



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-005195
Application No. SI-2021-01747

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

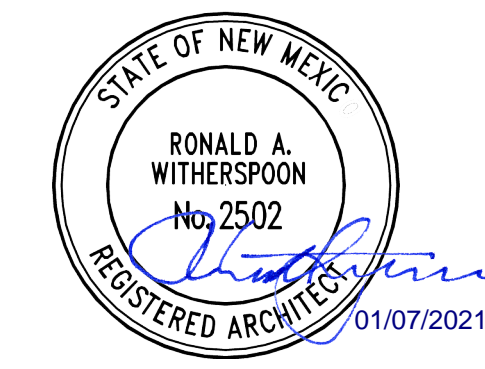
NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 11/10/2021 HEARING DATE OF DEFERRAL: 1/12/2021

SUBMITTAL DESCRIPTION: Revised drawings in response to agency comments.

CONTACT NAME: Anthony Santi

TELEPHONE: 505-761-9700 EMAIL: anthonys@dpsdesign.org



ENGINEER

PROJECT

ALLASO JCG6 APARTMENTS
 7501 JEFFERSON ST NE
 ALBUQUERQUE, NM 87109

**DESIGN REVIEW
BOARD (DRB)
APPLICATION**

REVISIONS
 ▲
 ▲
 ▲
 ▲

DRAWN BY: D/P/S
 REVIEWED BY: D/P/S
 DATE: 01.07.2022
 PROJECT NO.: 20-0029
 DRAWING NAME:

SITE PLAN

SHEET NO.

SDP1.1
OF

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING:
 IDO - MIXED USE - HIGH INTENSITY ZONING DISTRICT (MX-H)
 LANDUSE: MULTIFAMILY RESIDENTIAL

PLANNING CONTEXT:
 SITE IS WITHIN THE JOURNAL CENTER EMPLOYMENT CENTER

TRANSIT:
 BUS ROUTES 140, 251, AND 551 ARE ALONG JEFFERSON ST. A BUS STOP IS LOCATED LESS THAN 250 FEET FROM THE SUBJECT SITE ON JEFFERSON.

LEGAL DESCRIPTION:
 TRACT 6A-1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1CONT 5.1536 AC
SITE AREA: 5.15 ACRES
ZONING: D-17-2
SETBACKS: FRONT= 20' MIN
 SIDE = 10' MIN
 REAR= 10' MIN
 (20' BUILDING SETBACK, 20' PARKING SETBACK FROM JEFFERSON ST.)
 (20' BUILDING SETBACK 10' PARKING SETBACK ALONG MASTHEAD ST. AND TIBURON ST.)

JCC

BUILDING HEIGHT:
 MAXIMUM ALLOWED: 88'-0"
 ACTUAL HEIGHT: 50'-0"

SPRINKLERED: YES, NFPA 13
BUILDING OCCUPANCY: R-2 MULTIFAMILY RESIDENTIAL
CONSTRUCTION TYPE: 4 STORY RESIDENTIAL BUILDING - TYPE VA

BUILDING AREA (S.F.):
 BUILDING 1: 91,823 GSF
 BUILDING 2: 65,248 GSF
 BUILDING 3: 65,736 GSF
 TOTAL: 222,805 GSF

PARKING CALCULATION: (TABLE 5-5-1)
 15 SPACES / DWELLING UNITS: 209 X 1.5 = 314 SPACES
 WITHIN EMPLOYMENT CENTER = 20% REDUCTION = 314 X .20 = 63
 TOTAL REQUIRED SPACES = 314 - 63 = 251 SPACES
PROVIDED PARKING = 274 TOTAL SPACES (INCLUDING 24 GARAGE)
ACCESSIBLE PARKING: (NMBC 208.2.3)
 2% OF UNITS = 209 X .02 = 4.18 = 5 SPACES REQUIRED
 7 STANDARD + 4 VAN ACCESSIBLE SPACES = 11 SPACES PROVIDED
 (2 ACCESSIBLE SPACES ARE ALSO ELECTRIC VEHICLE SPACES)

BICYCLE PARKING REQUIRED = 25 SPACES
 (10% OF REQUIRED OFF-STREET PARKING = 251 X 0.10 = 25 SPACES)
BICYCLE PARKING PROVIDED = 16 SPACES OUTDOOR, 10 INDOOR

MOTORCYCLE PARKING REQUIRED, (TABLE 5-5-4) = 5 SPACES
MOTORCYCLE PARKING PROVIDED = 5 SPACES
ELECTRIC VEHICLE PARKING REQUIRED, 2% (TABLE 5-5(C)(9)) = 5 SPACES
ELECTRIC VEHICLE PARKING PROVIDED = 7 SPACES

LEGEND

- LANDSCAPE AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- BIKE RACK, REF: B5/SDP1.2
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- 6' TALL DECORATIVE METAL FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2
- COMPACT PARKING, REF: D5/SDP1.3
- LIGHT POLE 25'-0" HEIGHT
- 6" BOLLARD WITH SIGN
- 6' WIDE PAINTED CROSSWALK, SEE A4/SDP1.2
- ELECTRIC VEHICLE (EV) CHARGING STATION WITH SIGN, REF: B1/SDP1.2

VICINITY MAP



SHEET KEYED NOTES

- TRASH COMPACTOR, SEE D1/SDP1.2
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- CONCRETE CURB & GUTTER, SEE A2/SDP1.2
- 6" WIDE CONCRETE SIDEWALK SEE B4/SDP1.2
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBER BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 20' FRONT SETBACK
- 10' SIDE/REAR SETBACK
- ADA PARKING, SEE A3/SDP1.2
- ACCESSIBLE RAMP, SEE B3/SDP1.2 AND C5/SDP1.2
- ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 24463
- BUILDING MOUNTED BLADE SIGN SEE C5/SDP1.3
- MONUMENT SIGN SEE C4/SDP1.2
- OUTDOOR GATHERING AREA WITH SWIMMING POOL AND SPA
- GARAGE PARKING
- 6' DECORATIVE METAL FENCE, MULTIFAMILY HEIGHT EXCEPTION (IDO 5-7-E-2, 5-7(D)(3)(c)). MATERIALS ALLOWED PER (IDO 5-7-E), ARTICULATION PER (IDO 5-7(E)(2)(a) OPTION 1), SEE C4/SDP1.2
- 6' DECORATIVE CMU WALL W/ 3' METAL FENCING INFILL, HEIGHT ALLOWED PER (IDO TABLE 5-7-1), MATERIALS ALLOWED PER (IDO 5-7-E-4), WALL STEPS 16" MIN EVERY 100 LINEAR FT. PER ARROYO STANDARDS (IDO 5-7-E-4), SEE D5/SDP1.2
- ENTRY SHADE TRELLIS
- ELECTRIC VEHICLE (EV) CHARGING STATION WITH SIGN, REF: B1/SDP1.2
- BIKE RACK, REF: B5/SDP1.2
- MOTORCYCLE PARKING WITH SIGN, REF: B1/SDP1.2
- RECYCLING BIN ENCLOSURE, REF: D4/SDP1.2
- CARPORT STRUCTURE

EASEMENT NOTES

- EXISTING 10' UTILITY EASEMENT, TYPICAL ALONG STREET R.O.W.

AMENITIES

AMENITIES ON-SITE WILL INCLUDE COVERED PARKING SPACES, LEASING OFFICE, MAIL AND PACKAGE CENTER, AND BIKE STORAGE ROOM. THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND LANDSCAPING.

OPEN SPACE CALCULATIONS

TABLE 2-4-5 / MX-M ZONING		
USABLE OPEN SPACE		
1 BD: 225 SF PER UNIT	225 SF x 126 UNITS	= 28,350 SF
2 BD: 285 SF PER UNIT	285 SF x 83 UNITS	= 23,655 SF
TOTAL		= 52,005 SF
REQUIRED OPEN SPACE:		= 52,005 SF
SITE		= 54,434 SF
OPEN PATIO/BALCONIES		= 21,064 SF
TOTAL		= 75,498 SF

UNIT DATA

TYPICAL UNIT	DESCRIPTION	NEW UNIT NAME	GROSS HEATED SQUARE FOOTAGE (SQFT)	TOTAL QUANTITY	TOTAL AREA (SQFT)
TYPICAL COMMUNITY		S2	948	1	948
TYPICAL ONE-BEDROOM		A1.1	623	56	35,172
ONE-BEDROOM		A1.2	644	12	7,728
ONE-BEDROOM		A1.3	663	3	1,989
PATIO ENTRY BELOW ONE-BEDROOM		A1.4	608	4	2,312
ONE-BEDROOM AT CORRIDOR END		A2.1	719	4	2,884
ONE-BEDROOM		A2.2	631	3	1,893
PATIO ENTRY BELOW ONE-BEDROOM		A2.3	715	1	715
ONE-BEDROOM		A2.4	716	2	1,514
ONE-BEDROOM		A2.5	666	2	1,330
ONE-BEDROOM		A3.1	718	6	4,308
PATIO ENTRY BELOW ONE-BEDROOM		A3.2	662	2	1,324
ONE-BEDROOM		A4.1	884	3	2,652
PATIO ENTRY BELOW ONE-BEDROOM		A4.2	794	1	794
TYPICAL TWO-BEDROOM		B1.1	1001	15	15,015
PATIO ENTRY BELOW TYPICAL TWO-BEDROOM		B1.2	1260	1	1,260
TYPICAL TWO-BEDROOM AT CORRIDOR END		B2.1	1117	10	11,170
TWO-BEDROOM AT CORRIDOR END		B2.2	1072	4	4,288
TWO-BEDROOM AT CORRIDOR END		B2.3	1020	14	14,280
PATIO ENTRY AT TWO-BEDROOM AT CORRIDOR END		B2.3-ALT	1022	1	1,022
TWO-BEDROOM AT CORRIDOR END		B2.4	1211	1	1,211
TWO-BEDROOM AT CORRIDOR END		B2.5	1036	4	4,152
TWO-BEDROOM AT CORRIDOR END		B2.6	963	2	1,926
PATIO ENTRY BELOW TWO-BEDROOM AT CORRIDOR END		B2.7	1141	1	1,141
PATIO ENTRY BELOW TWO-BEDROOM AT CORRIDOR END		B2.8	1036	1	1,036
TYPICAL TWO-BEDROOM AT INNER CORNER		B3.1	1063	14	14,882
PATIO ENTRY BELOW TWO-BEDROOM AT INNER CORNER		B3.2	1261	1	1,261
PATIO ENTRY BELOW TWO-BEDROOM AT INNER CORNER		B3.3	1071	1	1,071
TYPICAL TWO-BEDROOM AT OUTER CORNER ON UPPER LEVEL		B4.1	1217	6	7,302
TYPICAL TWO-BEDROOM AT OUTER CORNER ON LOWER LEVEL		B4.2	1176	2	2,356
AREAS COMMUNITY		R5	1221	1	1,221
CORRIDOR		C1	1003	3	3,009
CORRIDOR		C2	773	1	773
TOTAL UNIT COUNT				289	173,167

PROJECT NUMBER: _____

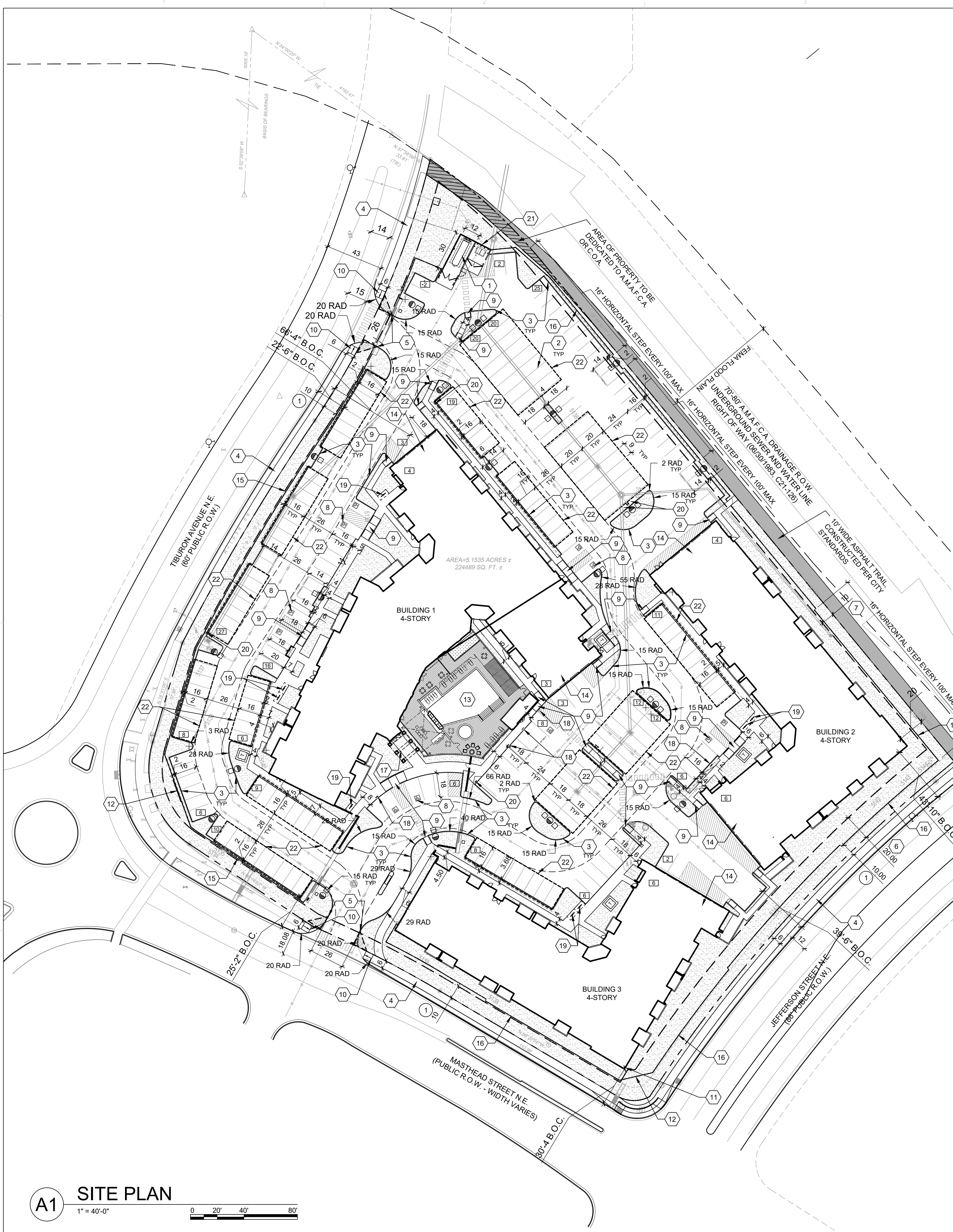
Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
 2/16/2018



A1 SITE PLAN
 1" = 40'-0"
 0 20' 40' 80'



ENGINEER

PROJECT

ALLASO JCG APARTMENTS
7501 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

DESIGN REVIEW
BOARD (DRB)
APPLICATION

REVISIONS

- △
- △
- △
- △

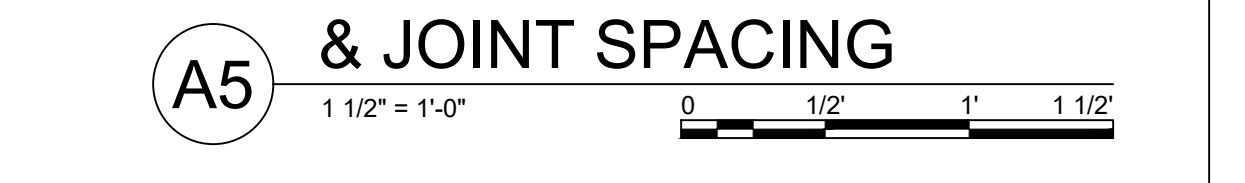
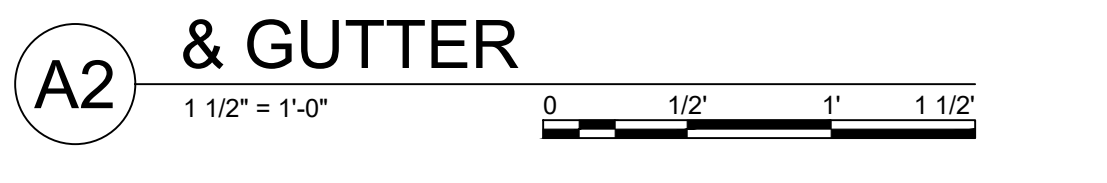
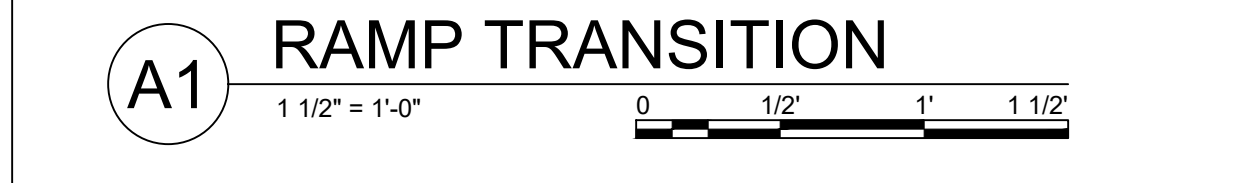
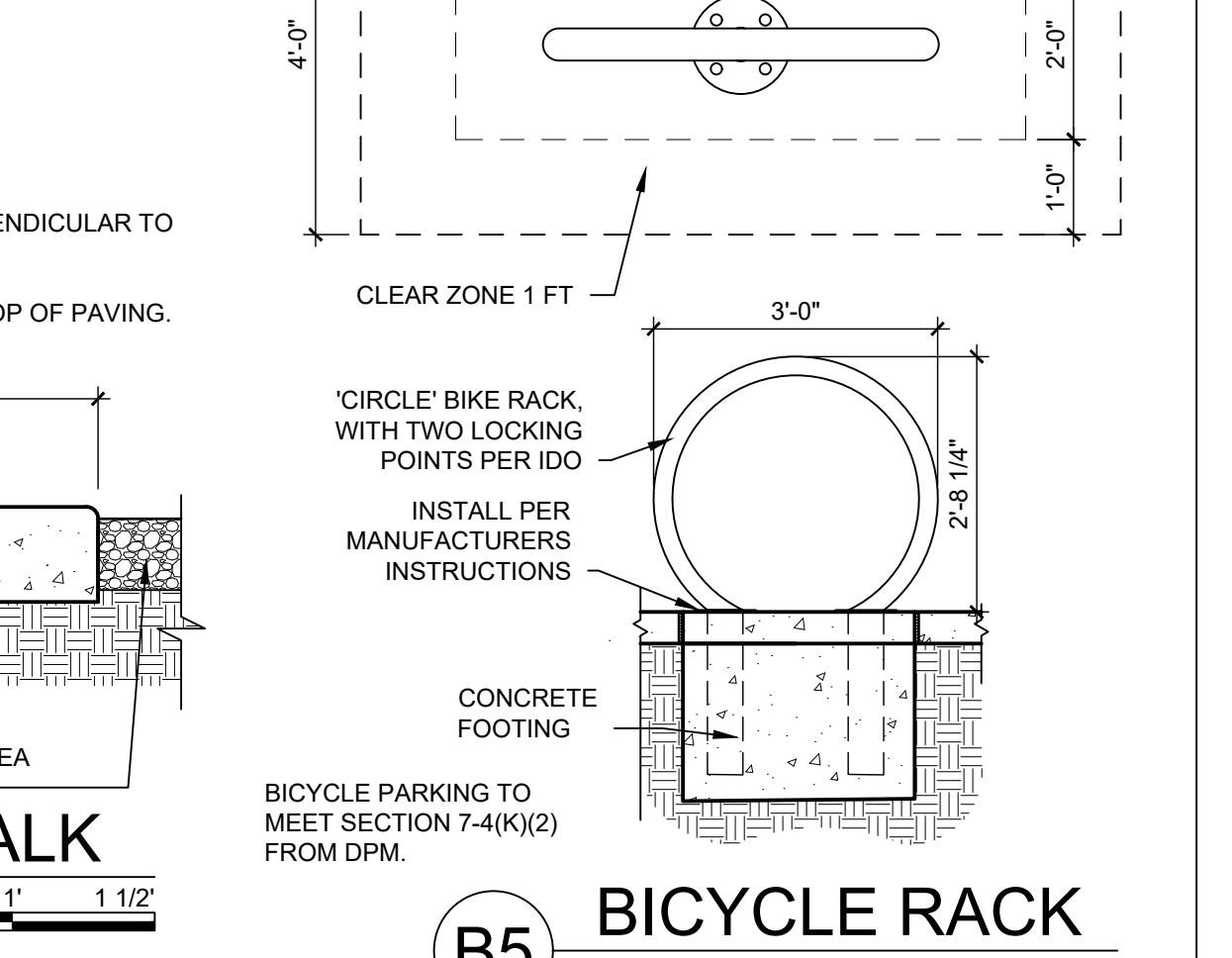
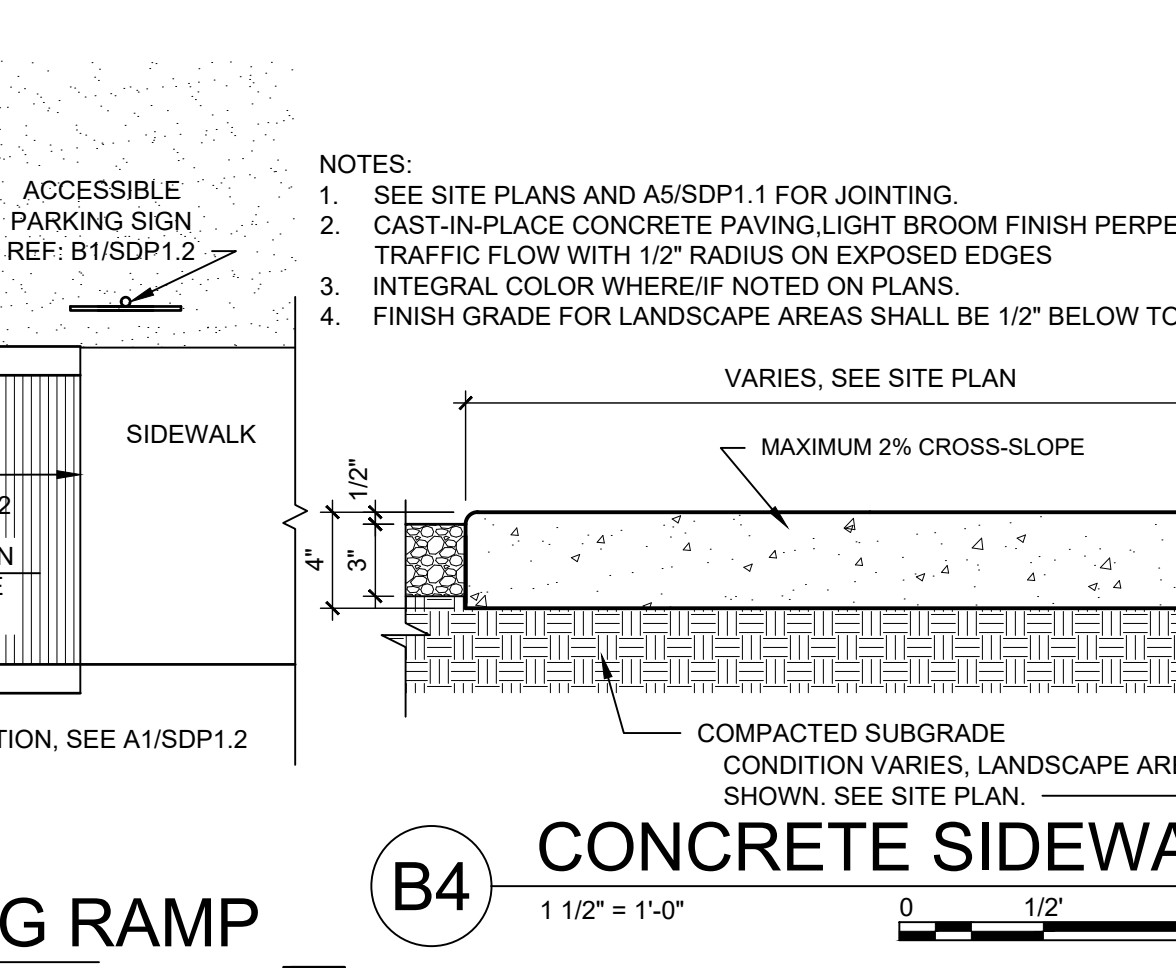
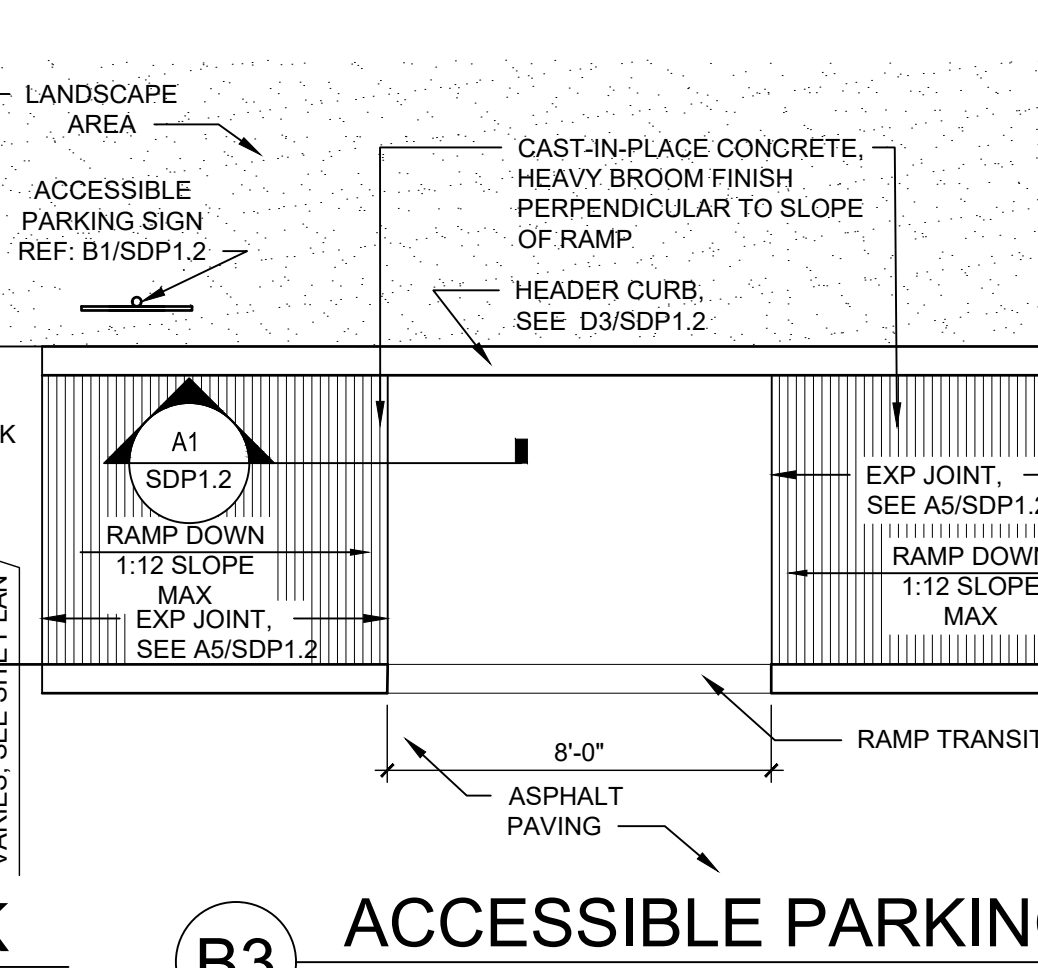
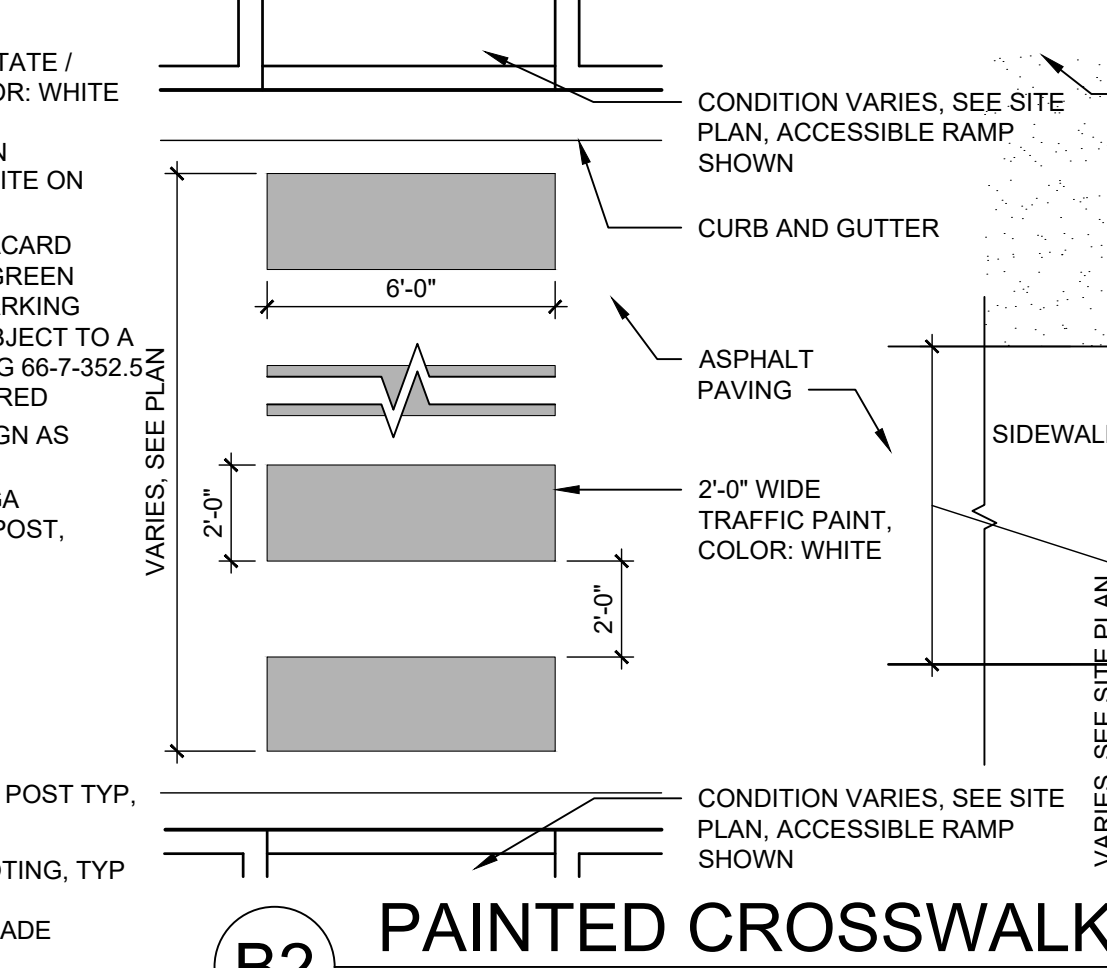
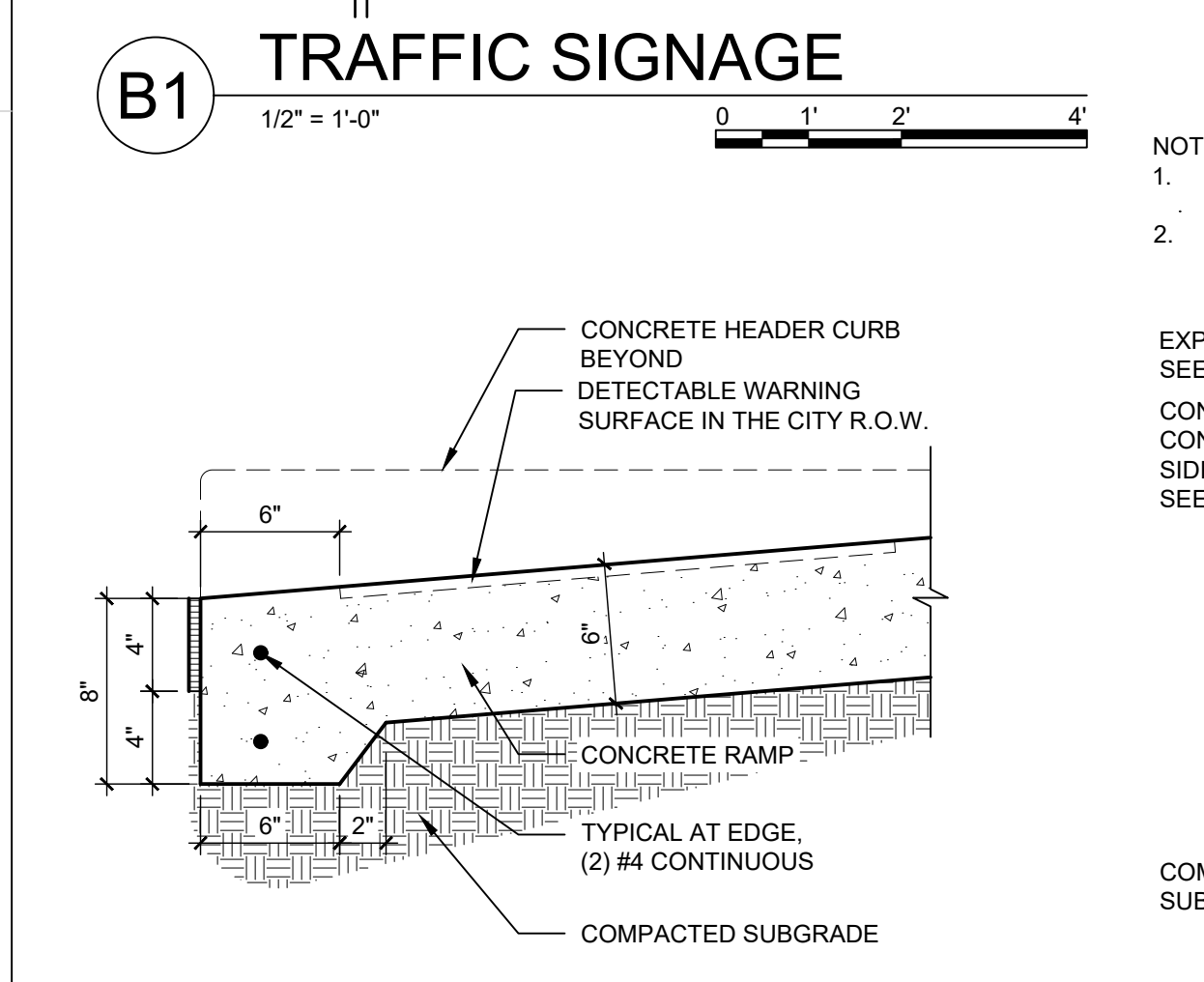
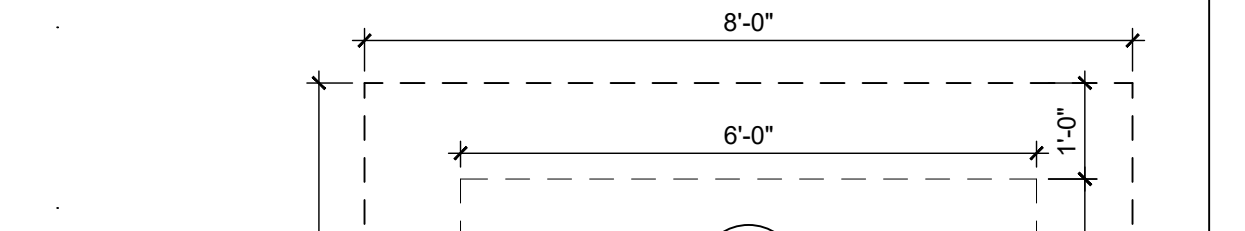
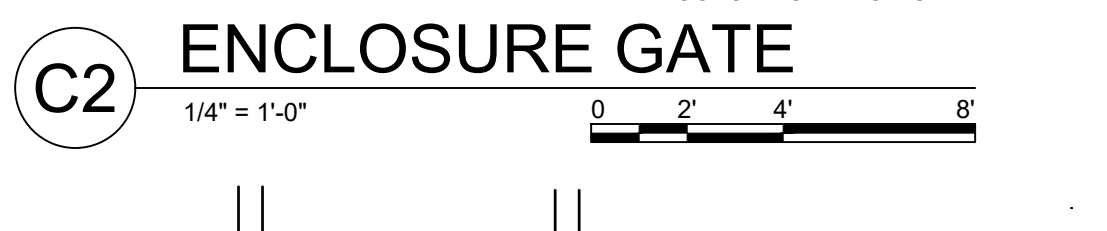
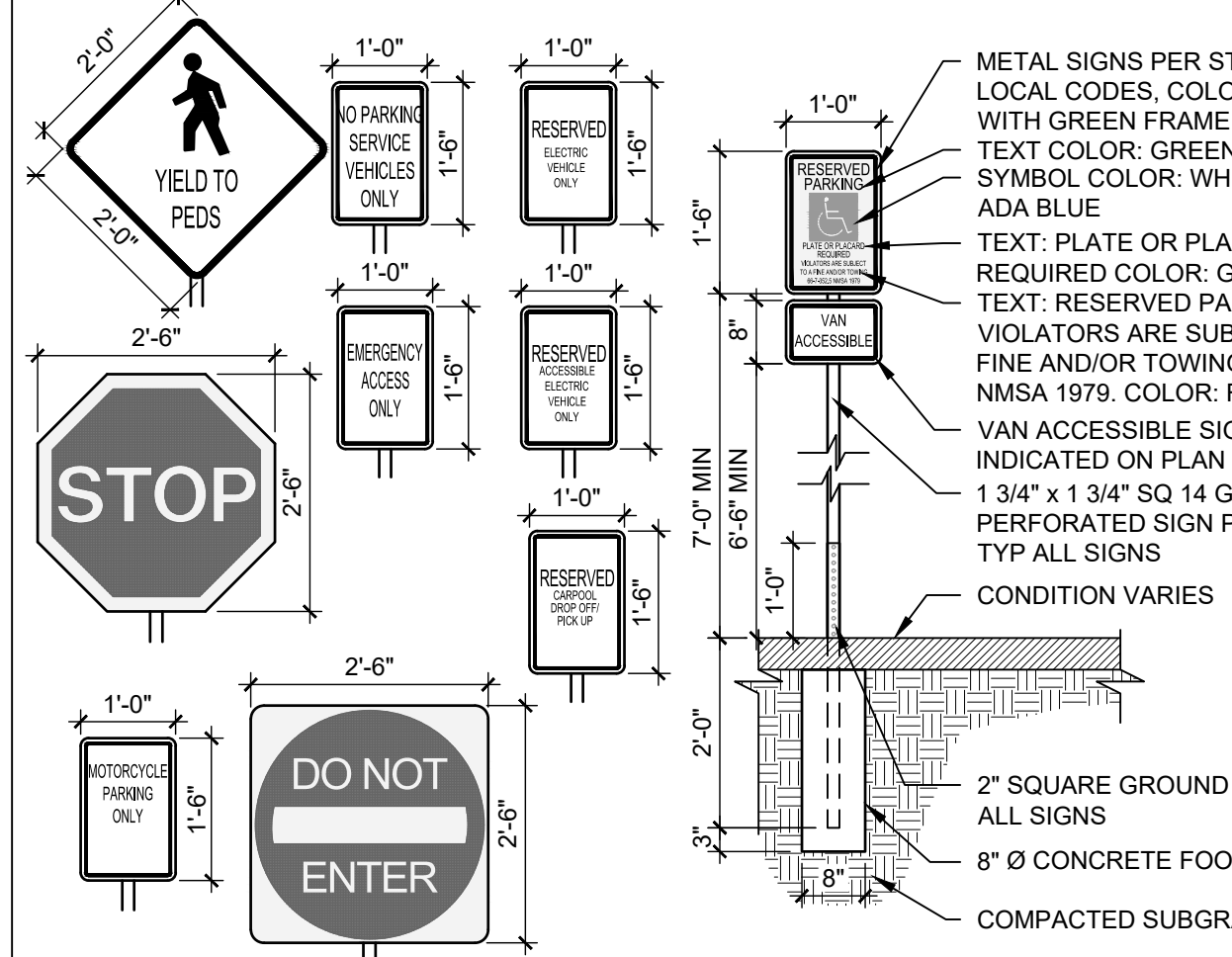
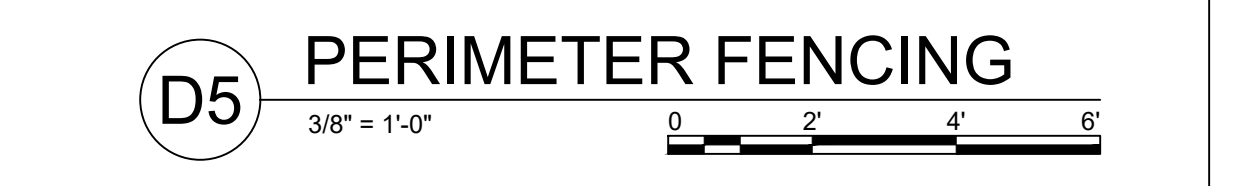
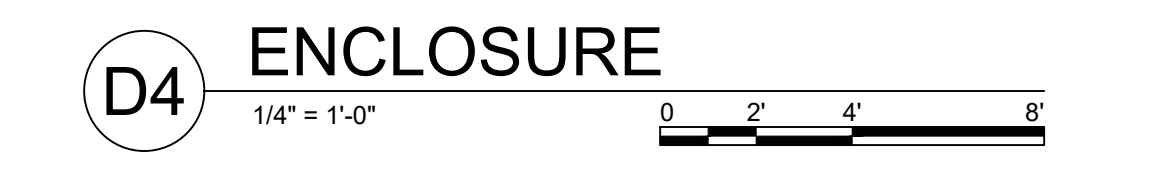
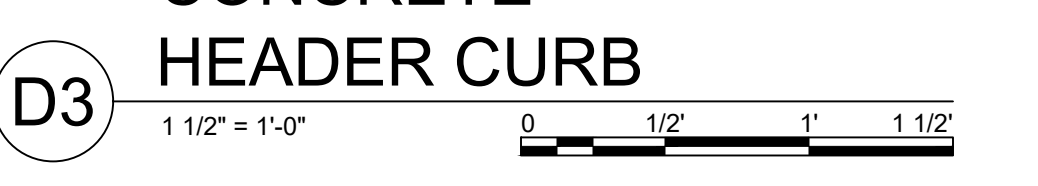
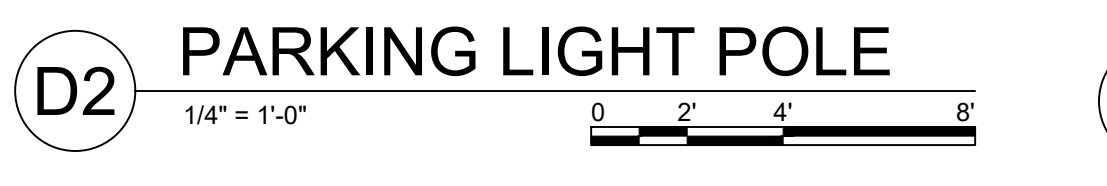
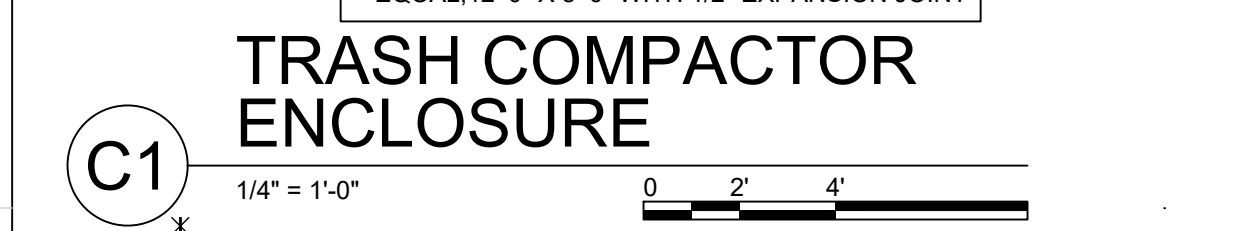
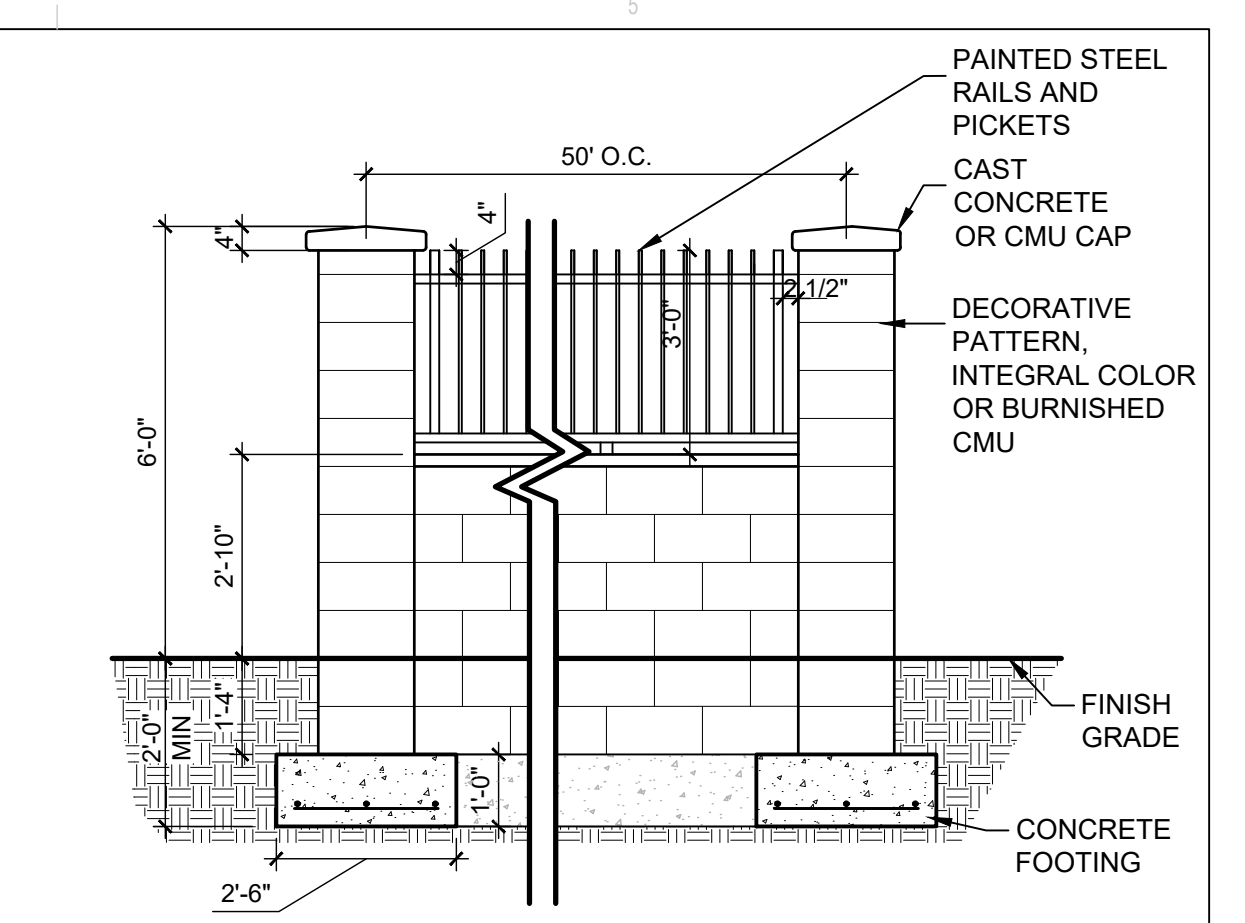
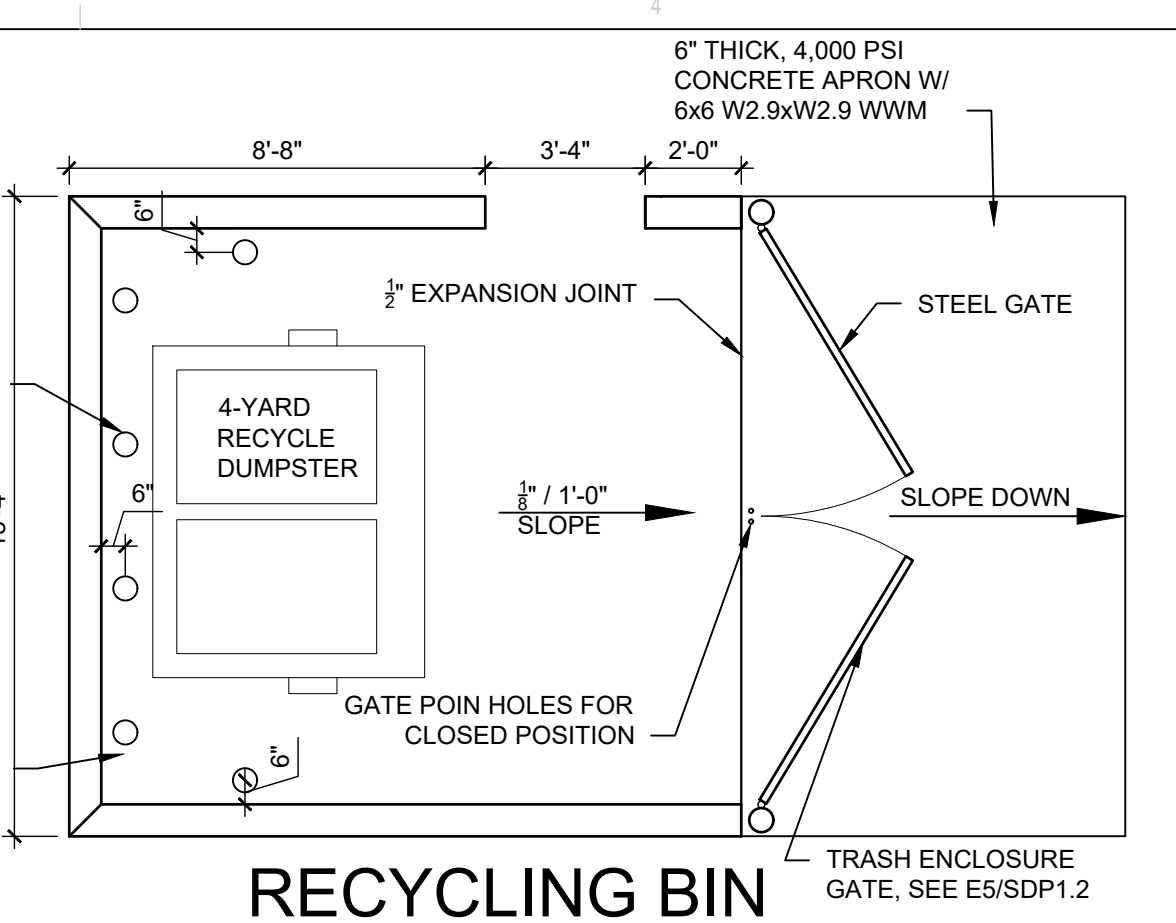
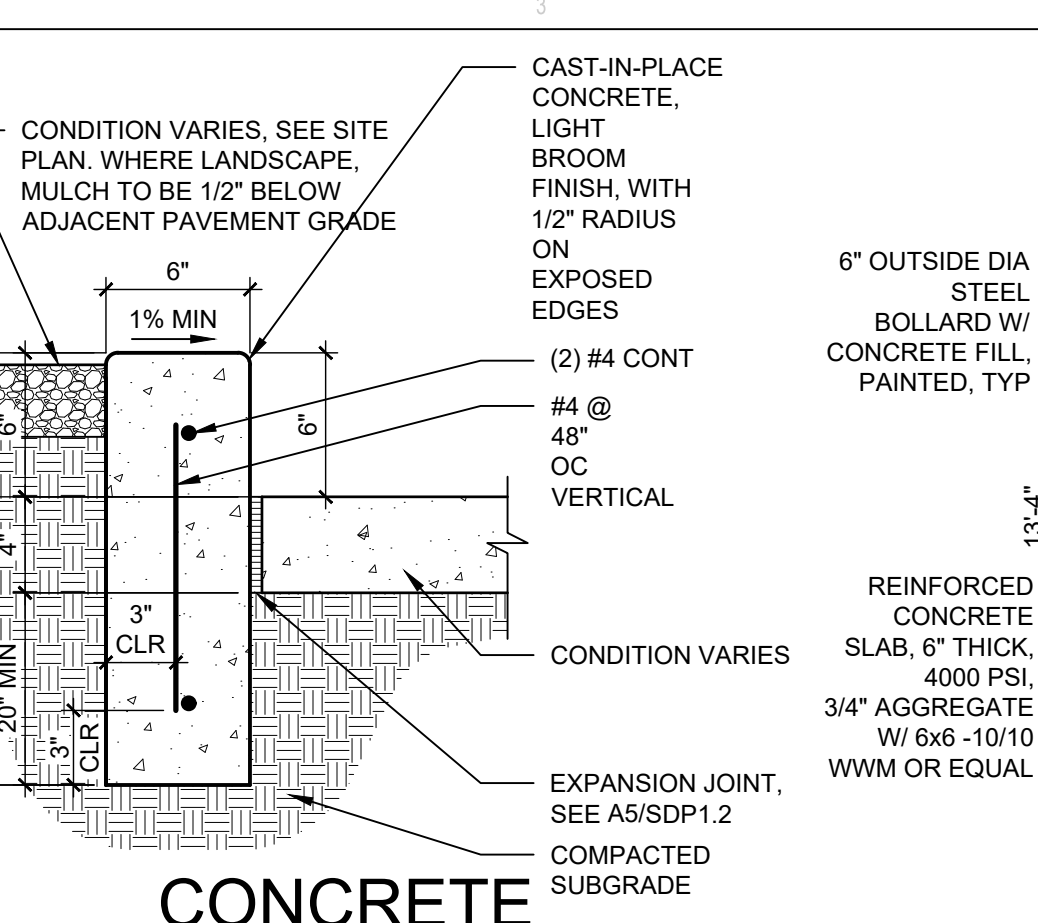
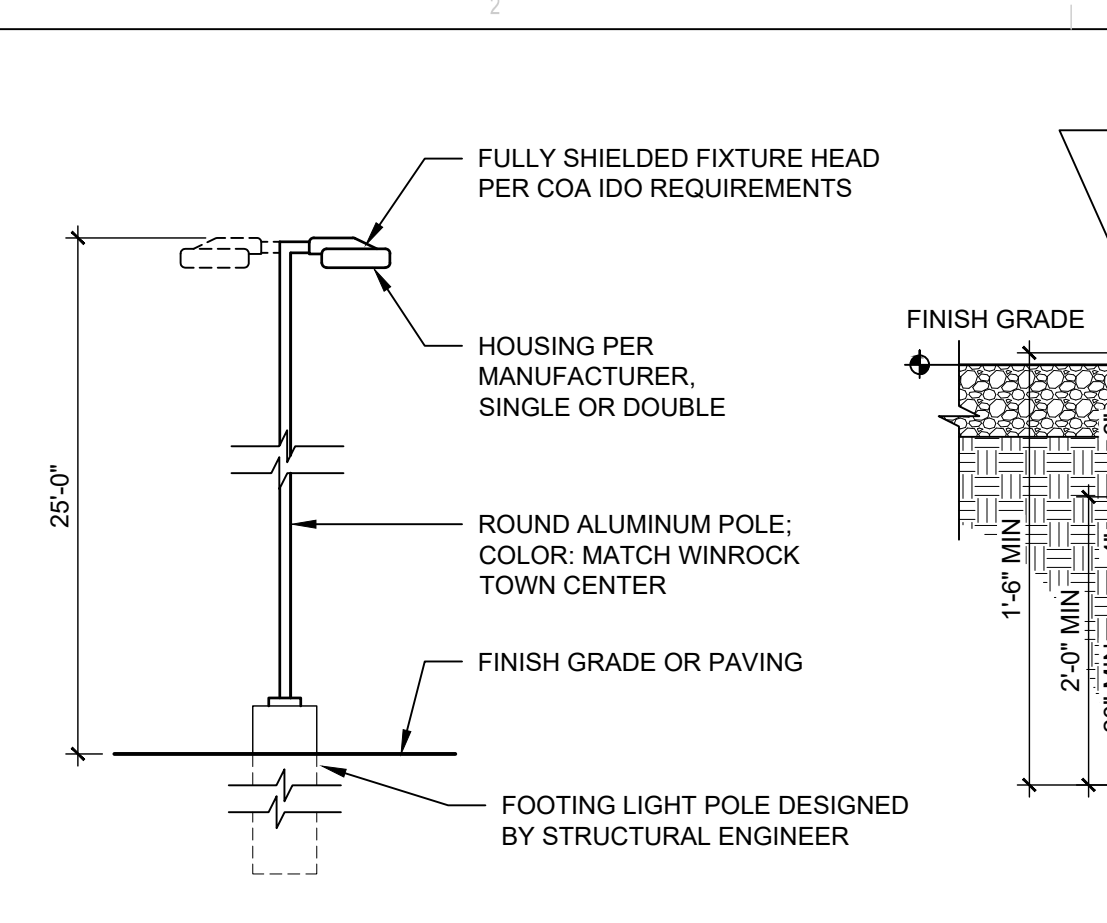
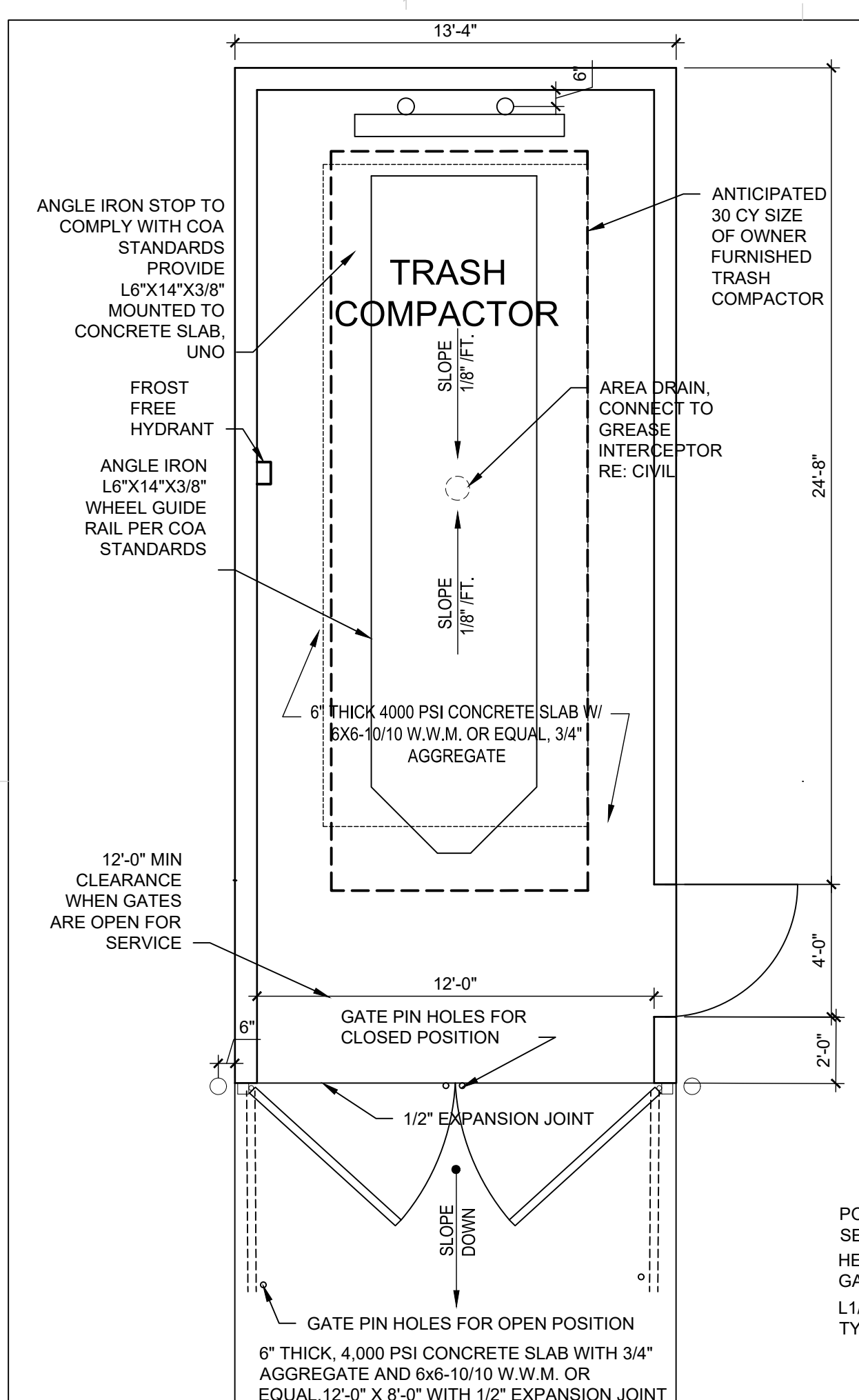
DRAWN BY: DPS
REVIEWED BY: DPS
DATE: 01.07.2022
PROJECT NO.: 20-0029
DRAWING NAME:

SITE DETAILS

SHEET NO.

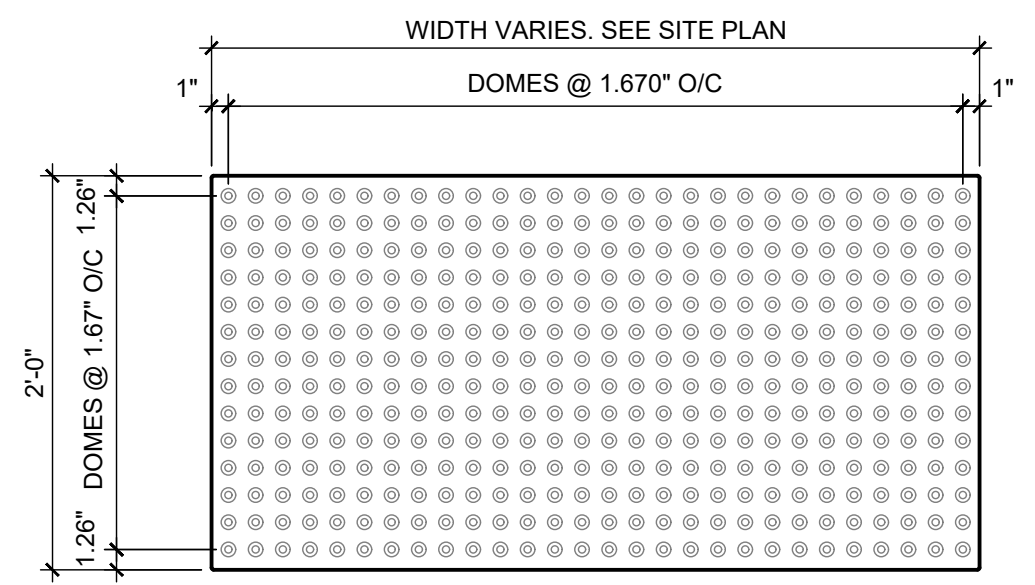
SDP1.2

OF



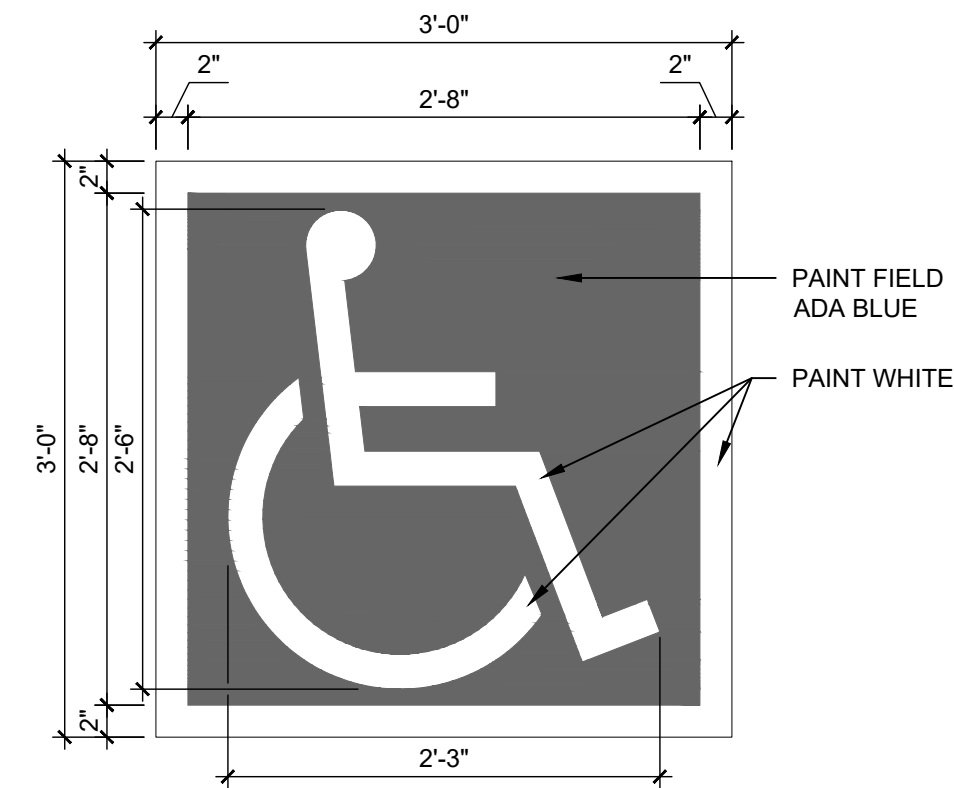
CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

NOTES:
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS



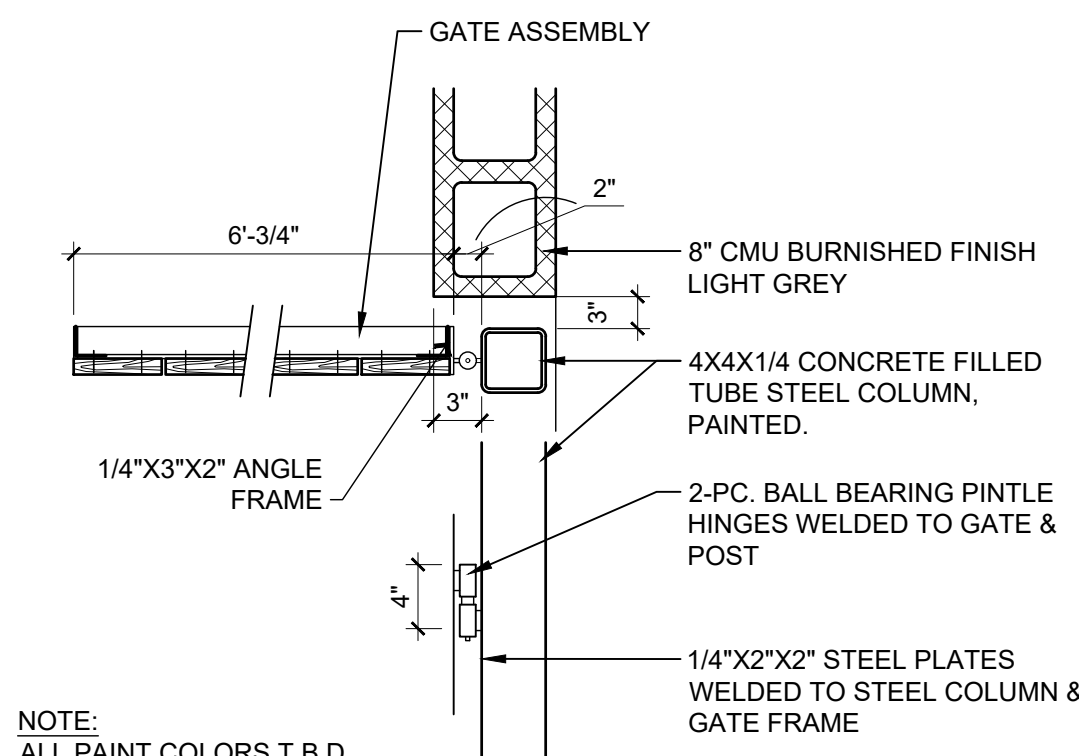
D1 DETECTABLE WARNING SURFACE

1" = 1'-0" 0 1/2' 1' 2'



D2 ACCESSIBLE PAVEMENT MARKING

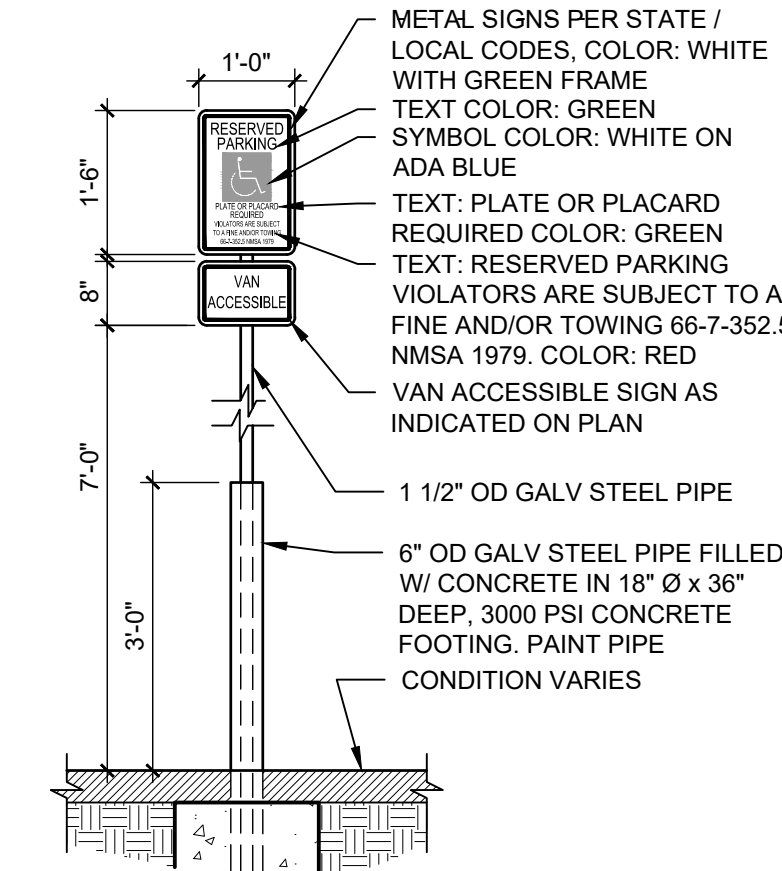
1" = 1'-0" 0 1/2' 1' 2'



NOTE:
ALL PAINT COLORS T.B.D.

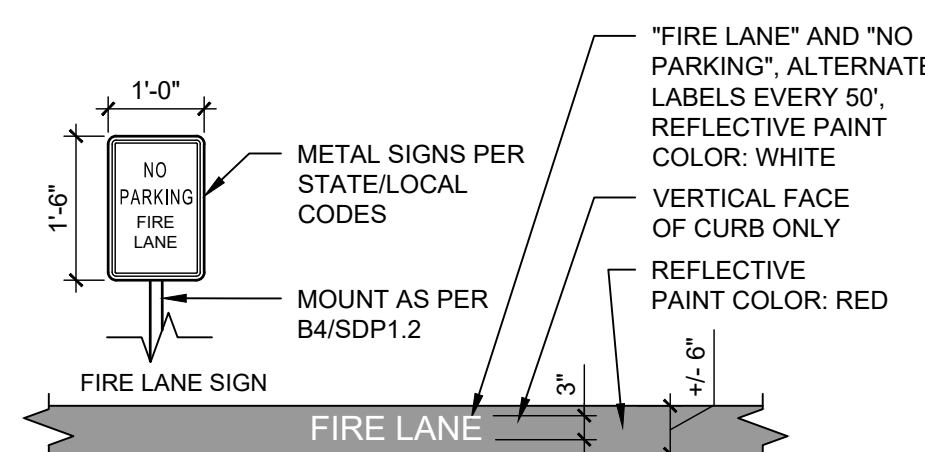
C2 CORNER DETAIL

1" = 1'-0" 0 1/2' 1' 2'



B2 POLE MOUNTED H.C. SIGN

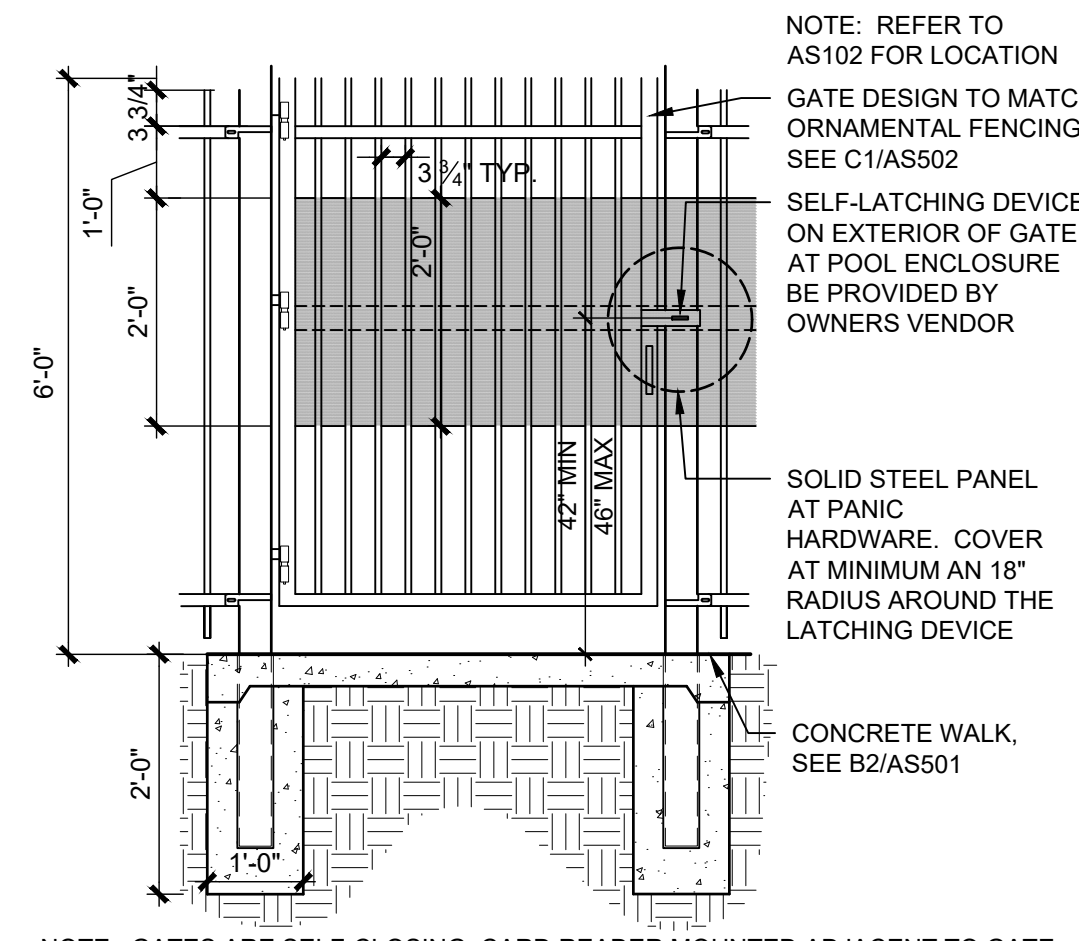
1/2" = 1'-0" 0 1' 2' 4'



NOTES:
1. SEE PLANS FOR EXTENTS OF CURB PAINT.

A2 FIRELANE STRIPING AND SIGNAGE

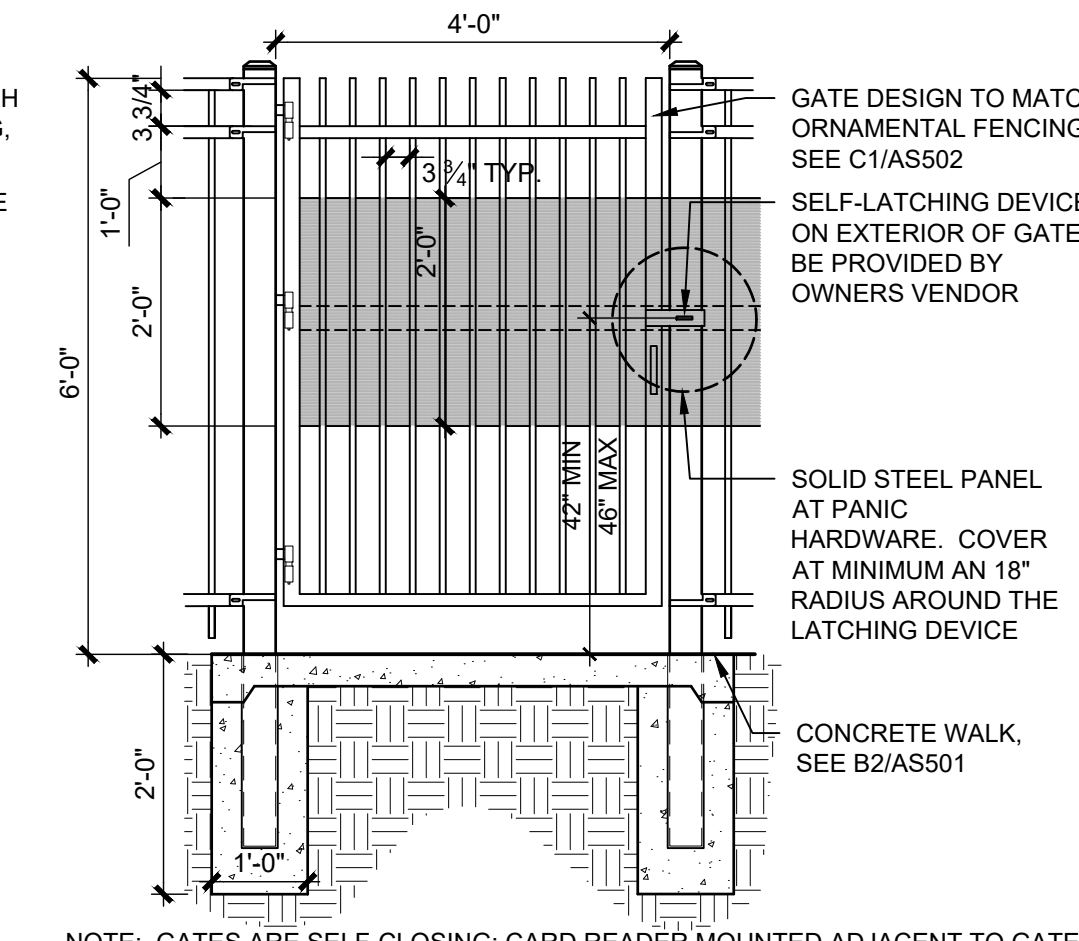
1/2" = 1'-0" 0 1' 2' 4'



NOTE: GATES ARE SELF-CLOSING; CARD READER MOUNTED ADJACENT TO GATE. GATE TO MEET NMAC 7.18.3.33 PUBLIC BARRIER REQUIREMENTS

C3 POOL ENCLOSURE GATE

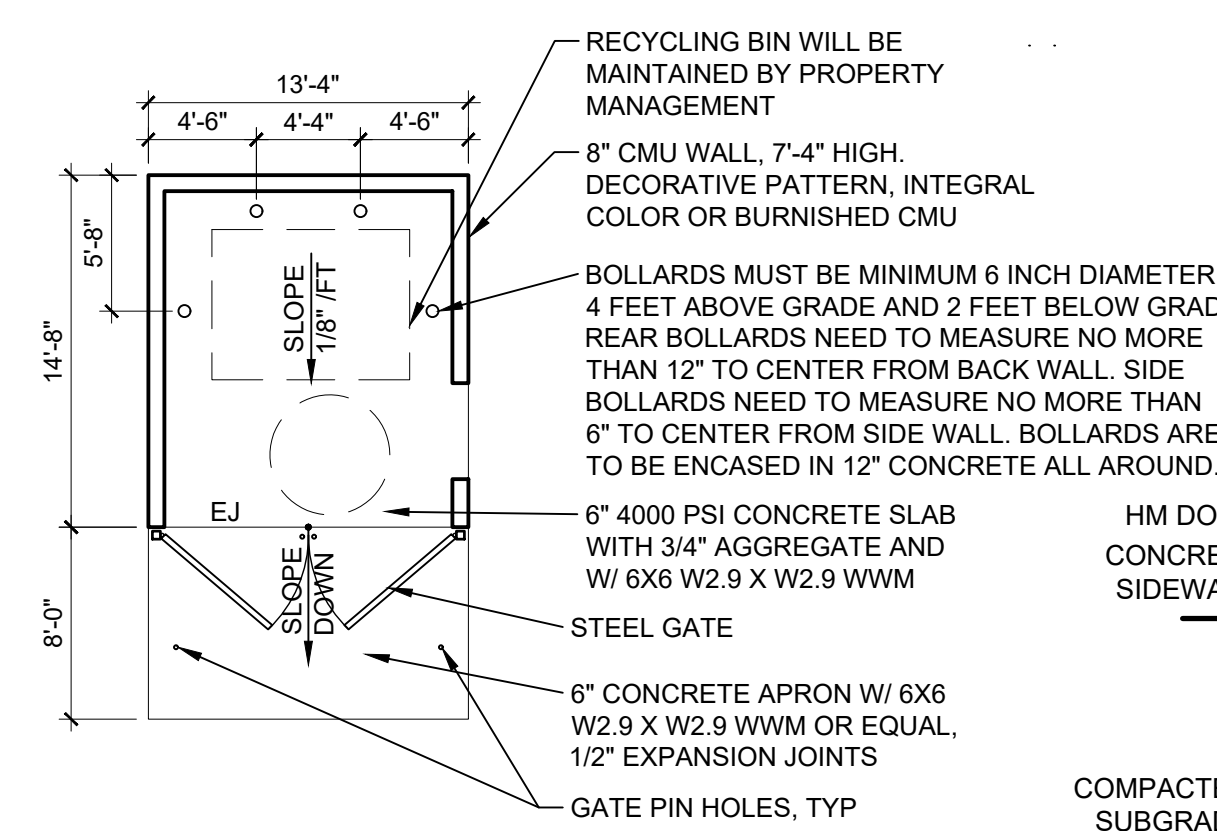
1/2" = 1'-0" 0 1' 2' 4'



NOTE: GATES ARE SELF-CLOSING; CARD READER MOUNTED ADJACENT TO GATE. GATE TO MEET NMAC 7.18.3.33 PUBLIC BARRIER REQUIREMENTS

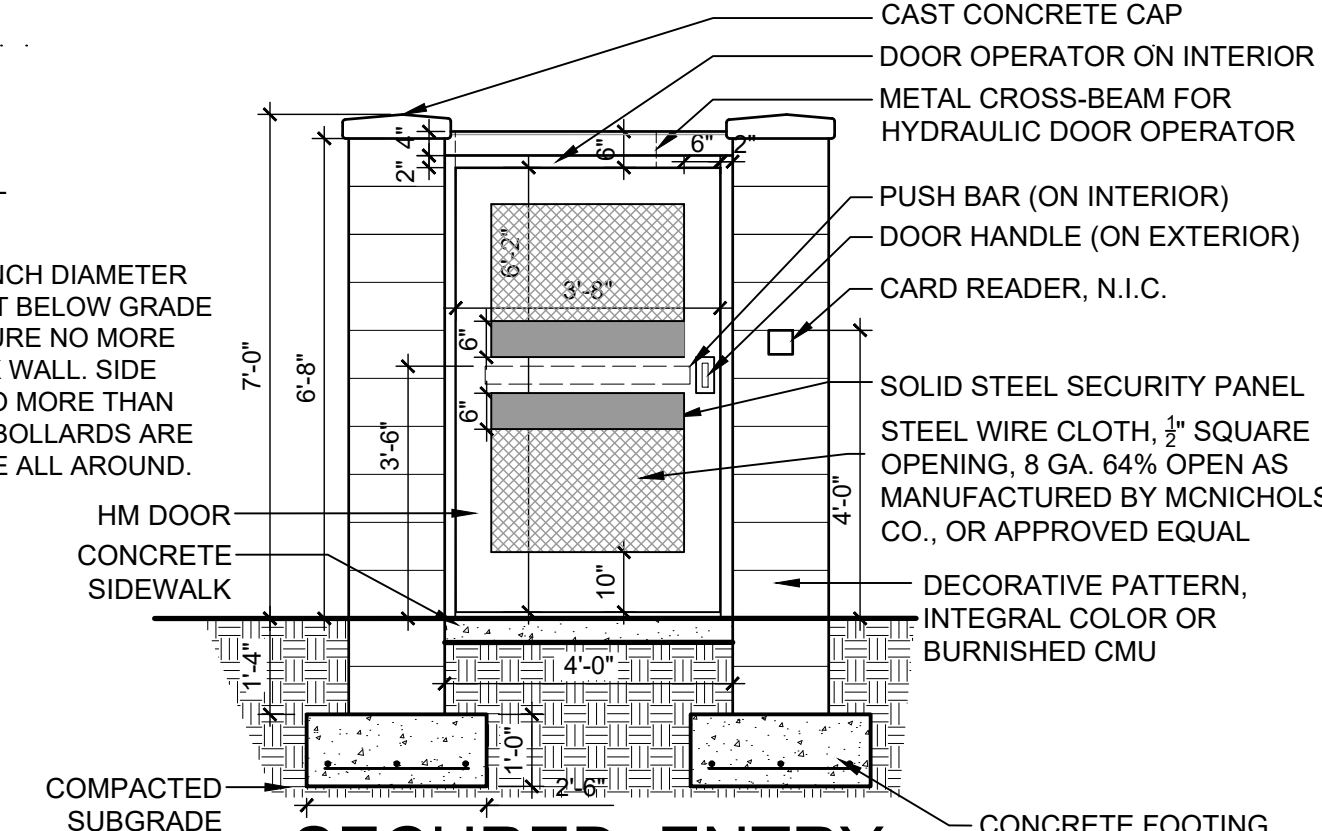
C4 SECURITY GATE

1/2" = 1'-0" 0 1' 2' 4'



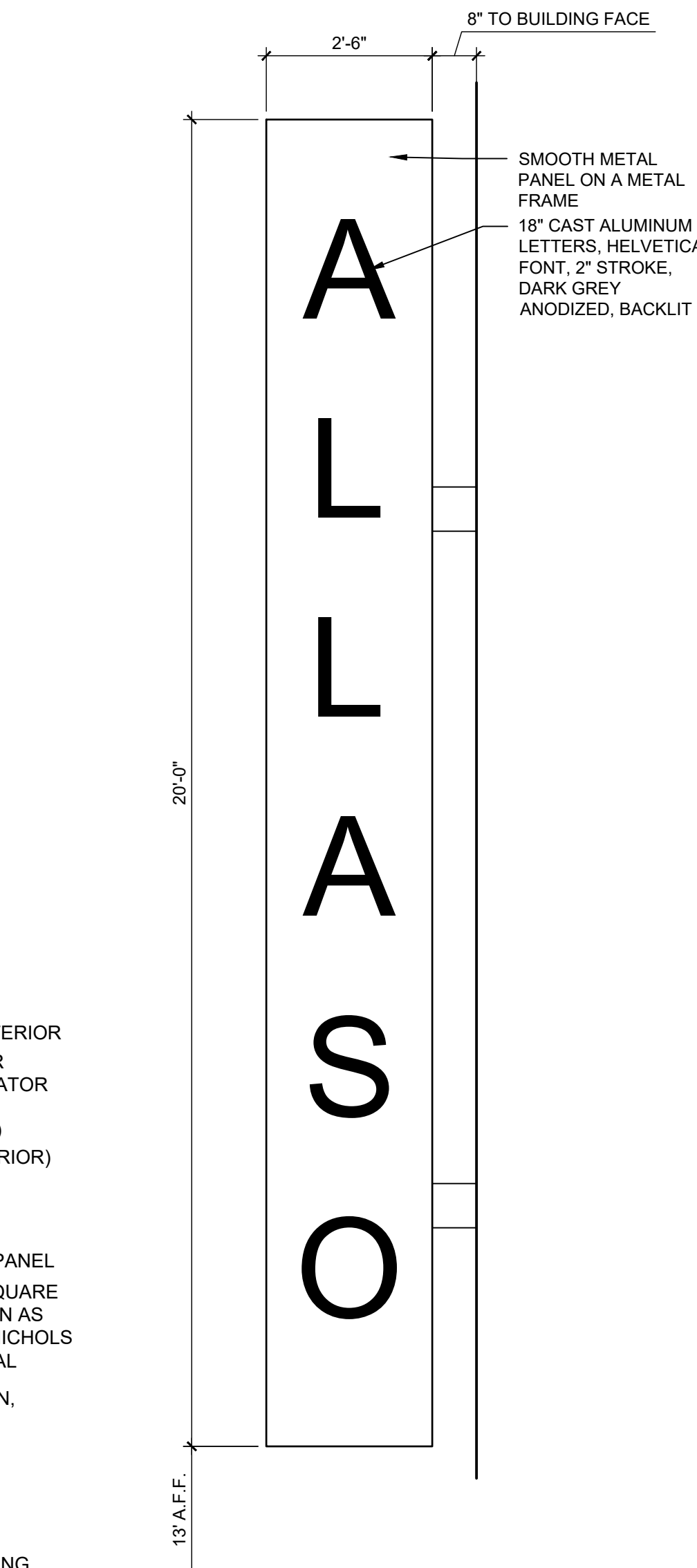
B3 RECYCLING ENCLOSURE

1/8" = 1'-0" 0 4' 8' 16'



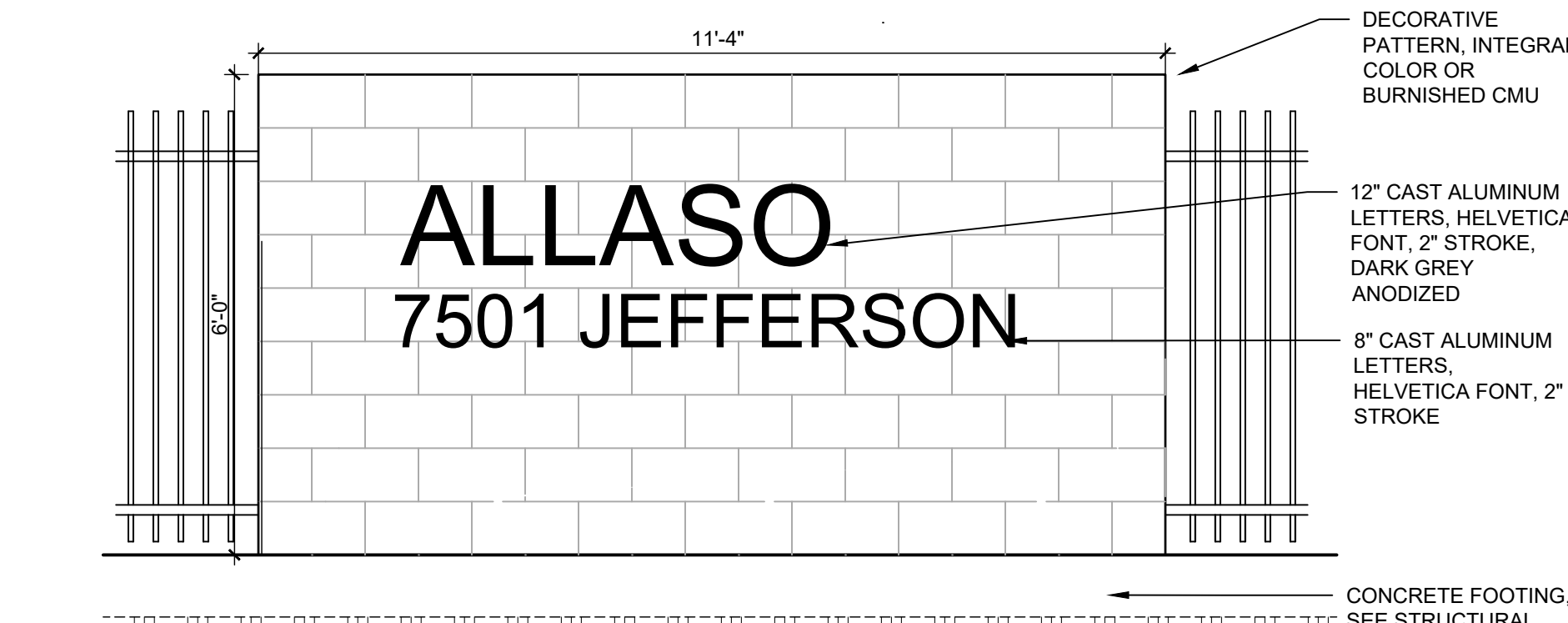
B4 SECURED ENTRY GATE

3/8" = 1'-0" 0 2' 4' 6'



B5 BLADE SIGN

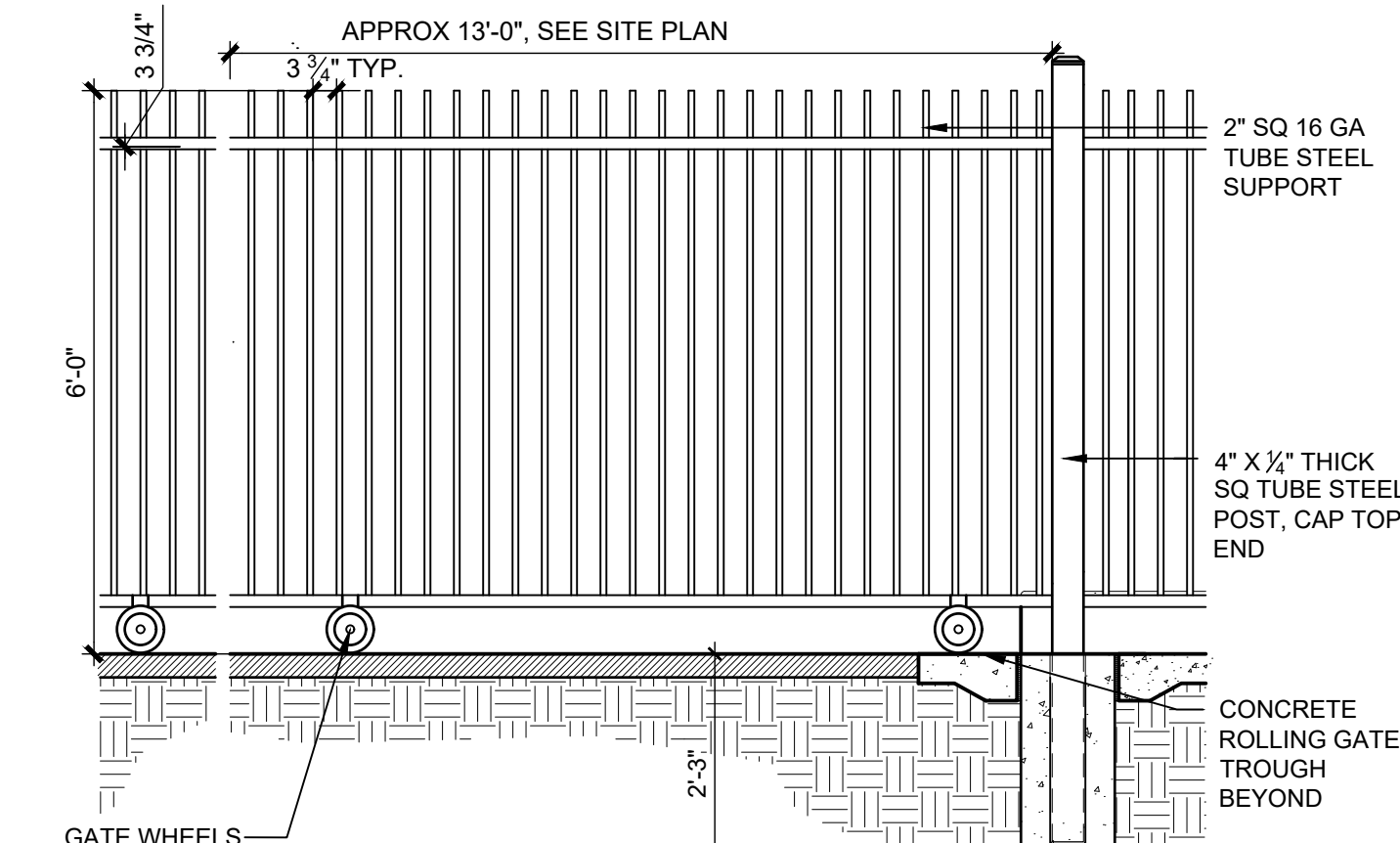
1/2" = 1'-0" 0 1' 2' 4'



NOTE: MONUMENT SIGN UNDER SEPARATE PERMIT. PROVIDE LANDSCAPE LIGHTS ON DAYLIGHT SENSOR. MONUMENT SIGN LIT FROM DUSK TILL DAWN. SEE ELECTRICAL FIXTURE SCHEDULE E01

A3 MONUMENT SIGN

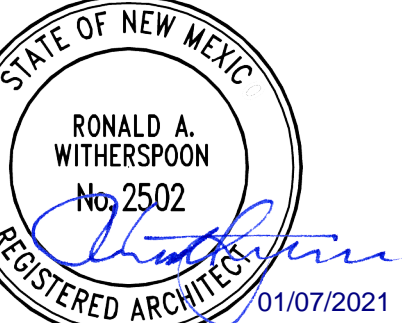
1/2" = 1'-0" 0 1' 2' 4'



A5 VEHICULAR GATE

1/2" = 1'-0" 0 1' 2' 4'

DEKKER PERICH SABATINI



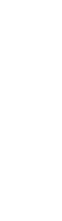
ENGINEER

PROJECT

ALLASO JC6 APARTMENTS
7501 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

DESIGN REVIEW BOARD (DRB) APPLICATION

REVISIONS



DRAWN BY DPS
REVIEWED BY DPS
DATE 01.07.2022
PROJECT NO. 20-0029
DRAWING NAME

SITE DETAILS

SHEET NO.

SDP1.3

OF

LANDSCAPE CALCULATIONS

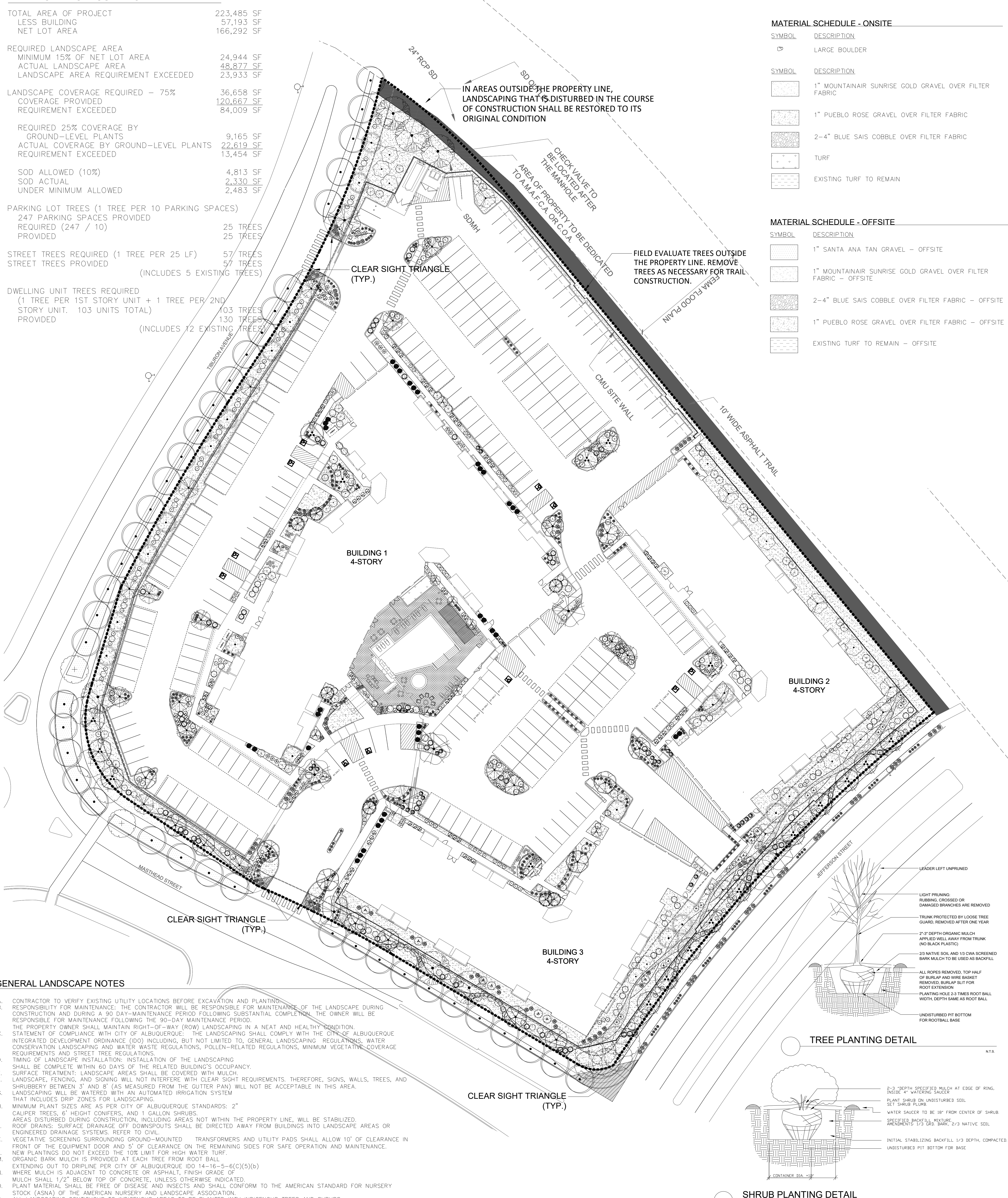
TOTAL AREA OF PROJECT	223,485 SF
LESS BUILDING	57,193 SF
NET LOT AREA	166,292 SF
REQUIRED LANDSCAPE AREA	
MINIMUM 15% OF NET LOT AREA	24,944 SF
ACTUAL LANDSCAPE AREA	48,877 SF
LANDSCAPE AREA REQUIREMENT EXCEEDED	23,933 SF
LANDSCAPE COVERAGE REQUIRED - 75%	
COVERAGE PROVIDED	36,658 SF
REQUIREMENT EXCEEDED	120,667 SF
REQUIRED 25% COVERAGE BY GROUND-LEVEL PLANTS	
ACTUAL COVERAGE BY GROUND-LEVEL PLANTS	9,165 SF
REQUIREMENT EXCEEDED	22,619 SF
SOD ALLOWED (10%)	
SOD ACTUAL	4,813 SF
UNDER MINIMUM ALLOWED	2,330 SF

PARKING LOT TREES (1 TREE PER 10 PARKING SPACES)	
247 PARKING SPACES PROVIDED	25 TREES
REQUIRED (247 / 10)	25 TREES
PROVIDED	25 TREES

STREET TREES REQUIRED (1 TREE PER 25 LF)	
57 TREES	57 TREES
STREET TREES PROVIDED	57 TREES
(INCLUDES 5 EXISTING TREES)	

DWELLING UNIT TREES REQUIRED (1 TREE PER 1ST STORY UNIT + 1 TREE PER 2ND STORY UNIT. 103 UNITS TOTAL)	
103 TREES	130 TREES
STREET TREES PROVIDED	130 TREES
(INCLUDES 12 EXISTING TREES)	

GENERAL LANDSCAPE NOTES	
A.	CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
B.	RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
C.	STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO: GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
D.	TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
E.	SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
F.	LANDSCAPE FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
G.	LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
H.	MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
I.	AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
J.	ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS. REFER TO CIVIL.
K.	VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
L.	NEW PLANTINGS DO NOT EXCEED THE 10% LIMIT FOR HIGH WATER TURF.
M.	ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL.
N.	WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
O.	PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
P.	ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
Q.	PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT



MATERIAL SCHEDULE - ONSITE

SYMBOL	DESCRIPTION
[Symbol]	LARGE BOULDER
[Symbol]	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC
[Symbol]	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC
[Symbol]	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC
[Symbol]	TURF
[Symbol]	EXISTING TURF TO REMAIN

MATERIAL SCHEDULE - OFFSITE

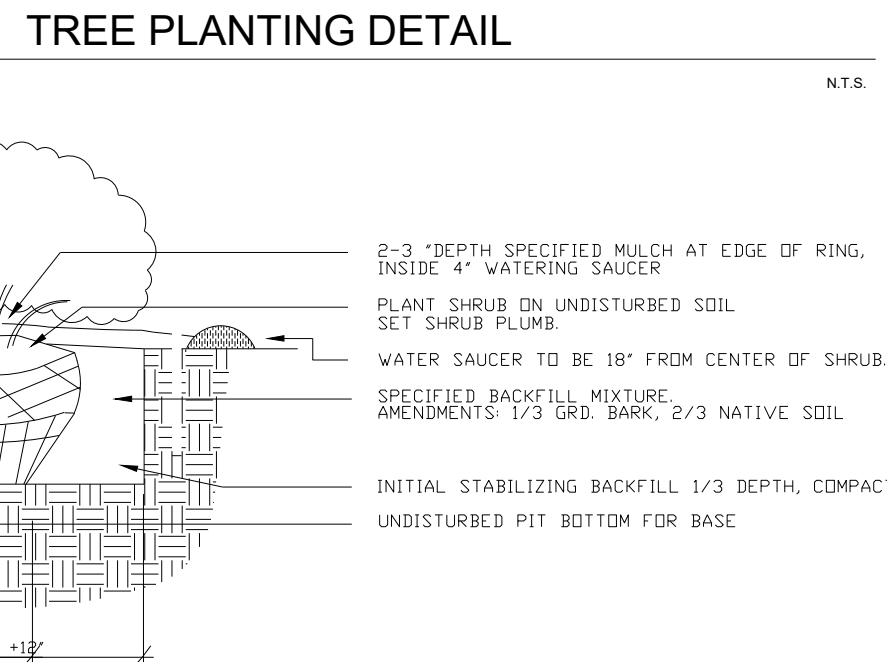
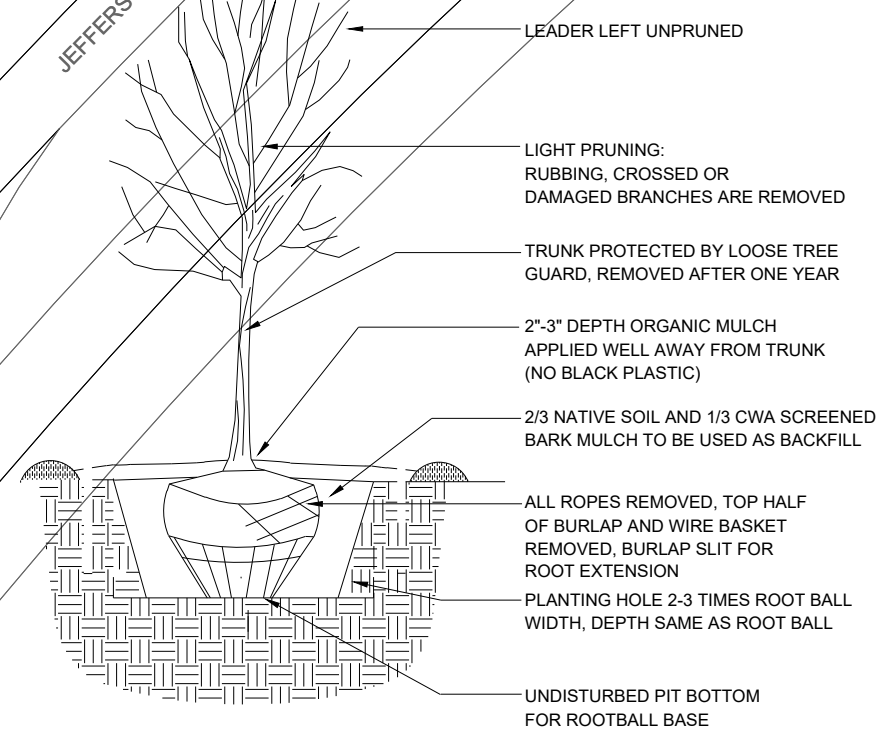
SYMBOL	DESCRIPTION
[Symbol]	1" SANTA ANA TAN GRAVEL - OFFSITE
[Symbol]	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC - OFFSITE
[Symbol]	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC - OFFSITE
[Symbol]	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC - OFFSITE
[Symbol]	EXISTING TURF TO REMAIN - OFFSITE

PLANT SCHEDULE - ONSITE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H_X_W	COVERAGE
[Symbol]	7	EXISTING TREE TO REMAIN	VARIES		
DECIDUOUS TREES					
[Symbol]	7	CHLOPSIS LINEARIS 'ART'S SEEDLESS' / ART'S SEEDLESS DESERT WILLOW	24"BOX	20' X 25'	491X7=3437 SF
[Symbol]	17	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	25' X 20'	314X17=5,338 SF
[Symbol]	11	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177X11=1947 SF
[Symbol]	14	FRAXINUS OXYCARPA 'RAYWOOD' TM / RAYWOOD ASH	2" B&B	60' X 60'	2826X14=39,564 SF
[Symbol]	10	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	15' X 15'	177X10=1770 SF
[Symbol]	8	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	60' X 60'	2826X8=22,608 SF
[Symbol]	19	QUERCUS GAMBELII / GAMBEL OAK	2" B&B	25' X 25'	491X19=9,329 SF
[Symbol]	6	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" B&B	40' X 40'	1256X6=7,536 SF
EVERGREEN TREES					
[Symbol]	19	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	15 GAL	40' X 20'	314X19=5966 SF
[Symbol]	7	PINUS NIGRA / AUSTRIAN BLACK PINE	10" B&B	20' X 10'	79X7=553 SF
DESERT ACCENTS					
[Symbol]	7	DASYLIRON TEXANUM / TEXAS SOTOL	5 GAL	5' X 5'	20X7=140 SF
[Symbol]	17	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13X17=221 SF
[Symbol]	11	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28X11=308 SF
GRASSES					
[Symbol]	111	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7X111=777 SF
[Symbol]	84	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3X84=252 SF
[Symbol]	61	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7X61=427 SF
DECIDUOUS SHRUBS					
[Symbol]	90	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	4' X 4'	13X90=1170 SF
[Symbol]	30	BUDDLEIA DAVIDII / BUTTERFLY BUSH	5 GAL	4' X 4'	13X30=390 SF
[Symbol]	23	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7X23=161 SF
[Symbol]	30	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3X30=90 SF
[Symbol]	42	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7X42=294 SF
[Symbol]	23	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28X23=644 SF
[Symbol]	5	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3X5=15 SF
[Symbol]	9	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	1" X 20"	3X9=27 SF
[Symbol]	66	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13X66=858 SF
[Symbol]	35	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20X35=700 SF
[Symbol]	27	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7X27=189 SF
EVERGREEN SHRUBS					
[Symbol]	51	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGANY	5 GAL	15' X 15'	177X51=9027 SF
[Symbol]	5	COTONEASTER GLAUCOPHYLLUS / GREYLEAF COTONEASTER	5 GAL	2' X 9'	64X5=320 SF
[Symbol]	79	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13X79=1027 SF
[Symbol]	57	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38X57=2166 SF
[Symbol]	59	PINUS MUGO MUGO / DWARF MUGO PINE	5 GAL	4' X 4'	13X59=767 SF
[Symbol]	109	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13X109=1417 SF
[Symbol]	44	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	6' X 6'	28X44=1232 SF
		SUBTOTAL			22,619 SF
		TOTAL			120,667 SF

PLANT SCHEDULE - OFFSITE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H_X_W	COVERAGE
[Symbol]	5	EXISTING TREE TO REMAIN	VARIES		
DECIDUOUS TREES					
[Symbol]	40	ULMUS X 'FRONTIER' / FRONTIER ELM	2" B&B	40' X 40'	
GRASSES					
[Symbol]	36	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	
[Symbol]	30	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	



www.yellowstonelandscape.com
 P O Box 10597
 Albuquerque, NM 87184
 505.898.9615
 design@yellowstonelandscape.com

Date: 9/29/2021
 Revisions:
 ▲ 10/6/2021
 ▲ 10/12/2021
 ▲ 10/14/2021
 ▲ 11/30/2021
 ▲ 12/09/2021
 12/17/2021 99%DD 01/06/2022 HA
 Drawn by: PL
 Reviewed by: JB

Allaso JC6
 Albuquerque, New Mexico

Scale: 1" = 30'

Sheet Title:
Landscape Plan
 Sheet Number:
LS-01