



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Sketch Plat Review and Comment		

APPLICATION INFORMATION		
Applicant/Owner: Calabacillas Group C/o Donald Harville		Phone:
Address: 3301R Coors Blvd NW		Email:
City: Albuquerque	State: NM	Zip: 87114
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: Inoriega@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: TR D-1 PLAT OF TRS D-1, E-1	Block:	Unit: Unit 1
Subdivision/Addition: Plat of TRS D-1, E-1 AMAFCA Black Arroyo Channel ROW Paradise Heights	MRGCD Map No.:	UPC Code: 101206651048211303
Zone Atlas Page(s): A-12	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 7.6716
LOCATION OF PROPERTY BY STREETS 10850 Golf Course Rd NW Albuquerque, NM 87114		
Site Address/Street:	Between: Golf Course Rd	and: Westside Blvd SE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
1002556, 1004503, PR-2021-005151/VA-2021-00052/VA-2022-00059,		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 11/1/2022
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Proposed Final Plat
- ___ Design elevations & cross sections of perimeter walls
- ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
- ___ Sidewalk Exhibit and/or cross sections of proposed streets
- ___ Proposed Infrastructure List, if applicable
- ___ Required notice with content per IDO Section 14-16-6-4(K)
 - ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
- ___ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
- ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan
- ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.



TIERRA WEST, LLC

November 1, 2022

Ms. Jolene Wolfley, Chairwoman
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

RE: MINOR SUBDIVISION SKETCH PLAT REVIEW AND COMMENT
Golf Course and Westside (Commercial Subdivision)
10850 GOLF COURSE RD NW ALBUQUERQUE 87114
TRACT D-1 PLAT OF TRS D-1, E-1 AMAFCA BLACK ARROYOCHANNEL ROW
PARADISE HEIGHTS UNIT 1 CONT 7.6716 AC.

Dear Ms. Wolfley:

On behalf of Excell Developers II: Dennis Carpenter, Tierra West, LLC is submitting a minor subdivision sketch plat submittal for review and comment for Tract D-1. The tract is comprised of roughly 7.67 acres and is located on the southwest corner of Westside Blvd and Golf Course Rd in the northwest area of Albuquerque, NM 87114. The parcel is currently zoned Mixed Use – Medium Intensity (MX-M). The intent is to subdivide the existing parcel Tract D-1 into four new parcels. Potential uses include a new gas station convenience store, car wash, coffee shop and restaurants.

Primary access to the site will be off both Golf Course Rd and Westside Blvd, to the south of the site is an apartment development currently under construction which includes a shared access road and roundabout. Cross access to the parcel will be provided in order to serve both the apartment and commercial developments. We have reached out to Transportation ahead of the application to start discussions about the traffic and access for this site and a TIS is currently being prepared.

We have submitted a Fire One Sheet to the Fire Marshall office for approval and have requested a development agreement with the water authority prior to this application. A signed serviceability from the water authority was provided (#220719) for this site and have included the proposed water authority easements on the sketch plat. Further a master drainage report is in progress and will be determined if any drainage easements are required in addition to the proposed drainage easements on the plat.

If there are any questions concerning the initial application ahead of the DRB hearing, please do not hesitate to contact either Luis Noriega or myself.

Sincerely,

Ronald R. Bohannon, P.E.

Cc: Dennis Carpenter

JN: 2022055
RRB/ln

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

WESTSIDE BLVD

TR D-1 PLAT OF TRS D-1,
7.6716 ACRES

0.16 ACRES

LOT C
GROSS AREA= 1.64 ACRES
NET USABLE AREA= 1.42 ACRES
RESTAURANT

16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

LOT A
GROSS AREA= 1.99 ACRES
NET USABLE AREA= 1.83 ACRES
GAS SERVICE STATION
WITH CONVENIENCE MARKET

4,246 SF

0.21 ACRES

5,000 SF

0.16 ACRES

20' ABCWUA
EASEMENT

50' ACCESS/UTILITY
EASEMENT

5,420 SF

LOT B
GROSS AREA= 2.27 ACRES
NET USABLE AREA= 1.74 ACRES
CAR WASH

LOT D
GROSS AREA= 1.91 ACRES
NET USABLE AREA= 1.57 ACRES
RESTAURANT

5,000 SF

0.37 ACRES

TRACT D-1
PARADISE HEIGHTS, UNIT 1
(06/27/2009, 2009C-63)

121'
ACCESS
EASEMENT

0.34 ACRES

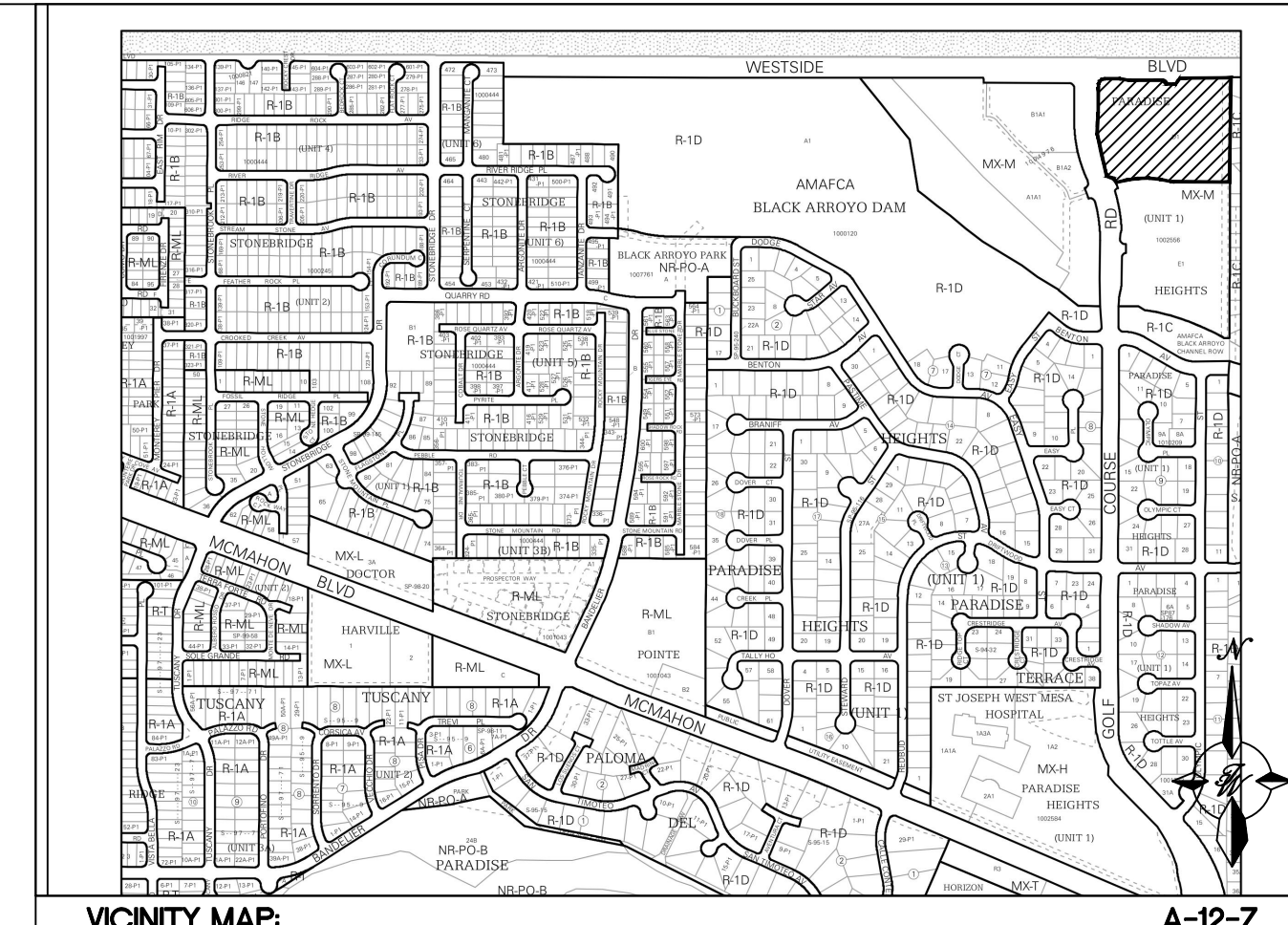
20' DRAINAGE EASEMENT

43'
ACCESS EASEMENT

GOLF COURSE RD

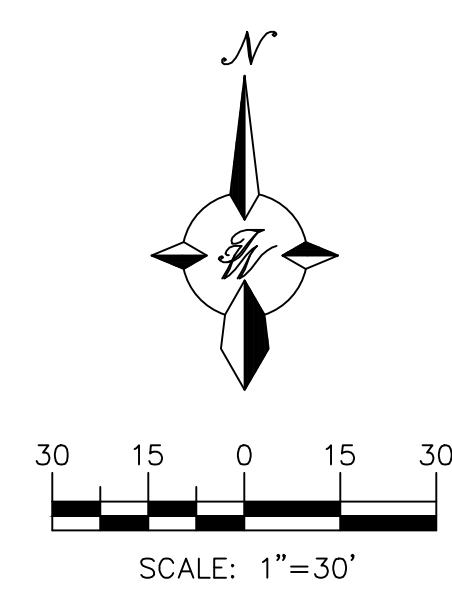
ROW DEDICATION

ASPHALT



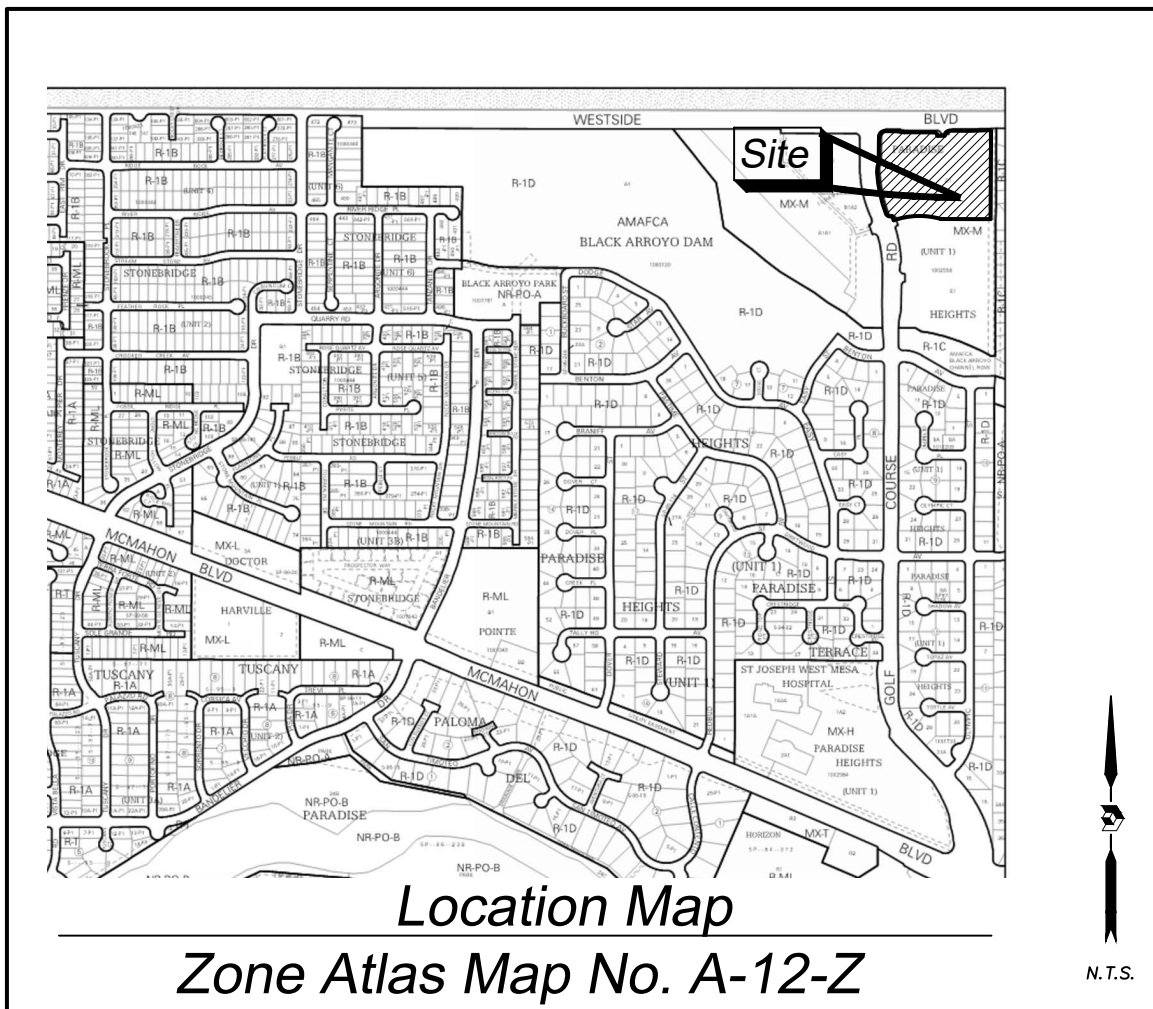
LEGAL DESCRIPTION:
TR D-1 PLAT OF TRS D-1, E-1 AMAFCA BLACK ARROYOCHANNEL ROW PARADISE HEIGHTS UNIT 1 CONT 7.6716 AC

- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ▨ SIDEWALK
 - ▩ SCREEN WALL
 - ▧ RETAINING WALL
 - ☼ STREET LIGHTS
 - - - LANE
 - - - STRIPING
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - ▨ EXISTING SIDEWALK
 - - - EXISTING LANE
 - - - EXISTING STRIPING



ISSUED FOR DRB - NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	GOLF COURSE + WESTSIDE ALBUQUERQUE, NM	DRAWN BY RG
	SITE PLAN FOR SUBDIVISION	DATE 08/31/2022
2022055_SPE		
<p>TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com</p>		SHEET # C1
RONALD R. BOHANNAN P.E. #7868	JOB # 2022025	

\\TWINAS\Z_Drive\2022\2022055 Golf Course & Westside Blvd\dwg\EPC\2022055_SPE.dwg Aug 31, 2022 - 11:08am



RECORDING STAMP

Plat of
Tracts D-1-A, D-1-B, D-1-C and D-1-D
Paradise Heights, Unit 1
 Section 1, Township 11 North, Range 2 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 October 2022

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT SECTION 1, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT D-1, AMAFCA BLACK ARROYO CHANNEL ROW, PARADISE HEIGHTS UNIT 1, CITY OF ALBUQUERQUE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 2, 2009, IN PLAT BOOK 2009C, PAGE 83 NOW COMPRISING OF TRACTS D-1-A, D-1-B, D-1-C AND D-1-D, PARADISE HEIGHTS UNIT 1.

TREASURER'S CERTIFICATE

Project No. PR-2022-
 Application No. -2022-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
CODE ENFORCEMENT	DATE
MRGCD	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 7.5979 ACRES±
 ZONE ATLAS INDEX NO: A-12-Z
 NO. OF TRACTS CREATED: 4
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0

Notes:

- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
 A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE TRACT INTO 4 TRACTS, GRANT NEW EASEMENTS, VACATE EXISTING EASEMENTS AND DEDICATE PUBLIC RIGHT-OF-WAY FOR ROADWAY PURPOSES.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

Free Consent and Dedication

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

 DENNIS CARPENTER, MANAGING PARTNER DENNIS & GEORGE LLC DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022 BY DENNIS CARPENTER, MANAGING PARTNER OF DENNIS & GEORGE LLC.

BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL ON THE GROUND SURVEY AND THAT I AM RESPONSIBLE FOR THIS SURVEY. THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND LAND SURVEYING OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

 LARRY W. MEDRANO DATE
 N.M.P.S. No. 11993



Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

REVISIONS			
NO.	DATE	BY	DESCRIPTION

COORDINATE AND DIMENSION INFORMATION STATE PLANE ZONE: NM-C GRID: GRID GRID GEIOD: ABQ GEIOD HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88 ROTATION ANGLE: 0° 00' 00.00" MATCHES DRAWING UNITS: YES CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0 COMBINED SCALE FACTOR: GRID TO GROUND: 1.0003263844 GROUND TO GRID: 0.9996737221 DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID ELEVATION TRANSLATION: ELEVATIONS VALID: NO			PLSS INFORMATION LAND GRANT: TOWN OF ALAMEDA GRANT SECTION: 1 TOWNSHIP: 11 NORTH RANGE: 02 EAST MERIDIAN: NMPPM CITY: ALBUQUERQUE COUNTY: BERNALILLO STATE: NM			INDEXING INFORMATION FOR COUNTY CLERK PROPERTY OWNER: DENNIS & GEORGE LLC SUBDIVISION NAME: PARADISE HEIGHTS, UNIT 1 UPC: 101206651048211303 ADDRESS: N/A			PROJECT INFORMATION CREW/TECH: ML DATE OF SURVEY: 08/17/2022 DRAWN BY: ME CHECKED BY: LM PSI JOB NO. 22-8233P SHEET NUMBER 1 OF 3		
---	--	--	--	--	--	---	--	--	---	--	--

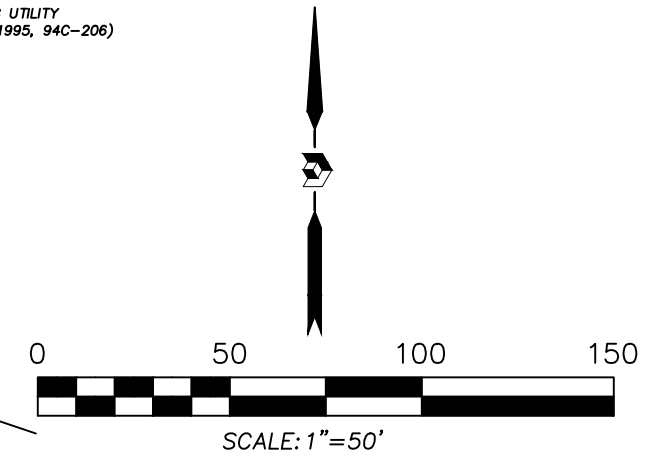


OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

Plat of
Tracts D-1-A, D-1-B, D-1-C and D-1-D
Paradise Heights, Unit 1
 Section 1, Township 11 North, Range 2 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 October 2022

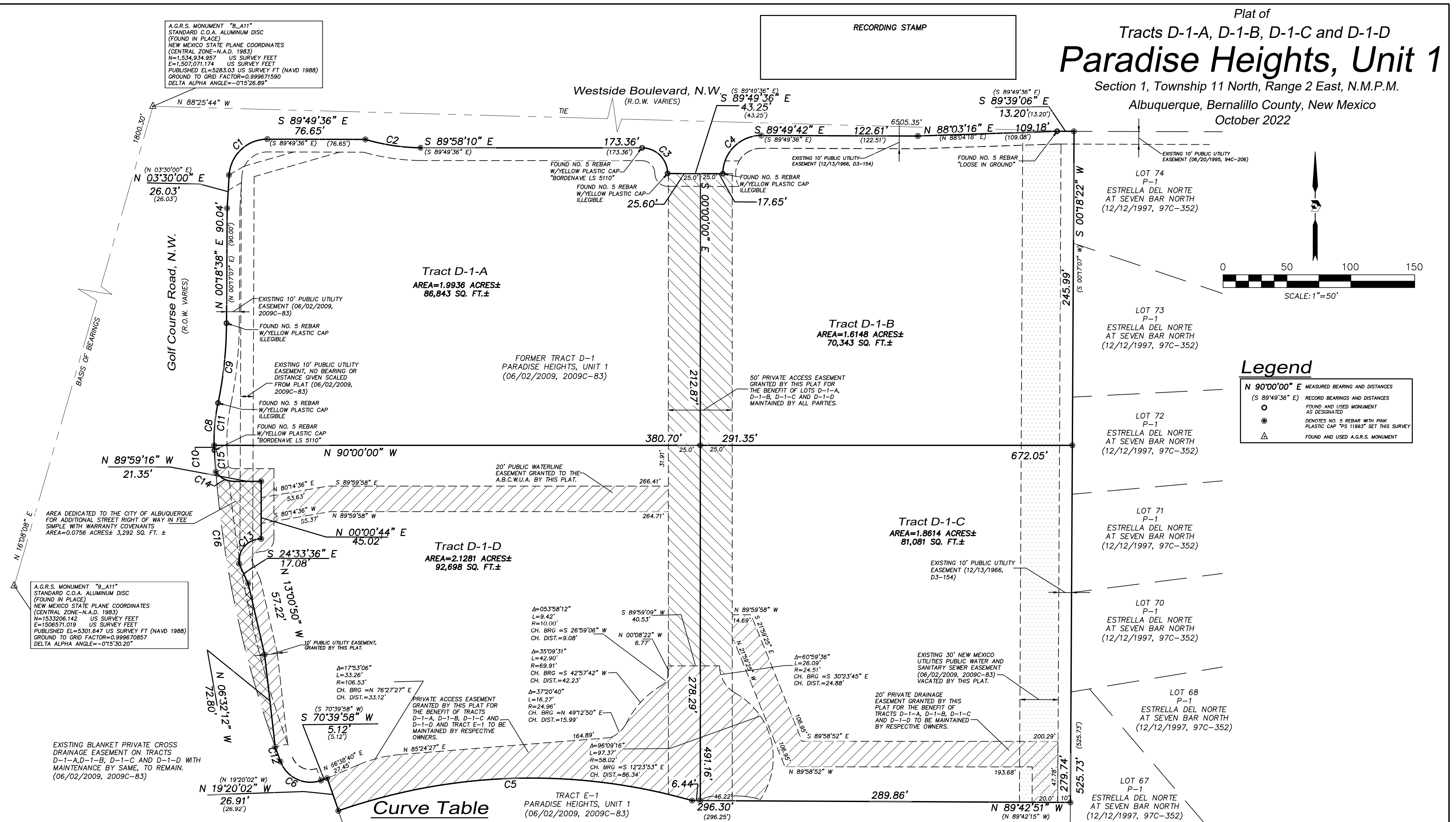
RECORDING STAMP

A.G.R.S. MONUMENT "8_A11"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,534,934.957 US SURVEY FEET
 E=1,507,071.174 US SURVEY FEET
 PUBLISHED EL=5283.03 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999671590
 DELTA ALPHA ANGLE=-01°5'26.89"



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- (S 89°49'36" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND AND USED A.G.R.S. MONUMENT



Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	C9	C10	C11	C12	C13	C14	C15	C16
C1	30.00'	45.39'	41.18'	N 46°50'12" E	86°40'52"	310.24'	139.23'	139.23'	826.23'	17.36'	17.51'	826.23'	826.23'
(C1)	(30.00')	(45.38')	(41.18')	(S 46°50'12" W)	(86°40'24")	(310.00')	(63.05')	(62.88')	(62.94')	(N 06°02'21" E)	(11°39'11")		
C2	160.00'	43.96'	43.82'	S 81°25'47" E	15°44'29"								
(C2)	(160.00')	(43.96')	(43.82')	(S 81°57'23" E)	(15°44'26")								
C3	20.00'	31.50'	28.34'	S 44°51'41" E	90°14'35"								
(C3)	(20.00')	(31.42')	(28.28')	(N 44°49'36" W)	(90°00'00")								
C4	30.00'	47.13'	42.43'	N 45°10'24" E	90°00'35"								
(C4)	(30.00')	(47.12')	(42.43')	(S 45°10'24" W)	(90°00'00")								
C5	458.00'	281.36'	276.95'	S 88°21'31" W	35°11'51"								
(C5)	(458.00')	(283.04')	(278.59')	(S 88°22'12" W)	(35°24'30")								
C6	25.00'	38.69'	34.94'	N 65°00'35" W	88°39'42"								
(C6)	(25.00')	(38.68')	(34.94')	(S 65°00'35" E)	(88°38'55")								
C7	826.23'	250.33'	249.38'	N 11°59'56" W	17°21'35"								
(C7)	(825.00')	(250.27')	(249.31')	(S 11°59'41" E)	(16°22'53")								
C8	139.23'	37.20'	37.09'	N 04°26'34" E	15°18'30"								
(C8)	(140.00')	(37.24')	(37.13')	(S 04°19'02" W)	(15°14'32")								

See Sheet 3 for Additional A.B.C.W.U.A. Easements and Private Ingress/Egress Easement



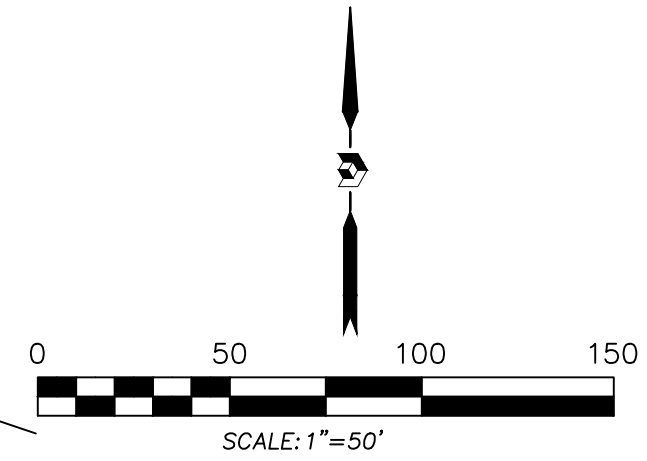
OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

PROJECT INFORMATION	
CREW/TECH: ML	DATE OF SURVEY 08/17/2022
DRAWN BY: ME	CHECKED BY: LM
PSI JOB NO. 22-8233P	SHEET NUMBER 2 OF 3

Plat of
Tracts D-1-A, D-1-B, D-1-C and D-1-D
Paradise Heights, Unit 1
 Section 1, Township 11 North, Range 2 East, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 October 2022

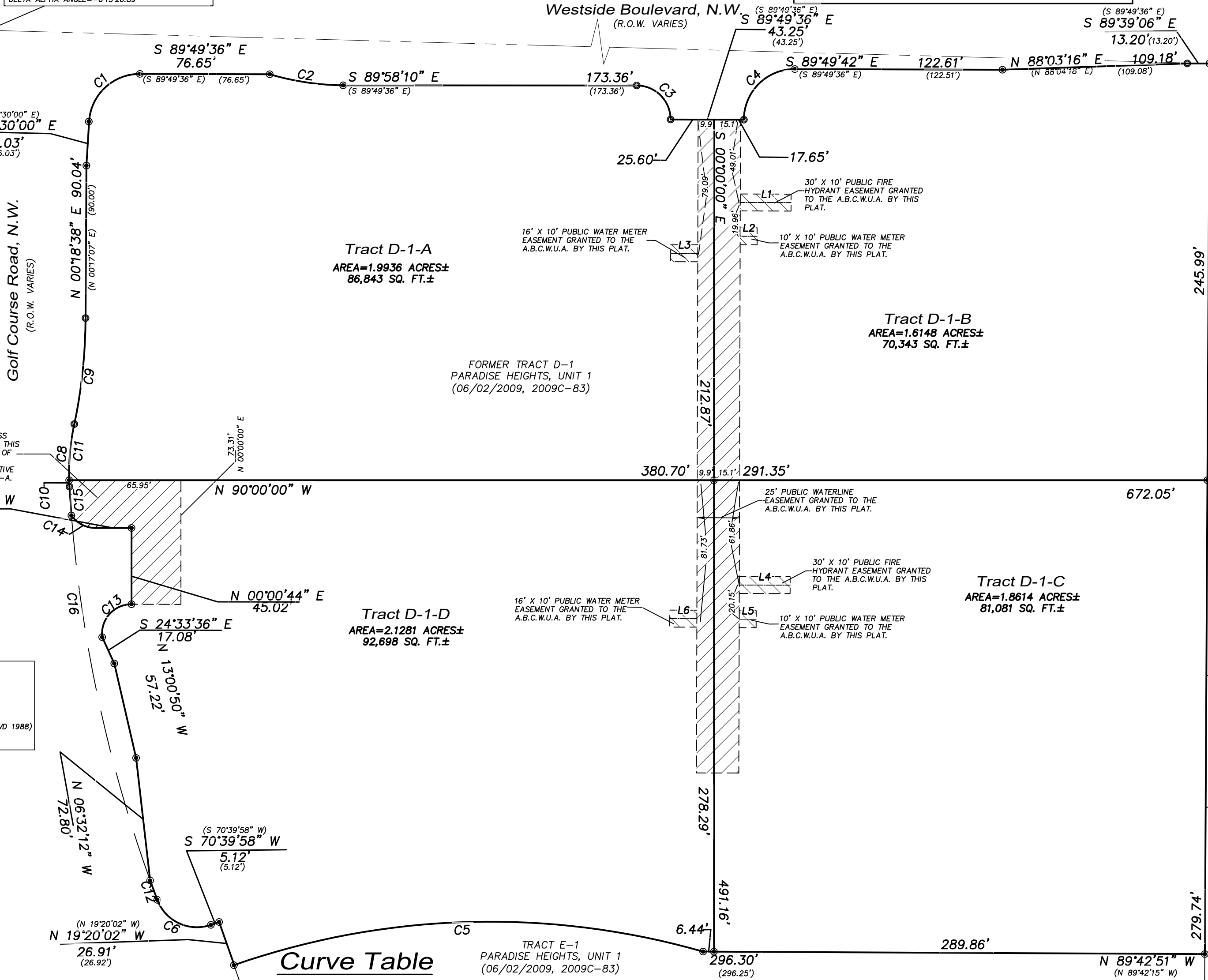
RECORDING STAMP

A.G.R.S. MONUMENT "8_A11"
 STANDARD C.O.A. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,534,934.957 US SURVEY FEET
 E=1,507,071.174 US SURVEY FEET
 PUBLISHED EL=5283.03 US SURVEY FT (NAVD 1988)
 GROUND TO GRID FACTOR=0.999671590
 DELTA ALPHA ANGLE=-01°5'26.89"



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
- (S 89°49'36" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND AND USED A.G.R.S. MONUMENT



LOT 74
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 73
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 72
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 71
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 70
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 68
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 67
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

LOT 66
 P-1
 ESTRELLA DEL NORTE
 AT SEVEN BAR NORTH
 (12/12/1997, 97C-352)

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	30.00'	45.39'	41.18'	N 46°50'12" E	86°40'52"
C2	160.00'	43.96'	43.82'	S 81°25'47" E	15°44'29"
C3	20.00'	31.50'	28.34'	S 44°51'41" E	90°14'35"
C4	30.00'	47.13'	42.43'	N 45°10'24" E	90°00'35"
C5	458.00'	281.36'	276.95'	S 88°21'31" W	35°11'51"
C6	25.00'	38.69'	34.94'	N 65°00'35" W	88°39'42"
C7	826.23'	250.33'	249.38'	N 11°59'56" W	17°21'35"
C8	139.23'	37.20'	37.09'	N 04°26'34" E	15°18'30"
C9	310.24'	62.98'	62.88'	N 06°02'21" E	11°37'55"
C10	139.23'	33.39'	33.31'	N 02°40'31" W	01°33'54"
C11	826.23'	12.23'	12.22'	N 20°05'18" W	00°50'51"
C12	17.36'	29.39'	26.01'	N 41°39'48" W	97°01'27"
C13	17.51'	16.53'	15.93'	N 62°27'10" W	54°06'52"
C14	826.23'	17.07'	17.07'	N 03°54'40" W	01°11'23"
C15	826.23'	221.04'	220.38'	N 12°10'02" W	15°19'41"
C16					

Easement Centerline Table

LINE	BEARING	DISTANCE
L1	N 89°51'24" W	30.01'
L2	N 89°51'24" W	10.00'
L3	S 89°51'24" E	16.01'
L4	N 89°51'24" W	30.01'
L5	N 89°51'24" W	10.00'
L6	N 89°51'24" W	16.01'



OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113

505.856.5700 PHONE
 505.856.7900 FAX

PROJECT INFORMATION	
CREW/TECH: ML	DATE OF SURVEY 08/17/2022
DRAWN BY: ME	CHECKED BY: LM
PSI JOB NO. 22-8233P	SHEET NUMBER 3 OF 3