



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		<b>Appeals</b>
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

### APPLICATION INFORMATION

Applicant: Gina Kelly w/ SGA Design Group		Phone: (918)587-8602, ext. 299
Address: 1437 S Boulder Ave. - Suite 550		Email: ginak@sgadesigngroup.com
City: Tulsa	State: OK	Zip: 74119
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:

### BRIEF DESCRIPTION OF REQUEST

Update building Signage; Update EIFS colors (Blue & Gray tones); adding sliding OGP door for the Online Grocery Pickup Service; relocating OGP parking stalls from front to side including the incidental parking stall signage.

### SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lot 1, Sycamore Plaza	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): F20	Existing Zoning: C-2	Proposed Zoning: same as existing
# of Existing Lots: ETR	# of Proposed Lots:	Total Area of Site (acres): ETR

### LOCATION OF PROPERTY BY STREETS

Site Address/Street: 8000 Academy Rd NE Between: Wyoming Blvd NE and: Moon Street

### CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-91-51-1; AA94-108; 1000606

Signature: <i>Gina Kelly</i>	Date: 03/09/21
Printed Name: Gina Kelly	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

### FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00319	AA	\$50.00			

Meeting/Hearing Date:	Fee Total: \$50.00
Staff Signature: <i>Vanessa A Segura</i>	Date: 3/9/21 Project # PR-2021-005220



# FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

## ☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

## ☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

## ☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

## ☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- requested ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- ☐ Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

## ☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

## ☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Gina Kelly  
Printed Name: Gina Kelly

Date: 03/09/21

☒ Applicant or ☐ Agent

### FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
PR-2021-005220	SI-2021-00319
	-
	-
Staff Signature: <u>Vanessa A Segura</u>	
Date: <u>3/9/21</u>	







**SGA** Design Group

March 9, 2021

Maggie Gould, Planning Manager  
City of Albuquerque Planning Department  
Land Development Coordination  
600 Second Street NW  
Albuquerque, NM 87109

Re. Walmart #824.239 located at: 8000 Academy Road NE

The scope of work for this Administrative Amendment review is the for updating of the current Walmart building/site signage to the new updated font and new branding signage.

With the interior updates being proposed, sliding door to the front of the store that exits to the right. Also, with the signage updates, they will provide the updated signage along with general maintenance of these signs.

The impact to the site will be minimal and I am also submitting the Construction Documents with the Building Department today.

If you have any questions, please do not hesitate to contact me.

Thank you,

Gina Kelly  
SGA Design Group  
1437 S Boulder Ave-Ste. 550  
Tulsa, OK 74119  
ginak@sgadesigngroup.com



## LETTER OF AUTHORIZATION

January 21, 2021

City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

To Whom It May Concern:

I hereby authorize: Gina Kelly  
SGA Design Group  
1437 South Boulder, Suite 550  
Tulsa, OK 74119  
(918) 587-8600

To act as the agent on your behalf before the City of Albuquerque, NM for all the Walmart Stores that assigned to SGA Design Group within the jurisdiction of Albuquerque, NM.

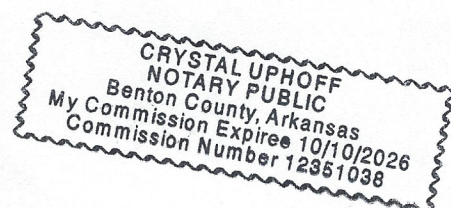
Dren Bailess  
Signature

Dren Bailess 1/21/2021  
Print Name Date

State of: Arkansas  
County of: Benton

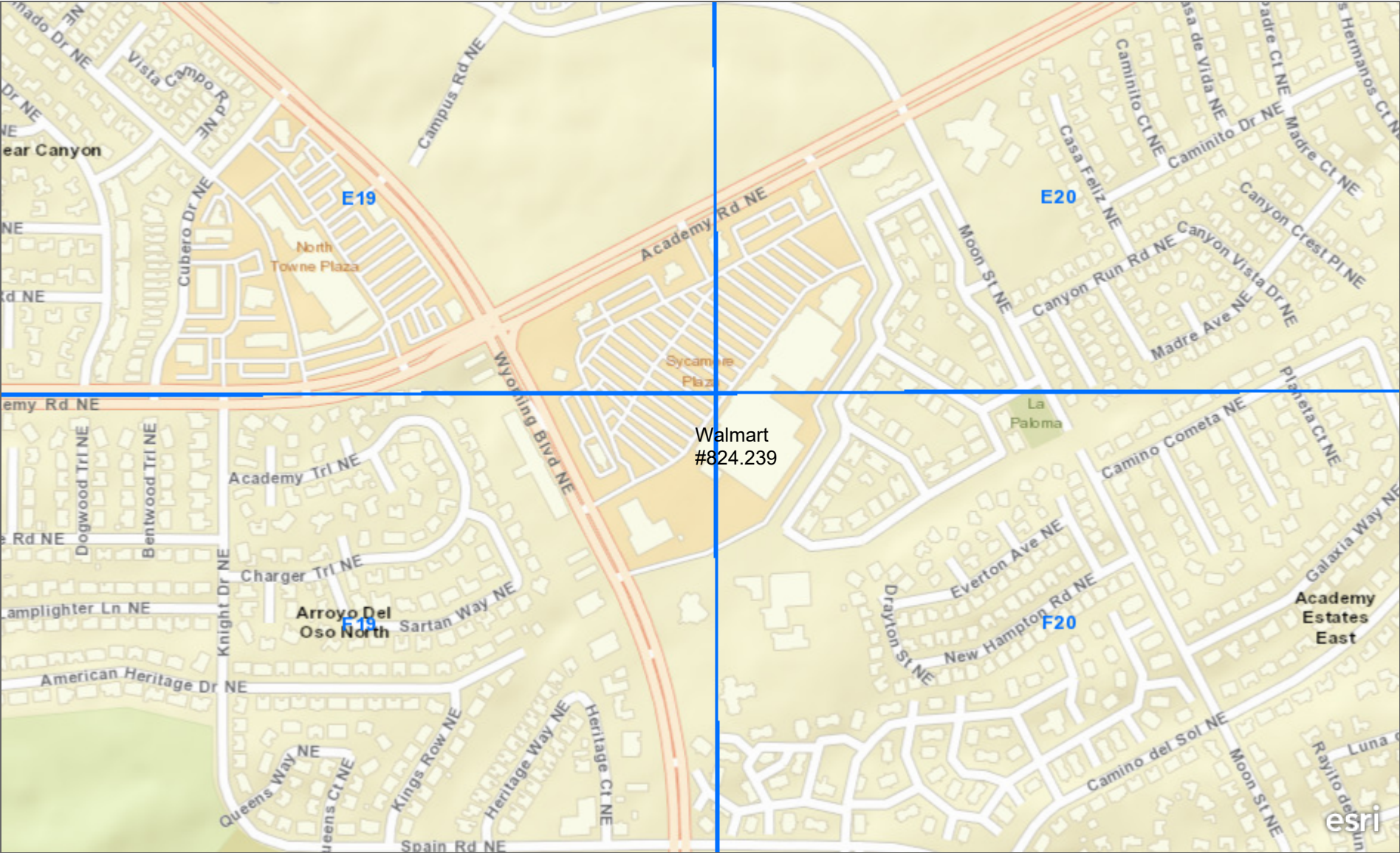
Subscribed and sworn to before me this 21 day of January, 2021.

Notary Public Crystal Upoff  
My Commission Expires 10-10-2026





Address Atlas



City Address Atlas Pages

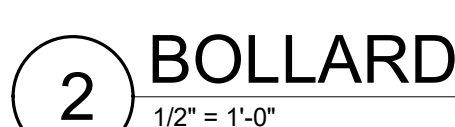
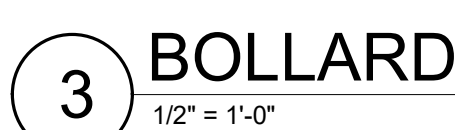
600ft

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, INCREMENT P, Intermap, NGA, USGS | City of Albuquerque, Planning Department, AGIS Division









## SITE SHEET NOTES

- |    |   |
|----|---|
| C. | <ol style="list-style-type: none"> <li>1. POWER WASH SIDEWALK ON FRONT OF BUILDING AND ACROSS STREET</li> <li>2. PRIME NEW SEALANT AT ALL JOINTS BETWEEN EXTERIOR WALLS AND ADJACENT CONCRETE SIDEWALK/PAVING. REF SPEC 07900. IF PRESENT, REMOVE EXISTING SEALANT AND BACKER PRIOR TO RE-SEALING JOINTS</li> <li>3. REPAINT PERIMETER SIDEWALK AND FIRE LANE CURB</li> <li>4. NOT USED.</li> <li>5. REPLACE ALL MISSING SITE SIGNS WITHIN CLOSE PROXIMITY TO STRUCTURE.</li> <li>6. NOT USED.</li> </ol> |
|----|---|

**SGA Design Group, P.C.**

1437 South Boulder, Suite 550  
Tulsa, Oklahoma 74119.3609  
p: 918.587.8600  
f: 918.587.8601  
[www.sgadesigngroup.com](http://www.sgadesigngroup.com)

**STIPULATION FOR REUSE**

THIS DRAWING WAS PREPARED FOR  
USE ON A SPECIFIC SITE AT:  
**ALBUQUERQUE, NM**

CONTINGENT UPON ITS ISSUE  
DATE ON **03/31/21** AND IT IS NOT  
SUITABLE FOR USE ON A DIFFERENT  
PROJECT SITE OR AT A LATER TIME. USE  
OF THIS DRAWING FOR REFERENCE OR  
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AUTHORIZED AND MAY BE CONTRARY TO  
THE LAW.

CONSULTANTS

Walmart  
ALBUQUERQUE, NM  
8000 ACADEMY RD NE

2021 MAJOR PROJECTS

[illegible]

CHECKED BY: TRH	RO/AVT
DRAWN BY:	CS/AP
PROTO CYCLE:	12/04/20
DOCUMENT DATE:	03/8/21

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP.

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SITE PLAN

SHEET: **SP1**



03/08/21 18:00:25  
C:\projects\2021\080025\080025.dwg

COLOR LEGEND  
P17E ROWHOUSE TAN  
P76U WALMART BLUE (URETHANE-LIKE)  
P83E COBBLE BROWN  
P85E ROCKWOOD CLAY  
P99E DARK BROWN

SHEET NOTES

1. PREP SURFACES TO BE PAINTED PER SPECIFICATIONS.
2. PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS. TO MATCH ADJACENT AS REQUIRED.
3. REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS ON ALL WALLS TO BE PAINTED. FILL AND SEAL JOINTS, REF SPEC 07000.
4. REFER TO DETAILS ON SHEET A2.1 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS.
5. RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA).
6. NOT USED.
7. PAINT EXTERIOR OF BUILDING AS SHOWN. PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT IDILOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM.
8. NOT USED.
9. PAINT ALL NEW ROOFTOP GAS PIPING (P5E) GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
10. IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
11. WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK (P38E) DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
12. PAINT JIB CRANE (P36E) ON JIB BOOM, (P5E) ON HANDRAILS.
13. PAINT SPRINKLER VALVES (P21E) DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.
14. PAINT ALL EXTERIOR BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
15. NOT USED.
16. DO NOT PAINT LED WALL PACK HOUSINGS.
17. PAINT GARDEN CENTER STEEL DOORS AND FRAMES (P81E).
18. NOT USED.
19. DO NOT PAINT QUIK BRK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS.
20. AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. FEATHER PAINT OUT TO BLEND WITH EXISTING, REF SPEC 09000.

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE AS SHOWN. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP, P.C. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP, P.C. IS PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ENSURING COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ENSURING COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ENSURING COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

CONSULTANTS

**Walmart**  
ALBUQUERQUE, NM  
8000 ACADEMY RD NE  
STORE NO: 0824-239  
JOB NUMBER: 20084120 PHOTO: 138

2021 MAJOR PROJECT

ISSUE BLOCK


CHECKED BY: TRH RO/AVT

DRAWN BY: KM

PROTO CYCLE: 12/04/20

DOCUMENT DATE: 03/8/21

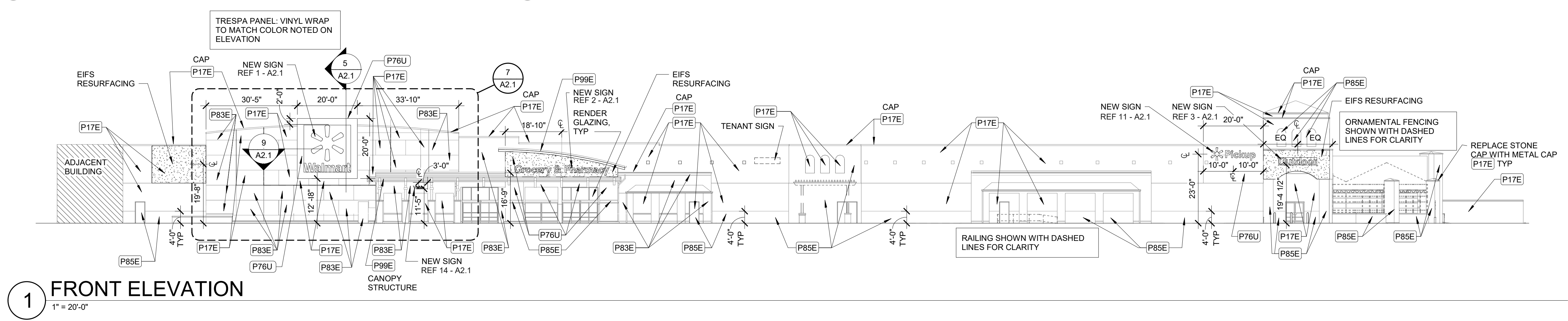
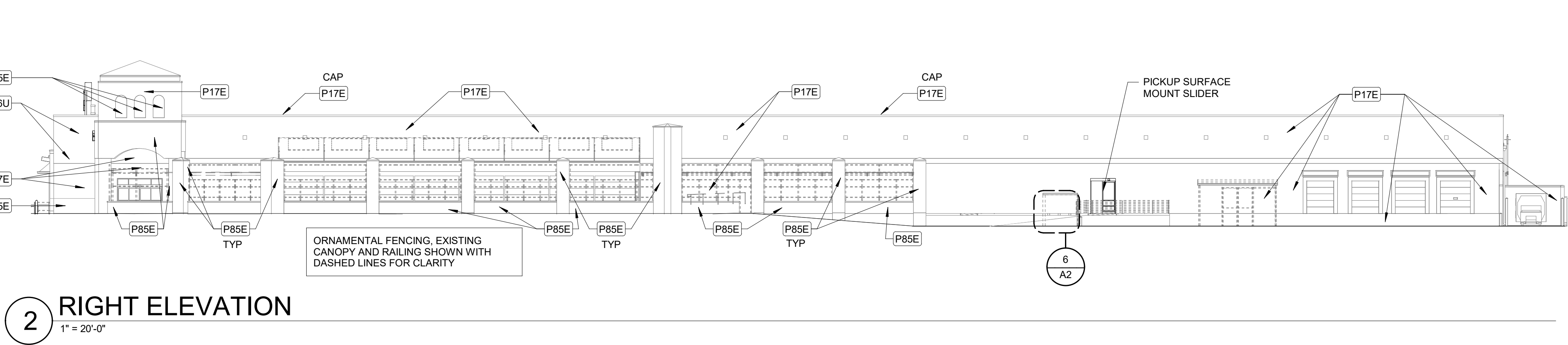
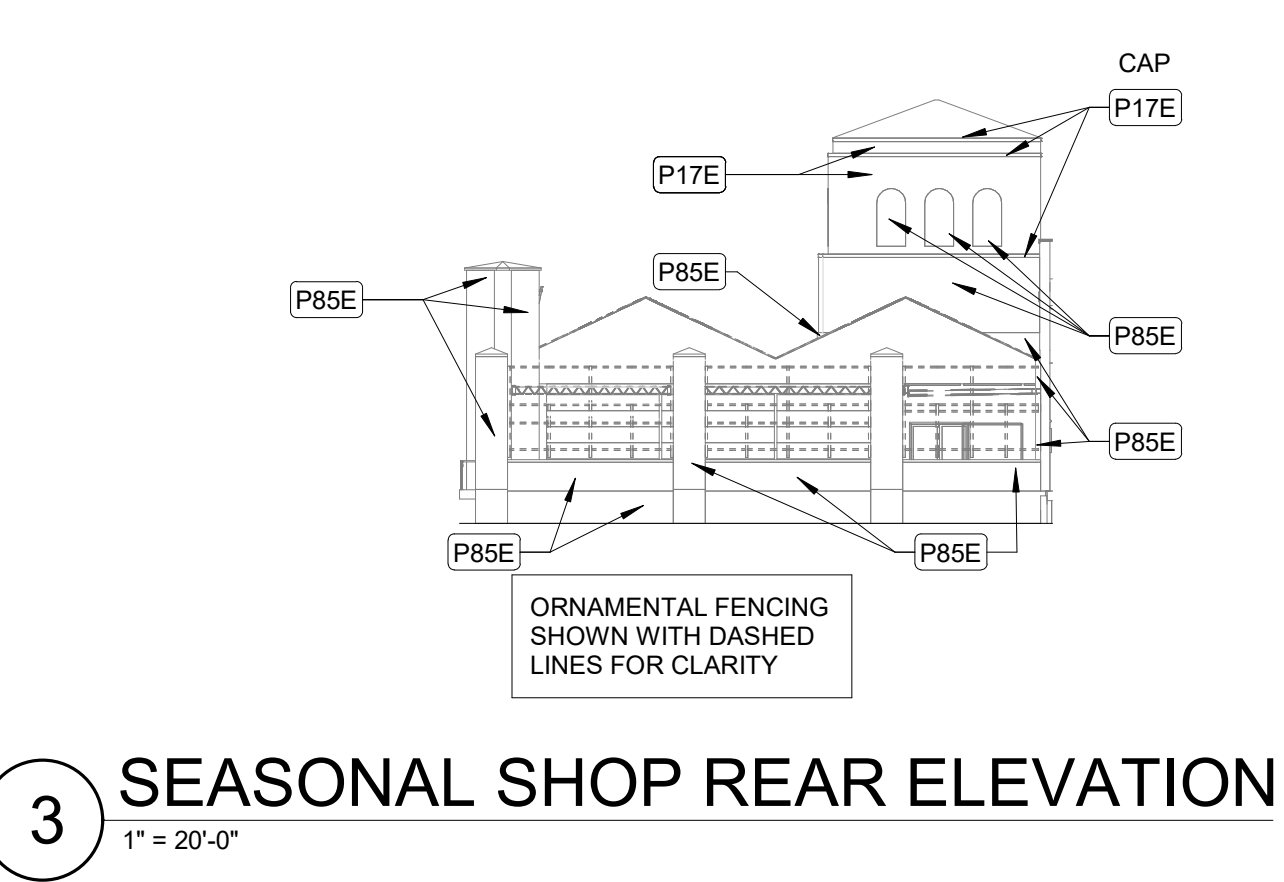
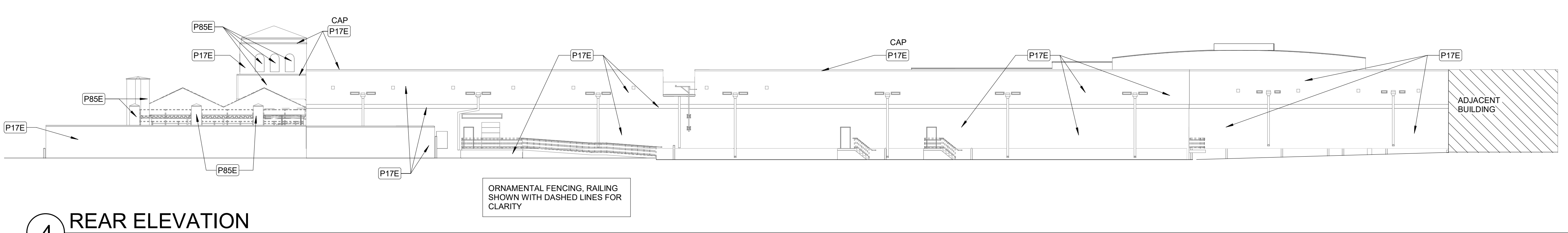
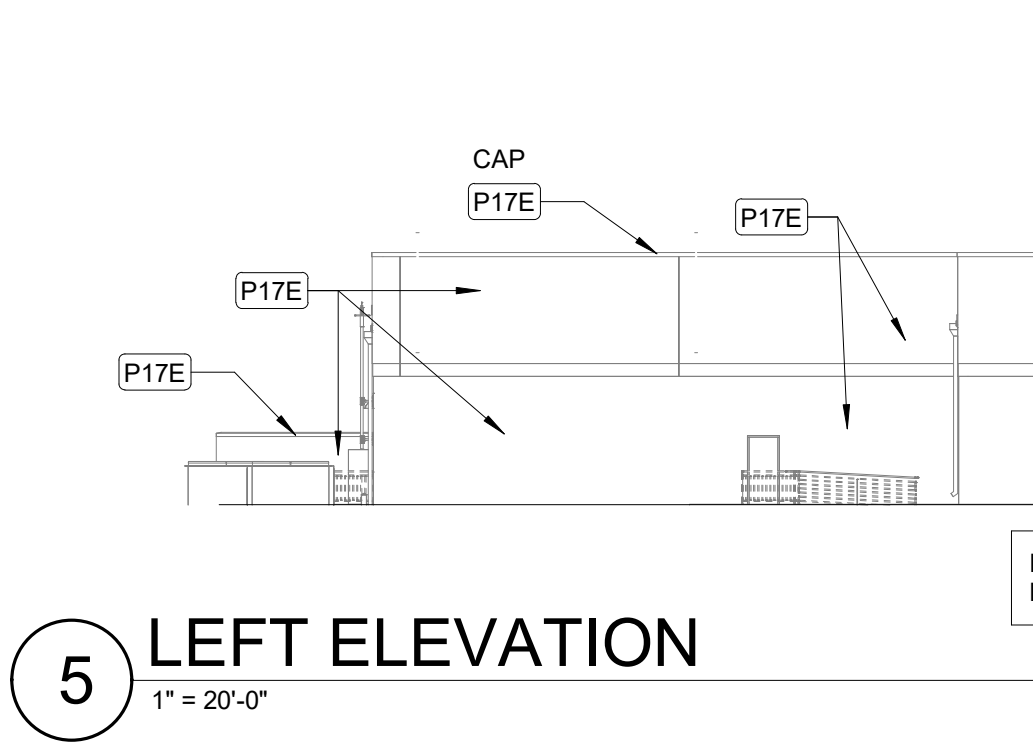
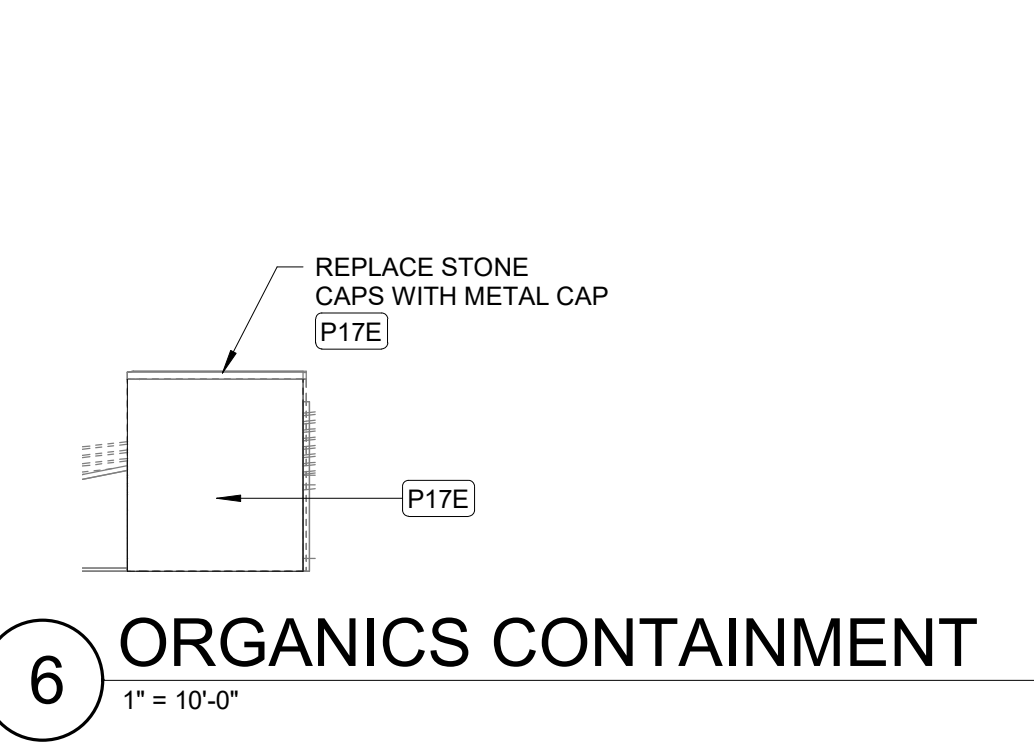
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STATE OF NEW MEXICO  
TRAVIS R. HAGER  
No. 6148  
REGISTERED ARCHITECT  
03/08/2021

EXTERIOR ELEVATIONS

SHEET:

A2



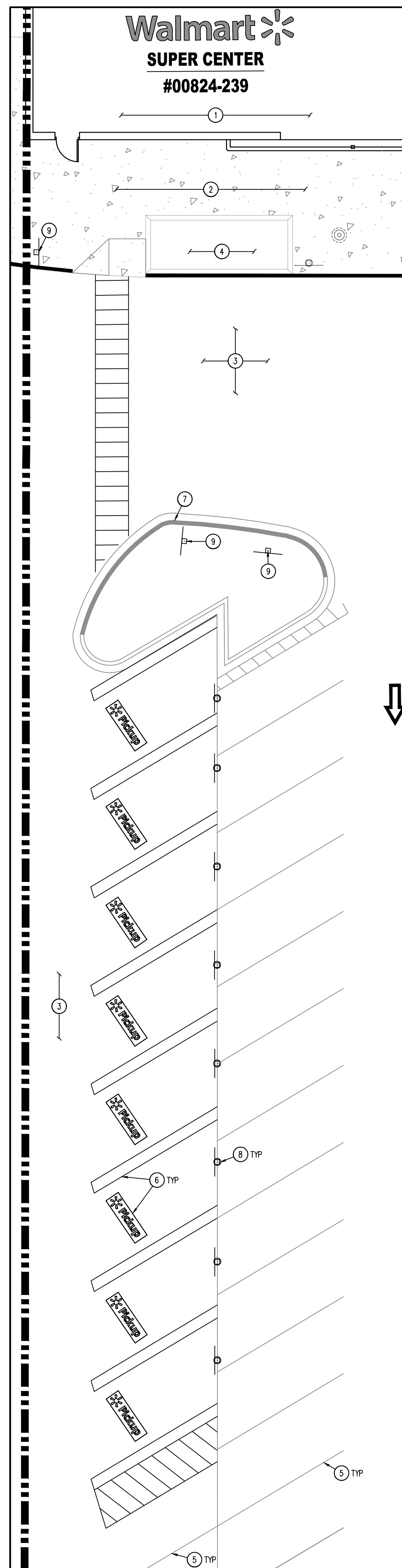




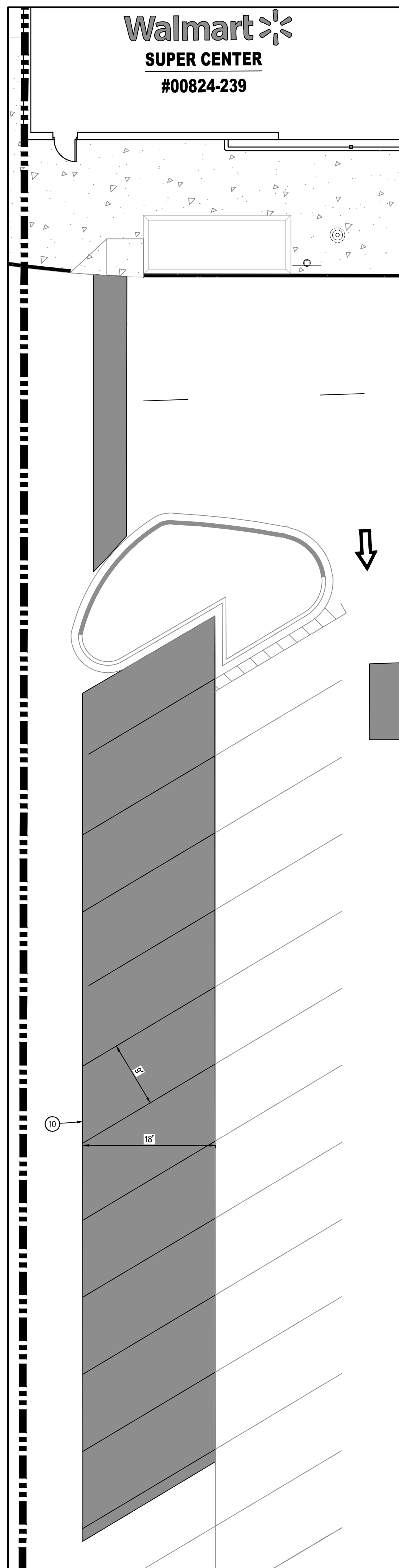




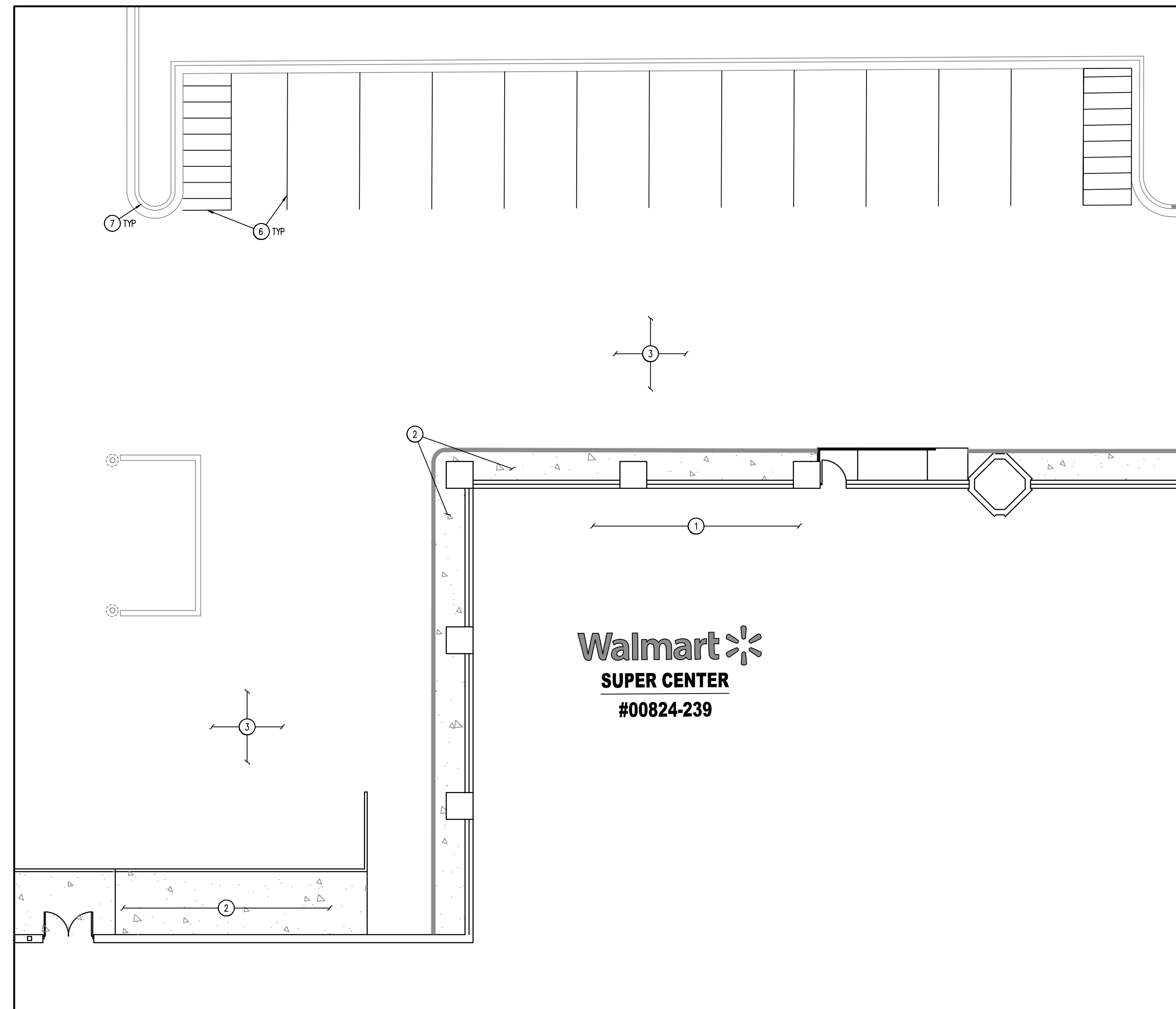




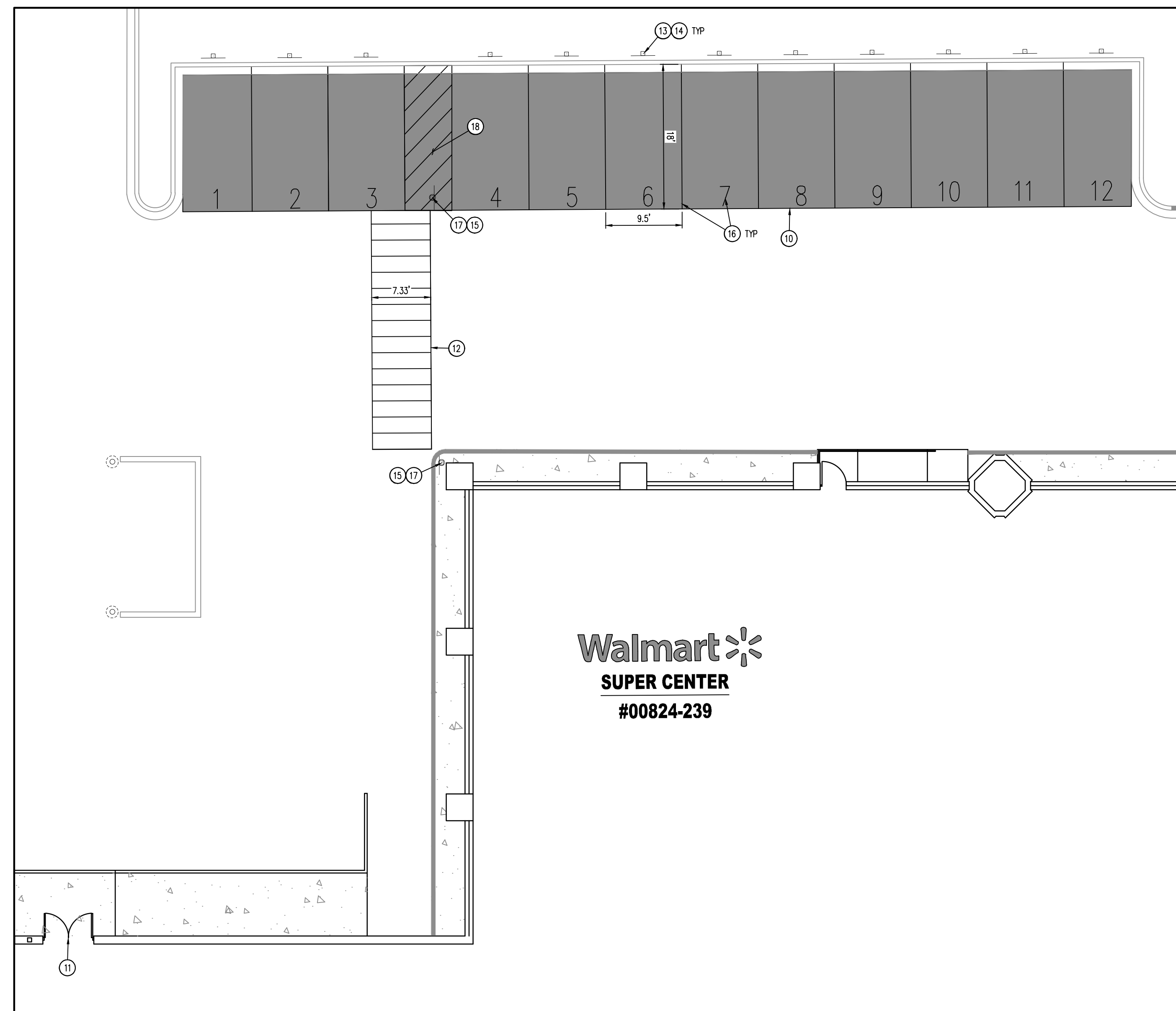
DEMOLITION PLAN – EXISTING PARKING  
SCALE: 1"=10'



SITE PLAN - EXISTING PARKING  
SCALE: 1"=10'



DEMOLITION PLAN – PROPOSED PARKING  
SCALE: 1"=10'



SITE PLAN – PROPOSED PARKING  
SCALE: 1"=10'

## DEMOLITION NOTES

- The CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND DISPOSAL OF (A) CONSTRUCTION MATERIALS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). IF ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER/ENGINEER TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHIELDING, BENCHING, ETC AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- DON'T INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPYED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS. CONTRACTOR SHALL IDENTIFY THEIR OWNERS AND HAVE AUTHORITY IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER AN ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ALL RECYCLED MATERIAL TO BE STOCKPOILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.
- EXISTING SITE
- Walmart  
SUPERCENTRE  
800-949-1237
- PROPOSED SITE
- CULLER AVE NE
- KEY MAP  
APPROX. 1" = 200'
- LEGEND
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRET PAVEMENT TO REMAIN
- PROPOSED SEAL COAT OF EXISTING PAVEMENT
- EXISTING SIGN, REMOVE
- EXISTING SIGN TO BE REMOVED
- PROPOSED PICKUP SIGNAGE
- SITE & DEMOLITION SCHEDULE
- ① EXISTING WALDMART BUILDING TO REMAIN.
  - ② EXISTING CONCRET SIDEWALK TO REMAIN.
  - ③ EXISTING ASPHALT PAVEMENT TO REMAIN
  - ④ EXISTING PLASTER BOOD TO REMAIN. LANDSCAPING TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION
  - ⑤ EXISTING PARKING LOT STRIPING TO REMAIN.
  - ⑥ EXISTING PARKING LOT STRIPING TO BE REMOVED.
  - ⑦ EXISTING 6" CURBS TO REMAIN.
  - ⑧ EXISTING PICKUP SIGNAGE AND BASE TO BE REMOVED.
  - ⑨ EXISTING PEDESTRIAN SIGNAGE AND BASE TO BE REMOVED.
  - ⑩ PROPOSED SEAL COAT OF EXISTING PAVEMENT.
  - ⑪ PROPOSED PICKUP DOOR (REF. ARCH PLANS)
  - ⑫ PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
  - ⑬ PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
  - ⑭ PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. SITE DETAILS).
  - ⑮ PROPOSED SIGN MOUNTING AND BASE WITH BOLLARD (REF. SITE DETAILS).
  - ⑯ PROPOSED STRIPING STRIPS STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
  - ⑰ PROPOSED R1-90 - "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
  - ⑱ PROPOSED 4" WIDE PAINTED YELLOW STRIPS AT 45° @ 2'-0" O.C.







## SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL VEHICLES, SLEEPING VEHICLES, EXIST PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING VENTILATION LOCATIONS.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNDERGROUND UTILITIES, POWER LINES, CABLES, SPOLES, ETC. AS REQUIRED). ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY THE CITY ENGINEER.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS".



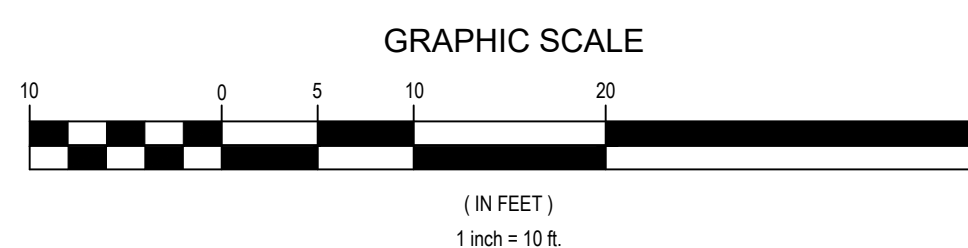
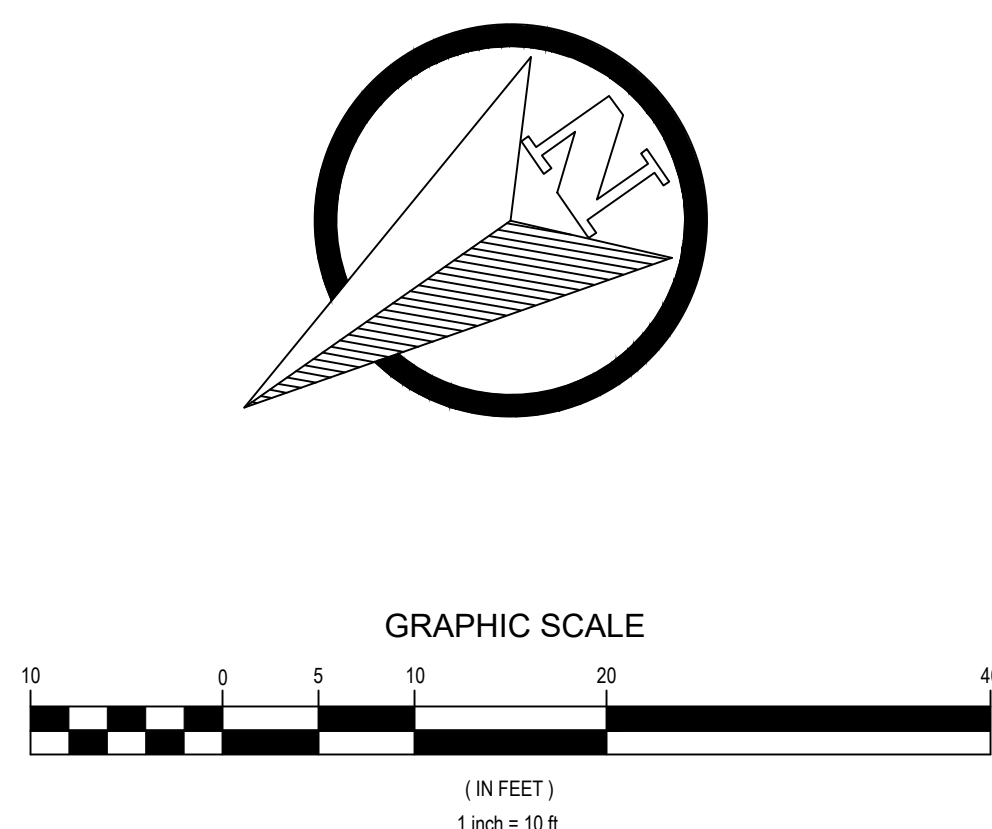
KEY MAP  
APPROX. 1" = 200'

LEGEND

- |   |   |
|---|---|
|  | EXISTING ASPHALT PAVEMENT TO REMAIN     |
|  | EXISTING CONCRETE PAVEMENT TO REMAIN    |
|  | PROPOSED SEAL COAT OF EXISTING PAVEMENT |
|  | EXISTING SIGN TO REMAIN                 |
|  | EXISTING SIGN TO BE REMOVED             |
|  | PROPOSED PICKUP SIGNAGE                 |

## SITE & DEMOLITION SCHEDULE

- 1) EXISTING WALMART BUILDING TO REMAIN.
- 2) EXISTING CONCRETE SIDEWALK TO REMAIN.
- 3) EXISTING ASPHALT PAVEMENT TO REMAIN.
- 4) EXISTING PLANTER BOX TO REMAIN. LANDSCAPING TO BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION.
- 5) EXISTING PARKING LOT STRIPING TO REMAIN.
- 6) EXISTING PARKING LOT STRIPING TO BE REMOVED.
- 7) EXISTING 4' CURB TO REMAIN.
- 8) EXISTING PICKUP SIGNAGE AND BASE TO BE REMOVED.
- 9) EXISTING PEDESTRIAN SIGNAGE AND BASE TO BE REMOVED.
- 10) PROPOSED SEAL COAT OF EXISTING PAVEMENT.
- 11) PROPOSED PICKUP DOOR (REF. ASPH PLANS).
- 12) PROPOSED ASSOCIATE PATH CROSSWALK STRIPING (REF. SITE DETAILS)
- 13) PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS)
- 14) PROPOSED SIGN MOUNTING WITH BREAKAWAY POST (REF. SITE DETAILS).
- 15) PROPOSED SIGN MOUNTING AND BASE WITH BOLLARD (REF. SITE DETAILS).
- 16) PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
- 17) PROPOSED R1-50 - "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
- 18) PROPOSED 4" WIDE PAINTED YELLOW STRIPES AT 45° 2'-0" O.C.



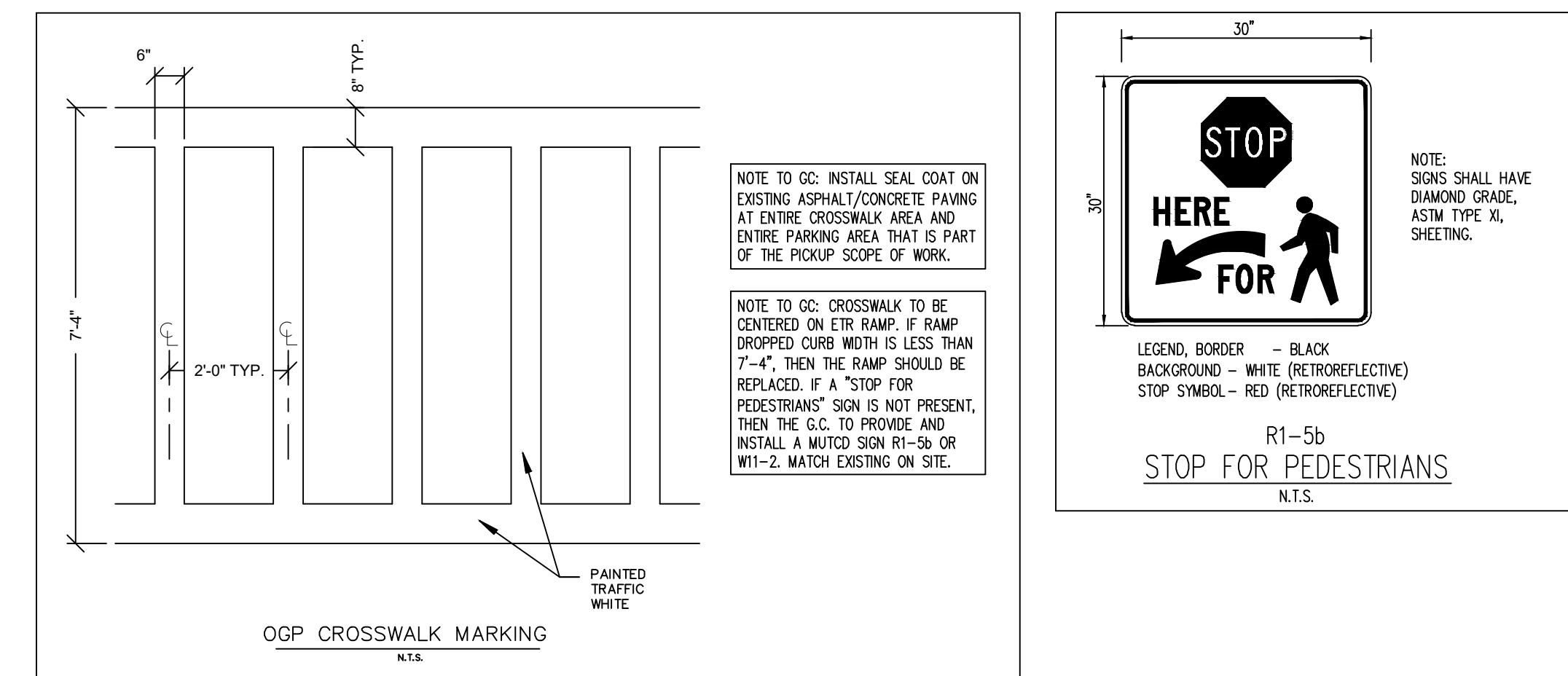
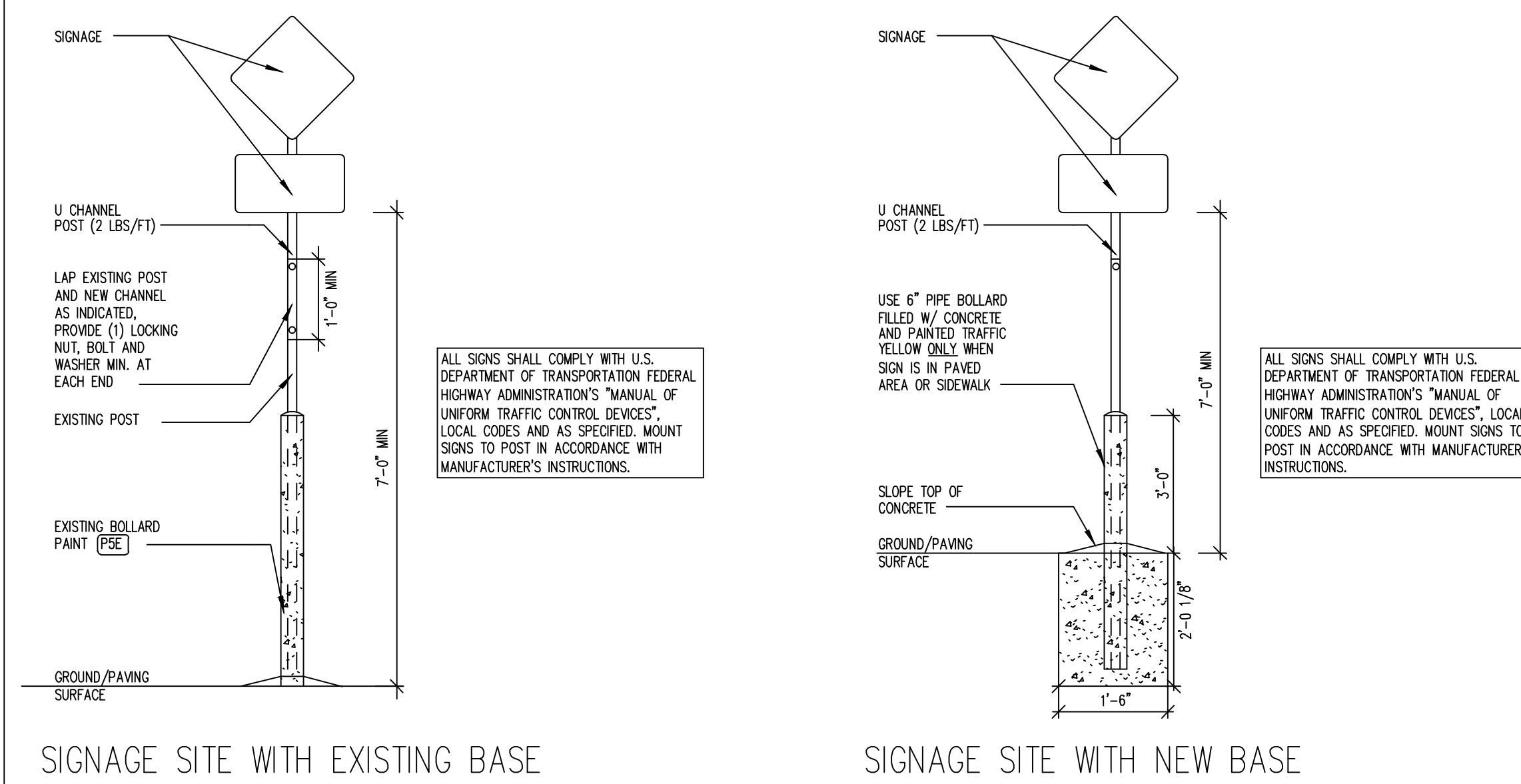
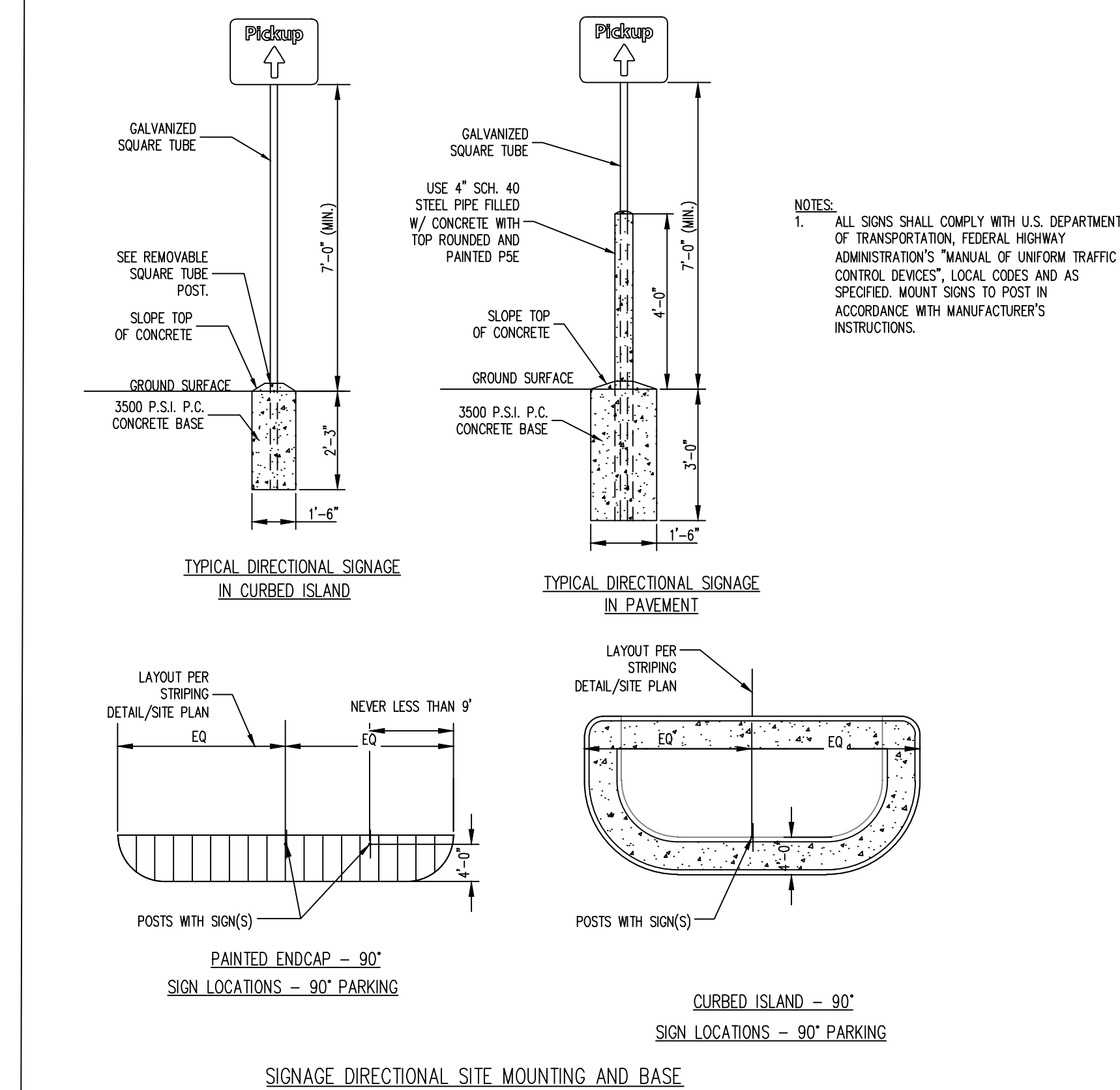
CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



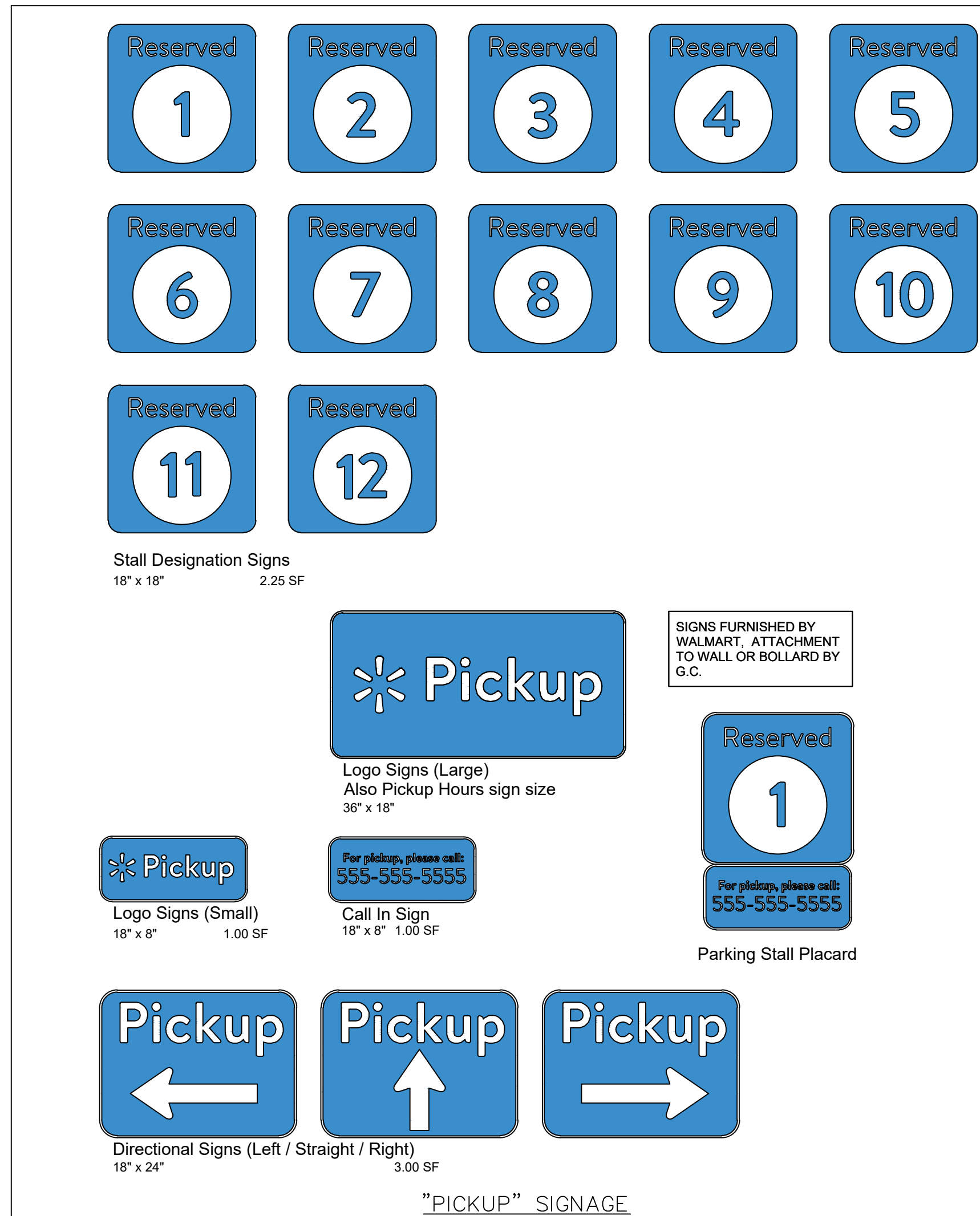
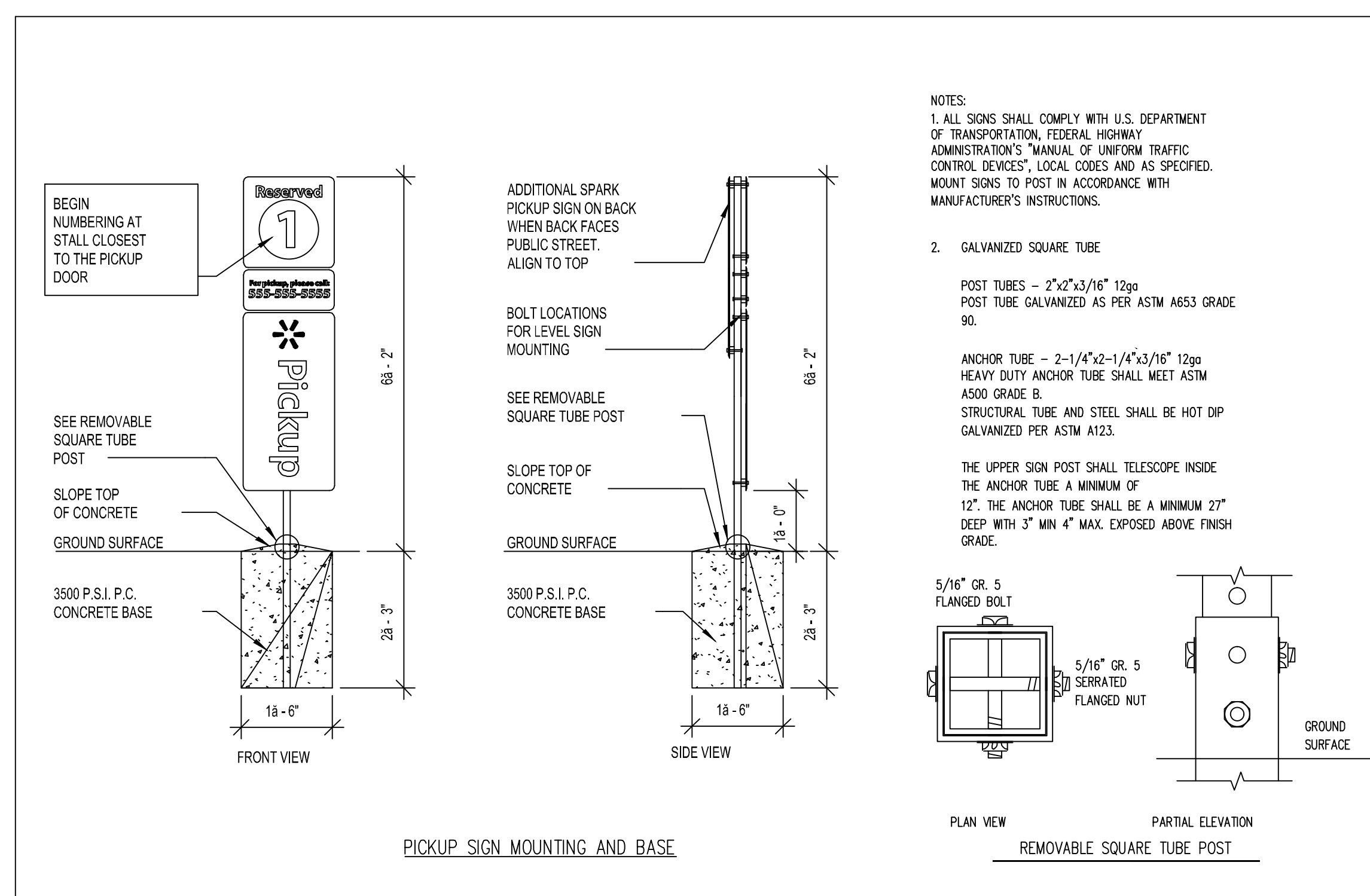






## FINISH LEGEND

P76	WALMART BLUE SW#076
P5E	SAFETY YELLOW



**Galloway**  
1755 Teller Drive, Suite 107  
Colorado Springs, CO 80902  
719.500.7220  
[GallowayUS.com](http://GallowayUS.com)

**STIPULATION FOR REUSE**

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TO THE LAW.

Walmart\*  
ALBUQUERQUE, NM

ISSUE BLOCK

[illegible]

CHECKED BY:	RCJ
DRAWN BY:	DJS
PROTO CYCLE:	—
DOCUMENT DATE:	03/08/21

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## SIGNAGE DETAILS

SHEET: **CS3**



# City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

**SUBDIVISION** Supplemental form **S**

\_\_\_\_ Major Subdivision action

\_\_\_\_ Minor Subdivision action

\_\_\_\_ Vacation **V**

\_\_\_\_ Variance (Non-Zoning)

**ZONING** Supplemental form **Z**

\_\_\_\_ Annexation & Zone Establishment

\_\_\_\_ Sector Plan

\_\_\_\_ Zone Change

\_\_\_\_ Text Amendment

**SITE DEVELOPMENT PLAN** **P**

\_\_\_\_ ...for Subdivision Purposes

☒ ...for Building Permit

\_\_\_\_ IP Master Development Plan

\_\_\_\_ Cert. of Appropriateness (LUCC) **L**

**APPEAL / PROTEST of...** **A**

\_\_\_\_ Decision by: DRB, EPC,  
LUCC, Planning Director or Staff,  
ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICANT INFORMATION:

NAME: Walmart Stores Inc #824 PHONE: <sup>479</sup>~~(505)~~ 204-0507

ADDRESS: 4100 10th ST. FAX: \_\_\_\_\_

CITY: BENTONVILLE STATE AR ZIP 72716-8000 BE-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER

AGENT (if any): TIERRA WEST LLC PHONE: 858-3100

ADDRESS: 8509 JEFFERSON NE FAX: 858-1118

CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: ADMINISTRATIVE AMENDMENT TO SITE PLAN

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_\_ Yes. \_\_\_\_ No.

### SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. B1 Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv. / Addn. Sycamore Plaza

Current Zoning: C-2(SC) Proposed zoning: same

Zone Atlas page(s): F20 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): \_\_\_\_\_ Density if applicable: dwellings per gross acre: \_\_\_\_\_ dwellings per net acre: \_\_\_\_\_

Within city limits? ☒ Yes. No \_\_\_\_ but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 102006100852020901 MRGCD Map No. \_\_\_\_\_

LOCATION OF PROPERTY BY STREETS: On or Near: 8000 Academy Rd NE

Between: Wyoming Blvd NE and MOON STREET

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Z-91-51-1

AA 94-108

Check-off if project was previously reviewed by Sketch Plat/Plan ☐, or Pre-application Review Team ☐. Date of review: \_\_\_\_\_

### SIGNATURE

(Print) Ronald R. Schannan, P.E. DATE 4/3/02

\_\_\_\_ Applicant ☒ Agent

### FOR OFFICIAL USE ONLY

Form revised September 2001

#### ☐ INTERNAL ROUTING

- ☒ All checklists are complete
- ☒ All fees have been collected
- ☒ All case #s are assigned
- ☒ AGIS copy has been sent
- ☒ Case history #s are listed
- ☒ Site is within 1000ft of a landfill
- ☐ F.H.D.P. density bonus
- ☐ F.H.D.P. fee rebate

#### Application case numbers

02236 - 00543

#### Action

AA

#### S.F.

P4

#### Fees

\$ 40.-

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

Total

\$ 40.-

Hearing date \_\_\_\_\_

RM 4/11/02

Planner signature / date

Project #

1000606



# FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

## ☐ SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE

- ☐ Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
- ☐ Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) 6 copies
- ☐ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Completed Site Plan for Building Permit Checklist
- ☐ Solid Waste Management Department signature on Site Plan if relevant
- ☐ 2 copies of the Conceptual Utility Layout Plan if relevant (mark one for Planning, one for Utility Development)
- ☐ Blue-line copy of Site Plan with Fire Marshal's stamp
- ☐ Copy of the LUCC approval if the site is in an historic overlay zone
- ☐ Fee (see schedule)
- ☐ Any original and/or related file numbers are listed on the cover application

## ☐ AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

## ☒ AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

## ☐ CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY

- ☒ Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) 5 copies
- ☒ Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) 5 copies
- ☒ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ☒ Letter briefly describing, explaining, and justifying the request
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ☒ Fee (see schedule) 40.
- ☒ Any original and/or related file numbers are listed on the cover application

**NOTE:** The next three items are also required only if the original approval required a public hearing.

- ☒ Notifying letter and certified mail receipts addressed to owners of any adjacent residential properties
- ☒ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts (Not required if amendment changes less than 2% of square footage.)
- ☒ Sign Posting Agreement (Not required if amendment changes less than 2% of square footage.)

**NOTE:** Only for wireless telecommunications facilities that are concealed and/or subject to site development plan review, the following materials are required for application submittal in addition to all those listed above:

- ☒ Collocation evidence as described in Zoning Code §14-16-3-17(A)(5)
- ☒ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
- ☒ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
- ☒ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
- ☒ Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
- ☒ Registered Engineer's stamp on the Site Development Plans
- ☒ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

**PLEASE NOTE:** If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Cynthia Borrego-Archuleta at 924-3335 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, P.E.

Applicant name (print)

[Signature]

Applicant signature / date

Form revised March 2001



- ☒ Checklists complete
- ☒ Fees collected
- ☒ Case #s assigned
- ☒ Related #s listed

Application case numbers

02236 - 00543

[Signature] 4/11/02

Planner signature / date

Project #

1000606



# Wal-Mart Stores, Inc.

Sam Walton Development Complex  
Real Estate and Engineering - West Div.  
2001 SE 10<sup>th</sup> Street  
Bentonville, AR 72716-0550  
On Line: [www.wal-mart.com](http://www.wal-mart.com)

Daniel Mallory, Real Estate Mgr.  
R.E. Phone: 479-204-0364  
[Daniel.Mallory@wal-mart.com](mailto:Daniel.Mallory@wal-mart.com)

Mohsen Ghadimkhani, CEM Mgr.  
Engineering Phone: 479-273-4940  
[Mohsen.Ghadimkhani@wal-mart.com](mailto:Mohsen.Ghadimkhani@wal-mart.com)

Shelia Churchill Asst.: 479-204-0507  
FAX: 479-273-8380  
[Shelia.Churchill@wal-mart.com](mailto:Shelia.Churchill@wal-mart.com)

April 10, 2002

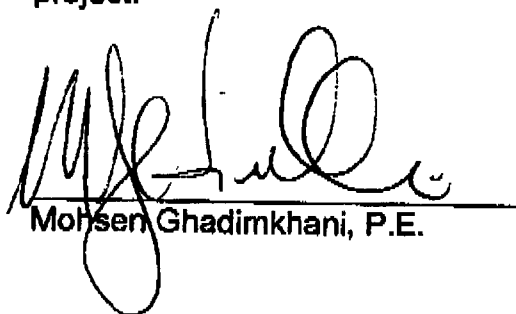
Ms. Cynthia Borrego  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: TRACT B-1, SYCAMORE PLAZA SUBDIVISION  
(WAL-MART STORE #824-03)  
ALBUQUERQUE, NEW MEXICO

Specifically for Administrative Amendment for the increase of size to the Garden Center.

To Whom It May Concern:

As the Civil Engineering Manager, I hereby grant Ronald R. Bohannan and Tierra West, LLC to act as agent on behalf of Wal-Mart Stores Inc. on matters pertaining to the development of Wal-Mart Store #824-03 project.



Mohsen Ghadimkhani, P.E.

April 10, 2002  
(Date)



# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

April 11, 2002

Ms. Cynthia Borrego  
Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**RE: Administrative Amendment  
Tract B1, Sycamore Plaza Subdivision (8000 Academy Road NE)  
Zone Atlas Page F-20**

Dear Cynthia:

Tierra West LLC, on behalf of Wal-Mart Stores Inc., requests approval of the Administrative Amendment for the above referenced project. The site is located at 8000 Academy Road NE between Wyoming Boulevard NE and Moon Street NE. This proposed amendment increases the size of the Garden Center from 7,000 square feet to 11,620 square feet, for a net increase of 4,620 square feet. The EPC approved the overall size of the building at 123,097 square feet. The increase is less than 2%, which allows the processing of the Administrative Amendment. This is also below the threshold requirements to notify the Neighborhood Associations. The increased Garden Center will not encroach into any setbacks and or modify the site's circulation.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



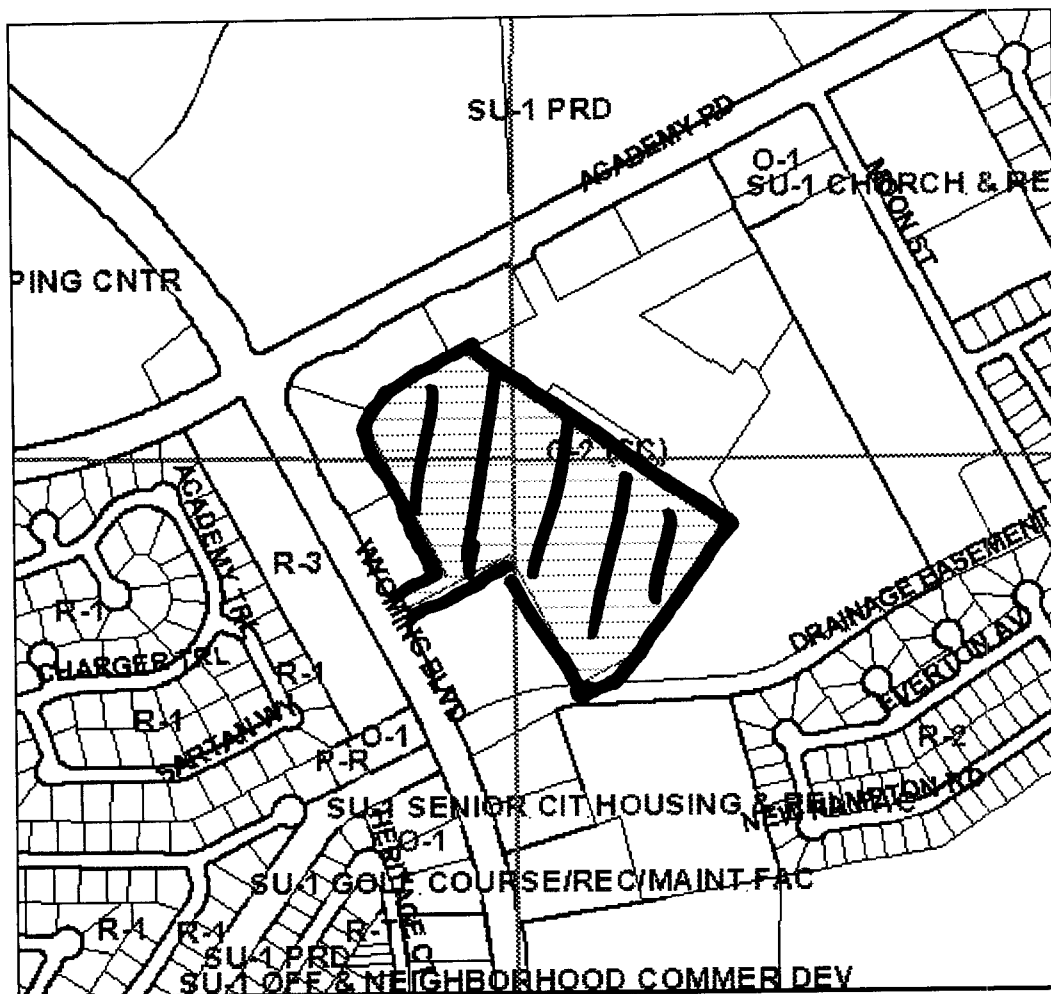
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Shade O'Quinn  
Mohsen Ghadimkhani

JN: 220034  
RRB/ks





Selected Address: 8000 ACADEMY RD NE

Zoning: C-2 (SC)

Lot/Block/Subd: B1 , 0000 , SYCAMORE PLAZA

ZoneMap Page: F20

UPC #: 102006100852020901

Owner Name: WAL-MART STORES INC #824

Owner Street Address: 4100 10TH ST

Owner City/State/Zip: BENTONVILLE / AR / 72716 8013 AR

Note: Accuracy for Owner info cannot be guaranteed correct.

Please check with the Bernalillo County Assessor for official data.







Tierra West LLC

TO: CITY OF ABQ  
PLAZA DEL SOL -- 3RD FLR  
PHONE: 924-3850

☐ Shop drawings  
☐ Copy of letter

☒ Attached

☐ Prints

☐ Change order

☐ Under Separate cover via \_\_\_\_\_ the following items:

☐ Plans                      ☐ Samples                      ☐ Specifications

☐ \_\_\_\_\_

[illegible]

<input type="checkbox"/>	For approval	<input type="checkbox"/>	Approved as submitted
<input checked="" type="checkbox"/>	For your use	<input type="checkbox"/>	Approved as noted
<input checked="" type="checkbox"/>	As requested	<input type="checkbox"/>	Returned for corrections
<input type="checkbox"/>	For review & comments	<input type="checkbox"/>	For Payment
<input type="checkbox"/>	FOR BIDS DUE		_____ 20 _____

**FOR SIGNATURE(S)**

☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

COPY TO

RECEIVED BY

SIGNED KAREN STEWART

**If enclosures are not as noted, kindly notify us at once.**





# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

April 22, 2002

Ms. Cynthia Borrego  
Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**RE: Administrative Amendment for Wal-Mart Store #824**  
**Tract B1, Sycamore Plaza**  
**Application #: 02236-00543, Project #: 1000606**

Dear Cynthia:

Per your request we calculated and revised the parking calculations for the center in the following table format:

**PREVIOUS CENTER REQUIREMENTS**

Previous Overall Square footage of Center:	270,000
(One space for ea. 200 square feet)	
Previous Parking Calculation prior to bus credit (includes handicap):	1350
Previous Parking minus the bus credit (15%) (this includes handicap):	1154
(One bus bay and two shelters)	
Existing Number of spaces for the Center:	1200

**CURRENT WAL-MART STORE REQUIREMENTS**

Previous Wal-Mart w/Garden Center square footage:	123,097
(One space for ea. 200 square feet)	
Number of spaces required:	616
Wal-Mart square footage w/increased Garden Center:	127,357
(Wal-mart Building is 116,097 sq. ft. -- One space for ea. 200)	
(Garden Center Area is 11,620 sq. ft. -- One space for ea. 400)	
Number of spaces required:	609
Difference (decreased):	< 7>

**RECAP OF TOTAL PARKING REQUIRED**

Total parking spaces shown on Center:	1200
Total required for center (prior to increase of Garden Center):	1154
Total required now with increased Garden Center:	1147



Ms. Cynthia Borrego  
April 18, 2002  
Page 2 of 2

We still meet the parking requirements as required by the Site Development Plan. If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

cc: Shade O'Quinn

JN: 220034  
RRB/ks

2002.220034cb041802.doc





# *City of Albuquerque*

## ZONING ENFORCEMENT

Plaza del Sol Building, Suite 720

600 2nd Street NW

Albuquerque, New Mexico 87102

Telephone (505) 924-3850 • Telecopies (505) 924-3847

January 11, 2002

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, New Mexico 87113

Re: Parking for garden center activity

Dear Mr. Bohannon:

In response to your request for information regarding off-street parking for a garden center, please be advised that these areas, typically outside or partially covered and enclosed as a greenhouse or lath-house, require one space for each 400 square feet of leasable area, Section 14-16-3-1(A)(14).

Please contact this office if you have questions or concerns regarding this or other zoning enforcement matters.

Sincerely,

Jack Basye

Zoning Enforcement Supervisor



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

*This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Since development proposals vary in type and scale, there may be application requirements that are not included here. Nonetheless, it is the applicants responsibility to provide a complete submittal. Incomplete submittals will be rejected. Site development plans submitted will ordinarily be composed of the following plan sheets:*

- 1. Site Plan (including utilities and easements)**
- 2. Landscaping Plan**
- 3. Grading Plan**
- 4. Building and Structure Elevations**

*Submitted plans shall be organized in the above manner. The following checklist describes the minimum information necessary for element. The Applicant shall check off all items shown on the site plan or label as NA, if not applicable.*

## **Accompanying Material - Fee payment**

- ☒ A. Complete application with summary.  
☒ B. 8 1/2" x 11" reductions

## **SHEET #1 - SITE PLAN**

### **A. General Information**

- ☒ 1. Scale                      Under 1.0 acre                      1" = 10'  
   1.0 - 5.0 acres                      1" = 20'  
   Over 5 acres                      1" = 50'  
   Over 20 acres                      1" = 100'  
   Other scales as approved by staff
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Scaled Vicinity Map
- ☒ 5. Existing structures on site and on sites adjacent to the proposal that may impact, or may be impacted by the project.
- ☒ 6. Property lines
- ☒ 7. Existing and proposed easements (identify each)
- ☒ 8. Sheet Index

### **B. Proposed Development**

#### **1. Structural**

- ☒ A.                      Location of existing and proposed structures on the property and on adjacent properties, including privacy and retaining walls (distinguish between proposed and existing structures).
- ☒ B.                      Square footage of each structure
- ☒ C.                      Proposed use of each structure
- ☒ D.                      Temporary structures, signs and other improvements
- ☒ E.                      Wall(s), fence(s), and screening: height, length, color and materials. Show cross-sections for retaining walls.



- X F. Dimensions of all principal site elements
- X G. Loading facilities
- X H. Site lighting (height, type, and intensity)

## 2. Non-Structural and Parking

- X A. Parking design with spaces numbered per aisle.
  - X 1. Location
  - X 2. Arrangements
  - X 3. Dimensions and curve radii
  - X 4. Turning spaces
  - X 5. Drives
  - X 6. Aisles
  - X 7. Ingress
  - X 8. Egress
  - X 9. Number of spaces required:
  - X 10. Handicapped parking, spaces required:
- X B. Bicycle racks, spaces required:
- X C. Elevation drawing of refuse container and enclosure, if applicable.

## C. Street and Circulation

- X 1. Identification and location of public and private streets and alleys with proper name, existing and proposed width dimensions.
- X 2. Curve radii
- X 3. Right-of-Way width
- X 4. Pavement width (flow line to flow line) including medians and median cuts.
- X 5. Sidewalk widths and locations, existing and proposed.
- 6. Rail spurs, if applicable
- X 7. Location of traffic signs and signals related to the functioning of the proposal.
- X 8. Bikeways
- X 9. Bus facilities, including bays and shelters where required.
- X 10. Curb cut size and type.
- X 11. Provisions for non-auto transportation, including transit and bicycle related improvements and pedestrian linkage.

## D. Utilities

- X 1. Fire hydrant locations, existing and proposed.
- X 2. Distribution lines
- X 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- X 4. Existing water, sewer, storm drainage facilities (public and/or private).
- X 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## E. Phasing

- 1. Proposed phasing of improvements and provision for interim facilities.  
Information on future phasing should be included. If applicable, indicate location and square footage.



## **SHEET #2 - LANDSCAPING PLAN**

*If appropriate, landscaping maybe shown on sheet #1 with the approval of Planning staff. See article 6-1-1-1et.al., the Water Conservation Landscaping and Water Waste Ordinance for specific restrictions, regulations, standards, and requirements*

- X 1. Scale - must be same as scale on sheet #1 - Site plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Identify nature of ground cover materials
  - A. Impervious areas (pavements, sidewalks, slope pavings, curb, and gutters, etc.).
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.).
  - C. Ponding areas either for drainage or landscaping/recreational use.
- X 7. Identify nature, location and size of shrubbery and trees (common and/or botanical names).
  - A. Existing, indicating whether it is to preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- X 8. Irrigation System
- X 9. Planting Beds
- X 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 11. Responsibility for maintenance (Statement)
- X 12. Statement of Water Waste, etc.
- X 13. Landscaped area requirement; square footage and percent:
- X 14. Landscaped area provided; square footage and percent:

## **SHEET #3 - GRADING PLAN**

### **A. General Information**

- X 1. Scale - must be same as Sheet #1 - Site Plan
- X 2. Bar Scale
- X 3. North Arrow
- X 4. Existing topography and structural improvements within at least 25 feet beyond property boundaries (more may be required).
- X 5. Property Lines
- X 6. Existing and proposed easements
- X 7. Proposed contours and/or spot elevations
- X 8. Retaining walls

### **B. Proposal**

- 1. Grading submittals, ponding areas, erosion and sediment control facilities:
  - A. Conceptual grading and drainage plan
  - B. Drainage plan (maybe required for other submittals)
  - C. Drainage Report (maybe required for other submittals)



X A. Cross Sections

Provide cross section for all perimeter property lines at the point of the greatest grade change. Where the grade change is greater than 4 feet, provide one additional cross section in each direction within no more than 100 feet of the reference point.

X B. Spot Elevation

Provide spot elevations existing and proposed within 20 feet of both sides of the property line, not to exceed intervals of 100 feet.

X C. Grade Changes

Identify grade change on the site greater than 2 feet with shading or a single cross-hatch. Identify grade changes greater than 4 feet with darker shading or a double cross-hatch.

## **SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS**

### **A. General Information**

- X 1. Scale (minimum of 1/8" or as approved by Planning Staff).
- X 2. Bar Scale
- X 3. Facade orientation (elevation of all sides of the buildings)
- X 4. Dimensions, to scale including overall height and width, and dimensions of major facade elements.
- X 5. Location, material and colors of windows, doors and framing.
- X 6. Materials and colors of all building elements and structures.

### **B. Signage**

- 1. Elevations
- 2. Location
- 3. Height and width
- 4. Sign face area - dimensions and square footage
- 5. Lighting
- 6. Materials and Colors for sign face and structural elements.

### **C. Additional information, including, renderings and perspective drawings may be submitted.**

- A. Samples
  - 1. Presentation Models
  - 2. Photos



# PROJECT NOTES

1. ZONING C-2 (SC) MAP PAGES E-47-49-50.
2. SITE IS APPROXIMATELY 13.58 ACRES TRACT B-1, REPLAT OF TRACT B OF STONEMORE PLAZA.
3. THE REMAINING PORTION OF STONEMORE PLAZA REMAINS UNIMPACTED BY THIS AMENDMENT.
4. PARKING LOT TO BE OVERLAIN WITH AN ASPHALTIC SEAL COAT AND NEW PAINT.

## PUBLIC OUTDOOR GATHERING SPACE

PROPOSED	4130 SF
CITY OF ALBUQUERQUE REQUIRED	2771 SF

## EXISTING SITE ANALYSIS TABLE

WALMART GARDEN CENTER	13854 SF
WALMART W/ GARDEN CENTER	11015 SF
ACCESSIBLE	14952 SF
COMPACT	861 SPACES
MOTORCYCLE	16 SPACES
BICYCLE	42 SPACES
CITY OF ALBUQUERQUE REQUIRED PARKING SPACES	8 SPACES
CITY OF ALBUQUERQUE REQUIRED ACCESSIBLE SPACES	28 SPACES
CITY OF ALBUQUERQUE REQUIRED PARKING SPACES	553 SPACES
CITY OF ALBUQUERQUE REQUIRED ACCESSIBLE SPACES	16 SPACES

## PROPOSED SITE ANALYSIS TABLE

WALMART GARDEN CENTER	13854 SF
WALMART W/ GARDEN CENTER	11015 SF
PARKING	14952 SF
ACCESSIBLE	488 SPACES
COMPACT	16 SPACES
MOTORCYCLE	42 SPACES
BICYCLE	8 SPACES
CITY OF ALBUQUERQUE REQUIRED PARKING SPACES	28 SPACES
CITY OF ALBUQUERQUE REQUIRED ACCESSIBLE SPACES	553 SPACES
CITY OF ALBUQUERQUE REQUIRED ACCESSIBLE SPACES	16 SPACES

## END

THE SIGN TYPICAL AT  
WALKS AS NOTED ON PLANS  
IS SPACE TYPICAL  
DAL  
LINE PER ZONING ORDINANCE  
LAW" SIGN  
HE  
E AND BASE SHALL REMAIN  
REPLACES LIGHTING SIGN  
EXISTING BASE TRAFFIC  
E TO BE RELOCATED  
DUE LOCATION  
LIGHT FIXTURES  
USE TIME AT ALL  
PAGES  
E. ARROW TYPICAL  
COMPACTOR PAD AND  
ITY PAD  
ITS ON PAVEMENT TYPICAL  
ITS TYPICAL

STARTED CONCRETE  
WALL  
RAIL LOCATION  
AT STREET WALL  
20' x 4'-8"  
AREA  
RENTAL CRANE  
BASE REVEALING AREA 12'x45'  
BASE CONTAINED WITH  
RE 30'-4" x 9'-4" x 10'-0"  
HART LOCATION  
CEILING ROOF" SIGN  
OF ADA ACCESSIBLE  
DRAIN LOCATION  
EQUIP. RAMP  
RWYS ON EACH

**ATION:**  
Y OF ALBUQUERQUE RECOMMEND  
WAYS THE ELEVATION, 100A-102  
CONCRETE BASE OF STREET  
ACADEMY ROAD N.E. AND MOON  
IN OF SAND-CONCRETE BASE.  
**RINGS:**  
AT OF TRACT B STONEMORE PLAZA  
1982 VOL. 52C, FOLD 27E, PER  
ON.  
**NOTE:**  
FLOOD ZONE X AREAS DETERMINED  
ANNUAL CHANCE FLOODPLAIN PER  
APP NO. 100000000, EFFECTIVE

## STIPULATION FOR REUSE OR ALTERATION:

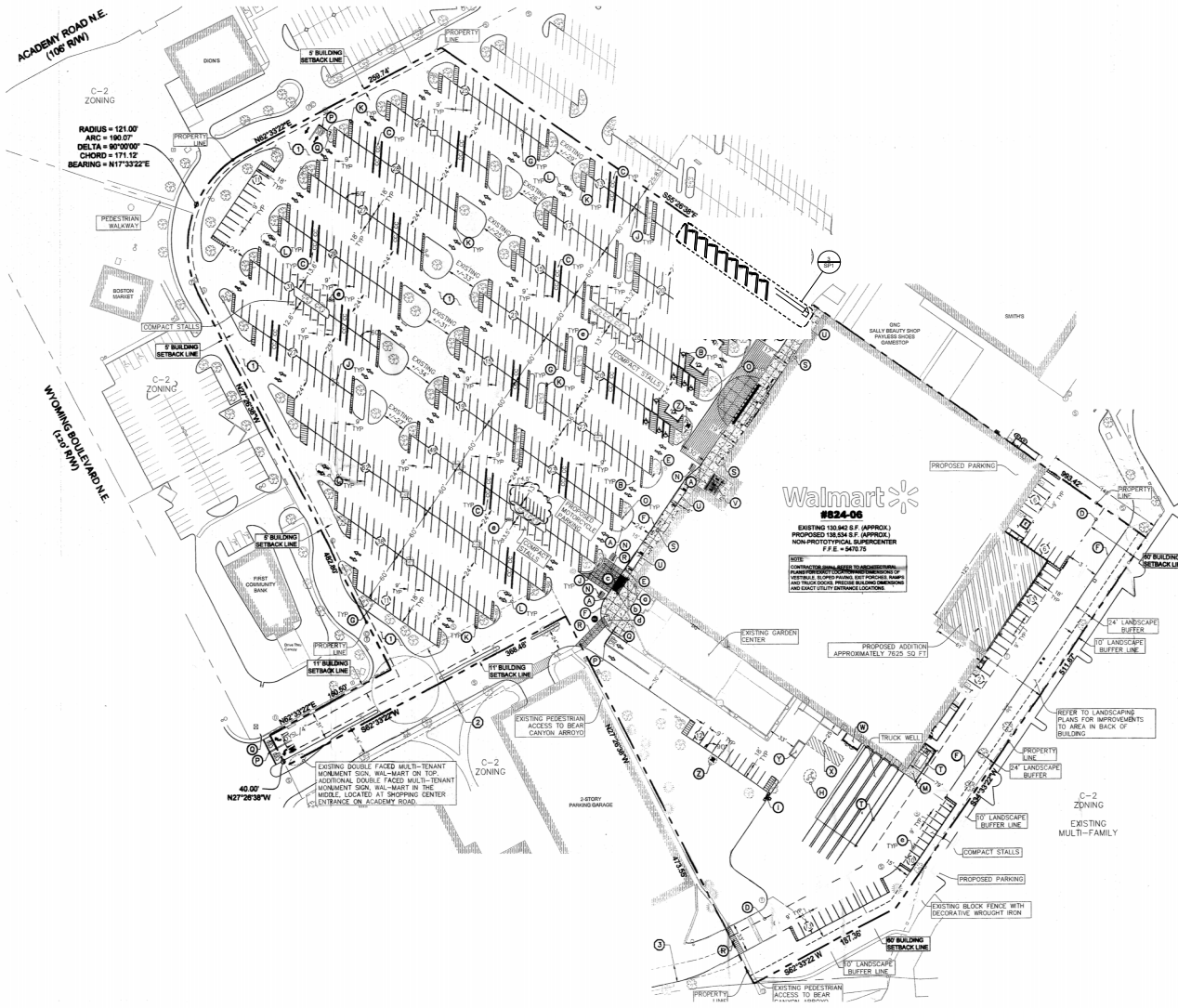
THESE DRAWINGS ARE THE INSTRUMENT OF SERVICE OF ZIA ENGINEERING AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE REFERENCED PROJECT FOR WHICH THESE DRAWINGS WERE CREATED.

## SITE DEVELOPMENT PLAN AMENDMENT

JAN 2018

SITE DEVELOPMENT PLAN AMENDMENT

SP3

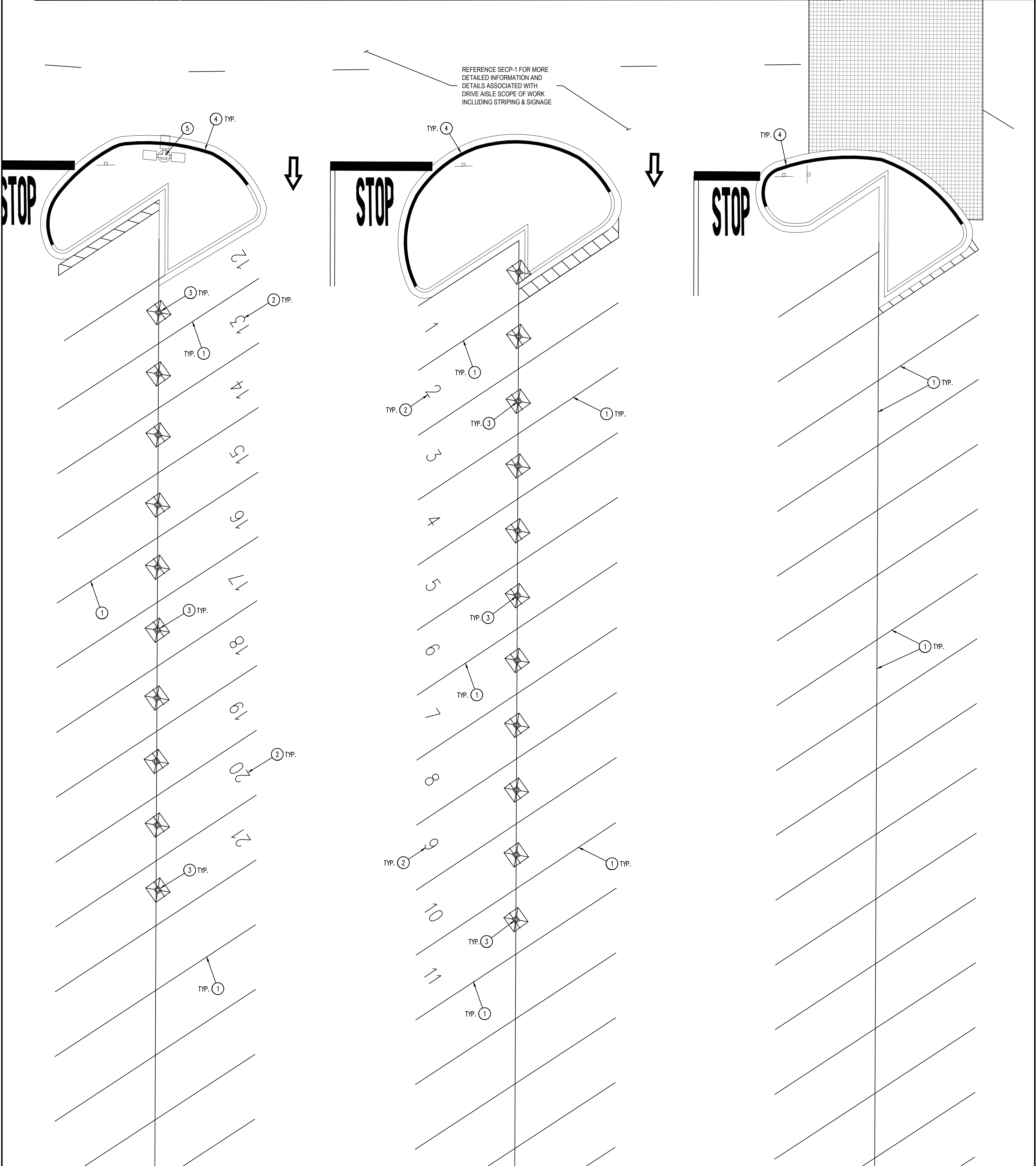


## EXISTING EASEMENTS

1. EASEMENT WITH COVENANTS AND RESTRICTIONS AFFECTING LAND ("EOM") BETWEEN WAL-MART STORES, INC., SMITH'S FOOD AND DRUG CENTERS, INC., EDWARD FAMILY PARTNERSHIP AND STONEMORE PLAZA, LTD., RECORDED: DECEMBER 30, 1992, BK. B0922-31, PGS. 3598-3631.
2. 84' ACCESS EASEMENT, RECORDED: 04/01/87, VOL. C33, FOLD 71.
3. 20' EASEMENT AREA FOR THE CONSTRUCTION AND MAINTENANCE OF PRIVATE WAYS FOR THE SHARED USE AND BENEFIT OF TRACTS A & B AND EXISTING ACCESS EASEMENT FOR MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES, RECORDED: 04/01/87, VOL. C33, FOLD 71.

City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date





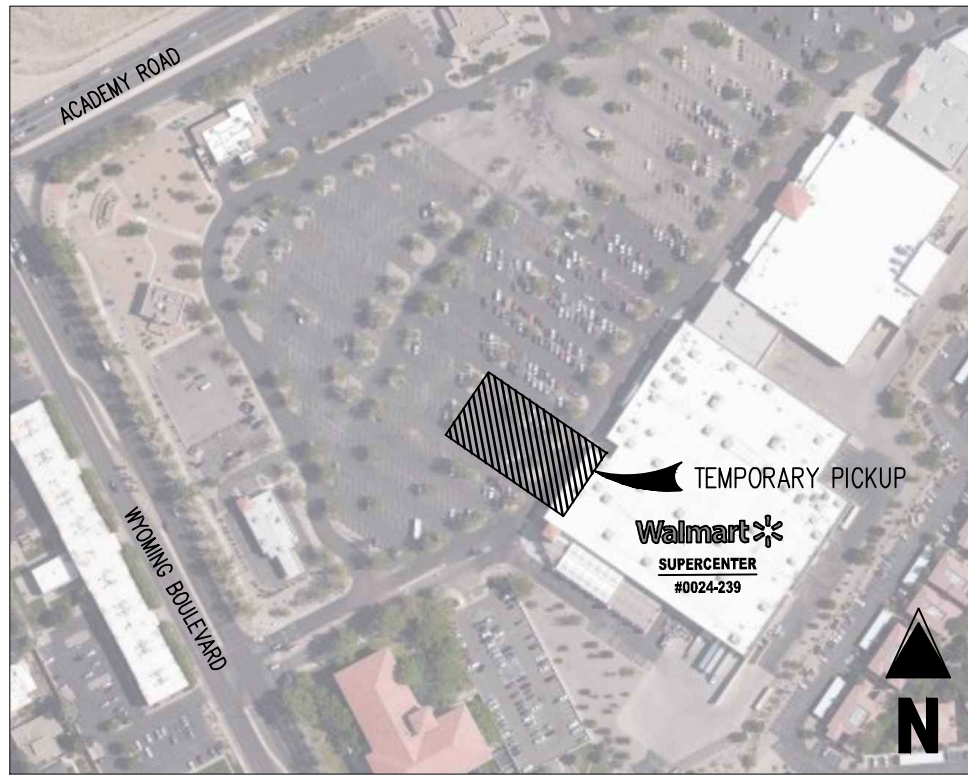
TEMPORARY PICKUP PARKING PLAN  
SCALE: 1"=10'

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (ON A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL, PER THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DEMOLITION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, DOWEL OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONFORMANCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOTTED PAVING, SIDEWALKS, EXT. PORCHES, BRICK DOORS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
- NO ADDITIONAL PEDESTRIAN CROSSINGS ARE PROPOSED WITH THIS TEMPORARY PARKING IMPROVEMENT.



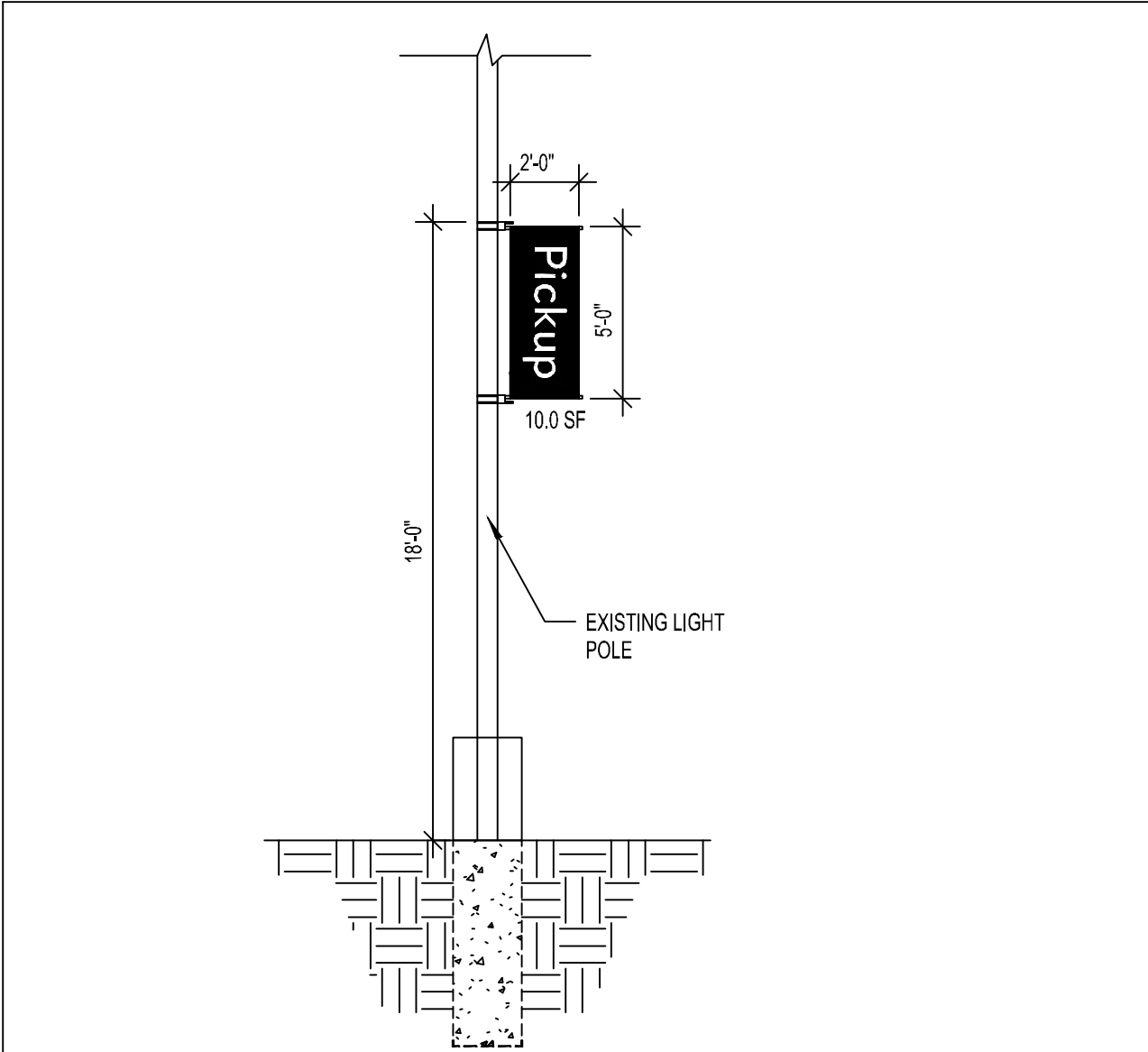
KEY MAP  
APPROX. 1" = 200'

LEGEND

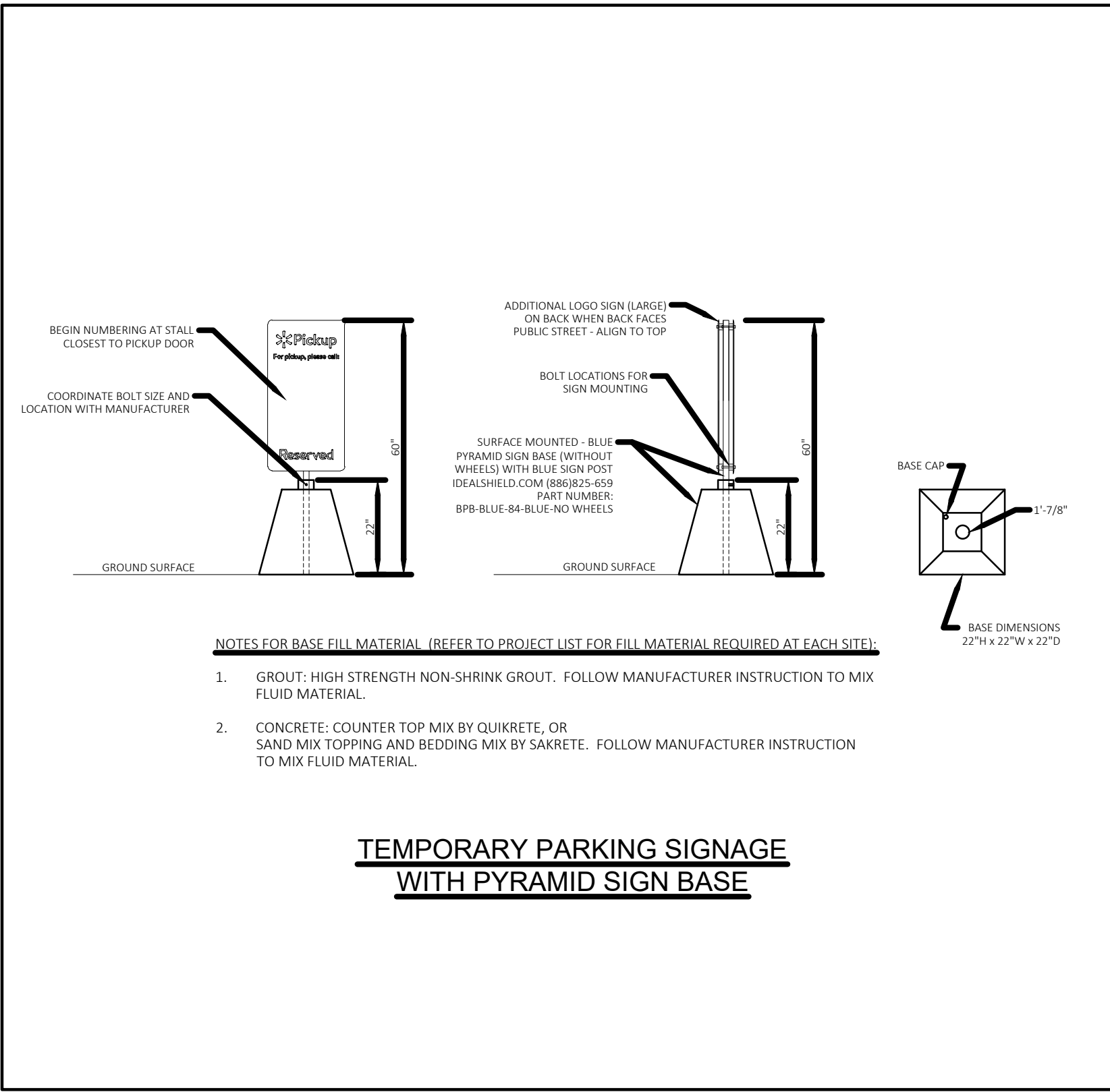
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- PROPOSED SEAL COAT OF EXISTING PAVEMENT
- EXISTING SIGN TO BE REMOVED
- EXISTING SIGN TO BE REMOVED
- PROPOSED PICKUP SIGNAGE

SITE & DEMOLITION SCHEDULE

- EXISTING STRIPING TO REMAIN.
- PROPOSED TEMPORARY PAVEMENT NUMBER MARKING.
- PROPOSED TEMPORARY PICKUP SIGNAGE, REF. DETAIL THIS SHEET.
- EXISTING CURB & GUTTER TO REMAIN.
- CONTRACTOR TO INSTALL WALMART PICKUP WAYFINDING SIGNAGE ON EXISTING LIGHT POLE.

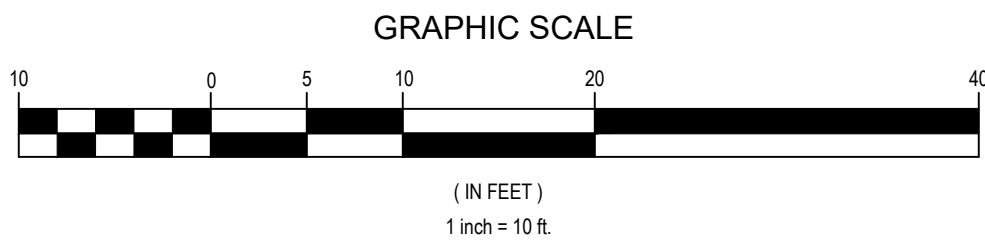


PICKUP BANNER AT EXISTING LIGHT POLE  
NTS



- NOTES FOR BASE FILL MATERIAL (REFER TO PROJECT LIST FOR FILL MATERIAL REQUIRED AT EACH SITE)
- GROUT: HIGH STRENGTH NON-SHRINK GROUT. FOLLOW MANUFACTURER INSTRUCTION TO MIX FLUID MATERIAL.
  - CONCRETE: COUNTER TOP MIX BY QUIKRETE, OR SAND MIX TOPPING AND BEDDING MIX BY SAKRETE. FOLLOW MANUFACTURER INSTRUCTION TO MIX FLUID MATERIAL.

TEMPORARY PARKING SIGNAGE  
WITH PYRAMID SIGN BASE



CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, OTHER THROUGH PROWING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Galloway

STIPULATION FOR REUSE:  
THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE AT ALBUQUERQUE, NM. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT OR SITE OR AT A LATER TIME WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS NOT TO BE CONSIDERED A VIOLATION OF THE LAW.

BRANDON ALLEN  
NEW MEXICO  
25037  
PROFESSIONAL ENGINEER  
06/16/2021

Walmart  
ALBUQUERQUE, NM  
STORE NO. 00824-239  
JOB NUMBER: SGCA000824.20 [PHOTO: PICKUP ENTINCMNT]

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: RCU  
DRAWN BY: DJS  
PROTO CYCLE: -  
DOCUMENT DATE: 03/08/21

TEMPORARY  
PICKUP  
PARKING  
PLAN

SHEET:  
CS4