

**01 FORM P3**

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- \_\_\_ Archaeological Compliance Documentation Form with property information section completed
- \_\_\_ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- \_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- \_\_\_ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- \_\_\_ Copy of the Official Notice of Decision associated with the prior approval
- \_\_\_ Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

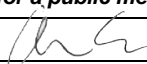


**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ALTERNATIVE SIGNAGE PLAN**

- \_\_\_ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- \_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- \_\_\_ Required notices with content per IDO Section 14-16-6-4(K)(6)
- \_\_\_ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- \_\_\_ Sign Posting Agreement

<b><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></b>		
<b>Signature:</b> 	<b>Date:</b> 3/2/2021	
<b>Printed Name:</b> Anthony Santi	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent	
<b>FOR OFFICIAL USE ONLY</b>		
Project Number:	Case Numbers	
PR-2021-005184	SI-2021-00289	
	-	
	-	
<b>Staff Signature:</b>		
<b>Date:</b>		

# 02 DEVELOPMENT REVIEW APPLICATION



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Anthony Santi, Dekker/Perich/Sabatini		Phone: (505)761-9700
Address: 7601 Jefferson St NW Suite 100		Email: AnthonyS@dpsdesign.org
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

### BRIEF DESCRIPTION OF REQUEST

Minor Administrative Amendment request for a new hospice house on Presbyterian Northside campus.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TRACT B-5-A-1-A PLAT OF TRACTS B-5-A-1-A, B-5-A-1-B UNIT 5ACADEMY ACRES SUBDIVISION CONT 20.3522 AC	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101806205736420201
Zone Atlas Page(s): E-18-Z	Existing Zoning: MX-H	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 20.3522

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: Forest Hills Dr NE	Between: 5900 Forest Hills NE	and: 6721 BARNHART ST NE
---	-------------------------------	--------------------------

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000871

<b>Signature:</b>	<b>Date:</b> 3/2/2021
<b>Printed Name:</b> Anthony Santi	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00289	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2021-005184

# 03 LETTER OF AUTHORIZATION



[www.phs.org](http://www.phs.org)

November 4, 2020

Mr. James Aranda  
Deputy Planning Director  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> St NW  
Albuquerque, NM 87102

**RE: DRB Site Plan**  
**5901 Harper Dr. NE Albuquerque, NM 87119**

Dear Mr. Aranda:

This letter authorizes Dekker/Perich/Sabatini LLC to represent Presbyterian Health System regarding the design and approval of all necessary steps related to the regulatory and permitting process with the city of Albuquerque for the property located at 5901 Harper Dr. NE. This letter authorizes Dekker/Perich/Sabatini LLC to act as Presbyterian Health System agent as necessary with the permitting and associated approval processes required for the proposed facilities on the property referenced above.

Please contact me at 248-342-7245 if there are any questions.

Sincerely,

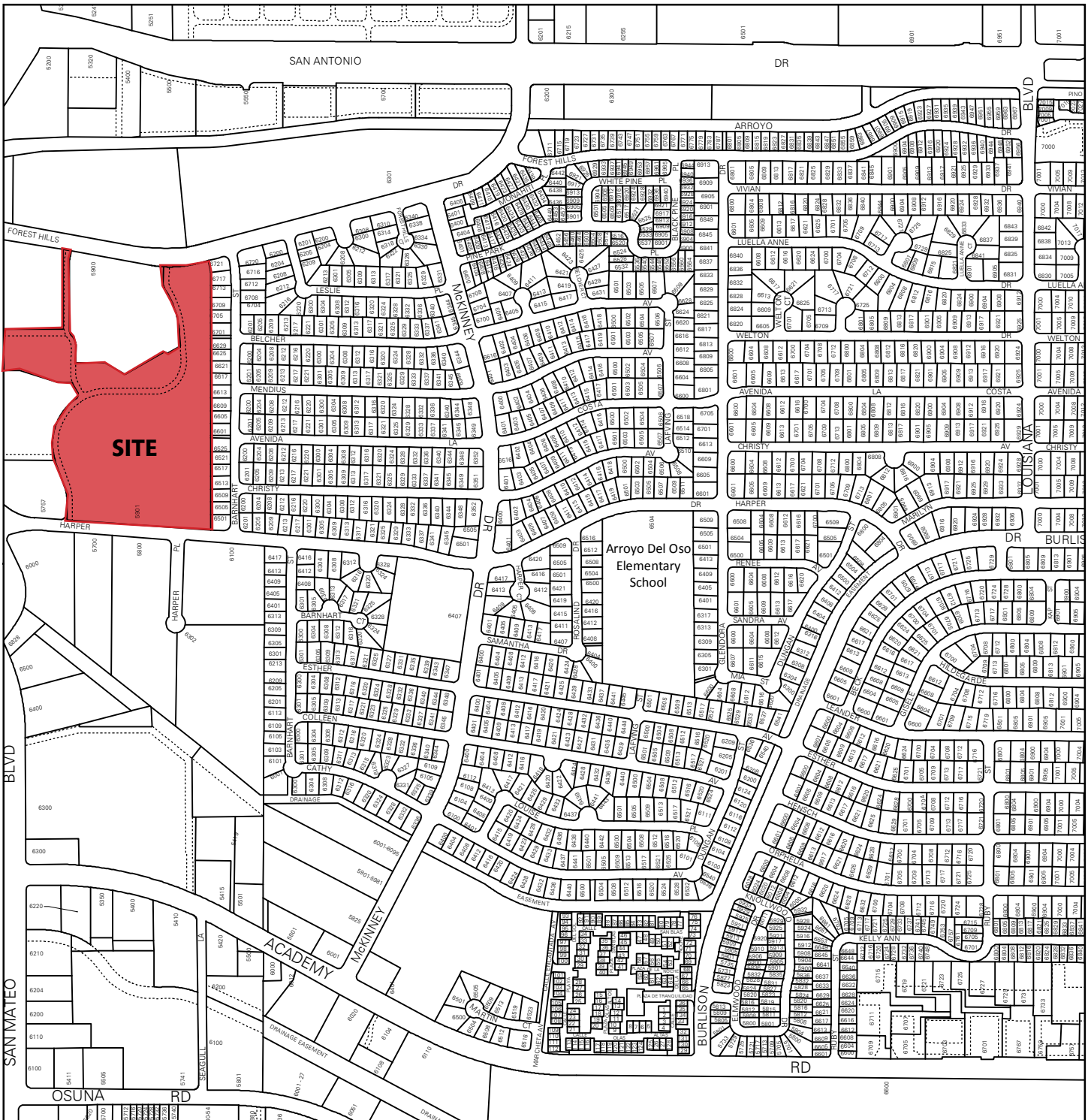
A handwritten signature in black ink, appearing to read "T. S. Elder", written over a white background.

Timothy S. Elder  
Vice President Real Estate  
Presbyterian Health System

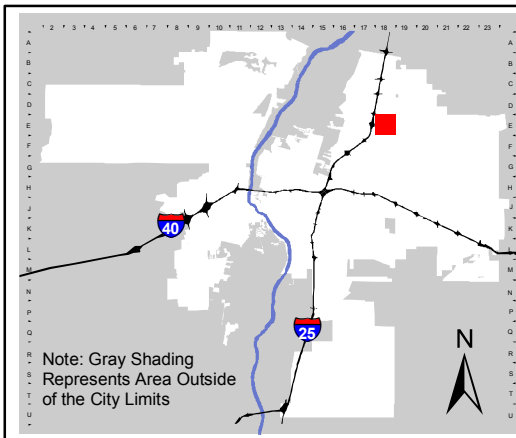
Presbyterian Health Plan  
PO Box 27489  
Albuquerque, NM 87125-7489

Presbyterian exists to improve the health of the patients, members and communities we serve.

# 04 ZONE ATLAS MAP



For more current information and details visit: [www.cabq.gov/gis](http://www.cabq.gov/gis)



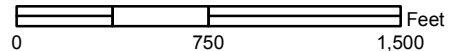
Address Map Page:

# E-18-Z

Map Amended through:  
3/17/2017



These addresses are for informational purposes only and are not intended for address verification.



Note: Gray Shading Represents Area Outside of the City Limits



## **05 JUSTIFICATION LETTER**

March 1, 2021

Zoning Enforcement Officer (ZEO)  
 City of Albuquerque Planning Department  
 600 Second Street NW | Albuquerque, NM 87102

**Re: Request for Administrative Amendment of a Site Development Plan  
 Presbyterian Healthcare Services  
 Presbyterian Northside Campus located at 5901 Harper Dr NE, Albuquerque, New Mexico 87109  
 (TRACTS B-5-A-1-A, B-5-A-1-B UNIT SACADEMY ACRES SUBDIVISION)**

Dear Zoning Enforcement Officer,

Presbyterian Healthcare Services, owner of the subject property, is seeking to amend the existing site development plan for Presbyterian Northside Campus located at 5901 Harper Dr NE in order to facilitate the construction of a new hospice house on the premise. This area qualifies as a premise as defined in the IDO as “any lot or combination of abutting or adjacent lots held in single ownership, together with the development on that lot or lots; there may be multiple occupancy.” The new hospice house will add 8,573 square feet to the premise, which amounts to a 3.4 percent change in total premise square footage. We are requesting a minor amendment to the governing site plan in order to accommodate this additional square footage.

The proposed amendment facilitates a new single-story, wood-constructed hospice house on the premise which will accommodate 10 beds for end-of-life care. The emphasis of this facility is to provide a dignified death for those who cannot afford this service otherwise. The site plan includes a visitor courtyard and a meditation garden that provide gathering areas for families and patients to be comfortable during final days of life. An enclosed carport is provided for the arrival of ambulances and the departure of hearses. This use is allowed within the MX-H zoning district under a nursing home (medical care is provided to patients) and is therefore an appropriate use for this vacant area of the premise.

The table below summarizes the change that would result from the site plan modification. The earliest approved site plan that is legible shows all the existing buildings on the premise. Therefore the percent change is calculated below:

Comparison Item	Year Approved	Approved Plan	Proposed AA	Proposed Change	% Change
Total Building Square Footage	2000	251,124 SF	259,697 SF	<b>Net gain 8,573 SF</b>	<b>3.4 % Change</b>

The requested site improvements outlined above equate to 3.4 percent change and therefore fall within the allowable 10 percent threshold for minor Administrative Amendments established in Table 6-4-5 which can be approved administratively by the Zoning Enforcement Officer (ZEO).

Based upon the rationale presented in this letter, we respectfully request approval of the proposed Site Development Plan Amendment to facilitate the construction of a hospice house on the Presbyterian Northside Campus. Upon completion, we feel that this project will contribute to the goals and growth policies of the Comprehensive Plan and will ensure that Presbyterian Healthcare Services is able to offer top quality care to the greater Albuquerque community. If you have any questions or need clarification of anything contained herein, please contact John Laur or Will Gleason at (505)761-9700.

Sincerely,



Will Gleason, AICP  
Principal, Dekker/Perich/Sabatini  
Agent for Presbyterian Healthcare Services

**06 APPROVED SITE PLAN**

# **PRESBYTERIAN FAMILY HEALTHCARE-NORTHSIDE** 6100 PAN AMERICAN FREEWAY NE ALBUQUERQUE, NEW MEXICO PRESBYTERIAN PROJECT NO. R-317

### Project Team

ARCHITECT: KEVIN GEORGES & ASSOCIATES  
 127 JEFFERSON STREET NE SUITE A  
 ALBUQUERQUE, NEW MEXICO 87108-9216  
 CONTACT: KEVIN GEORGES  
 PROJECT: PRESBYTERIAN FAMILY HEALTHCARE-NORTHSIDE  
 6100 PAN AMERICAN FREEWAY NE  
 ALBUQUERQUE, NEW MEXICO 87108-9216  
 CONTACT: KEVIN GEORGES

### Design Criteria

1. DESIGN CRITERIA  
 2. DESIGN CRITERIA  
 3. DESIGN CRITERIA  
 4. DESIGN CRITERIA  
 5. DESIGN CRITERIA  
 6. DESIGN CRITERIA

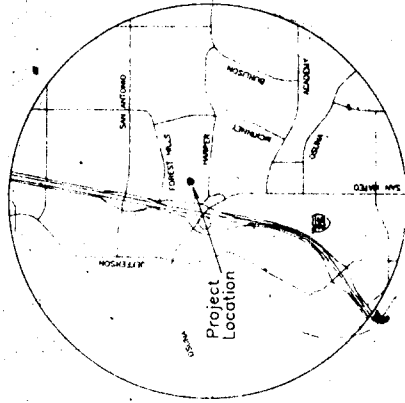
### Index of Drawings

01 SITE WATER PLAN  
 02 ARCHITECTURE  
 03 SITE ADJUSTMENT NO. 1  
 04 SITE ADJUSTMENT NO. 2  
 05 SITE ADJUSTMENT NO. 3  
 06 SITE ADJUSTMENT NO. 4  
 07 SITE ADJUSTMENT NO. 5

### Drafting Legend

1/8" = 1' OFFICE  
 1/4" = 1' OFFICE  
 1/2" = 1' OFFICE  
 1" = 1' OFFICE

### Location Map



ADMINISTRATIVE  
 DEVELOPMENT PLAN INSTRUMENT  
 FILE NO. Z-77-74-3  
 APPROVED BY: [Signature]  
 DATE: [Date]  
 PROJECT MANAGER: [Name]

Z-77-74-3  
 1 of 5



Z-77-74-3

Set No.

Kevin Georges & Associates • Architecture and Planning • 127 Jefferson Street NE • Suite A • Albuquerque, New Mexico • 87108-9216 • (505)255-4975



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 175 ARIZONA AVENUE NE  
 ALBUQUERQUE, NEW MEXICO 87102-3171  
 (505) 273-3171



PLANS/PLATS ON FILE

FILE DESC:

Z-77-74-3

# PLANS/PLATS 5

**Keyed Notes C1:**

**Presbyterian Family Healthcare - Northside**  
6100 Pan American Freeway NE  
Albuquerque, New Mexico  
Project Title  
Architect: Kerth, Georger & Associates  
Date: 9/23/74  
Project No. 8317

**Design Criteria:**

- LAND REQUIREMENTS**
- AREA OF SITE: 31.22 ACRES
  - 30-1 ZONING USE FOR MEDICAL AND RELATED USES
  - USE OF STRUCTURES: OFFICE BUILDING, COMMERCIAL CENTER, CONSULTANT CENTER, LABORATORY CLINE 1-2
- PRELIMINARY DESIGN**
- PRELIMINARY NORTHWEST MEDICAL OFFICE BUILDING: 71,427 SQ. FT.
  - PRELIMINARY NORTHWEST HOSPITAL: 108,000 SQ. FT.
  - PRELIMINARY PHARMACY CONSULTANT CENTER: 21,000 SQ. FT.
  - OFFICE (ADMINISTRATIVE) - HOSPITAL AREA: 48,775 SQ. FT.
  - SUBTOTAL: 249,202 SQ. FT.
  - PRELIMINARY NORTHWEST MEDICAL OFFICE BUILDING ADDITION: 1,420 SQ. FT.
  - 2ND FLOOR: 3,200 SQ. FT.
  - TOTAL ADDITION: 4,620 SQ. FT.
  - TOTAL BUILDING AREA: 253,822 SQ. FT.

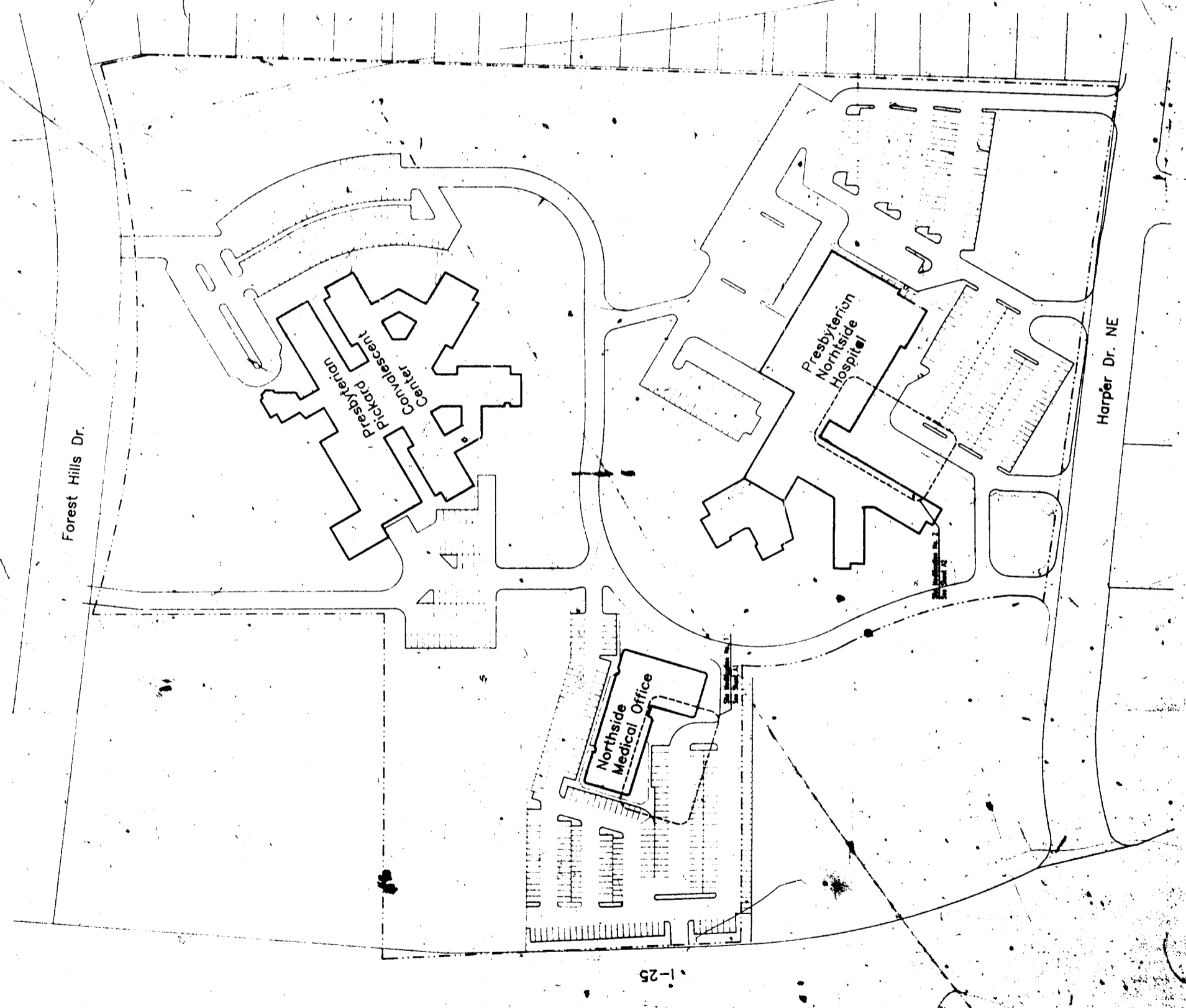
- REQUIREMENTS**
- PRELIMINARY NORTHWEST MEDICAL OFFICE BUILDING: 71,427 SQ. FT. ALL. 71 SPACES  
GROUND FLOOR: 200 SQ. FT. ALL. 20 SPACES  
2ND FLOOR: 1,000 SQ. FT. ALL. 100 SPACES  
TOTAL: 1,200 SQ. FT. ALL. 120 SPACES
  - PRELIMINARY NORTHWEST HOSPITAL: 108,000 SQ. FT. ALL. 60 SPACES
  - PRELIMINARY PHARMACY CONSULTANT CENTER: 21,000 SQ. FT. ALL. 60 SPACES
  - OFFICE (ADMINISTRATIVE) - HOSPITAL AREA: 48,775 SQ. FT. ALL. 28 SPACES
  - GROUND FLOOR: 1,700 SQ. FT. ALL. 17 SPACES  
2ND FLOOR: 1,500 SQ. FT. ALL. 15 SPACES  
TOTAL: 3,200 SQ. FT. ALL. 32 SPACES
  - TOTAL REQUIRED FOR SITE: 253,822 SQ. FT. ALL. 242 SPACES

- PROVIDED**
- PRELIMINARY NORTHWEST MEDICAL OFFICE BUILDING: 71,427 SQ. FT. ALL. 71 SPACES  
GROUND FLOOR: 200 SQ. FT. ALL. 20 SPACES  
2ND FLOOR: 1,000 SQ. FT. ALL. 100 SPACES  
TOTAL: 1,200 SQ. FT. ALL. 120 SPACES
  - PRELIMINARY NORTHWEST HOSPITAL: 108,000 SQ. FT. ALL. 60 SPACES
  - PRELIMINARY PHARMACY CONSULTANT CENTER: 21,000 SQ. FT. ALL. 60 SPACES
  - OFFICE (ADMINISTRATIVE) - HOSPITAL AREA: 48,775 SQ. FT. ALL. 28 SPACES
  - GROUND FLOOR: 1,700 SQ. FT. ALL. 17 SPACES  
2ND FLOOR: 1,500 SQ. FT. ALL. 15 SPACES  
TOTAL: 3,200 SQ. FT. ALL. 32 SPACES
  - TOTAL PROVIDED FOR SITE: 253,822 SQ. FT. ALL. 242 SPACES

- LANDSCAPE AREAS**
- REQUIRED: 103,000 SQ. FT.
  - PROVIDED: 103,000 SQ. FT.
  - REDUCTION BY ADDITION: 103,000 SQ. FT.
  - TOTAL LANDSCAPE PROVIDED: 103,000 SQ. FT.

- STAIRWELL AREAS**
- REQUIRED: 103,000 SQ. FT.
  - PROVIDED: 103,000 SQ. FT.
  - REDUCTION BY ADDITION: 103,000 SQ. FT.
  - TOTAL STAIRWELL PROVIDED: 103,000 SQ. FT.

- REDUCTION BY ADDITION**
- REDUCTION BY ADDITION: 103,000 SQ. FT.
  - REDUCTION BY ADDITION: 103,000 SQ. FT.
  - REDUCTION BY ADDITION: 103,000 SQ. FT.
  - TOTAL LANDSCAPE PROVIDED: 103,000 SQ. FT.



2-77-74-3  
S.P.L.  
2.2.8

**Site Master Plan**

Z-77-74-3

A

LEGAL DESCRIPTION  
 1.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 2.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 3.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 4.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 5.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 6.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 7.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 8.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 9.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...  
 10.0000 ACRES MORE OR LESS BEING THE TRACT OF LAND...

PROJECT DATA  
 1. PROJECT NO. 15-111-10-01  
 2. SHEET NO. 1 OF 1  
 3. SCALE: AS SHOWN  
 4. DATE: 11/15/73  
 5. DESIGNER: [Signature]  
 6. CLIENT: [Signature]

AMENDMENT  
 1. AMENDMENT NO. 1  
 2. DATE: 11/15/73  
 3. DESCRIPTION: [Signature]  
 4. REASON: [Signature]

APPROVED FOR THE CITY OF PHOENIX  
 [Signature]  
 11/15/73

APPROVED FOR THE COUNTY OF MARICOPA  
 [Signature]  
 11/15/73

APPROVED FOR THE STATE OF ARIZONA  
 [Signature]  
 11/15/73

SYMBOL DESCRIPTION

[Symbol]	Proposed Building Footprint
[Symbol]	Proposed Parking Spaces
[Symbol]	Proposed Driveway
[Symbol]	Proposed Walkway
[Symbol]	Proposed Utility Lines
[Symbol]	Proposed Landscaping
[Symbol]	Proposed Fencing
[Symbol]	Proposed Street
[Symbol]	Proposed Alley
[Symbol]	Proposed Easement
[Symbol]	Proposed Right-of-Way
[Symbol]	Proposed Survey
[Symbol]	Proposed Elevation
[Symbol]	Proposed Plan

PLANS  
 1. 1st Floor Plan  
 2. 2nd Floor Plan  
 3. 3rd Floor Plan  
 4. 4th Floor Plan  
 5. 5th Floor Plan  
 6. 6th Floor Plan  
 7. 7th Floor Plan  
 8. 8th Floor Plan  
 9. 9th Floor Plan  
 10. 10th Floor Plan  
 11. 11th Floor Plan  
 12. 12th Floor Plan  
 13. 13th Floor Plan  
 14. 14th Floor Plan  
 15. 15th Floor Plan  
 16. 16th Floor Plan  
 17. 17th Floor Plan  
 18. 18th Floor Plan  
 19. 19th Floor Plan  
 20. 20th Floor Plan  
 21. 21st Floor Plan  
 22. 22nd Floor Plan  
 23. 23rd Floor Plan  
 24. 24th Floor Plan  
 25. 25th Floor Plan  
 26. 26th Floor Plan  
 27. 27th Floor Plan  
 28. 28th Floor Plan  
 29. 29th Floor Plan  
 30. 30th Floor Plan  
 31. 31st Floor Plan  
 32. 32nd Floor Plan  
 33. 33rd Floor Plan  
 34. 34th Floor Plan  
 35. 35th Floor Plan  
 36. 36th Floor Plan  
 37. 37th Floor Plan  
 38. 38th Floor Plan  
 39. 39th Floor Plan  
 40. 40th Floor Plan  
 41. 41st Floor Plan  
 42. 42nd Floor Plan  
 43. 43rd Floor Plan  
 44. 44th Floor Plan  
 45. 45th Floor Plan  
 46. 46th Floor Plan  
 47. 47th Floor Plan  
 48. 48th Floor Plan  
 49. 49th Floor Plan  
 50. 50th Floor Plan  
 51. 51st Floor Plan  
 52. 52nd Floor Plan  
 53. 53rd Floor Plan  
 54. 54th Floor Plan  
 55. 55th Floor Plan  
 56. 56th Floor Plan  
 57. 57th Floor Plan  
 58. 58th Floor Plan  
 59. 59th Floor Plan  
 60. 60th Floor Plan  
 61. 61st Floor Plan  
 62. 62nd Floor Plan  
 63. 63rd Floor Plan  
 64. 64th Floor Plan  
 65. 65th Floor Plan  
 66. 66th Floor Plan  
 67. 67th Floor Plan  
 68. 68th Floor Plan  
 69. 69th Floor Plan  
 70. 70th Floor Plan  
 71. 71st Floor Plan  
 72. 72nd Floor Plan  
 73. 73rd Floor Plan  
 74. 74th Floor Plan  
 75. 75th Floor Plan  
 76. 76th Floor Plan  
 77. 77th Floor Plan  
 78. 78th Floor Plan  
 79. 79th Floor Plan  
 80. 80th Floor Plan  
 81. 81st Floor Plan  
 82. 82nd Floor Plan  
 83. 83rd Floor Plan  
 84. 84th Floor Plan  
 85. 85th Floor Plan  
 86. 86th Floor Plan  
 87. 87th Floor Plan  
 88. 88th Floor Plan  
 89. 89th Floor Plan  
 90. 90th Floor Plan  
 91. 91st Floor Plan  
 92. 92nd Floor Plan  
 93. 93rd Floor Plan  
 94. 94th Floor Plan  
 95. 95th Floor Plan  
 96. 96th Floor Plan  
 97. 97th Floor Plan  
 98. 98th Floor Plan  
 99. 99th Floor Plan  
 100. 100th Floor Plan

SECTION 101  
 1. Section 101  
 2. Section 102  
 3. Section 103  
 4. Section 104  
 5. Section 105  
 6. Section 106  
 7. Section 107  
 8. Section 108  
 9. Section 109  
 10. Section 110  
 11. Section 111  
 12. Section 112  
 13. Section 113  
 14. Section 114  
 15. Section 115  
 16. Section 116  
 17. Section 117  
 18. Section 118  
 19. Section 119  
 20. Section 120  
 21. Section 121  
 22. Section 122  
 23. Section 123  
 24. Section 124  
 25. Section 125  
 26. Section 126  
 27. Section 127  
 28. Section 128  
 29. Section 129  
 30. Section 130  
 31. Section 131  
 32. Section 132  
 33. Section 133  
 34. Section 134  
 35. Section 135  
 36. Section 136  
 37. Section 137  
 38. Section 138  
 39. Section 139  
 40. Section 140  
 41. Section 141  
 42. Section 142  
 43. Section 143  
 44. Section 144  
 45. Section 145  
 46. Section 146  
 47. Section 147  
 48. Section 148  
 49. Section 149  
 50. Section 150  
 51. Section 151  
 52. Section 152  
 53. Section 153  
 54. Section 154  
 55. Section 155  
 56. Section 156  
 57. Section 157  
 58. Section 158  
 59. Section 159  
 60. Section 160  
 61. Section 161  
 62. Section 162  
 63. Section 163  
 64. Section 164  
 65. Section 165  
 66. Section 166  
 67. Section 167  
 68. Section 168  
 69. Section 169  
 70. Section 170  
 71. Section 171  
 72. Section 172  
 73. Section 173  
 74. Section 174  
 75. Section 175  
 76. Section 176  
 77. Section 177  
 78. Section 178  
 79. Section 179  
 80. Section 180  
 81. Section 181  
 82. Section 182  
 83. Section 183  
 84. Section 184  
 85. Section 185  
 86. Section 186  
 87. Section 187  
 88. Section 188  
 89. Section 189  
 90. Section 190  
 91. Section 191  
 92. Section 192  
 93. Section 193  
 94. Section 194  
 95. Section 195  
 96. Section 196  
 97. Section 197  
 98. Section 198  
 99. Section 199  
 100. Section 200

VICINITY MAP  
 1. Vicinity Map  
 2. Vicinity Map  
 3. Vicinity Map  
 4. Vicinity Map  
 5. Vicinity Map  
 6. Vicinity Map  
 7. Vicinity Map  
 8. Vicinity Map  
 9. Vicinity Map  
 10. Vicinity Map  
 11. Vicinity Map  
 12. Vicinity Map  
 13. Vicinity Map  
 14. Vicinity Map  
 15. Vicinity Map  
 16. Vicinity Map  
 17. Vicinity Map  
 18. Vicinity Map  
 19. Vicinity Map  
 20. Vicinity Map  
 21. Vicinity Map  
 22. Vicinity Map  
 23. Vicinity Map  
 24. Vicinity Map  
 25. Vicinity Map  
 26. Vicinity Map  
 27. Vicinity Map  
 28. Vicinity Map  
 29. Vicinity Map  
 30. Vicinity Map  
 31. Vicinity Map  
 32. Vicinity Map  
 33. Vicinity Map  
 34. Vicinity Map  
 35. Vicinity Map  
 36. Vicinity Map  
 37. Vicinity Map  
 38. Vicinity Map  
 39. Vicinity Map  
 40. Vicinity Map  
 41. Vicinity Map  
 42. Vicinity Map  
 43. Vicinity Map  
 44. Vicinity Map  
 45. Vicinity Map  
 46. Vicinity Map  
 47. Vicinity Map  
 48. Vicinity Map  
 49. Vicinity Map  
 50. Vicinity Map  
 51. Vicinity Map  
 52. Vicinity Map  
 53. Vicinity Map  
 54. Vicinity Map  
 55. Vicinity Map  
 56. Vicinity Map  
 57. Vicinity Map  
 58. Vicinity Map  
 59. Vicinity Map  
 60. Vicinity Map  
 61. Vicinity Map  
 62. Vicinity Map  
 63. Vicinity Map  
 64. Vicinity Map  
 65. Vicinity Map  
 66. Vicinity Map  
 67. Vicinity Map  
 68. Vicinity Map  
 69. Vicinity Map  
 70. Vicinity Map  
 71. Vicinity Map  
 72. Vicinity Map  
 73. Vicinity Map  
 74. Vicinity Map  
 75. Vicinity Map  
 76. Vicinity Map  
 77. Vicinity Map  
 78. Vicinity Map  
 79. Vicinity Map  
 80. Vicinity Map  
 81. Vicinity Map  
 82. Vicinity Map  
 83. Vicinity Map  
 84. Vicinity Map  
 85. Vicinity Map  
 86. Vicinity Map  
 87. Vicinity Map  
 88. Vicinity Map  
 89. Vicinity Map  
 90. Vicinity Map  
 91. Vicinity Map  
 92. Vicinity Map  
 93. Vicinity Map  
 94. Vicinity Map  
 95. Vicinity Map  
 96. Vicinity Map  
 97. Vicinity Map  
 98. Vicinity Map  
 99. Vicinity Map  
 100. Vicinity Map

FILE 1662  
 2-77-A-3  
 48M

# 08 PROPOSED SITE PLAN



## GENERAL SHEET NOTES

- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- ALL DRIVE AISLES ARE 24' UNLESS NOTED OTHERWISE.
- ALL EXISTING PARKING SPACES ARE 9'X20' UNLESS NOTED OTHERWISE.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- ALL ADA PARKING IS EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
- ALL PARKING SPACES ARE 9'X18', UNLESS NOTED OTHERWISE.

## PROJECT DATA

**BUILDING AREA:** 7,984 SQ. FT.

**LOT SIZE:** 20.35 ACRES

**ZONE:** MX-H MIXED USE HIGH INTENSITY

**CONSTRUCTION TYPE:** IIB

**OCCUPANCY TYPE:** B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

## PARKING CALCULATIONS

### AMBULATORY CARE CENTER

PHASE I - 12,000 S.F.

PHASE II - 4,000 S.F.

1 SPACES PER 5 BEDS =

REQUIRED PROVIDED

ACCESSIBLE PARKING

51-75 SPACES

2 VAN ACCESSIBLE

REQUIRED PROVIDED

MOTORCYCLE SPACES

REQUIRED PROVIDED

BICYCLE PARKING

1 SPACE PER 20 PARKING SPACES

REQUIRED PROVIDED

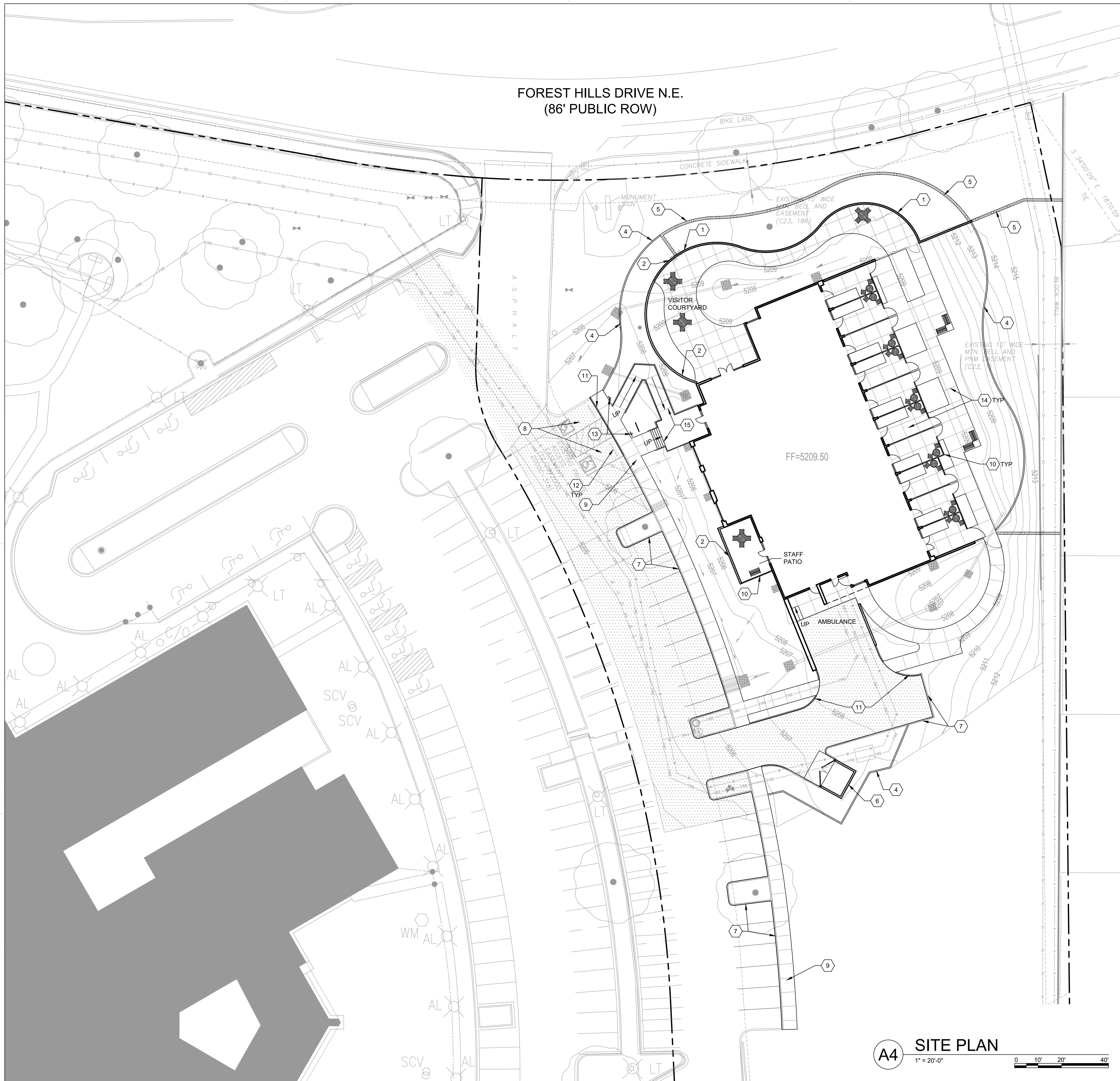
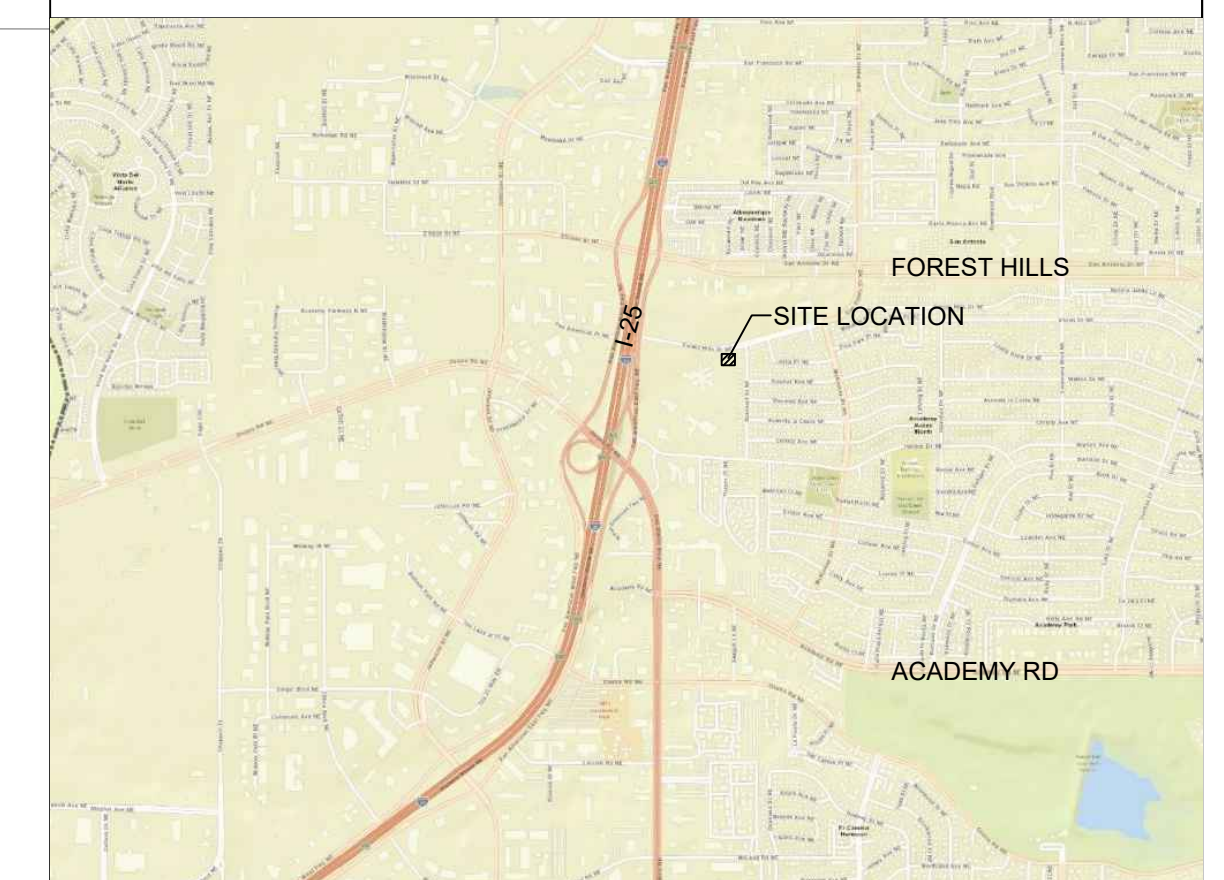
## SHEET KEYED NOTES

- KEYSTONE RETAINING WALL. CONTRACTOR TO COORDINATE INSTALLATION WITH IN-GROUND UTILITIES AND WALL MFG.
- CMU SCREEN WALL, SEE C4/AS502.
- NOT USED
- 12" CONCRETE MOW CURB, SEE B1/AS501.
- 6" TALL STEEL SECURITY FENCE OVER CONCRETE MOW CURB, SEE SPECIFICATIONS.
- TRASH ENCLOSURE, SEE C1/AS502.
- NEW CONCRETE CURB AND GUTTER, SEE CIVIL.
- ACCESSIBLE PARKING, SEE A1/AS501.
- 6" WIDE CONCRETE SIDEWALK, SEE A3/AS501.
- COMPOSITE WOOD FENCE SYSTEM, SEE SPECIFICATIONS.
- FLUSH CONCRETE CURB, SEE CIVIL.
- CONCRETE PARKING BUMPER, SEE A4/AS501.
- ACCESSIBILITY SIGNAGE, SEE A5/AS501.
- CONCRETE SIDEWALK, SEE A3/AS501.
- CONCRETE RAMP AND STAIR, SEE C5/AS501.

## LEGEND

	PROPERTY LINE
	BUILDING SETBACK
	NEW ASPHALT PAVEMENT, SEE CIVIL
	POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SDP5-3
	NEW FIRE DEPARTMENT CONNECTION, SEE CIVIL
	NEW FIRE HYDRANT, SEE CIVIL
	WABASH WINCHESTER BENCH 4' LENGTH, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
	WABASH WINCHESTER TABLE 4' Ø AND MOVEABLE WINCHESTER CHAIRS, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
	WABASH WINCHESTER TABLE 3' Ø AND MOVEABLE WINCHESTER CHAIRS, COLOR: ESPRESSO FAUX WOOD SLATS, SMOKE COLORED FRAME
NOTE: ALL SITE FURNITURE SHOWN ABOVE IS TO BE OWNER FURNISHED CONTRACTOR INSTALLED.	

## VICINITY MAP



**A4 SITE PLAN**  
1" = 20'-0"  
0 10' 20' 40'

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

PROJECT

PHS HOSPICE HOUSE  
6000 FOREST HILLS DR. NE  
ALBUQUERQUE, NM

ADMINISTRATIVE  
AMENDMENT

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE 02/25/2021

PROJECT NO. 20-0023

DRAWING NAME

ARCHITECTURAL  
SITE PLAN

SHEET NO.

**AS101**  
OF



VICINITY/FEMA MAP #35001CO139G



**GRADING KEYED NOTES**

1. INSTALL HDPE (N12WT OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
2. GRASS LANDSCAPED SWALE, SEE LANDSCAPE PLAN FOR STABILIZATION.
3. INSTALL 24" SIDEWALK CULVERT PER COA STD DWG 2236.
4. INSTALL CURB OPENING PER DETAIL C-201.
5. RETAINING WALL, SEE STRUCTURAL PLAN FOR DETAILS.
6. INSTALL RIP RAP PAD PER DETAIL A2 SHEET C-201.
7. INSTALL 10" NYLOPLAST STORM DRAIN INLET WITH DOME GRATE.
8. INSTALL 2-24" SIDEWALK CULVERTS PER COA STD DWG 2236.
9. DEPRESS LANDSCAPE AREA TO PROVIDED POSITIVE DRAINAGE FROM ROOF DRAIN OUTLET TO SIDEWALK CULVERT.
10. CENTER RIP RAP PAD ON ROOF DRAIN OUTFALL.
11. INSTALL TURNBLOCK IN WALL.
12. CURB TRANSITION, SEE PAVING PLAN.

**NOTE**

HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

**NOTE**

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

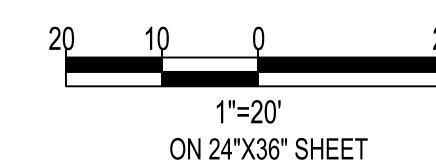
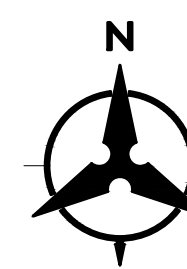
**NOTE**

CONTRACTOR SHALL PROVIDE AS-BUILT GRADING INFORMATION STAMPED BY A PROFESSIONAL SURVEYOR. AS-BUILT INFORMATION REQUIRED SHALL BE COORDINATED WITH THE ENGINEER AND SHALL BE SUFFICIENTLY DETAILED TO VERIFY THAT THE DRAINAGE WILL FUNCTION IN ACCORDANCE WITH THE DESIGN. AS-BUILT DATA SHALL BE PROVIDED AT LEAST 5 WORKING DAYS PRIOR TO CONTRACTOR'S REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY. AT A MINIMUM, AS-BUILT DATA SHALL INCLUDE:

- ALL GRATES AND INVERTS OF CATCH BASINS
- APPROXIMATELY 75% OF ALL DESIGN SPOT ELEVATIONS & FINISHED FLOOR ELEVATIONS.

**LEGEND**

- LIMITS OF GRADING
- - - PROPERTY LINE
- 95.40 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB
- FL=FLOW LINE
- TC=TOP OF CONCRETE
- TS=TOP OF SIDEWALK
- TG=TOP OF GRATE
- FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- INV=INVERT
- 4960 --- EXISTING INDEX CONTOUR
- 4959 --- EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- ~~~~~ WATER BLOCK/GRADE BREAK
- ⊗ PROPOSED STORM DRAIN MANHOLE
- ⊕ PROPOSED STORM DRAIN INLETS
- ⊓ PROPOSED STORM DRAIN CAP



**GRADING GENERAL NOTES**

- A. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST, AND INCLUDED IN THE GMP.
- C. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- D. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- E. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- F. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE INSPECTOR. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- G. PAVING AND ROADWAY GRADES SHALL BE +0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +0.05' FROM BUILDING PLAN ELEVATION.
- H. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- I. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
- J. THE CONTRACTOR SHALL PROVIDE AS-BUILTS SURVEY DATA TO ENSURE COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SURVEY SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO. THE AS-BUILT DRAWING SHALL BE CERTIFIED BY THE SURVEYOR OF RECORD.

**GENERAL NOTES**

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE BERNALILLO COUNTY, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- O. THE CONTRACTOR SHALL PROVIDE 1 HARD COPY AND 1 ELECTRONIC COPY OF THE EPA STORM WATER POLLUTION PREVENTION PLAN ALONG WITH THE APPROPRIATE SUBMITTAL FEE TO CITY OF ALBUQUERQUE TWO WEEKS PRIOR TO THE START OF SITE DISTURBANCE.

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

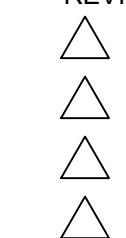


PROJECT

**PHS HOSPICE HOUSE**  
6000 FOREST HILLS DR. NE  
ALBUQUERQUE, NM

**ADMINISTRATIVE  
AMENDMENT**

REVISIONS



DRAWN BY	BF
REVIEWED BY	MS
DATE	02/24/2021
PROJECT NO.	20-0023
DRAWING NAME	

GRADING PLAN

SHEET NO.

C-100

OF

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

**UTILITY NOTES**

- A. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- B. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- C. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- D. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- E. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- F. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- G. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- H. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- J. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- K. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

**WATERLINE KEYED NOTES**

1. CONNECT TO EXISTING WATERLINE PER COA STD DWG 2363.
2. INSTALL DOMESTIC SERVICE (SIZE PER PLAN).
3. INSTALL FIRE DEPARTMENT CONNECTION (SIZE PER PLAN).
4. INSTALL FIRE PROTECTION LINE (SIZE PER PLAN).
5. INSTALL FIRE HYDRANT PER COA STD DWG 2340. PAINT HYDRANT SAFETY ORANGE.
6. INSTALL REMOTE FIRE DEPARTMENT CONNECTION PER DETAIL "C3" SHEET C-201.
7. INSTALL POST INDICATOR VALVE PER DETAIL "C1" SHEET C-201.
8. INSTALL 45° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
9. INSTALL 90° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
10. INSTALL 11.25° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
11. INSTALL 1-6" GATE VALVE WITH BOX AND LID PER COA STD DWG 2326.
12. INSTALL 22.5° W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
13. INSTALL NEW 6" X6" TEE W/ RESTRAINED JOINTS AS NECESSARY.
14. INSTALL 1-6" FIRE PROTECTION REDUCED PRESSURE BACKFLOW PREVENTION DEVICE, 2-2-1/2" REDUCED BACKFLOW PREVENTION DEVICES WITHIN TRIPLE HEATED ENCLOSURE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ELECTRICAL PLANS FOR POWER.
15. INSTALL PRIVATE 2" WATER METER AND BOX PER COA STD 2367.
16. INSTALL 4"x2-1/2" REDUCER WITH RESTRAINED JOINTS AS NECESSARY.
17. STUB DOMESTIC SERVICE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
18. STUB FIRE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
19. STUB FIRE DEPARTMENT CONNECTION TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
20. CONNECT TO EXISTING WATERLINE.
21. INSTALL BYPASS 2-1/2" DOMESTIC SERVICE WITH REDUCED BACKFLOW PREVENTION DEVICE. SEE DETAIL "A4" SHEET C-201 FOR VALVE LOCATIONS.

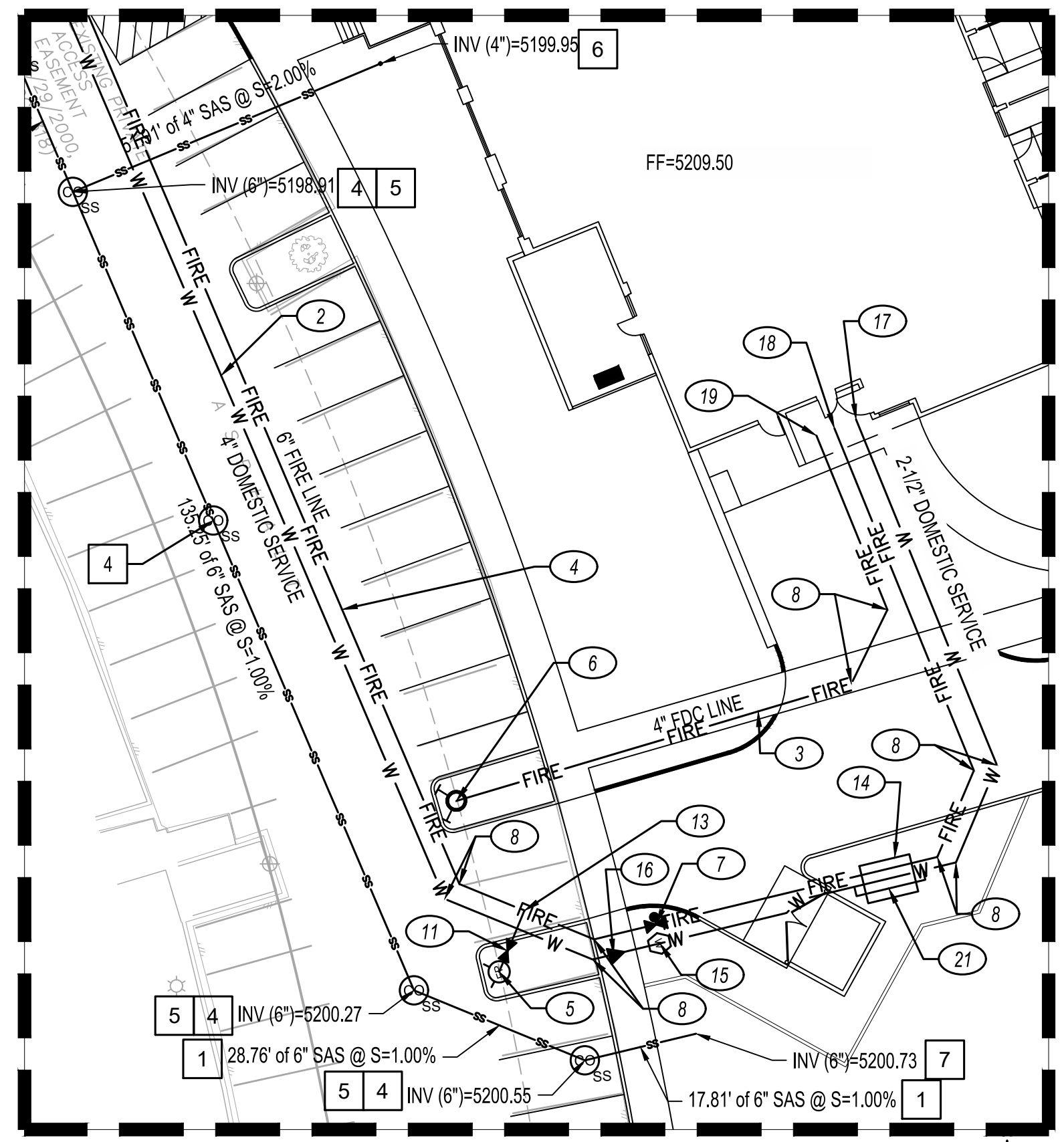
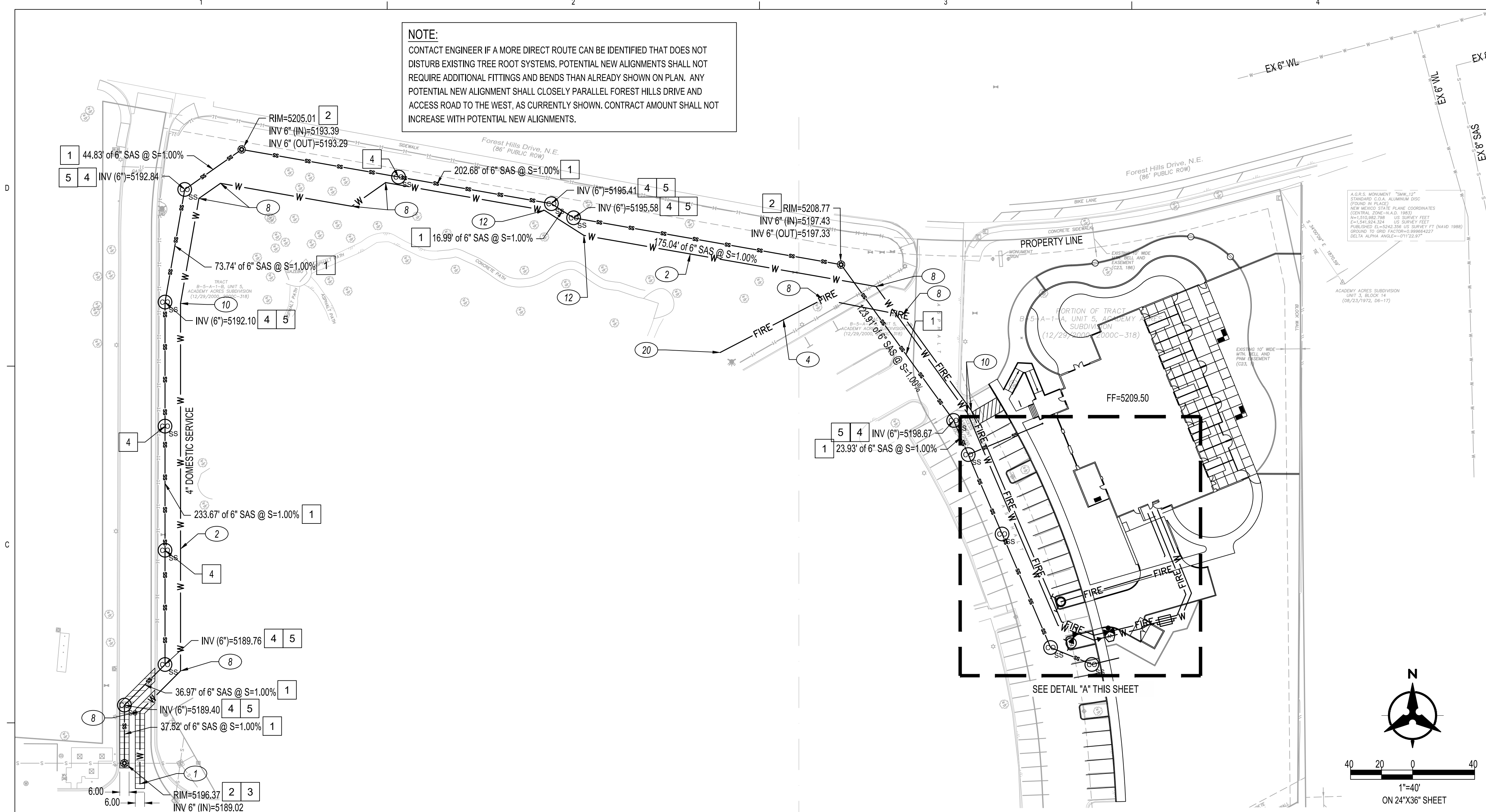
**SANITARY SEWER KEYED NOTES**

1. INSTALL SANITARY SEWER SERVICE. SEE PLAN FOR SIZE AND SLOPE.
2. INSTALL NEW TYPE "E" SANITARY SEWER MANHOLE PER COA STD DWG 2102
3. CONNECT TO EXISTING SANITARY SEWER.
4. INSTALL SANITARY SEWER CLEANOUT PER DETAIL "A1" SHEET C-201.
5. INSTALL WATERTIGHT PRE-FABRICATED SANITARY SEWER FITTING.
6. INSTALL SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
7. STUB SANITARY SEWER SERVICE FOR FUTURE DEVELOPMENT. INSTALL CLEANOUT PER DETAIL "A1" SHEET C-201 AT STUB LOCATION.

**NOTE:**  
PRIVATE UTILITY EASEMENT TO BE GRANTED ON TRACT B-5-A-1-B FOR FIRE, DOMESTIC, AND SANITARY SEWER USE.

**Bohannon & Huston**  
www.bhinc.com 800.877.5332

**NOTE:**  
CONTACT ENGINEER IF A MORE DIRECT ROUTE CAN BE IDENTIFIED THAT DOES NOT DISTURB EXISTING TREE ROOT SYSTEMS. POTENTIAL NEW ALIGNMENTS SHALL NOT REQUIRE ADDITIONAL FITTINGS AND BENDS THAN ALREADY SHOWN ON PLAN. ANY POTENTIAL NEW ALIGNMENT SHALL CLOSELY PARALLEL FOREST HILLS DRIVE AND ACCESS ROAD TO THE WEST, AS CURRENTLY SHOWN. CONTRACT AMOUNT SHALL NOT INCREASE WITH POTENTIAL NEW ALIGNMENTS.



**A** **DETAIL "A"** SCALE: 1"=20'

**LEGEND**

	EASEMENTS
	PROPERTY LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE LINE
	PROPOSED VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED POST INDICATOR VALVE
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	EXISTING UTILITY TO BE REMOVED
	ASPHALT PAVEMENT REMOVE AND REPLACEMENT FOR UTILITY INSTALLATION

**DEKKER PERICH SABATINI**

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

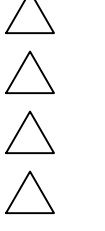


PROJECT

**PHS HOSPICE HOUSE**  
6000 FOREST HILLS DR. NE  
ALBUQUERQUE, NM

ADMINISTRATIVE AMENDMENT

REVISIONS



DRAWN BY	BF
REVIEWED BY	MS
DATE	02/24/2021
PROJECT NO.	20-0023
DRAWING NAME	

UTILITY PLAN

SHEET NO.

C-200

OF

REVISIONS
△
△
△
△
△
△

DRAWN BY	CD
REVIEWED BY	CM/MB
DATE	01/15/2021
PROJECT NO.	20-0023.001
DRAWING NAME	LANDSCAPE PLAN

**PLANT LEGEND**

SEE PLANTING DETAILS LP501

TREES	COMMON NAME
	REDPOINTE RED MAPLE
	NEW MEXICO PRIVET
	URBANITE ASH
	TUSCARORA GRAPE MYRTLE
	VELVET PILLAR CRABAPPLE
	PINON PINE
	AUSTRIAN BLACK PINE
	COTTONLESS RIO GRANDE COTTONWOOD
	GREEN GIANT ARBORVITAE

SHRUBS	COMMON NAME
	BLACK KNIGHT BUTTERFLY BUSH
	WINTER GEM JAPANESE BOXWOOD
	GREEN TOWER COMMON BOXWOOD
	RED TWIG DOGWOOD
	LENA'S BROOM
	PURPLE PIG GRAPE MYRTLE
	'PINKIE' INDIAN HAWTHORNE
	PINK SPLASH CARPET GROUNDCOVER ROSE
	SUNNY KNOCK OUT YELLOW ROSE
	ARP ROSEMARY
	BLUE SPIRES ROSEMARY
	LITTLE DARLING LILAC

GRASSES	COMMON NAME
	BLUE AVENA OAT GRASS
	MAIDEN GRASS
	REGAL MIST PINK MUHLY GRASS
	EL TORO MUHLY GRASS

GROUNDCOVERS	COMMON NAME
	LARGE YELLOW DAFFODIL

PERENNIALS	COMMON NAME
	HOLLYHOCK
	DWARF PLUMBAGO
	SUPREME CANTALOUPE CONEFLOWER
	POWWOW WILD BERRY CONEFLOWER
	ENDLESSLY CORAL DAYLILY
	HIDCOTE SUPERIOR BLUE LAVENDER
	FAT BUD FRENCH LAVENDER
	FURMAN'S RED SALVIA

VINES	COMMON NAME
	TRUMPET CREEPER VINE
	ENGLISH IVY
	BRITE EYES CLIMBING ROSE

**GENERAL SHEET NOTES**

- THE CONTRACTOR SHALL PROTECT THE EXISTING LANDSCAPE AREAS TO REMAIN, AND LANDSCAPE AREAS THAT ARE DISTURBED DURING CONSTRUCTION WILL BE REPAIRED TO THEIR ORIGINAL CONDITION. THIS INCLUDES THE ADJACENT SITE ALONG FOREST HILLS DRIVE AND THE ADJACENT SITE SOUTH OF THE NEW BUILDING, WHICH WILL BE DISTURBED FOR UTILITY CONNECTIONS. SEE DEMOLITION PLANS.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS (14-16-5-6), WATER CONSERVATION ORDINANCE AND POLLEN ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: DISTURBED LANDSCAPE AREAS ARE OR SHALL BE COVERED WITH TURF, OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH NEW TREE ROOTBALL AREA DRIP LINE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS PER TABLE S-6-1 OF THE IDO.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE MINIMUM IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE MINIMUM ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- EXISTING PLANT MATERIAL TO BE PRESERVED ON THE PROPERTY IS SHOWN AND QUANTIFIED IN THE LANDSCAPE CALCULATIONS.
- SEE SITE PLAN FOR IMPERVIOUS AREAS AND EASEMENTS.

**IRRIGATION NOTES**

- THE CONTRACTOR SHALL RETROFIT THE EXISTING IRRIGATION SYSTEM FOLLOWING THE INSTALLATION OF TREE AND PLANT PROTECTION MEASURES AND PRIOR TO DEMOLITION AND THE BEGINNING OF CONSTRUCTION TO ENSURE THAT THE REMAINING PLANT MATERIAL ON THE CAMPUS RECEIVES IRRIGATION DURING CONSTRUCTION. THE CONTRACTOR MAY TEMPORARILY MODIFY THE EXISTING IRRIGATION SYSTEM TO ASSURE IRRIGATION TO THE REMAINING PLANT MATERIALS FOR THE DURATION OF CONSTRUCTION.
- EXISTING IRRIGATION SYSTEM COMPONENTS TO REMAIN SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS UPON COMPLETION OF THE PROJECT. SEE DEMOLITION PLANS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY THE LANDSCAPE CONTRACTOR TO IRRIGATE TREES, SHRUBS, SOD AND GROUNDCOVER PLANTINGS.
- THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
- VALVE BOX COVERS SHALL BE TAN COLOR IN MULCH AREAS, AND GREEN IN LAWN AREAS.
- THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER FOLLOWING THE END OF THE 90 DAY MAINTENANCE PERIOD.
- PRESBYTERIAN SPECIFIC REQUIREMENTS:
  - NO SLEEVING OF LATERALS UNDER PAVEMENT
  - NO POLYPIPE TO POLYPIPE CONNECTIONS
  - LIMIT POLYPIPE LENGTHS TO 75' MAX
  - DRIP EMITTERS TO BE ATTACHED AT PLANT END OF DRIP TUBING
  - DRIP EMITTERS TO BE DISTRIBUTED AROUND EACH ROOTBALL
  - DRIP EMITTERS TO BE PLACED ON UPHILL SIDES OF ROOTBALL
  - DRIP SYSTEM TUBING TO BE PLACED ON TOP OF WEED BARRIER FABRIC

**LANDSCAPE CALCULATIONS**

REQUIRED VEGETATIVE COVERAGE  
 TOTAL NEW MULCHED LANDSCAPE AREA PROVIDED: 18,286  
 TOTAL VEGETATIVE COVER REQUIRED = 13,715 SF (75% OF TOTAL MULCHED LANDSCAPE AREA)  
 TOTAL VEGETATIVE COVER PROVIDED = 15,872 SF (86% OF TOTAL MULCHED LANDSCAPE AREA)

TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 4572 SF (25% OF TOTAL MULCHED LANDSCAPE AREA)  
 TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 4887 SF (26% OF TOTAL MULCHED LANDSCAPE AREA)

GROUND COVER MATERIAL  
 TOTAL ROCK MULCH GROUND COVER = 13,444 SF (74% OF MULCHED LANDSCAPE AREA)  
 TOTAL ORGANIC MULCH GROUND COVER = 4842 SF (26% OF MULCHED LANDSCAPE AREA)  
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED. A MINIMUM OF 25% ORGANIC MULCH IS REQUIRED. 14-16-5-6(c)(5)(d)

**SHEET KEYED NOTES**

- VEGETATED SWALE. SEE B3/LP501
- PROTECT AND REPAIR EXISTING IRRIGATION SYSTEM AND EXISTING LANDSCAPING IN THIS AREA. SEE IRRIGATION NOTES
- LOCATION OF FUTURE WATER FEATURE. WATER AND POWER TO BE PROVIDED.
- TREE PLANTED IN TURF. SEE A4/LP501

**LEGEND**

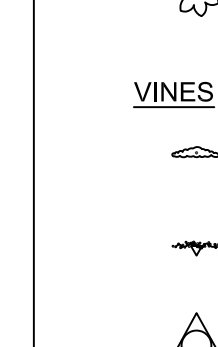
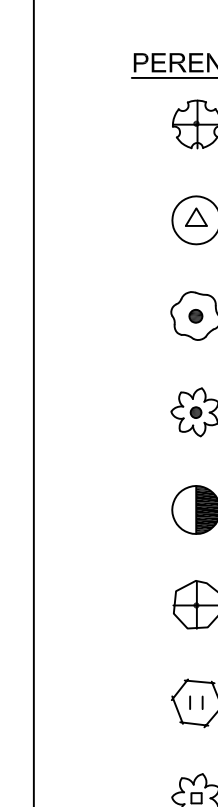
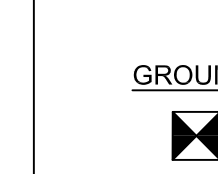
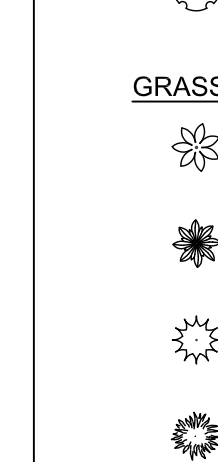
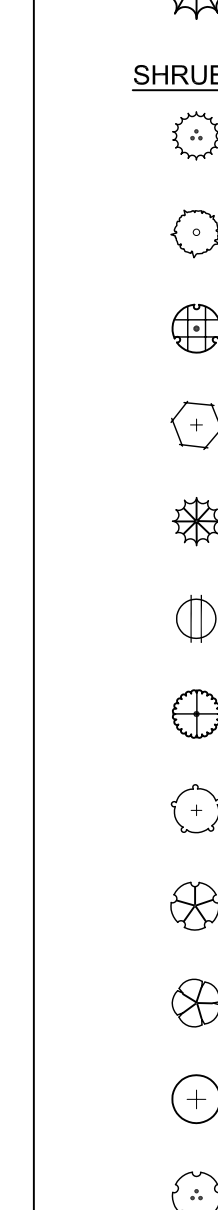
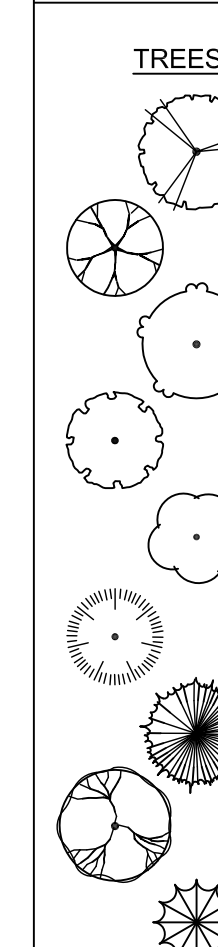
	PROPERTY LINE
	EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
	'NATIVE MULCH' SHREDDED BARK MULCH AT 2" DEPTH OVER WEED BARRIER FABRIC
	7/16\"/>
	1-2\"/>
	TURF GRASS SOD REPAIR OF EXISTING LAWN AREA, PARK BLEND
	TURF GRASS SEEDING REPAIR OF EXISTING LAWN AREA, PARK BLEND SEE LP501 FOR ADDITIONAL INFORMATION
	EXISTING VEGETATION TO REMAIN
	BOULDER, SEE D1/LP501



NORTH  
A1  
**LANDSCAPE PLAN**  
1" = 20' 0"

## PLANT SCHEDULE

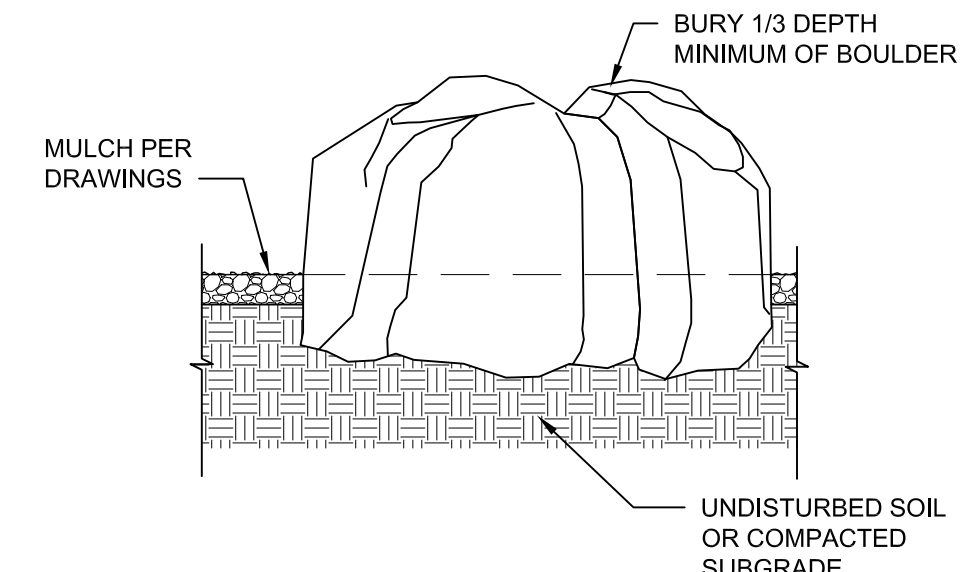
TREES	EST QTY	BOTANICAL / COMMON NAME	SEE A1, A3 & A4/LP501	SIZE/COND.	MAT. HT.	MAT. DIA.
	3	ACER RUBRUM 'FRANK JR.' / REDPOINTE RED MAPLE		2" CAL B&B	45.00	30.00
	1	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET		15 GAL B&B	15.00	15.00
	3	FRAXINUS PENNSYLVANICA 'URBANITE' / URBANITE ASH		2" CAL B&B	40.00	40.00
	8	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' / TUSCARORA CRAPE MYRTLE		15 GAL B&B	15.00	15.00
	8	MALUS X 'VELVETCOLE' TM / VELVET PILLAR CRABAPPLE		1.5" CAL B&B	20.00	14.00
	3	PINUS EDULIS / PINON PINE		6'-8" HT, B&B	30.00	18.00
	6	PINUS NIGRA / AUSTRIAN BLACK PINE		6'-8" HT, B&B	80.00	25.00
	2	POPULUS WISLIZENI / COTTONLESS RIO GRANDE COTTONWOOD		3" CAL B&B	50.00	50.00
	15	THUJA PLICATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE		15 GAL.	30.00	10.00
SHRUBS	EST QTY	BOTANICAL / COMMON NAME	SEE A2 & B1/LP501	SIZE/COND.	MAT. HT.	MAT. DIA.
	12	BUDDLEIA DAVIDII 'BLACK KNIGHT' / BLACK KNIGHT BUTTERFLY BUSH		1 GAL.	7.00	5.00
	16	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD		5 GAL.	6.00	6.00
	18	BUXUS SEMPERVIRENS 'MONRUE' / GREEN TOWER COMMON BOXWOOD		5 GAL.	9.00	2.00
	8	CORNUS SERICEA 'BAILEY' / RED TWIG DOGWOOD		5 GAL.	6.00	6.00
	13	CYTISUS SCOPARIUS 'LENA'S' / LENA'S BROOM		5 GAL.	4.00	4.00
	13	LAGERSTROEMIA X 'GAMAD IX' / PURPLE PIG CRAPE MYRTLE		5 GAL.	8.00	4.50
	22	RHAPHIOLEPIS INDICA 'PINKIE' / 'PINKIE' INDIAN HAWTHORNE		1 GAL.	3.00	4.00
	7	ROSA X 'NOASPLASH' / PINK SPLASH CARPET GROUND COVER ROSE		5 GAL.	2.00	4.00
	16	ROSA X 'RADSUNNY' TM / SUNNY KNOCK OUT YELLOW ROSE		5 GAL.	3.50	3.50
	31	ROSMARINUS OFFICINALIS 'ARP' / ARP ROSEMARY		5 GAL.	6.00	5.00
	5	ROSMARINUS OFFICINALIS 'BLUE SPIRES' / BLUE SPIRES ROSEMARY		5 GAL.	4.00	3.00
	20	SYRINGA X ' / LITTLE DARLING LILAC		5 GAL.	4.00	4.00
GRASSES	EST QTY	BOTANICAL / COMMON NAME	SEE A2 & B1/LP501	SIZE/COND.	MAT. HT.	MAT. DIA.
	32	HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' / BLUE AVENA OAT GRASS		1 GAL.	4.00	2.00
	23	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS		5 GAL.	8.00	5.00
	46	MUHLENBERGIA CAPILLARIS 'REGAL MIST' / REGAL MIST PINK MUHLY GRASS		1 GAL.	4.00	3.00
	32	MUHLENBERGIA EMERSLEYI EL TORO / EL TORO MUHLY GRASS		5 GAL.	3.00	3.00
GROUNDCOVERS	EST QTY	BOTANICAL / COMMON NAME	SEE A2 & B1/LP501	SIZE/COND.	MAT. HT.	MAT. DIA.
	215	NARCISSUS X 'DUTCH MASTER' / LARGE YELLOW DAFFODIL		BULB	1.50	0.50
PERENNIALS	EST QTY	BOTANICAL / COMMON NAME	SEE A2 & B1/LP501	SIZE/COND.	MAT. HT.	MAT. DIA.
	3	ALCEA ROSEA / HOLLYHOCK		5 GAL.	6.00	2.50
	9	CERATOSTIGMA PLUMBAGINOIDES / DWARF PLUMBAGO		1 GAL.	0.50	2.50
	46	ECHINACEA 'CANTALOUPE' / SUPREME CANTALOUPE CONEFLOWER		1 GAL.	2.50	1.50
	43	ECHINACEA PURPUREA 'POWWOW WILD BERRY' / POWWOW WILD BERRY CONEFLOWER		1 GAL.	1.50	1.25
	39	HEMERICALLIS FULVA 'DHOMCORAL' / ENDLESSLILY CORAL DAYLILY		1 GAL.	1.75	1.75
	62	LAVANDULA ANGUSTIFOLIA 'HIDCOTE SUPERIOR BLUE' / HIDCOTE SUPERIOR BLUE LAVENDER		1 GAL.	1.25	1.25
	42	LAVANDULA X INTERMEDIA 'GROSSO' / FAT BUD FRENCH LAVENDER		1 GAL.	3.00	3.00
	12	SALVIA GREGGII 'FURMAN'S RED' / FURMAN'S RED SALVIA		1 GAL.	2.50	3.00
VINES	EST QTY	BOTANICAL / COMMON NAME	SEE B2 & C3/LP501	SIZE/COND.	MAT. HT.	MAT. DIA.
	10	CAMPISUS RADICANS / TRUMPET CREEPER VINE		5 GAL.		
	3	HEDERA HELIX / ENGLISH IVY		5 GAL.		
	2	ROSA X 'RADBRITE' / BRITE EYES CLIMBING ROSE		5 GAL.		



## LEGEND

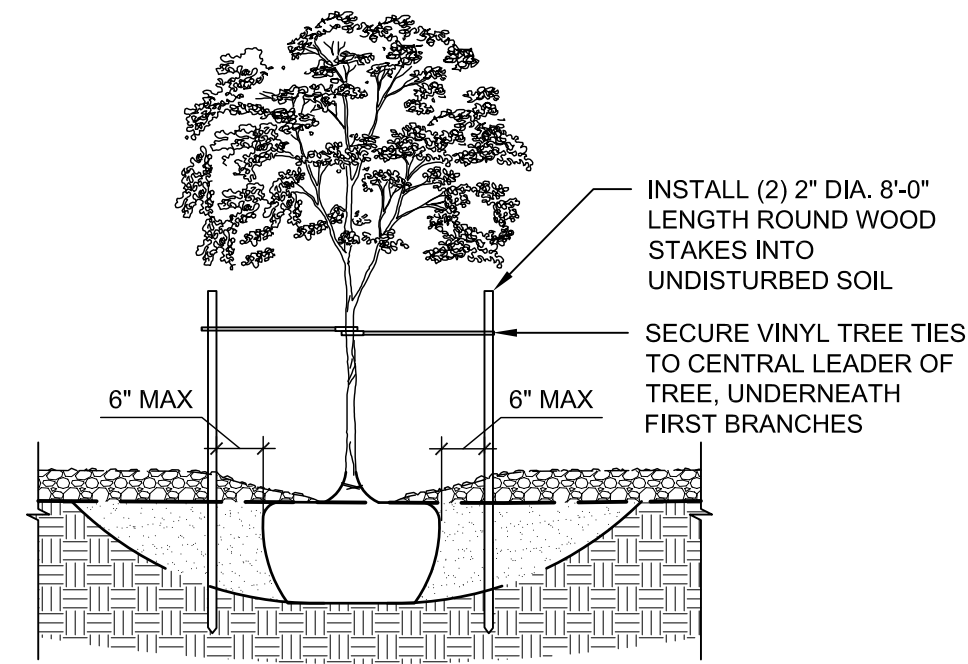
SYMBOL:	PROPERTY LINE	AVAILABLE FROM SUPPLIER:	EST QTY:
---	EXISTING TREE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION		
●	'NATIVE MULCH' SHREDDED BARK MULCH AT 2" DEPTH NO WEED BARRIER FABRIC	SOILUTIONS, ALBUQUERQUE, NM 505/877-0220	4,842 SF
■	7/16" Ø SANTA FE BROWN ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC	BUILDODOLOGY, ALBUQUERQUE, NM 505/344-6626	10,968 SF
■	1"-2" Ø MOUNTAINAIR BROWN ROCK MULCH AT 3" DEPTH OVER WEED BARRIER FABRIC, SEE B3/LP501	BUILDODOLOGY, ALBUQUERQUE, NM 505/344-6626	2,476 SF
■	TURF GRASS SOD REPAIR OF EXISTING LAWN AREA, PARK BLEND	EVERGREEN TURF, MCINTOSH, NM 505-384-2430	1,765 SF
■	TURF GRASS SEEDING REPAIR OF EXISTING LAWN AREA, PARK BLEND, INCL. KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS AND TALL FESCUE, 8#/1000 SQFT	CURTIS AND CURTIS SEED, CLOVIS, NM 877/907-1806	11,030 SF
■	EXISTING VEGETATION TO REMAIN		
■	BOULDER, COLOR: JUST GOLD	JPR GRAVEL NM, ALBUQUERQUE, NM 505/892-8869	10

- NOTES:  
1. BOULDER SELECTION AND PLACEMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.  
2. BOULDER SIZES: 4'x3', 3'x3', AND 3'x2'



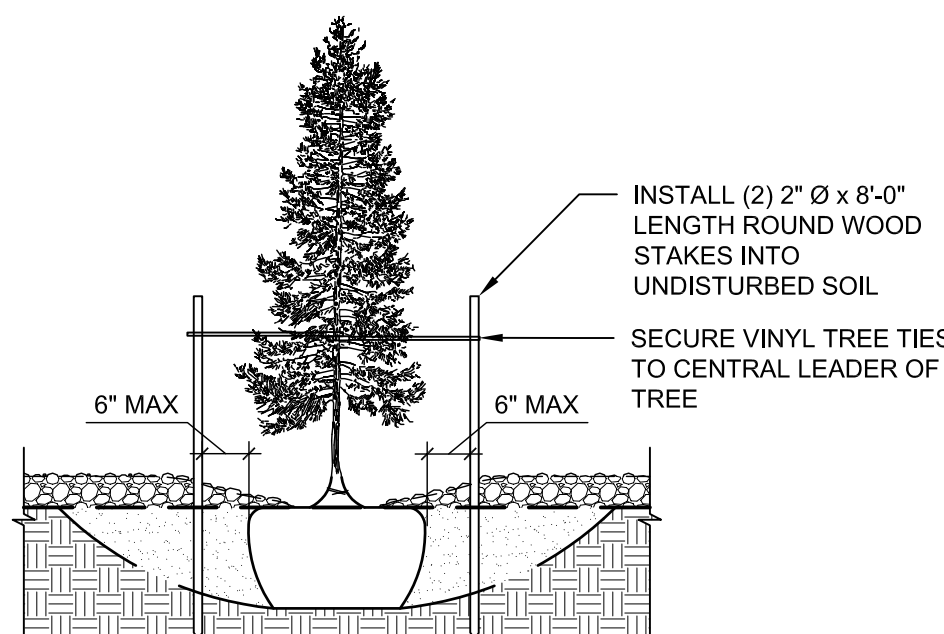
**D1 BOULDER**  
3/4" = 1'-0"

- NOTES:  
1. VINYL TREE TIES TO BE CINCH-TIE 3/2" OR APPROVED EQUAL, AVAILABLE FROM V.I.T. PRODUCTS - 800-729-1314  
2. STAKING TO BE REMOVED AT THE END OF WARRANTY PERIOD



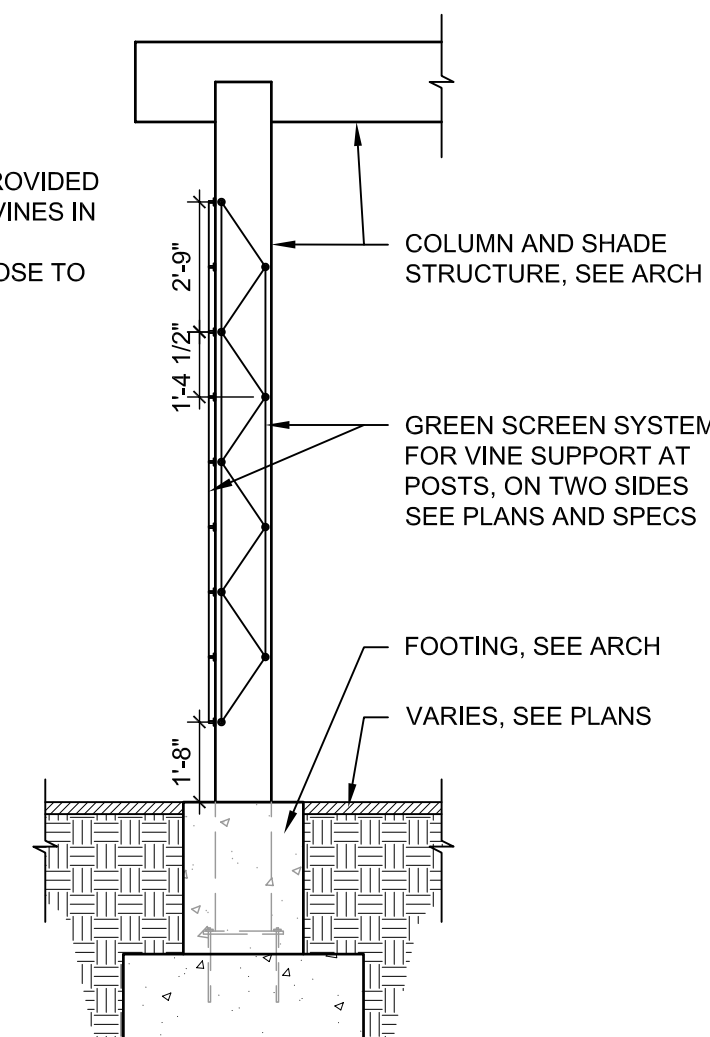
**C1 TREE STAKING**  
3/4" = 1'-0"

- NOTE:  
1. STAKING TO BE REMOVED AT THE END OF WARRANTY PERIOD



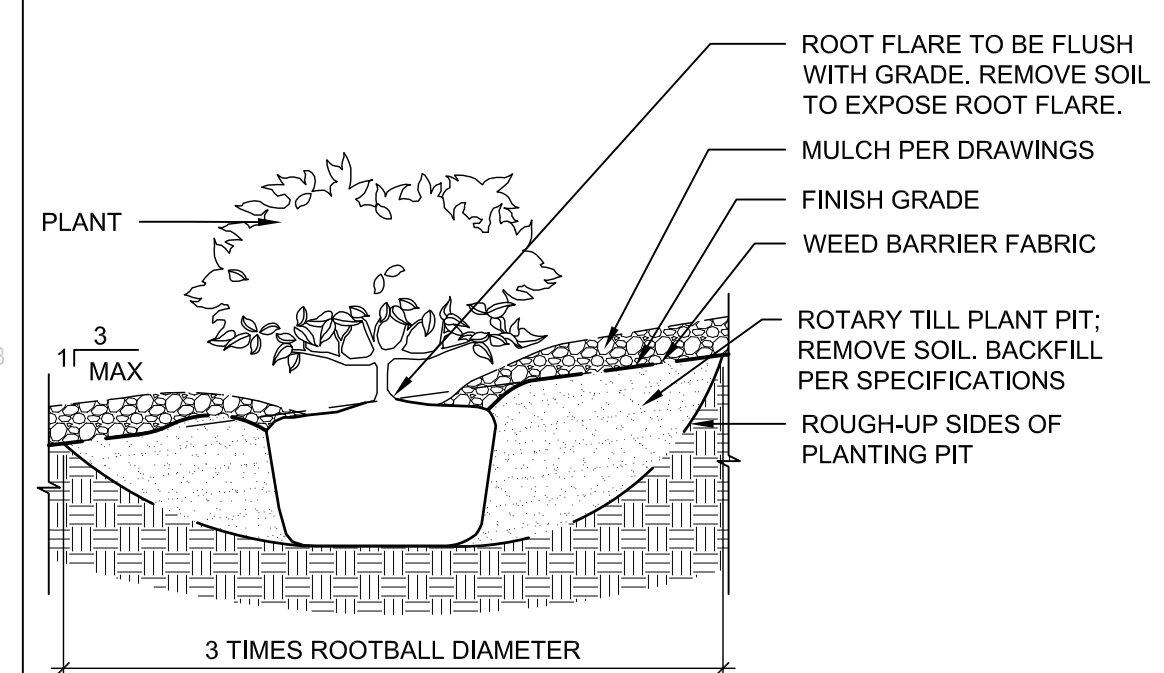
**C2 TREE STAKING**  
3/4" = 1'-0"

- NOTES:  
1. REMOVE NURSERY PROVIDED STAKING AND TWINE VINES IN TO GREEN SCREEN.  
2. LOCATE PLANT AS CLOSE TO POST AS POSSIBLE.



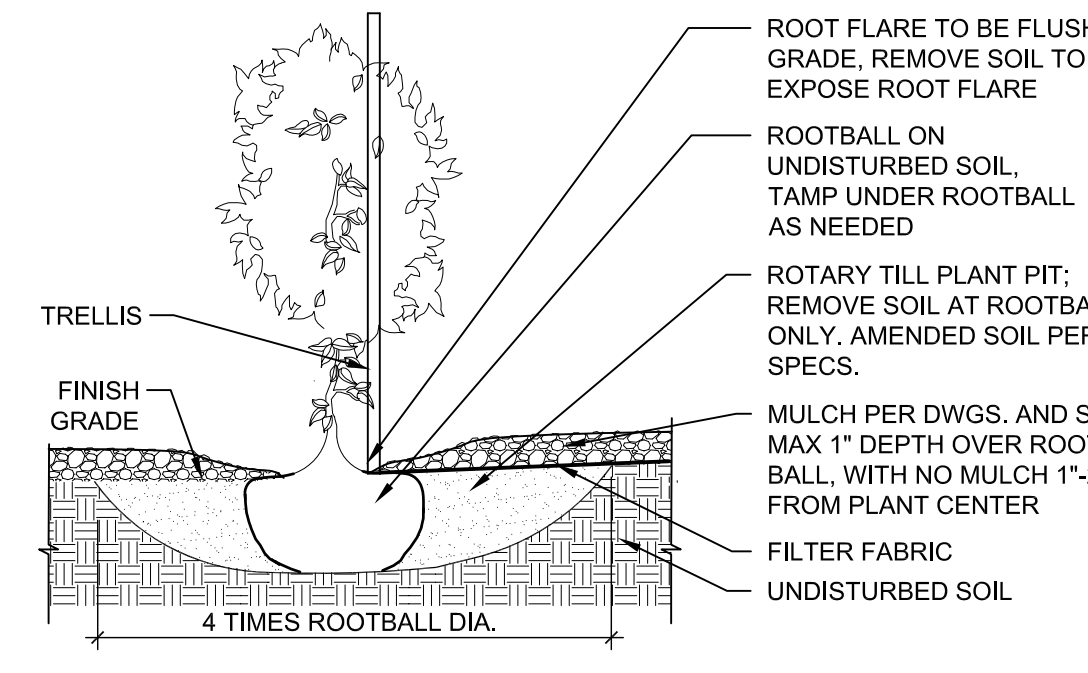
**C3 VINE SUPPORT AT COLUMN**  
1/4" = 1'-0"

- NOTES:  
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.  
2. SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE SOIL.  
3. CENTER BERM ON DOWNHILL SIDE OF ROOTBALL FOR 240"



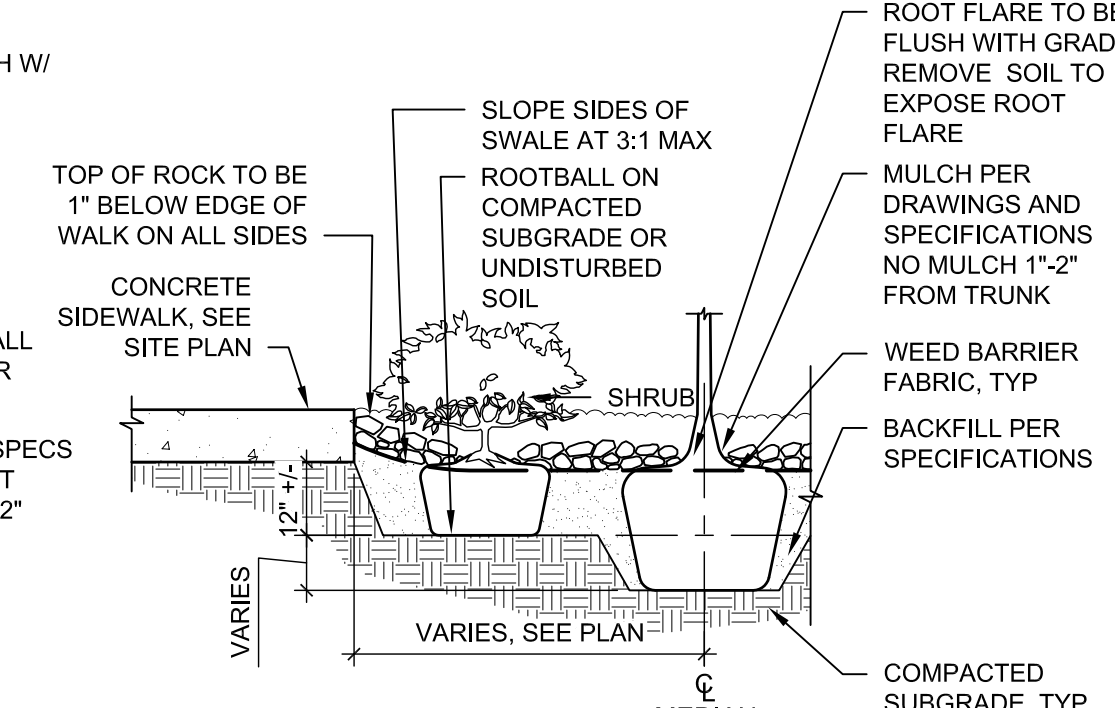
**B1 SHRUB ON SLOPE**  
3/4" = 1'-0"

- NOTES:  
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY AS POSSIBLE, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.  
2. BOTTOM OF SHRUB PIT TO BE COMPACTED TO PREVENT SETTLING  
3. REMOVE NURSERY PROVIDED STAKING AND TWINE VINE INTO GREEN TRELLIS.



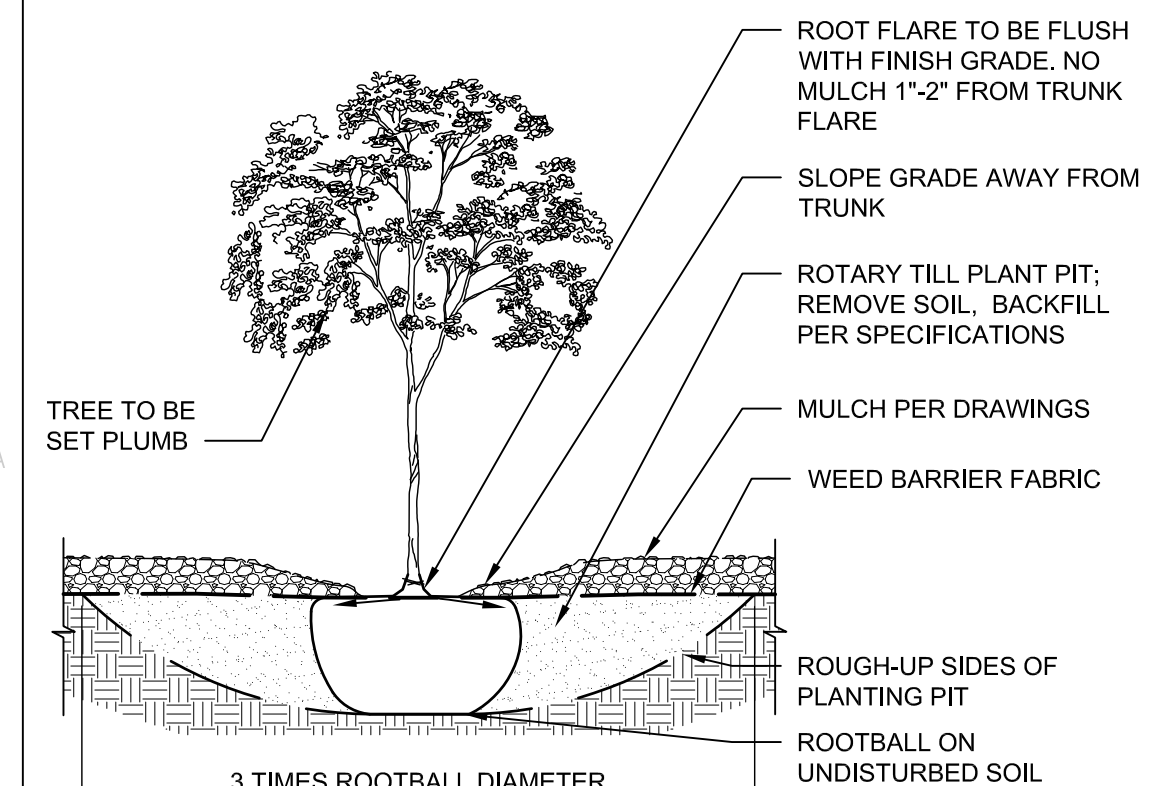
**B2 VINE PLANTING**  
3/4" = 1'-0"

- NOTES:  
1. PLANTER BACKFILL TO BE USED AROUND SHRUB AND TREE PLANTINGS - TYPICALLY TO WITHIN 3'-0" MIN OF ROOTBALLS.  
2. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



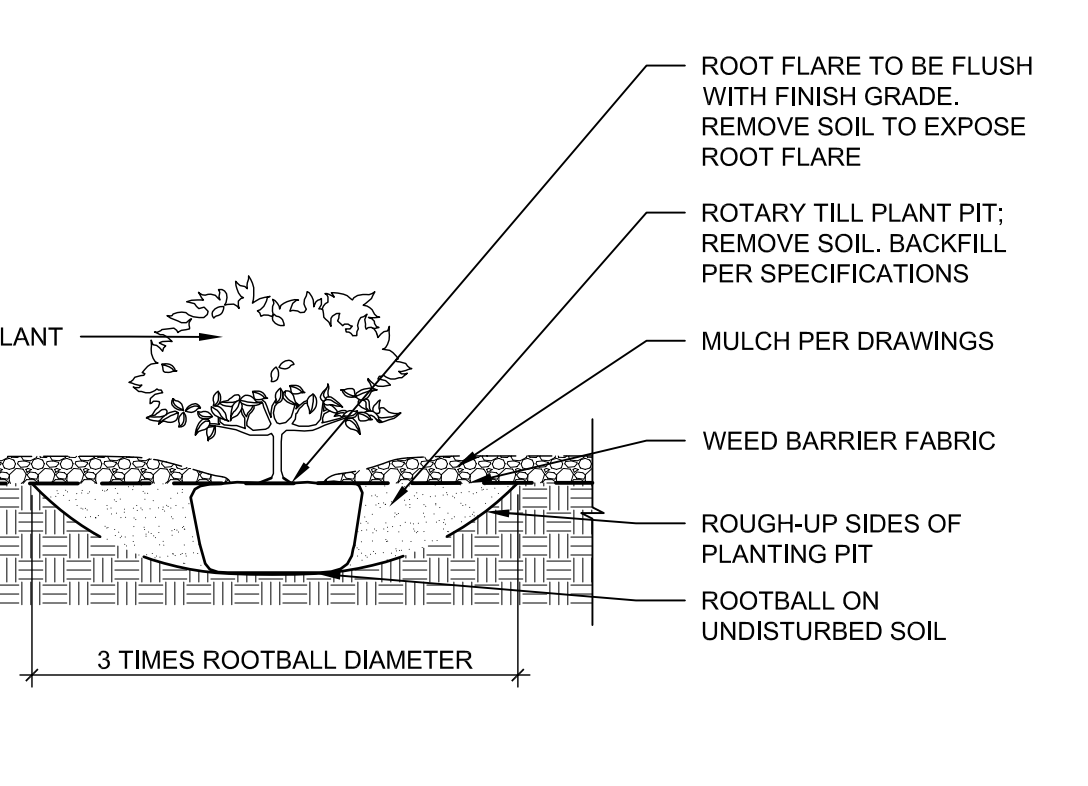
**B3 VEGETATED SWALE**  
1/2" = 1'-0"

- NOTE:  
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



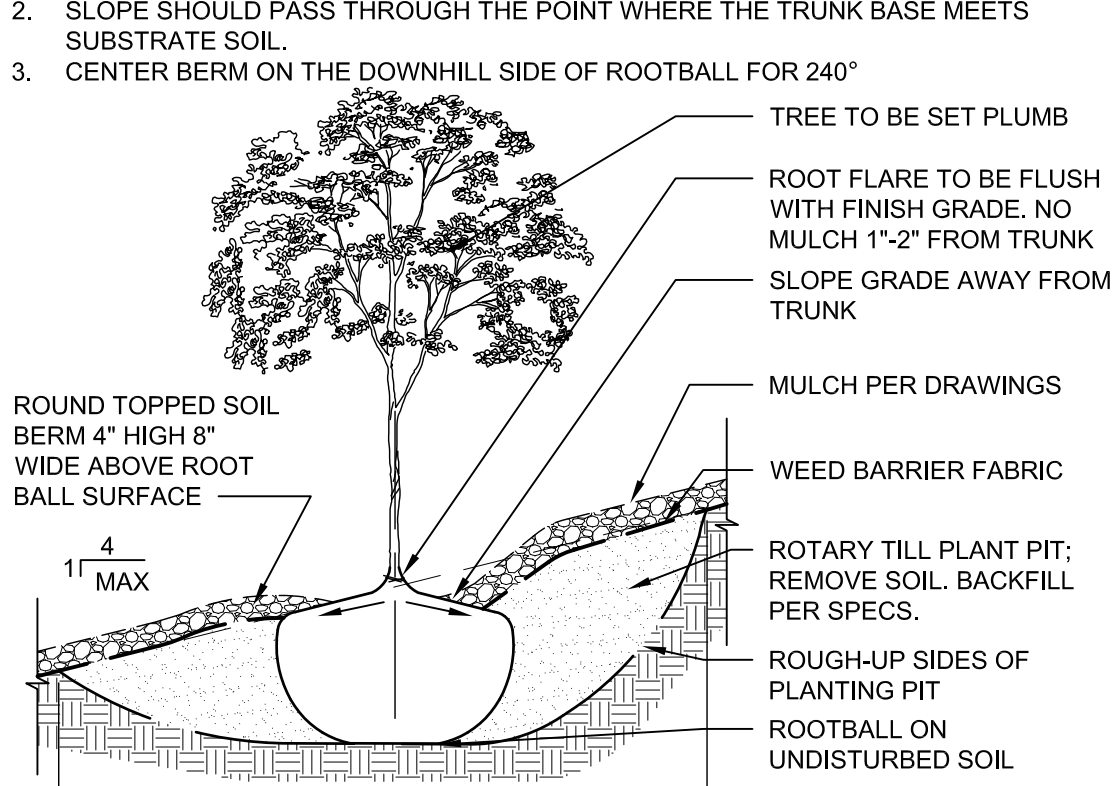
**A1 TREE IN PLANTING BED**  
3/4" = 1'-0"

- NOTES:  
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



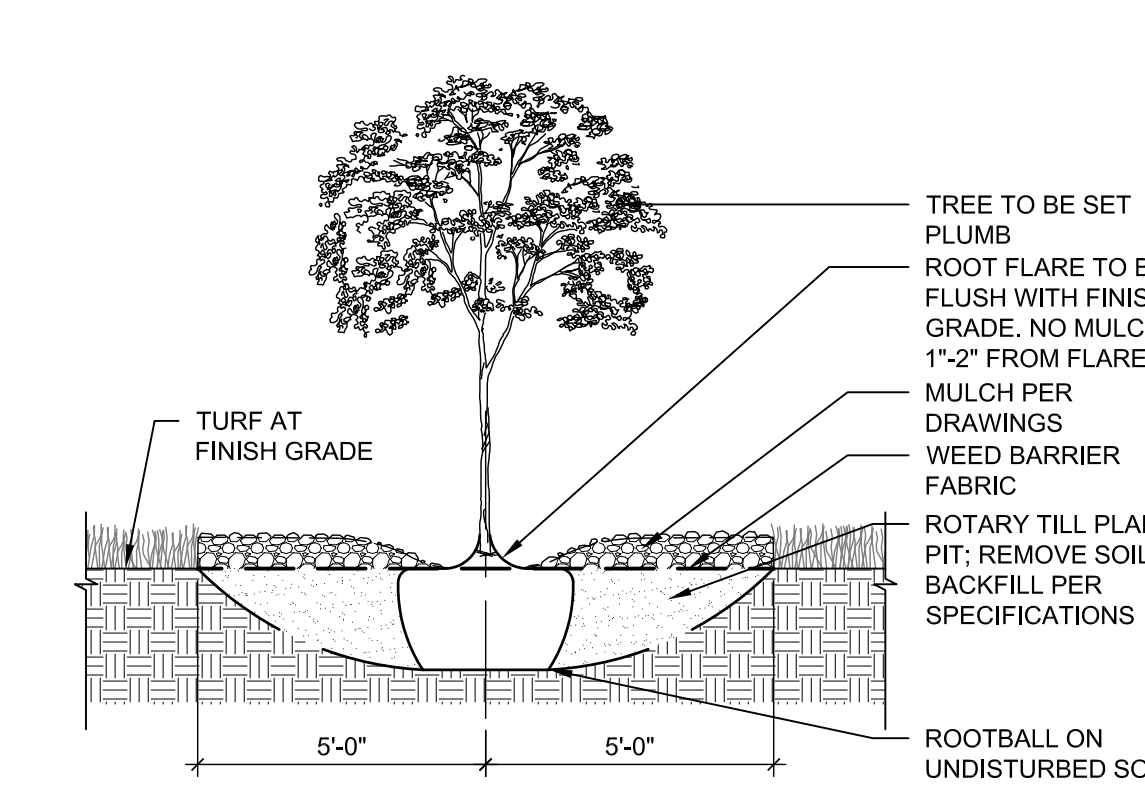
**A2 SHRUB IN BED**  
3/4" = 1'-0"

- NOTES:  
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.  
2. SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE SOIL.  
3. CENTER BERM ON THE DOWNHILL SIDE OF ROOTBALL FOR 240"

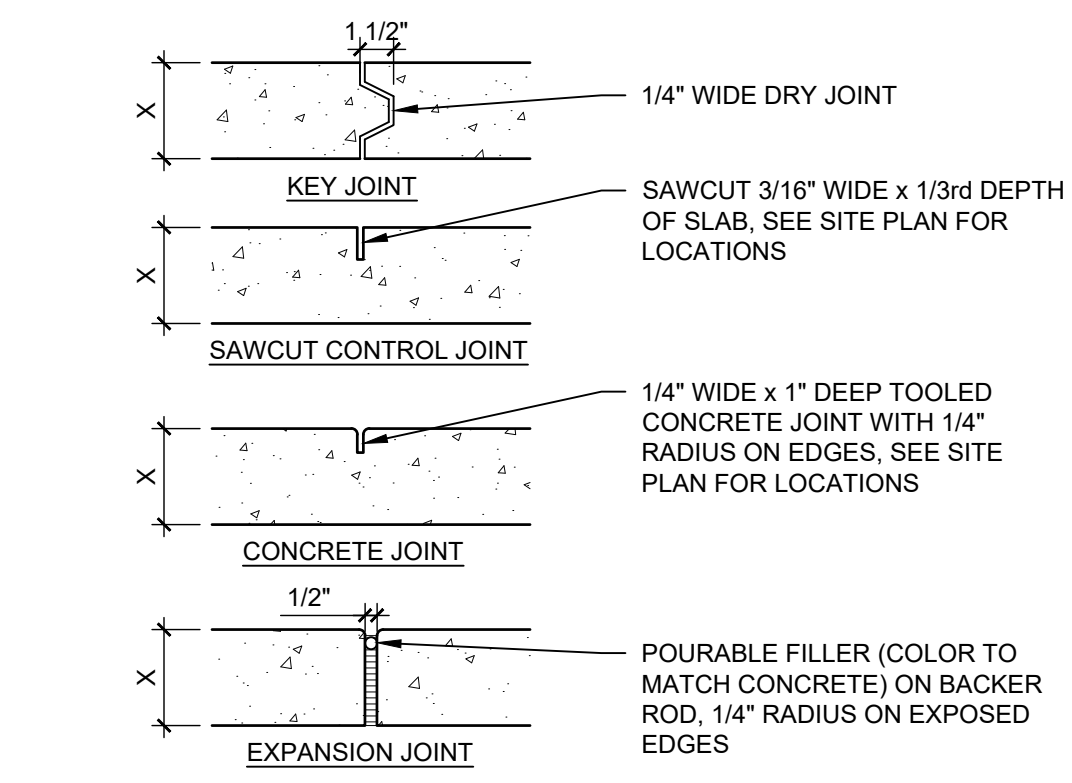


**A3 TREE ON SLOPE**  
3/4" = 1'-0"

- NOTE:  
1. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE, BURLAP, SYNTHETIC MATERIALS SHALL BE COMPLETELY REMOVED.

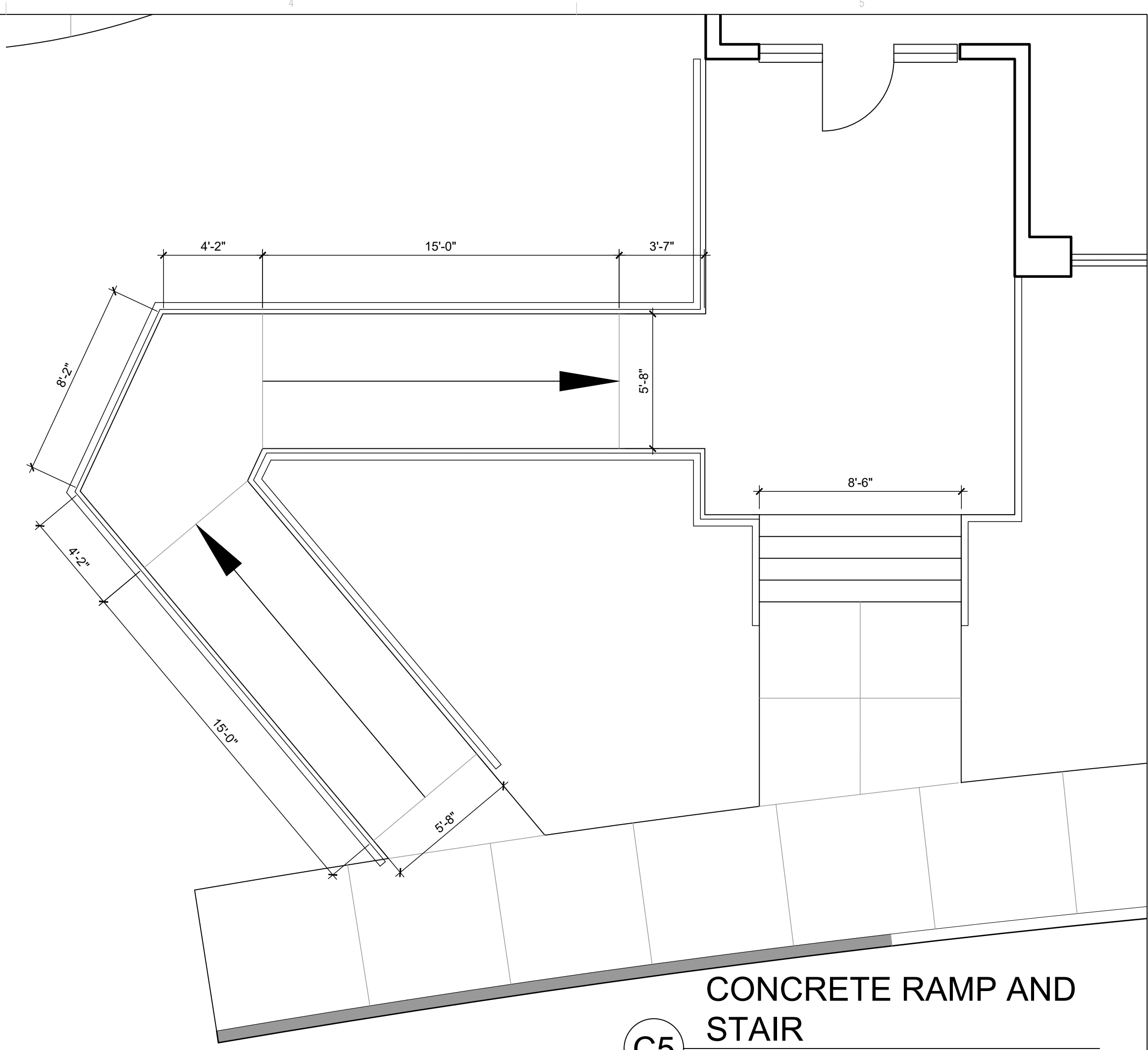
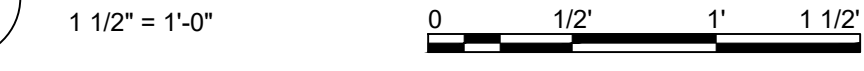


**A4 TREE IN TURF**  
3/4" = 1'-0"

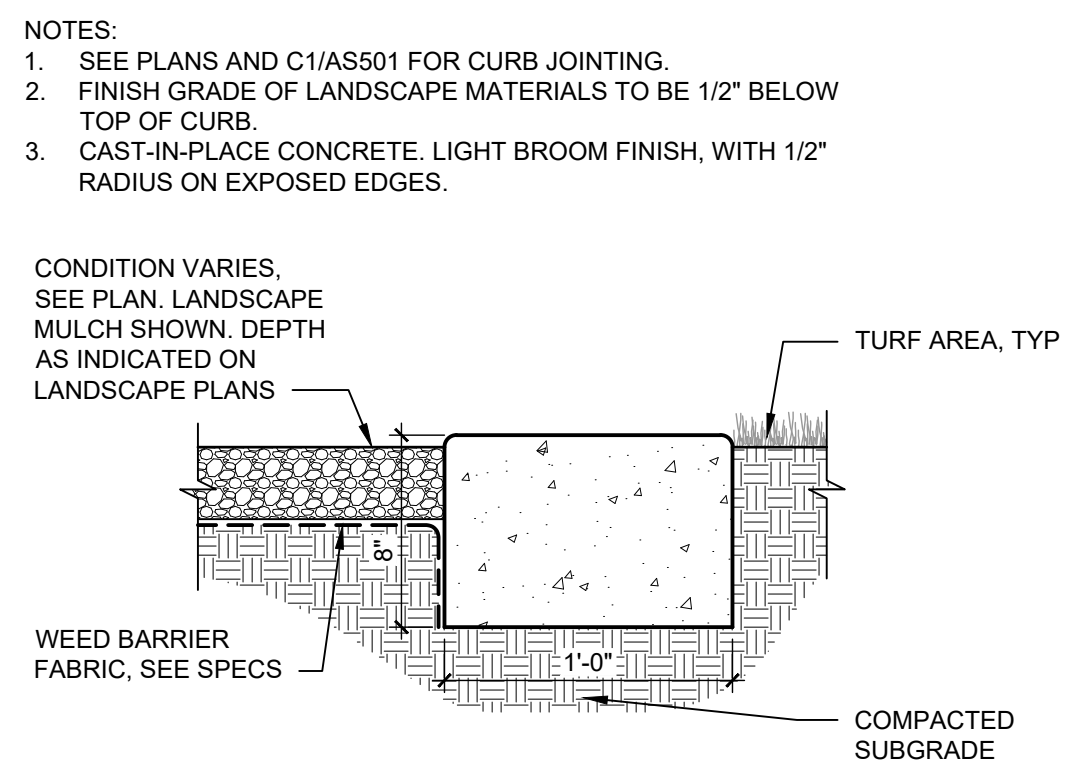
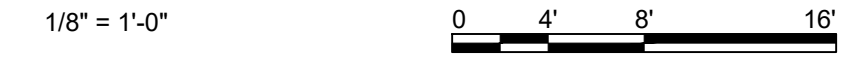


CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	8'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

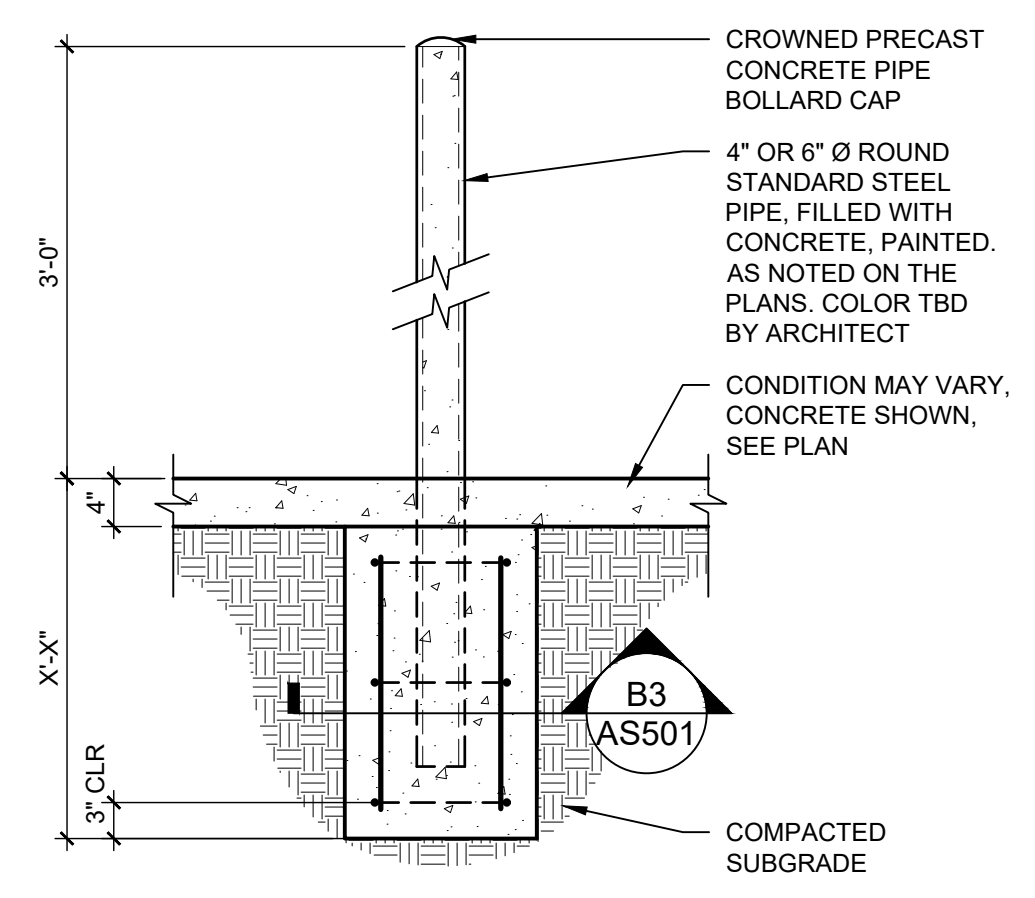
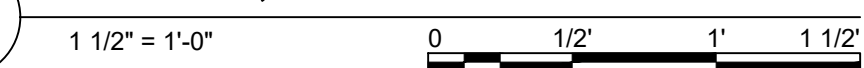
**C1 CONCRETE JOINTS & JOINT SPACING**



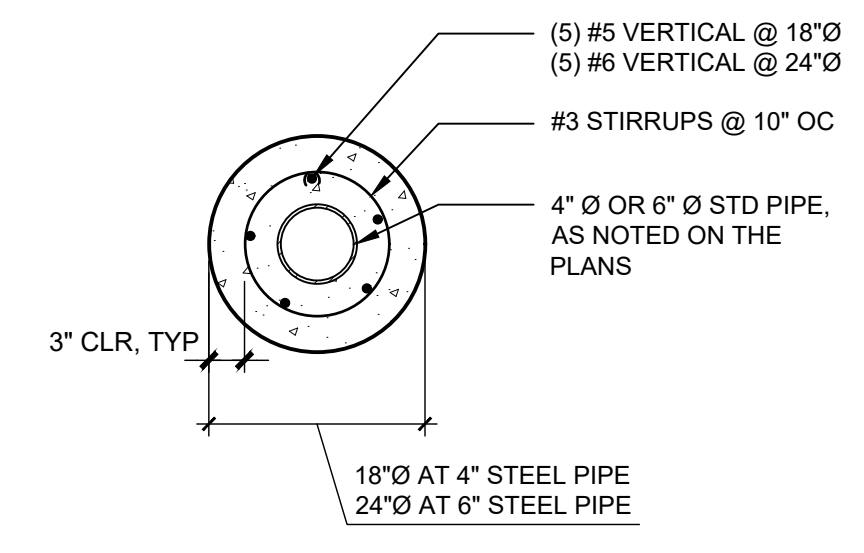
**C5 CONCRETE RAMP AND STAIR**



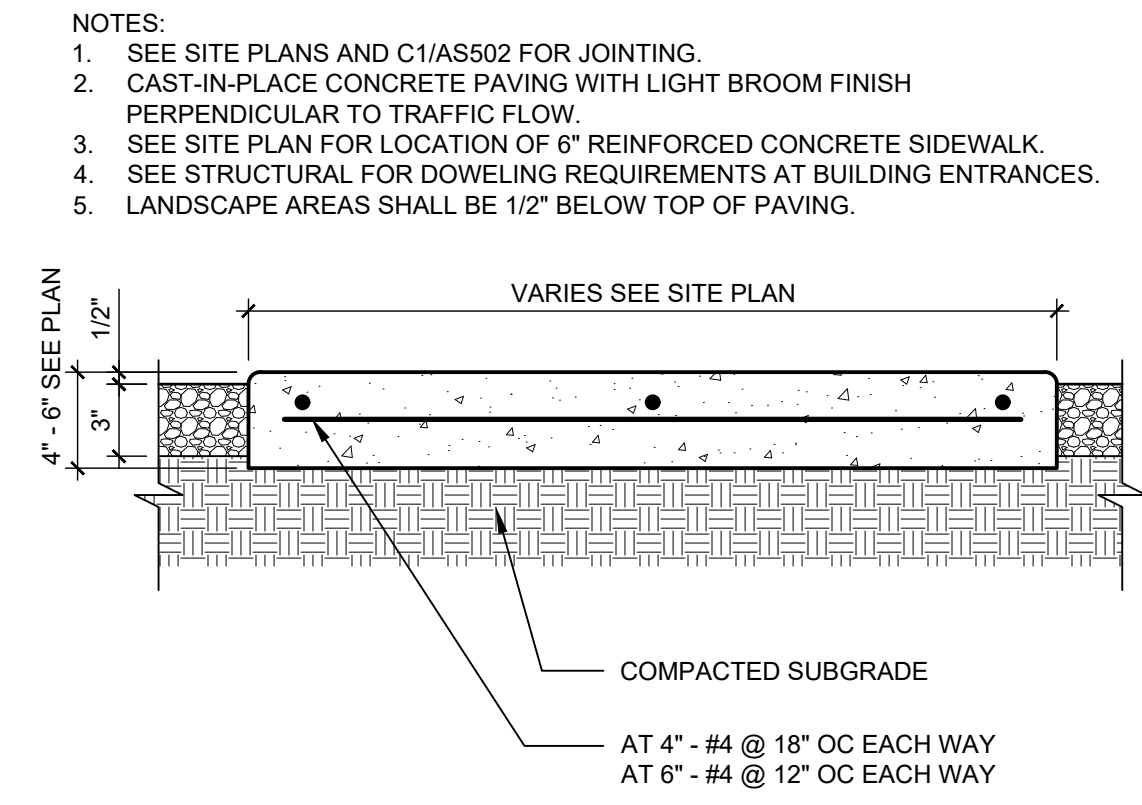
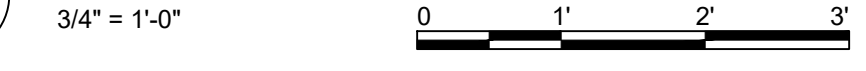
**B1 CONCRETE MOW CURB, 12\"/>**



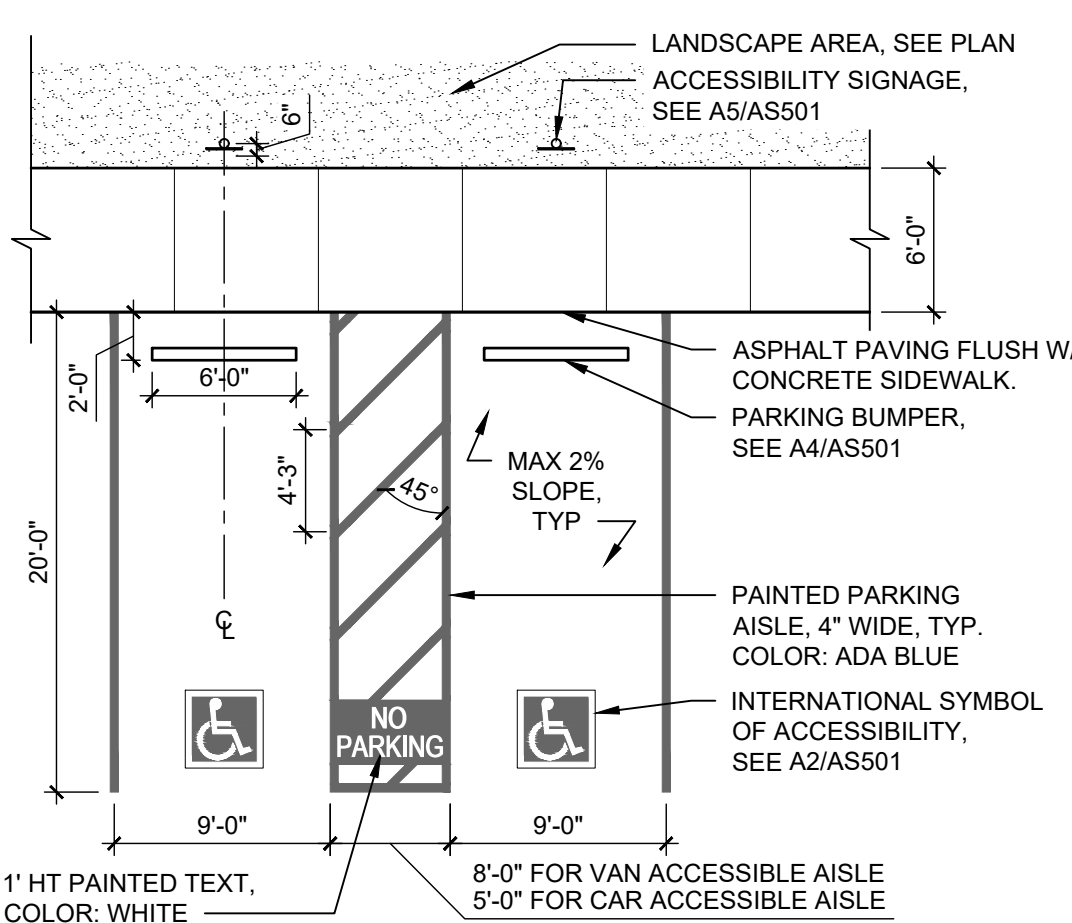
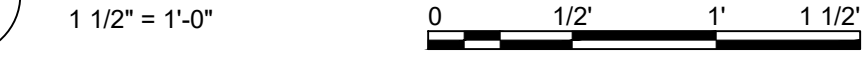
**B2 PIPE BOLLARD**



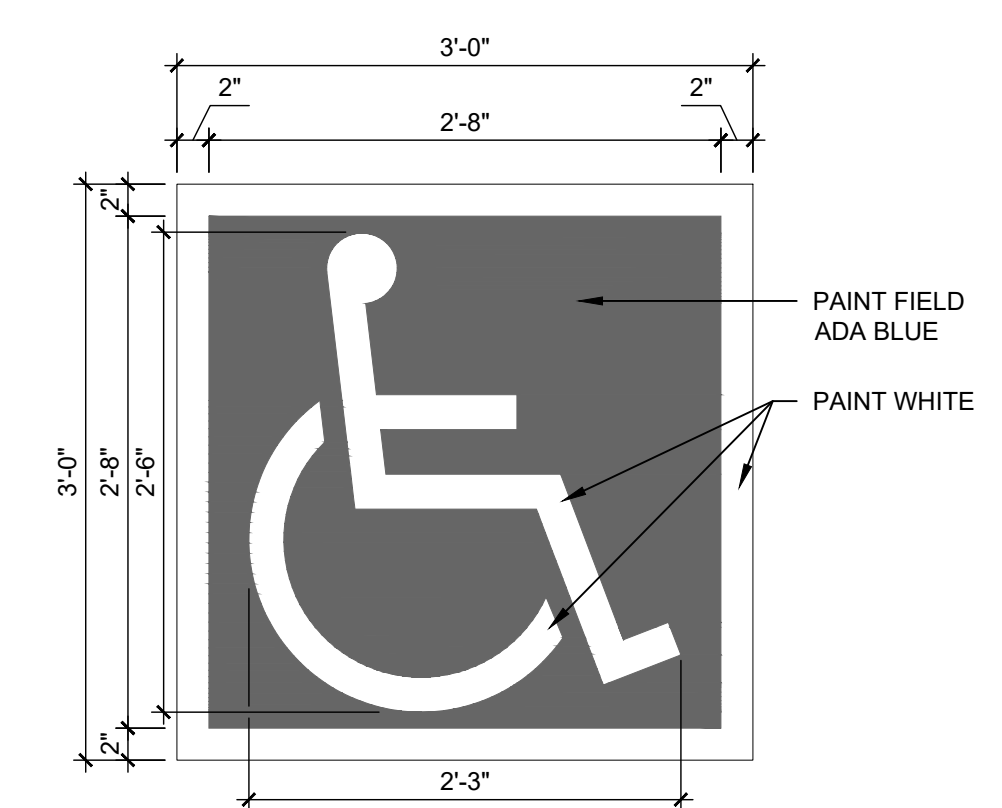
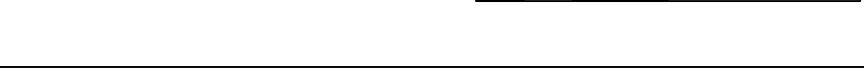
**B3 PIPE BOLLARD FOOTING SECTION**



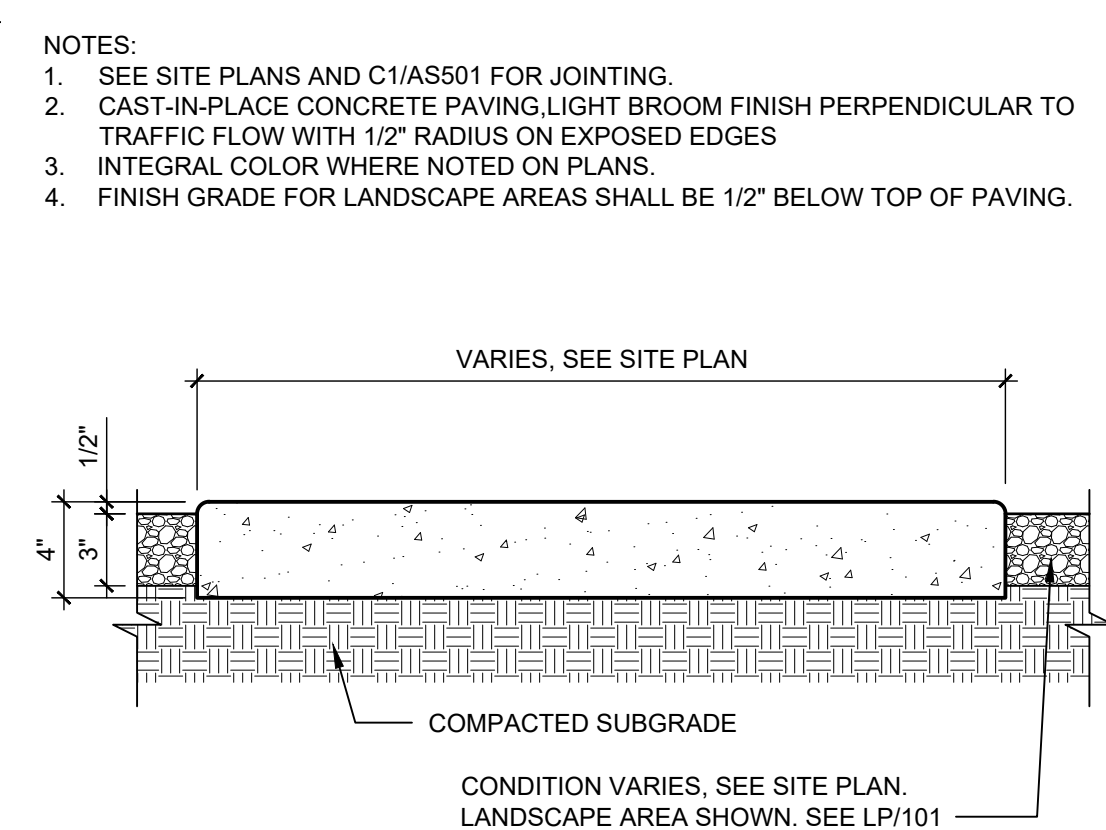
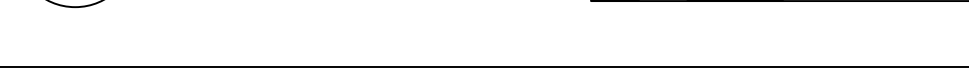
**B4 REINFORCED CONCRETE SIDEWALK**



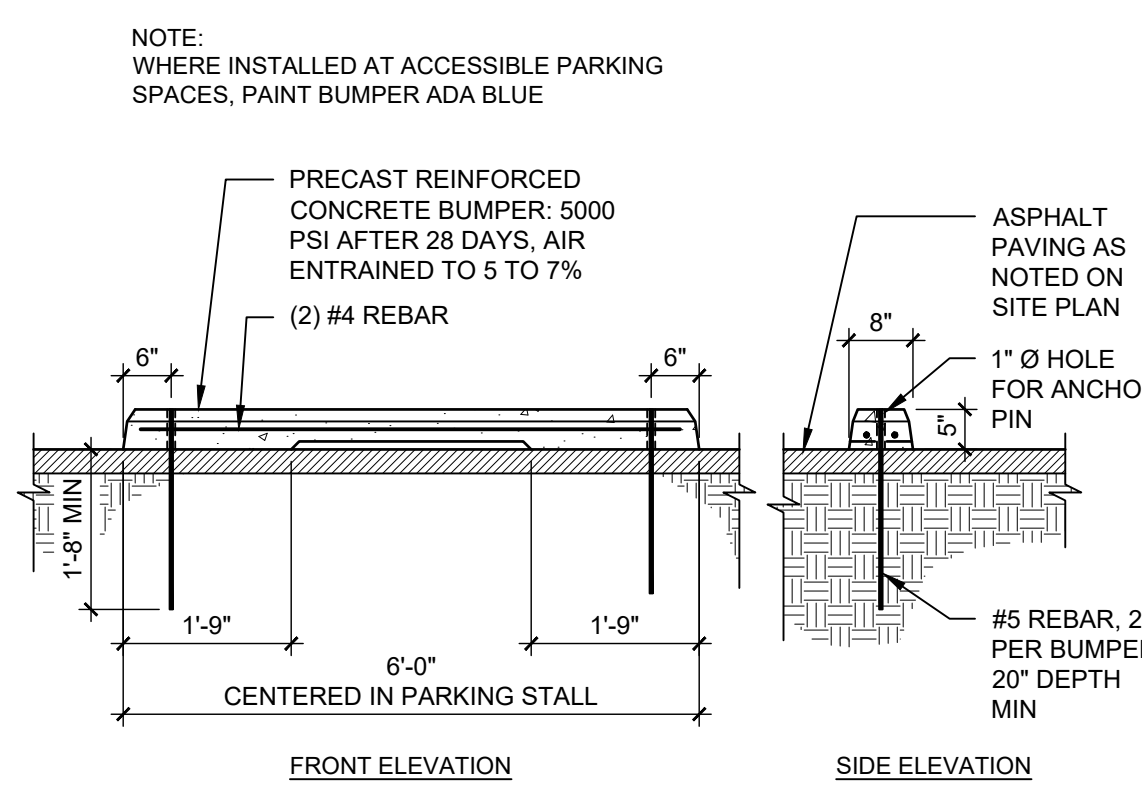
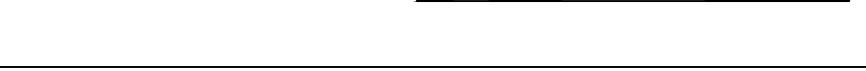
**A1 ACCESSIBLE PARKING**



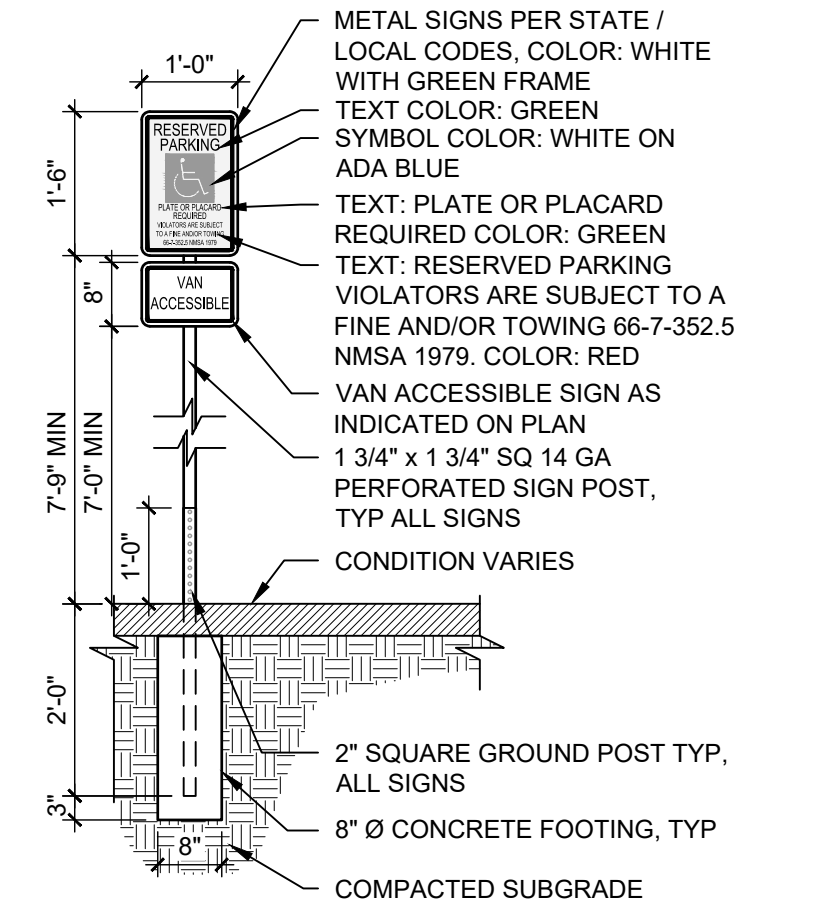
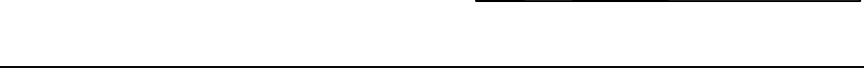
**A2 ACCESSIBLE PAVEMENT MARKING**



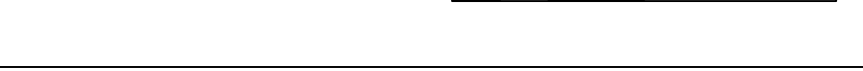
**A3 CONCRETE SIDEWALK**



**A4 PARKING BUMPER**



**A5 POLE MOUNTED H.C. SIGN (VAN)**



NOTES:  
1. SEE SITE PLANS AND C1/AS502 FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING WITH LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW.  
3. SEE SITE PLAN FOR LOCATION OF 6\"/>

NOTES:  
1. SEE SITE PLANS AND C1/AS501 FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2\"/>

NOTES:  
1. SEE SITE PLANS AND C1/AS501 FOR JOINTING.  
2. CAST-IN-PLACE CONCRETE PAVING LIGHT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW WITH 1/2\"/>

NOTE:  
WHERE INSTALLED AT ACCESSIBLE PARKING SPACES, PAINT BUMPER ADA BLUE

NOTES:  
1. SEE PLANS AND C1/AS501 FOR CURB JOINTING.  
2. FINISH GRADE OF LANDSCAPE MATERIALS TO BE 1/2\"/>

CONDITION VARIES. SEE PLAN. LANDSCAPE MULCH SHOWN. DEPTH AS INDICATED ON LANDSCAPE PLANS

CROWNED PRECAST CONCRETE PIPE BOLLARD CAP  
4\"/>

(5) #5 VERTICAL @ 18\"/>

VARIES SEE SITE PLAN  
4\"/>

WEED BARRIER FABRIC, SEE SPECS  
TURF AREA, TYP  
COMPACTED SUBGRADE

CONDITION MAY VARY, CONCRETE SHOWN, SEE PLAN  
B3 AS501  
COMPACTED SUBGRADE

3\"/>

AT 4\"/>

LANDSCAPE AREA, SEE PLAN  
ACCESSIBILITY SIGNAGE, SEE A5/AS501  
ASPHALT PAVING FLUSH W/ CONCRETE SIDEWALK, PARKING BUMPER, SEE A4/AS501  
MAX 2% SLOPE, TYP  
PAINTED PARKING AISLE, 4\"/>

PAINT FIELD ADA BLUE  
PAINT WHITE

CONDITION VARIES, SEE SITE PLAN, LANDSCAPE AREA SHOWN, SEE LP/101

PRECAST REINFORCED CONCRETE BUMPER: 5000 PSI AFTER 28 DAYS, AIR ENTRAINED TO 5 TO 7%  
(2) #4 REBAR  
ASPHALT PAVING AS NOTED ON SITE PLAN  
1\"/>

METAL SIGNS PER STATE / LOCAL CODES, COLOR: WHITE WITH GREEN FRAME  
TEXT COLOR: GREEN  
SYMBOL COLOR: WHITE ON ADA BLUE  
TEXT: PLATE OR PLACARD REQUIRED COLOR: GREEN  
TEXT: RESERVED PARKING VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING 66-7-352.5 NMSA 1979. COLOR: RED  
VAN ACCESSIBLE SIGN AS INDICATED ON PLAN  
1 3/4\"/>

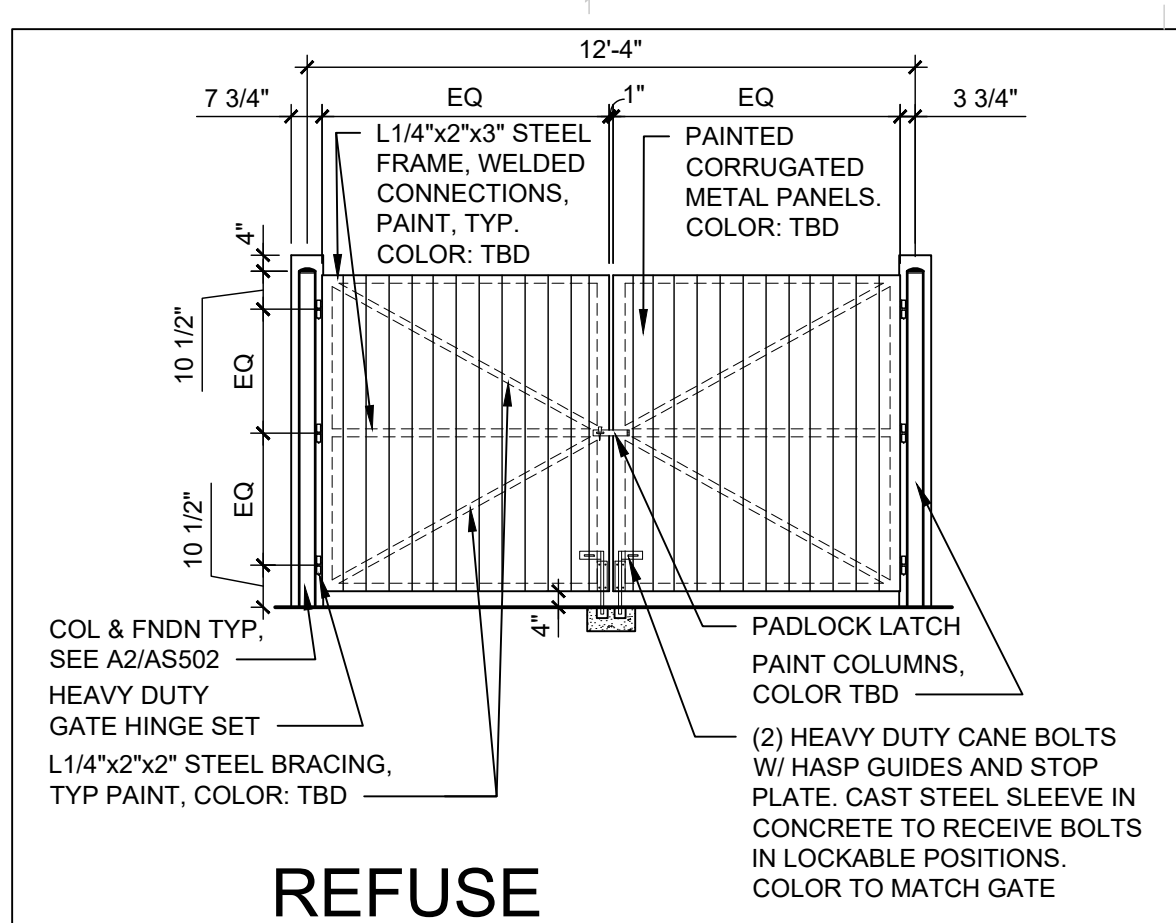
1\"/>

INTERNATIONAL SYMBOL OF ACCESSIBILITY, SEE A2/AS501

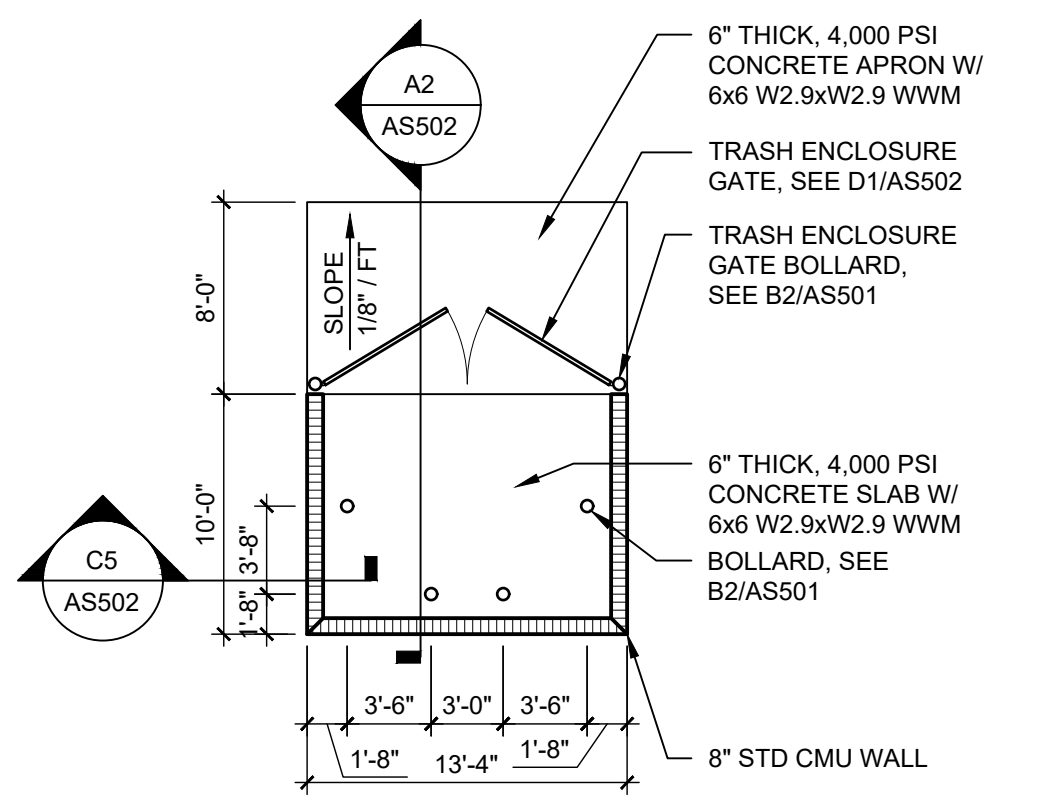
COMPACTED SUBGRADE

CENTERED IN PARKING STALL  
#5 REBAR, 2 PER BUMPER, 20\"/>

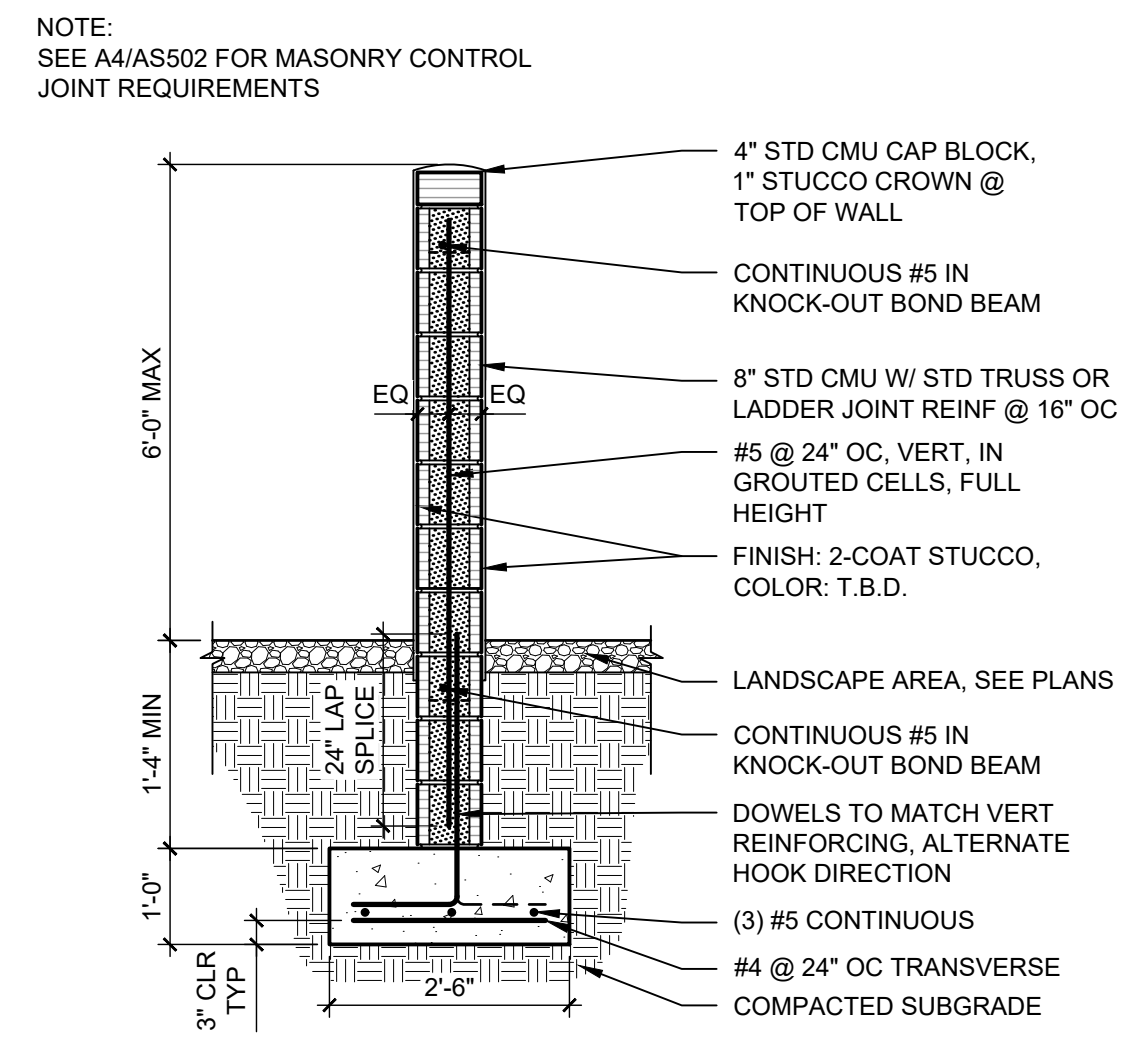
2\"/>



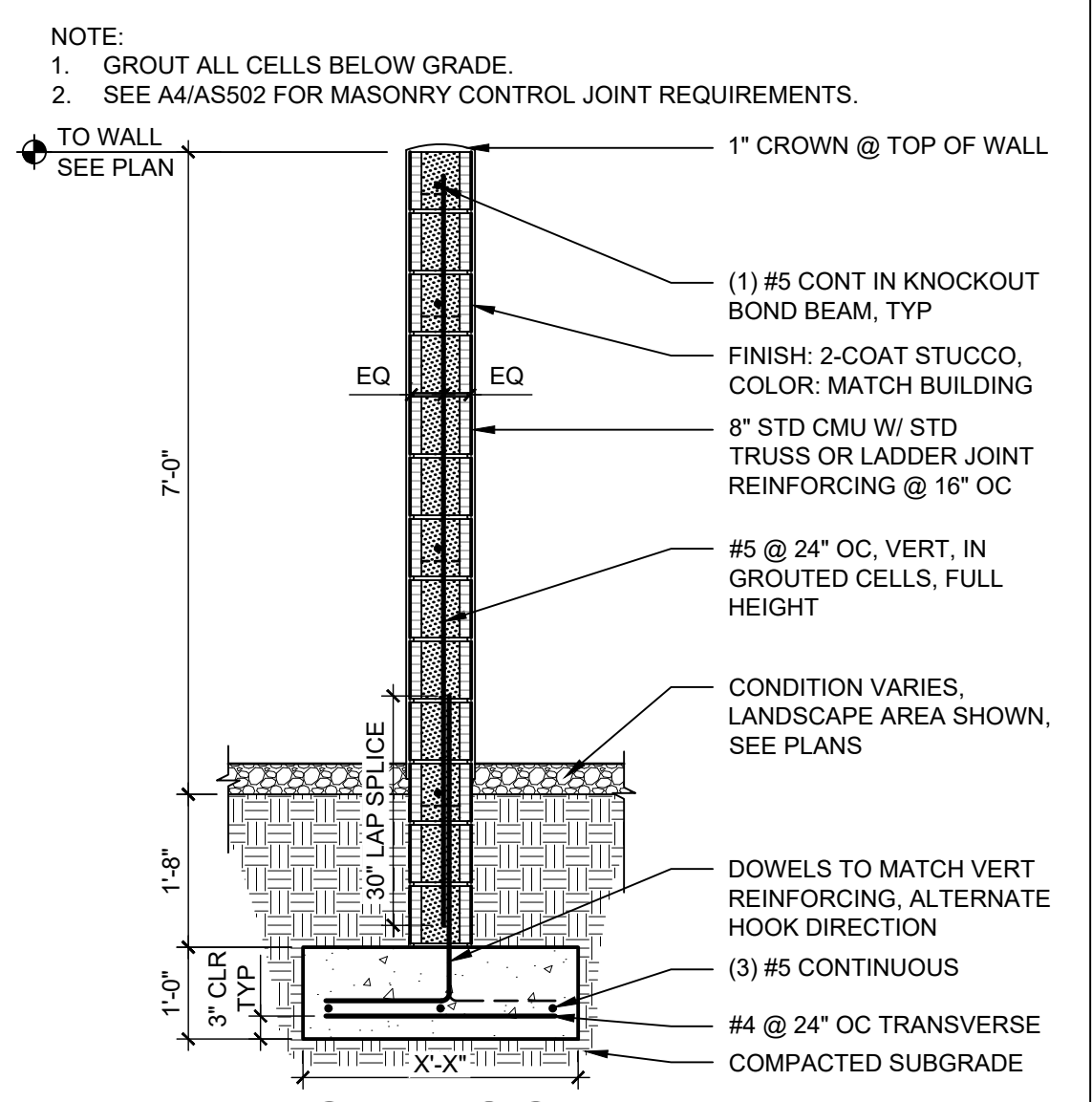
**D1 REFUSE ENCLOSURE GATE**  
1/4" = 1'-0"  
0 2' 4' 8'



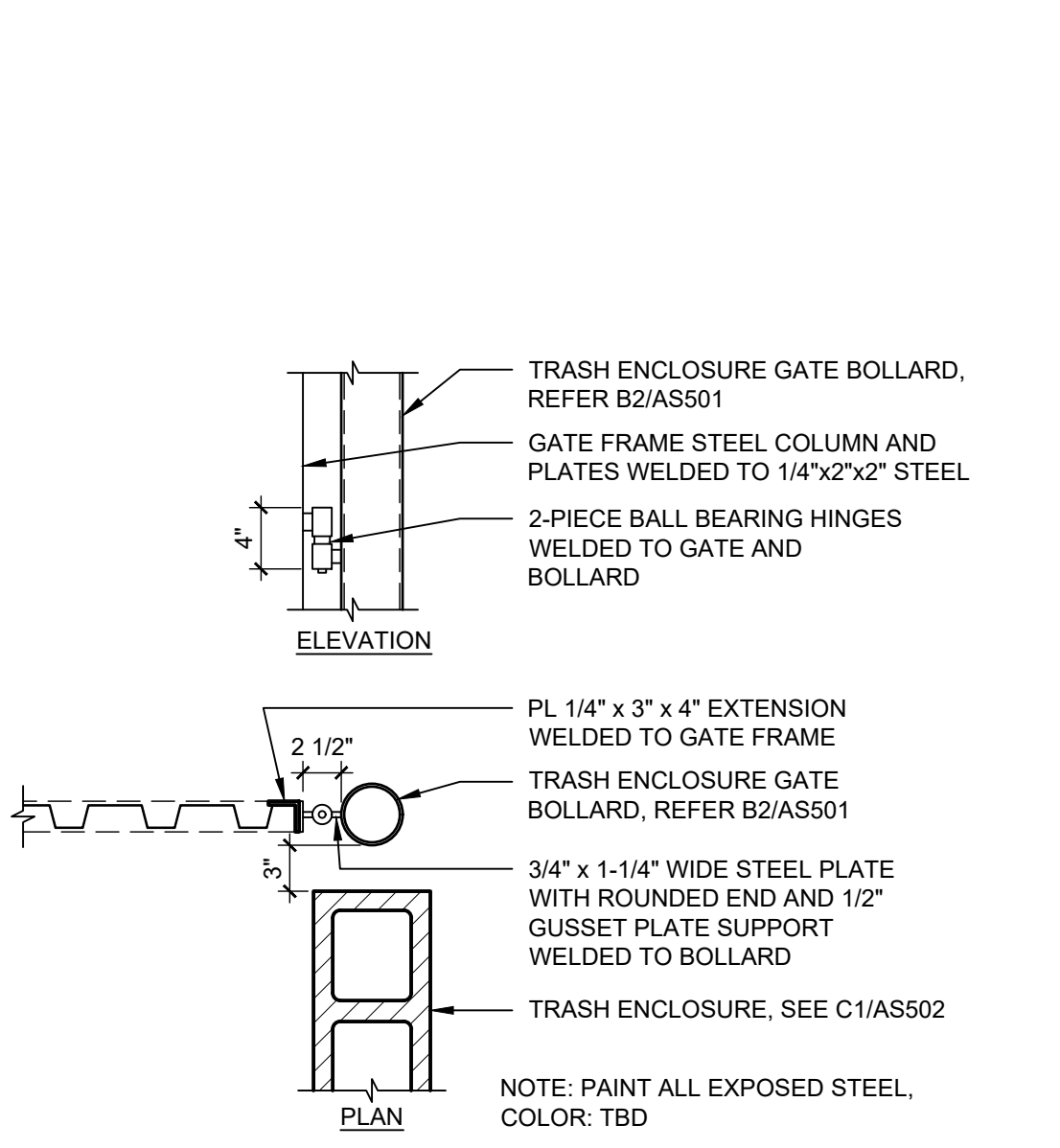
**C1 TRASH ENCLOSURE**  
1/8" = 1'-0"  
0 4' 8' 16'



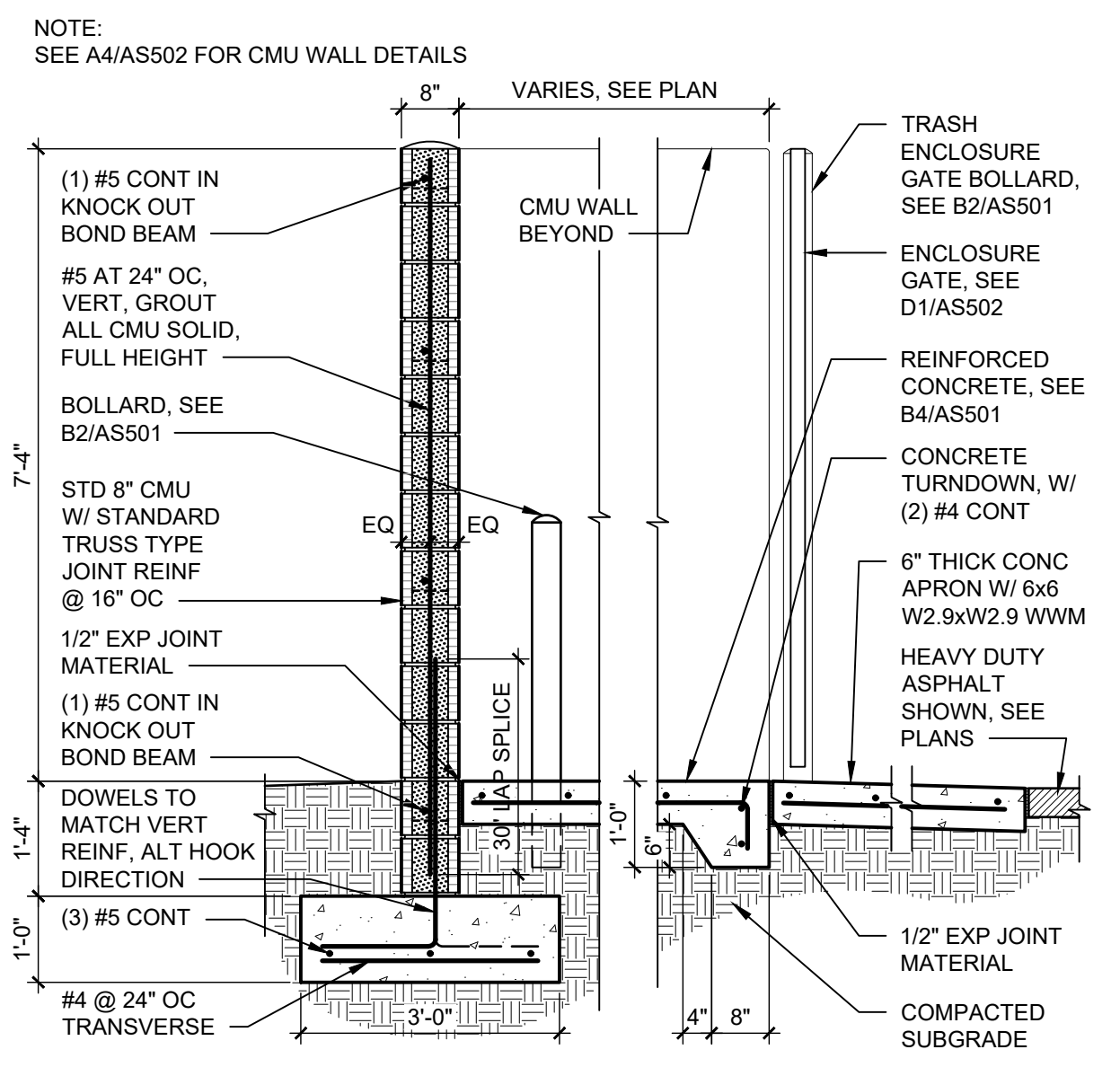
**C4 6' CMU SCREEN WALL**  
1/2" = 1'-0"  
0 1' 2' 4'



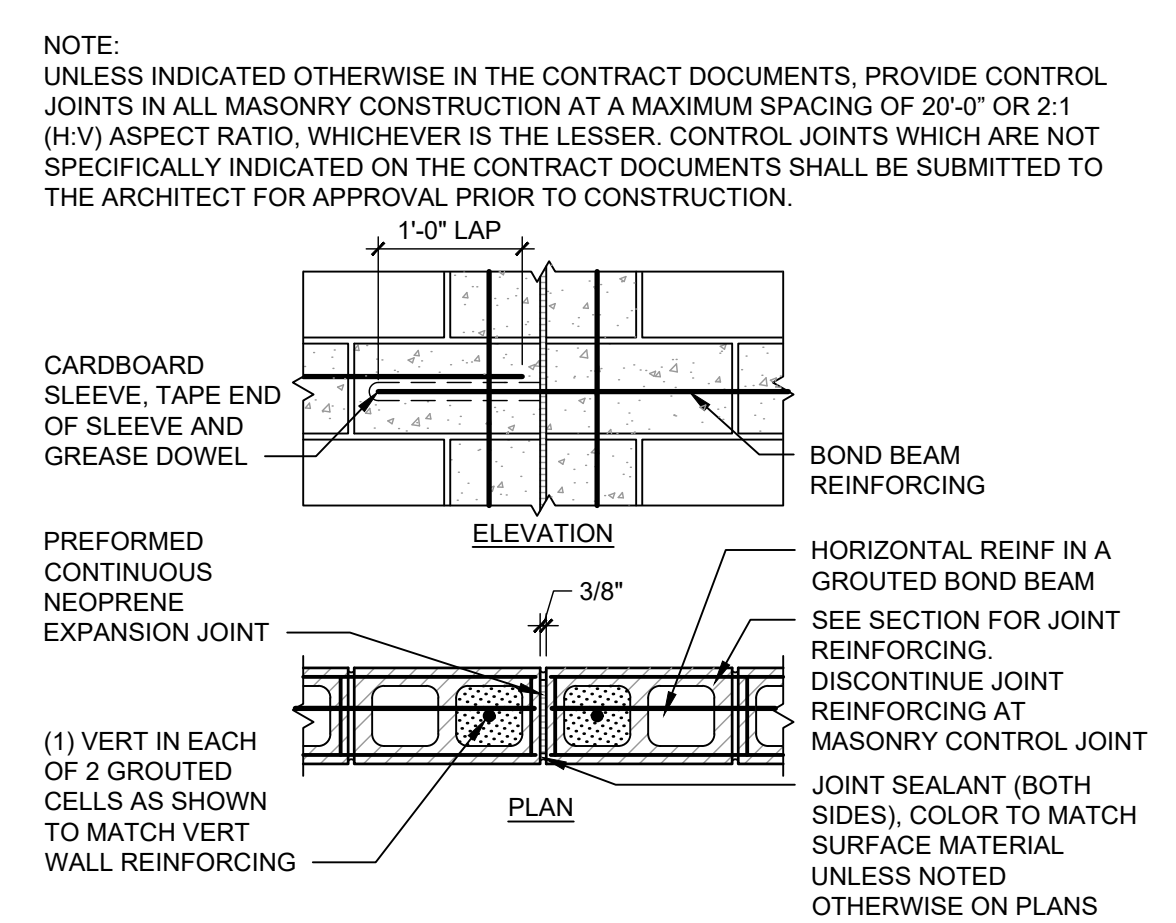
**C5 7' CMU SCREEN WALL**  
1/2" = 1'-0"  
0 1' 2' 4'



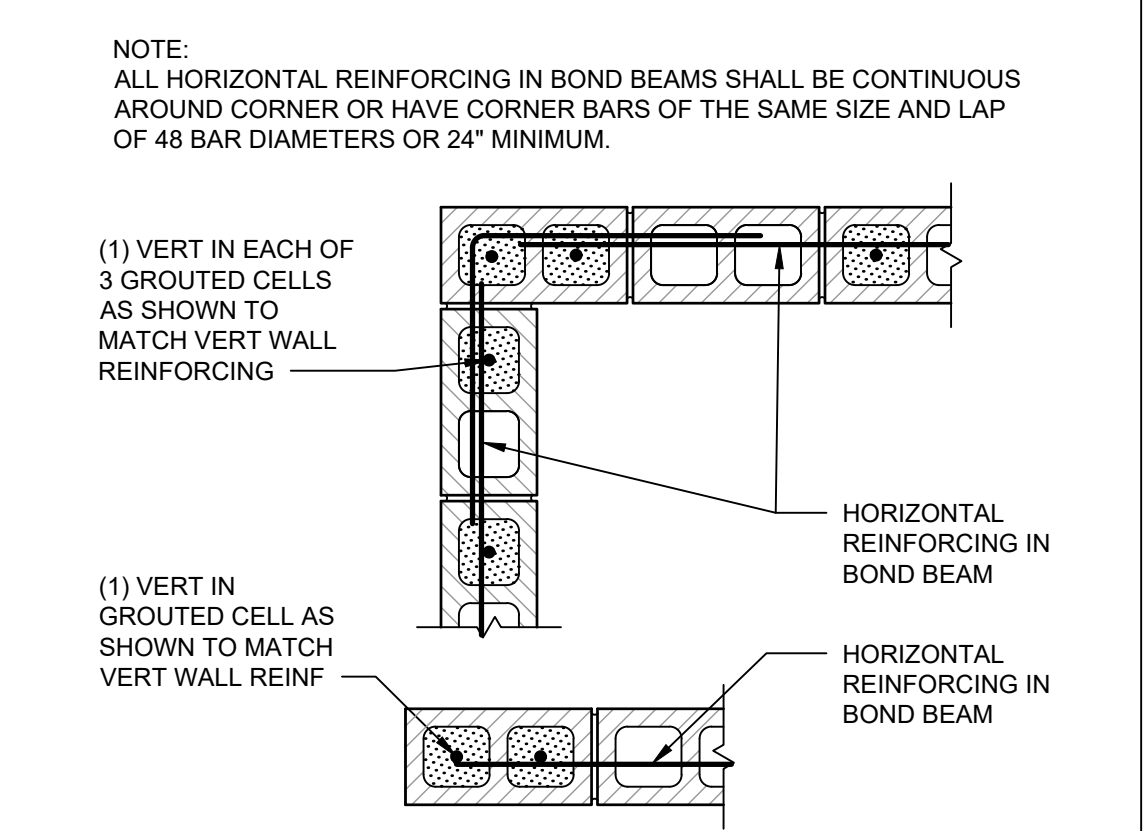
**A1 BOLLARD CONNECTION @ TRASH ENCLOSURE GATE**  
1" = 1'-0"  
0 1/2' 1' 2'



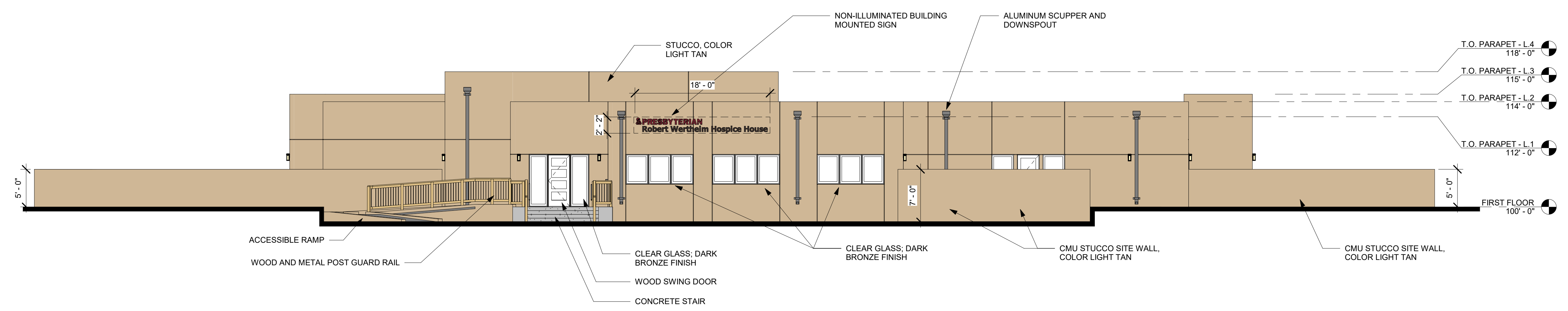
**A2 TRASH ENCLOSURE CMU WALL AND GATE**  
1/2" = 1'-0"  
0 1' 2' 4'



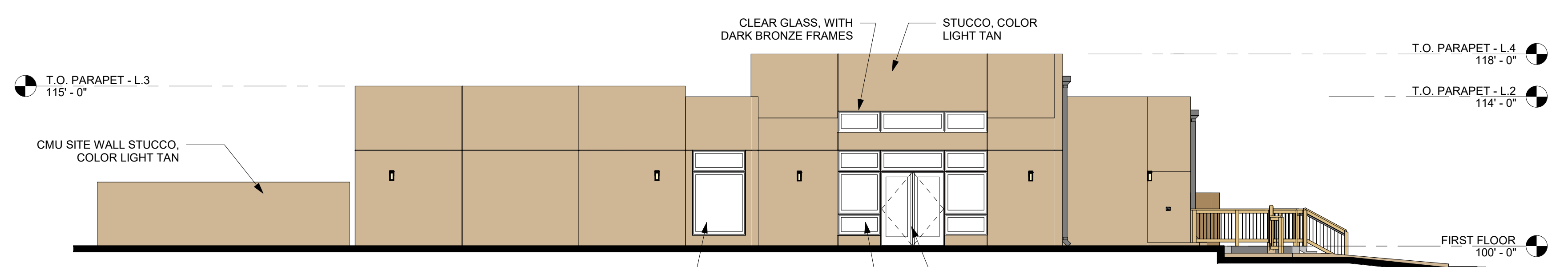
**A4 MASONRY CONTROL JOINT**  
3/4" = 1'-0"  
0 1' 2' 3'



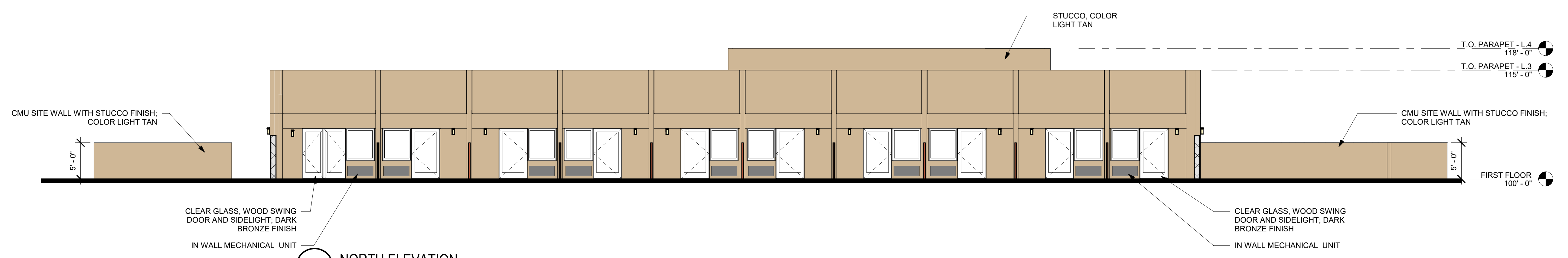
**A5 8" CMU WALL END & CORNER DETAILS**  
3/4" = 1'-0"  
0 1' 2' 3'



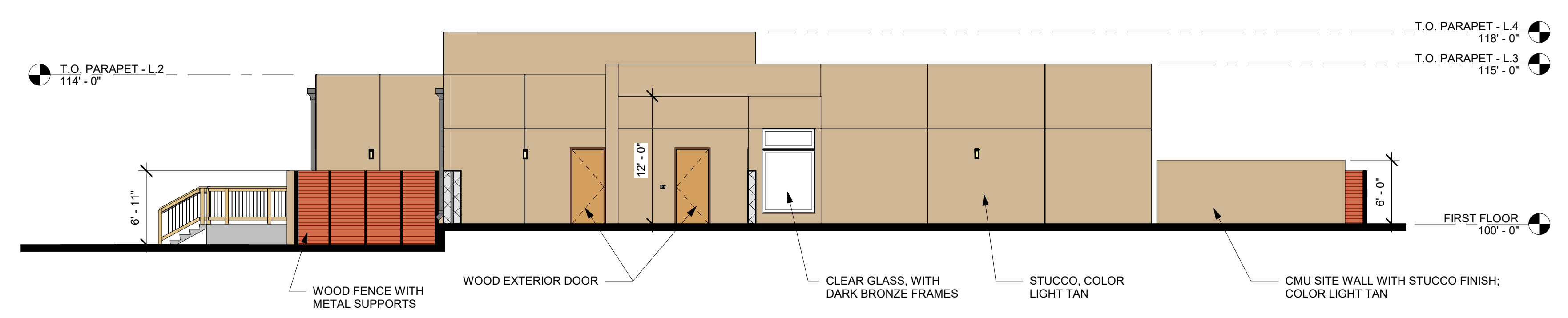
**D2 SOUTH ELEVATION**  
 1/8" = 1'-0"



**C2 WEST ELEVATION**  
 1/8" = 1'-0"



**B2 NORTH ELEVATION**  
 1/8" = 1'-0"



**A2 EAST ELEVATION**  
 1/8" = 1'-0"

