



Development Review Board (DRB)
Review Comments
Utility Development Section
Reviewer: Blaine Carter, P.E.
Phone: 505.415.9188

DRB Project No: PR-2021-005195	Date: 12/01/21	Item No: #7
Zone Atlas Page: D-17	Legal Description: Tract 6A-1, Unit 1, Journal Center Phase 2 Location: STREETS 7501 JEFFERSON ST NE between JEFFERSON ST and MASTHEAD ST NE	
Request For: SI-2021-01747 – SITE PLAN		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. No objections.
2. Availability Statement #211006 has been executed and provides criteria for service.
3. Routine connections via a mini-work order are the requirements for this project. These connections can be incorporated into a City DRC if that process is required by other departments.
4. This project is within the adopted service area.
5. Pro rata is not owed for this property.
6. Utility Plan:
 - a. The sewer connection on the provided utility plan does not acknowledge the larger interceptor main that is beneath the collector main. The proposed manhole will need to accommodate both mains, i.e. not be built over the interceptor main.
7. Infrastructure List:
 - a. The sanitary sewer manhole connection is the only anticipated ABCWUA improvement.

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Carl Garcia, Code Supervisor
Planning Department
505-924-3838 cagarcia@cabq.gov

DATE: 11/10/2021

AGENDA ITEM NO: 7

DRB PROJECT NUMBER:

[PR-2021-005195](#)

SI-2021-01747 – SITE PLAN

PROJECT NAME:

DEKKER/PERICH/SABATINI – WILL GLEASON agent for **JC SIX LLC** requests the aforementioned action(s) for all or a portion of: **TRACT 6A-1, UNIT 1, JOURNAL CENTER PHASE 2** zoned MX-H, located on **7501 JEFFERSON ST NE** between **JEFFERSON ST** and **MASTHEAD ST NE** containing approximately **5.1536** acre(s). (**D-17**)

REQUEST:

1. SITE PLAN APPROVAL REQUEST FOR MULTI-FAMILY APARTMENT HOME COMMUNITY

COMMENTS:

- Uses, dimensional standards, and design requirements per the Journal Center development Plan. Where silent, IDO standards for MX-H, Employment Center apply. Project must demonstrate that all standards are being met. Anything outside of those standards may require amendments and/or variances.
- Site Design and analysis per IDO section 5-2 Sensitive Lands. Including landscape 5-2-C-5, irrigation 5-2-H, arroyo standards 5-2-J. **Detail and/or clarification needed on how these are being met.**

Response – The site analysis required per 14-16-5-2 is completed and included in this submittal.

- ~~Applicant/Owner/Agent responsible for verification of any easement and flood zone information.~~

DEVELOPMENT REVIEW BOARD

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DATE: 11/10/2021

(see additional comments on next page)

- ~~Subdivision of Land lot design and layout per IDO section 5-4-F.~~
- ~~Project number needed on DRWS form.~~
- ~~Parking per IDO section 5-5. Including Electric Vehicle parking and Motorcycle parking.~~
- ~~Landscaping per IDO section 5-6. Including street frontage standards 5-6-D, parking lot and arroyo standards 5-6-F.~~
- Perimeter and interior walls/fences per IDO section 5-7. Including multi-family exceptions 5-7-D-3, design standards 5-7-E, articulation 5-7-E-2, and arroyo standards 5-7-E-4. **Detail and/or clarification needed on how these are being met.**

Response:

1. *The perimeter wall is 6' tall max as allowed per section 5-7-D-3.*
 2. *The opaque portion of the wall will be of CMU block with a decorative patter, integral color or burnished CMU to comply with section 5-7-E.*
 3. *Section 5-7-D-3-C allows for a max wall height for multi-family development of 6' therefore section 5-7-E-2 is not applicable.*
 4. *5-7-E-3 Wall Design – Wall complies with option 1.*
 5. *5-7-E-4 Walls adjacent to major arroyos – Development is in compliance with the standards outlined in this section. 5-7-E-4-a-3 is superseded by the JC2 design guidelines where exposed CMU block is an allowable material. The JC design review committee has already approved the perimeter wall.*
- ~~Building design per IDO section 5-11. Including multi family standards 5-11-D and façade standards 5-11-E. **Applicant must submit the completed and signed Site and Building Design Considerations (Climatic and Geographic Responsiveness) form and provide the analysis information.**~~

DEVELOPMENT REVIEW BOARD

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Carl Garcia, Code Supervisor
Planning Department
505-924-3838 cagarcia@cabq.gov

DATE: 11/10/2021

- Signage per IDO section 5-12. Including proposed wall sign, free-standing sign, and projecting sign. Freestanding must be at least 3ft from property line. **Detail and/or clarification needed on how these are being met.**

Signage is regulated by the Journal Center 2 Design Guidelines and has been approved by the JCC Architectural Review Committee.

2.1.10. Signage

- Monument signs are allowed in Journal Center 2. They shall not exceed 60 square feet, and shall be no taller than 6' in height from grade. See Figure 9 for detail on materials, colors and signage sizes and configurations. Sign width may vary with the approval of the Journal Center 2 ARC, however overall style must remain the same.
- All other signage is building mounted (see section 2.2.7).

2.2.7. Building Mounted Signage

- Wall mounted signs shall be reviewed and approved by the Journal Center 2 ARC. They should be proportional to the wall area and visible to the setback distance from the street. Signs are limited to a single building and shall be limited to two (2) elevations. Individual channel letters are encouraged. No illuminated plastic panel signs are allowed with the exception of logos. All building signage shall be limited to a maximum area of 6% of the wall area the sign is mounted on, but shall not exceed 100 square feet.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 2021-005195
7501 Jefferson Street

AGENDA ITEM NO: 7

SUBJECT: Site Plan

ENGINEERING COMMENTS:

1. For Building “B”, a 6-foot sidewalk shall be provided from the handicapped spaces to the building.

Response – Building “B” is now labeled Building 2 in the revised site plan. The 6’ wide sidewalk is shown and dimensioned.

2. If the standard 18-foot parking spaces are achieved with overlap onto curb, call out the overlap to show that it meets the minimum standard. When unable to meet the minimum parking space dimension requirement, designate spaces as “Compact” at the back of the parking space while meeting maximum requirements on the number of compact spaces.

Response – 2’ overhang has been dimensioned at all spaces where the minimum length is achieved by using the overhang. Compact car spaces have been labeled and shall comply with DPM section 7-4(K)(4).

3. The number of bike racks shown on the site plan do not seem to match the number required. Provide a detail showing spacing requirements for the bike racks.

Response – The required number of spaces is 25. There are 16 spaces outside throughout the site and indicated by keyed note #19 on the site plan. There are an additional 10 spaces in an indoor bike storage room. See detail B5/SDP1.2 for spacing requirements.

4. Indicate all electrical charge stations that are called out under the parking calculations.

Response – The EV stations are labeled on the site plan and called out by keyed note #18.

5. Show adjacent roadway width and lanes on all roadway frontages. Indicate accessways on opposite side of roadway where medians are not shown to indicate lack of turning movement conflict.

Response – Adjacent roadway widths and lanes are indicated on the site plan, see also sections C1, D2, and D4 on SDP1.3

6. New sidewalk construction shall be part of a work order. Length of sidewalk meets criteria for work order. The wrong reference is shown for the curb ramps within the COA right-of-way, but because it will go through a work order, have this reference on the site plan, and place onto an infrastructure list.

Response – The curb ramp references have been correct on the site plan. See General Note ‘I’ on the site plan stating that “All public infrastructure located within the city Right-Of-

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

Way shall be included in a public work order.” These items have been included in the Infrastructure List.

7. Attach Fire-1 Plan if obtained.

Response – Approved Fire 1 plan is attached.

8. Meet with COA Transit separately to determine if any Transit infrastructure is needed.

Response – A new transit shelter is being provided on Jefferson south of Masthead and is included on the Infrastructure List.

9. Bike lane markings are required on Tiburon Street and Masthead. A buffered bike lane is proposed for Jefferson Street. On a cross-section for each road, indicate these proposed facilities while following guidelines to terminate markings in advance of the roundabout. On Jefferson Street, make sure sufficient space is given to bike facilities for future development.

Response – See sections C1, D2, and D4 on SDP1.3 for existing and proposed conditions.

10. Due to speeds on surrounding streets, call out clear sight triangles on both the site plan and on the landscaping plan due to intersection sight distance. Show note on standard height restrictions for each plan.

Response – Clear sight triangles are called out on both plans. See keyed note #5 on the site plan and general note ‘F’ on the landscape plan for standard height restrictions.

11. Show all curb radii that will match DPM standards. Curb radii need to be called out at the entrances, around the 90-degree bend at the south end and just south of Building “B”.

Response – Curb radii has been called out throughout the development including at the locations noted above. Building ‘B’ is now labeled Building 2.

*Please remember to email me directly with an electronic copy of all supplemental submittal documents.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.
Transportation Development
505-924-3991 or jwolfenbarger@cabq.gov

DATE: December 1, 2021

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION
Renée Brissette, PE, Senior Engineer | 505-924-3995 rbrissette@cabq.gov

DRB Project Number: 2021-005195 Hearing Date: 12-01-2021
Project: Tract 6A-1, Unit 1 Journal Center Phase 2 Agenda Item No: 7

<input type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input checked="" type="checkbox"/> Site Plan for Bldg. Permit <input type="checkbox"/> Site Plan for Subdivision	<input type="checkbox"/> Bulk Land Plat
<input type="checkbox"/> SIA Extension	<input type="checkbox"/> DPM Variance	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology has an approved Conceptual Grading and Drainage Plan (D17D112) with engineer's stamp date of 11/05/21.
- Hydrology has no comments on the Site Plan for Building Permit.

RESOLUTION/COMMENTS:

Water:

Code Enforcement:

Parks:

Transportation:

Planning:

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG
Delegated For: _____
SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT
DEFERRED TO _____



DEVELOPMENT REVIEW BOARD

Planning Dept. - Major Case Comments

HEARING DATE/AGENDA ITEM No. 7

Project Number: PR-2021-005195

Application Number: SI-2021-01747

Project Name: Apartments @ JC6

Request: Site Plan-DRB

COMMENTS: Review based on the 2020 IDO

Updated Comments 12-1-21:

- These are preliminary Planning comments, and there could be additional and/or revised Planning comments on this application.
- The PRT meeting notes need to be submitted.
- ~~The project and application numbers need to be added to the Site Plan prior to distribution of the Site Plan for DRB signatures.~~
- The Solid Waste signature needs to be obtained prior to distribution of the Site Plan for DRB signatures. **See attached signed Solid Waste plan.**
- ~~The applicant must confirm that the Façade Design requirements of 5-11(D) of the 2020 IDO are being met in a comment response letter and how they are being met.~~
- ~~The applicant must submit the completed and signed Site and Building Design Considerations (Climatic and Geographic Responsiveness) form.~~ [SubmittalFormIDO5-2\(D\)ClimaticGeographic-Responsiveness.pdf \(cabq.gov\)](#)

Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jay Rodenbeck
Planning Department

DATE: 11-30-21



DEVELOPMENT REVIEW BOARD

Parks and Recreation Department

PR-2021-005195

SI-2021-01747 – SITE PLAN

DEKKER/PERICH/SABATINI – WILL GLEASON agent for JC SIX LLC requests the aforementioned action(s) for all or a portion of: TRACT 6A-1, UNIT 1, JOURNAL CENTER PHASE 2 zoned MX-H, located on 7501 JEFFERSON ST NE between JEFFERSON ST and MASTHEAD ST NE containing approximately 5.1536 acre(s). (D-17)

PROPERTY OWNERS: JC SIX LLC

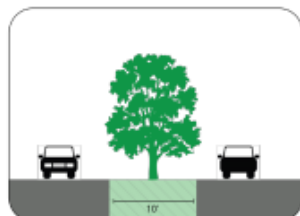
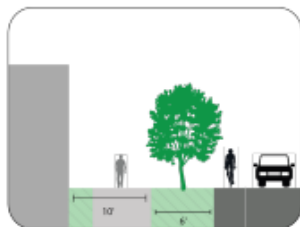
REQUEST: SITE PLAN APPROVAL REQUEST FOR MULTI-FAMILY APARTMENT HOME COMMUNITY

11-10-2021

Jefferson St NE is a Community Principal Arterial, and Masthead St NE and Tiburon St NE are Major Collectors, requiring street trees. The legend shows Berinda Ash for Tiburon St and Masthead St. Pursuant to 5-6(C)(4)(b), trees should be selected from the Official Albuquerque Plant Palette. Ash is only Conditionally Recommended due to high water use. The Parks and Recreation Department (PRD) is a partner with the Nature Conservancy who developed a Climate Ready Tree List for Albuquerque. PRD encourages developers to use this list for street trees (see insert below).

Climate-Ready Trees for Albuquerque

LOCATION TYPE 5 STREETSCAPES



LOCATION CHARACTERISTICS

Follows "Right Tree in the Right Place"

Soil Volume: Sufficient

No Utility Conflicts

Building Setback: >10'

RECOMMENDED TREES

Arbutus xalapensis
Celtis reticulata
Cercis canadensis var. *mexicana*
Cercis reniformis
Cercis canadensis var. *texensis*
Cercis occidentalis
Cedrus deodara
Chilopsis linearis
Cotinus obovatus
Crataegus ambigua
Forestiera neomexicana
Gymnocladus dioica
*Fraxinus cuspidata**
Lagerstroemia indica
*Leucaena retusa**
Maclura pomifera
Parkinsonia x "Desert Museum" *
*Pistacia chinensis**
*Prosopis glandulosa**
Quercus arizonica
Quercus fusiformis
Quercus gravesii
Quercus ilex
Quercus muehlenbergii
Quercus oblongifolia
*Quercus suber**
Quercus buckleyi
Sapindus saponaria var. *drummondii**
*Sophora secundiflora**
Rhus lanceolata
Ulmus x "Morton" Accolade™
Ulmus x "Frontier"
*Ulmus parvifolia**
Vitex agnus-castus
Zelkova serrata

Texas Madrone
Netleaf Hackberry
Mexican Redbud
Oklahoma Redbud
Texas Redbud
Western Redbud
Deodar Cedar
Desert Willow
American Smoketree
Russian Hawthorn
New Mexico Privet
Kentucky Coffeetree
Fragrant Ash*
Crape Myrtle
Golden-ball Lead-tree*
Osage Orange
Palo Verde hybrids*
Chinese Pistache*
Honey Mesquite*
Arizona White Oak
Escarpment Live Oak
Chisos Red Oak
Holly Oak
Chinkapin Oak
Blue Oak
Cork Oak*
Texas Red Oak
Western Soapberry*
Texas Mountain Laurel*
Prairie Flameleaf Sumac
Accolade Elm
Frontier Elm
Lacebark Elm*
Chaste Tree
Japanese Zelkova

* These species have further site specific needs outlined in Appendix A - Master List



DEVELOPMENT REVIEW BOARD

Parks and Recreation Department

Lists linked here:

Official Albuquerque Plant Palette: [Official Albuquerque Plant Palette and Sizing List-2018-07-03.xlsx \(cabq.gov\)](#)

CLIMATE-READY TREES FOR ALBUQUERQUE: [NMFO Climate-Ready Trees Lists \(nature.org\)](#)

TRAIL

The Parks and Recreation Department is looking into a multi-purpose trail in the arroyo and it may be requested as part of the infrastructure. The North Pino Arroyo Channel to the north is classified as a major arroyo and subject to 5-2(J)(3).

There is a potential for a trail connection to the North Diversions channel to the west, however, a project is not funded at this time. Is there a potential for the applicant to supply a trail with ped/bike access gate to the north of the property line? PRD would appreciate collaboration with this applicant on this.

The Site Plan shows a sidewalk connection – could this be a multi-purpose trail?

Related Citations:

IDO 5-2(J)(3)(b) Property owners shall dedicate public right-of-way as shown in the Facility Plan for Arroyos for trails and/or arroyos. Public right-of way for a trail and landscaping adjacent to an arroyo shall average 20 feet in width.

IDO 5-3(D)(4) Trails shall be dedicated on alignments that connect to any planned or existing trails on adjacent properties, as necessary to serve the residents, occupants, and users of the proposed development, and shall be constructed pursuant to the DPM.

IDO 5-3(E)(4) Bicycle Facilities along Streets Each street designated in the Metropolitan Transportation Plan and/or the Bikeways and Trails Facility Plan as an existing or proposed route to accommodate bicycles shall be incorporated into the development and shall be designed to comply with the standards of the DPM.

DPM Section 7-4(F)(2) Locations of Future Facilities 3. In locations not identified on the LRBS or the BTFP maps, bikeways and/or trails may be required if they connect or close a gap in the existing system.



DEVELOPMENT REVIEW BOARD

Parks and Recreation Department

12-01-2021

Please review tree list. Please discuss trail.