

A1 SITE PLAN
1" = 40'-0"
0 20' 40' 80'

SHEET KEYED NOTES

1. TRASH COMPACTOR, SEE C1/SDP1.2
2. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
3. CONCRETE CURB & GUTTER, SEE A2/SDP1.2
4. 6" WIDE CONCRETE SIDEWALK SEE B4/SDP1.2
5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
6. 20' FRONT SETBACK
7. 10' SIDE/REAR SETBACK
8. ADA PARKING, SEE A3/SDP1.2
9. ACCESSIBLE RAMP, SEE B3/SDP1.2 AND C5/SDP1.2
10. ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 2443
11. BUILDING MOUNTED BLADE SIGN SEE B5/SDP1.3
12. MONUMENT SIGN SEE A3/SDP1.3
13. OUTDOOR GATHERING AREA WITH SWIMMING POOL AND SPA
14. GARAGE PARKING
15. 6" DECORATIVE METAL FENCE, MULTIFAMILY HEIGHT EXCEPTION (IDO 5-7-E-2, 5-7(D)(3)(c)), MATERIALS ALLOWED PER (IDO 5-7-E), ARTICULATION PER (IDO 5-7(E)(2)(a) OPTION 1), SEE C4/SDP1.3
16. 6" DECORATIVE CMU WALL W/ 3" METAL FENCING INFILL, HEIGHT ALLOWED PER (IDO TABLE 5-7-1), MATERIALS ALLOWED PER (IDO 5-7-E-4), SEE D5/SDP1.2
17. ENTRY SHADE TRELLIS
18. ELECTRIC VEHICLE (EV) CHARGING STATION WITH SIGN, REF: B1/SDP1.2
19. BIKE RACK, REF: B5/SDP1.2 (2 BIKES PER RACK, TOTAL 8 RACKS OUTDOORS)
20. MOTORCYCLE PARKING WITH SIGN, REF: B1/SDP1.2
21. RECYCLING BIN ENCLOSURE, REF: D4/SDP1.2
22. CARPORT STRUCTURE
23. ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 2441

EASEMENT NOTES

1. EXISTING 10' UTILITY EASEMENT, TYPICAL ALONG STREET R.O.W.

AMENITIES

AMENITIES ON-SITE WILL INCLUDE COVERED PARKING SPACES, LEASING OFFICE, MAIL AND PACKAGE CENTER, AND BIKE STORAGE ROOM. THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND LANDSCAPING.

OPEN SPACE CALCULATIONS

TABLE 2-4-5 / MX-M ZONING			
USABLE OPEN SPACE			
1 BD: 225 SF PER UNIT	225 SF x 126 UNITS	= 28,350 SF	
2 BD: 285 SF PER UNIT	285 SF x 83 UNITS	= 23,655 SF	
TOTAL		= 52,005 SF	
REQUIRED OPEN SPACE: = 52,005 SF			
PROVIDED OPEN SPACE:			
SITE	= 54,434 SF		
OPEN PATIO/BALCONIES	= 21,064 SF		
TOTAL	= 75,498 SF		

UNIT DATA

DESCRIPTION	UNIT NAME	GROSS HEATED SQUARE FOOTAGE (GHSF)	TOTAL QUANTITY	TOTAL AREA (GHSF)
TYPICAL STUDIO - CORRIDOR CONDITION				
BLDG 1 ONLY - STUDIO - CORRIDOR CONDITION	S1	581	12	7,212
BLDG 1 ONLY - STUDIO - CORRIDOR TYPE A	S1A	599	2	1,197
BLDG 1 ONLY - STUDIO AT ELEVATOR	S2	754	6	4,524
BLDG 1 ONLY - STUDIO AT NE "T"	S3	754	1	754
BLDG 1 ONLY - ABOVE COMMUNITY	S4	865	1	865
TYPICAL ONE BEDROOM	A1	646	16	10,336
BLDG 1 ONLY - ONE BEDROOM - CORRIDOR CONDITION	A1.1	646	4	2,584
ONE BEDROOM TYPE A UNIT 1303	A1.2	646	2	1,292
BLDG 1 ONLY - ONE BEDROOM - GROUND ONLY	A2	686	8	4,688
BLDG 1 ONLY - ONE BEDROOM - GROUND ONLY	A2.1	686	4	2,744
BLDG 1 ONLY - ONE BEDROOM - GROUND ONLY ANGLE	A4	851	1	851
TYPICAL TWO BEDROOM - MIDDLE OF CORRIDOR	B1	1021	21	21,441
TYPICAL TWO BEDROOM - UNIQUE BALCONIES (1212, 1312, 1412)	B1	1021		
TYPICAL TWO BEDROOM - UNIQUE BALCONY UNIT 1309	B1	1021		
TYPICAL TWO BEDROOM - UNIQUE BALCONY UNIT 1309	B1	1021		
TYPICAL TWO BEDROOM - MIDDLE OF CORRIDOR CORRIDOR CONDITION	B1.1	1007	2	2,014
TYPICAL TWO BEDROOM - END OF CORRIDOR	B2	1056	1	1,056
TWO BEDROOM - TYPE A UNIT	B2.1	1056	1	1,056
TWO BEDROOM - INSIDE CORNER	B3	1069	11	11,759
TWO BEDROOM - CORNER UNIT - GROUND	B4	1178	8	9,424
TYPICAL TWO BEDROOM - GROUND UNIT 1103	B5	1251	2	2,502
TYPICAL TWO BEDROOM - GROUND UNIT 1112	B6	1112		
TWO BEDROOM - SHIRT IN BUILDING	B7	1260	2	2,520
TWO BEDROOM - INSIDE CORNER	B8	1267	2	2,534
TWO BEDROOM - INSIDE CORNER	B9	1575	2	3,150
CARRIAGE	C1	769	4	3,076
CARRIAGE	C2	885	3	2,655
		289	172,961	

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
2/16/2018

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- I. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING:
IDO - MIXED USE - HIGH INTENSITY ZONING DISTRICT (MX-H)
LANDUSE: MULTIFAMILY RESIDENTIAL
PLANNING CONTEXT:
SITE IS WITHIN THE JOURNAL CENTER EMPLOYMENT CENTER
TRANSIT:
BUS ROUTES 140, 251, AND 551 ARE ALONG JEFFERSON ST. A BUS STOP IS LOCATED LESS THAN 250 FEET FROM THE SUBJECT SITE ON JEFFERSON.
LEGAL DESCRIPTION:
TRACT 6A-1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1CONT 5.1536 AC
SITE AREA: 5.15 ACRES
ZONE ATLAS: D-17-2
SETBACKS: FRONT= 20' MIN
SIDE = 10' MIN
REAR= 10' MIN
(20' BUILDING SETBACK, 20' PARKING SETBACK FROM JEFFERSON ST.)
(20' BUILDING SETBACK 10' PARKING SETBACK ALONG MASTHEAD ST. AND TIBURON ST.)
JCC
BUILDING HEIGHT:
MAXIMUM ALLOWED: 68'-0"
ACTUAL HEIGHT: 50'-0"
SPRINKLERED: YES, NFPA 13
BUILDING OCCUPANCY: R-2 MULTIFAMILY RESIDENTIAL
CONSTRUCTION TYPE: 4 STORY RESIDENTIAL BUILDING - TYPE VA
BUILDING AREA (S.F.):
BUILDING 1: 91,823 GSF
BUILDING 2: 65,246 GSF
BUILDING 3: 65,736 GSF
TOTAL: 222,805 GSF
PARKING CALCULATION: (TABLE 5-5-1)
1.5 SPACES / DWELLING UNIT: 209 X 1.5 = 314 SPACES
WITHIN EMPLOYMENT CENTER = 20% REDUCTION = 314 X .20 = 63
TOTAL REQUIRED SPACES = 314 - 63 = 251 SPACES
PROVIDED PARKING = 274 TOTAL SPACES (INCLUDING 24 GARAGE)
ACCESSIBLE PARKING: (NMCB 208.2.3)
2% OF UNITS = 209 X .02 = 4.18 = 5 SPACES REQUIRED
7 STANDARD + 1 VAN ACCESSIBLE SPACES = 11 SPACES PROVIDED
(2 ACCESSIBLE SPACES ARE ALSO ELECTRIC VEHICLE SPACES)
BICYCLE PARKING REQUIRED = 25 SPACES
(10% OF REQUIRED OFF-STREET PARKING = 251 X 0.10 = 25 SPACES
BICYCLE PARKING PROVIDED = 16 SPACES OUTDOOR, 10 INDOOR
MOTORCYCLE PARKING REQUIRED, (TABLE 5-5-4) = 5 SPACES
MOTORCYCLE PARKING PROVIDED = 5 SPACES
ELECTRIC VEHICLE PARKING REQUIRED, 2% (TABLE 5-5(C)(9)) = 5 SPACES
ELECTRIC VEHICLE PARKING PROVIDED = 7 SPACES

LEGEND

- LANDSCAPE AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- FIRELANE STRIPING MARKING FIRE ACCESS LANE, REF: A4/SDP1.2
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- BIKE RACK, REF: B5/SDP1.2
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNW STANDARDS
- 6" TALL DECORATIVE METAL FENCE, SEE C4/SDP1.2
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, B2/SDP1.2 & C3/SDP1.2.
- COMPACT PARKING PER COA DPM SEC 7-4(K)(4)
- LIGHT POLE 25'-0" HEIGHT, SEE D2/SDP1.2
- 6" BOLLARD WITH SIGN, SEE B2/SDP1.3
- 6" WIDE PAINTED CROSSWALK, SEE B2/SDP1.2
- ELECTRIC VEHICLE (EV) CHARGING STATION WITH SIGN, REF: B1/SDP1.2

VICINITY MAP



**DEKKER
PERICH
SABATINI**

**ARCHITECTURE
DESIGN
INSPIRATION**

ARCHITECT

ENGINEER

PROJECT

ALLASO JC6 APARTMENTS
7501 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

**DESIGN REVIEW
BOARD (DRB)
APPLICATION**

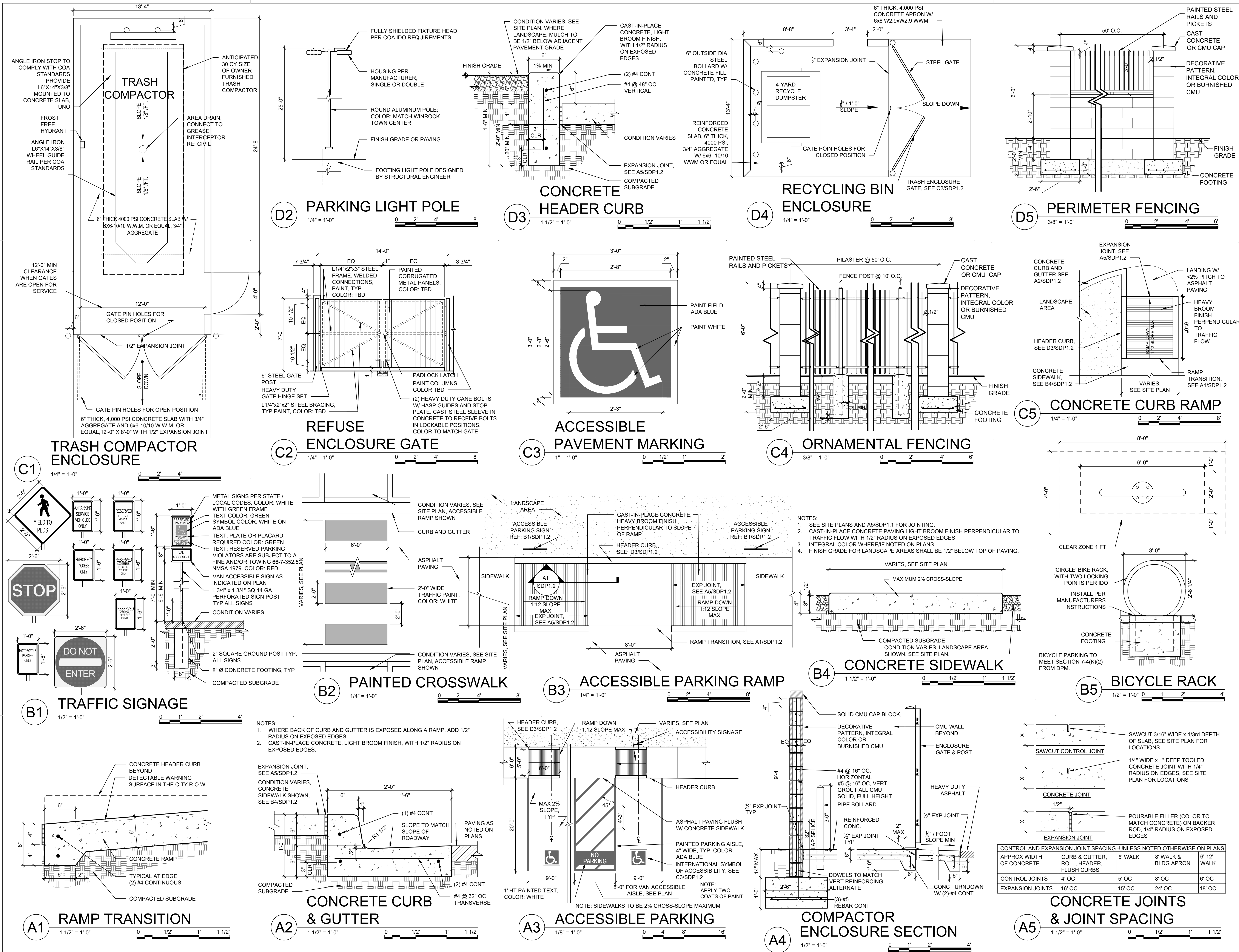
REVISIONS

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DRAWN BY	D/P/S
REVIEWED BY	D/P/S
DATE	09.16.2022
PROJECT NO.	20-0029
DRAWING NAME	

SITE PLAN

SHEET NO.
SDP1.1
OF



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ARCHITECT

HANNAH FEIL
GREENHOOD
No. 5594
1/13/22
REGISTERED ARCHITECT

ENGINEER

PROJECT

ALLASO JC6 APARTMENTS

7501 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

DESIGN REVIEW
BOARD (DRB)
APPLICATION

REVISIONS

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DRAWN BY

DPS

REVIEWED BY

DPS

DATE

09.16.2022

PROJECT NO.

20-0029

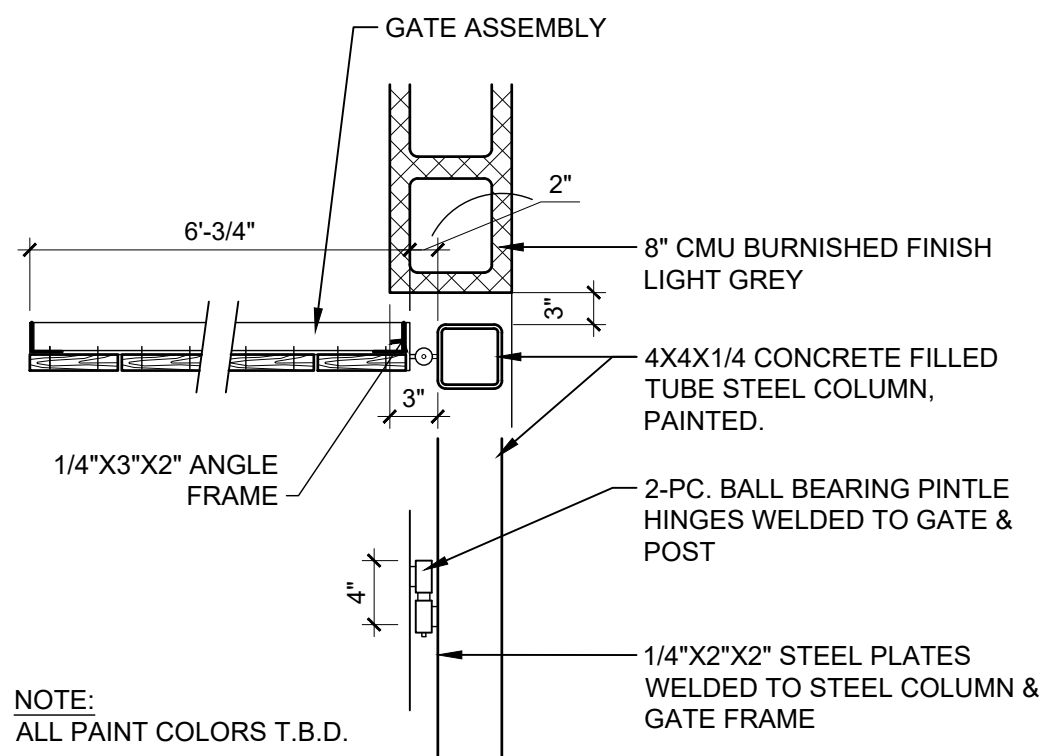
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SITE DETAILS

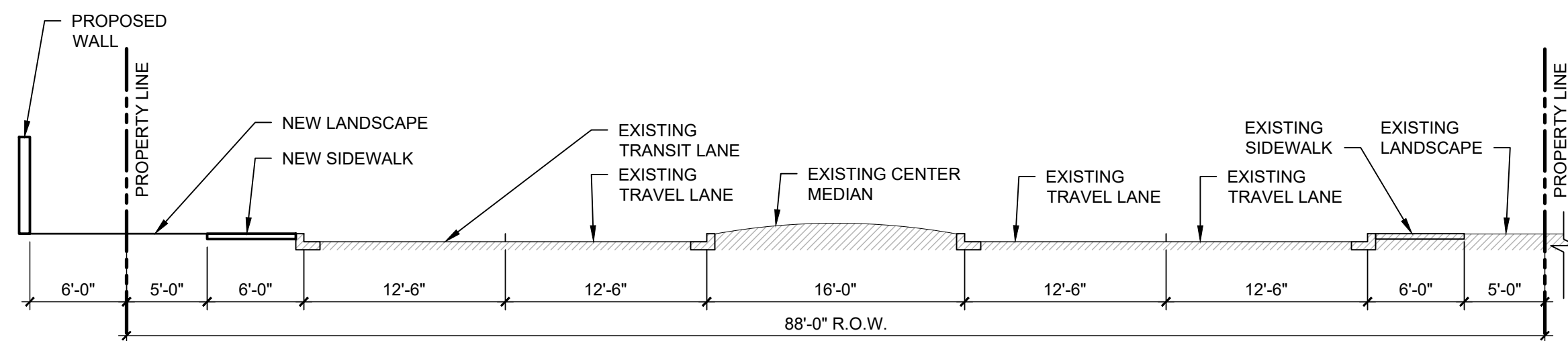
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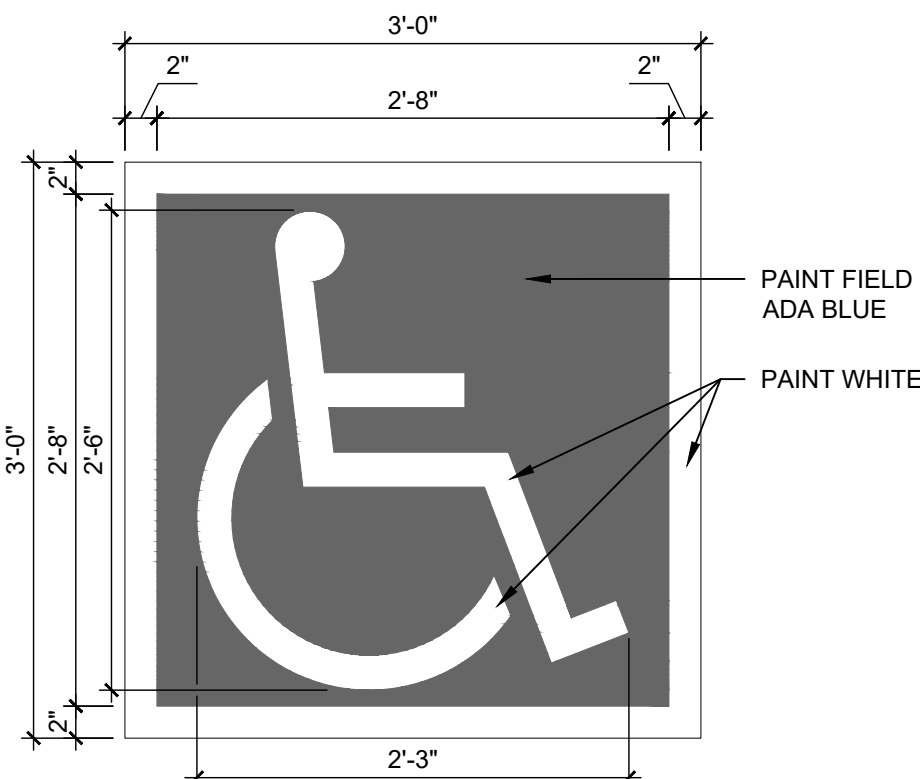
OF



D1 CORNER DETAIL
1" = 1'-0"

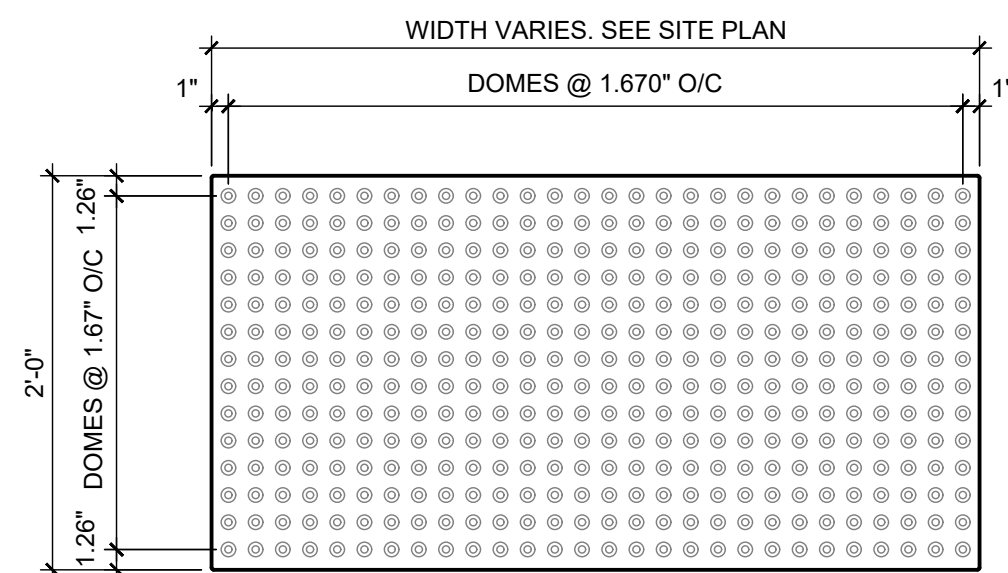


C1 SECTION @ JEFFERSON
1/8" = 1'-0"

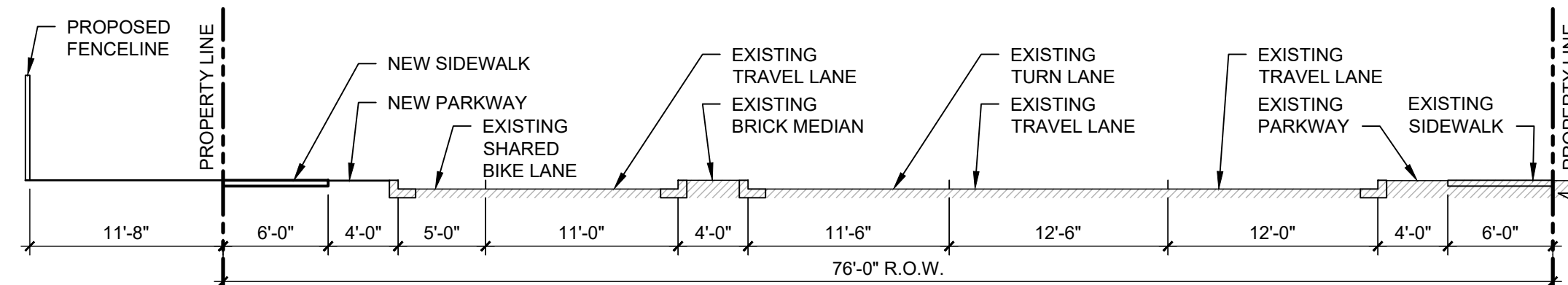


B1 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"

NOTES:
1. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS

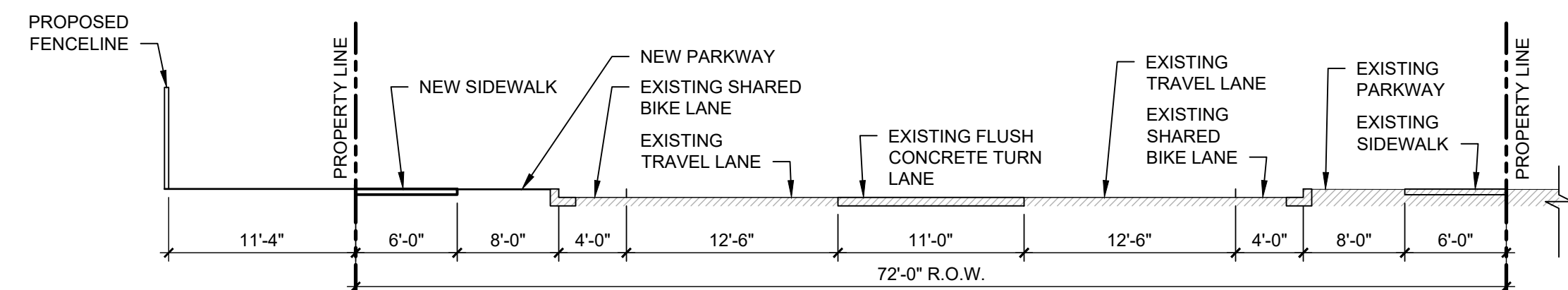


A1 DETECTABLE WARNING SURFACE
1" = 1'-0"



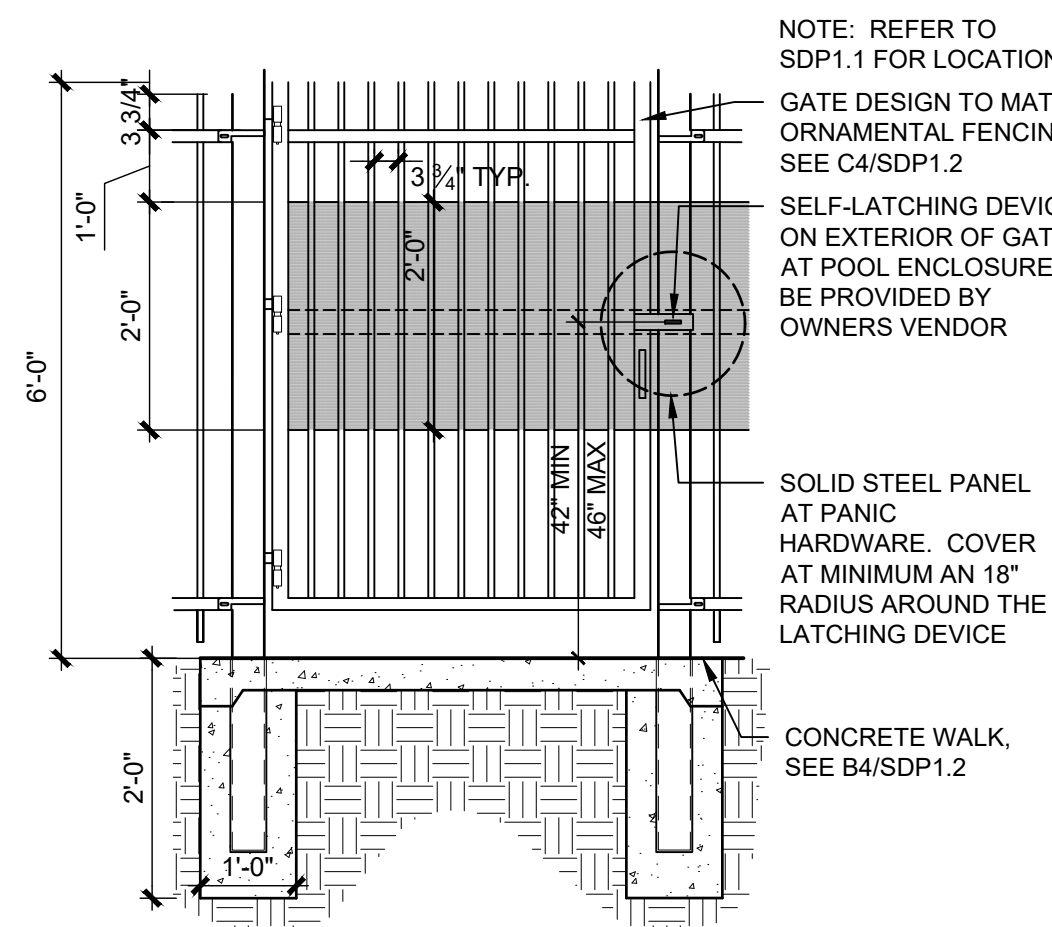
D2 SECTION @ MASTHEAD
1/8" = 1'-0"

0 4' 8' 16'



D4 SECTION @ TIBURON
1/8" = 1'-0"

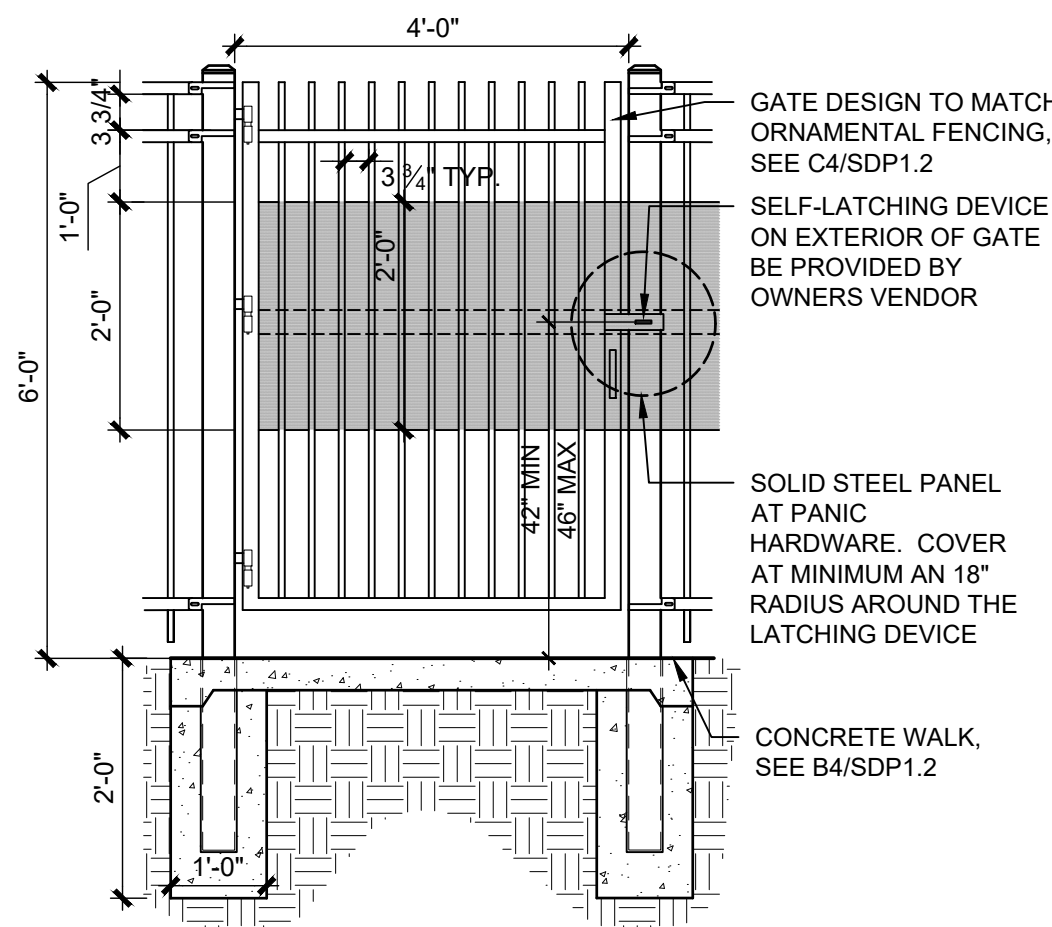
0 4' 8' 16'



NOTE: GATES ARE SELF-CLOSING; CARD READER MOUNTED ADJACENT TO GATE. GATE TO MEET NMAC 7.18.3.33 PUBLIC POOL BARRIER REQUIREMENTS

C3 POOL ENCLOSURE GATE
1/2" = 1'-0"

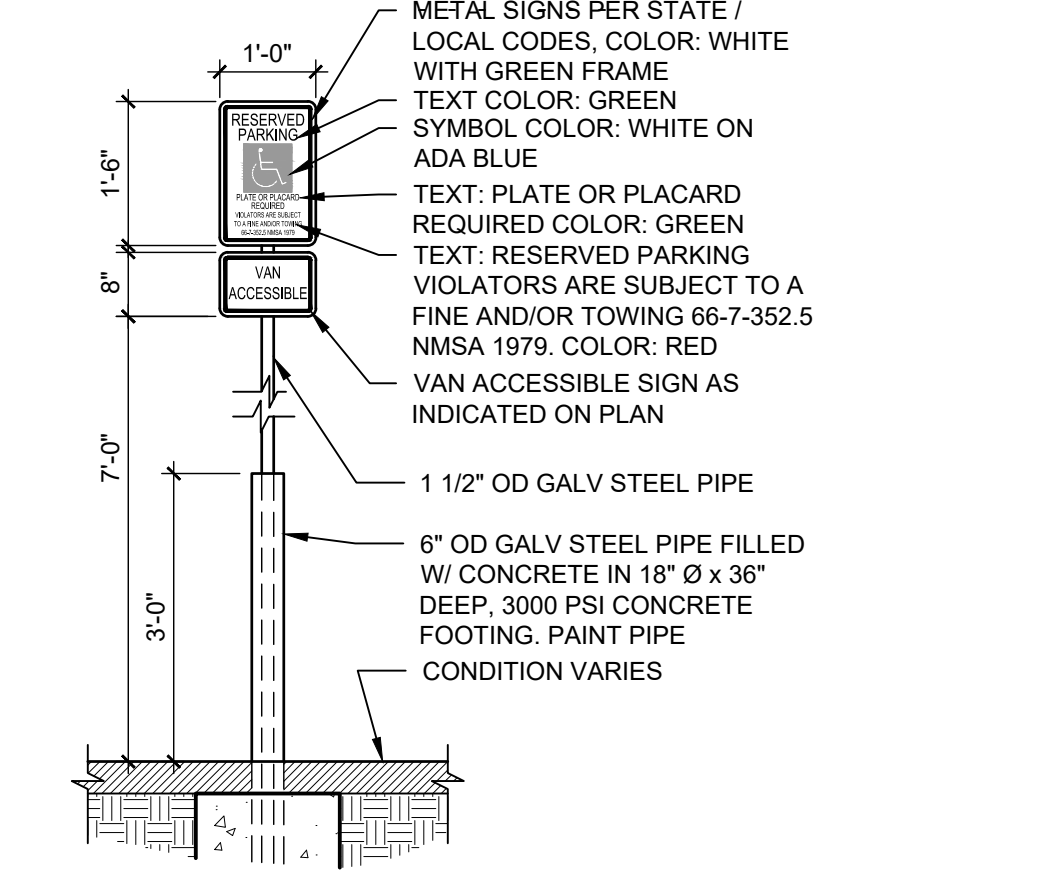
0 1' 2' 4'



NOTE: GATES ARE SELF-CLOSING; CARD READER MOUNTED ADJACENT TO GATE. GATE TO MEET NMAC 7.18.3.33 PUBLIC BARRIER REQUIREMENTS

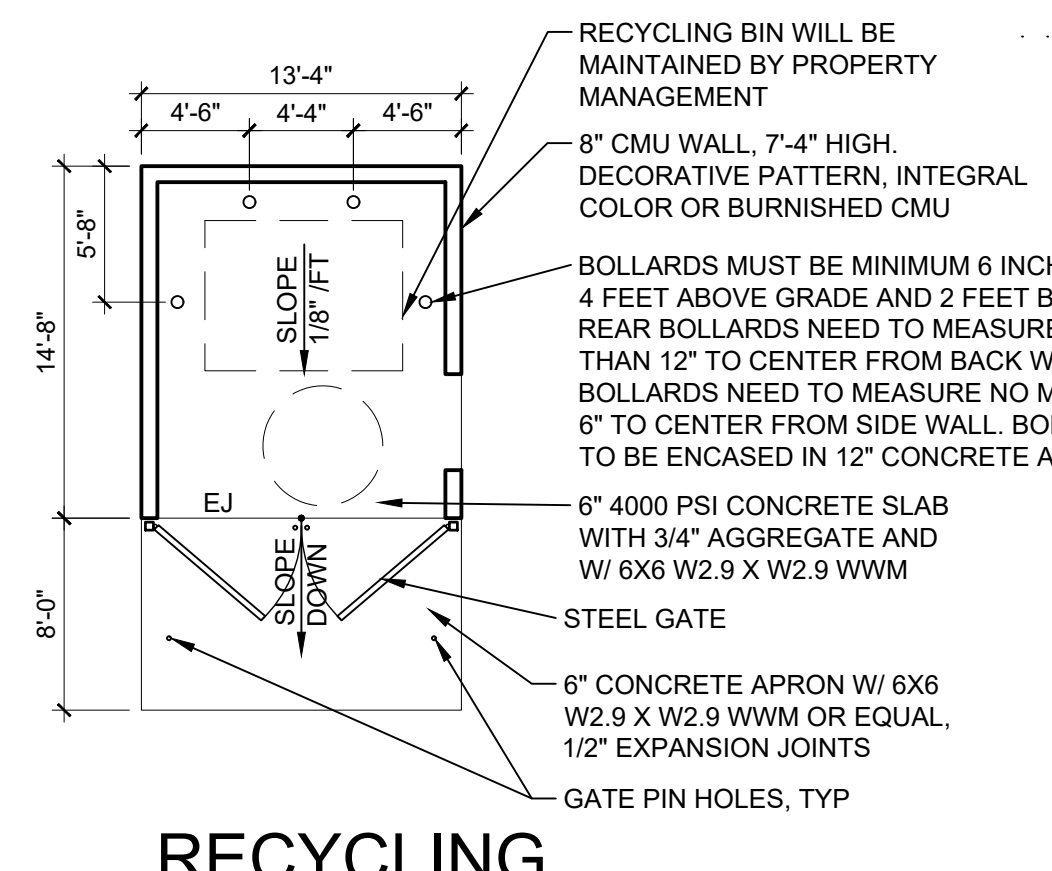
C4 SECURITY GATE
1/2" = 1'-0"

0 1' 2' 4'



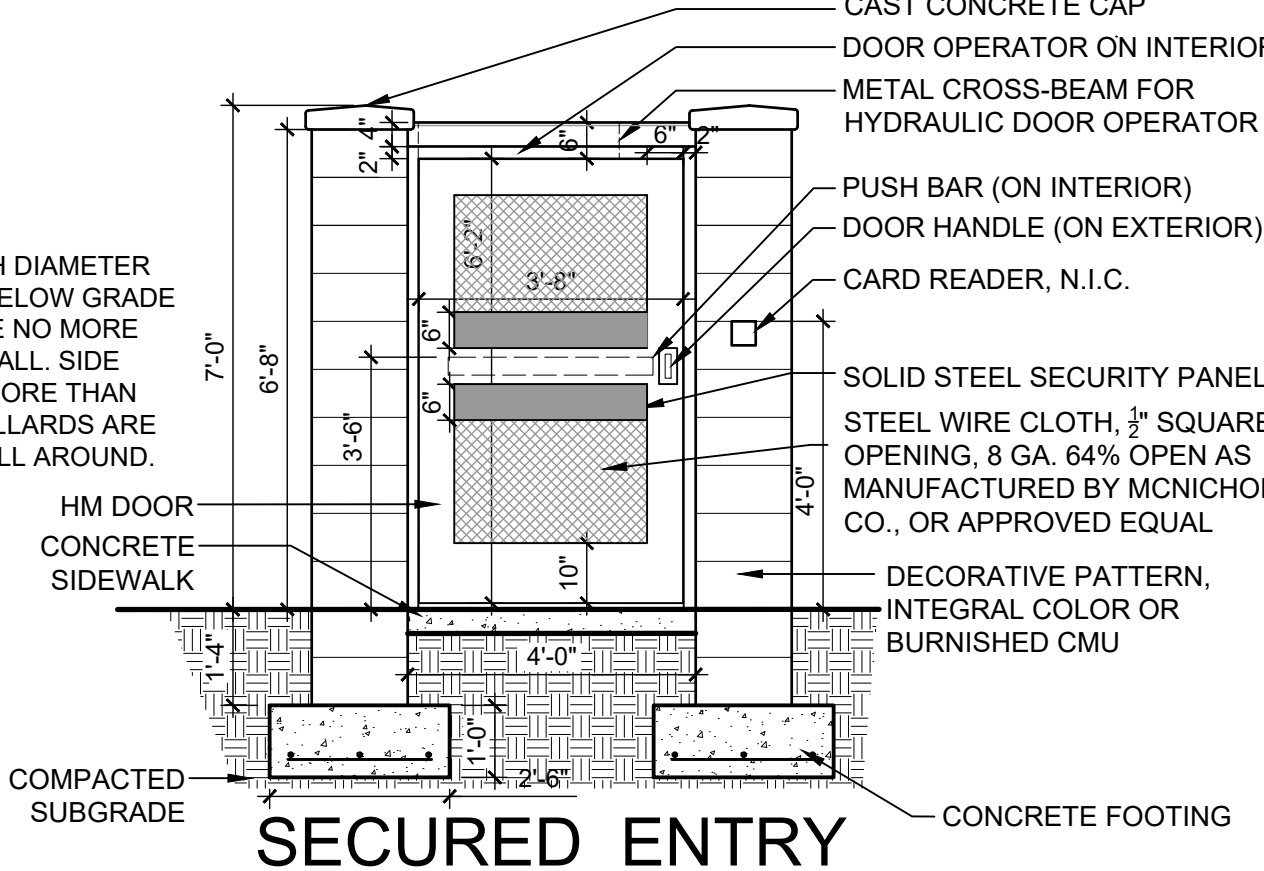
B2 POLE MOUNTED H.C. SIGN
1/2" = 1'-0"

0 1' 2' 4'



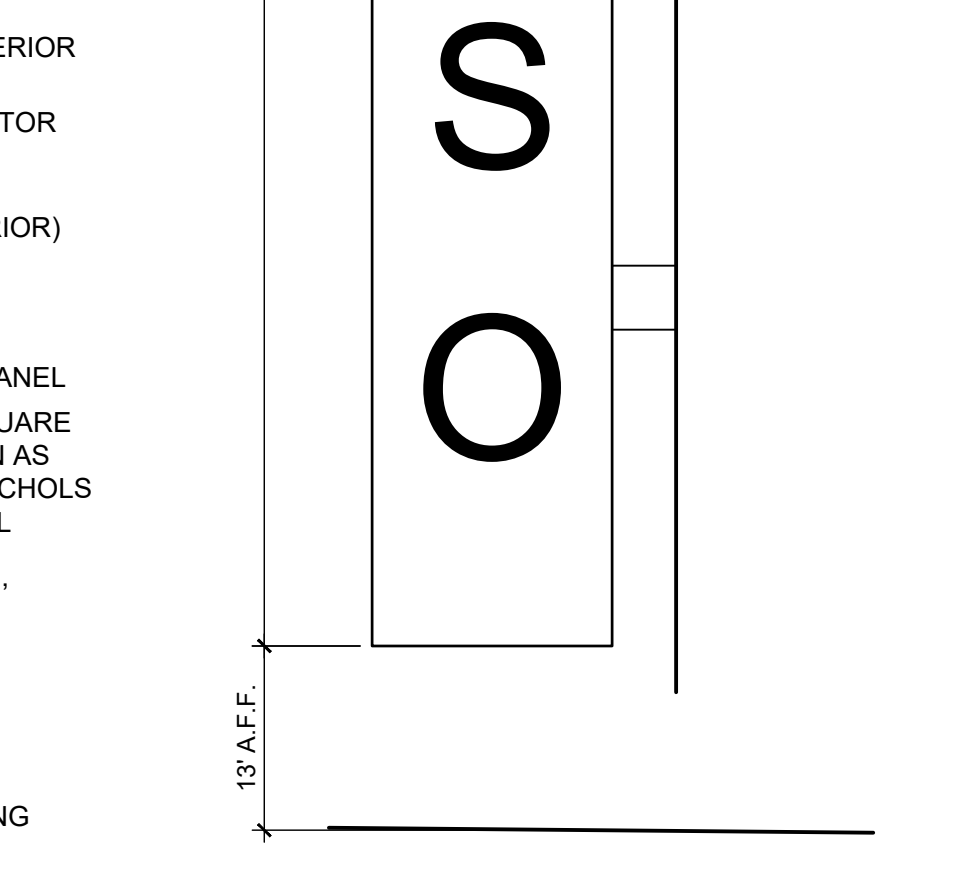
B3 RECYCLING ENCLOSURE
1/8" = 1'-0"

0 4' 8' 16'



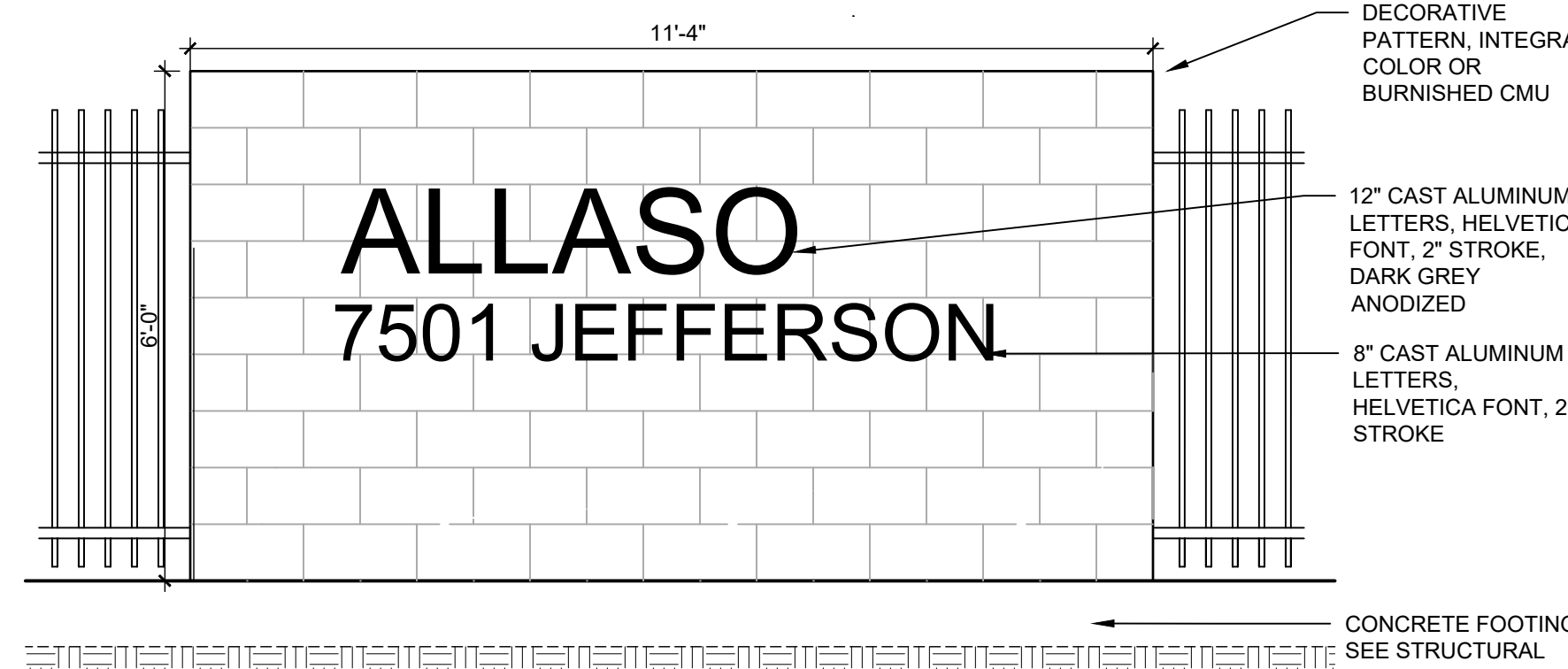
B4 SECURED ENTRY GATE
3/8" = 1'-0"

0 2' 4' 6'



B5 BLADE SIGN
1/2" = 1'-0"

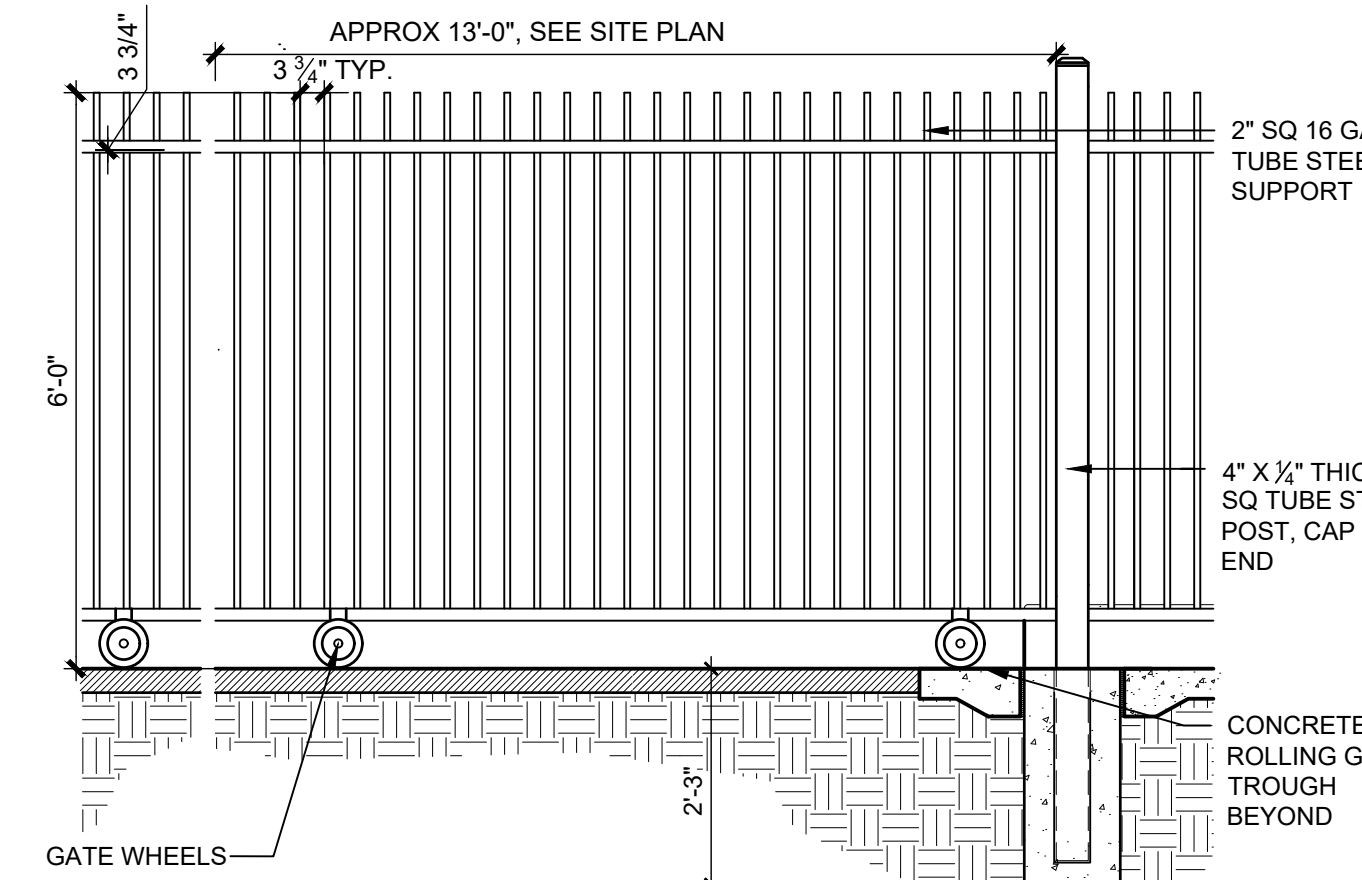
0 1' 2' 4'



NOTE: MONUMENT SIGN UNDER SEPARATE PERMIT. PROVIDE LANDSCAPE LIGHTS ON DAYLIGHT SENSOR. MONUMENT SIGN LIT FROM DUSK TILL DAWN. SEE ELECTRICAL FIXTURE SCHEDULE

A3 MONUMENT SIGN
1/2" = 1'-0"

0 1' 2' 4'



A5 VEHICULAR GATE
1/2" = 1'-0"

0 1' 2' 4'

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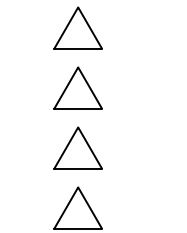
ENGINEER

PROJECT

ALLASO JC6 APARTMENTS
7501 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

DESIGN REVIEW
BOARD (DRB)
APPLICATION

REVISIONS



DRAWN BY DPS

REVIEWED BY DPS

DATE 09.16.2022

PROJECT NO. 20-0029

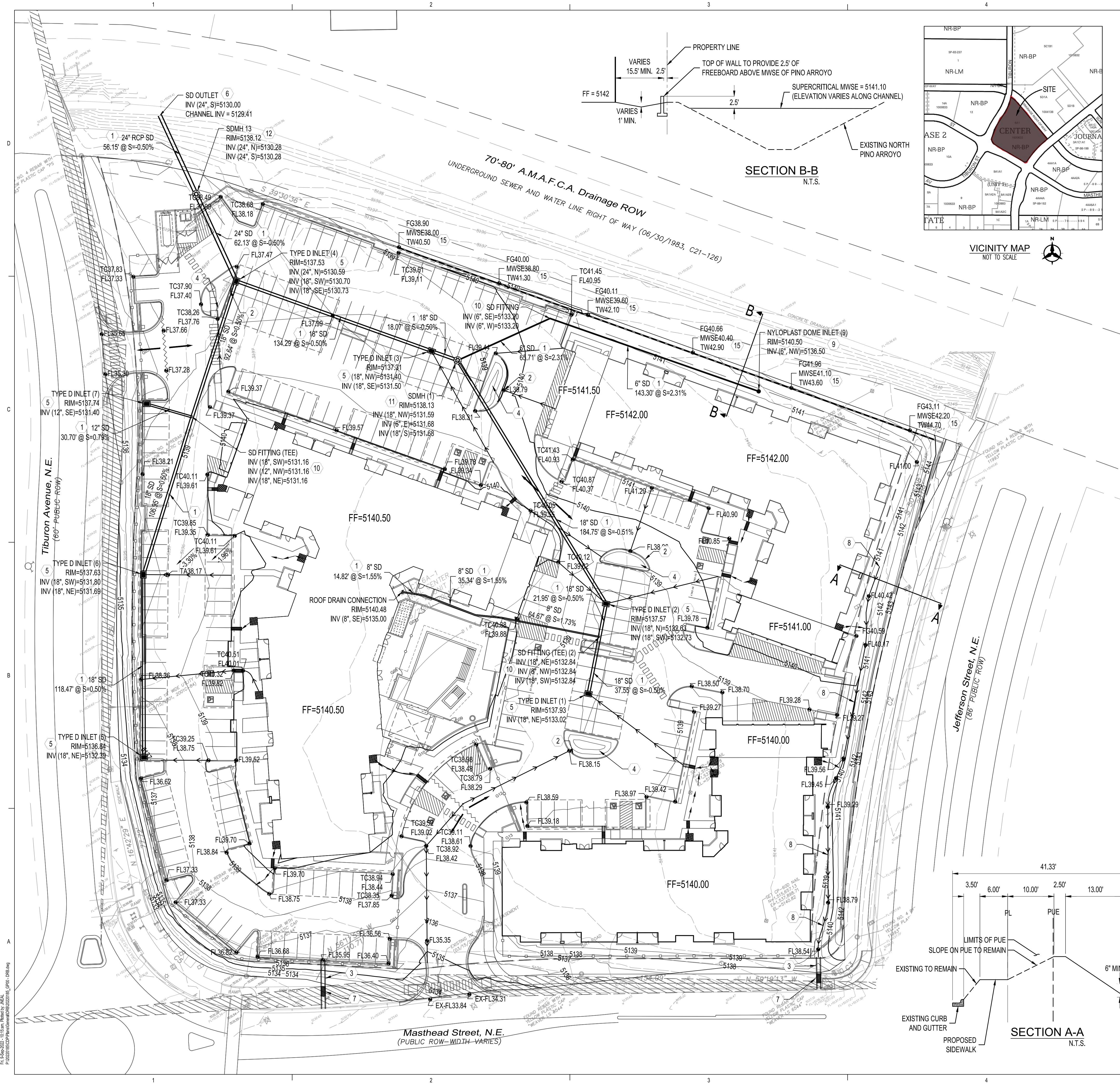
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SITE DETAILS

SHEET NO.

SDP1.3

OF



GRADING KEYNOTES

1. INSTALL HDPE (N12WT, OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE.
2. INSTALL CONCRETE CURB OPENING PER DETAIL 1, SHEET C104.
3. INSTALL CONCRETE RIBBON CHANNEL 2, SHEET C104.
4. WATER HARVESTING. LANDSCAPE DEPRESSION. ENSURE 6" MINIMUM DEPRESSION BELOW FLOWLINE.
5. INSTALL TYPE "D" INLET PER COA STD DWG 2206 (OR APPROVED EQUAL).
6. CONNECT TO EXISTING AMAFCA CHANNEL. COORDINATE WITH AMAFCA FOR APPROVAL AND LICENSING AGREEMENT.
7. INSTALL SIDEWALK CULVERT PER COA STD DWG 2236.
8. INSTALL LANDSCAPED SWALE.
9. INSTALL 18" NYLOPLAST INLET, DOME-GRATED.
10. INSTALL PREFABRICATED STORM DRAIN FITTING.
11. INSTALL 4" TYPE C STORM DRAIN MANHOLE.
12. INSTALL STORM WATER QUALITY MANHOLE.
13. INSTALL RIPRAP PAD.
14. INSTALL ROOF DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
15. INSTALL FLOODWALL. FLOODWALL TO PROVIDE 2.5' OF FREEBOARD ALONG CHANNEL FOR PROTECTION OF BUILDINGS.

NOTE
ALL INLETS TO BE STORM WATER QUALITY INLETS DESIGNED DURING BUILDING PERMIT.

NOTE
STORM DRAIN PIPE MATERIAL WITHIN AMAFCA RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED GRADE SPOT ELEVATION
- FL=FLOW LINE
- TC=TOP OF CURB
- TS=TOP OF SIDEWALK
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK

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**ARCHITECTURE
DESIGN
INSPIRATION**

ARCHITECT

ENGINEER



NOT FOR CONSTRUCTION

PROJECT

APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

**DESIGN REVIEW
BOARD (DRB) -
APPLICATION**

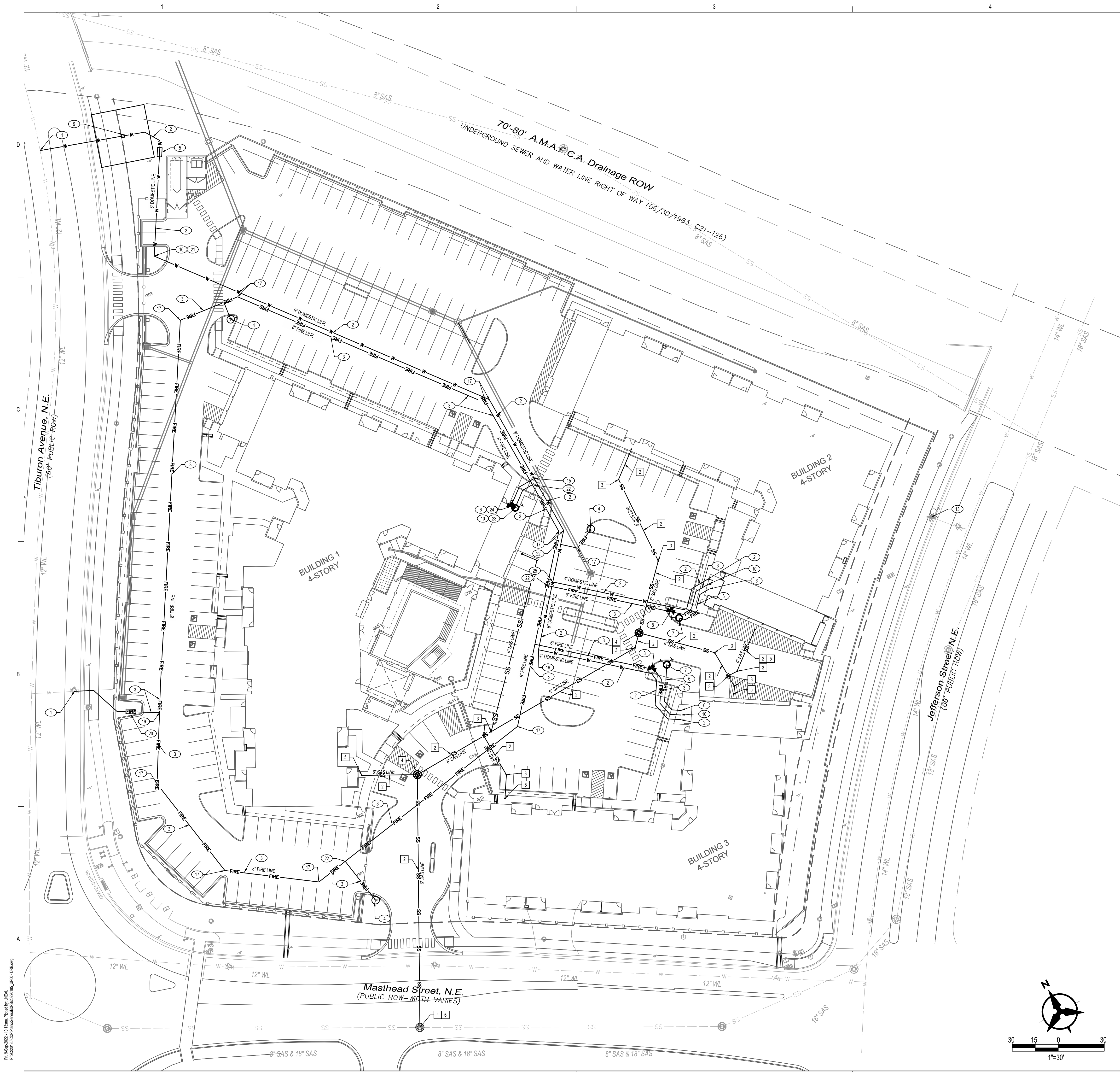
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PROJECT NO.	20-0029
DRAWING NAME	

GRADING PLAN

SHEET NO.

C100



WATER KEYED NOTES

- 1. CONNECT TO EXISTING WATERLINE.
- 2. INSTALL DOMESTIC SERVICE (SIZE PER PLAN), INSTALL STUB WITHIN 5' OF BUILDING.
- 3. INSTALL FIRE PROTECTION LINE (SIZE PER PLAN), INSTALL STUB WITHIN 5' OF BUILDING.
- 4. INSTALL 1-PRIVATE FIRE HYDRANT COMPLETE PER COA STD DWG 2340. PAINT HYDRANT SAFETY ORANGE.
- 5. INSTALL 1-3" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER WITHIN HEATED ENCLOSURE. INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE ELECTRICAL PLANS FOR POWER.
- 6. INSTALL FIRE DEPARTMENT CONNECTION LINE (SIZE PER PLAN), STUB WITHIN 5' OF BUILDING.
- 7. INSTALL REMOTE FIRE DEPARTMENT CONNECTION (FDC).
- 8. INSTALL POST INDICATOR VALVE.
- 9. INSTALL 3" WATER METER WITH 35X35 ABCWJA WATER METER EASEMENT.
- 10. INSTALL FIRE PROTECTION LINE TO WITHIN 5' OF BUILDING.
- 11. INSTALL 1-8" GATE VALVE WITH BOX AND LID PER COA STD DWG 2326.
- 12. INSTALL 1-8" GATE VALVE WITH BOX AND LID PER COA STD DWG 2326.
- 13. EXISTING FIRE HYDRANT.
- 14. INSTALL 8" x 6" REDUCER W/ RESTRAINED JOINTS AS NECESSARY.
- 15. INSTALL 8" x 4" REDUCER W/ RESTRAINED JOINTS AS NECESSARY.
- 16. INSTALL 90° BEND W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
- 17. INSTALL 45° BEND W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
- 18. INSTALL 1-8"x4" TEE W/ RESTRAINED JOINTS AS NECESSARY.
- 19. INSTALL 1-8"x8" TEE W/ RESTRAINED JOINTS AS NECESSARY.
- 20. INSTALL 1-8" DOMESTIC REDUCED PRESSURE WITHIN HEATED ENCLOSURE.
- 21. INSTALL 11.25" BEND W/ RESTRAINED JOINTS AS NECESSARY. SEE PLAN FOR SIZE.
- 22. INSTALL 1-8"x6" TEE W/ RESTRAINED JOINTS AS NECESSARY.
- 23. INSTALL WALL-MOUNTED FIRE DEPARTMENT CONNECTION (FDC).
- 24. INSTALL WALL MOUNTED POST INDICATOR VALVE (PIV).
- 25. INSTALL 1-6"x4" TEE W/ RESTRAINED JOINTS AS NECESSARY.

SANITARY SEWER KEYED NOTES

- 1. CONNECT TO EXISTING SANITARY SEWER.
- 2. INSTALL SANITARY SEWER SERVICE. SEE PLAN FOR SIZE.
- 3. INSTALL WATERTIGHT PRE-FABRICATED SANITARY SEWER FITTING AND CLEANOUT.
- 4. INSTALL SANITARY SEWER MANHOLE.
- 5. INSTALL SANITARY SEWER TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. VERIFY INVERT AT BUILDING AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
- 6. INSTALL NEW SANITARY SEWER MANHOLE TO ACCOMMODATE BOTH THE 8" COLLECTOR AND 18" INTERCEPTOR PIPES.

NOTE

ALL FIRE, DOMESTIC, SEWER, AND REUSE CONNECTIONS WITHIN THE COA RIGHT OF WAY TO BE PERMITTED AND CONSTRUCTED PER AN APPROVED ABCWJA MINI WORK ORDER.

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING WATER LINE
- EXISTING VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- PROPOSED EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED CAP

Bohannon & Huston
www.bhinc.com 800.877.5332

DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

ENGINEER



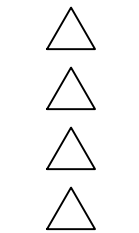
NOT FOR CONSTRUCTION

PROJECT

APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

DESIGN REVIEW
BOARD (DRB) -
APPLICATION

REVISIONS



DRAWN BY

REVIEWED BY

DATE 00.00.0000

PROJECT NO. 20-0029

DRAWING NAME

UTILITY PLAN

SHEET NO.

C200

LANDSCAPE CALCULATIONS

TOTAL AREA OF PROJECT	223,485 SF
LESS BUILDING	57,193 SF
NET LOT AREA	166,292 SF

REQUIRED LANDSCAPE AREA	
MINIMUM 15% OF NET LOT AREA	24,944 SF
ACTUAL LANDSCAPE AREA	48,688 SF
LANDSCAPE AREA REQUIREMENT EXCEEDED	23,744 SF

LANDSCAPE COVERAGE REQUIRED - 75%	36,140 SF
COVERAGE PROVIDED	139,549 SF
REQUIREMENT EXCEEDED	103,409 SF

REQUIRED 25% COVERAGE BY GROUND-LEVEL PLANTS	9,035 SF
ACTUAL COVERAGE BY GROUND-LEVEL PLANTS	21,911 SF
REQUIREMENT EXCEEDED	12,876 SF

SOD ALLOWED (10%)	4,819 SF
SOD ACTUAL	1,891 SF
UNDER MINIMUM ALLOWED	2,928 SF

PARKING LOT TREES (1 TREE PER 10 PARKING SPACES)	
247 PARKING SPACES PROVIDED	25 TREES
REQUIRED (247 / 10)	25 TREES
PROVIDED	

STREET TREES REQUIRED (1 TREE PER 25 LF)	57 TREES
STREET TREES PROVIDED	57 TREES
(INCLUDES 5 EXISTING TREES)	

DWELLING UNIT TREES REQUIRED (1 TREE PER 1ST STORY UNIT + 1 TREE PER 2ND STORY UNIT. 103 UNITS TOTAL)	103 TREES
PROVIDED	125 TREES

GENERAL LANDSCAPE NOTES

- A. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- B. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- C. THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- D. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- E. SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- F. LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- G. LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- H. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- I. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- J. ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS. REFER TO CIVIL.
- K. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- L. NEW PLANTINGS DO NOT EXCEED THE 10% LIMIT FOR HIGH WATER TURF.
- M. ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-B(C)(5)(b).
- N. WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- O. PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- P. ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
- Q. PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT

REFERENCE NOTES SCHEDULE ONSITE

SYMBOL	DESCRIPTION
	LARGE BOULDER
SYMBOL	DESCRIPTION
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC
	SYNTHETIC TURF
	EXISTING TURF TO REMAIN
	TURF
	6-8" WALLIN COBBLESTONE

REFERENCE NOTES SCHEDULE OFFSITE

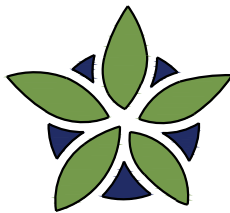
SYMBOL	DESCRIPTION
	1" SANTA ANA TAN GRAVEL - OFFSITE
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC - OFFSITE
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC - OFFSITE
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC - OFFSITE
	EXISTING TURF TO REMAIN - OFFSITE

PLANT SCHEDULE - ONSITE

	DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		7	CHILOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW	2"	B&B 20' X 25'	491X7=3,437 SF
		17	CRATAEGUS CRUS-GALLI 'NERMIS' / THORNLESS HAWTHORN	2"	B&B 50' X 45'	1590X17=27,030 SF
		11	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177X11=1,947 SF
		14	FRAXINUS OXYCARPA 'RAYWOOD' TM / RAYWOOD ASH	2"	B&B 35' X 25'	2826X14=39,564 SF
		11	LAGERSTROEMIA INDICA / CRAPE MYRTLE	24"BOX	15' X 15'	177X11=1,947 SF
		8	PISTACIA CHINENSIS / CHINESE PISTACHE	2"	B&B 40' X 30'	2826X8=22,608 SF
		18	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	2"	B&B 40' X 40'	491X18=8,838 SF
	EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		6	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2"	B&B 40' X 40'	1256X6=7,536 SF
		18	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	15 GAL	40' X 20'	314X18=5652 SF
	DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		7	PINUS NIGRA / AUSTRIAN BLACK PINE	10'	B&B 35' X 25'	79X7=553 SF
		9	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	5' X 5'	20X9=180 SF
	GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		124	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7X124=868 SF
		69	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3X69=207 SF
	DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		65	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7X65=455 SF
		87	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	2' X 3'	13X87=1,131 SF
		27	BUDDLEJA DAVIDII / BUTTERFLY BUSH	5 GAL	4' X 4'	13X21=351 SF
		18	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7X18=126 SF
		39	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3X39=117 SF
		28	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7X28=196 SF
		21	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28X21=588 SF
	EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		40	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3X40=120 SF
		9	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	1" X 20"	3X9=27 SF
		75	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 2'	13X75=975 SF
		33	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20X33=660 SF
		22	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7X22=154 SF
		48	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGANY	5 GAL	15' X 15'	177X48=8,496 SF
		4	COTONEASTER LAURICIFOLIUS / GREYLEAF COTONEASTER	5 GAL	2' X 9'	64X4=256 SF
	GROUNDCOVERS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
		67	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13X67=871 SF
		57	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38X57=2,166 SF
		44	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL	1.5' X 3'	7X44=308 SF
		59	PINUS MUGO MUGO / DWARF MUGO PINE	5 GAL	4' X 4'	13X59=767 SF
		61	RHAPHOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13X61=793 SF
		49	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	6' X 6'	28X49=1,372 SF
		66	TEUCRIUM ARDANIUM / CREEPING GERMANDER	1 GAL	1' X 2'	3X66=198 SF
				SUBTOTAL	21,911 SF	
				TOTAL	139,549 SF	

PLANT SCHEDULE OFFSITE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	42	ULMUS X 'FRONTIER' / FRONTIER ELM	2" B&B	40' X 40'	
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	37	BOUTELLOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	
	30	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	2	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	7	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL	1.5' X 3'	



YELLOWSTONE
LANDSCAPE

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Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



9/16/2022

Date: 9/29/2021

Revisions:

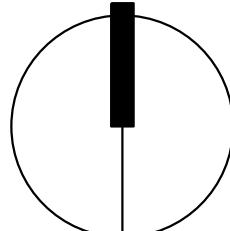
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Drawn by: PL

Reviewed by: CM

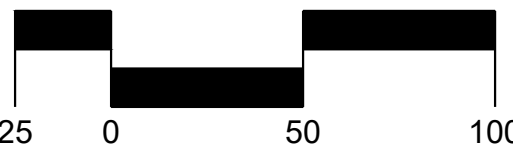
Alias JC6

Albuquerque, New Mexico



NORTH

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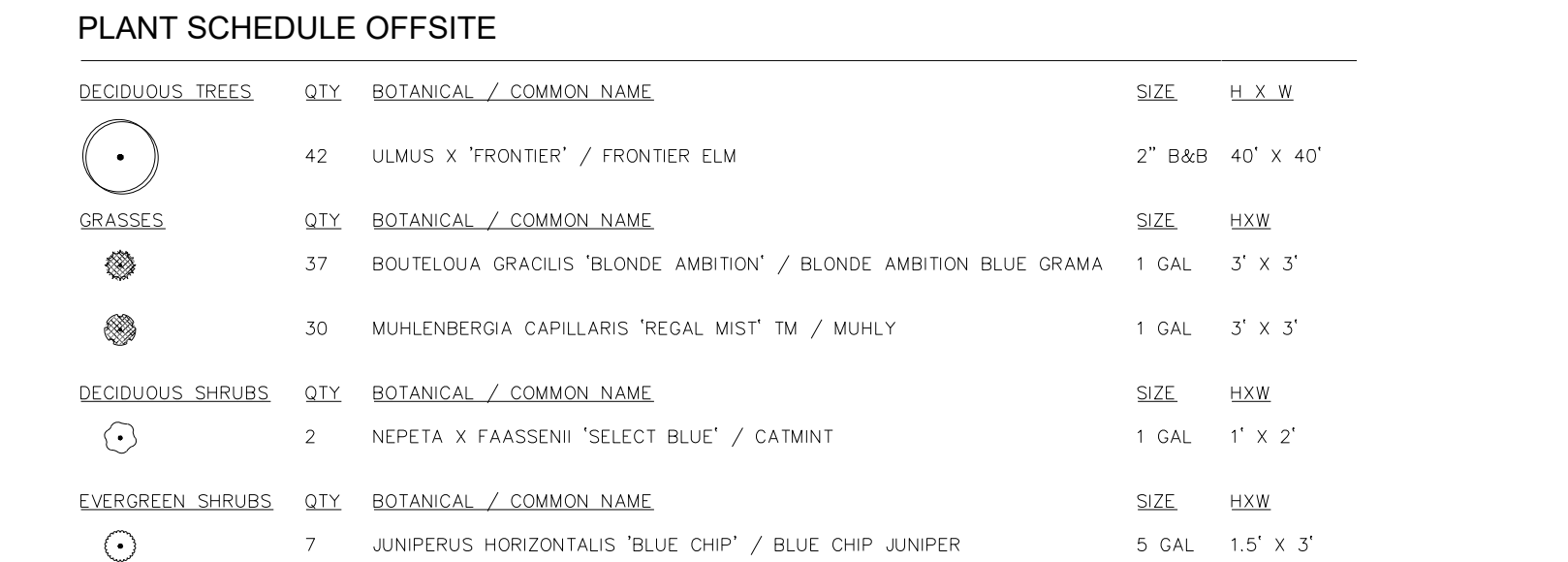
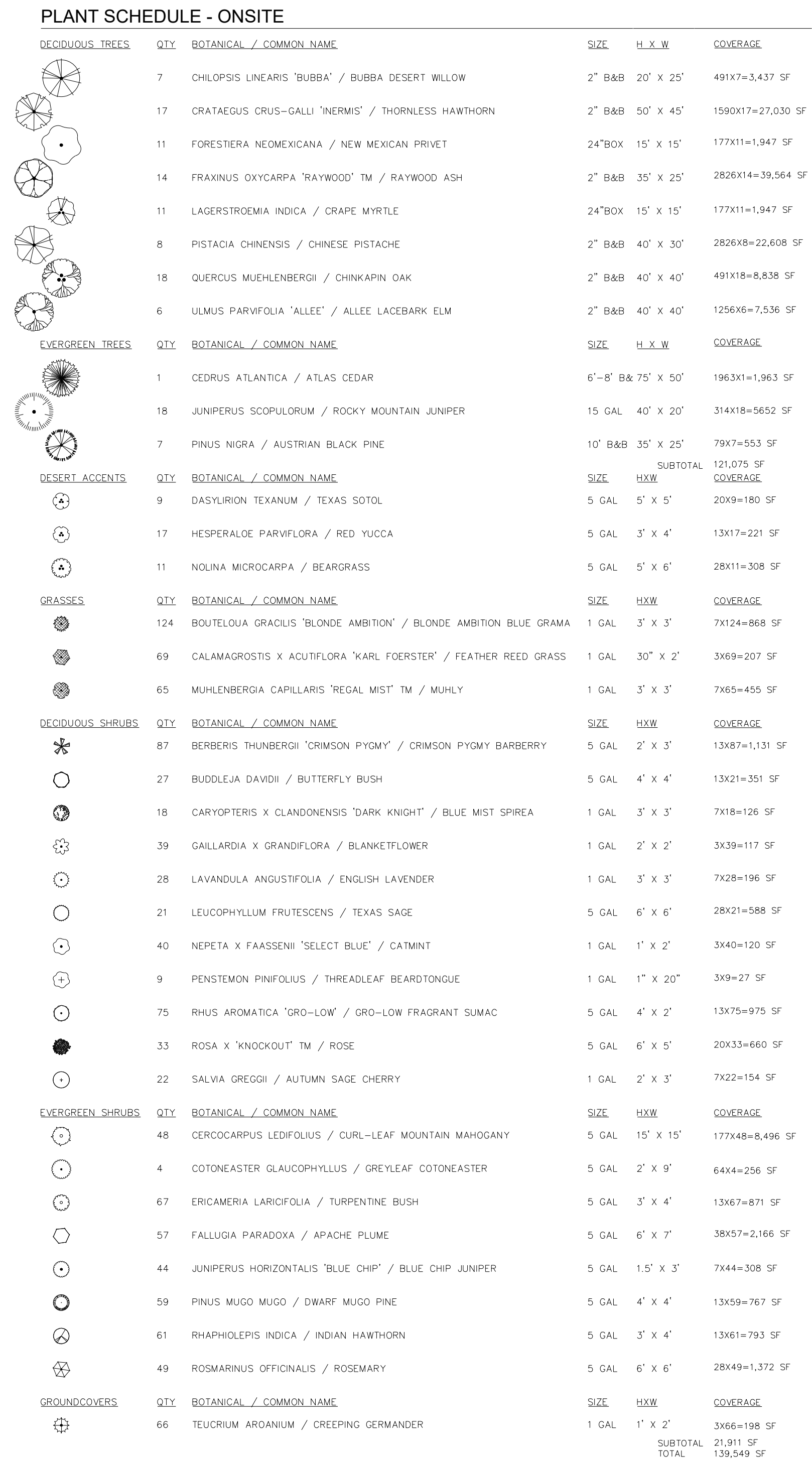










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




Landscape
Plan

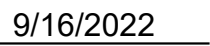
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<u>SYMBOL</u>	<u>DESCRIPTION</u>
	LARGE BOULDER
<u>SYMBOL</u>	<u>DESCRIPTION</u>
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC
	SYNTHETIC TURF
	EXISTING TURF TO REMAIN
	TURF
	6-8" WALLIN COBBLESTONE

SYMBOL	DESCRIPTION
	1" SANTA ANA TAN GRAVEL - OFFSITE
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC - OFFSITE
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC -
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC -
	EXISTING TURF TO REMAIN - OFFSITE



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Reviewed by: CM

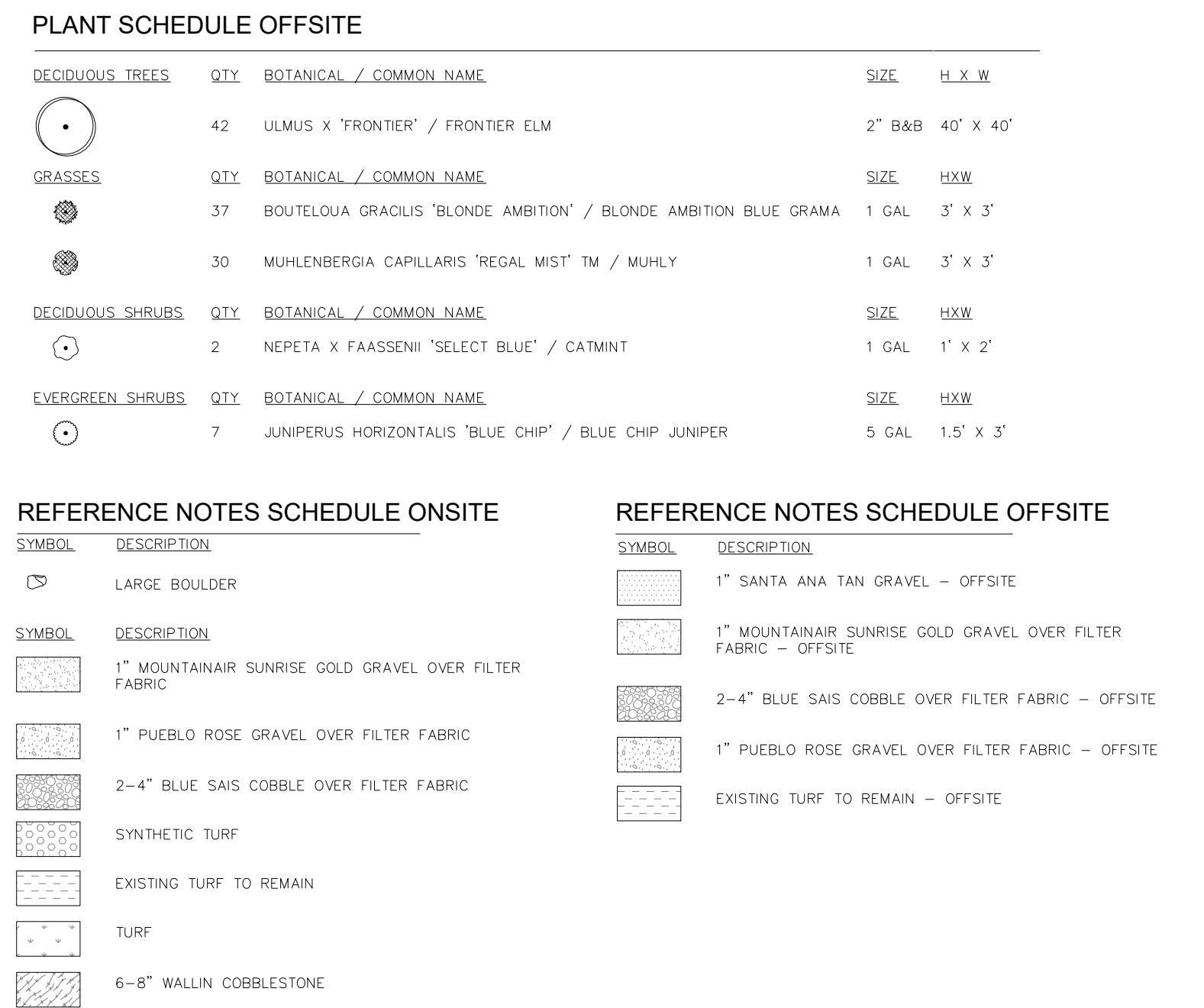
Albuquerque, New Mexico



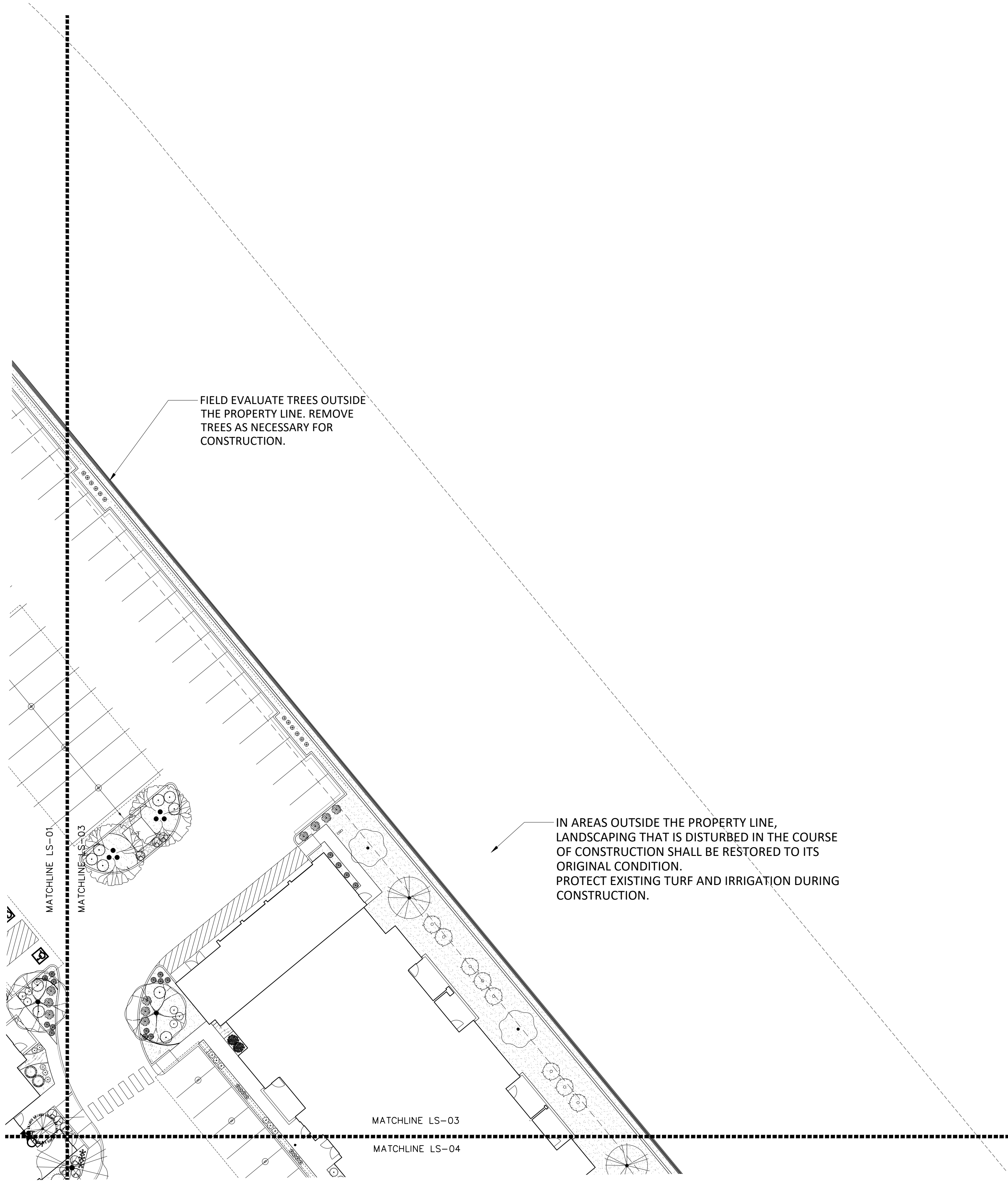
Age Group	Number of People
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0	10
20	20
40	10

Landscape Plan






































LS-01



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PLANT SCHEDULE - ONSITE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	7	CHLOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW	2" B&B	20' X 25'	491x7=3,437 SF	
	17	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	50' X 45'	1590x17=27,030 SF	
	11	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177x11=1,947 SF	
	14	FRAXINUS OXYCARPA 'RAYWOOD' TM / RAYWOOD ASH	2" B&B	35' X 25'	2826x14=39,564 SF	
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	8	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	40' X 30'	2826x8=22,608 SF	
	18	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	2" B&B	40' X 40'	491x18=8,838 SF	
	6	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" B&B	40' X 40'	1256x6=7,536 SF	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	1	CEDRUS ATLANTICA / ATLAS CEDAR	6"-8" B& 75' X 50'		1963x1=1,963 SF	
	18	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	15 GAL	40' X 20'	314x18=5652 SF	
	7	PINUS NIGRA / AUSTRIAN BLACK PINE	10" B&B	35' X 25'	79x7=553 SF	
<th>DESERT ACCENTS</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	9	DASYLIRODION TEXANUM / TEXAS SOTOL	5 GAL	5' X 5'	20x9=180 SF	
	17	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13x17=221 SF	
	11	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28x11=308 SF	
<th>GRASSES</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	124	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7x124=868 SF	
	69	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3x69=207 SF	
	65	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7x65=455 SF	
<th>DECIDUOUS SHRUBS</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	87	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	2' X 3'	13x87=1,131 SF	
	27	BUDDLEJA DAVIDII / BUTTERFLY BUSH	5 GAL	4' X 4'	13x21=351 SF	
	18	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7x18=126 SF	
	39	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3x39=117 SF	
	28	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7x28=196 SF	
	21	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28x21=588 SF	
	40	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3x40=120 SF	
	9	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	1" X 20"	3x9=27 SF	
	75	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 2'	13x75=975 SF	
	33	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20x33=660 SF	
	22	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7x22=154 SF	
<th>EVERGREEN SHRUBS</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
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	4	COTONEASTER GLAUCOPHYLLUS / GREYLEAF COTONEASTER	5 GAL	2' X 9'	6x4=256 SF	
	67	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13x67=871 SF	
	57	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7"	38x57=2,166 SF	
	44	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL	1.5' X 3'	7x44=308 SF	
	59	PINUS MUGO MUGO / DWARF MUGO PINE	5 GAL	4' X 4'	13x59=767 SF	
	61	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13x61=793 SF	
	49	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	6' X 6'	28x49=1,372 SF	
<th>GROUND COVERS</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	66	TEUCRIUM AROANUM / CREEPING GERMANDER	1 GAL	1' X 2'	3x66=198 SF	
					SUBTOTAL 21,911 SF	
					TOTAL 139,549 SF	

PLANT SCHEDULE OFFSITE

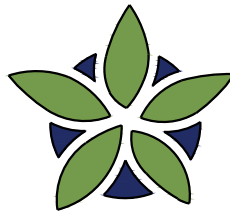
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
	42	ULMUS X 'FRONTIER' / FRONTIER ELM	2" B&B	40' X 40'
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
	37	BOUTELLOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'
	30	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
	2	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
	7	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL	1.5' X 3'

REFERENCE NOTES SCHEDULE ONSITE

SYMBOL	DESCRIPTION
	LARGE BOULDER
SYMBOL	DESCRIPTION
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC
	SYNTHETIC TURF
	EXISTING TURF TO REMAIN
	TURF
	6-8" WALLIN COBBLESTONE

REFERENCE NOTES SCHEDULE OFFSITE

SYMBOL	DESCRIPTION
	1" SANTA ANA TAN GRAVEL - OFFSITE
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC - OFFSITE
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC - OFFSITE
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC - OFFSITE
	EXISTING TURF TO REMAIN - OFFSITE



YELLOWSTONE
LANDSCAPE

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9/16/2022

Date: 9/29/2021

Revisions:

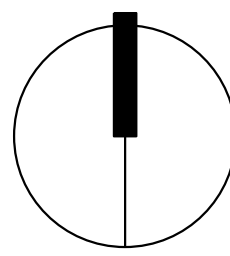
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- ▲ 9/16/2022 DRB
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Drawn by: PL

Reviewed by: CM

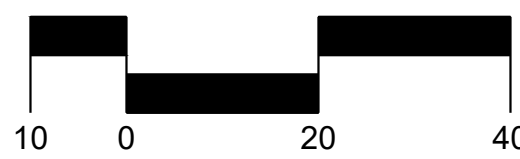
Allaso JC6

Albuquerque, New Mexico



NORTH

Scale: 1" = 20'

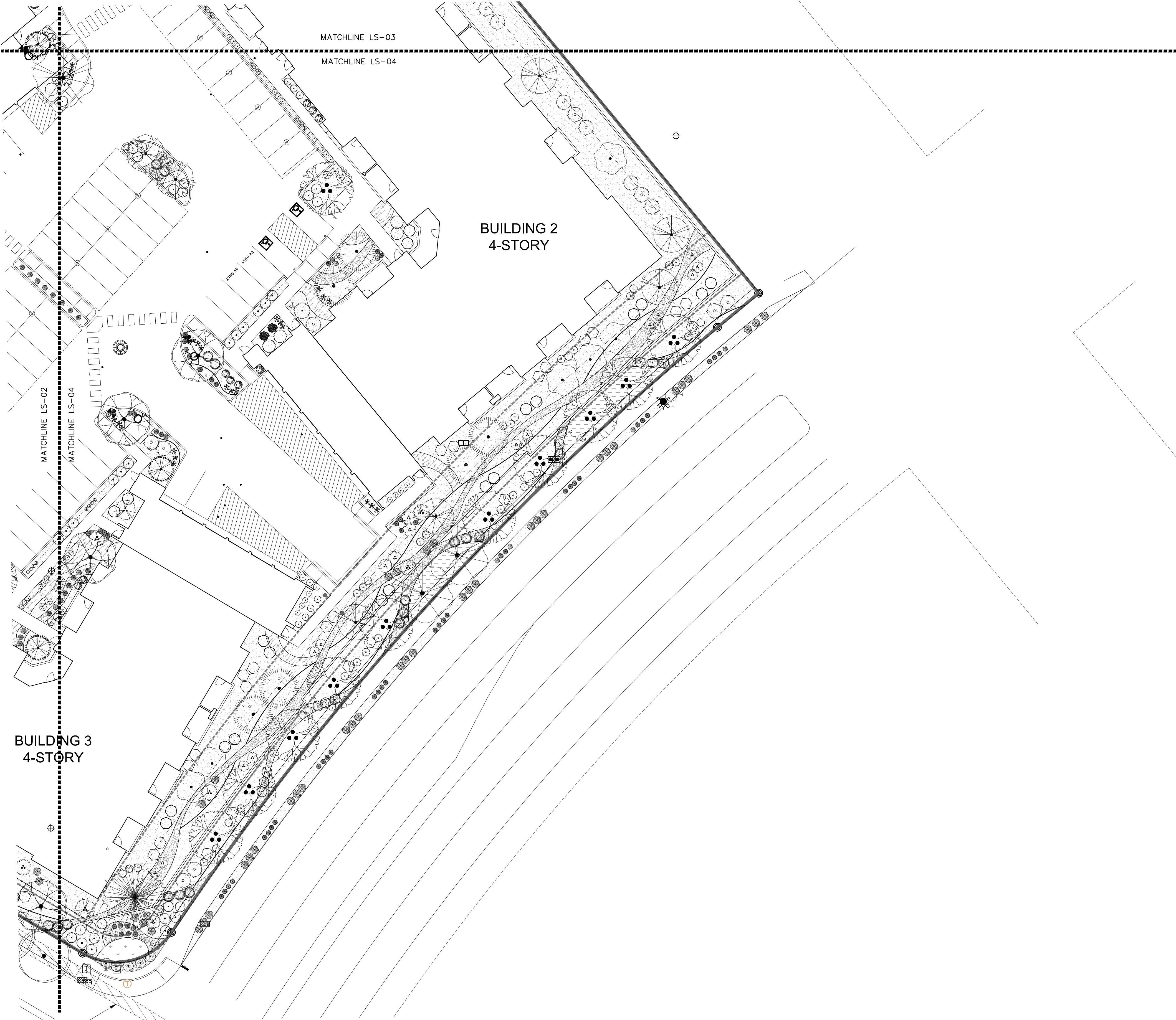


Sheet Title:

Landscape
Plan

Sheet Number:

LS-03



PLANT SCHEDULE - ONSITE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	7	CHILOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW	2" B&B	20' X 25'	491X7=3,437 SF	
	17	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS HAWTHORN	2" B&B	50' X 45'	1590X17=27,030 SF	
	11	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177X11=1,947 SF	
	14	FRAXINUS OXYCARPA 'RAYWOOD' TM / RAYWOOD ASH	2" B&B	35' X 25'	2826X14=39,564 SF	
	11	LAGERSTROEMIA INDICA / GRAPE MYRTLE	24"BOX	15' X 15'	177X11=1,947 SF	
	8	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	40' X 30'	2826X8=22,608 SF	
	18	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	2" B&B	40' X 40'	491X18=8,838 SF	
	6	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" B&B	40' X 40'	1256X6=7,536 SF	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	1	CEDRUS ATLANTICA / ATLAS CEDAR	6"-8" B&B	75' X 50'	1963X1=1,963 SF	
	18	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	15 GAL	40' X 20'	314X18=5652 SF	
	7	PINUS NIGRA / AUSTRIAN BLACK PINE	10" B&B	35' X 25'	79X7=553 SF	
<th>DESERT ACCENTS</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	9	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	5' X 5'	20X9=180 SF	
	17	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13X17=221 SF	
	11	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28X11=308 SF	
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	124	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7X124=868 SF	
	69	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30" X 2'	3X69=207 SF	
	65	MUEHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7X65=455 SF	
<th>DECIDUOUS SHRUBS</th> <th>QTY</th> <th>BOTANICAL / COMMON NAME</th> <th>SIZE</th> <th>H X W</th> <th>COVERAGE</th>	DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	87	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	2' X 3'	13X87=1,131 SF	
	27	BUDDLEIA DAVIDII / BUTTERFLY BUSH	5 GAL	4' X 4'	13X21=351 SF	
	18	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7X18=126 SF	
	39	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3X39=117 SF	
	28	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7X28=196 SF	
	21	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28X21=588 SF	
	40	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3X40=120 SF	
	9	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	1" X 20"	3X9=27 SF	
	75	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 2'	13X75=975 SF	
	33	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20X33=660 SF	
	22	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7X22=154 SF	
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	48	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGANY	5 GAL	15' X 15'	177X48=8,496 SF	
	4	COTONEASTER GLAUCOPHYLLUS / GREY-LEAF COTONEASTER	5 GAL	2' X 9'	64X4=256 SF	
	67	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13X67=871 SF	
	57	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38X57=2,166 SF	
	44	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	5 GAL	1.5' X 3'	7X44=308 SF	
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GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE	
	66	TEUCRIUM AROANUM / CREEPING GERMANDER	1 GAL	1' X 2'	3X66=198 SF	
					SUBTOTAL 21,911 SF	
					TOTAL 139,549 SF	

PLANT SCHEDULE OFFSITE

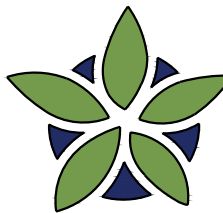
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W
	42	ULMUS X 'FRONTIER' / FRONTIER ELM	2" B&B	40' X 40'
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	37	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'
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REFERENCE NOTES SCHEDULE ONSITE

SYMBOL	DESCRIPTION
	LARGE BOULDER
SYMBOL	DESCRIPTION
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC
	SYNTHETIC TURF
	EXISTING TURF TO REMAIN
	TURF
	6-8" WALLIN COBLESTONE

REFERENCE NOTES SCHEDULE OFFSITE

SYMBOL	DESCRIPTION
	1" SANTA ANA TAN GRAVEL - OFFSITE
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC - OFFSITE
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	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC - OFFSITE
	EXISTING TURF TO REMAIN - OFFSITE



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9/16/2022

Date: 9/29/2021

Revisions:

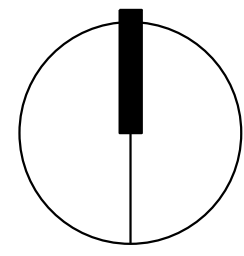
- ▲ 4/21/2022 DRB
- ▲ 9/16/2022 DRB
- ▲
- ▲
- ▲

Drawn by: PL

Reviewed by: CM

Allaso JC6

Albuquerque, New Mexico



NORTH

Scale: 1" = 20'



Sheet Title:

Landscape
Plan

Sheet Number:

LS-04

GENERAL SHEET NOTES	SHEET KEYNOTES	LEGEND
<p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</p> <p>B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.</p> <p>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.</p> <p>D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.</p> <p>E. PER IDO 5-11(E)(2); STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES.</p>	<p>1. EXTERIOR WALL: STUCCO FINISH_COLOR 1</p> <p>2. EXTERIOR WALL: STUCCO FINISH_COLOR 2</p> <p>3. EXTERIOR WALL: VERTICAL SEAM FIBER CEMENT BOARD</p> <p>4. JULIETTE BALCONY</p> <p>5. EXTERIOR WALL: FIBER CEMENT PANELS (~32"x64")</p> <p>6. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR</p> <p>7. BALCONY CABLE RAILING - METAL CUSTOM FABRICATED, PRIMED AND PAINTED</p> <p>8. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING</p> <p>9. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE</p> <p>10. DOWNSPOUT</p> <p>11. UNIT PATIO/BALCONY DOOR, FULL LITE</p> <p>12. HOLLOW METAL DOOR, PRIMED AND PAINTED</p> <p>13. ALUMINUM STOREFRONT (CLEAR ANODIZED)</p> <p>14. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)</p> <p>15. FRAMED EXTERIOR OPENING</p> <p>16. 4'-0" PRIVACY WALL - BOARD FORM CONCRETE</p> <p>17. OVERHEAD GARAGE DOOR</p> <p>18. COVERED ENTRY</p> <p>19. TRELLIS SHADE STRUCTURE</p> <p>20. METAL PATIO GATE, PRIMED AND PAINTED</p> <p>21. 6'-0" WOOD SLAT PRIVACY FENCE</p> <p>22. STEEL COLUMN COLOR TO MATCH GUARDRAILS</p> <p>23. WALL PLAN PROJECTION OR RECESSES (IDO 5-11(E)(2)(a))</p> <p>24. CHANGE IN COLOR, TEXTURE OR MATERIAL. (IDO 5-11(E)(2)(b))</p> <p>25. ELECTRIC METERS</p> <p>26. GAS METERS</p> <p>27. EXTERIOR WALL: HORIZONTAL SEAM FIBER CEMENT BOARD</p> <p>28. EXTERIOR WALL: STUCCO FINISH_COLOR 3</p> <p>29. EXTERIOR WALL: CMU WITH BREEZE BLOCK</p> <p>30. EXTERIOR WALL: STUCCO FINISH_COLOR 4</p> <p>31. EXTERIOR WALL: STUCCO FINISH_COLOR 5</p>	<p>LEGEND</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 1 (OFF WHITE CREAM)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 2 (TAUPE GREY)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 3 (POLISHED PINE)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 4 (SALMON)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 5 (TAUPE GREY LITE)</p> <p>BOARD FORMED CONCRETE PATIO WALL</p> <p>EXTERIOR WALL: VERTICAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</p> <p>EXTERIOR WALL: HORIZONTAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</p> <p>EXTERIOR WALL: FIBER CEMENT PANELS (LIGHT GRAY)</p> <p>EXTERIOR WALL: GUARD RAILS, TRELLISES, EXTERIOR DOORS AND OTHER TRIM (MEDIUM GRAY)</p> <p>EXTERIOR WALL: IPE PANELS</p>



C1 NORTH ELEVATION - BUILDING 3



B1 SOUTH ELEVATION - BUILDING 3 (STREET FACING FACADE)



A1 EAST ELEVATION - BUILDING 3 (STREET FACING FACADE)

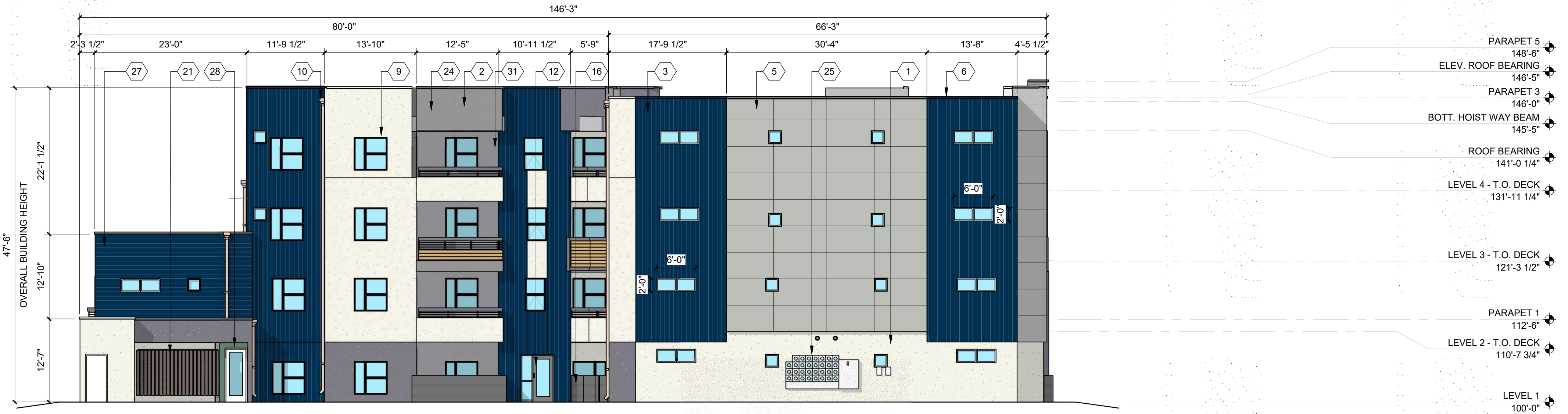
DEKKER
PERICH
SABATINI

SEAL
HANNAH FEIL
GREENHOOD
No. 5594
1/13/23
REGISTERED ARCHITECT

PROJECT
APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

REVISIONS
DRAWN BY: D/P/S
REVIEWED BY: HFG
DATE: 09/13/2022
PROJECT NO: 20-0029
DRAWING NAME
BUILDING 3
EXTERIOR
ELEVATIONS
SHEET NO
SDP 5.1

<div>GENERAL SHEET NOTES</div> <div>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</div> <div>B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.</div> <div>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.</div> <div>D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.</div> <div>E. PER IDO 5-11(E)(2); STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES.</div>	<div>SHEET KEYNOTES</div> <div>1. EXTERIOR WALL: STUCCO FINISH_COLOR 1</div> <div>2. EXTERIOR WALL: STUCCO FINISH_COLOR 2</div> <div>3. EXTERIOR WALL: VERTICAL SEAM FIBER CEMENT BOARD</div> <div>4. JULIETTE BALCONY</div> <div>5. EXTERIOR WALL: FIBER CEMENT PANELS (~32"x64")</div> <div>6. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR</div> <div>7. BALCONY CABLE RAILING - METAL CUSTOM FABRICATED, PRIMED AND PAINTED</div> <div>8. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING</div> <div>9. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE</div> <div>10. DOWNSPOUT</div> <div>11. UNIT PATIO/BALCONY DOOR, FULL LITE</div> <div>12. HOLLOW METAL DOOR, PRIMED AND PAINTED</div> <div>13. ALUMINUM STOREFRONT (CLEAR ANODIZED)</div> <div>14. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)</div> <div>15. FRAMED EXTERIOR OPENING</div> <div>16. 4'-0" PRIVACY WALL - BOARD FORM CONCRETE</div>	<div>17. OVERHEAD GARAGE DOOR</div> <div>18. COVERED ENTRY</div> <div>19. TRELLIS SHADE STRUCTURE</div> <div>20. METAL PATIO GATE, PRIMED AND PAINTED</div> <div>21. 6'-0" WOOD SLAT PRIVACY FENCE</div> <div>22. STEEL COLUMN COLOR TO MATCH GUARDRAILS</div> <div>23. WALL PLAN PROJECTION OR RECESSES (IDO 5-11(E)(2)(a))</div> <div>24. CHANGE IN COLOR, TEXTURE OR MATERIAL. (IDO 5-11(E)(2)(b))</div> <div>25. ELECTRIC METERS</div> <div>26. GAS METERS</div> <div>27. EXTERIOR WALL: HORIZONTAL SEAM FIBER CEMENT BOARD</div> <div>28. EXTERIOR WALL: STUCCO FINISH COLOR 3</div> <div>29. EXTERIOR WALL: CMU WITH BREEZE BLOCK</div> <div>30. EXTERIOR WALL: STUCCO FINISH COLOR 4</div> <div>31. EXTERIOR WALL: STUCCO FINISH COLOR 5</div>	<div>LEGEND</div> <div>EXTERIOR WALL: STUCCO FINISH_COLOR 1 (OFF WHITE CREAM)</div> <div>EXTERIOR WALL: STUCCO FINISH_COLOR 2 (TAUPE GREY)</div> <div>EXTERIOR WALL: STUCCO FINISH_COLOR 3 (POLISHED PINE)</div> <div>EXTERIOR WALL: STUCCO FINISH_COLOR 4 (SALMON)</div> <div>EXTERIOR WALL: STUCCO FINISH_COLOR 5 (TAUPE GREY LITE)</div> <div>BOARD FORMED CONCRETE PATIO WALL</div> <div>EXTERIOR WALL: VERTICAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</div> <div>EXTERIOR WALL: HORIZONTAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</div> <div>EXTERIOR WALL: FIBER CEMENT PANELS (LIGHT GRAY)</div> <div>EXTERIOR WALL: GUARD RAILS, TRELLISES, EXTERIOR DOORS AND OTHER TRIM (MEDIUM GRAY)</div> <div>EXTERIOR WALL: IPE PANELS</div>
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B2 WEST ELEVATION - BUILDING 3
SDP 5.2 3/32" = 1'-0"



A1 SOUTH ELEVATION - BUILDING 2
SDP 5.2 3/32" = 1'-0"

DEKKER
PERICH
SABATINI

SEAL



PROJECT

APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

REVISIONS



DRAWN BY D/P/S
REVIEWED BY HFG
DATE 09/13/2022
PROJECT NO: 20-0029

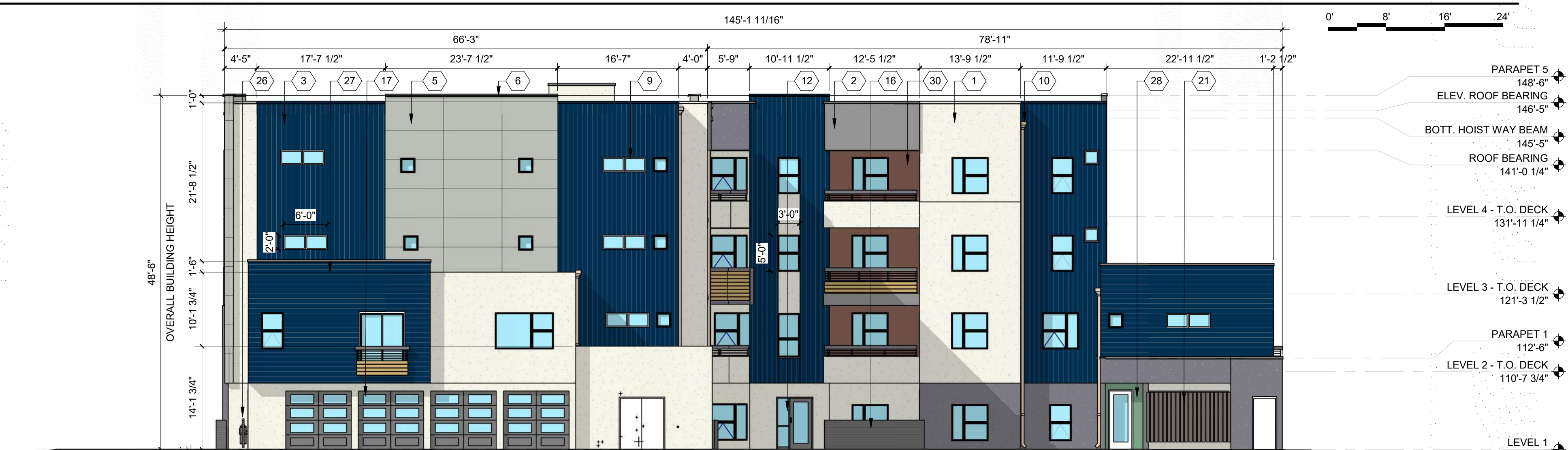
DRAWING NAME
BUILDING 2 AND 3
EXTERIOR
ELEVATIONS

SHEET NO
SDP 5.2

GENERAL SHEET NOTES	SHEET KEYNOTES	LEGEND
<p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</p> <p>B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.</p> <p>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.</p> <p>D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.</p> <p>E. PER IDO 5-11(E)(2); STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES.</p>	<p>1. EXTERIOR WALL: STUCCO FINISH_COLOR 1</p> <p>2. EXTERIOR WALL: STUCCO FINISH_COLOR 2</p> <p>3. EXTERIOR WALL: VERTICAL SEAM FIBER CEMENT BOARD</p> <p>4. JULIETTE BALCONY</p> <p>5. EXTERIOR WALL: FIBER CEMENT PANELS (~32"x64")</p> <p>6. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR</p> <p>7. BALCONY CABLE RAILING - METAL CUSTOM FABRICATED, PRIMED AND PAINTED</p> <p>8. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING</p> <p>9. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE</p> <p>10. DOWNSPOUT</p> <p>11. UNIT PATIO/BALCONY DOOR, FULL LITE</p> <p>12. HOLLOW METAL DOOR, PRIMED AND PAINTED</p> <p>13. ALUMINUM STOREFRONT (CLEAR ANODIZED)</p> <p>14. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)</p> <p>15. FRAMED EXTERIOR OPENING</p> <p>16. 4'-0" PRIVACY WALL - BOARD FORM CONCRETE</p> <p>17. OVERHEAD GARAGE DOOR</p> <p>18. COVERED ENTRY</p> <p>19. TRELLIS SHADE STRUCTURE</p> <p>20. METAL PATIO GATE, PRIMED AND PAINTED</p> <p>21. 6'-0" WOOD SLAT PRIVACY FENCE</p> <p>22. STEEL COLUMN COLOR TO MATCH GUARDRAILS</p> <p>23. WALL PLAN PROJECTION OR RECESSES (IDO 5-11(E)(2)(a))</p> <p>24. CHANGE IN COLOR, TEXTURE OR MATERIAL. (IDO 5-11(E)(2)(b))</p> <p>25. ELECTRIC METERS</p> <p>26. GAS METERS</p> <p>27. EXTERIOR WALL: HORIZONTAL SEAM FIBER CEMENT BOARD</p> <p>28. EXTERIOR WALL: STUCCO FINISH COLOR 3</p> <p>29. EXTERIOR WALL: CMU WITH BREEZE BLOCK</p> <p>30. EXTERIOR WALL: STUCCO FINISH COLOR 4</p> <p>31. EXTERIOR WALL: STUCCO FINISH COLOR 5</p>	<p>LEGEND</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 1 (OFF WHITE CREAM)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 2 (TAUPE GREY)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 3 (POLISHED PINE)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 4 (SALMON)</p> <p>EXTERIOR WALL: STUCCO FINISH_COLOR 5 (TAUPE GREY LITE)</p> <p>BOARD FORMED CONCRETE PATIO WALL</p> <p>EXTERIOR WALL: VERTICAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</p> <p>EXTERIOR WALL: HORIZONTAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</p> <p>EXTERIOR WALL: FIBER CEMENT PANELS (LIGHT GRAY)</p> <p>EXTERIOR WALL: GUARD RAILS, TRELLISES, EXTERIOR DOORS AND OTHER TRIM (MEDIUM GRAY)</p> <p>EXTERIOR WALL: IPE PANELS</p>



C1 NORTH ELEVATION - BUILDING 2
SDP 5.3
3/32" = 1'-0"



B1 WEST ELEVATION - BUILDING 2
SDP 5.3
3/32" = 1'-0"



A1 EAST ELEVATION - BUILDING 2 (STREET FACING FACADE)
SDP 5.3
3/32" = 1'-0"

DEKKER
PERICH
SABATINI

SEAL



PROJECT

APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

REVISIONS



DRAWN BY: D/P/S
REVIEWED BY: HFG
DATE: 09/13/2022
PROJECT NO: 20-0029

DRAWING NAME
BUILDING 2
EXTERIOR
ELEVATIONS

SHEET NO

SDP 5.3

GENERAL SHEET NOTES	SHEET KEYNOTES	LEGEND
<p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</p> <p>B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.</p> <p>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.</p> <p>D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.</p> <p>E. PER IDO 5-11(E)(2); STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES.</p>	<p>1. EXTERIOR WALL: STUCCO FINISH_COLOR 1</p> <p>2. EXTERIOR WALL: STUCCO FINISH_COLOR 2</p> <p>3. EXTERIOR WALL: VERTICAL SEAM FIBER CEMENT BOARD</p> <p>4. JULIETTE BALCONY</p> <p>5. EXTERIOR WALL: FIBER CEMENT PANELS (~32"x64")</p> <p>6. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR</p> <p>7. BALCONY CABLE RAILING - METAL CUSTOM FABRICATED, PRIMED AND PAINTED</p> <p>8. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING</p> <p>9. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE</p> <p>10. DOWNSPOUT</p> <p>11. UNIT PATIO/BALCONY DOOR, FULL LITE</p> <p>12. HOLLOW METAL DOOR, PRIMED AND PAINTED</p> <p>13. ALUMINUM STOREFRONT (CLEAR ANODIZED)</p> <p>14. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED)</p> <p>15. FRAMED EXTERIOR OPENING</p> <p>16. 4'-0" PRIVACY WALL - BOARD FORM CONCRETE</p>	<p>17. OVERHEAD GARAGE DOOR</p> <p>18. COVERED ENTRY</p> <p>19. TRELLIS SHADE STRUCTURE</p> <p>20. METAL PATIO GATE, PRIMED AND PAINTED</p> <p>21. 6'-0" WOOD SLAT PRIVACY FENCE</p> <p>22. STEEL COLUMN COLOR TO MATCH GUARDRAILS</p> <p>23. WALL PLAN PROJECTION OR RECESSES (IDO 5-11(E)(2)(a))</p> <p>24. CHANGE IN COLOR, TEXTURE OR MATERIAL. (IDO 5-11(E)(2)(b))</p> <p>25. ELECTRIC METERS</p> <p>26. GAS METERS</p> <p>27. EXTERIOR WALL: HORIZONTAL SEAM FIBER CEMENT BOARD</p> <p>28. EXTERIOR WALL: STUCCO FINISH COLOR 3</p> <p>29. EXTERIOR WALL: CMU WITH BREEZE BLOCK</p> <p>30. EXTERIOR WALL: STUCCO FINISH COLOR 4</p> <p>31. EXTERIOR WALL: STUCCO FINISH COLOR 5</p>
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B2 NORTH ELEVATION - BUILDING 1
SDP 5.4 3/32" = 1'-0"



A1 WEST ELEVATION - BUILDING 1
SDP 5.4 3/32" = 1'-0"

DEKKER
PERICH
SABATINI

SEAL



PROJECT

APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

REVISIONS

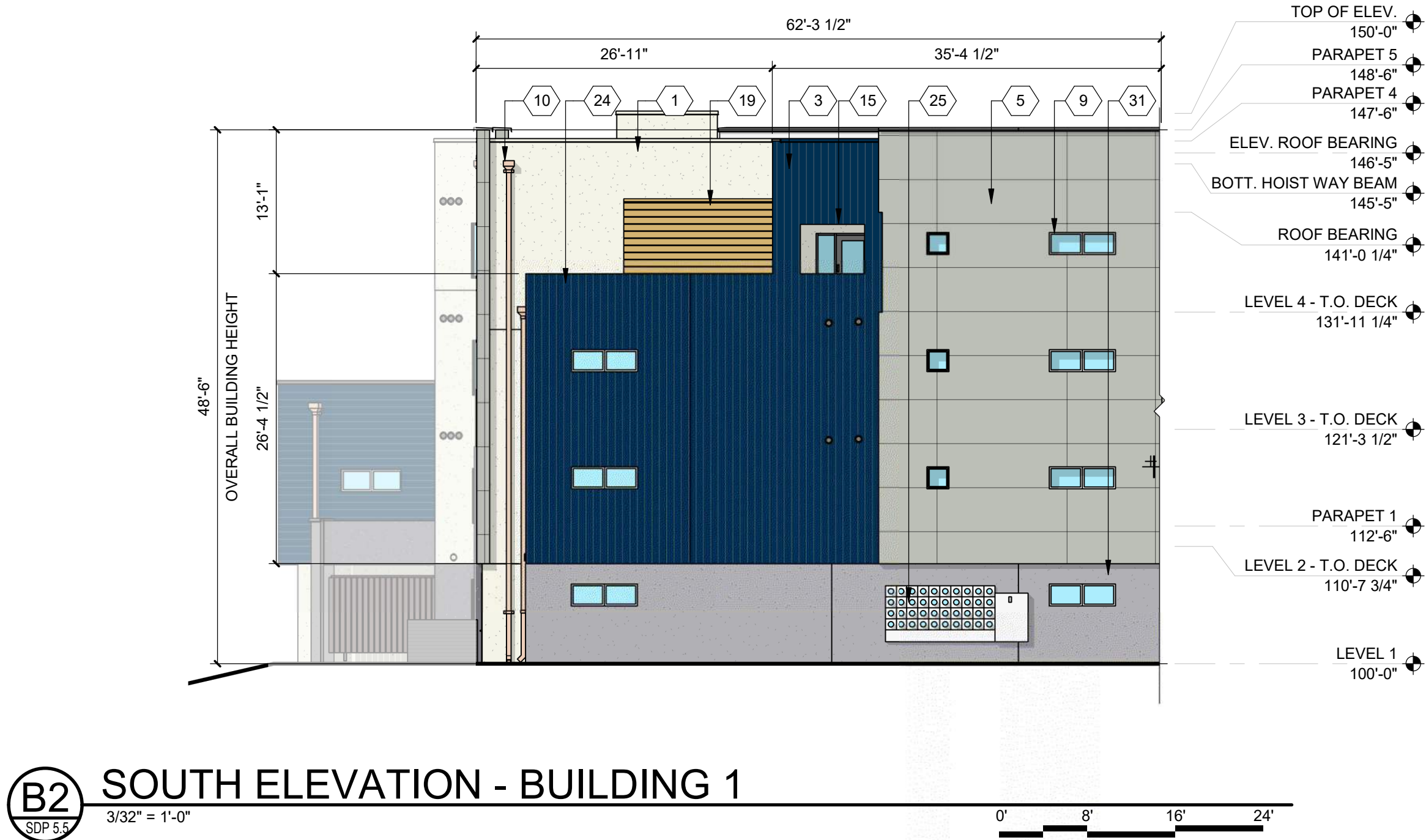


DRAWN BY D/P/S
REVIEWED BY HFG
DATE 09/13/2022
PROJECT NO: 20-0029

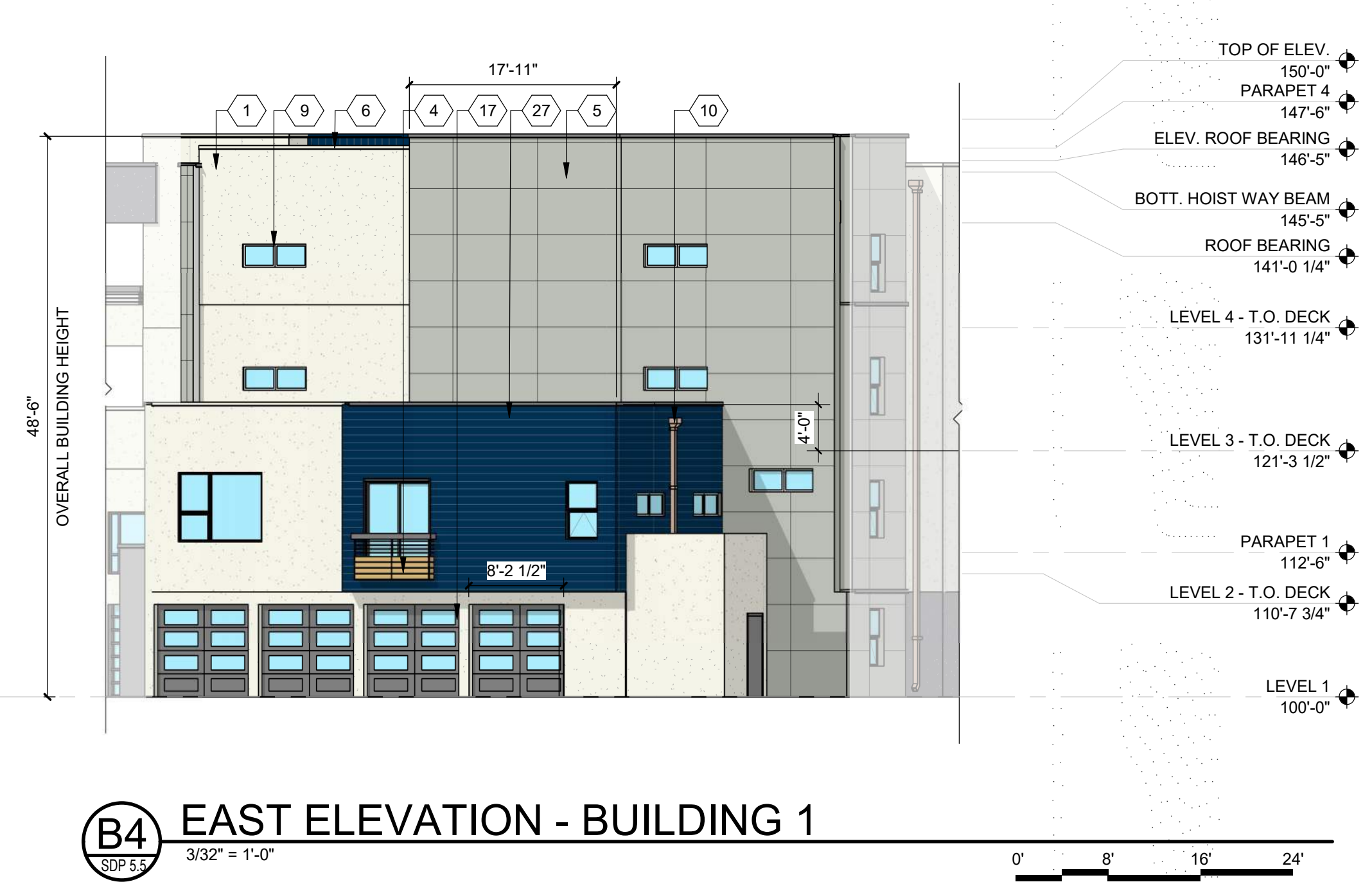
DRAWING NAME
BUILDING 1
EXTERIOR
ELEVATIONS

SHEET NO
SDP 5.4

<p>GENERAL SHEET NOTES</p> <p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</p> <p>B. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE.</p> <p>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20' ABOVE FINISH FLOOR.</p> <p>D. ALL IDO REQUIREMENTS WILL BE MET PER SECTION 5-11(E)(2); REF: BUILDING FLOOR PLAN SHEETS FOR ADDITIONAL INFORMATION.</p> <p>E. PER IDO 5-11(E)(2); STREET FACING FACADES WILL INCORPORATE REQUIRED FEATURES; REF: SHEET KEYNOTES.</p>	<p>SHEET KEYNOTES (X)</p> <p>1. EXTERIOR WALL: STUCCO FINISH_COLOR 1 2. EXTERIOR WALL: STUCCO FINISH_COLOR 2 3. EXTERIOR WALL: VERTICAL SEAM FIBER CEMENT BOARD 4. JULIETTE BALCONY 5. EXTERIOR WALL: FIBER CEMENT PANELS (~32"X64") 6. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR 7. BALCONY CABLE RAILING - METAL CUSTOM FABRICATED, PRIMED AND PAINTED 8. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING 9. RESIDENTIAL WINDOWS (OPERABLE, LOW-E GLASS) - FRAME COLOR: WHITE 10. DOWNSPOUT 11. UNIT PATIO/BALCONY DOOR, FULL LITE 12. HOLLOW METAL DOOR, PRIMED AND PAINTED 13. ALUMINUM STOREFRONT (CLEAR ANODIZED) 14. ALUMINUM STOREFRONT DOOR (CLEAR ANODIZED) 15. FRAMED EXTERIOR OPENING 16. 4'-0" PRIVACY WALL - BOARD FORM CONCRETE</p>	<p>17. OVERHEAD GARAGE DOOR 18. COVERED ENTRY 19. TRELLIS SHADE STRUCTURE 20. METAL PATIO GATE, PRIMED AND PAINTED 21. 6'-0" WOOD SLAT PRIVACY FENCE 22. STEEL COLUMN COLOR TO MATCH GUARDRAILS 23. WALL PLAN PROJECTION OR RECESSES (IDO 5-11(E)(2)(a)) 24. CHANGE IN COLOR, TEXTURE OR MATERIAL. (IDO 5-11(E)(2)(b)) 25. ELECTRIC METERS 26. GAS METERS 27. EXTERIOR WALL: HORIZONTAL SEAM FIBER CEMENT BOARD 28. EXTERIOR WALL: STUCCO FINISH_COLOR 3 29. EXTERIOR WALL: CMU WITH BREEZE BLOCK 30. EXTERIOR WALL: STUCCO FINISH_COLOR 4 31. EXTERIOR WALL: STUCCO FINISH_COLOR 5</p>	<p>LEGEND</p> <table><tr><td></td><td>EXTERIOR WALL: STUCCO FINISH_COLOR 1 (OFF WHITE CREAM)</td><td></td><td>EXTERIOR WALL: VERTICAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</td></tr><tr><td></td><td>EXTERIOR WALL: STUCCO FINISH_COLOR 2 (TAUPE GREY)</td><td></td><td>EXTERIOR WALL: HORIZONTAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)</td></tr><tr><td></td><td>EXTERIOR WALL: STUCCO FINISH_COLOR 3 (POLISHED PINE)</td><td></td><td>EXTERIOR WALL: FIBER CEMENT PANELS (LIGHT GRAY)</td></tr><tr><td></td><td>EXTERIOR WALL: STUCCO FINISH_COLOR 4 (SALMON)</td><td></td><td>EXTERIOR WALL: GUARD RAILS, TRELLISES, EXTERIOR DOORS AND OTHER TRIM (MEDIUM GRAY)</td></tr><tr><td></td><td>EXTERIOR WALL: STUCCO FINISH_COLOR 5 (TAUPE GREY LITE)</td><td></td><td>EXTERIOR WALL: IPE PANELS</td></tr><tr><td></td><td>BOARD FORMED CONCRETE PATIO WALL</td><td></td><td></td></tr></table>		EXTERIOR WALL: STUCCO FINISH_COLOR 1 (OFF WHITE CREAM)		EXTERIOR WALL: VERTICAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)		EXTERIOR WALL: STUCCO FINISH_COLOR 2 (TAUPE GREY)		EXTERIOR WALL: HORIZONTAL FIBER CEMENT SIDING FINISH, BOARD & BATTON (DARK BLUE)		EXTERIOR WALL: STUCCO FINISH_COLOR 3 (POLISHED PINE)		EXTERIOR WALL: FIBER CEMENT PANELS (LIGHT GRAY)		EXTERIOR WALL: STUCCO FINISH_COLOR 4 (SALMON)		EXTERIOR WALL: GUARD RAILS, TRELLISES, EXTERIOR DOORS AND OTHER TRIM (MEDIUM GRAY)		EXTERIOR WALL: STUCCO FINISH_COLOR 5 (TAUPE GREY LITE)		EXTERIOR WALL: IPE PANELS		BOARD FORMED CONCRETE PATIO WALL		
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B2 SOUTH ELEVATION - BUILDING 1
SDP 5.5 3/32" = 1'-0"



B4 EAST ELEVATION - BUILDING 1
SDP 5.5 3/32" = 1'-0"



A1 WEST ELEVATION - BUILDING 1 INTERIOR OF COURTYARD
SDP 5.5 3/32" = 1'-0"



A4 NORTH ELEVATION - BUILDING 1 INTERIOR OF COURTYARD
SDP 5.5 3/32" = 1'-0"

DEKKER
PERICH
SABATINI

SEAL



PROJECT

APARTMENTS @ JC6
7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

REVISIONS



DRAWN BY D/P/S
REVIEWED BY HFG
DATE 09/13/2022
PROJECT NO: 20-0029

DRAWING NAME
BUILDING 1
EXTERIOR
ELEVATIONS

SHEET NO
SDP 5.5

10/15/2021

DEKKER
PERICH
SABATINI

Maggie Gould
Planning Manager
City of Albuquerque
mgould@cabq.gov

Dear Mrs. Gould,

The site located at 7501 Jefferson St. NE is planned to be developed for multifamily residential. The development will include the addition of three 4-story market rate apartment buildings. This letter is to serve as the analysis required by IDO section 14-16-5-2.

The site does not have most of the sensitive lands listed in the IDO section 5-2(C)(2), other than some existing mature trees. Please see below and attachments for the analysis of each type of sensitive land listed in the IDO.

- a. Arroyos: There are no natural arroyos on site. The site is adjacent to an existing AMAFCA drainage channel but does not affect the channel.
- b. Floodplains and Special Flood Hazard Areas: According to the FEMA flood map 35001C0137H, the site is located in Zone X – area of minimal flood hazard. See attached FEMA Map.
- c. Irrigation Facilities (Acequias): There are no irrigation facilities or acequias on site.
- d. Large Stands of Mature Trees: There are mature trees on site. Some of the trees will be impacted to accommodate development. We will attempt to protect and preserve as many mature trees as possible during construction. If a tree is removed new landscaping and trees will be provided to meet city code. See attached photos with notes regarding existing trees.
- e. Rock Outcroppings: There are no rock outcroppings on site.
- f. Significant Archeological Sites: No significant sites were found in the area. See attached archeological certificate.
- g. Steep Slopes and Escarpments: There are no steep slopes or escarpments on site.
- h. Wetlands: There are no wetlands on site.

As explained above we have analyzed for sensitive lands per the IDO requirement. Please feel free to call me if you have any questions.

Very truly yours,



Dekker/Perich/Sabatini Ltd.

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations** (BFEs) and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study Report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction, and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures in this jurisdiction.

The **projection** used in the preparation of this map was New Mexico State Plane, Central Zone (FIPS 3002). The **horizontal datum** was NAD83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NNGS12
National Geodetic Survey, SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit their website at <http://www.ngs.noaa.gov/>.

Base map information shown on this FIRM was provided in digital format by City of Albuquerque, 2010, Bernalillo County, 2004, and 2010, Bureau of Land Management, 2003, National Geodetic Survey, 2003, and United States Geological Survey (USGS), 1999. Additional information was photogrammetrically compiled at a scale of 1:12,000 from U.S. Department of Agriculture aerial photography dated 2009.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

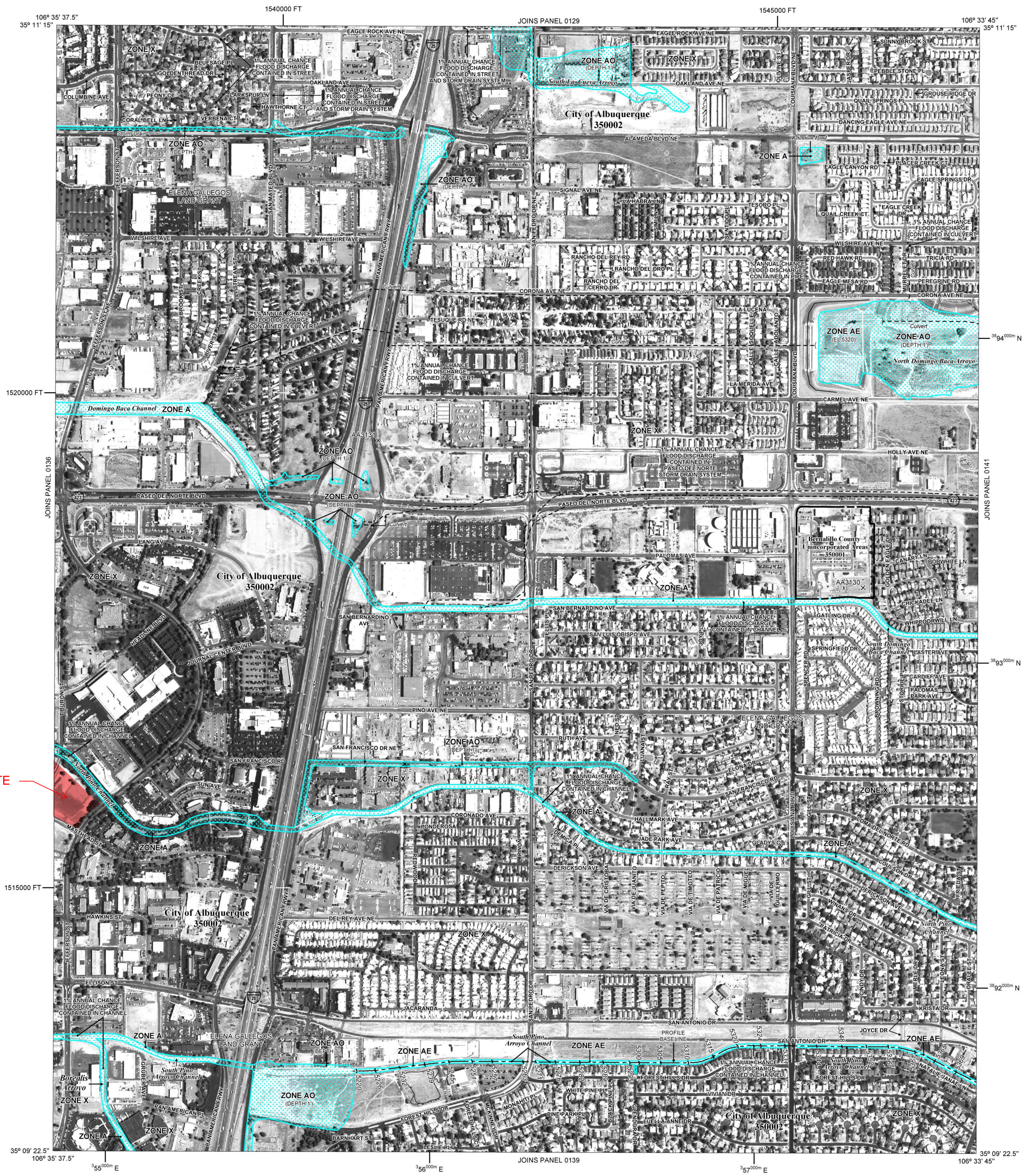
Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels, community map repository addresses, and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information on available products associated with this FIRM visit the **Map Service Center (MSC)** website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the MSC website.

If you have **questions about this map**, how to order products or the National Flood Insurance Program in general, please call the **FEMA Map Information eXchange (FMIX)** at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/nfp>.

SITE



LEGEND

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**
- The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevations determined.
ZONE AE Base Flood Elevations determined.
ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
ZONE AR Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without significant increases in flood heights.
- OTHER FLOOD AREAS**
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**
- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
ZONE D Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
- OTHERWISE PROTECTED AREAS (OPAs)**
- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% annual chance floodplain boundary**
0.2% annual chance floodplain boundary
Floodway boundary
Zone D boundary
CBRS and OPA boundary
Boundary dividing Special Flood Hazard Area zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
Base Flood Elevation line and value; elevation in feet*
Base Flood Elevation value where uniform within zone; elevation in feet*
- *Referenced to the North American Vertical Datum of 1988
- Cross section line**
- 23** 07° 30', 32° 22' 30"
97° 07' 30", 32° 22' 30"
6° 56' 00"E
600000 FT
DX5510.X
ML5
- MAP REPOSITORIES**
Refer to Map Repositories list on Map Index.
- EFFECTIVE DATE OF COUNTY-WIDE FLOOD INSURANCE RATE MAP PANEL**
- SEPTEMBER 20, 1996
- EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**
- April 2, 2002
November 19, 2003
September 25, 2008
- August 16, 2012 - to update corporate limits, to change Base Flood Elevations, to add Special Flood Hazard Areas, to change Special Flood Hazard Areas, to add roads and road names, to incorporate previously issued Letters of Map Change.
- For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.
- To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0137H

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS

PANEL 137 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0137	H
BERNALILLO COUNTY			
UNINCORPORATED AREAS	350001	0137	H

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
35001C0137H

MAP REVISED
AUGUST 16, 2012

Federal Emergency Management Agency

Existing Trees:

Trees at the intersection of Jefferson and Masthead (Don't know if they can remain).

- 3 Austrian pine trees (Pinus) 16"- 24" caliper
- 4 Crabapple trees (Malus) 12"-15" caliper



Trees on the north along the arroyo (Don't know if they are within the property lines. Concerned about the roots being severed during construction.):

- 5 cottonwood trees (Populus) 23-32" caliper
- 4 Siberian elms (Ulmus) 16"-20" caliper. (Siberian elm trees are not desirable.)



Trees at the intersection of Masthead and Tiburon (they can probably remain but they are not healthy, hence don't look good)

- 5 Hawthorn trees 3"-5" caliper.



Trees in the middle of the site. (these trees must be removed)

- 3 Siberian Elms trees (Ulmus)
- 1 Desert willow (Chilopsis)





Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

DATE: October 11, 2021

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): RZ-2021-00006, Project #2021-005195
Agent: Christopher Whyman (Dekker/Perich/Sabatini)
Applicant: Josh Rodgers (JC Six LLC)
Legal Description: TRACT 6A-1
Zoning: MX-H
Acreage: 5.1536
Zone Atlas Page(s): D-17-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☒ No

SUPPORTING DOCUMENTATION:

Historic Google earth images, ARMS records

SITE VISIT: n/a

RECOMMENDATIONS:


The property appears to have been bladed clear by 2002. A small portion of it was surveyed in 2002 under NMCRIS 80100 with no significant finds.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services



Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

10-11-2021

Current DRC
Project No. _____

Date Submitted: 9/16/2022
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____

DRB Project No. PR-2021-005195

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

ALLASO - JC 6
TRACT 6A-1 JOURNAL CENTER PHASE 2, UNIT 1

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the IIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

IIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<u>PUBLIC ROADWAY IMPROVEMENTS</u>									
		6' WIDE	APPROX 350 LF OF SIDEWALK	JEFFERSON ST	NORTH PROPERTY LINE OF TRACT 6A-1	INTERSECTION OF JEFFERSON & MASTHEAD	/	/	/
		6' WIDE	APPROX 270 LF OF SIDEWALK	MASTHEAD ST	INTERSECTION OF JEFFERSON & MASTHEAD	INTERSECTION OF MASTHEAD & TIBURON	/	/	/
		6' WIDE	APPROX 400 LF OF SIDEWALK	TIBURON AVE	INTERSECTION OF MASTHEAD & TIBURON	NORTH PROPERTY LINE OF TRACT 6A-1	/	/	/
		10' WIDE	APPROX 600 LF OF ASPHALT TRAIL	PINO ARROYO	TIBURON AVE	JEFFERSON ST	/	/	/
		BUS SHELTER	BUS SHELTER	JEFFERSON ST	SOUTHBOUND LANES OF JEFFERSON ST	EAST SIDE OF REDW FACILITY	/	/	/
		ADA RAMPS	ADA RAMPS & SIDEWALK IMPROVEMENTS	INTERSECTION OF	JEFFERSON ST	MASTHEAD ST	/	/	/
		DRIVEWAY	DRIVEWAY AND ADA RAMPS	MASTHEAD ST	N/A	N/A	/	/	/
		DRIVEWAY	DRIVEWAY AND ADA RAMPS	TIBURON AVE	N/A	N/A	/	/	/
<u>PUBLIC SANITARY SEWER IMPROVEMENTS</u>									
		4' DIA	SANITARY SEWER MANHOLE	MASTHEAD	N/A	N/A	/	/	/
<u>PUBLIC STORM DRAIN IMPROVEMENTS</u>									
		24" DIA	RCP STORM DRAIN CHANNEL PENETRATION (APPROX 40 LF)	PINO ARROYO	NW CORNER OF TRACT 6A-1	N/A	/	/	/

AGENT/OWNER


DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

MATTHEW SATCHES, PE

PREPARED BY: PRINT NAME

BOHANNAN HUSTON INC.

FIRM:



SIGNATURE

MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DRB CHAIR

DATE

TRANSPORTATION DEVELOPMENT

DATE

ABCWUA

DATE

CODE ENFORCEMENT

DATE

PARKS & RECREATION

DATE

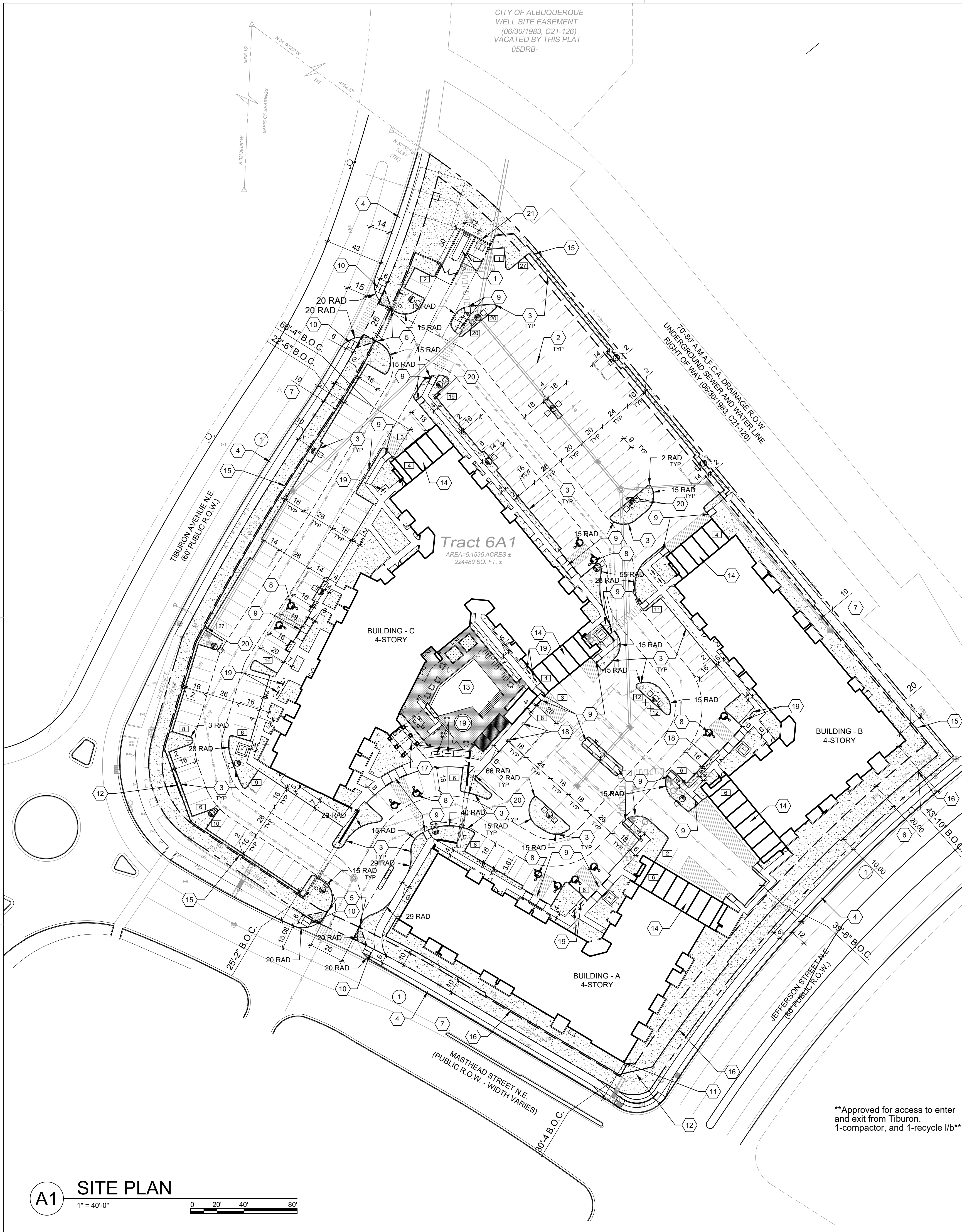
CITY ENGINEER

DATE



DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR			USER DEPARTMENT				AGENT/OWNER



A1 SITE PLAN
1" = 40'-0"

SHEET KEYED NOTES

- 1. TRASH COMPACTOR, SEE D1/SDP1.2
- 2. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- 3. CONCRETE CURB & GUTTER, SEE A2/SDP1.2
- 4. 6" WIDE CONCRETE SIDEWALK SEE B4/SDP1.2
- 5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 6. 20' FRONT SETBACK
- 7. 10' SIDE/REAR SETBACK
- 8. ADA PARKING, SEE A3/SDP1.2
- 9. ACCESSIBLE RAMP, SEE B3/SDP1.2 AND C5/SDP1.2
- 10. ACCESSIBLE RAMP, CONSTRUCT PER C.O.A. STANDARD DETAIL 24463
- 11. BUILDING MOUNTED BLADE SIGN SEE C5/SDP1.3
- 12. MONUMENT SIGN SEE C4/SDP1.2
- 13. OUTDOOR GATHERING AREA WITH SWIMMING POOL AND SPA
- 14. GARAGE PARKING
- 15. 6' DECORATIVE METAL FENCE SEE C4/SDP1.2
- 16. 6' DECORATIVE CMU WALL W/ 3" METAL FENCING INFILL, SEE D5/SDP1.2
- 17. ENTRY SHADE TRELLIS
- 18. ELECTRIC VEHICLE (EV) CHARGING STATION WITH SIGN; REF: B1/SDP1.2
- 19. BIKE RACK, REF: B5/SDP1.2
- 20. MOTORCYCLE PARKING WITH SIGN; REF: B1/SDP1.2
- 21. RECYCLING BIN ENCLOSURE, REF: D4/SDP1.2

EASEMENT NOTES

- 1. EXISTING 10' UTILITY EASEMENT, TYPICAL ALONG STREET R.O.W.

AMENITIES

AMENITIES ON-SITE WILL INCLUDE COVERED PARKING SPACES, LEASING OFFICE, MAIL AND PACKAGE CENTER, AND BIKE STORAGE ROOM. THERE IS A CLUBHOUSE WITH GATHERING SPACE AND FITNESS CENTER. IN ADDITION TO THE CLUBHOUSE, OUTDOOR AMENITIES INCLUDE A SWIMMING POOL AND SPA, COVERED GATHERING AREAS AND LANDSCAPING.

OPEN SPACE CALCULATIONS

TABLE 2-4-5 / MX-M ZONING			
USABLE OPEN SPACE			
1 BD: 225 SF PER UNIT	225 SF x 123 UNITS	=	27,675 SF
2 BD: 285 SF PER UNIT	285 SF x 84 UNITS	=	23,940 SF
TOTAL		=	51,615 SF
REQUIRED OPEN SPACE:	= 51,615 SF		
PROVIDED OPEN SPACE:	= 49,282 SF		
SITE	= 21,064 SF		
OPEN PATIO/BALCONIES	= 70,346 SF		
TOTAL			

UNIT DATA

UNIT TYPE	DESCRIPTION	GSF	#UNITS	TOTAL
S1	STUDIO	601 SF	17	10,217 SF
S2	STUDIO	682 SF	2	1,364 SF
A1	1 BEDROOM / 1 BATHROOM	627 SF	70	43,890 SF
A2	1 BEDROOM / 1 BATHROOM	776 SF	2	1,552 SF
A3	1 BEDROOM / 1 BATHROOM	661 SF	1	0 SF
A4	1 BEDROOM / 1 BATHROOM	622 SF	2	1,244 SF
A5	1 BEDROOM / 1 BATHROOM	741 SF	4	2,964 SF
A6	1 BEDROOM / 1 BATHROOM	715 SF	3	2,145 SF
A7	1 BEDROOM / 1 BATHROOM	707 SF	5	3,535 SF
A8	1 BEDROOM / 1 BATHROOM	732 SF	1	732 SF
A9	1 BEDROOM / 1 BATHROOM	718 SF	6	4,308 SF
A10	1 BEDROOM / 1 BATHROOM	810 SF	1	810 SF
A11	1 BEDROOM / 1 BATHROOM	681 SF	3	2,043 SF
B1	2 BEDROOM / 2 BATHROOM	1,007 SF	15	15,105 SF
B2	2 BEDROOM / 2 BATHROOM	1,020 SF	24	24,480 SF
B3	2 BEDROOM / 2 BATHROOM	1,138 SF	8	9,104 SF
B4	2 BEDROOM / 2 BATHROOM	1,063 SF	14	14,882 SF
B5	2 BEDROOM / 2 BATHROOM	1,178 SF	8	9,424 SF
B6	2 BEDROOM / 2 BATHROOM	1,085 SF	3	3,255 SF
B7	2 BEDROOM / 2 BATHROOM	1,300 SF	2	2,600 SF
B8	2 BEDROOM / 2 BATHROOM	1,221 SF	2	2,442 SF
B9	2 BEDROOM / 2 BATHROOM	963 SF	2	1,926 SF
B10	2 BEDROOM / 2 BATHROOM	1,037 SF	3	3,111 SF
B11	2 BEDROOM / 2 BATHROOM	1,041 SF	2	2,082 SF
B12	2 BEDROOM / 2 BATHROOM	1,137 SF	1	1,137 SF
CARRIAGE 1	1 BEDROOM / 1 BATHROOM	1,000 SF	3	3,000 SF
CARRIAGE 2	1 BEDROOM / 1 BATHROOM	767 SF	4	1,536 SF
TOTAL:			207 UNITS	167,352 SF

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i> Solid Waste Management	12-09-21 Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary

2/16/2018

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- I. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING:
IDO - MIXED USE - HIGH INTENSITY ZONING DISTRICT (MX-H)
LANDUSE: MULTIFAMILY RESIDENTIAL
PLANNING CONTEXT:
SITE IS WITHIN THE JOURNAL CENTER EMPLOYMENT CENTER
TRANSIT:
BUS ROUTES 140, 251, AND 551 ARE ALONG JEFFERSON ST. A BUS STOP IS LOCATED LESS THAN 250 FEET FROM THE SUBJECT SITE ON JEFFERSON.
LEGAL DESCRIPTION:
TRACT 6A-1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1CONT 5.1536 AC
SITE AREA: 5.15 ACRES
ZONE ATLAS: D-17-Z
SETBACKS: FRONT= 20' MIN
SIDE = 10' MIN
REAR= 10' MIN
(40' BUILDING SETBACK, 30' PARKING SETBACK FROM JEFFERSON ST.)
(30' BUILDING SETBACK 20' PARKING SETBACK ALONG MASTHEAD ST. AND TIBURON ST.)
BUILDING HEIGHT:
MAXIMUM ALLOWED: 68'-0"
ACTUAL HEIGHT:
SPRINKLERED: YES, NFPA 13
BUILDING OCCUPANCY: R-2 MULTIFAMILY RESIDENTIAL
CONSTRUCTION TYPE: 4 STORY RESIDENTIAL BUILDING - TYPE VA
BUILDING AREA (S.F.):
BUILDING A: 59,687 GSF
BUILDING B: 59,687 GSF
BUILDING C: 87,960 GSF
207,334 GSF
PARKING CALCULATION: (TABLE 5-5-1)
1.5 SPACES / DWELLING UNITS: 207 X 1.5 = 311 SPACES
WITHIN EMPLOYMENT CENTER = 20% REDUCTION = 311 X .20 = 62
TOTAL REQUIRED SPACES = 311 - 62 = 249 SPACES
PROVIDED PARKING = 271 TOTAL SPACES (INCLUDING 24 GARAGE)
ACCESSIBLE PARKING: (NMBC 208.2.3)
2% OF UNITS = 207 X .02 = 4.14 = 5 SPACES REQUIRED
8 STANDARD SPACES + 4 VAN ACCESSIBLE SPACES = 12 SPACES PROVIDED
BICYCLE PARKING REQUIRED = 25 SPACES
(10% OF REQUIRED OFF-STREET PARKING = 249 X 0.10 = 25 SPACES)
BICYCLE PARKING PROVIDED = 26 SPACES
MOTORCYCLE PARKING REQUIRED, (TABLE 5-5-4) = 5 SPACES
MOTORCYCLE PARKING PROVIDED = 5 SPACES
ELECTRIC VEHICLE PARKING REQUIRED, 2% (TABLE 5-5(C)(9)) = 5 SPACES
ELECTRIC VEHICLE PARKING PROVIDED = 5 SPACES

LEGEND

- LANDSCAPE AREA
- HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)
- FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2
- PROPERTY LINE
- FIRE HYDRANT
- POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- BIKE RACK, REF: B5/SDP1.2
- SIDEWALK RAMP (ARROW POINTS DOWN)
- TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- 6' TALL DECORATIVE METAL FENCE
- ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2.
- COMPACT PARKING; REF: D5/SDP1.3
- LIGHT POLE 25'-0" HEIGHT
- 6" BOLLARD WITH SIGN
- 6' WIDE PAINTED CROSSWALK, SEE A4/SDP1.2
- ELECTRIC VEHICLE (EV) CHARGING STATION WITH SIGN; REF: B1/SDP1.2

VICINITY MAP



**DEKKER
PERICH
SABATINI**

**ARCHITECTURE
DESIGN
INSPIRATION**

ARCHITECT

**PRELIMINARY
NOT FOR CONSTRUCTION**

ENGINEER

PROJECT

ALLASO JC6 APARTMENTS
7501 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

**DESIGN REVIEW
BOARD (DRB)
APPLICATION**

REVISIONS

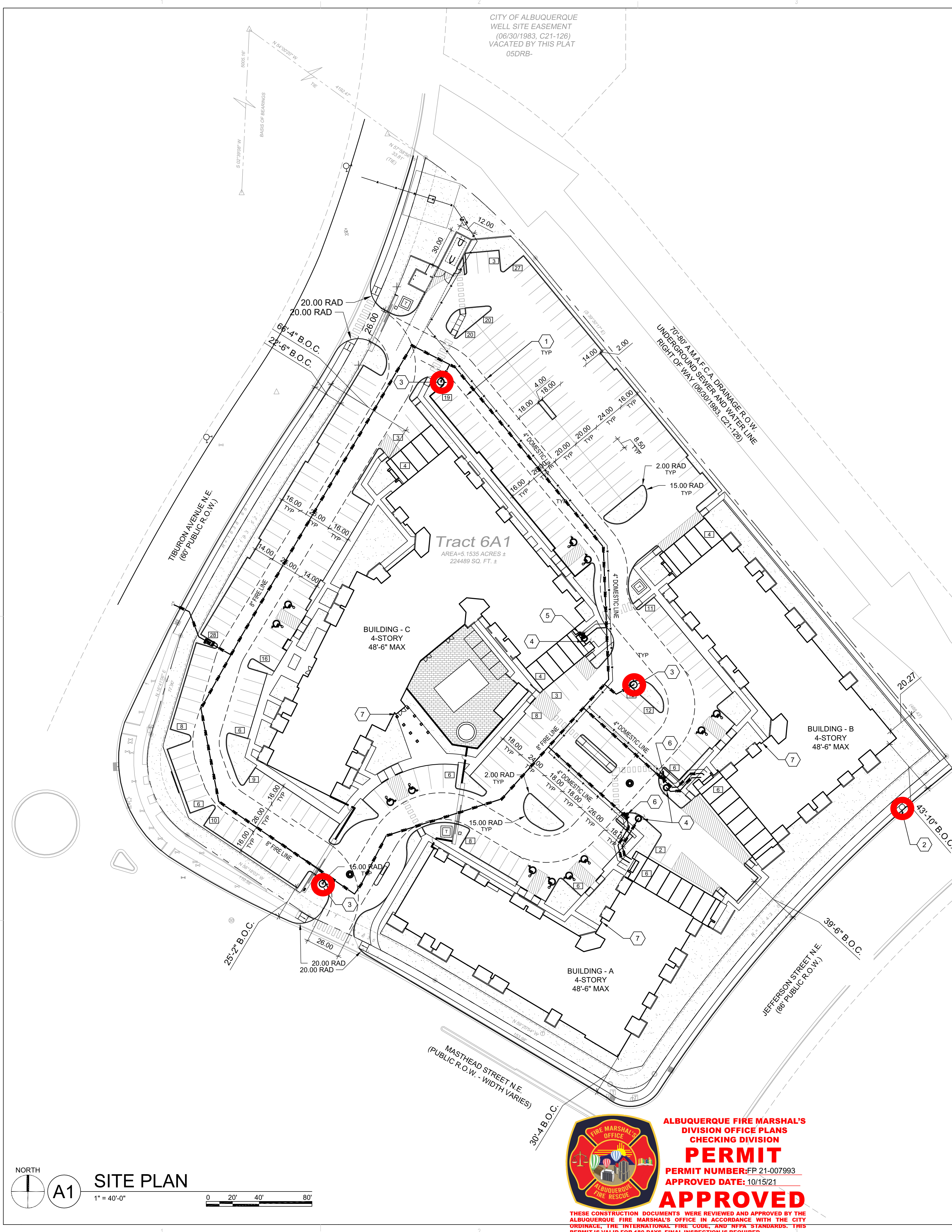
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DRAWN BY	D/P/S
REVIEWED BY	D/P/S
DATE	12.10.2021
PROJECT NO.	20-0029
DRAWING NAME	

SITE PLAN

SHEET NO.

SDP1.1
OF



NORTH

A1

SITE PLAN

1" = 40'-0"

0

20'

40'

80'



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP 21-007993
APPROVED DATE: 10/15/21
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: V-A 207,334 SF 2625 GPM 3 HYDRANTS

SHEET KEYED NOTES

1. FIRE LANE MARKINGS TO BE APPLIED TO CURBS BOTH SIDES OF THE INDICATED FIRE LANE AND SHALL COMPLY WITH FIRE ORDINANCE 503.3 AND 503.3.1

2. EXISTING FIRE HYDRANT

3. PROPOSED FIRE HYDRANT

4. FIRE DEPARTMENT CONNECTION

5. WALL INDICATOR VALVE

6. POST INDICATOR VALVE

7. PROPOSED KNOX BOX LOCATION

GENERAL NOTES

1. THE PARKING LOT SURFACE SHALL BE ASPHALT PAVING AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.

2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.

3. THE MINIMUM DRIVE ISLE WIDTH SHALL BE 28' UNLESS NOTED OTHERWISE.

4. THE MINIMUM TURNING RADIUS SHALL BE 28' AS DETERMINED BY THE FIRE CODE MARSHAL.

5. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.

6. ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.

7. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.

8. POST INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.

9. A KNOX BOX SHALL BE PROVIDED AT THE ENTRANCE OF THE PROPOSED BUILDINGS.

10. STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF THE FIRE DEPT. VEHICLE ACCESS.

11. BUILDINGS WHICH EXCEED 30 FEET IN HEIGHT REQUIRE UNOBSTRUCTED AERIAL APPARATUS ACCESS ROADS NOT LESS THAN 26 FEET IN WIDTH EXCLUSIVE OF SHOULDERS.

PROJECT DATA

ZONING:
IDO - MIXED USE - HIGH INTENSITY ZONING DISTRICT (MX-H)
LANDUSE: MULTIFAMILY RESIDENTIAL

PLANNING CONTEXT:
SITE IS WITHIN THE JOURNAL CENTER EMPLOYMENT CENTER

TRANSIT:
BUS ROUTES 140, 251, AND 551 ARE ALONG JEFFERSON ST. A BUS STOP IS LOCATED LESS THAN 250 FEET FROM THE SUBJECT SITE ON JEFFERSON.

LEGAL DESCRIPTION:
TRACT 6A-1 PLAT OF JOURNAL CENTER PHASE 2 UNIT 1 CONT 5.1536 AC

SITE AREA: 5.15 ACRES

ZONE ATLAS: D-17-2

SETBACKS: FRONT= 20' MIN
SIDE = 10' MIN
REAR= 10' MIN
(40' BUILDING SETBACK, 30' PARKING SETBACK FROM JEFFERSON ST.)
(30' BUILDING SETBACK 20' PARKING SETBACK ALONG MASTHEAD ST. AND TIBURON ST.)

JCC

BUILDING HEIGHT:
MAXIMUM ALLOWED: 68'-0"
ACTUAL HEIGHT:

SPRINKLERED: YES, NFPA 13

BUILDING OCCUPANCY: R-2 MULTIFAMILY RESIDENTIAL

CONSTRUCTION TYPE: 4 STORY RESIDENTIAL BUILDING - TYPE VA

BUILDING AREA (S.F.):

BUILDING A:

59,687 GSF

BUILDING B:

59,687 GSF

BUILDING C:

87,960 GSF

TOTAL:

207,334 GSF

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW: IFC TABLE b105.1(2)
MULTIFAMILY HOUSING = 8,000 x .25 = 2,000 GPM

FIRE HYDRANTS: 2 REQUIRED, 4 PROVIDED

LEGEND

LANDSCAPE AREA

HEAVY DUTY ASPHALT (RATED FOR UP TO 75,000 LBS)

FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A4/SDP1.2

PROPERTY LINE

FIRE HYDRANT

POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN

FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED

BIKE RACK

SIDEWALK RAMP (ARROW POINTS DOWN)

TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS

6' TALL DECORATIVE METAL FENCE

ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, A4/SDP1.2 & B4/SDP1.2.

CC

COMPACT PARKING; REF: D5/SDP1.3

LIGHT POLE 25'-0" HEIGHT

6" BOLLARD WITH SIGN

6' WIDE PAINTED CROSSWALK, SEE A4/SDP1.2

DEKKER
PERICH
SABATINI

ARCHITECTURE
DESIGN
INSPIRATION

ARCHITECT

PRELIMINARY
NOT FOR CONSTRUCTION

ENGINEER

PROJECT

APARTMENTS @ JCC

7501 JEFFERSON ST NE
ALBUQUERQUE, NM, 87109

JCC-ARC

REVISIONS

DRAWN BY

D/P/S

REVIEWED BY

D/P/S

DATE

09.23.2021

PROJECT NO.

20-0029

DRAWING NAME

SITE PLAN

SHEET NO.

FIRE 1

OF