



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| | | |
|---|---|--|
| Administrative Decisions | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2) |
| <input type="checkbox"/> Archaeological Certificate (Form P3) | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L) | Policy Decisions |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1) | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Alternative Signage Plan (Form P3) | <input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1) | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L) |
| <input type="checkbox"/> WTF Approval (Form W1) | <input type="checkbox"/> Site Plan – DRB (Form P2) | <input type="checkbox"/> Amendment of IDO Text (Form Z) |
| <input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3) | <input type="checkbox"/> Subdivision of Land – Minor (Form S2) | <input type="checkbox"/> Annexation of Land (Form Z) |
| Decisions Requiring a Public Meeting or Hearing | <input type="checkbox"/> Subdivision of Land – Major (Form S1) | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z) |
| <input type="checkbox"/> Conditional Use Approval (Form ZHE) | <input type="checkbox"/> Vacation of Easement or Right-of-way (Form V) | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z) |
| <input type="checkbox"/> Demolition Outside of HPO (Form L) | <input type="checkbox"/> Variance – DRB (Form V) | Appeals |
| <input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE) | <input type="checkbox"/> Variance – ZHE (Form ZHE) | <input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A) |

| | | |
|--|--|-------------------------------------|
| APPLICATION INFORMATION | | |
| Applicant: Red Shamrock 4, LLC | | Phone: 505-998-9093 |
| Address: 8220 San Pedro NE, Suite 500 | | Email: josh@retailsouthwest.com |
| City: Albuquerque | State: NM | Zip: 87113 |
| Professional/Agent (if any): Modulus Architects, Inc. | | Phone: (505) 338-1499 |
| Address: 100 Sun Ave NE, Suite 305 Albuquerque, NM 87109 | | Email: rokoye@modulusarchitects.com |
| City: Albuquerque | State: NM | Zip: 87109 |
| Proprietary Interest in Site: Agent | List <u>all</u> owners: Red Shamrock 4 LLC., 10 BOATS COORS BLVD NM LLC. | |

| |
|--|
| BRIEF DESCRIPTION OF REQUEST |
| Amend existing Site Development Plan for Building Permit to add an outdoor patio area. |

| | | |
|--|-----------------------|---|
| SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.) | | |
| Lot or Tract No.: 3 | Block: | Unit: |
| Subdivision/Addition: Coors Pavilion | MRGCD Map No.: | UPC Code: 101106023749020803 |
| Zone Atlas Page(s): G-11-Z | Existing Zoning: NR-C | Proposed Zoning: N/A |
| # of Existing Lots: 1 | # of Proposed Lots: 1 | Total Area of Site (acres): +- 0.89 acres |

| | | |
|---|----------------------------|-----------------|
| LOCATION OF PROPERTY BY STREETS | | |
| Site Address/Street: 4101 Coors BLVD NW | Between: St. Josephs Dr NW | and: Coors BLVD |

| |
|--|
| CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.) |
| PR-2019-002883, PR-2019-002765, 10000032 |

| | |
|-----------------------------------|---|
| Signature: Regina Okoye | Date: 2/24/21 |
| Printed Name: Regina Okoye | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

| | | |
|------------------------------|------------|-----------|
| FOR OFFICIAL USE ONLY | | |
| Case Numbers | Action | Fees |
| - | | |
| - | | |
| - | | |
| Meeting/Hearing Date: | Fee Total: | |
| Staff Signature: | Date: | Project # |

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

| | | |
|--|--|---|
| <p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p> | | |
| <p>Signature: <u>Regina Okoye</u></p> | <p>Date: <u>2/24/21</u></p> | |
| <p>Printed Name: <u>Regina Okoye</u></p> | <p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p> | |
| <p>FOR OFFICIAL USE ONLY</p> | | |
| <p>Project Number:</p> | <p>Case Numbers</p> |  |
| <p> </p> | <p>-</p> | |
| <p> </p> | <p>-</p> | |
| <p> </p> | <p>-</p> | |
| <p>Staff Signature:</p> | | |
| <p>Date:</p> | | |

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Agent Authorization Notice – NW Corner of Coors BLVD & St. Joseph Dr. (Coors BLVD NW Albuquerque NM 87120)

To Whom It May Concern,

Red Shamrock 4, LLC c/o Josh Skarsgard, Managing Partner, hereby authorizes Angela Williamson, CEO with Modulus Architects, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the all matters regarding the Coors Pavilion Project, located on the NW Corner of Coors BLVD & St. Joseph Dr.

Project Number: 10000032, Application Number: 17-70001

This authorization is valid until further written notice from Red Shamrock 4, LLC or Angela Williamson, CEO with Modulus Architects, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for an Administrative Amendment (AA).

Sincerely,

Red Shamrock 4, LLC
c/o Josh Skarsgard, Managing Partner
8220 San Pedro NE, Suite 500
Albuquerque, NM 87113
Josh@retailsouthwest.com

City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Agent Authorization Notice – NW Corner of Coors BLVD & St. Joseph Dr. (Coors BLVD NW Albuquerque NM 87120)

To Whom It May Concern,

10 Boats Coors BLVD NM, LLC., Property Owner, hereby authorizes Angela Williamson, CEO with Modulus Architects, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the all matters regarding the Coors Pavilion Project, located on the NW Corner of Coors BLVD & St. Joseph Dr.

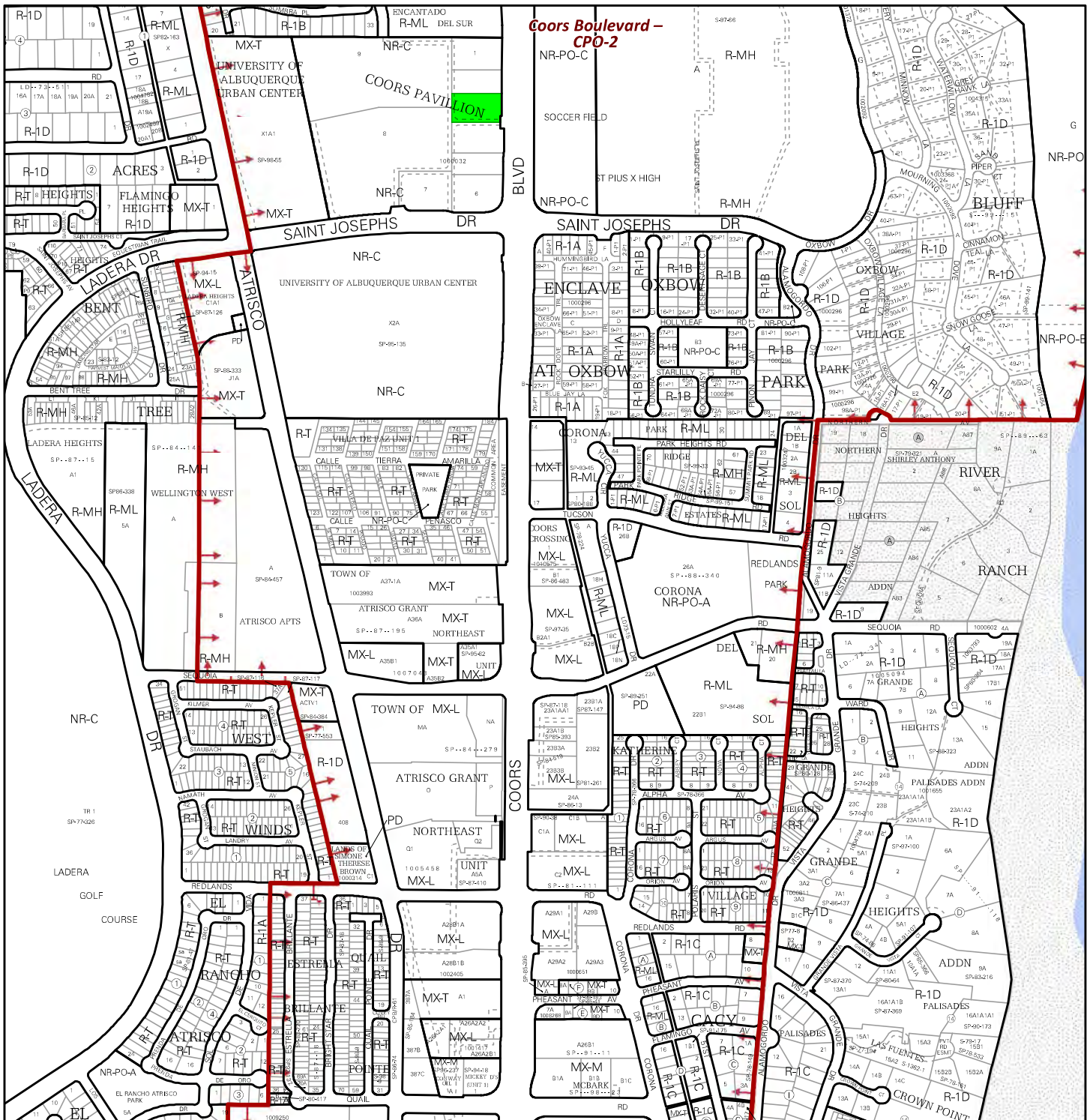
Project Number: 10000032, Application Number: 17-70001

This authorization is valid until further written notice from 10 Boats Coors BLVD NM, LLC or Angela Williamson, CEO with Modulus Architects, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request for an Administrative Amendment (AA).

Sincerely,




10 BOATS COORS BLVD NM, LLC
c/o Jared Meyers
2265 East Murray Holladay Rd.
Salt Lake City, Utah 84117
801-787-3981



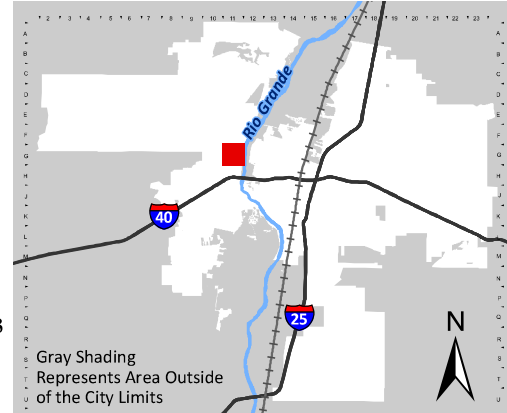
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Rio Grande

40 25

N

Zone Atlas Page:
G-11-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet



February 24, 2021

James Aranda
Current Planning Department Director
City of Albuquerque Planning Department
600 2nd Street NW,
Albuquerque, NM 87102

RE: PROJECT - NW CORNOR OF COORS BLVD & ST. JOSEPH DR. (COORS PAVILION) – ALBUQUERQUE, NM. 87120.

PROJECT NUMBER: 10000032, APPLICATION NUMBER: 17-70001

ADMINISTRATIVE AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TO ADD AN OUTDOOR PATIO

Dear Mr. Aranda,

Modulus Architects, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Red Shamrock 4, LLC., hereafter referred to as the “Applicant” and 10 Boats Coors BLVD NM, LLC., hereafter referred to as “Property Owner”. We, “Agent” is requesting approval for this submittal to amend the approved Site Development Plan for Building Permit to add an outdoor patio. The site is located at 4101 Coors BLVD. NW, partially developed as Coors Pavilion. The parcel (the “subject site”) is 0.8942 acres in size, zoned NR-C but was previously zoned SU-3 to include O-1 & C-2 uses and is located on the northwest corner of Coors Boulevard and St. Joseph’s Drive.

At this time, we are requesting an Administrative Amendment to the approved Site Plan for Building Permit that was approved through the Development Review Board (Project #: 10000032, Application #: 17-70001) in 2017. The approved SPBP shows an existing building pad with a gross area of 6,208 sf that we are now proposing to develop 1,880sf of the existing area into a Scarpas with 669sf of outdoor patio space. There is an approved set of design standards associated with this site. The design standards require outdoor patio space for a restaurant (See DS01 “Pedestrian Connection & Amenities”). The 120 sf of public space that needs to be provided for restaurants outdoor seating or seating has been met due the proposed 669sf patio for Scarpas.



This submittal addresses a proposed Administrative Amendment (AA) for Lot 3 at Coors Pavilion. The proposed building pad has been previously approved, we are proposing to add 669SF of patio area for the restaurant. This minor amendment request falls within the thresholds established in IDO Table 6-4-5. We are developing the existing building pad that was approved in the original Site Development Plan for Building Permit Package.

This improvement will continue to increase business for this partially booming Coors Pavilion and will bring more convenient businesses to the community, while responding to market demands.

Our submittal includes the original approved plans, the amended Site Development Plan, amended Landscaping Plan, and amended Elevations. All changes meet the approved design standards. The minor changes are listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

Overall Site Plan:

1. Per the design standards outdoor patio space is required for a restaurant (See DS01 “Pedestrian Connection & Amenities”). A 669sf patio with as masonry screening wall to has been added to the Site Plan (SPBP-1).

Elevation Plan:

1. Per the design standards outdoor seating is required to have areas of shade (See DS01 “Pedestrian Connection & Amenities. A pergola has been proposed to come off the west side of the building.
2. A garage glass roll up door will take the place of the existing storefront unit. The square footage will not change for the opening.
3. The 5’ tall CMU wall has been added to cover the required outdoor patio.

Landscaping:

1. A landscaping plan has been modified to accommodate the required outdoor patio.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: rokoye@modulusarchitects.com

Best Regards,

REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER
MODULUS ARCHITECTS & LAND USE PLANNING, INC.

100 Sun Avenue NE, Suite 600
Albuquerque, NM 87109



Office 505.338.1499 (Ext. 1003)
Mobile + Text 505.267.7686



Date: 12/19/2016
 Revisions:
 1/31/17
 2/24/17
 2/27/17
 4/17/17

Drawn by: jc
 Reviewed by: jb

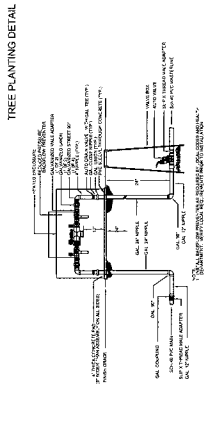
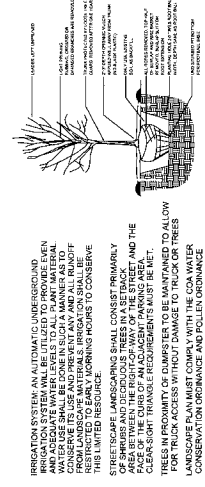
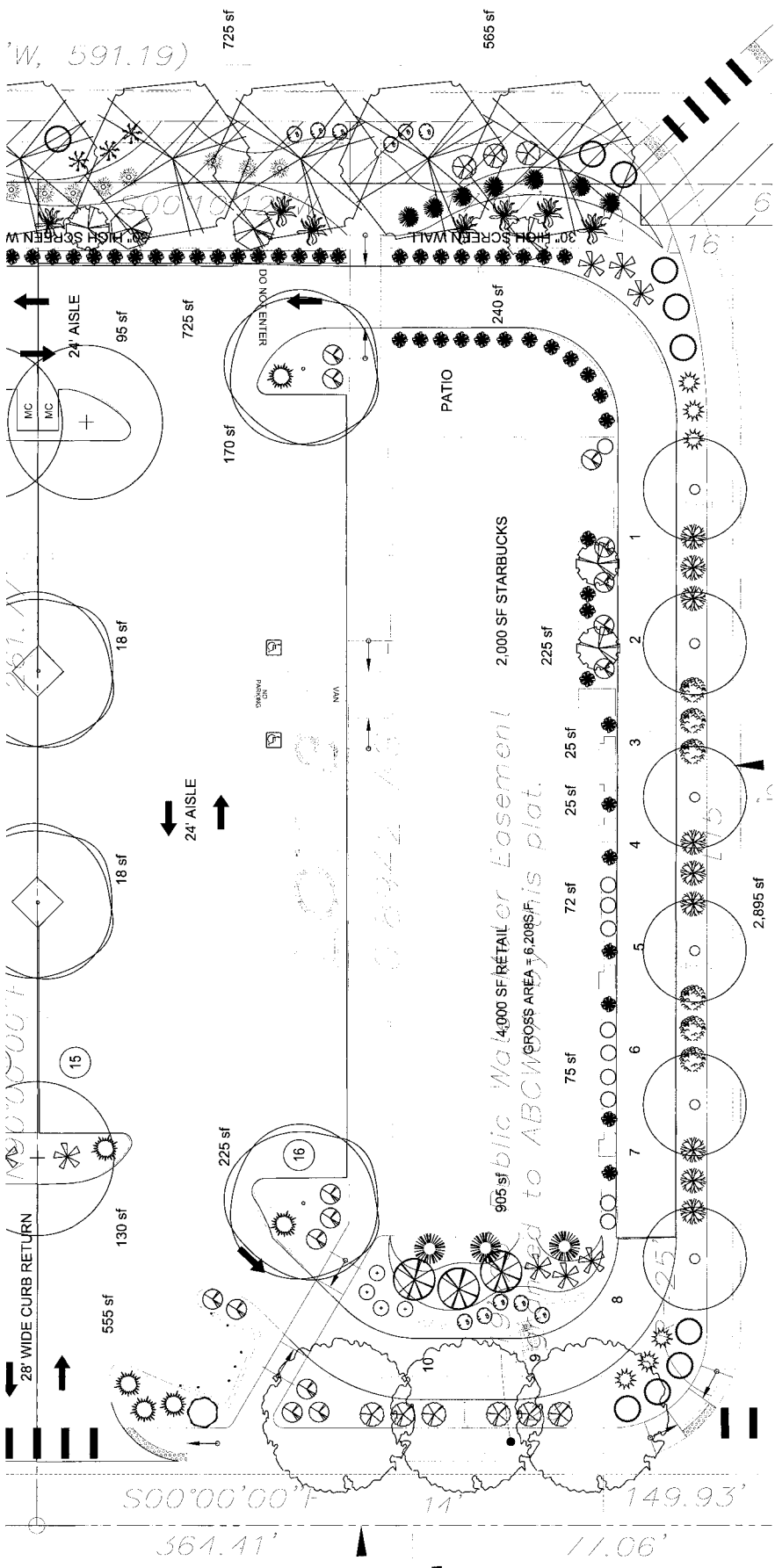
Starbuck's/Retail
 Coors Pavilion
 Albuquerque, New Mexico



Scale: 1" = 10'
 5' 0' 10' 20'

Sheet Title:
 Landscape Plan

Sheet Number:
 B3



NOTE
 PLANTINGS TO BE MAINTAINED BY THE PROPERTY OWNER AND WITHIN ROW) TO BE MAINTAINED BY THE PROPERTY OWNER.
 IRRIGATION SYSTEM AN ALTERNATE IRRIGATION SYSTEM (E.G. DROPPED IRRIGATION) IS ALLOWED PROVIDED IT IS AN APPROPRIATE WATER LEVELS TO ALL PLANT MATERIAL. CONSERVE ITS USE AND PREVENT ANY ANIMAL RUNOFF. IRRIGATION CONTROLLER SYSTEM. THE IRRIGATION SYSTEM SHALL BE SIZED TO AVOID OVERSPRINKING ON WALLS. IRRIGATION SYSTEM SHALL BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.
 THIS PROPERTY OWNER'S SOLE RESPONSIBILITY TO MAINTAIN THE IRRIGATION SYSTEM.
 TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALL LOW CLEARANCE REQUIREMENTS. TREES IN PROXIMITY OF DUMPSTER SHALL BE MAINTAINED TO ALL LOW CLEARANCE REQUIREMENTS.
 LANDSCAPE PLAN MUST COMPLY WITH ALL LOCAL CONSERVATION ORDINANCE AND POLLEN ORDINANCE.

SITE DATA/Starbucks

| | |
|--|---------------|
| NET LOT AREA | 38,850 SF |
| LESS (S.U. LINES) | 32,768 SF |
| REQUIRED LANDSCAPE | 6,082 SF |
| PROPOSED LANDSCAPE | 2,895 SF |
| PERCENT OF NET LOT AREA | 7.5% |
| HIGH WATER USE TURF AREA | 0 SF |
| PROPOSED HIGH WATER USE TURF | 0 SF |
| PERCENT OF LANDSCAPE AREA | 0% |
| PROPOSED PAVED STREET FRONTAGE | 8 |
| REQUIRED PARKING LOT TREES | 8 |
| PROPOSED PARKING LOT TREES | 4 |
| PROPOSED PARKING LOT TREES (31 SPACES/10') | 12/19 |
| REQUIRED LANDSCAPE COVERAGE (16.1% REQUIRED LANDSCAPE X 75%) | 4,632 SF MIN. |
| PROPOSED LANDSCAPE COVERAGE | 2,895 SF |
| PERCENT OF REQUIRED LANDSCAPE AREAS | 79% |

PLANT LEGEND/Starbucks

| Qty. | Symbol | Common Name | Size | Height/Coverage | Water Use | Drip Emitters |
|------|--------|------------------------|--------|-----------------|-----------------|----------------|
| 4 | ☼ | Oreocarya | 2' B&B | 4700 | 56 ft x 200 ft | Medium 5.2 gph |
| 4 | ☼ | Ulmus hybrid | 2' B&B | 8000 | 50 ft x 200 ft | Medium 6.2 gph |
| 3 | ☼ | Pinus strobus | 2' B&B | 6900 | 56 ft x 150 ft | Medium 4.2 gph |
| 2 | ☼ | Robinia pseudoacacia | 2' B&B | 4200 | 50 ft x 100 ft | Medium 6.2 gph |
| 6 | ☼ | Sporobolus spodiopogon | 2' B&B | 2215 | 56 ft x 300 ft | Medium 4.2 gph |
| 3 | ☼ | Chamaecrista nictitans | 5-Gal | 68 | 36 ft x 225 ft | Low + 2.2 gph |
| 4 | ☼ | Cytisus scoparius | 5-Gal | 37 | 18 ft x 30 ft | Medium 2.2 gph |
| 4 | ☼ | Chamaecrista nictitans | 5-Gal | 1570 | 100 ft x 400 ft | Medium 2.2 gph |
| 11 | ☼ | Nepeta | 1-Gal | 17 | 9 ft x 18 ft | Medium 2.2 gph |
| 16 | ☼ | Black-eyed Susan | 5-Gal | 37 | 15 ft x 50 ft | Medium 2.2 gph |
| 19 | ☼ | Lavandula | 1-Gal | 37 | 12 ft x 12 ft | Medium 2.2 gph |
| 8 | ☼ | Mulleberry | 1-Gal | 47 | 20 ft x 60 ft | Low + 2.2 gph |
| 3 | ☼ | Deer Grass | 1-Gal | 67 | 36 ft x 108 ft | Medium 2.2 gph |
| 42 | ☼ | Chamaecrista nictitans | 5-Gal | 37 | 10 ft x 420 ft | Medium 2.2 gph |

MATERIALS LEGEND

- ☐ BROWN CRUSHER FINES
- ☐ 1" x 1/2" BLUE SAND GRAVEL

IRRIGATION NOTE
 DRIP SYSTEM RUN CYCLES:
 SPRING: 2 TIMES A WEEK
 FALL: 3 TIMES A WEEK
 WINTER: 1 TIME A WEEK PER MONTH

Starbucks/Starbucks

DESIGN STANDARDS (continued)

- ii. Retaining walls, east walls, or elements intended to compensate for a slope in the site, shall avoid long vertical setbacks of at least one foot with planes not running in one continuous direction for more than fifty feet without a change in height or setback.
- iii. Pedestrian sidewalks and landscaping shall be integrated into these locations where applicable through design changes through elevation changes within the site.
- iv. Grading and drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
- v. All measures shall be taken to provide public safety at the pond location proposed within the northwest corner of the site.
- vi. Site ponding shall be integrated with the landscape plan.
- vii. Ponding location may cooperate with the nearby neighbor (St. Joseph's Church) to utilize a joint use pond and explore manners to transport storm water to the pond. The pond shall be designed to avoid discharge into the City of Albuquerque's (used facility) - IF APPROVED BY THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT.



FIG. 10.01 - SITE PLAN (NOT TO SCALE) - SUBJECT TO CITY OF ALBUQUERQUE PLANNING DEPARTMENT REVIEW

VII. UTILITIES

To ensure the overall aesthetic quality of the property and natural environment, the visual impact of utilities and equipment should be minimized by the following:

- a. All new electrical distributions lines shall be placed underground (this does not include the existing overhead lines owned by the City of Albuquerque and right of way dedication lane).
- b. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way.
- c. When an above ground backflow prevention device is required, the heated enclosure shall be constructed of masonry or stone. If prefabricated enclosures are used, they shall be appropriately screened from view with walls and/or landscaping.



MECHANICAL SCREENING - should be screened from public view

VIII. ARCHITECTURE

Architectural design of buildings and site features should demonstrate a high-quality aesthetic character throughout the property and should respond to climate, views, solar access, and aesthetic considerations.

- a. All development shall comply with General Building & Shop Code (14-16-3-18).
- b. Architectural Style
 - i. The development shall provide a cohesive material palette and color palette among all buildings (earth toned color palette).
 - ii. All buildings shall be "modern" or "southwestern

- modern" or "contemporary southwest" in design (that utilize earth toned color palette).
- iii. Historical references to traditional New Mexico styles should be a modern interpretation of those styles.
- iv. Each building may utilize a southwestern-themed whitewash (stacked stone, tile, brick, etc.).
- c. Articulation
 - i. Buildings shall have a variety of structural forms to create visual character and interest.
 - ii. Long unarticulated facades shall be avoided by using windows and glazing. Facades shall have varied window and door placement and shall avoid a continuous elevation for more than 100 feet without a change in architectural treatment such as eave, material, glazing, or fenestration.
 - iii. Massing elements shall be reinforced with color variation or material distinctions.
- d. Materials
 - i. The architectural expression of all buildings shall reflect the New Mexico climate (ETS, Stucco Brick, Stacked Stone, etc.)
 - ii. Individual building elements shall be of excellent design and quality materials such as:
 - 1. Metal wall panels
 - 2. Porcelain tile
 - 3. Natural stone panels
 - 4. Concrete
 - 5. Rammed earth
 - 6. Glass
 - 7. Stucco or Exterior Insulation & Finish System
 - 8. Brick or decorative concrete masonry units
 - iii. The following external building materials shall be prohibited:
 - 1. Engineered wood paneling
 - 2. Vinyl or plastic siding
 - 3. Plain concrete masonry units
 - 4. All glazing shall be clear and neutral in color. Tinted, dyed, deeply colored, and patterned glazing is prohibited.

iv. Cantenques, trailers, and awnings shall be of durable materials such as metal, corrugated metal, or steel.

v. Colors shall include light to medium earth tones with accent colors in limited areas.

vi. No more than one accent color shall be used per building.

vii. The use of contrasting colors for shade elements or awnings is encouraged.

viii. To enhance safety, security and visual aesthetics, daytime and nighttime appearance of lighting design and fixtures shall be considered.

ix. All lighting shall be designed to maximize public safety without creating glare, shadows, blinding, or ways with unnecessary glare or reflection.

x. All lighting shall conform to the requirements of the University of Albuquerque - Lighting section contained within the development guidelines.

xi. All lighting shall conform to the requirements of the Site Lighting section of the Coors Condo Plan (Page 58).

xii. All lighting shall comply with Section 14-16-3.3, Area Lighting Regulations of the City of Albuquerque's Comprehensive Zoning Code.

xiii. Lighting fixtures shall conform to the requirements of the State of New Mexico Right-of-Way Protection Act.

xiv. All free-standing lights shall be of consistent design throughout the site.

xv. High pressure sodium & cobra head type lighting fixtures are not permitted.

xvi. Light fixtures shall be located on Site Development Plans for Building Permit.

xvii. The height of street lights and off-street parking area lights shall not exceed 25 feet.

xviii. All lights shall be a shielded source to prevent spillage onto adjoining properties or the public right-of-way.

xix. Pedestrian lighting shall not exceed 12 feet in height.

- k. Tree canopy lighting may be used to accent and enhance pedestrian connections.
- l. Exterior elevations of buildings fronting the public right-of-way may be feature lighted to enhance the identity of the building.

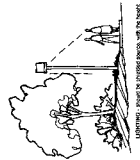


FIG. 10.02 - TREE CANOPY LIGHTING (NOT TO SCALE) - SUBJECT TO CITY OF ALBUQUERQUE PLANNING DEPARTMENT REVIEW

X. SIGNAGE

All signage shall conform to the requirements of the University of Albuquerque - Signage section contained within the development guidelines. All signage shall conform to the requirements of the design regulations of the Coors Condo Plan. Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their uses.

a. All on-site signage shall comply with the Section 14-16-3.3, Area Lighting Regulations of the City of Albuquerque's Comprehensive Zoning Code.

b. Free standing signs shall be designed so as not to require any external bracing, angle supports, guy wires or similar devices for support.

c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights.

d. Signs shall not overhang into the public right-of-way or extend above the building roof line.

e. Off-premise signs and portable signs are prohibited.

f. Monument signs at each of the corners of entry: (1) Corner of St. Joseph's and Coors Blvd. (2) Right In Right Out entrance driveway off of Coors Blvd (3) Entrance driveway off of St. Joseph's. These signs shall be coordinated to have the same style etc.) at all locations.

g. Building mounted signs shall have contrasting colors from the background and font height and font that ensures readability and comply with City of Albuquerque Code of Ordinances and the Coors Condo Plan.

h. No building mounted sign shall intrude upon architectural features, windows, columns, or canopies or decorative features.

i. There shall be no ELECTRONIC display advertising boards allowed within the Coors Condo Property.

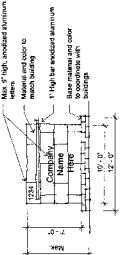


FIG. 10.03 - SIGNAGE - should be coordinated with building and form.

XI. PROCESS

All of the Site Development Plans for Building Permit for the buildings within this 27 acre community activity center (Coors Pavilion) shall be prepared in accordance with the design standards established by this Site Development Plan for Subdivision.

xii. SECURITY
ALL THE BUILDINGS CONSTRUCTED WITHIN THE COORS PAVILION PROPERTY SHALL HAVE EXTERIOR SECURITY CAMERAS.

PERMIT FOR BUILDING PERMIT.

| REVISION NO. | DATE | BY | APP. |
|--------------|------------|----|------|
| 1 | 02.27.2016 | | |
| 2 | 10.21.2016 | | |



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 4, 2017

Project# 1000032

16DRB-70398 PRELIMINARY PLAT

16DRB-70402 VACATION OF PRIVATE BLANKET DRAINAGE EASEMENT

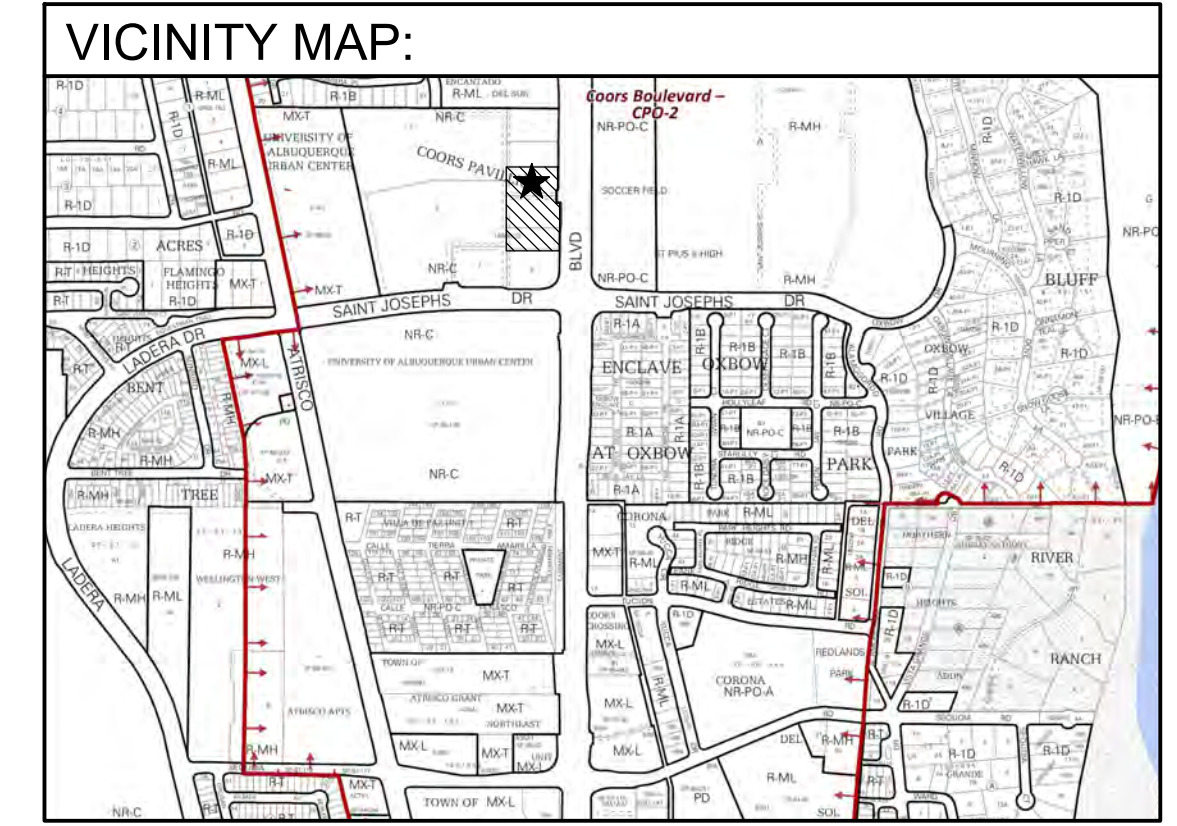
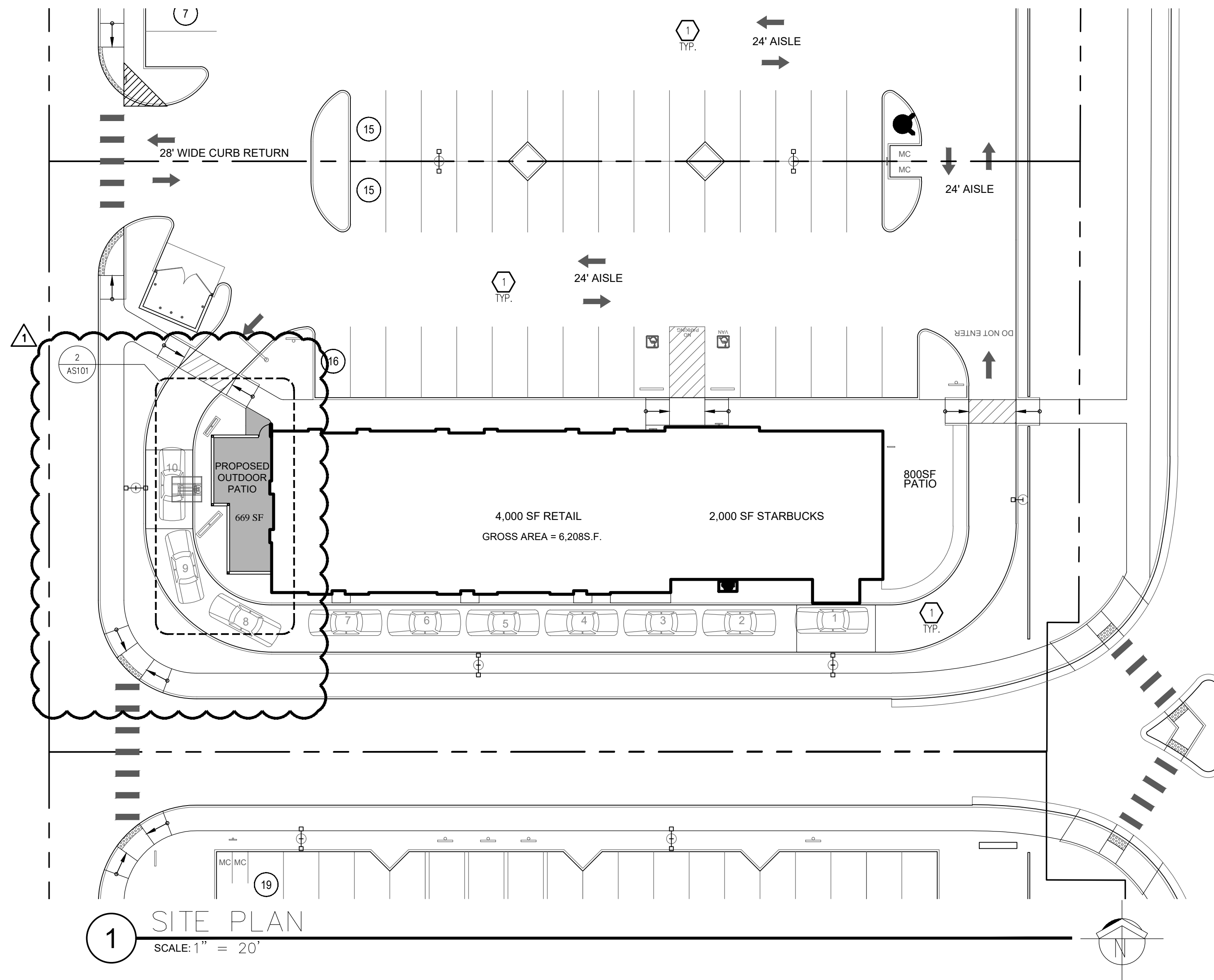
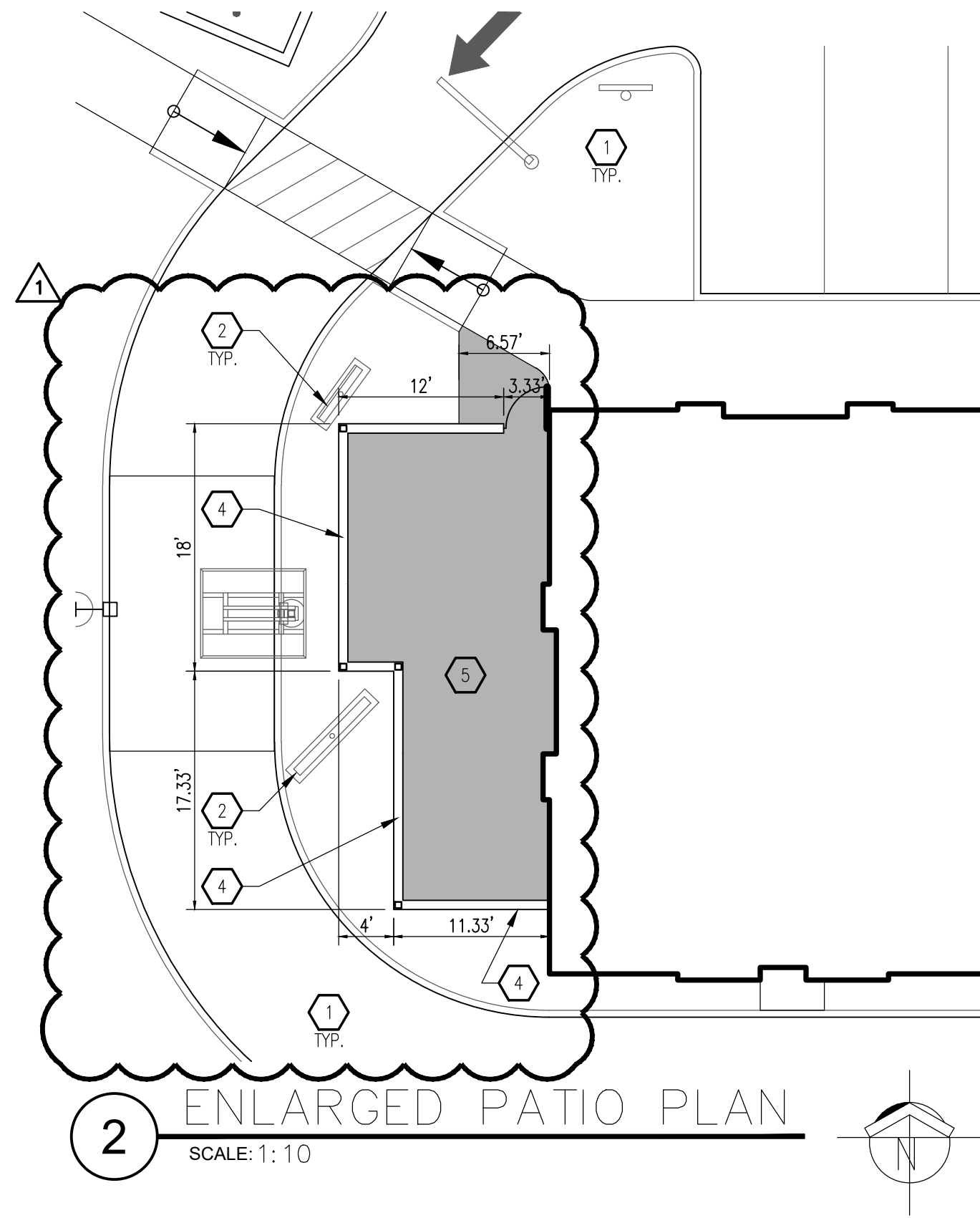
RETAIL SOUTHWEST DEVELOPMENT LLC agents for REDSHAMROCK 10 LLC request the referenced/ above actions for Tract X-1-A2, **UNIVERSITY OF ALBUQUERQUE URBAN CENTER** zoned SU-3, located on the NW corner of COORS BLVD NW and ST JOSEPH'S DR NW containing approximately 21 acres. (G-11) [*Deferred from 10/19/16, 11/9/16, 11/30/16, 12/21/16*]

At the January 4, 2017 Development Review Board meeting, with the signing of the infrastructure list dated 1/4/17, and with an approved grading and drainage plan engineer stamp dated 12/29/16 the preliminary plat was approved. The vacation was approved as shown on exhibit b in the planning file per section 14-14-7-2(a) (1) and (b) (1)(3) of the subdivision ordinance.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, DRB Chair

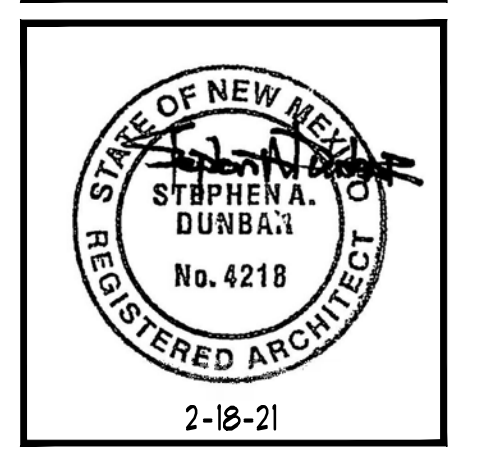


| SITE DATA: | |
|--------------------|-----------------------------------|
| PROJECT ADDRESS: | 4101 COORS BLVD. NW, SUITE C |
| LEGAL DESCRIPTION: | LOT 3, COORS PAVILION SUBDIVISION |
| PROPERTY SIZE: | 0.9002 ACRES |
| CURRENT ZONING: | NR-C |
| CURRENT USE: | COMMERCIAL RETAIL |
| BUILDING SIZE: | 6,208 SF |

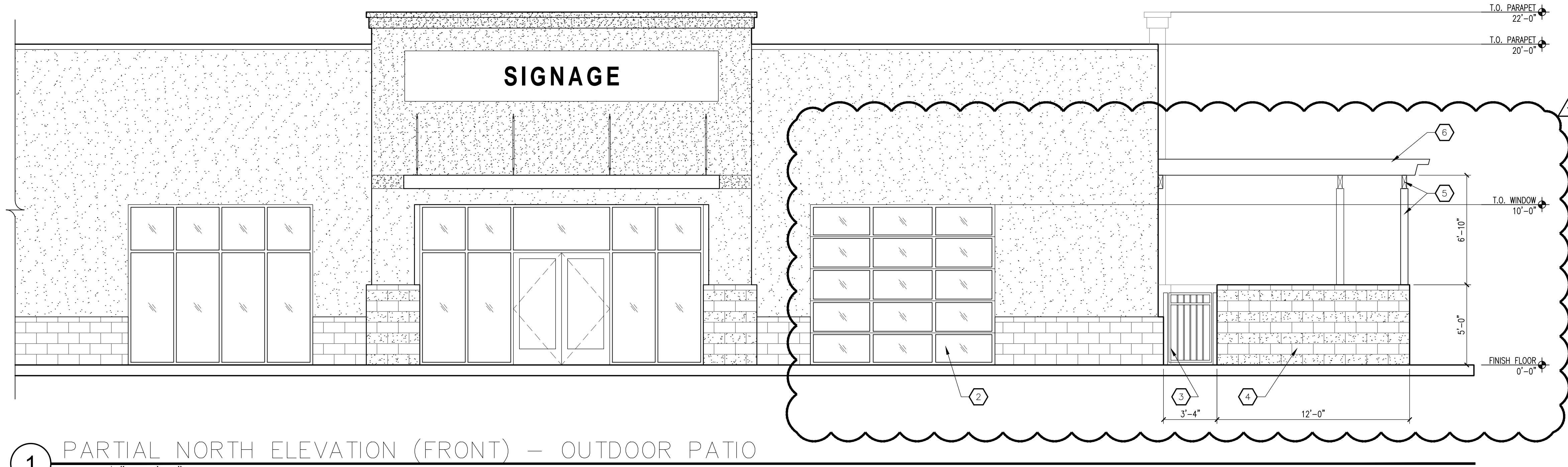
- GENERAL NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT OF WAY MUST COMPLY WITH ALL TOWN OF BERNALILLO STANDARDS AND REQUIREMENTS FOR CONSTRUCTION.
 - LANDSCAPING, FENCING & SIGNAGE SHALL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.
- KEYED NOTES:**
- EXISTING PARKING & SITE FEATURES TO REMAIN AS IS.
 - EXISTING DRIVE-THRU ORDER EQUIPMENT TO REMAIN AS IS. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND NOTIFY ARCHITECT OF ANY CONFLICTS WITH NEW PATIO SCREEN WALL.
 - NEW 30" WIDE 42" TALL AMERISTAR MAJESTIC METAL GATE.
 - 5' TALL DARK GREY CMU PATIO WALL W/ ALTERNATING SPLIT-FACE & BURNISHED COURSES - MATCH EXISTING CMU ON BUILDING.
 - NEW 4" THICK CONCRETE SLAB WITH 6X6-10/10 W.W.M. SLOPE TO DRAIN AWAY FROM BUILDING.

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
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MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



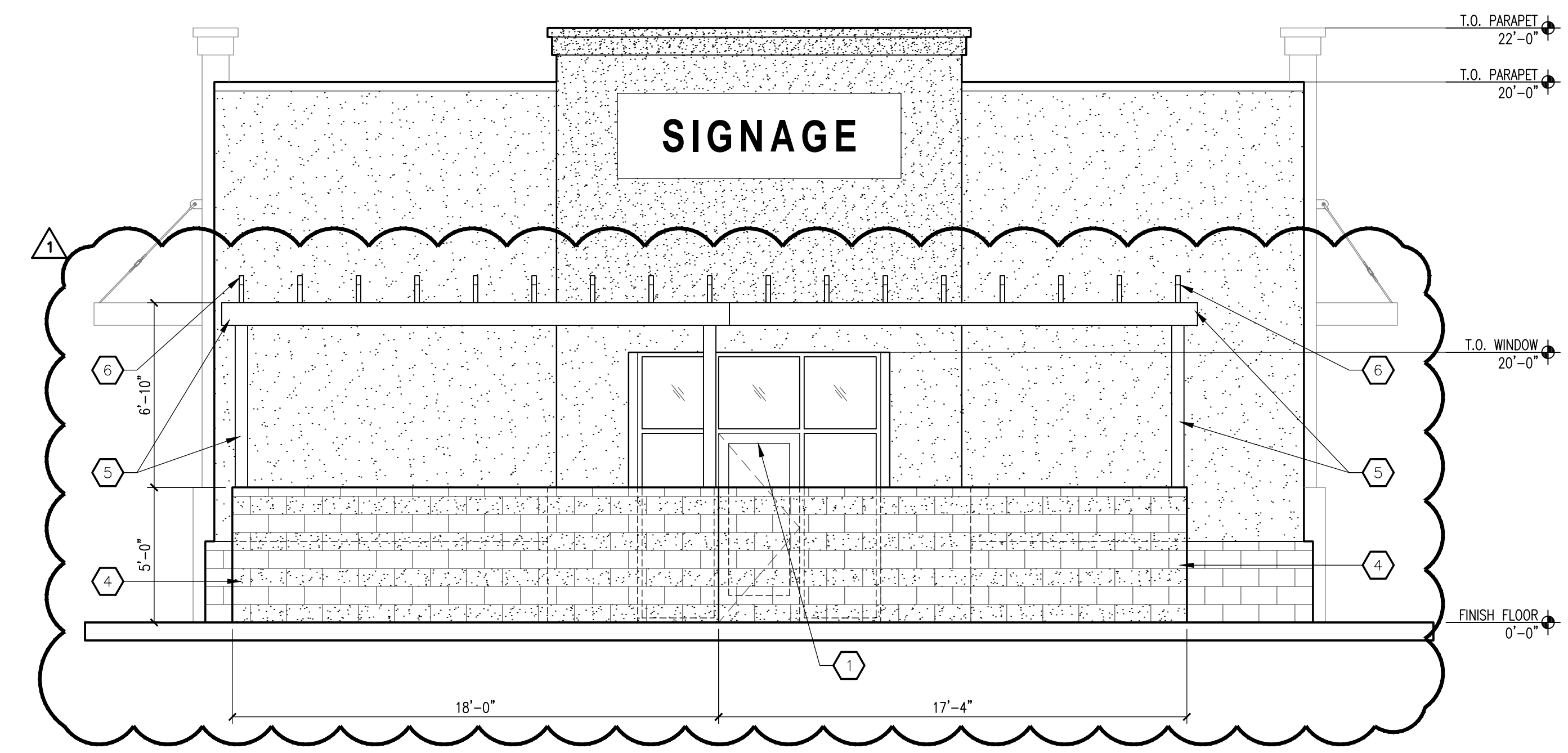
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|----------------------------------|---------------------------------|
| ADMINISTRATIVE AMENDMENT TO SPBP | |
| PROJECT TITLE | TENANT IMPROVEMENT FOR SCARF AS |
| PROJECT ADDRESS | 4101 COORS BLVD. NW, SUITE D |
| PROJECT MANAGER | ALBUQUERQUE, NT 87109 |
| JOB NO. | .. |
| PROJECT MANAGER | STEPHEN DUNBAR, AIA |
| DRAWN BY | CDC |
| SHEET TITLE | SITE PLAN |
| DATE | 02/18/2021 |
| SCALE | AS NOTED |
| SHEET NO. | AS101 |



1 PARTIAL NORTH ELEVATION (FRONT) – OUTDOOR PATIO
SCALE: 1/4" = 1'-0"

KEYED NOTES:

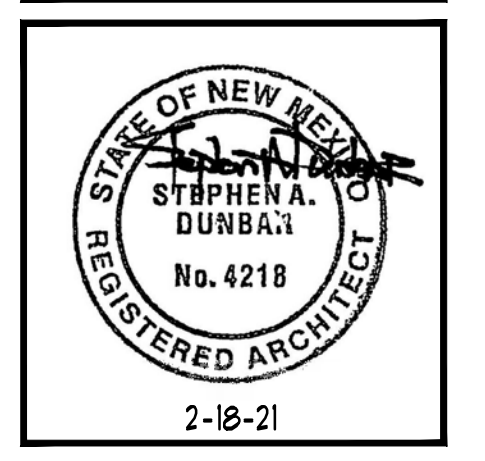
1. REMOVE EXISTING GLASS UNIT & INSTALL NEW ALUMINUM STOREFRONT DOOR IN EXISTING ALUMINUM STOREFRONT SYSTEM.
2. REMOVE EXISTING STOREFRONT UNIT & INSTALL NEW ALUMINUM OVERHEAD DOOR.
3. INSTALL NEW 30" WIDE 42" TALL AMERISTAR MAJESTIC METAL GATE.
4. 5' TALL DARK GREY CMU PATIO WALL W/ ALTERNATING SPLIT-FACE & BURNISHED COURSES – MATCH EXISTING CMU ON BUILDING.
5. WOOD TIMBER PERGOLA FRAMING W/ SHERWIN WILLIAMS SUPERDECK STAIN.
6. WOOD PERGOLA RAFTERS W/ SHERWIN WILLIAMS SUPERDECK STAIN.



2 WEST ELEVATION (SIDE) – OUTDOOR PATIO
SCALE: 1/4" = 1'-0"

| REV | DATE | BY | REVISION |
|-----|------|----|----------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |

MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



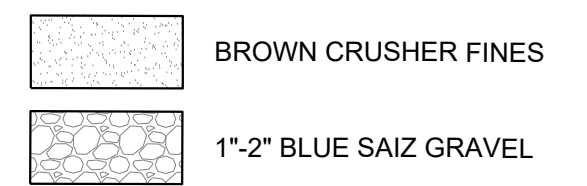
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|--|------------------|
| ADMINISTRATIVE AMENDMENT TO SPBP | |
| PROJECT TITLE TENANT IMPROVEMENT FOR SCARF AS 4101 COORS BLVD, N.W. SUITE D ALBUQUERQUE, N.M. 87104 | DRAWN BY: CDC |
| PROJECT MANAGER STEPHEN DUNBAR, AIA | JOB NO. .. |
| SHEET TITLE EXTERIOR ELEVATIONS | |
| DATE 02/18/2021 | SHEET A201 |
| SCALE AS NOTED | |

PLANT LEGEND/Site

| Qty. | Symbol | Scientific Name Common Name | Installed Size | Mature Height/Spread | Landscape Coverage | Water Use | Drip Emitters |
|----------------------------|--------|--|----------------|----------------------|--------------------|-----------|---------------|
| Trees | | | | | | | |
| 5 | | Quercus buckleyi Texas Red Oak | 2" B&B | 40'/35' | 50 sf=250 sf | Medium | 6-2 gph |
| 8 | | Fraxinus velutina Modesto Ash | 2" B&B | 40'/40' | 50 sf=400 sf | Medium | +6-2 gph |
| 8 | | Ulmus hybrid Accolade Elm | 2" B&B | 80'/80" | 50 sf=400 sf | Medium | 6-2 gph |
| 9 | | Pistacia chinensis Chinese Pistache | 2" B&B | 60'/60" | 50 sf=450 sf | Medium | +6-2 gph |
| 9 | | Robinia pseudoacacia Purple Robe Locust | 2" B&B | 40'/40" | 50 sf=450 sf | Medium | 6-2 gph |
| 9 | | Sophora japonica Japanese Pagoda Tree | 2" B&B | 25'/15' | 50 sf=450 sf | Medium | +6-2 gph |
| 4 | | Pinus nigra Austrian Pine | 10' HT. | 30'/20" | 50 sf=200 sf | Medium | 6-2 gph |
| 2 | | Forestiera neomexicana NM Olive | 2" B&B | 15'/8" | 50 sf=100 sf | Medium | 6-2 gph |
| Shrubs/Groundcovers | | | | | | | |
| 6 | | Caesalpinia Bird of Paradise | 5-Gal | 8'/8" | 64 sf=384 sf | Medium | 2-2 gph |
| 6 | | Buddleia davidii Black Knight Butterfly Bush | 1-Gal | 6'/6" | 36 sf=288 sf | Medium | 2-2 gph |
| 23 | | Caryopteris clandonensis Dark Knight Blue Mist | 1-Gal | 4'/4" | 25 sf=575 sf | Medium | 2-2 gph |
| 6 | | Cercocarpus intricatus Littleleaf Mountain Mahogany | 5-Gal | 10'/10" | 100 sf=600 sf | Medium | 2-2 gph |
| 25 | | Rhus aromatica Gro Low Sumac | 5-Gal | 2'/6" | 36 sf=900 sf | Low + | 2-2 gph |
| 35 | | Ericameria laricifolia 'Aguirre' Turpentine Bush | 5-Gal | 3'/4" | 25 sf=875 sf | Low | 2-1 gph |
| 30 | | Yucca baccata Datil | 5-Gal | 3'/3" | 27 sf=810 sf | Medium+ | 2-1 gph |
| 9 | | Salvia greggii Cherry Sage | 1-Gal | 3'/3" | 15 sf=135 sf | Medium | 2-1 gph |
| 18 | | Hesperaloe parviflora Red Yucca | 5-Gal | 3'/4" | 30 sf=540 sf | Low | 2-2 gph |
| 26 | | Juniperus sabina 'Buffalo' Buffalo Juniper (female) | 5-Gal | 2'/6" | 36 sf=972 sf | Low + | 2-2 gph |
| 18 | | Dasylyrion Sotoi | 1-Gal | 3'/3" | 27 sf=486 sf | Medium | 2-2 gph |
| 21 | | Prunus besseyi Pawnee Buttes Western Sand Cherry | 5-Gal | 6'/6" | 36 sf=756 sf | Medium | 2-2 gph |
| 21 | | Chamaebatiaria millefolium Fernbush | 5-Gal | 6'/6" | 36 sf=756 sf | Low + | 2-2 gph |
| 16 | | Cytisus scoparius Moonlight Broom | 5-Gal | 3'/3" | 15 sf=180 sf | Medium+ | 2-2 gph |
| 10 | | Vitex agnus-castus Chaste Tree | 5-Gal | 15'/10" | 100 sf=1000 sf | Medium+ | 2-2 gph |
| 26 | | Nepeta Catmint | 1-Gal | 1'/3" | 6 sf=156 sf | Medium | 2-2 gph |
| 40 | | Baccharis Starn Thompson Broom | 5-Gal | 3'/3" | 15 sf=615 sf | Medium | 2-2 gph |
| 8 | | Fallugia paradoxa Apache Plume | 5-Gal | 10'/10" | 100 sf=800 sf | Medium | 2-2 gph |
| 19 | | Lavandula Lavender | 1-Gal | 3'/3" | 12 sf=228 sf | Medium | 2-2 gph |
| Grasses | | | | | | | |
| 20 | | Muhlenbergia Deer Grass | 1-Gal | 4'/4" | 20 sf=400 sf | Low+ | 2-2 gph |
| 9 | | Sporobolus wrightii Giant Sacaton | 1-Gal | 8'/6" | 36 sf=324 sf | Medium | 2-2 gph |
| 82 | | Calamagrotis acutiflora Karl Foerster Grass | 5-Gal | 3'/2" | 10 sf=820 sf | Medium | 2-2 gph |

Total Landscape Coverage=15,300 SF

MATERIALS LEGEND



SITE DATA/Site

| | |
|---|------------|
| GROSS LOT AREA (2.63 ac.) | 114,851 SF |
| LESS BUILDING(S) | 13,892 SF |
| NET LOT AREA | 100,959 SF |
| REQUIRED LANDSCAPE 15% OF NET LOT AREA | 15,144 SF |
| PROPOSED LANDSCAPE | 19,399 SF |
| PERCENT OF NET LOT AREA | 19 % |
| HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA | 0 SF |
| PROPOSED HIGH WATER USE TURF PERCENT OF LANDSCAPE AREA | 0 % |

| | |
|---|----------------|
| REQUIRED STREET TREES 1 PER 25 L.F. OF STREET FRONTAGE | 29 |
| PROVIDED STREET TREES | 29 |
| REQUIRED PARKING LOT TREES 1 PER 10 SPACES | 12 |
| PROVIDED PARKING LOT TREES | 14 |
| TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.) | 41/54 |
| REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (19,307 SF PROPOSED LANDSCAPE X 75%) | 14,930 SF MIN. |
| PROVIDED GROUNDCOVER COVERAGE PERCENT OF REQUIRED LANDSCAPE AREAS | 79% |

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE AND CENTRALIZED COMPUTER IRRIGATION CONTROLLER SYSTEM. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO AVOID OVER SPRAYING ONTO WALLS, BUILDINGS, FENCES, SIDEWALKS, ETC. IRRIGATION COMPONENTS SHALL BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

LANDSCAPE PLAN MUST COMPLY WITH THE COA WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE

SITE DATA/Lot 2/Verizon

| | |
|--|-----------|
| PAVED AREA | 18,250 SF |
| REQUIRED LANDSCAPE 20% OF PAVED AREA (UA SDP) | 3,650 SF |
| PROPOSED LANDSCAPE | 6,081 SF |
| PERCENT OF NET LOT AREA | 33 % |
| GROSS LOT AREA (.7345 ac.) | 31,995 SF |
| LESS BUILDING(S) | 3,638 SF |
| NET LOT AREA | 28,357 SF |
| REQUIRED LANDSCAPE 15% OF NET LOT AREA | 4,254 SF |
| PROPOSED LANDSCAPE | 6,081 SF |
| PERCENT OF NET LOT AREA | 21 % |

SITE DATA/Lot 3/Starbucks

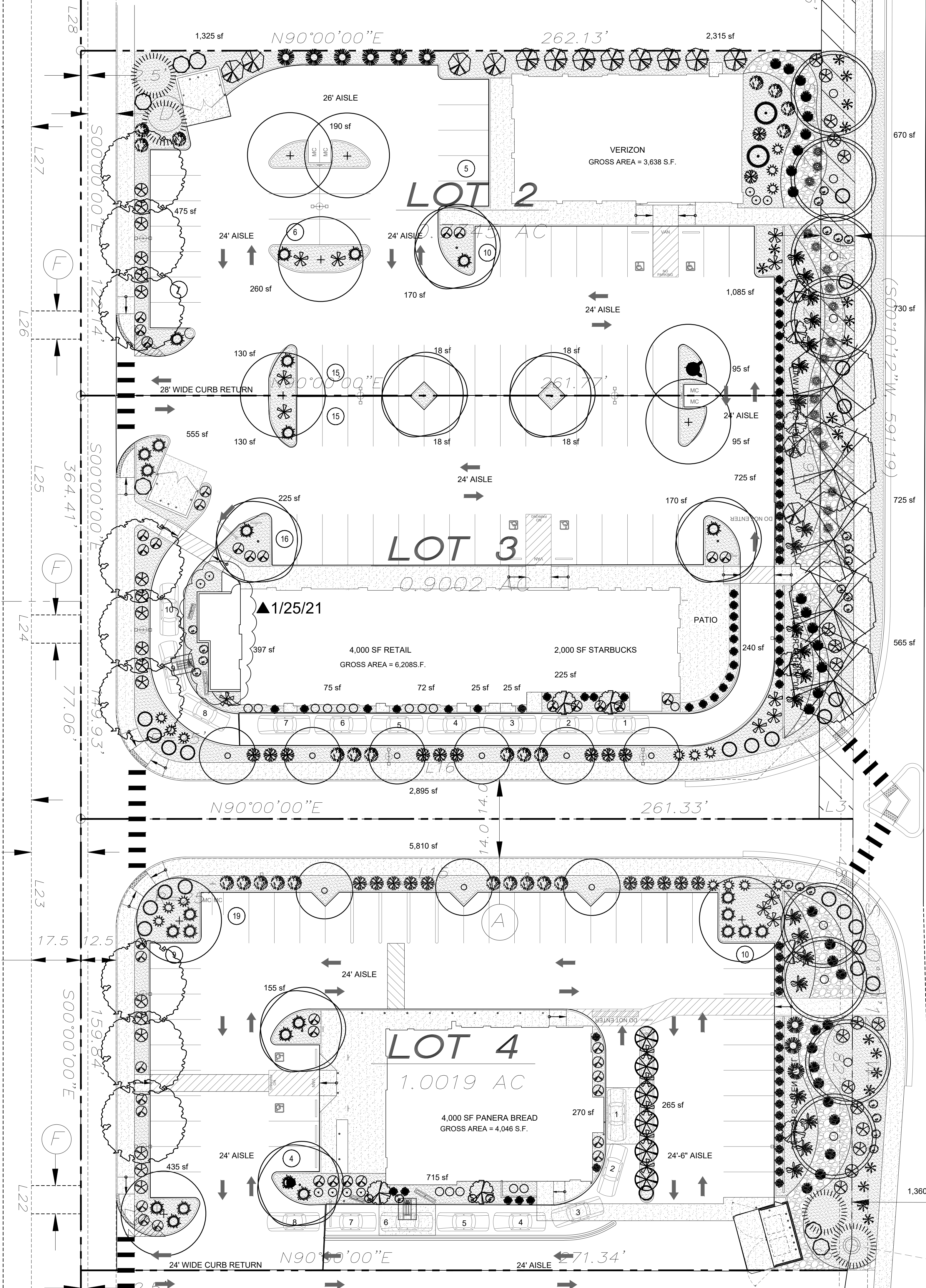
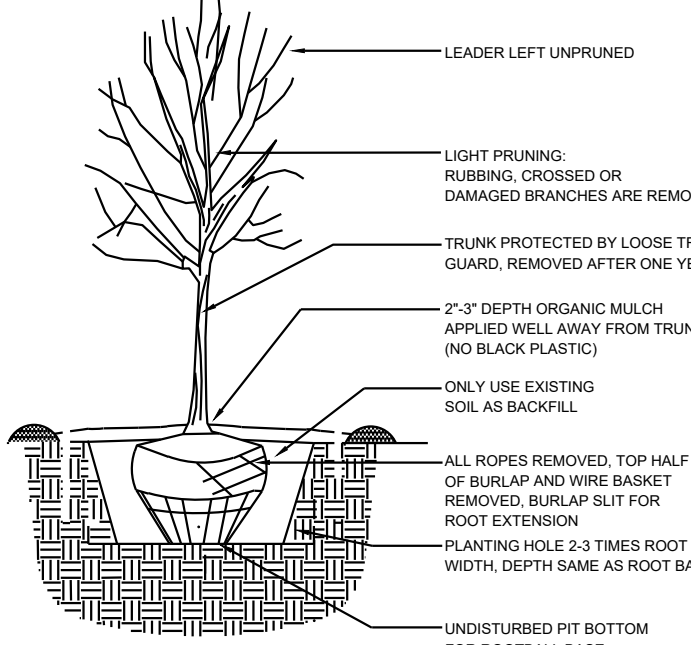
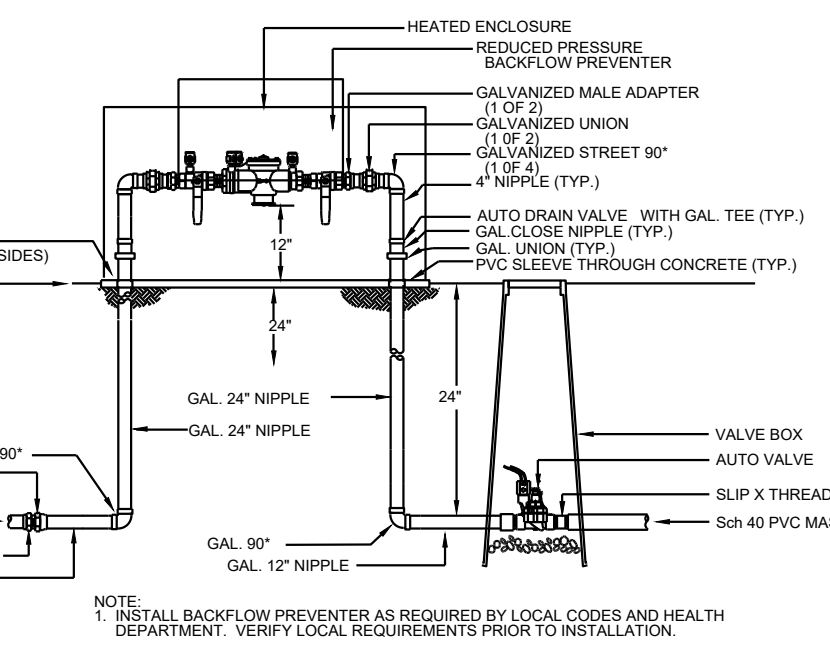
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|--|-----------|
| PAVED AREA | 15,500 SF |
| REQUIRED LANDSCAPE 20% OF PAVED AREA (UA SDP) | 3,100 SF |
| PROPOSED LANDSCAPE | 7,183 SF |
| PERCENT OF NET LOT AREA | 46 % |
| GROSS LOT AREA (.9002 ac.) | 39,213 SF |
| LESS BUILDING(S) | 6,208 SF |
| NET LOT AREA | 33,005 SF |
| REQUIRED LANDSCAPE 15% OF NET LOT AREA | 4,950 SF |
| PROPOSED LANDSCAPE | 7,183 SF |
| PERCENT OF NET LOT AREA | 22 % |

SITE DATA/Lot 4/Panera

| | |
|--|-----------|
| PAVED AREA | 21,000 SF |
| REQUIRED LANDSCAPE 20% OF PAVED AREA (UA SDP) | 4,200 SF |
| PROPOSED LANDSCAPE | 7,650 SF |
| PERCENT OF NET LOT AREA | 36 % |
| GROSS LOT AREA (1.0019 ac.) | 43,643 SF |
| LESS BUILDING(S) | 4,046 SF |
| NET LOT AREA | 39,597 SF |
| REQUIRED LANDSCAPE 15% OF NET LOT AREA | 5,940 SF |
| PROPOSED LANDSCAPE | 7,650 SF |
| PERCENT OF NET LOT AREA | 19 % |

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

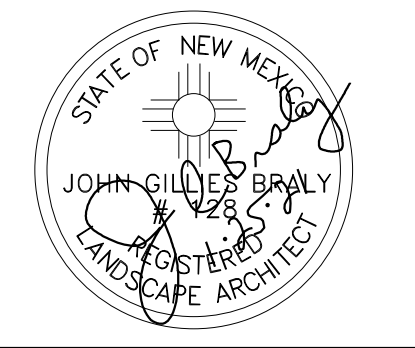


Addition way ded
Albuquerque warranty
(0.1213)

COORS BOULEVARD



PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

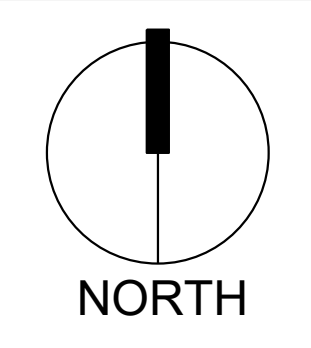


Date: 12/19/2016
Revisions:
▲ 1/31/17
▲ 2/3/17
▲ 2/27/17
▲ 1/25/21

Drawn by: jc
Reviewed by: jb

Coors Pavilion

Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:

B1