

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

GENERAL SHEET NOTES

- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- ALL DRIVE AISLES ARE 24' UNLESS NOTED OTHERWISE.
- ALL EXISTING PARKING SPACES ARE 9'X20' UNLESS NOTED OTHERWISE.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- ALL ADA PARKING IS EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
- ALL PARKING SPACES ARE 9'X18', UNLESS NOTED OTHERWISE.

PROJECT DATA

BUILDING AREA: 7,984 SQ. FT.

LOT SIZE: 20.35 ACRES

ZONE: MX-H MIXED USE HIGH INTENSITY

CONSTRUCTION TYPE: IIB

OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

HOSPICE HOUSE	REQUIRED	PROVIDED
EXISTING BUILDINGS	393	789
HANDICAP SPACES	8	13
*EXISTING PARKING IS PER THE PRIOR APPROVED SITE DEVELOPMENT PLAN		
HOSPICE HOUSE (NURSING HOME = 1 SPACE PER 5 BEDS)	2	22
ACCESSIBLE PARKING 1-25 SPACES	1	2
2 VAN ACCESSIBLE		
MOTORCYCLE SPACES 1-25 REQUIRED PARKING	1	1
BICYCLE PARKING 3 SPACES OR 10%	3	4

SHEET KEYED NOTES

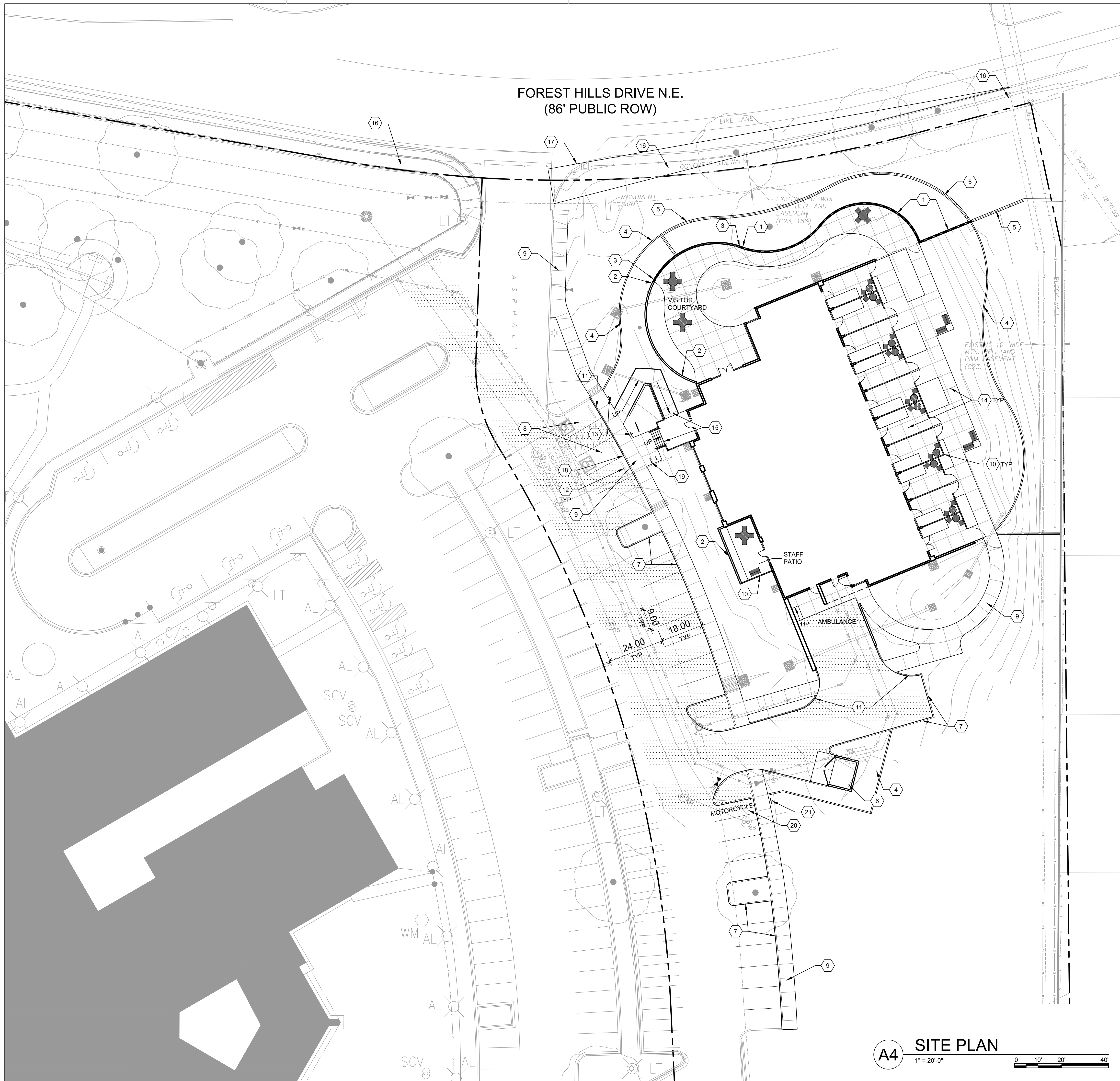
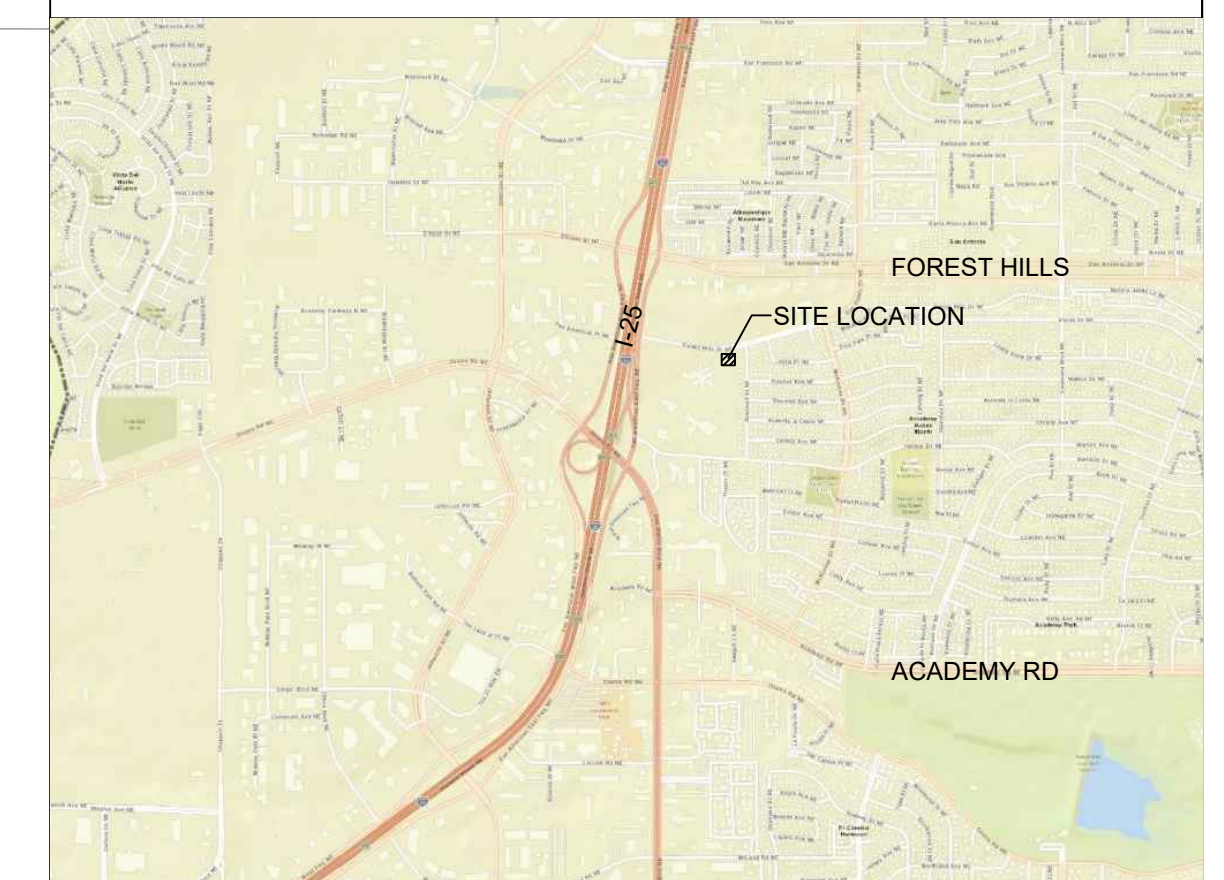
- KEYSTONE RETAINING WALL. CONTRACTOR TO COORDINATE INSTALLATION WITH IN-GROUND UTILITIES AND WALL MFG.
- CMU SCREEN WALL. SEE C4/AS502.
- CMU RETAINING WALL. SEE A3/AS502.
- 12" CONCRETE MOW CURB. SEE B1/AS501.
- 6' TALL STEEL SECURITY FENCE OVER CONCRETE MOW CURB. SEE SPECIFICATIONS.
- TRASH ENCLOSURE. SEE C1/AS502.
- NEW CONCRETE CURB AND GUTTER. SEE CIVIL AND C2/AS501.
- 9' WIDE ACCESSIBLE PARKING SPACE WITH 9' WIDE ACCESS AISLE. SEE A1/AS501.
- 6' WIDE CONCRETE SIDEWALK. SEE A3/AS501.
- COMPOSITE WOOD FENCE SYSTEM. SEE SPECIFICATIONS.
- FLUSH CONCRETE CURB. SEE CIVIL.
- CONCRETE PARKING BUMPER. SEE A4/AS501.
- ACCESSIBILITY SIGNAGE. SEE A5/AS501.
- CONCRETE SIDEWALK. SEE A3/AS501.
- CONCRETE RAMP AND STAIR. SEE C5/AS501.
- EXISTING 6' WIDE CONCRETE SIDEWALK.
- SITE TRIANGLE. NO SIGNAGE OR PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0" TO BE IN THIS AREA. TREES TO BE MAINTAINED WITH LOWEST BRANCH NO LESS THAN 7'-0" FROM TOP OF GRADE.
- CURB TRANSITION FROM FLUSH TO STANDARD.
- BICYCLE PARKING. SEE D2/AS501.
- MOTORCYCLE PARKING. 4'X8' MINIMUM UNLESS NOTED OTHERWISE.
- FREESTANDING UPRIGHT SIGN INDICATING MOTORCYCLE PARKING ONLY. SEE A5/AS501.

LEGEND

	PROPERTY LINE
	BUILDING SETBACK
	NEW ASPHALT PAVEMENT, SEE CIVIL
	POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SOP5-3
	NEW FIRE DEPARTMENT CONNECTION, SEE CIVIL
	NEW FIRE HYDRANT, SEE CIVIL
	WABASH WINCHESTER BENCH 4' LENGTH, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
	WABASH WINCHESTER TABLE 4' Ø AND MOVEABLE WINCHESTER CHAIRS, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
	WABASH WINCHESTER TABLE 3' Ø AND MOVEABLE WINCHESTER CHAIRS, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME

NOTE: ALL SITE FURNITURE SHOWN ABOVE IS TO BE OWNER FURNISHED CONTRACTOR INSTALLED.

VICINITY MAP



A4 SITE PLAN
1" = 20'-0"

**DEKKER
PERICH
SABATINI**

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER

PROJECT

PHS HOSPICE HOUSE
6000 FOREST HILLS DR. NE
ALBUQUERQUE, NM

ADMINISTRATIVE
AMENDMENT

REVISIONS

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- △

DRAWN BY

REVIEWED BY

DATE 02/25/2021

PROJECT NO. 20-0023

DRAWING NAME

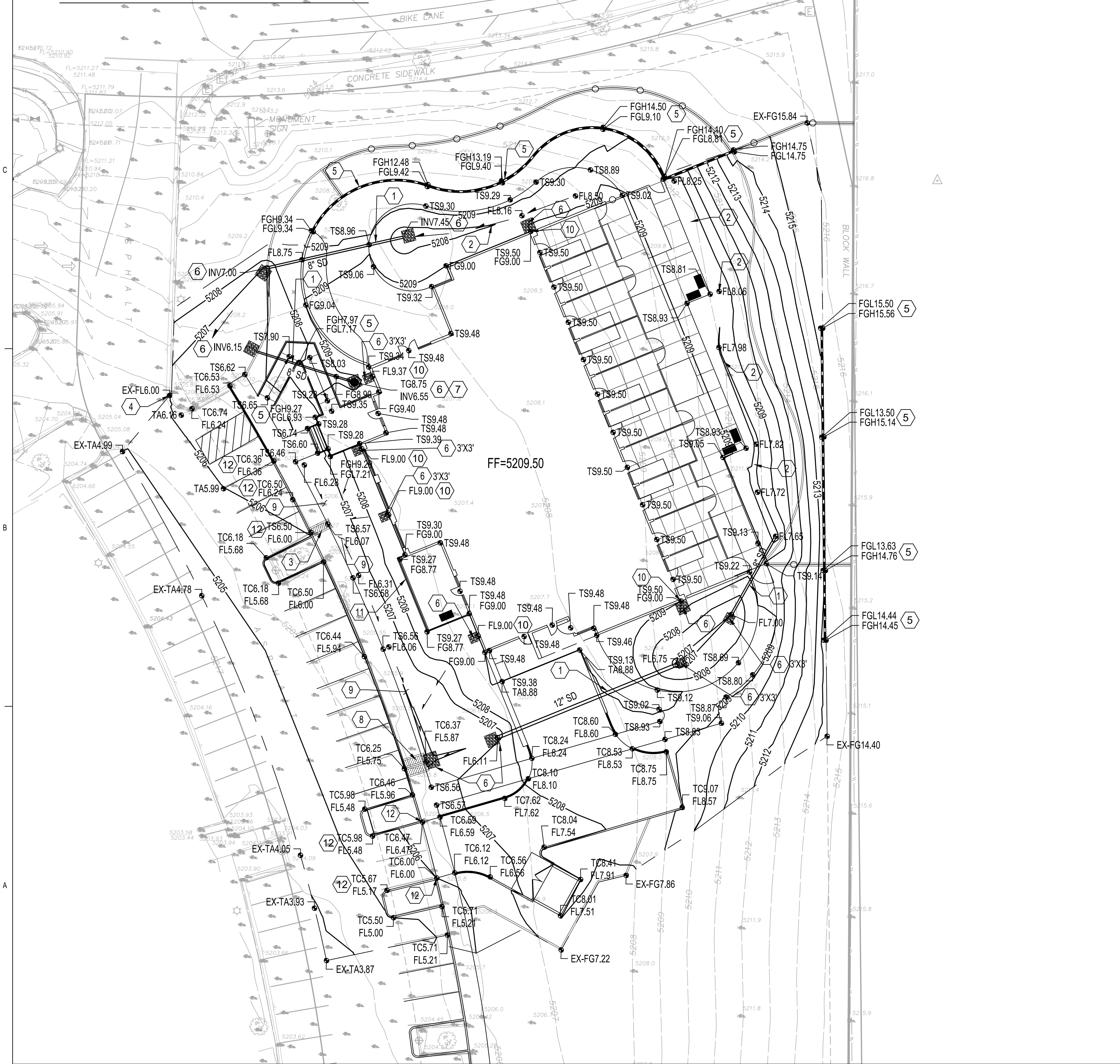
ARCHITECTURAL
SITE PLAN

SHEET NO.

AS101
OF



VICINITY/FEMA MAP #35001CO139G



GRADING KEYED NOTES

1. INSTALL HDPE (N12WT OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
2. GRASS LANDSCAPED SWALE, SEE LANDSCAPE PLAN FOR STABILIZATION.
3. INSTALL 24" SIDEWALK CULVERT PER COA STD DWG 2236.
4. INSTALL CURB OPENING PER DETAIL C-201.
5. RETAINING WALL, SEE STRUCTURAL PLAN FOR DETAILS.
6. INSTALL RIP RAP PAD PER DETAIL A2 SHEET C-201.
7. INSTALL 10" NYLOPLAST STORM DRAIN INLET WITH DOME GRATE.
8. INSTALL 2-24" SIDEWALK CULVERTS PER COA STD DWG 2236.
9. DEPRESS LANDSCAPE AREA TO PROVIDED POSITIVE DRAINAGE FROM ROOF DRAIN OUTLET TO SIDEWALK CULVERT.
10. CENTER RIP RAP PAD ON ROOF DRAIN OUTFALL.
11. INSTALL TURNBLOCK IN WALL.
12. CURB TRANSITION, SEE PAVING PLAN.

NOTE

HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

NOTE

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

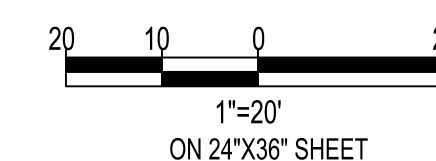
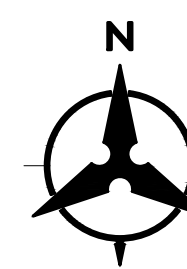
NOTE

CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

LEGEND

- LIMITS OF GRADING
- PROPERTY LINE
- 95.40 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB
- FL=FLOW LINE
- TOC=TOP OF CONCRETE
- TS=TOP OF SIDEWALK
- TG=TOP OF GRATE
- FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- INV=INVERT
- 4960 --- EXISTING INDEX CONTOUR
- 4959 --- EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- ~~~~~ WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP



GRADING GENERAL NOTES

- A. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST, AND INCLUDED IN THE GMP.
- C. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- D. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- E. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- F. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE INSPECTOR. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- G. PAVING AND ROADWAY GRADES SHALL BE +0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +0.05' FROM BUILDING PLAN ELEVATION.
- H. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- I. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- J. THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY DATA TO ENSURE COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SURVEY SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO. THE AS-BUILT DRAWING SHALL BE CERTIFIED BY THE SURVEYOR OF RECORD.

GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE BERNALILLO COUNTY, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- O. THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE.

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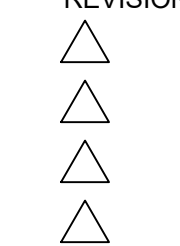


PROJECT

PHS HOSPICE HOUSE
6000 FOREST HILLS DR. NE
ALBUQUERQUE, NM

ADMINISTRATIVE
AMENDMENT

REVISIONS



DRAWN BY	BF
REVIEWED BY	MS
DATE	02/24/2021
PROJECT NO.	20-0023
DRAWING NAME	

GRADING PLAN

SHEET NO.

C-100

OF

Bohannon & Huston
www.bhinc.com 800.877.5332

UTILITY NOTES

- A. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- B. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- C. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- D. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- E. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- F. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- G. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- H. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- J. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- K. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

WATERLINE KEYED NOTES

1. CONNECT TO EXISTING WATERLINE PER COA STD DWG 2363.
2. INSTALL DOMESTIC SERVICE (SIZE PER PLAN).
3. INSTALL FIRE DEPARTMENT CONNECTION (SIZE PER PLAN).
4. INSTALL FIRE PROTECTION LINE (SIZE PER PLAN).
5. INSTALL FIRE HYDRANT PER COA STD DWG 2340. PAINT HYDRANT SAFETY ORANGE.
6. INSTALL REMOTE FIRE DEPARTMENT CONNECTION PER DETAIL "C3" SHEET C-201.
7. INSTALL POST INDICATOR VALVE PER DETAIL "C1" SHEET C-201.
8. INSTALL 45° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
9. INSTALL 90° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
10. INSTALL 11.25° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
11. INSTALL 1-6" GATE VALVE WITH BOX AND LID PER COA STD DWG 2326.
12. INSTALL 22.5° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
13. INSTALL NEW 6" X6" TEE W/ RESTRAINED JOINTS AS NECESSARY.
14. INSTALL 1-6" FIRE PROTECTION REDUCED PRESSURE BACKFLOW PREVENTION DEVICE, 2-2-1/2" REDUCED BACKFLOW PREVENTION DEVICES WITHIN TRIPLE HEATED ENCLOSURE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ELECTRICAL PLANS FOR POWER.
15. INSTALL PRIVATE 2" WATER METER AND BOX PER COA STD 2367.
16. INSTALL 4"x2-1/2" REDUCER WITH RESTRAINED JOINTS AS NECESSARY.
17. STUB DOMESTIC SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
18. STUB FIRE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
19. STUB FIRE DEPARTMENT CONNECTION TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
20. CONNECT TO EXISTING WATERLINE.
21. INSTALL BYPASS 2-1/2" DOMESTIC SERVICE WITH REDUCED BACKFLOW PREVENTION DEVICE. SEE DETAIL "A4" SHEET C-201 FOR VALVE LOCATIONS.

SANITARY SEWER KEYED NOTES

1. INSTALL SANITARY SEWER SERVICE. SEE PLAN FOR SIZE AND SLOPE.
2. INSTALL NEW TYPE "E" SANITARY SEWER MANHOLE PER COA STD DWG 2102
3. CONNECT TO EXISTING SANITARY SEWER.
4. INSTALL SANITARY SEWER CLEANOUT PER DETAIL "A1" SHEET C-201.
5. INSTALL WATERTIGHT PRE-FABRICATED SANITARY SEWER FITTING.
6. INSTALL SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
7. STUB SANITARY SEWER SERVICE FOR FUTURE DEVELOPMENT. INSTALL CLEANOUT PER DETAIL "A1" SHEET C-201 AT STUB LOCATION.

NOTE:
PRIVATE UTILITY EASEMENT TO BE GRANTED ON TRACT B-5-A-1-B FOR FIRE, DOMESTIC, AND SANITARY SEWER USE.

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**ARCHITECTURE
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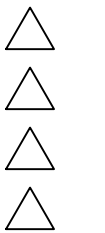


PROJECT

PHS HOSPICE HOUSE
6000 FOREST HILLS DR. NE
ALBUQUERQUE, NM

**ADMINISTRATIVE
AMENDMENT**

REVISIONS



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REVIEWED BY	MS
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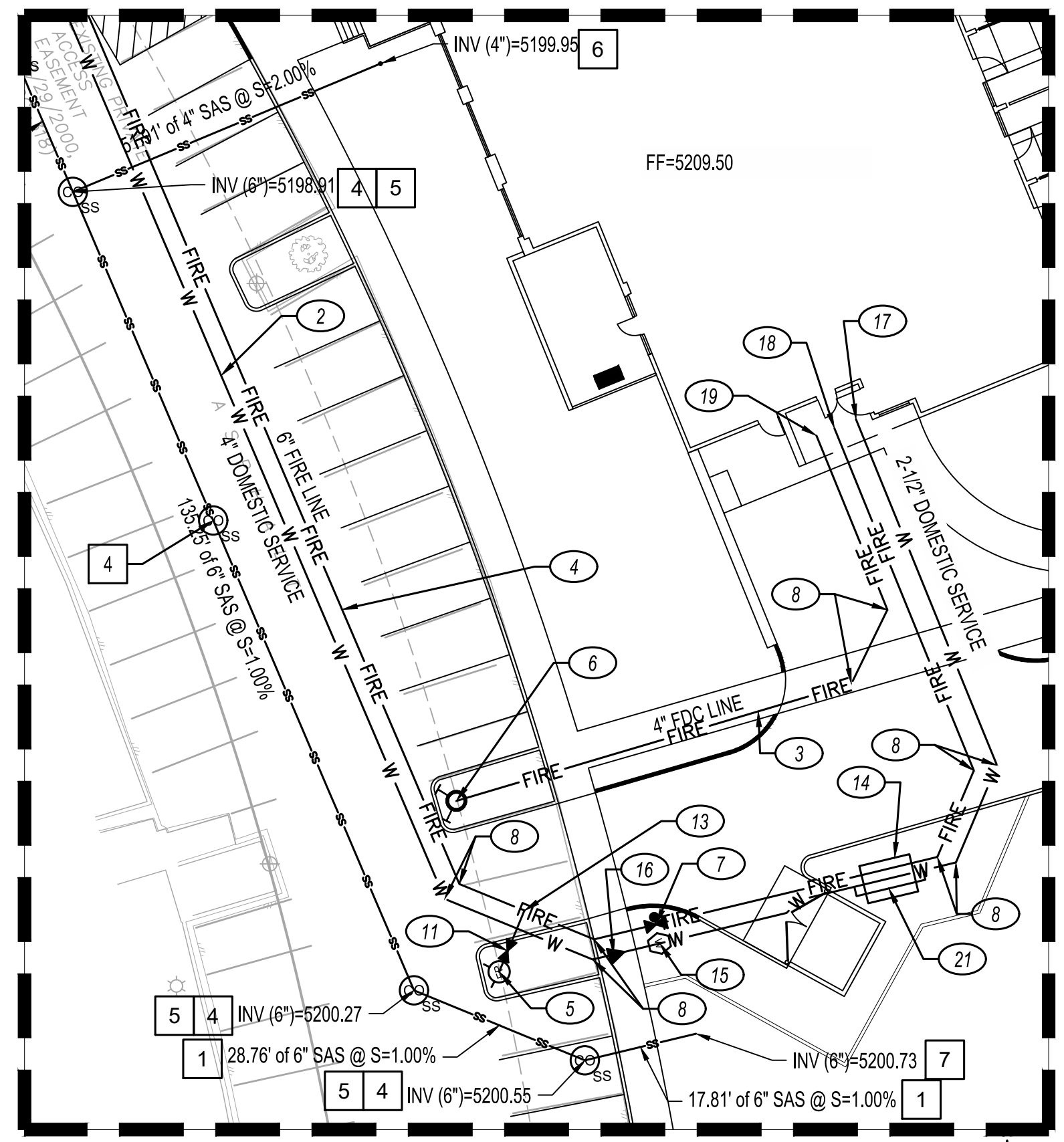
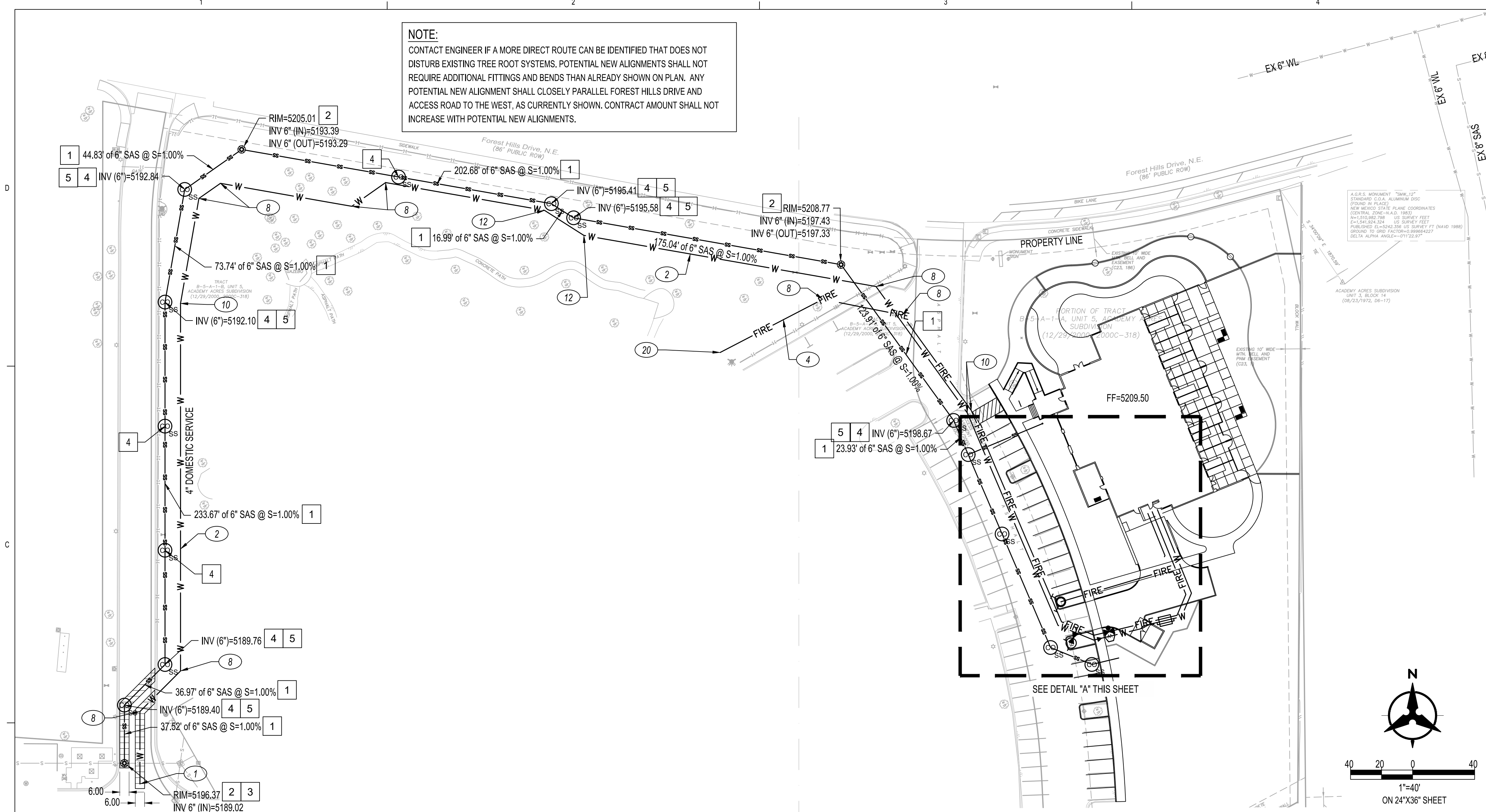
UTILITY PLAN

SHEET NO.

C-200

OF

NOTE:
CONTACT ENGINEER IF A MORE DIRECT ROUTE CAN BE IDENTIFIED THAT DOES NOT DISTURB EXISTING TREE ROOT SYSTEMS. POTENTIAL NEW ALIGNMENTS SHALL NOT REQUIRE ADDITIONAL FITTINGS AND BENDS THAN ALREADY SHOWN ON PLAN. ANY POTENTIAL NEW ALIGNMENT SHALL CLOSELY PARALLEL FOREST HILLS DRIVE AND ACCESS ROAD TO THE WEST, AS CURRENTLY SHOWN. CONTRACT AMOUNT SHALL NOT INCREASE WITH POTENTIAL NEW ALIGNMENTS.



A **DETAIL "A"**
SCALE: 1"=20'

LEGEND

	EASEMENTS
	PROPERTY LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE LINE
	PROPOSED VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED POST INDICATOR VALVE
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	EXISTING UTILITY TO BE REMOVED
	ASPHALT PAVEMENT REMOVE AND REPLACEMENT FOR UTILITY INSTALLATION

REVISIONS
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DRAWN BY	CD
REVIEWED BY	CM/MB
DATE	01/15/2021
PROJECT NO.	20-0023.001
DRAWING NAME	LANDSCAPE PLAN

PLANT LEGEND

SEE PLANTING DETAILS LP501

TREES	COMMON NAME
	REDPOINTE RED MAPLE
	NEW MEXICO PRIVET
	URBANITE ASH
	TUSCARORA GRAPE MYRTLE
	VELVET PILLAR CRABAPPLE
	PINON PINE
	AUSTRIAN BLACK PINE
	COTTONLESS RIO GRANDE COTTONWOOD
	GREEN GIANT ARBORVITAE

SHRUBS	COMMON NAME
	BLACK KNIGHT BUTTERFLY BUSH
	WINTER GEM JAPANESE BOXWOOD
	GREEN TOWER COMMON BOXWOOD
	RED TWIG DOGWOOD
	LENA'S BROOM
	PURPLE PIG GRAPE MYRTLE
	'PINKIE' INDIAN HAWTHORNE
	PINK SPLASH CARPET GROUNDCOVER ROSE
	SUNNY KNOCK OUT YELLOW ROSE
	ARP ROSEMARY
	BLUE SPIRES ROSEMARY
	LITTLE DARLING LILAC

GRASSES	COMMON NAME
	BLUE AVENA OAT GRASS
	MAIDEN GRASS
	REGAL MIST PINK MUHLY GRASS
	EL TORO MUHLY GRASS

GROUNDCOVERS	COMMON NAME
	LARGE YELLOW DAFFODIL

PERENNIALS	COMMON NAME
	HOLLYHOCK
	DWARF PLUMBAGO
	SUPREME CANTALOUPE CONEFLOWER
	POWWOW WILD BERRY CONEFLOWER
	ENDLESSLY CORAL DAYLILY
	HIDCOTE SUPERIOR BLUE LAVENDER
	FAT BUD FRENCH LAVENDER
	FURMAN'S RED SALVIA

VINES	COMMON NAME
	TRUMPET CREEPER VINE
	ENGLISH IVY
	BRITE EYES CLIMBING ROSE

GENERAL SHEET NOTES

- THE CONTRACTOR SHALL PROTECT THE EXISTING LANDSCAPE AREAS TO REMAIN, AND LANDSCAPE AREAS THAT ARE DISTURBED DURING CONSTRUCTION WILL BE REPAIRED TO THEIR ORIGINAL CONDITION. THIS INCLUDES THE ADJACENT SITE ALONG FOREST HILLS DRIVE AND THE ADJACENT SITE SOUTH OF THE NEW BUILDING, WHICH WILL BE DISTURBED FOR UTILITY CONNECTIONS. SEE DEMOLITION PLANS.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: DISTURBED LANDSCAPE AREAS ARE OR SHALL BE COVERED WITH TURF, OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH NEW TREE ROOTBALL AREA DRIP LINE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE S-6-1 OF THE IDO.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- EXISTING PLANT MATERIAL TO BE PRESERVED ON THE PROPERTY IS SHOWN AND QUANTIFIED IN THE LANDSCAPE CALCULATIONS.
- SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.

IRRIGATION NOTES

- THE CONTRACTOR SHALL RETROFIT THE EXISTING IRRIGATION SYSTEM FOLLOWING THE INSTALLATION OF TREE AND PLANT PROTECTION MEASURES AND PRIOR TO DEMOLITION AND THE BEGINNING OF CONSTRUCTION TO ENSURE THAT THE REMAINING PLANT MATERIAL ON THE CAMPUS RECEIVES IRRIGATION DURING CONSTRUCTION. THE CONTRACTOR MAY TEMPORARILY MODIFY THE EXISTING IRRIGATION SYSTEM TO ASSURE IRRIGATION TO THE REMAINING PLANT MATERIALS FOR THE DURATION OF CONSTRUCTION.
- EXISTING IRRIGATION SYSTEM COMPONENTS TO REMAIN SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS UPON COMPLETION OF THE PROJECT. SEE DEMOLITION PLANS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE CONTRACTOR TO IRRIGATE TREES, SHRUBS, SOD AND GROUNDCOVER PLANTINGS.
- THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
- VALVE BOX COVERS SHALL BE TAN COLOR IN MULCH AREAS, AND GREEN IN LAWN AREAS.
- THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER FOLLOWING THE END OF THE 90 DAY MAINTENANCE PERIOD.
- PRESBYTERIAN SPECIFIC REQUIREMENTS:
 - NO SLEEVING OF LATERALS UNDER PAVEMENT
 - NO POLYPIPE TO POLYPIPE CONNECTIONS
 - LIMIT POLYPIPE LENGTHS TO 75' MAX
 - DRIP EMITTERS TO BE ATTACHED AT PLANT END OF DRIP TUBING
 - DRIP EMITTERS TO BE DISTRIBUTED AROUND EACH ROOTBALL
 - DRIP EMITTERS TO BE PLACED ON UPHILL SIDES OF ROOTBALL
 - DRIP SYSTEM TUBING TO BE PLACED ON TOP OF WEED BARRIER FABRIC

LANDSCAPE CALCULATIONS

REQUIRED VEGETATIVE COVERAGE
 TOTAL NEW MULCHED LANDSCAPE AREA PROVIDED: 18,286
 TOTAL VEGETATIVE COVER REQUIRED = 13,715 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL VEGETATIVE COVER PROVIDED = 15,872 SF (86% OF TOTAL MULCHED LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 4572 SF (25% OF TOTAL MULCHED LANDSCAPE AREA)
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 4887 SF (26% OF TOTAL MULCHED LANDSCAPE AREA)

GROUND COVER MATERIAL
 TOTAL ROCK MULCH GROUND COVER = 13,444 SF (74% OF MULCHED LANDSCAPE AREA)
 TOTAL ORGANIC MULCH GROUND COVER = 4842 SF (26% OF MULCHED LANDSCAPE AREA)
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED. A MINIMUM OF 25% ORGANIC MULCH IS REQUIRED. 14-16-5-6(c)(5)(d)

SHEET KEYED NOTES

- VEGETATED SWALE. SEE B3/LP501
- PROTECT AND REPAIR EXISTING IRRIGATION SYSTEM AND EXISTING LANDSCAPING IN THIS AREA. SEE IRRIGATION NOTES
- LOCATION OF FUTURE WATER FEATURE. WATER AND POWER TO BE PROVIDED.
- TREE PLANTED IN TURF. SEE A4/LP501

LEGEND

	PROPERTY LINE
	EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
	'NATIVE MULCH' SHREDDED BARK MULCH AT 2" DEPTH OVER WEED BARRIER FABRIC
	7/16" Ø SANTA FE BROWN ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC
	1'-2" Ø MOUNTAINAIR BROWN ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC. SEE B3/LP501
	TURF GRASS SOD REPAIR OF EXISTING LAWN AREA, PARK BLEND
	TURF GRASS SEEDING REPAIR OF EXISTING LAWN AREA, PARK BLEND SEE LP501 FOR ADDITIONAL INFORMATION
	EXISTING VEGETATION TO REMAIN
	BOULDER, SEE D1/LP501



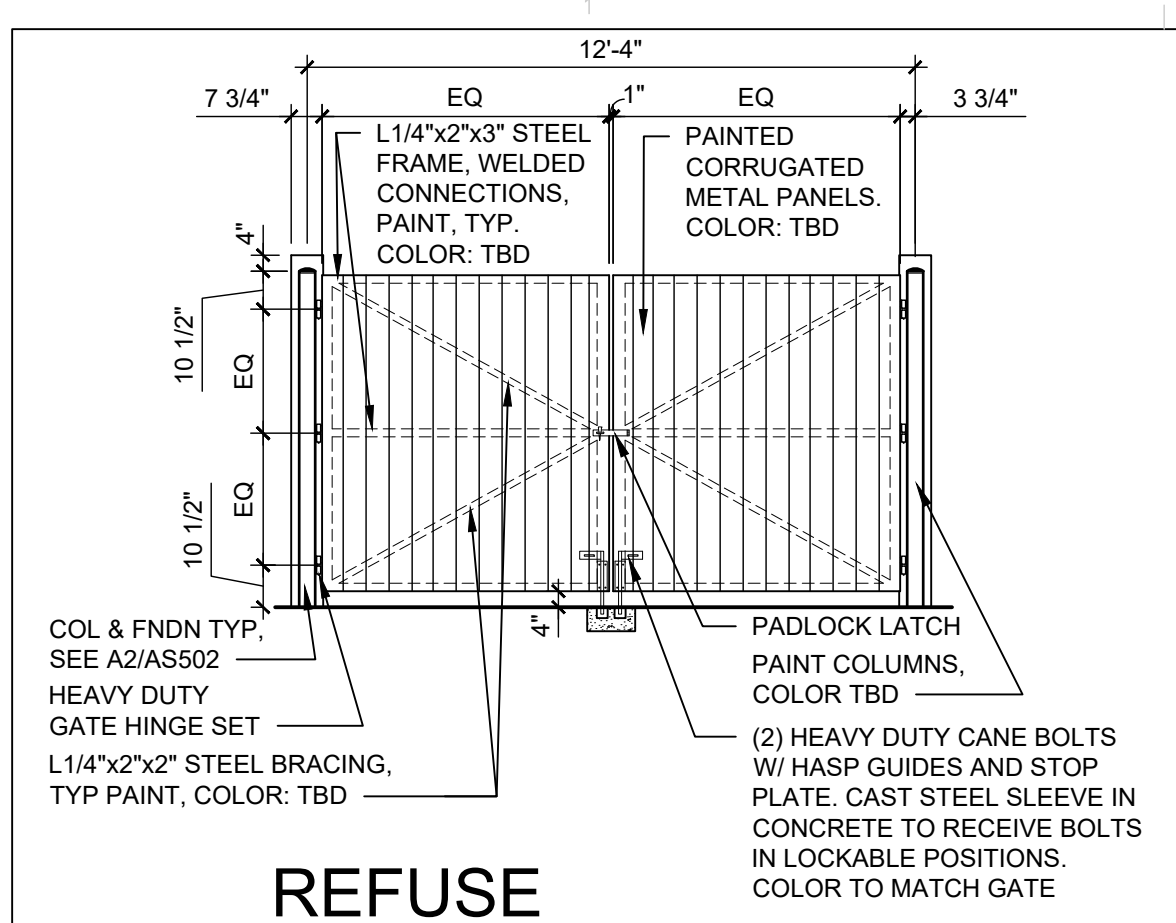
NORTH
A1
LANDSCAPE PLAN
1" = 20' 0"

REVISIONS

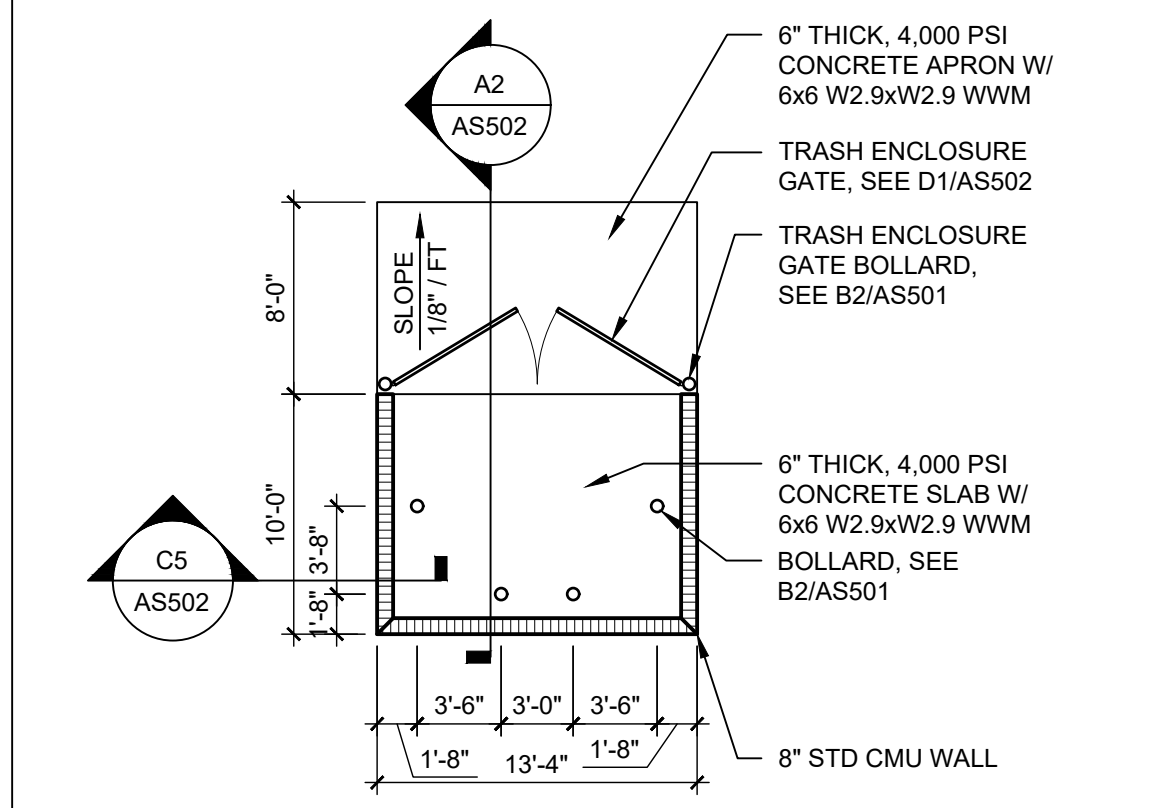
1	3/12/2021	ADDENDUM 002
2		
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DRAWN BY	A. SANTI
REVIEWED BY	G. EVERETT
DATE	02/25/2021
PROJECT NO.	20-0023
DRAWING NAME	

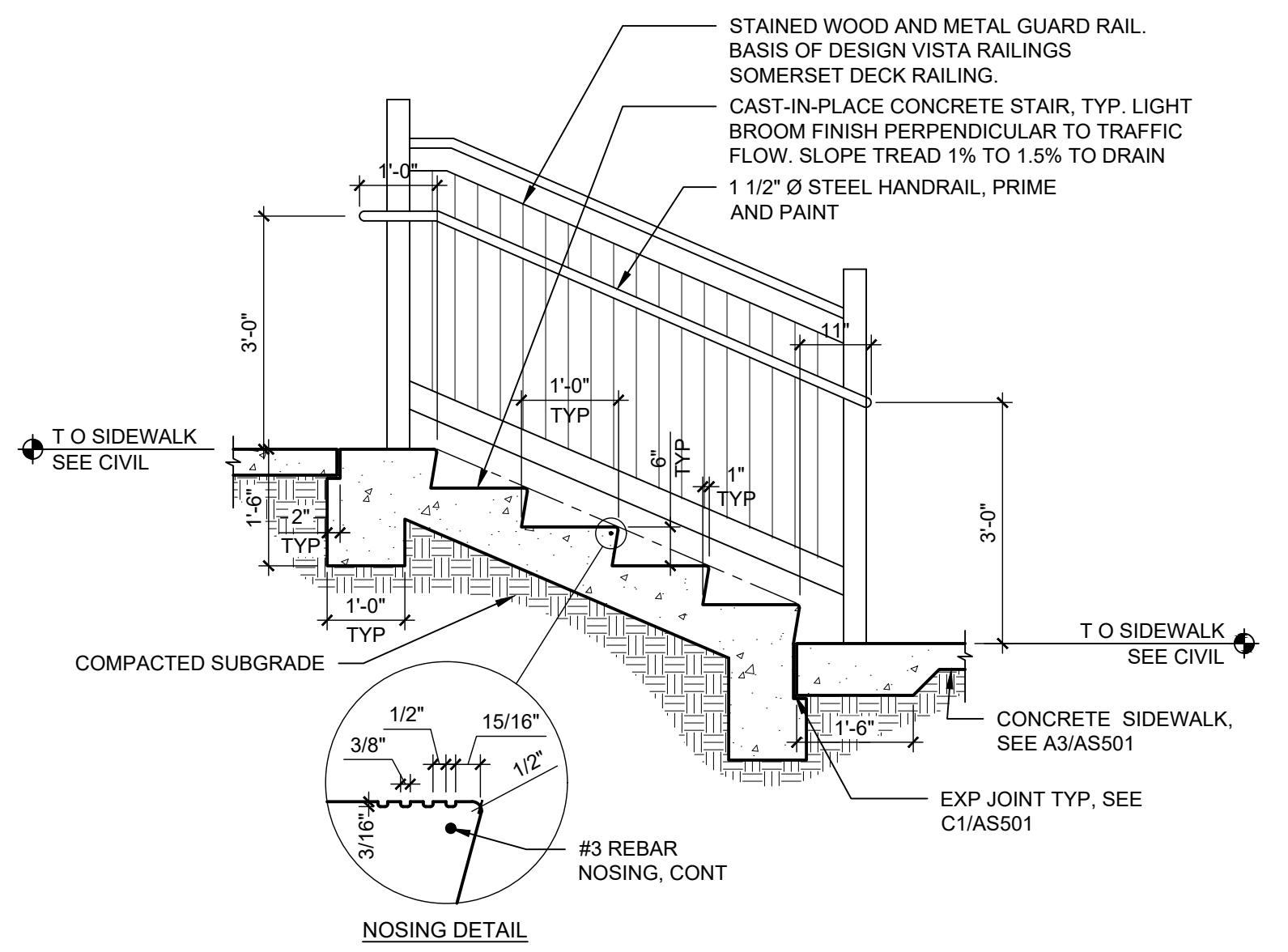
SITE DETAILS



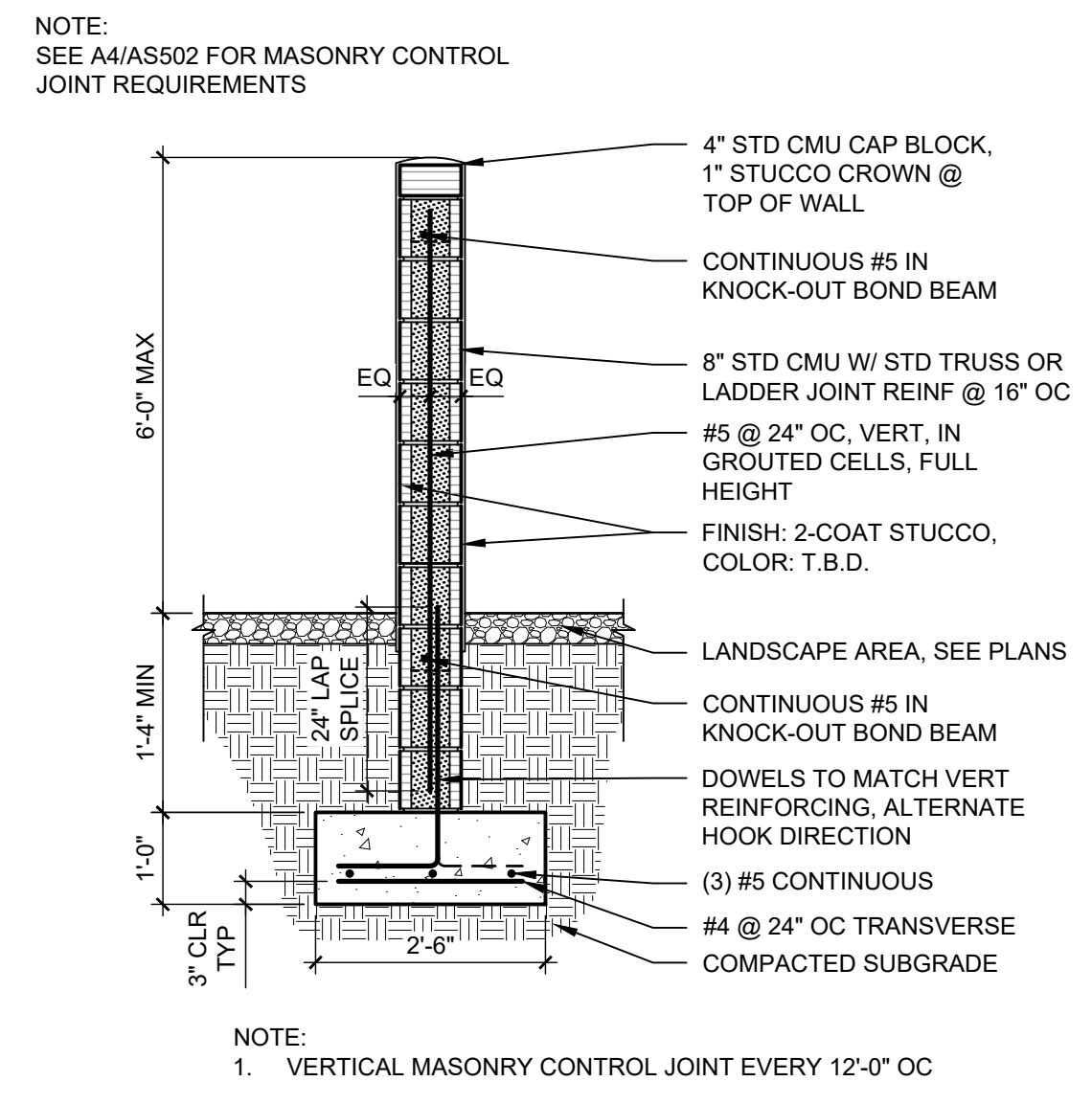
D1 REFUSE ENCLOSURE GATE
1/4" = 1'-0"



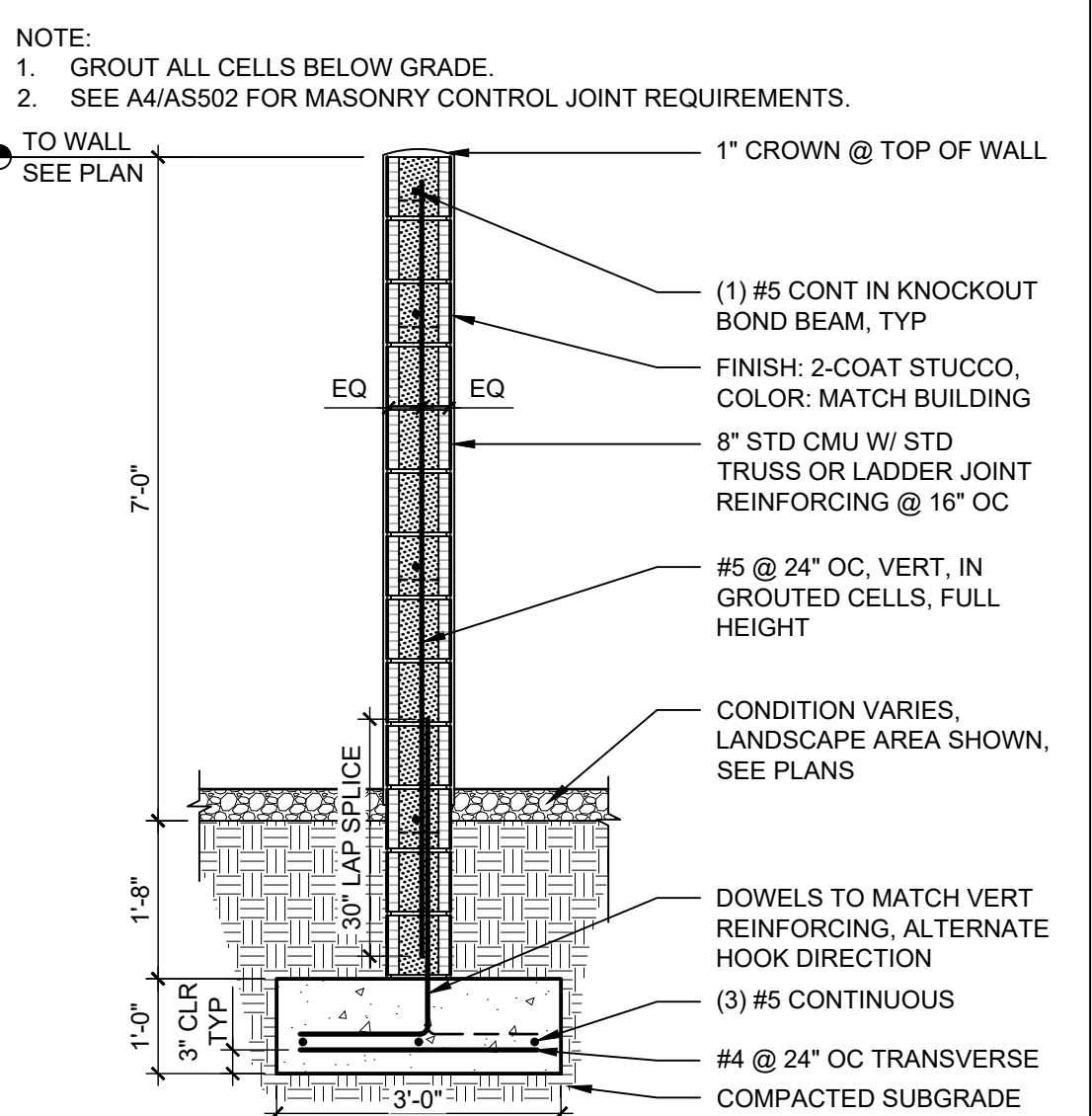
C1 TRASH ENCLOSURE
1/8" = 1'-0"



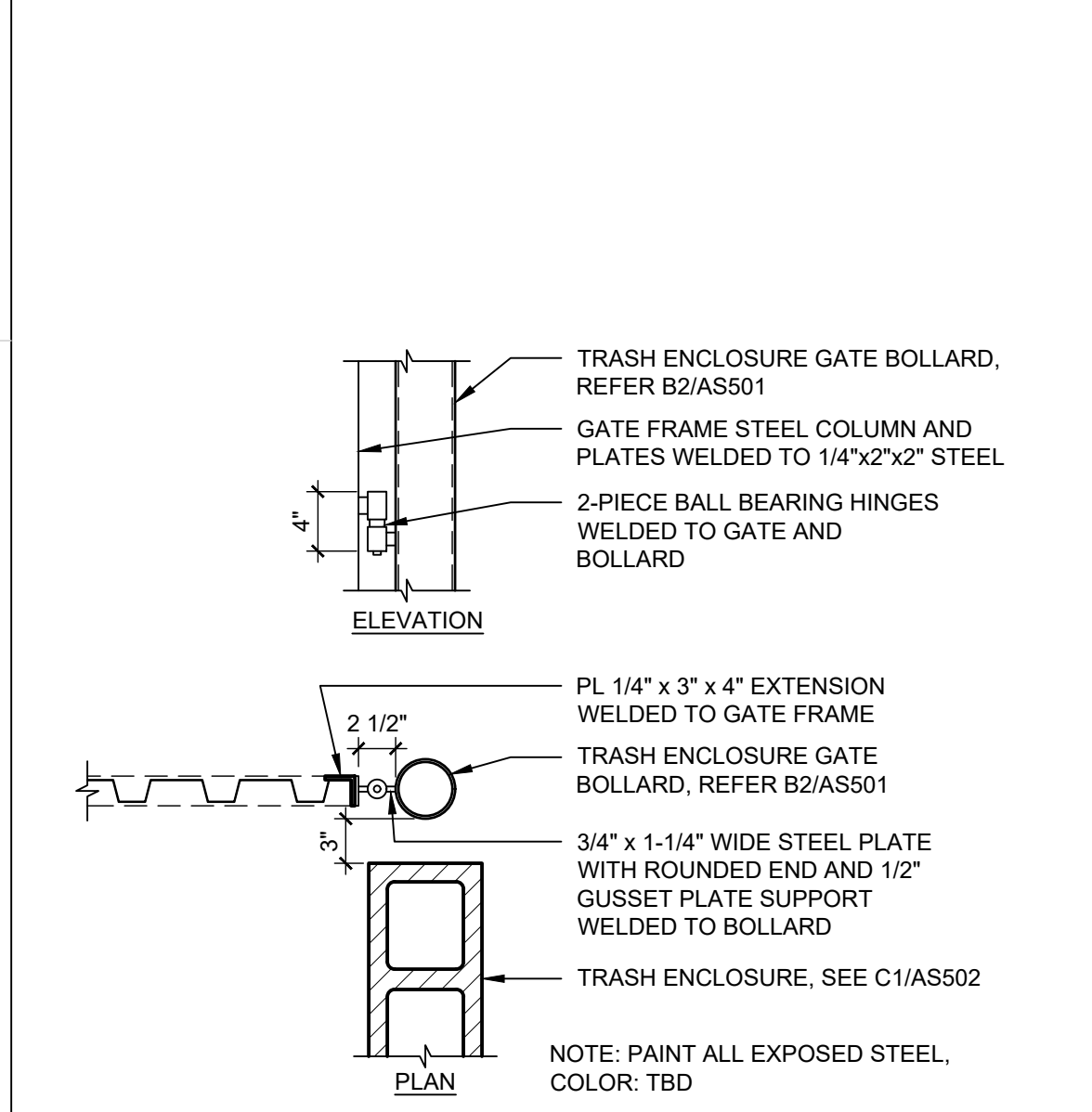
C2 STANDARD STAIR
1/2" = 1'-0"



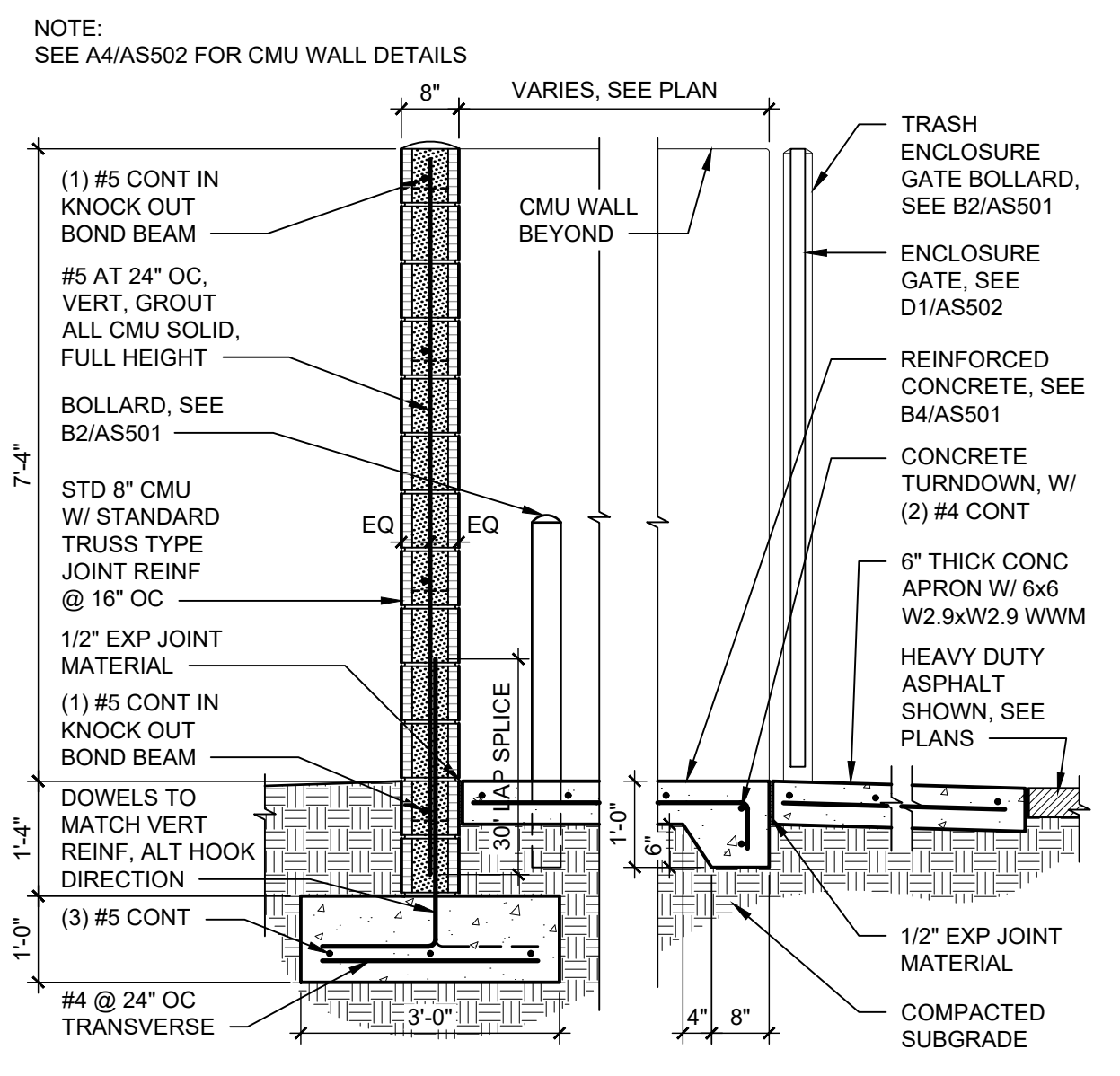
C4 6' CMU SCREEN WALL
1/2" = 1'-0"



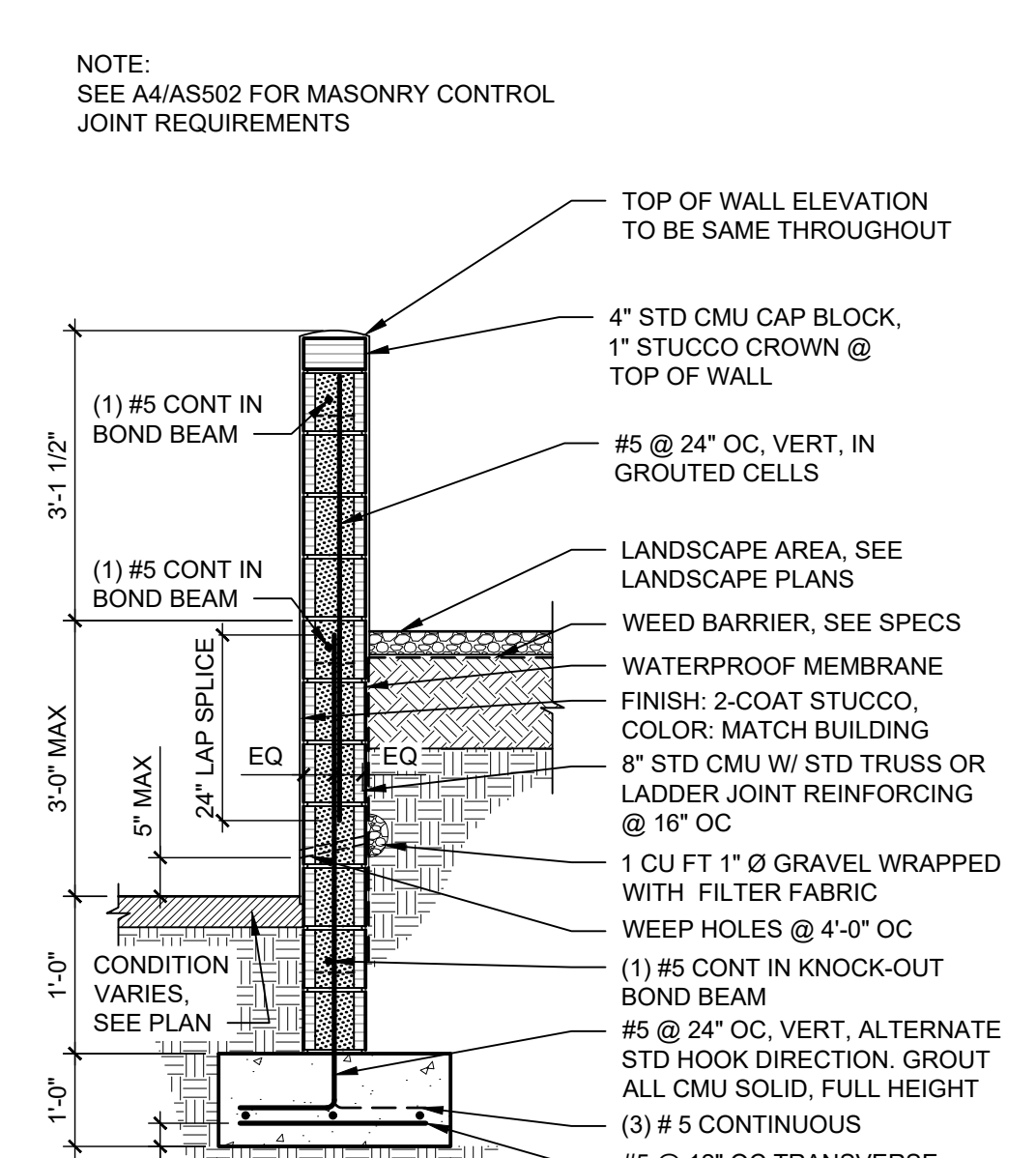
C5 7' CMU SCREEN WALL
1/2" = 1'-0"



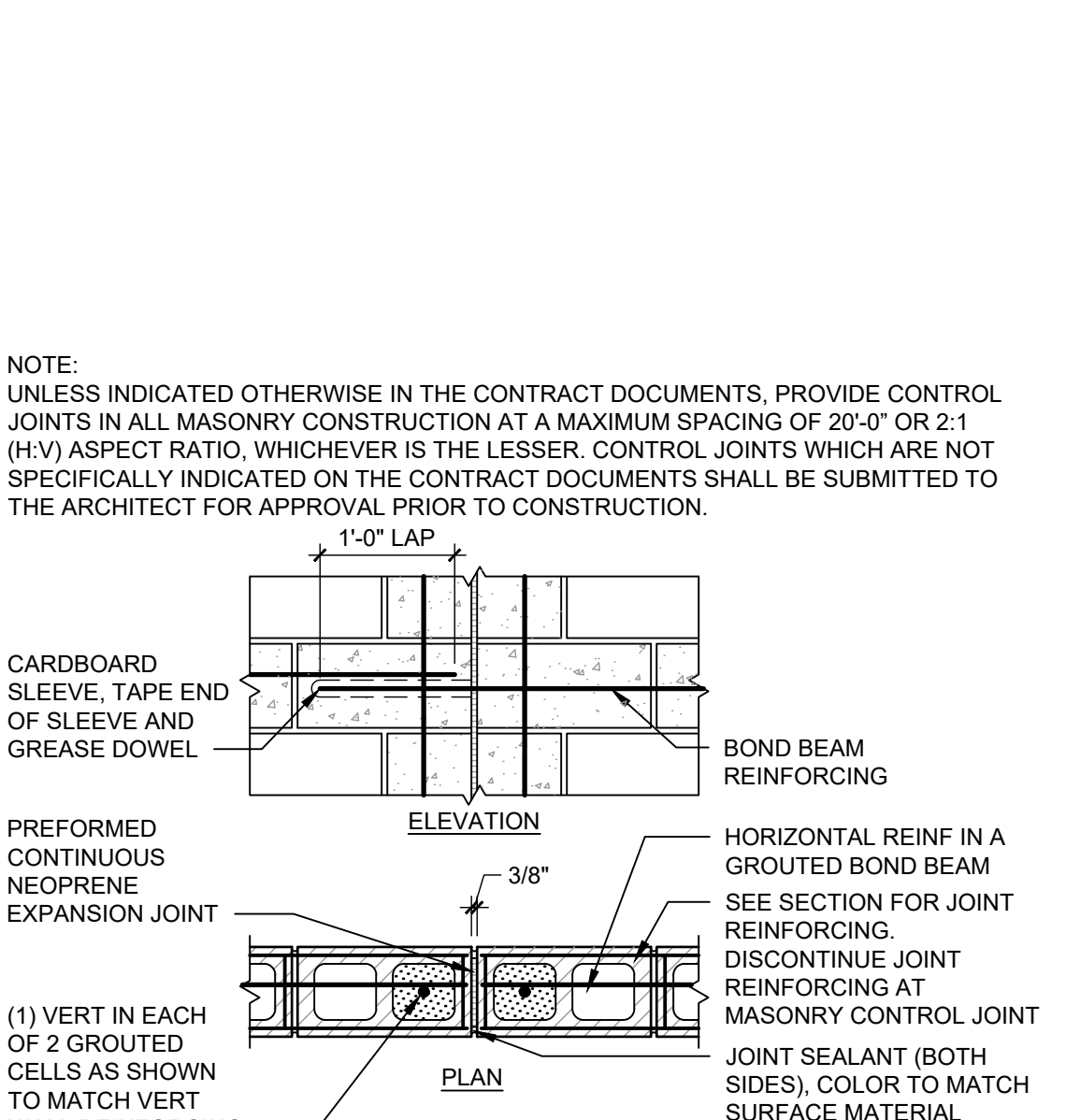
A1 BOLLARD CONNECTION @ TRASH ENCLOSURE GATE
1" = 1'-0"



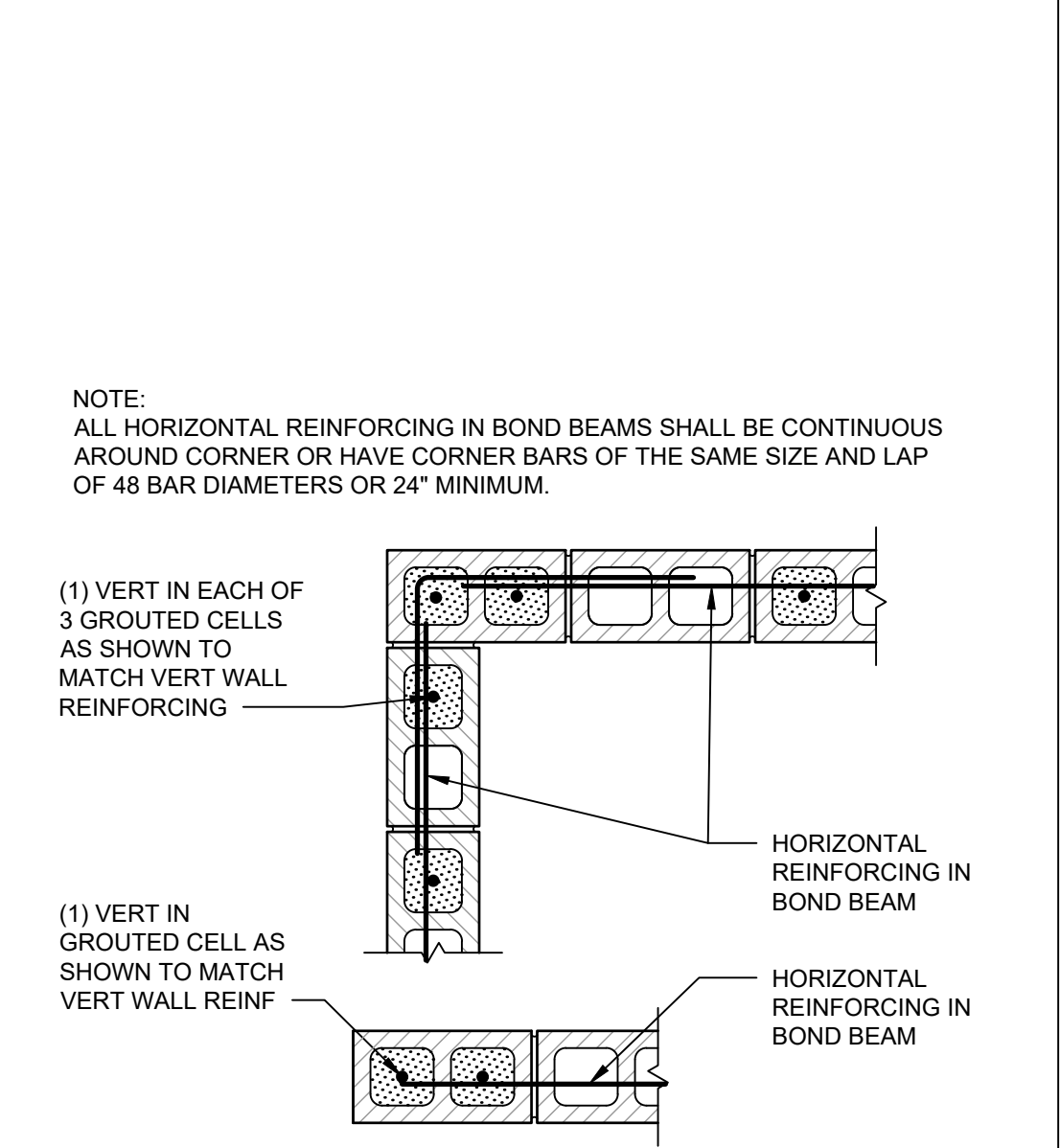
A2 TRASH ENCLOSURE CMU WALL AND GATE
1/2" = 1'-0"



A3 CMU RETAINING WALL
1/2" = 1'-0"



A4 MASONRY CONTROL JOINT
3/4" = 1'-0"



A5 8' CMU WALL END & CORNER DETAILS
3/4" = 1'-0"

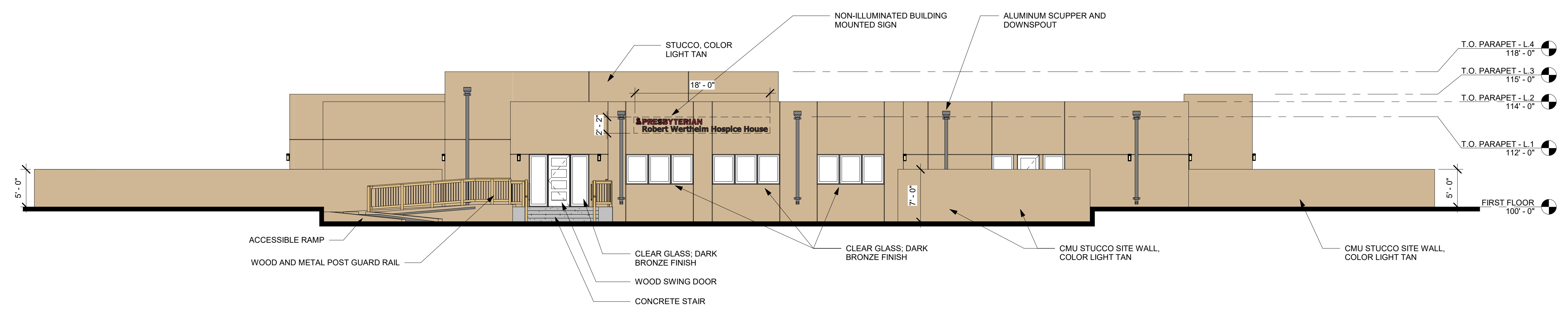
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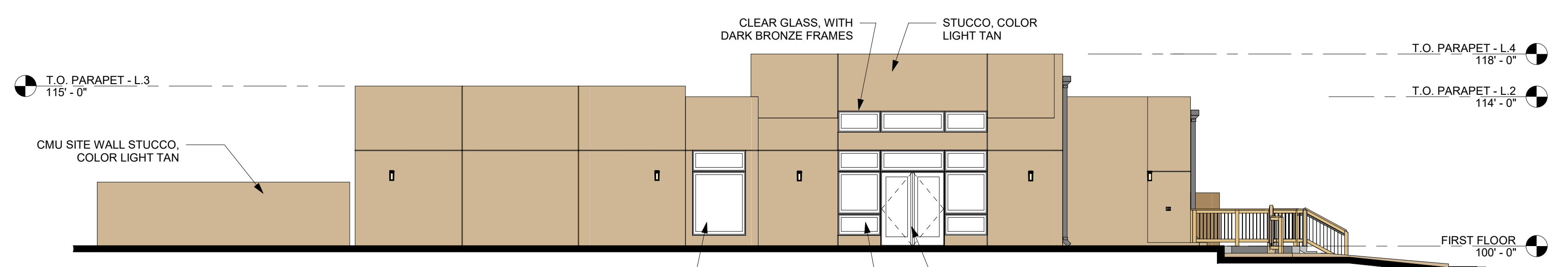
DRAWN BY	P. MOORE
REVIEWED BY	G. EVERETT
DATE	10/02/2020
PROJECT NO:	20-0023.001

DRAWING NAME
EXTERIOR ELEVATIONS

SHEET NO
AE200



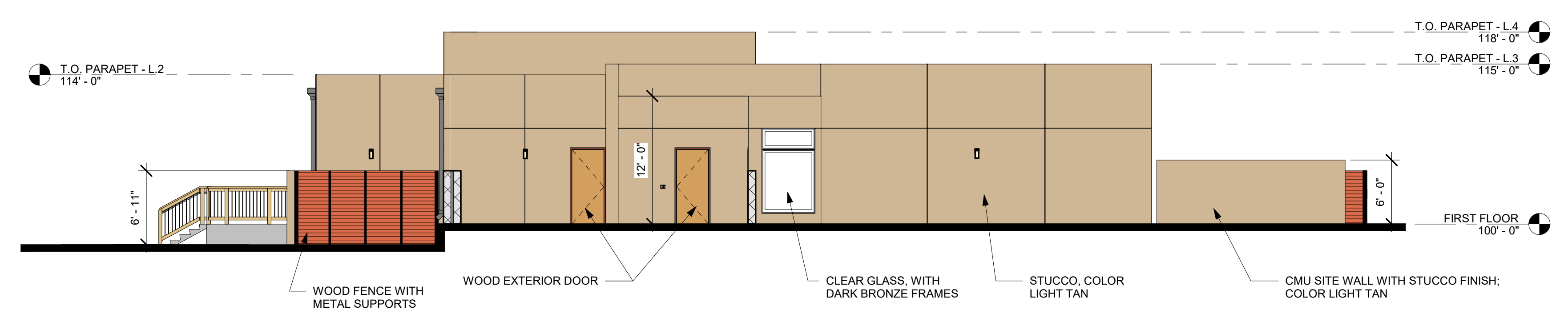
D2 SOUTH ELEVATION
1/8" = 1'-0"



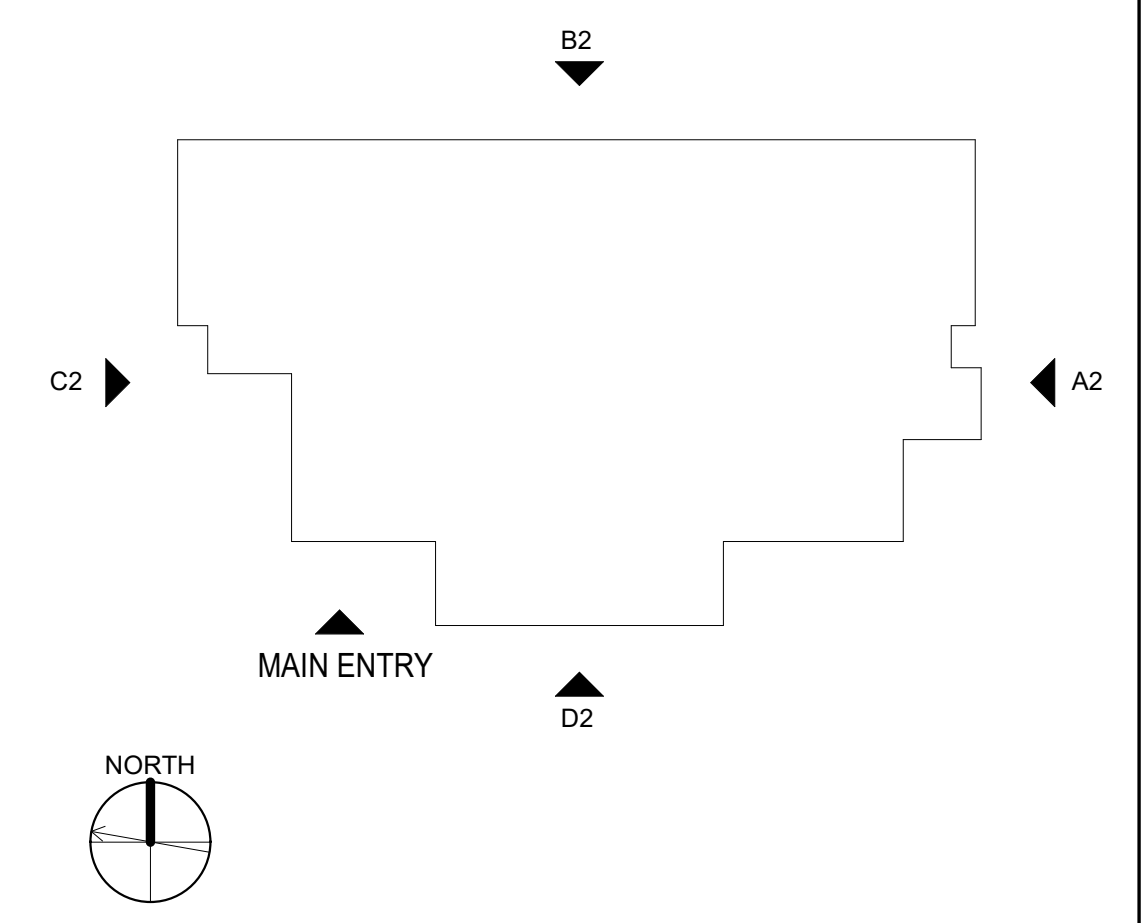
C2 WEST ELEVATION
1/8" = 1'-0"



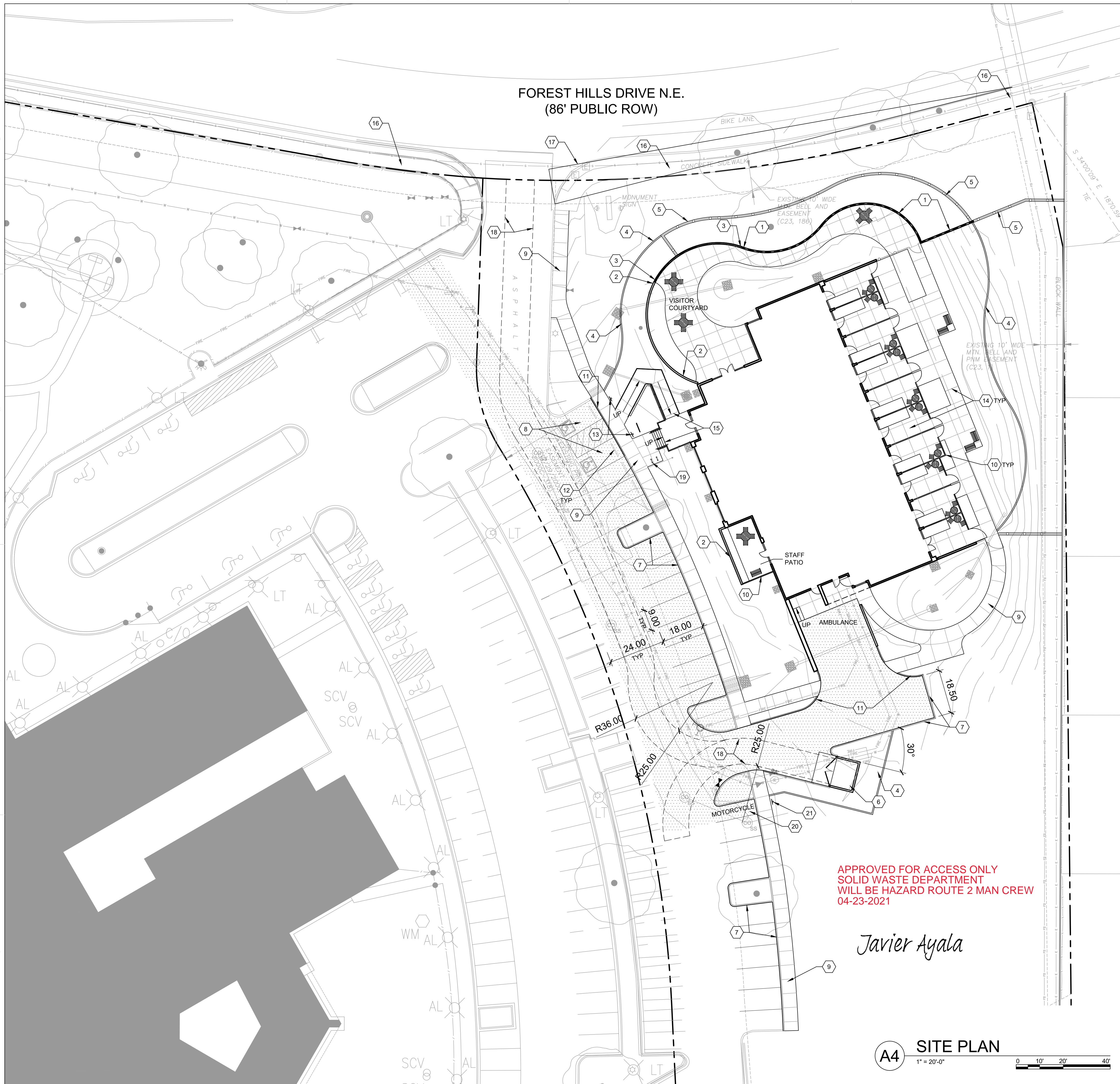
B2 NORTH ELEVATION
1/8" = 1'-0"



A2 EAST ELEVATION
1/8" = 1'-0"



2/25/2021 10:19:05 AM



GENERAL SHEET NOTES

1. EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
2. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
3. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
4. ALL DRIVE AISLES ARE 24' UNLESS NOTED OTHERWISE.
5. ALL EXISTING PARKING SPACES ARE 9'X20' UNLESS NOTED OTHERWISE.
6. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
7. ALL ADA PARKING IS EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
8. ALL PARKING SPACES ARE 9'X18', UNLESS NOTED OTHERWISE.

PROJECT DATA

BUILDING AREA: 7,984 SQ. FT.
LOT SIZE: 20.35 ACRES
ZONE: MX-H MIXED USE HIGH INTENSITY
CONSTRUCTION TYPE: IIB
OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

	REQUIRED	PROVIDED
HOSPICE HOUSE		
EXISTING BUILDINGS	393	789
HANDICAP SPACES	8	13
*EXISTING PARKING IS PER THE PRIOR APPROVED SITE DEVELOPMENT PLAN		
HOSPICE HOUSE (NURSING HOME = 1 SPACE PER 5 BEDS)	2	22
ACCESSIBLE PARKING	REQUIRED	PROVIDED
1-25 SPACES	1	2
2 VAN ACCESSIBLE		
MOTORCYCLE SPACES	REQUIRED	PROVIDED
1-25 REQUIRED PARKING	1	1
BICYCLE PARKING	REQUIRED	PROVIDED
3 SPACES OR 10%	3	4

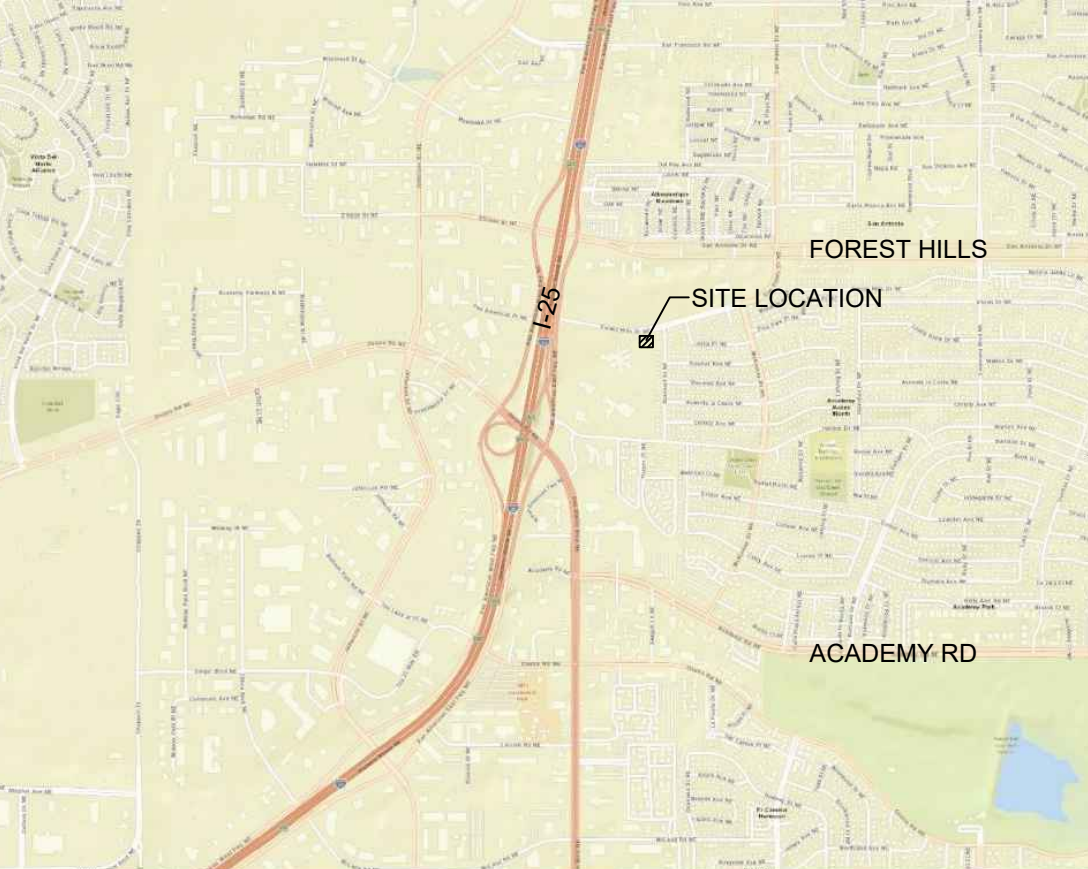
SHEET KEYED NOTES

1. KEYSTONE RETAINING WALL. CONTRACTOR TO COORDINATE INSTALLATION WITH IN-GROUND UTILITIES AND WALL MFG.
2. CMU SCREEN WALL. SEE C4/AS502.
3. CMU RETAINING WALL. SEE A3/AS502.
4. 12" CONCRETE MOW CURB. SEE B1/AS501.
5. 6' TALL STEEL SECURITY FENCE OVER CONCRETE MOW CURB. SEE SPECIFICATIONS.
6. TRASH ENCLOSURE. SEE C1/AS502.
7. NEW CONCRETE CURB AND GUTTER. SEE CIVIL AND C2/AS501.
8. 9' WIDE ACCESSIBLE PARKING SPACE WITH 9' WIDE ACCESS AISLE. SEE A1/AS501.
9. 6' WIDE CONCRETE SIDEWALK. SEE A3/AS501.
10. COMPOSITE WOOD FENCE SYSTEM. SEE SPECIFICATIONS.
11. FLUSH CONCRETE CURB. SEE CIVIL.
12. CONCRETE PARKING BUMPER. SEE A4/AS501.
13. ACCESSIBILITY SIGNAGE. SEE A5/AS501.
14. CONCRETE SIDEWALK. SEE A3/AS501.
15. CONCRETE RAMP AND STAIR. SEE C5/AS501.
16. EXISTING 6' WIDE CONCRETE SIDEWALK.
17. SITE TRIANGLE. NO SIGNAGE OR PLANT MATERIAL WITH A MATURE HEIGHT GREATER THAN 3'-0" TO BE IN THIS AREA. TREES TO BE MAINTAINED WITH LOWEST BRANCH NO LESS THAN 7'-0" FROM TOP OF GRADE.
18. REFUSE TRUCK CLEARANCE.
19. BICYCLE PARKING. SEE D2/AS501.
20. MOTORCYCLE PARKING. 4'X8' MINIMUM UNLESS NOTED OTHERWISE.
21. FREESTANDING UPRIGHT SIGN INDICATING MOTORCYCLE PARKING ONLY. SEE A5/AS501.

LEGEND

- PROPERTY LINE
 - - - BUILDING SETBACK
 - [Pattern] NEW ASPHALT PAVEMENT, SEE CIVIL
 - [Symbol] POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SOP5-3
 - [Symbol] NEW FIRE DEPARTMENT CONNECTION, SEE CIVIL
 - [Symbol] NEW FIRE HYDRANT, SEE CIVIL
 - [Symbol] WABASH WINCHESTER BENCH 4' LENGTH, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
 - [Symbol] WABASH WINCHESTER TABLE 4' Ø AND MOVEABLE WINCHESTER CHAIRS, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
 - [Symbol] WABASH WINCHESTER TABLE 3' Ø AND MOVEABLE WINCHESTER CHAIRS, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
- NOTE: ALL SITE FURNITURE SHOWN ABOVE IS TO BE OWNER FURNISHED CONTRACTOR INSTALLED.

VICINITY MAP



APPROVED FOR ACCESS ONLY
 SOLID WASTE DEPARTMENT
 WILL BE HAZARD ROUTE 2 MAN CREW
 04-23-2021

Javier Ayala

A4 SITE PLAN
 1" = 20'-0"

**DEKKER
 PERICH
 SABATINI**

ARCHITECTURE
 DESIGN
 INSPIRATION

ARCHITECT

ENGINEER

PROJECT

PHS HOSPICE HOUSE
 6000 FOREST HILLS DR. NE
 ALBUQUERQUE, NM

ISSUED FOR
 PERMITTING/
 CONSTRUCTION

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE 02/25/2021

PROJECT NO. 20-0023

DRAWING NAME

ARCHITECTURAL
 SITE PLAN

SHEET NO.

AS101
 OF