQUEST FOR EXTRA COMPENSATION OR TIME EXTENSION.
- SUPERVISE AND DIRECT THE WORK USING THE BEST SKILL AND ATTENTION AND TAKE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR THE COORDINATION OF ALL PORTIONS OF THE WORK.
- MAINTAIN CONSTRUCTION PREMISES AND PORTIONS OF BUILDING SITE AFFECTED BY THE WORK IN A NEAT AND ORDERLY CONDITION.
- CONSTRUCTION OPERATIONS SHALL NOT AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
 - IF CORE DRILLING THROUGH SLABS FOR UTILITIES IS NECESSARY, COORDINATE WITH BUILDINGS EXISTING STRUCTURAL SYSTEM. COORDINATE CORE LOCATIONS WITH EXISTING STRUCTURE AND STRUCTURAL ENGINEER AS NECESSARY. IF CONFLICT ARISES, NOTIFY OWNER AND ARCHITECT IMMEDIATELY.
- MAINTAIN AT THE SITE AND MAKE AVAILABLE TO OWNER/ TENANT AND ARCHITECT A COMPLETE SET OF PERMIT DRAWINGS IF REQUIRED PLUS A SET OF RECORD DRAWINGS AND SHOP DRAWINGS WITH UP TO DATE NOTATIONS AND ALL MODIFYING DOCUMENTS ATTACHED THERETO.
- REPAIR AND RESTORE ALL DAMAGED FIREPROOFING WHETHER DAMAGED BY THIS WORK OR BY PREVIOUS TENANT ACTIVITY. FIREPROOFING SHALL MATCH ADJACENT UNLESS CONCEALED ASBESTOS COMPONENTS ARE FOUND IN WHICH CASE THE OWNER/ LANDLORD/ TENANT AND ARCHITECT SHALL BE NOTIFIED. OBTAIN WRITTEN DIRECTION PRIOR TO PROCEEDING.
- REMOVALS OR ABANDONMENT OF DUCTS, PIPES, CONDUITS AND THE LIKE SHALL OCCUR BELOW OR BEHIND FINISH SURFACES AND BE APPROPRIATELY CAPPED AND COVERED TO MATCH ADJACENT CONSTRUCTION AND FINISHES.
- RECEIVE AND APPROPRIATELY STORE ALL MATERIALS DELIVERED IN CONNECTION WITH THE WORK. THE OWNER/ LANDLORD/ BUILDING MANAGEMENT AND TENANT WILL NOT ACCEPT OR STORE CONSTRUCTION MATERIALS OR EQUIPMENT.
- AT DEMOLITION SITES ABUTTING NEW CONSTRUCTION AND AREAS OF INFILL OR PATCH WORK, MATCH ADJACENT CONSTRUCTION UNLESS CALLED FOR OR SHOWN OTHERWISE ON THE DRAWINGS.
- ALL INTERIOR FINISH FLAME SPREAD REQUIREMENTS SHALL BE IN COMPLIANCE WITH IBC 2015, SECTION 813.11.
- UNLESS OTHERWISE INDICATED OR DIRECTED BY THE OWNER OR ARCHITECT, PRODUCTS, MATERIALS, PATTERNS, COLORS AND THE LIKE HAVE BEEN SELECTED TO MEET A TIMELY CONSTRUCTION SCHEDULE AT THE BEGINNING OF THE WORK, RECONFIRM ALL MATERIAL AVAILABILITIES. ADVISE ARCHITECT IMMEDIATELY OF ANY LONG-LEAD ITEMS THAT MIGHT JEOPARDIZE THE AGREED UPON WORK SCHEDULE TO ALLOW ADEQUATE TIME TO DEVELOP ALTERNATIVE SOLUTIONS.
- GYPSUM BOARD ASSEMBLIES: PROVIDE GYPSUM BOARD ASSEMBLIES TO MEET OR EXCEED A LEVEL 3 FINISH AS DEFINED BY G-214-M-97 (GYPSUM ASSOCIATION: CISCA; AWC). PAINTING AND DECORATING CONTRACTORS OF AMERICA). ALL GYPSUM BOARD ASSEMBLIES SHALL BE LEVEL, TRUE AND PLUMB WITHIN 1/8" IN ANY 12'-0" LENGTH OR SPAN.
- REMOVALS, CLEAN-UP AND PROTECTION
 - ON A DAILY BASIS: REMOVE ALL WASTES, REFUSE AND DEBRIS ACCUMULATING FROM CONSTRUCTION WORK AND LEGALLY DISPOSE OF INDEPENDENTLY AND NOT UTILIZING OWNER/ LANDLORD/ BUILDING TENANT DUMPSTER. ENSURE THAT CONSTRUCTION PREMISES ARE LEFT IN A GENERALLY CLEAN CONDITION AT THE END OF EACH WORKING DAY.

- PROTECT THE BUILDING PREMISES AND ALL OCCUPANTS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. PROVIDE AND MAINTAIN NECESSARY COVERINGS, BOARDS, TEMPORARY PARTITIONS, BARRIERS AND DOORS REQUIRED TO PROTECT EXISTING WORK AND FINISHES TO REMAIN AND ALL AREAS OF THE BUILDING AFFECTED BY CONSTRUCTION.
- MAKE ALL NECESSARY REPAIRS OR REPLACEMENT OF DAMAGED ITEMS WITHOUT ADDITIONAL CHARGE TO ANY OTHER PARTY. ONCE FLOOR COVERINGS HAVE BEEN INSTALLED, CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE TEMPORARY PROTECTIONS FOR FINISHES TO PROTECT AGAINST DAMAGE.
- IMMEDIATELY PRIOR TO OWNER OCCUPANCY, CLEAN ALL SURFACES, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. POLISH TRANSPARENT AND GLOSSY SURFACES AND CLEAN EQUIPMENT AND FIXTURES TO A SANITARY CONDITION. REPLACE ALL USED FILTERS IN MECHANICAL EQUIPMENT WITH NEW FILTERS. REMOVE EXCESS MATERIALS AND EQUIPMENT. STORE BUILDING STANDARD EXCESS MATERIALS AS DIRECTED BY OWNER.
- SELECTIVE DEMOLITION
 - DEMOLITION WORK SHALL COMPLY WITH ANSI A10.6 AND NFPA 241.
 - ALL WORK SHALL COMPLY WITH APPLICABLE CODE AND REGULATIONS. HAZARDOUS WASTE SHALL BE HANDLED AND DISPOSED OF IN COMPLIANCE WITH HAZARDOUS MATERIALS REGULATIONS.
 - ALL DEMOLITION WORK SHALL BE PERFORMED BY PERSONS EXPERIENCED IN DEMOLITION WORK SIMILAR IN NATURE AND EXTENT TO THAT REQUIRED BY THIS PROJECT.
 - PROTECT EXISTING SITE WORK AND EXISTING BUILDING EXTERIOR CONDITIONS AND FEATURES.
 - IN THE EVENT THAT UNANTICIPATED CONDITIONS ARE ENCOUNTERED, INCLUDING MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENT OF THE DEMOLITION DRAWINGS, REPORT SUCH CONDITIONS IMMEDIATELY TO THE ARCHITECT, AND DO NOT PROCEED WITH THE AFFECTED WORK UNTIL AUTHORIZED BY THE ARCHITECT.
 - ITEMS TO BE REMOVED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION EMPLOYING CUTTING AND REMOVAL METHODS THAT ARE LEAST LIKELY TO DAMAGE ADJACENT CONSTRUCTION WHICH IS REMAIN.
 - REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE, UNLESS DESIGNATED TO BE SALVAGED, OR REMOVED AND STORED.
 - ITEMS DESIGNATED TO BE SALVAGED SHALL BE DETACHED FROM THE EXISTING CONSTRUCTION AND DELIVERED TO THE OWNER REPRESENTATIVE. THE OWNER REPRESENTATIVE IS ENTITLED TO SALVAGE AND/OR REMOVE EQUIPMENT, HARDWARE, FIXTURES, AND FURNISHINGS FROM ALL AREAS OF THIS CONTRACT PRIOR TO DEMOLITION.
 - MAINTAIN EXISTING UTILITY SERVICES AND FIRE PROTECTION FACILITIES, AND PROTECT THEM FROM DAMAGE DURING THE DEMOLITION OPERATIONS. INTERRUPTIONS OF UTILITY SERVICE TO THE BUILDING SHALL BE COORDINATED WITH THE OWNER REPRESENTATIVE.
 - TEMPORARILY SHUT OFF UTILITIES TO SELECTED PORTIONS OF THE BUILDING AS REQUIRED BY DEMOLITION OPERATIONS: CAP, VALVE, PUG OR SEAL ENDS OF PIPING AND CONDUIT REQUIRED TO BE CUT-OFF OR DISCONNECTED BY THE DEMOLITION WORK. MAINTAIN CONTINUITY OF UTILITIES TO OTHER PORTIONS OF THE BUILDING. COMPLY WITH THE FOLLOWING DUST-CONTROL MEASURES:
 - GENERAL
 - ISOLATE THE WORK AREA FOR THE DURATION OF THE WORK BY COMPLETELY SEALING OFF ALL OPENINGS AND FIXTURES IN THE WORK AREA, INCLUDING BUT NOT LIMITED TO, HEATING AND VENTILATION DUCTS, DOORWAYS, CORRIDORS, WINDOWS, AND LIGHTING WITH PLASTIC SHEETING TAPED SECURELY IN PLACE.
 - BUILD DOUBLE BARRIERS OF PLASTIC SHEETING AT ALL ENTRANCES AND EXITS TO THE WORK AREA SO THAT THE WORK AREA IS ALWAYS CLOSED OFF BY ONE BARRIER WHEN WORKERS ENTER OR EXIT.
 - PROTECTION
 - COVER ALL FLOORS AND WALL SURFACES IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE TO PROTECT FROM DAMAGE.
 - BEFORE THE WORK IS BEGUN, REMOVE ALL REMOVABLE ITEMS AND EQUIPMENT FROM THE WORK AREA AND STORE AS DIRECTED.
 - COVER ALL NON-REMOVABLE ITEMS AND EQUIPMENT IN THE WORK AREA WITH PLASTIC SHEETING TAPED SECURELY IN PLACE.
 - POST WARNING SIGNS AND LABELS AS REQUIRED BY 29 CFR 1910.1001, ASTM E 849.

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4861 PAN AMERICAN FWY, NE
 ALBUQUERQUE, NM 87109

REVISIONS

NO.	DATE	DESCRIPTION

ISSUE PURPOSE

FOR PERMIT / BID

PROJECT NO: 20-38

DATE: JANUARY 08, 2021



BUBBA'S 33 - PATIO COVER and FENCING

4861 PAN AMERICAN FWY. NE
 ALBUQUERQUE, NM 87109

FOR PERMIT / BID

REVISIONS		
NO.	DATE	DESCRIPTION

FIRE 2

SHEET NO

FIRE 2

PROJECT NO: 20-38
 DATE: JANUARY 08, 2021

CODE SUMMARY

A. APPLICABLE CODES:
 2015 INTERNATIONAL BUILDING CODE (IBC)
 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2015 UNIFORM PLUMBING CODE (UPC)
 2015 UNIFORM MECHANICAL CODE (UMC)
 2014 NATIONAL ELECTRICAL CODE (NEC)
 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2009 ICC/ANSI A117.1, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

B. PROJECT DESCRIPTION:
 ADDITION OF A PATIO COVER FOR AN EXISTING OUTDOOR DINING AREA and the ADDITION OF A SECOND OUTDOOR DINING AREA (PATIO 2).

C. PROJECT ADDRESS:
 4861 PAN AMERICAN FWY NE
 ALBUQUERQUE, NM 87109

D. CURRENT ZONING:
 NR-BP: NON-RESIDENTIAL - BUSINESS PARK

E. PROJECT AREA:
 AREA OF MODIFIED OUTDOOR PATIO: 1,234 GSF

F. SCOPE OF WORK - IEBC SECTION 504 - ALTERATION LEVEL 2:
 WORK UNDER THIS CONTRACT INCLUDES THE ADDITION OF OUTDOOR SPACE ONLY FOR A SINGLE EXISTING TENANT. THE WORK AREA AS DEFINED IN IEBC SECTION 202 IS LESS THAN 50% OF THE AGGREGATE AREA OF THE BUILDING and DOES NOT INCREASE THE OCCUPANT LOAD MORE THAN 20% (IEBC 810.1).

G. USE and OCCUPANCY CLASSIFICATION:
 EXISTING 1 STORY BUILDING (6,700 gsf)
 TYPE V-B CONSTRUCTION, FULLY SPRINKLED (NO CHANGE)

H. BUILDING ALLOWABLE AREA:
 NO CHANGE IN BUILDING AREA

I. OCCUPANT LOAD (SECTION 1004 TABLE 1004.1.2):
 NO CHANGE IN OCCUPANCY, EXISTING GROUP A2 TO REMAIN.

EXISTING OCCUPANT LOAD CALCULATION:
 DINING AREA (FIXED SEATS): 3267 SF = 149 SEATS
 DINING AREA (1:15): 2315 SF = 155 OCCUPANTS
 WAITING AREA (1:7): 126 SF = 18 OCCUPANTS
 KITCHEN (1:200): 2991 SF = 15 OCCUPANTS
 OUTDOOR PATIO 1 (1:15): 707 SF = 51 OCCUPANTS
 TOTAL EXISTING OCCUPANCY: 388 OCCUPANTS

ALLOWABLE OCCUPANCY INCREASE: 388 x 20% = 77 ALLOWABLE OCCUPANT INCREASE

NEW OCCUPANCY:
 OUTDOOR PATIO 2 (1:15): 505 SF = 34 OCCUPANTS (>20%)
 TOTAL OCCUPANTS = 422 OCCUPANTS

J. MEANS OF EGRESS (SECTION 10):
 DEAD END - 50 FT MAX (SECTION 1020.4, EXCEPTION 2.) - FULLY SPRINKLED
 EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2) - FULLY SPRINKLED
 B OCCUPANCY = 250' MAX

K. SEISMIC DESIGN CATEGORY: D:
 NEW LAY IN GRID TO COMPLY WITH DESIGN CATEGORY D

L. MEANS OF EGRESS (IEBC 805):
 WORK AREA IS NOT SHARED BY MORE THAN ONE TENANT AND CONFORMS TO THE REQUIREMENTS OF THE BUILDING CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED.

N. PLUMBING FIXTURE REQUIREMENTS:
 (2015 IEBC, SECTION 810, 2015 IBC, TABLE 2902.1)
 NO ADDITIONAL FIXTURES REQUIRED

EXISTING OCCUPANCY: 388 OCC / 2 = 194 EA SEX
 WC REQUIRED 1:75 = 194 / 75 = 3 EA SEX REQ.
3 WC PROVIDED

LAV REQUIRED 1:200 = 194 / 200 = 1 EA SEX REQ.
2 LAVS PROVIDED

EXISTING FAMILY RR WITH: **1 WC and 1 LAV PROVIDED**

IEBC SECTION 810.1 MINIMUM FIXTURES:
 WHERE THE OCCUPANT LOAD OF THE STORY IS INCREASED BY MORE THAN 20 PERCENT, PLUMBING FIXTURES FOR THE STORY SHALL BE PROVIDED IN QUANTITIES SPECIFIED IN THE INTERNATIONAL PLUMBING CODE BASED ON THE INCREASED OCCUPANT LOAD.

O. FIRE PROTECTIVE SYSTEM

- BUILDING IS EQUIPPED THROUGHOUT WITH AN EXISTING AUTOMATIC, QUICK RESPONSE FIRE SPRINKLER SYSTEM.
- BUILDING IS EQUIPPED THROUGHOUT WITH AN EXISTING FIRE ALARM AND DETECTION SYSTEM.
- PORTABLE FIRE EXTINGUISHERS ARE PROVIDED AS REQUIRED FOR "B" OCCUPANCY (906.1)
 MINIMUM RATED SINGLE EXTINGUISHER: 2A-10BC
 MAXIMUM TRAVEL DISTANCE BETWEEN FIRE EXTINGUISHERS: 75 FT
 REQUIRED: 11,879 / 3000 = 4; **4 PROVIDED**

NOTE:
 THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE ALARM SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.

EXIT HARDWARE NOTES

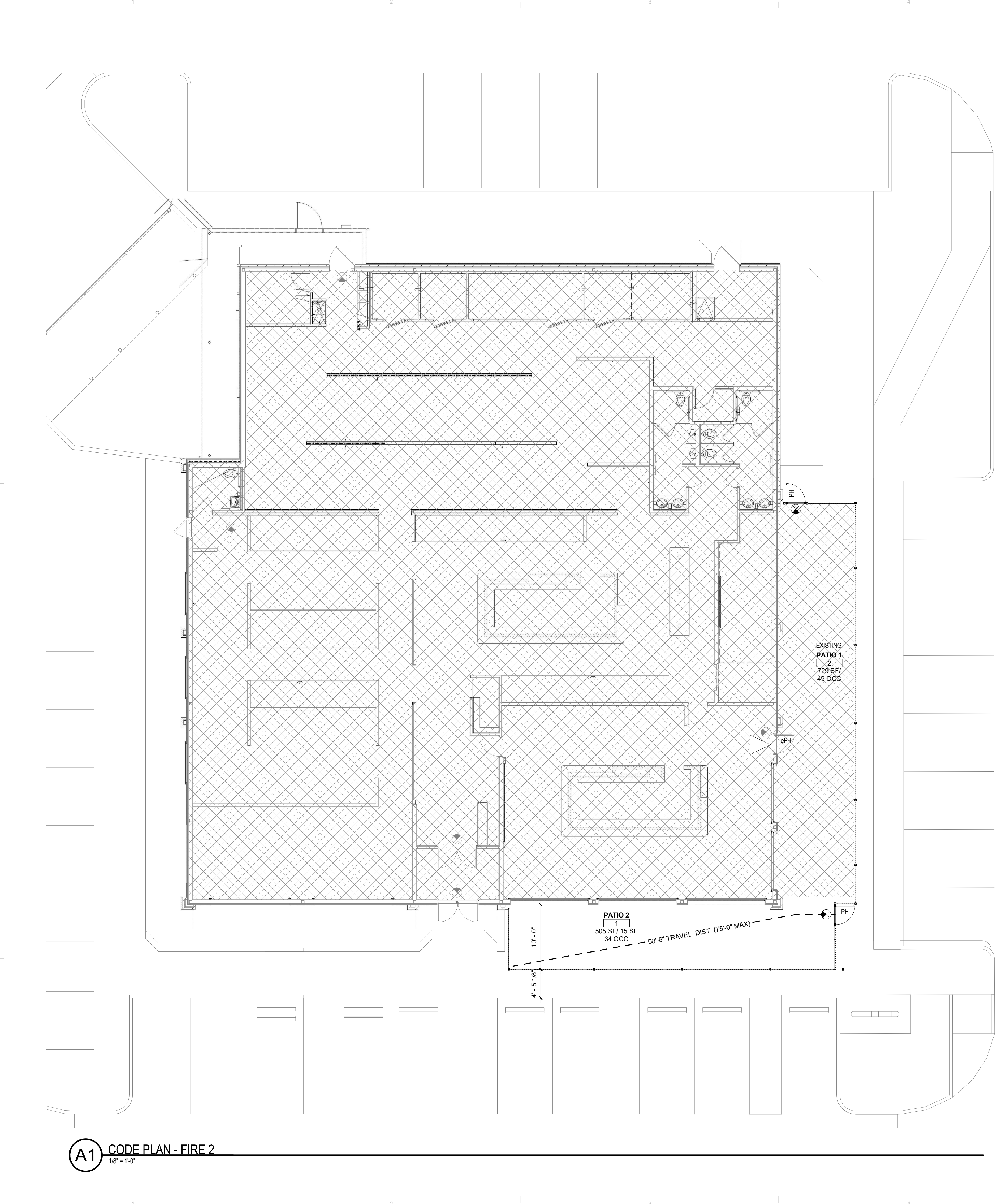
PH - PANNIC HARDWARE

LIFE SAFETY PLAN SYMBOL LEGEND

Name	ROOM NAME	ROOM NUMBER
101	ROOM NAME	ROOM NUMBER
150 SF/ 50 SF	AREA OF ROOM (SF) / SF PER OCCUPANT (TABLE 1004.1)	OCCUPANT LOAD OF ROOM
3 OCC		
<X>	IBC OCCUPANT LOAD / DIRECTION OF EGRESS	
FEC	FIRE EXTINGUISHER CABINET	
- - -	EXISTING / NEW - 1 HOUR SEPARATION	
[Hatched Box]	EXISTING BUILDING SPACE OUTSIDE OF PROJECT SCOPE OF WORK	
<XX>	MAX OCCUPANT LOAD FOR DOOR (SECTION 1005)	
<XX>	ACTUAL OCCUPANT LOAD FOR DOOR	
<XX>	REQUIRED WIDTH / WIDTH PROVIDED (IN INCHES)	
[X]	EXIT HARDWARE - SEE EXIT HARDWARE NOTES	
LIFE SAFETY		
[Symbol]	EXISTING EMERGENCY LIGHTING	[Symbol] NEW/RELOCATED EMERGENCY LIGHTING
[Symbol]	EXISTING EXIT SIGN	[Symbol] NEW / RELOCATED EXIT SIGN
[Symbol]	EXISTING HORN / STROBE	[Symbol] NEW / RELOCATED HORN / STROBE
[Symbol]	EXISTING PULL STATION	[Symbol] NEW / RELOCATED PULL STATION

FIRE PROTECTION NOTES

- EXIT SIGNS WITH BATTERY BACK-UP ARE INDICATED ON THE CODE AND REFLECTED CEILING PLAN.
- EMERGENCY LIGHTING IS INDICATED ON THE CODE AND REFLECTED CEILING PLAN.
- SHOP DRAWINGS FOR FIRE PROTECTION SYSTEM SHALL BE PREPARED AND SUBMITTED TO FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL PRIOR TO MODIFICATION / INSTALLATION.
- SHOP DRAWINGS FOR THE FIRE ALARM SYSTEM SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW PRIOR TO MODIFICATION / INSTALLATION.
- LOCATIONS OF EXIT SIGNAGE AND EMERGENCY LIGHTING IS SUBJECT TO REVIEW BY FIRE MARSHAL AND CODE OFFICIAL PRIOR TO MODIFICATION / INSTALLATION.



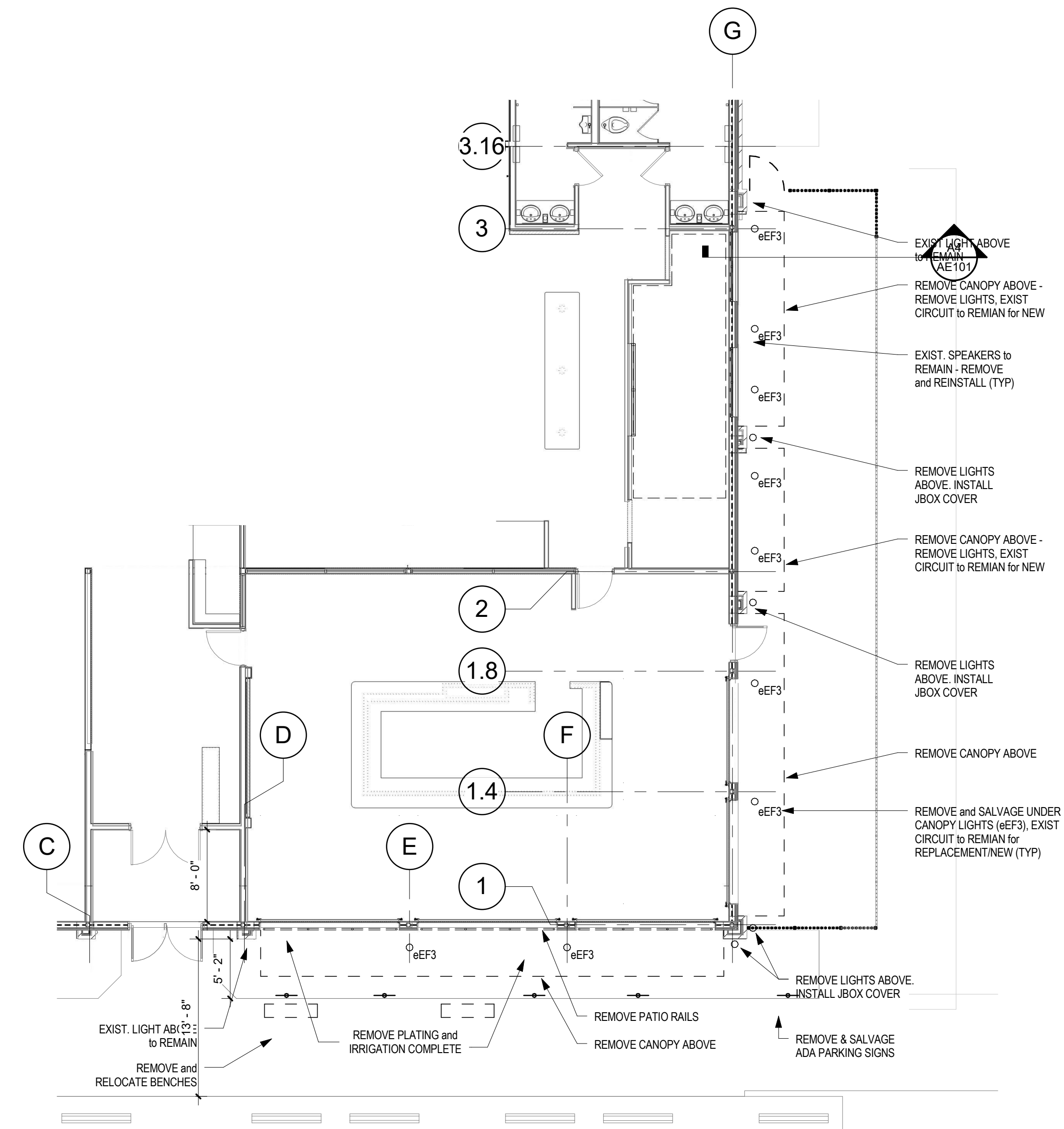
A1 CODE PLAN - FIRE 2
 1/8" = 1'-0"



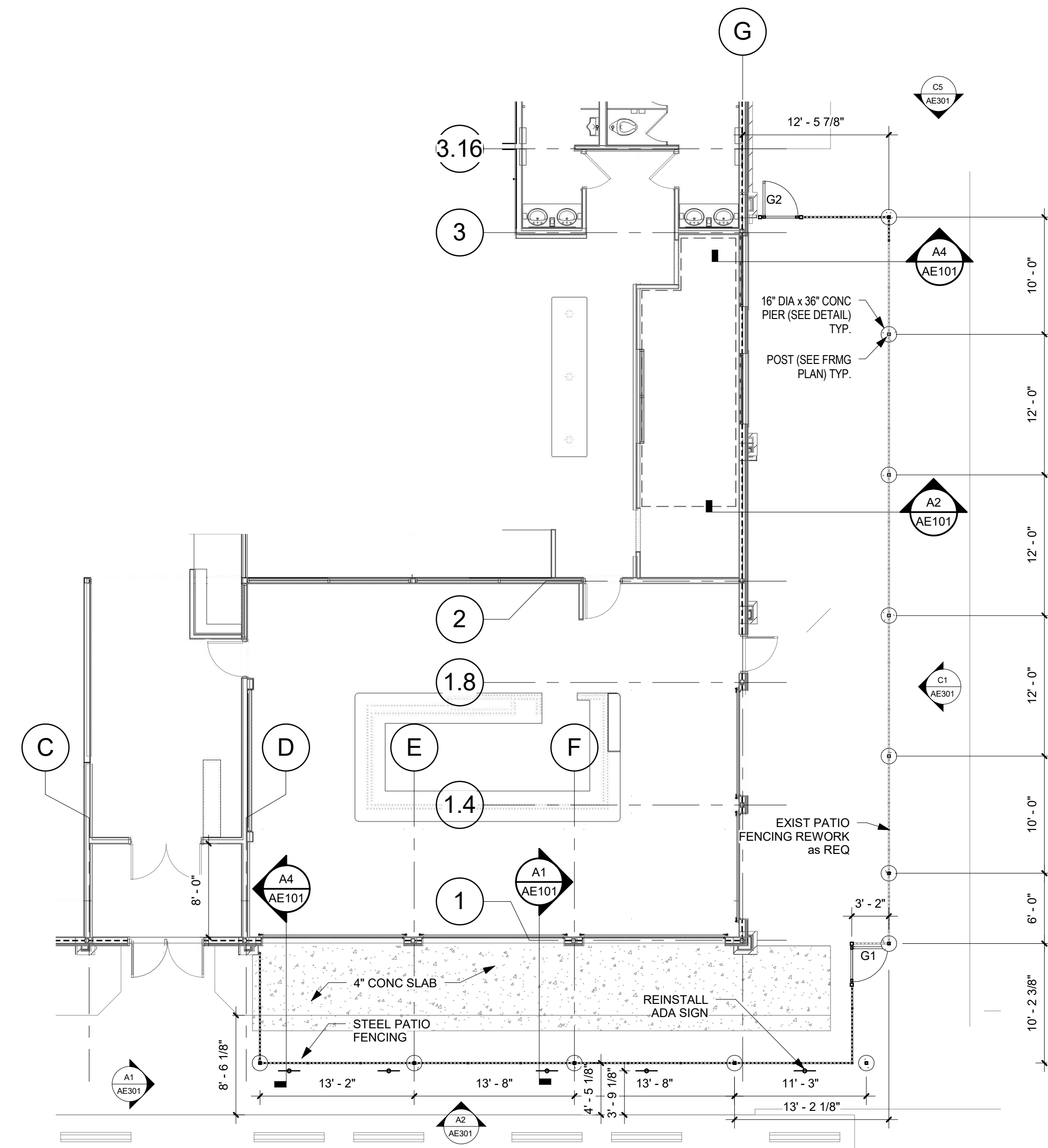
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GENERAL SHEET NOTES

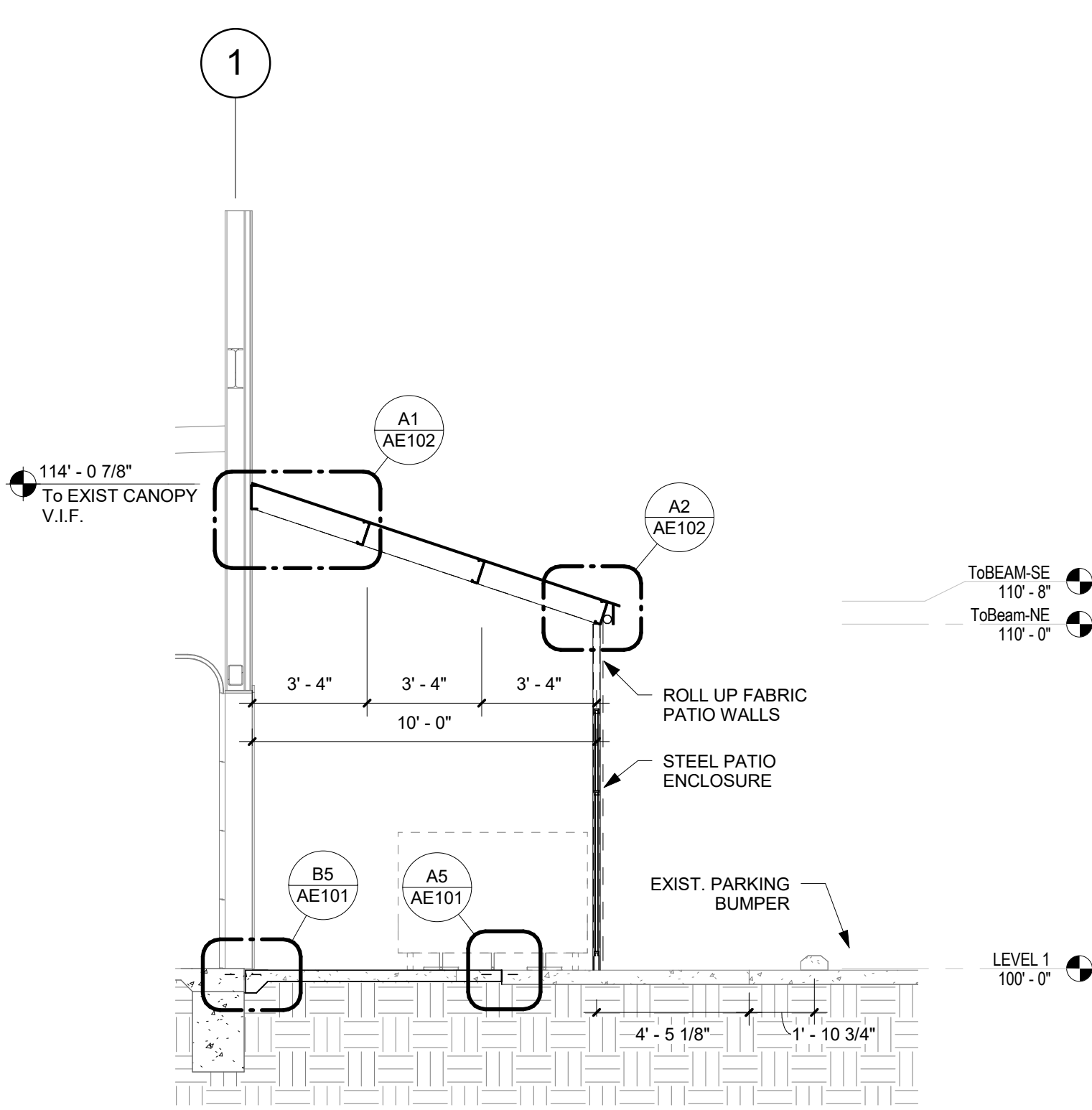
- A. VERIFY ALL CONDITIONS and DIMENSIONS AT THE JOB SITE. IF ANY DISCREPANCIES ARE FOUND THE ARCHITECT SHALL BE NOTIFIED.
- B. PROTECT FROM DAMAGE EXISTING WALL FINISHES, WINDOWS/DOORS ELECTRICAL, SPEAKER SYSTEMS ETC. IF DAMAGED, REPAIR AND/OR RESTORE THESE ITEMS TO PRE-CONSTRUCTION CONDITIONS.
- C. ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN ON THE DRAWINGS. THERE MAY BE SPECIFIC and SMALL ITEMS OF DEMOLITION and REPAIR WORK THAT WILL BE NECESSARY THROUGHOUT THE COURSE OF THE WORK WHICH IS APPARENT BY A COMPLETE and THOROUGH REVIEW OF THE EXISTING CONDITIONS and ALL OF THE CONSTRUCTION DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL DEMOLITION OPERATIONS REQUIRED FOR THE PROJECT.
- D. EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED FOR REMOVAL OF ANY EXISTING WORK, SUCH MODIFICATIONS WILL BE REPAIRED and FINISHED TO MATCH EXISTING.
- E. EXISTING CONSTRUCTION SHALL BE MODIFIED AS NEEDED TO ACCOMMODATE NEW DEVICES and CONDUIT ROUTES, SUCH MODIFICATIONS WILL BE REPAIRED and FINISHED TO MATCH ADJACENT.
- F. NEW DEVICES and CONDUIT ROUTES, SUCH MODIFICATIONS WILL BE REPAIRED and FINISHED TO MATCH ADJACENT.
- G. 4" CONC SLAB W/ 6 x 6 x W2.1 x W2.1 WMM CENTERED OVER COMPACTED SUBGRADE
- H. PAINT ALL STEEL - EGGSHELL BLACK
- I. R-PANEL ROOF TO BE GALVALUME FINISH.
- K. PROVIDE VYNAL WITH CLEAR PANEL ROLL DOWN CURTAIN AROUND EXTERIOR CANOPY OUTSIDE OF FENCE. ROLL DOWN CURTAIN WILL BE DESIGNED BY FABRICATOR / INSTALLER.



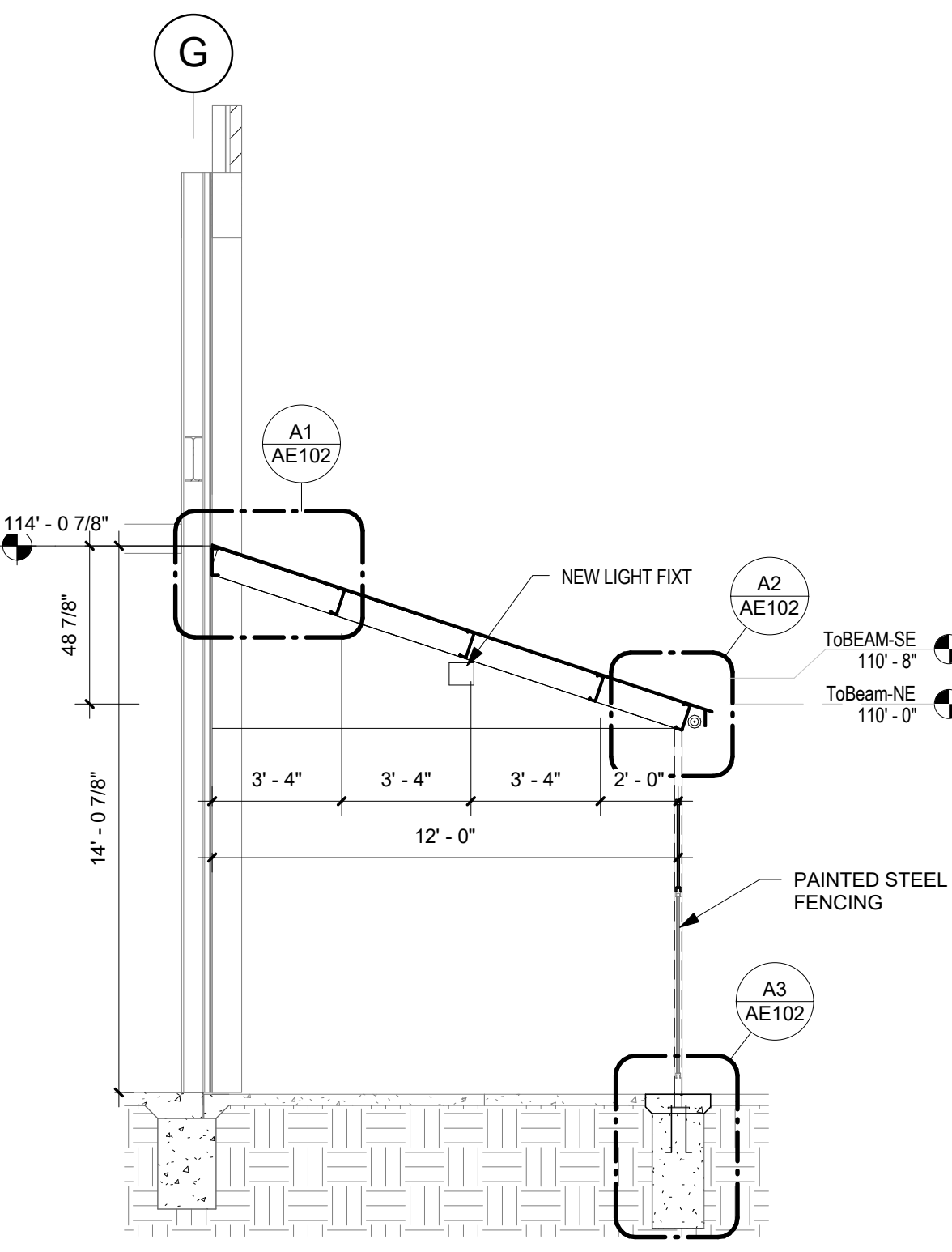
C1 DEMO PLAN
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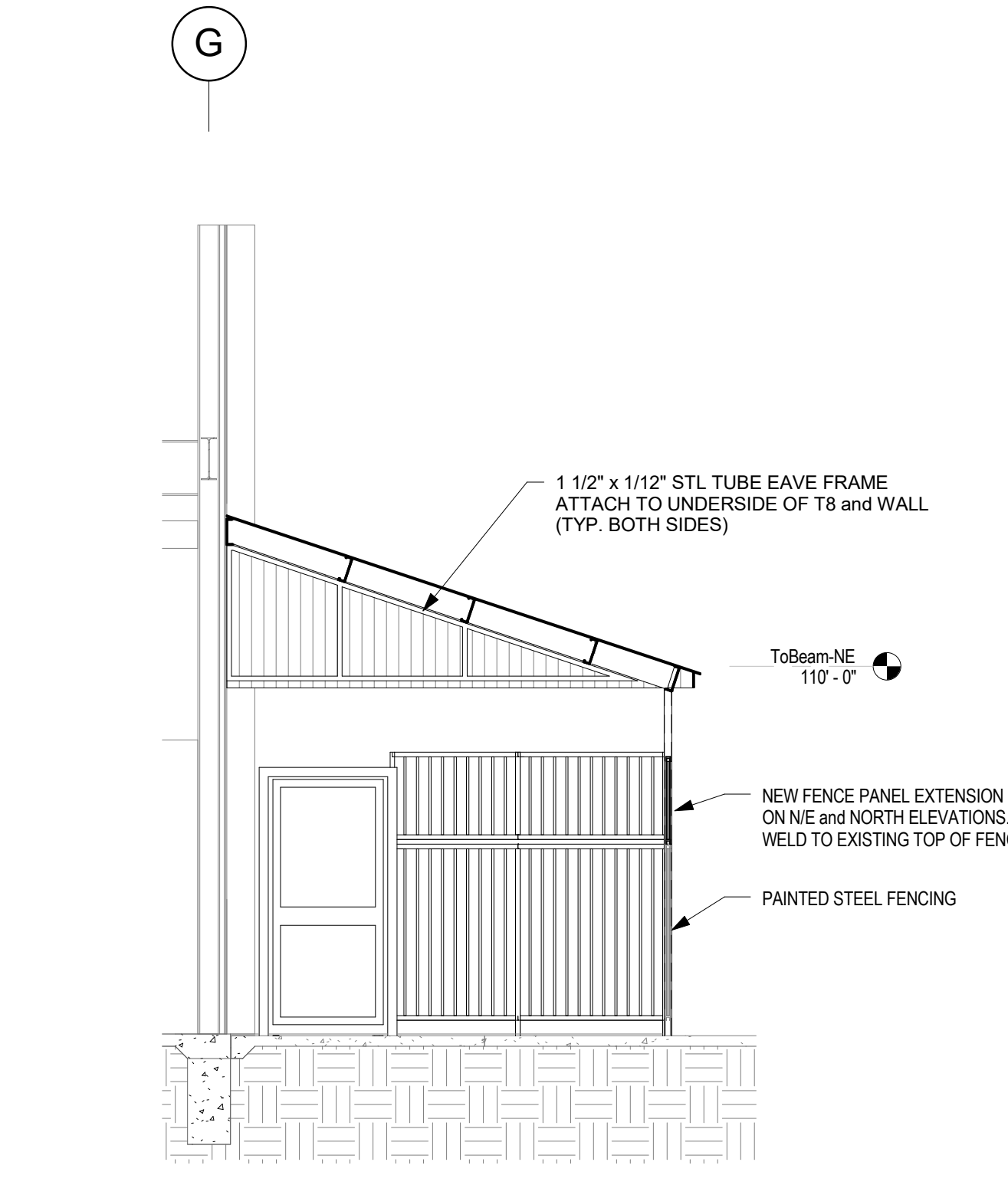
C3 PATIO PLAN
1/8" = 1'-0"



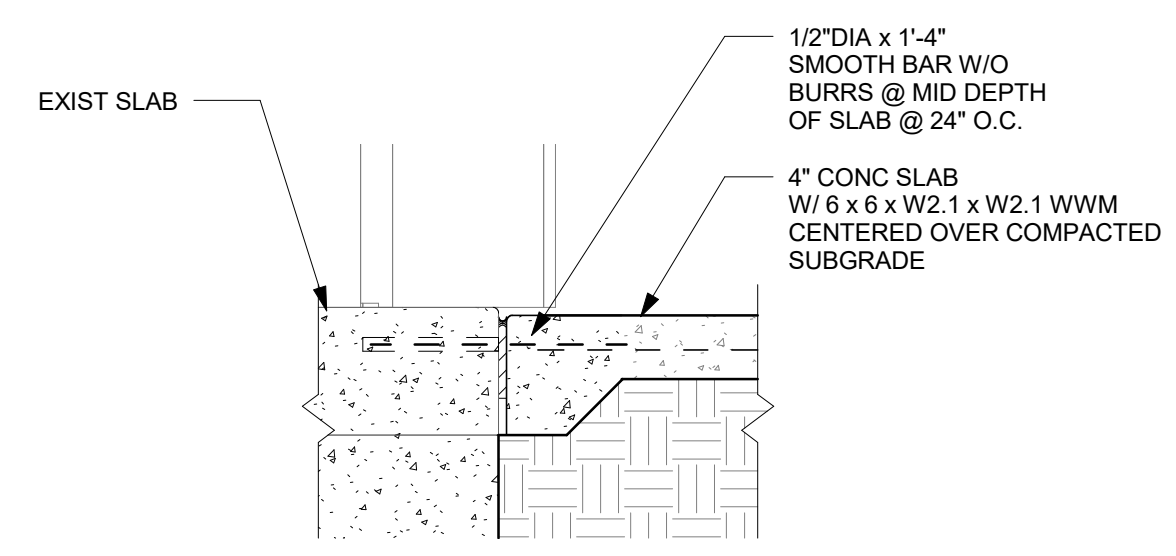
A1 CANOPY SECTION - SOUTH
1/4" = 1'-0"



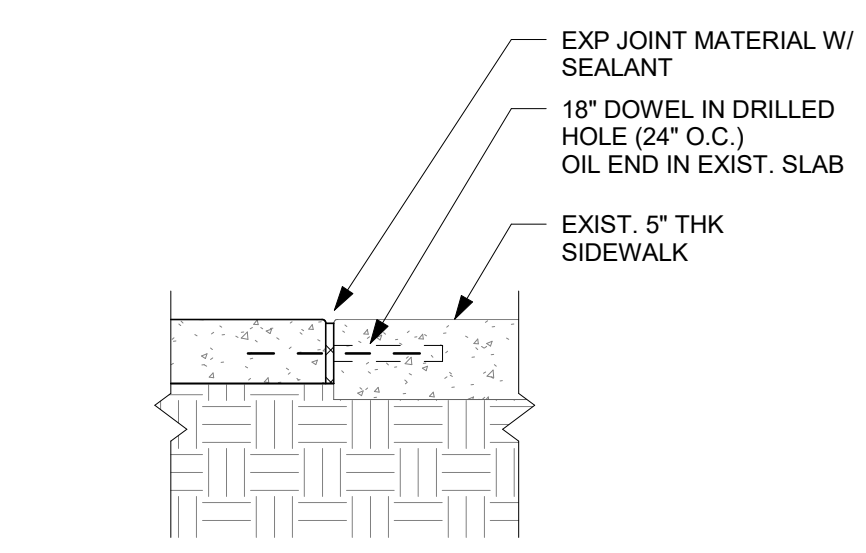
A2 CANOPY SECTION - NORTH
1/4" = 1'-0"



A4 CANOPY SECTION - END WALL
1/4" = 1'-0"



B5 DETAIL - SLAB to STEM WALL
1" = 1'-0"



A5 DETAIL - SLAB to SLAB
1" = 1'-0"

BUBBA'S 33 - PATIO COVER and FENCING

4861 PAN AMERICAN FWY. NE
ALBUQUERQUE, NM 87109

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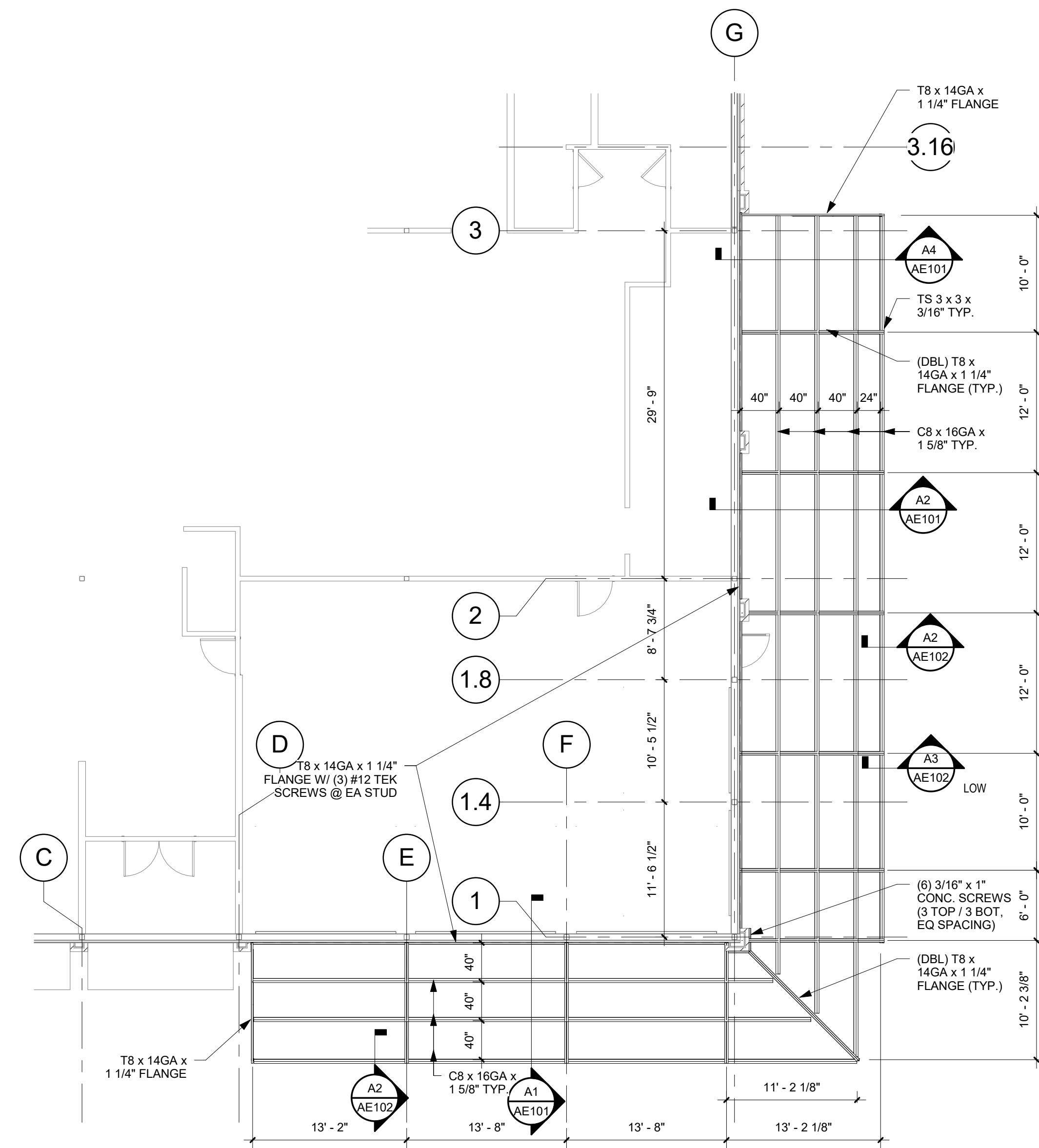
PATIO DEMO & NEW WORK PLAN

SHEET NO

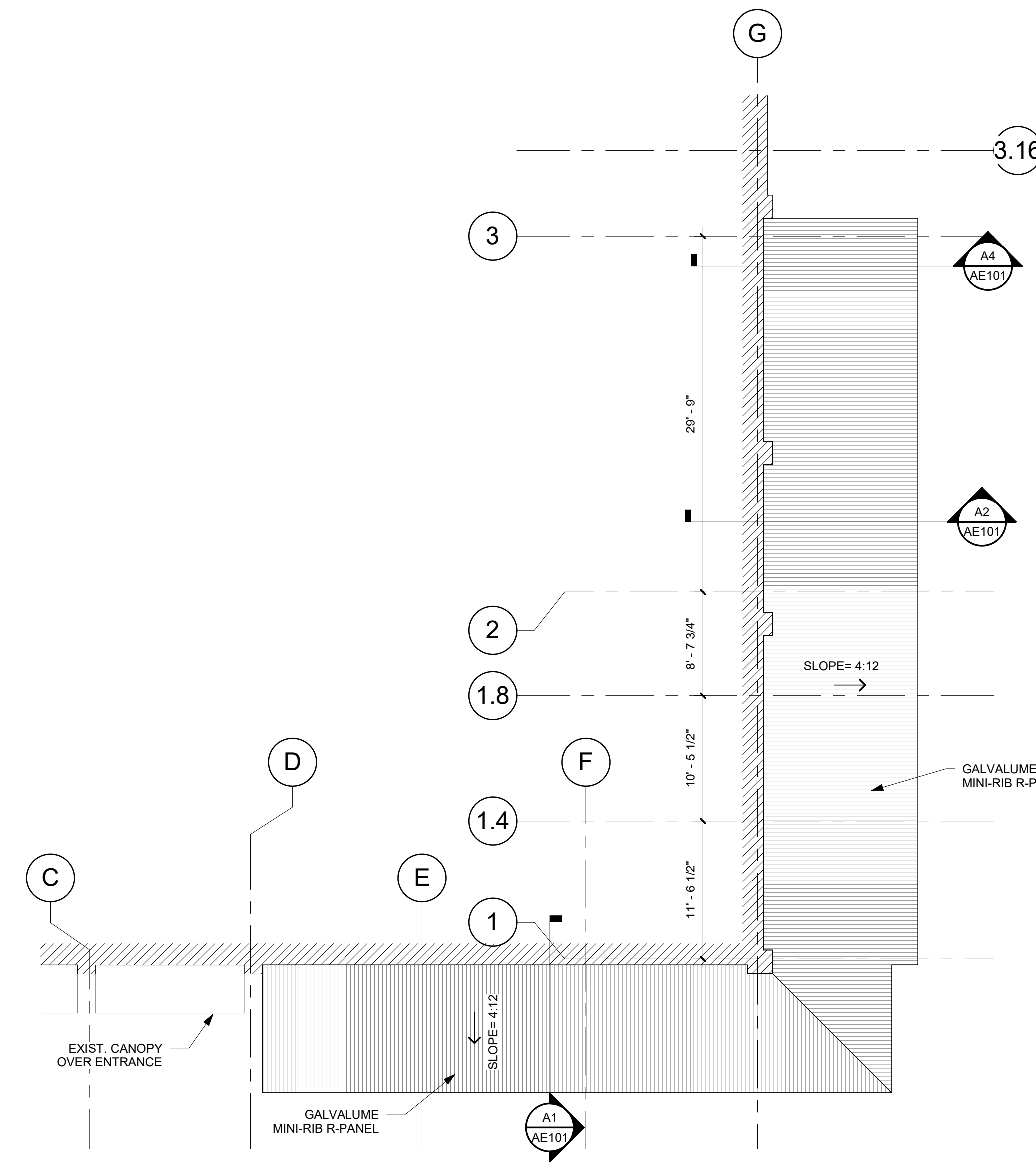
AE101

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1/12/2021 9:37:20 AM



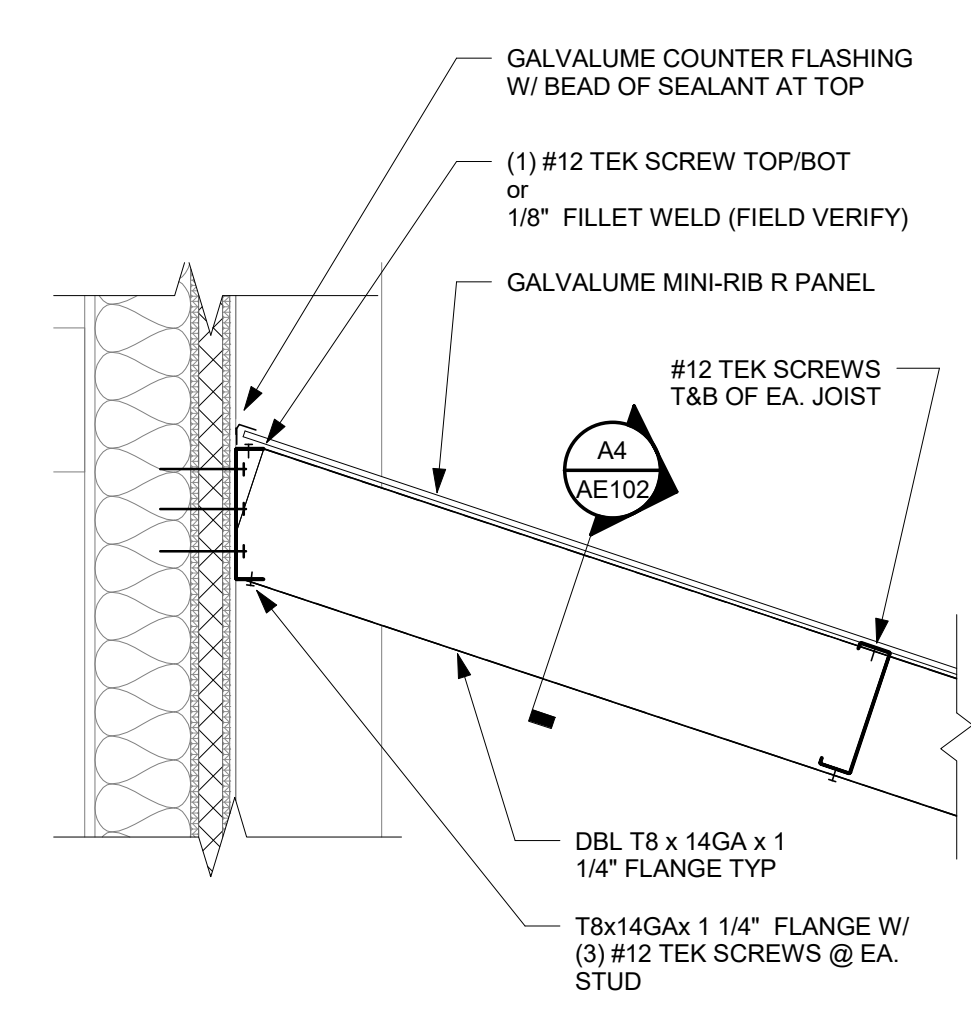
C1 CANOPY - FRAMING PLAN
 1/8" = 1'-0"



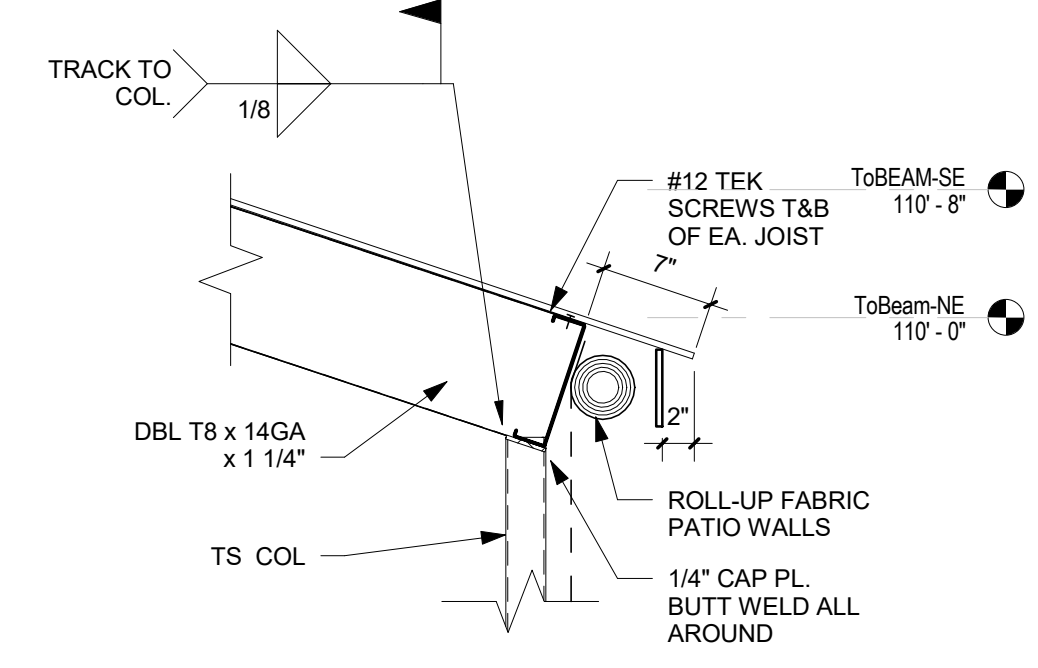
C3 CANOPY - ROOF PLAN
 1/8" = 1'-0"

GENERAL SHEET NOTES

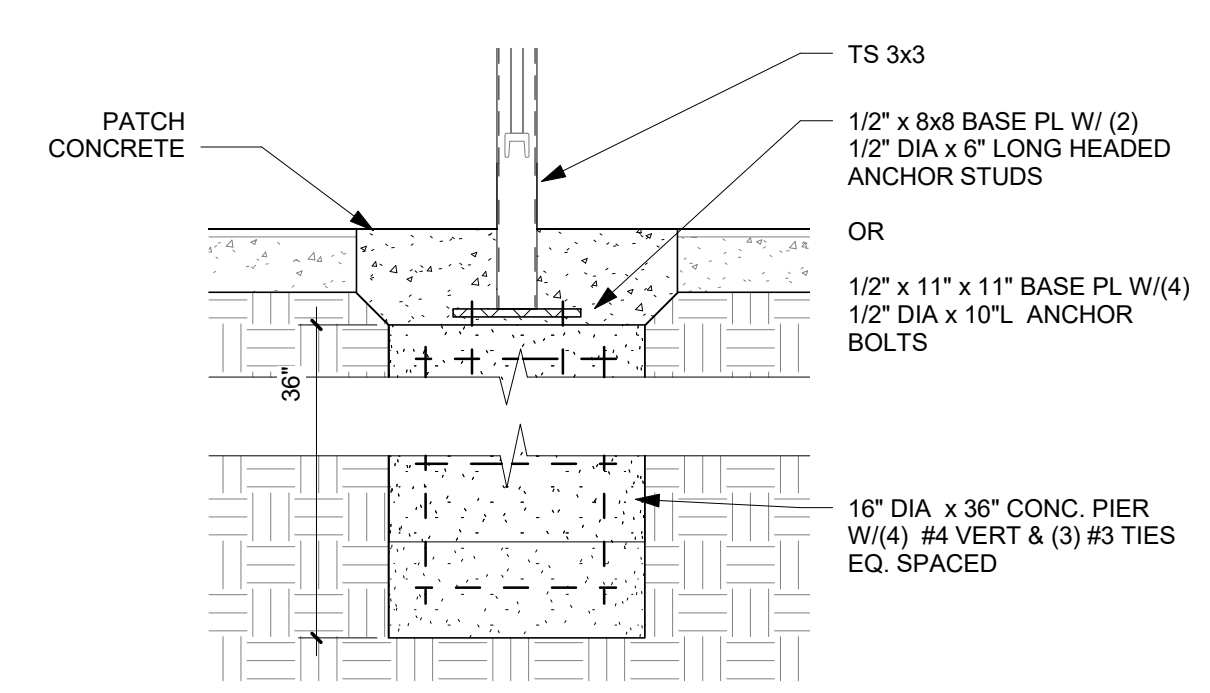
- A. 4" CONC SLAB W/ 6 x 6 x W2.1 x W2.1 WMM CENTERED OVER COMPACTED SUBGRADE
- B. PAINT ALL STEEL - EGGHELL BLACK
- C. R-PANEL ROOF TO BE GALVALUME FINISH.
- D. PROVIDE WYNAL WITH CLEAR PANEL ROLL DOWN CURTAIN AROUND EXTERIOR CANOPY OUTSIDE OF FENCE. ROLL DOWN CURTAIN WILL BE DESIGNED BY FABRICATOR / INSTALLER.



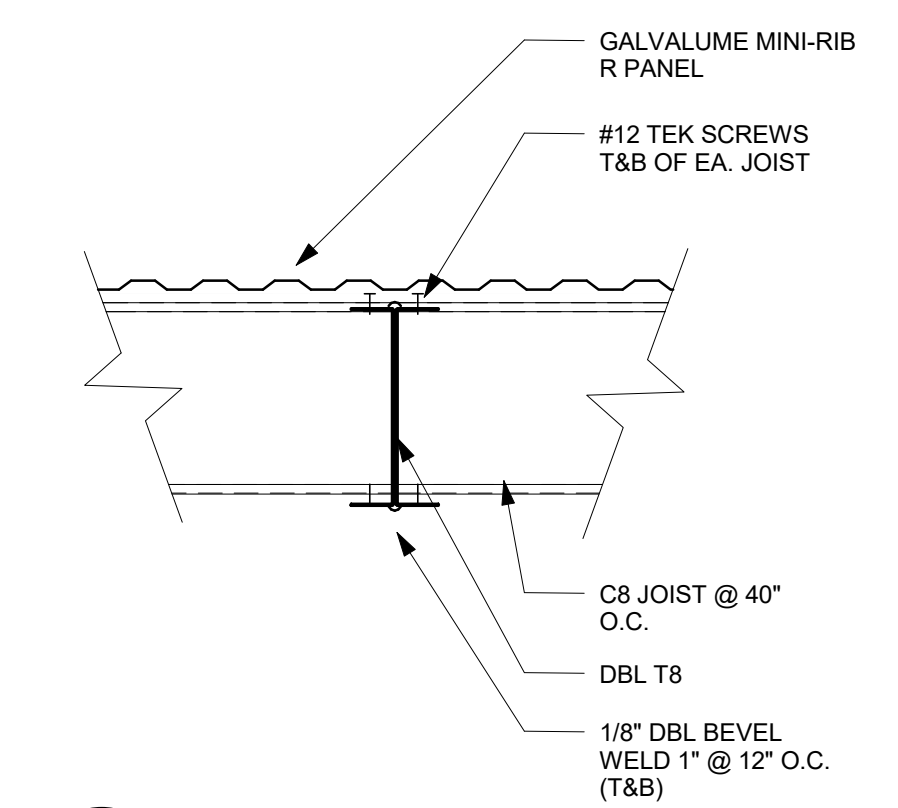
A1 CANOPY SECTION - NORTH - Callout 1
 1" = 1'-0"



A2 CANOPY SECTION - NORTH - Callout 2
 1" = 1'-0"



A3 DETAIL - FOOTING
 1" = 1'-0"



A4 DETAIL - DBL JOIST
 1 1/2" = 1'-0"

BUBBA'S 33 - PATIO COVER and FENCING

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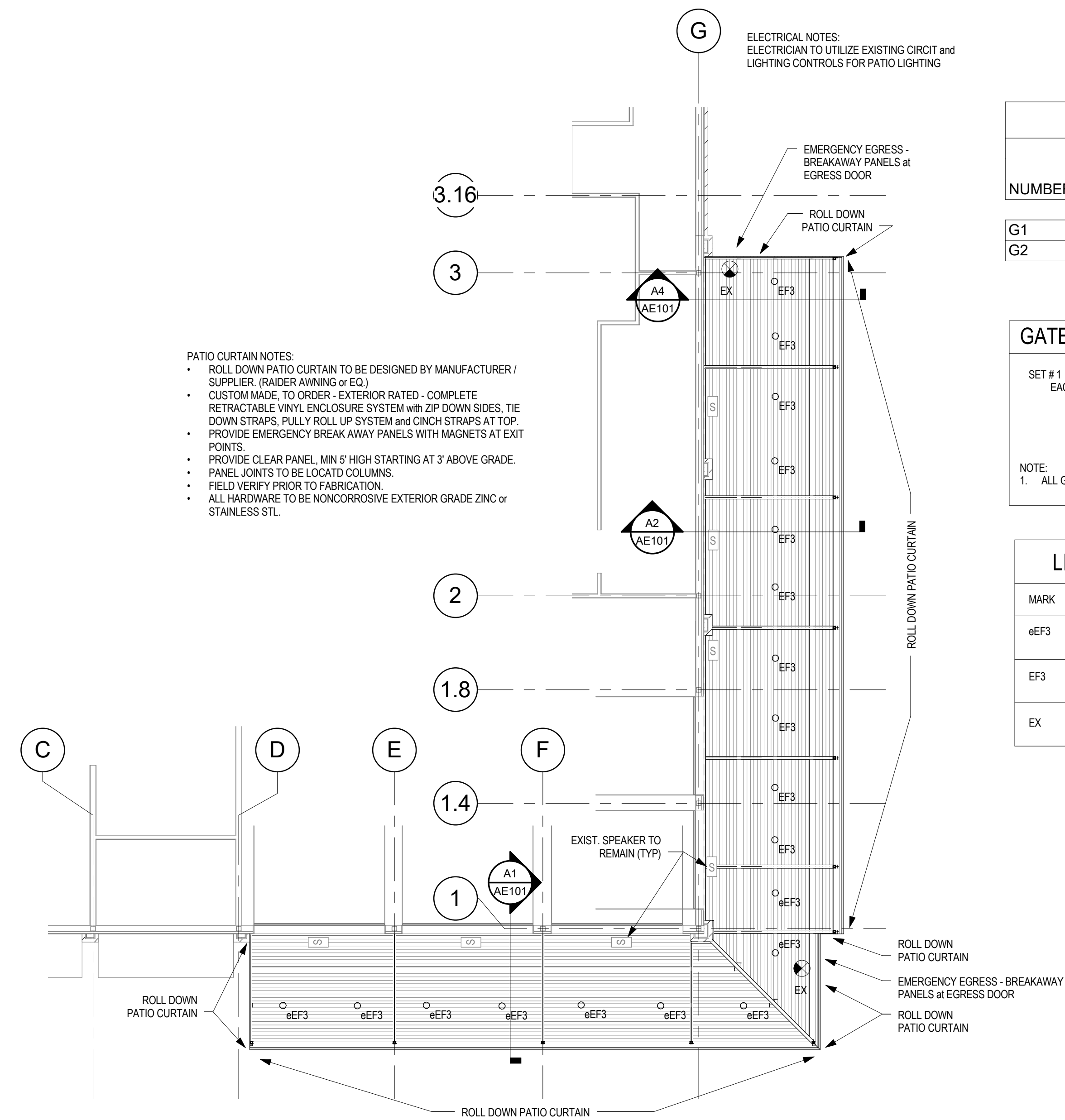
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NO.	DATE	DESCRIPTION

FRAMING PLAN and SECTIONS

SHEET NO

AE102

1/7/2021 11:10:23 AM



Architectural - Door & Frame Schedule

NUMBER	DOOR			FRAME		H.W. SET NO.	REMARKS	
	WIDTH	HEIGHT	THK	TYPE	MAT			
G1	3' - 0"	7' - 0"	2"	A1/AE301	STL	A1/AE301	STL 1	PAINT ALL STEEL MATTE BLACK
G2	3' - 0"	7' - 0"	2"	A1/AE301	STL	A1/AE301	STL 1	PAINT ALL STEEL MATTE BLACK

GATE HARDWARE SCHEDULE

SET # 1
 EACH TO HAVE:

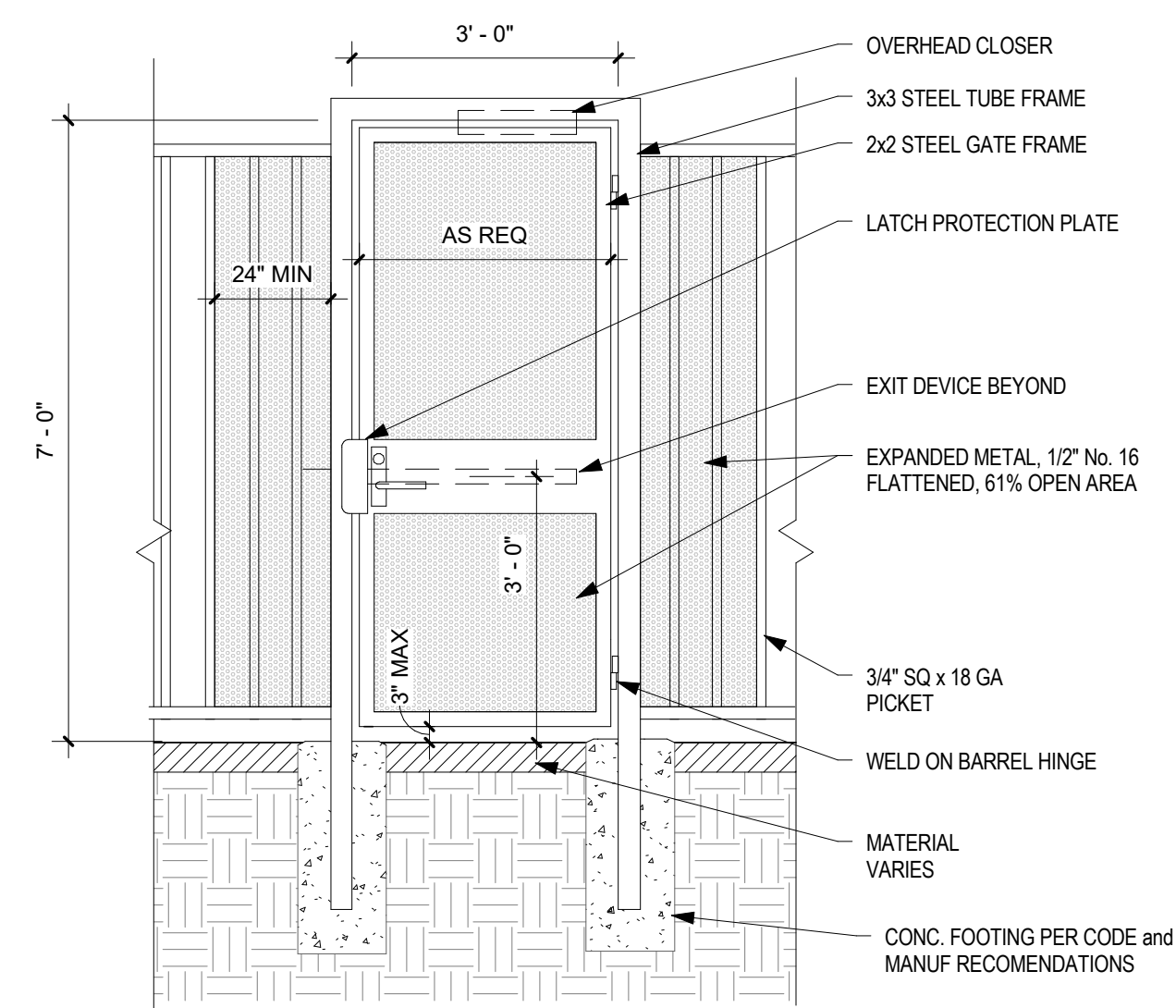
1 EA	EXIT DEVICE (STOREROOM)	43 8804 PTB WH (by SARGENT)
1 EA	DOOR CLOSER	SRI 281 O 280 (by SARGENT)
1 EA	BALANCE OF HARDWARE	BY GATE MFG.

NOTE:
 1. ALL GATE HARDWARE TO BE EXTERIOR RATED

LIGHT FIXTURE SCHEDULE

MARK	DESCRIPTION	LAMP TYPE	CATALOG. NO.
eEF3	EXISTING FIXTURE TO BE RELOCATED	LED (10.5W)	CREE LR6C-GU24 / LT6AB / SC6-BL-GU24
EF3	NEW UNDER CANOPY LIGHT	LED (10.5W)	CREE LR6C-GU24 / LT6AB / SC6-BL-GU24
EX	LED EXIT LIGHT W/ RED LETTERS and REMOTE HEAD CAPABILITY. BLACK FINISH. 90 MIN BATTERY BACKUP	LED INCLUDED	DUAL LITE LTURB3-0

B1 PATIO CEILING
 1/8" = 1'-0"



A1 SECURITY EXIT GATE
 1/2" = 1'-0"



BUBBA'S 33 - PATIO COVER and FENCING

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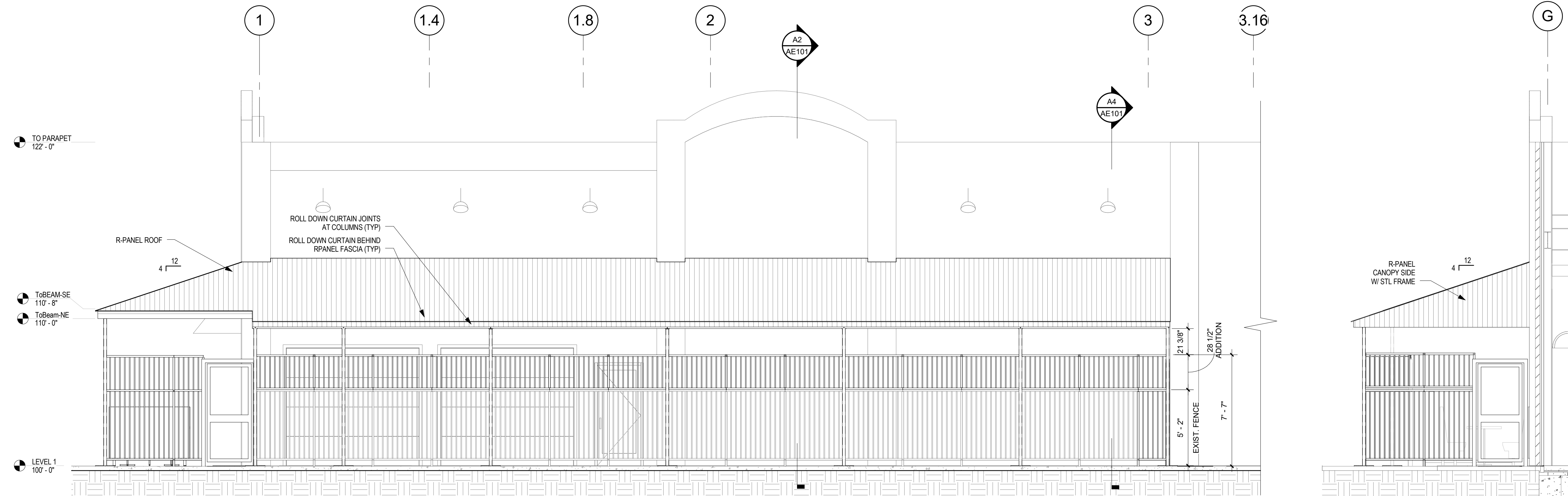
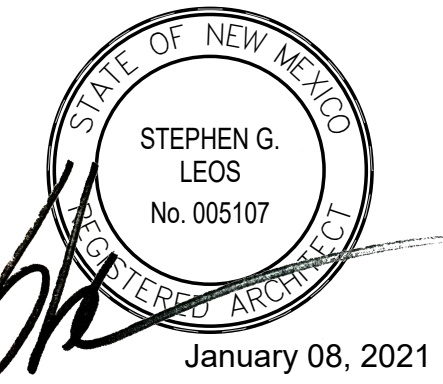
NO.	DATE	DESCRIPTION

CEILING PLAN

SHEET NO

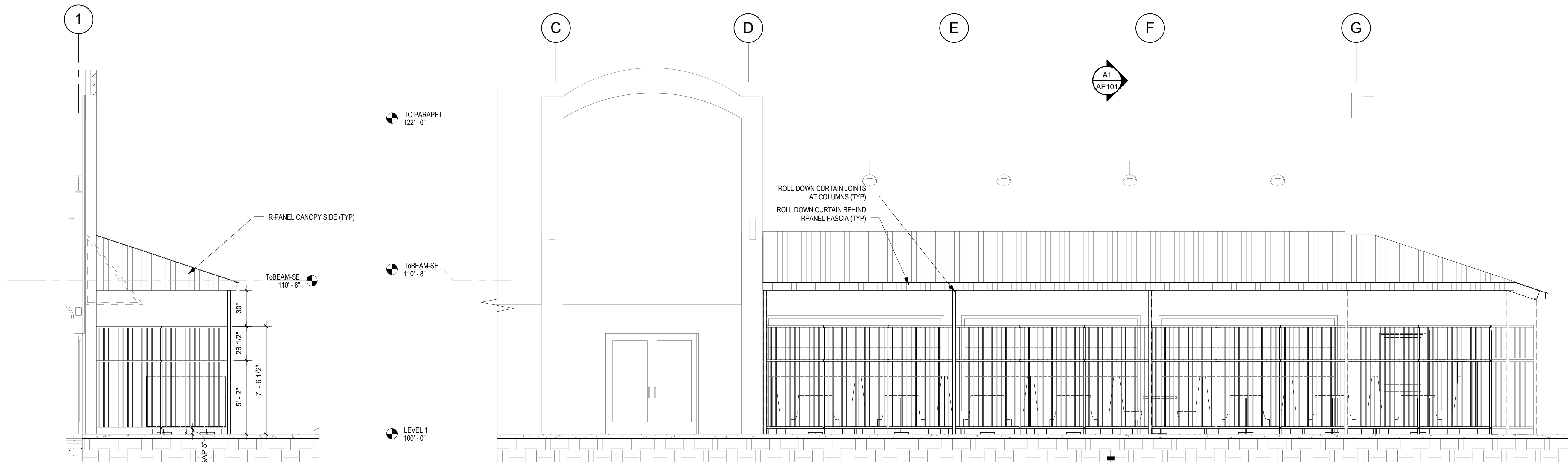
AE103

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C1 ELEVATION - NORTH EAST
 1/4" = 1'-0"

C5 ELEVATION - NORTH
 1/4" = 1'-0"



A1 ELEVATION - SOUTH WEST
 1/4" = 1'-0"

A2 ELEVATION - SOUTH EAST
 1/4" = 1'-0"

BUBBA'S 33 - PATIO COVER and FENCING

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ELEVATIONS and DETAILS

SHEET NO

AE301

PROJECT NO: 20-38
 DATE: JANUARY 08, 2021