



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| | | | |
|--|--|--|--|
| SUBDIVISIONS | | <input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2) | |
| <input type="checkbox"/> Major – Preliminary Plat (Form S1) | <input type="checkbox"/> Major Amendment to Site Plan (Form P2) | <input type="checkbox"/> Vacation of Public Right-of-way (Form V) | |
| <input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2) | MISCELLANEOUS APPLICATIONS | | <input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V) |
| <input type="checkbox"/> Major - Final Plat (Form S2) | <input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1) | <input type="checkbox"/> Vacation of Private Easement(s) (Form V) | |
| <input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2) | <input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2) | PRE-APPLICATIONS | |
| <input type="checkbox"/> Extension of Preliminary Plat (Form S1) | <input type="checkbox"/> Temporary Deferral of SW (Form V2) | <input type="checkbox"/> Sketch Plat Review and Comment (Form S2) | |
| | <input type="checkbox"/> Sidewalk Waiver (Form V2) | | |
| SITE PLANS | | <input type="checkbox"/> Waiver to IDO (Form V2) | APPEAL |
| <input type="checkbox"/> DRB Site Plan (Form P2) | <input type="checkbox"/> Waiver to DPM (Form V2) | <input type="checkbox"/> Decision of DRB (Form A) | |
| BRIEF DESCRIPTION OF REQUEST | | | |
| Final Sign off of EPC Site Plan | | | |

| | | | |
|--|------------------------|-----------------------------------|------------------------------|
| APPLICATION INFORMATION | | | |
| Applicant: Western Hills Investments LLC | | Phone: 505-269-1179 | |
| Address: PO Box 45688 | | Email: rio7712@aol.com | |
| City: Rio Rancho | State: NM | Zip: 87174 | |
| Professional/Agent (if any): Tierra West, LLC | | Phone: 505-858-3100 | |
| Address: 5571 Midway Park PI NE | | Email: Inoriega@tierrawestllc.com | |
| City: Albuquerque | State: NM | Zip: 87109 | |
| Proprietary Interest in Site: | | List <u>all</u> owners: | |
| SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.) | | | |
| Lot or Tract No.: TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A | | Block: | Unit: |
| Subdivision/Addition: Seven Bar Ranch | | MRGCD Map No.: | UPC Code: 101406615023620114 |
| Zone Atlas Page(s): A-14-Z | Existing Zoning: NR-BP | | Proposed Zoning NR-BP |
| # of Existing Lots: 1 | # of Proposed Lots: 2 | Total Area of Site (Acres): 1.99 | |
| LOCATION OF PROPERTY BY STREETS | | | |
| Site Address/Street: 3615 Hwy 528 | | Between: Calle Cuervo NW | and: Hwy 528 |
| CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.) | | | |
| PR-2021-005222, PS-2021-00039,1010999, | | | |

| | | | | | |
|----------------------------------|--------|---|--------------|------------|------|
| Signature: | | Date: 08/03/2021 | | | |
| Printed Name: Ronald R. Bohannon | | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent | | | |
| FOR OFFICIAL USE ONLY | | | | | |
| Case Numbers | Action | Fees | Case Numbers | Action | Fees |
| | | | | | |
| | | | | | |
| | | | | | |
| Meeting Date: | | | | Fee Total: | |
| Staff Signature: | | | Date: | Project # | |

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB


MAJOR AMENDMENT TO SITE PLAN – DRB

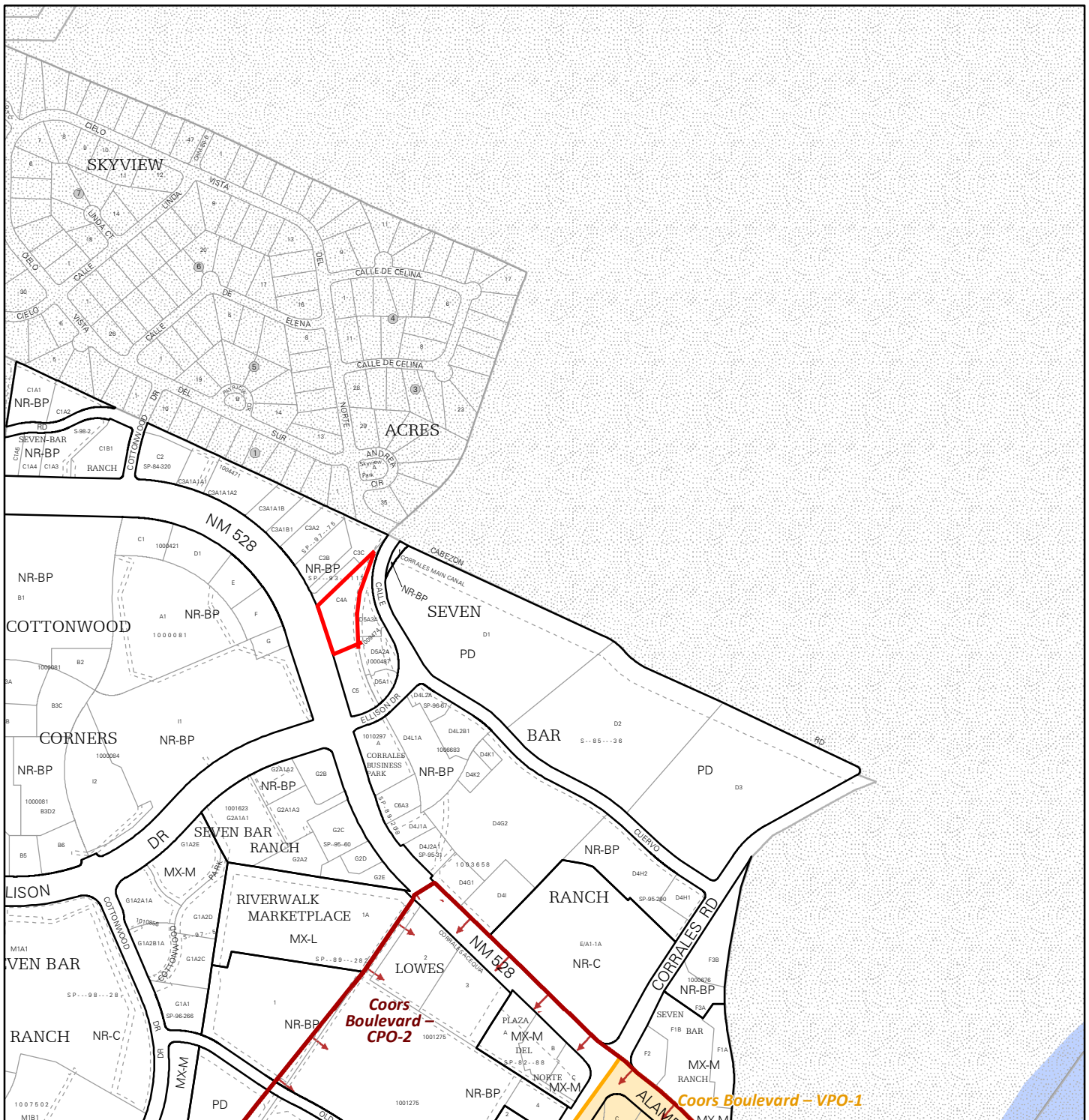
EXTENSION OF SITE PLAN – DRB

- Interpreter Needed for Hearing? if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(1) *(not required for extension)*
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first-class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first-class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)* (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2).(d.) if site is within a designated landfill buffer zone
- Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

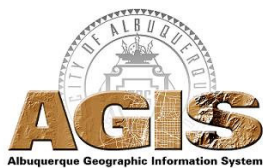
- N/A Interpreter Needed for Hearing? if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- N/A Infrastructure List, if required

| | |
|---|---|
| <i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i> | |
| Signature: | Date: |
| Printed Name: Ronald R. Bohannan | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |
| FOR OFFICIAL USE ONLY | |
| Case Numbers: | Project Number: |
| | |
| | |
| | |
| Staff Signature: |  |
| Date: | |

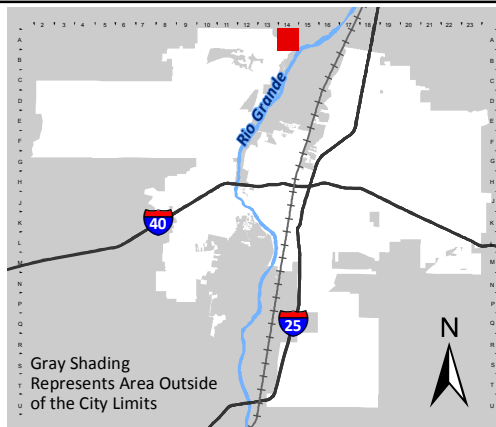


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

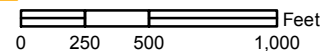


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



March 8, 2021

Ms. Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **EPC SUBMITTALS**
3615 HWY 528, ALBUQUERQUE NM
TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C4A
SEVEN BAR LOOP
ZONE ATLAS PAGE: A-14-Z

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Western Hills Investments LLC pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

JULIAN S. GARZA

Print Name



Signature

MANAGING Director

Title

3/09/2021

Date



TIERRA WEST, LLC

August 3, 2021

Ms. Jolene Wolfley, Chairwoman
Development Review Board
600 2nd Street NW 3rd Floor
Albuquerque, NM 87102

**RE: DUTCH BROS NM0105 ALAMEDA & ELLISON
SI-2021-00452 – DRB FINAL- SIGN OFF –EPC
PROJECT #2021-005301**

Dear Ms. Wolfley;

Per the official notice of decision dated July 15, 2021 for Major Amendment to a Site Plan-EPC please find the following responses addressing the conditions of approval for project #2021-005301/SI-2021-00452 for a submittal action to DRB for Final-sign off for Site Development Plan- EPC:

1. The Environmental Planning Commission (EPC) delegates final sign-off authority of the site plan to the Development Review Board (DRB) to ensure that all technical issues are resolved. The DRB is also responsible for ensuring that the EPC's Conditions of Approval are satisfied and that other applicable City requirements are met.
Response: Acknowledged.
2. A letter shall accompany the submittal, specifying all revisions that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
Response: Acknowledged.
3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
Response: Met with staff planner, Catalina Lehner on August 2nd, 2021.
4. Dimensional Standards:
The side setback of the Phase I building shall be a minimum of 10 feet pursuant to Section 14-16-5-1 Dimensional Standards for the NR-BP zone
Response: Acknowledged, see site plan sheet C1.
5. Pedestrian, Bicycle, and Transit Access:
A pedestrian-pass through shall be provided, where the 3 foot wall bends on the eastern side of the Phase I area, to facilitate pedestrian traffic coming from the west
Response: A pedestrian-pass though is provided, where the 6 foot (Previously shown as 3 foot) wall bends on the eastern side of the Phase I (Dutch Brothers) area. See Site Plan sheet C1.

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

6. Landscaping – Trees

- a. Two Pinon Pine Trees shall be added to the triangular shaped area of the subject site that extends to the northeast.

Response: Two Pinon trees were added to the northeast area. See landscaping plan LS-01.

- b. The three elms in the southern landscaping buffer shall be on the irrigation system and receive adequate irrigation.

Response: Acknowledged.

- c. The large Siberian elms near the subject sites NE corner shall be on the irrigation system and be maintained until such time as the three additional trees (intended to replace them) are of sufficient size and maturity, as determined by Parks and Recreation Staff, that they can be removed.

Response: Acknowledged.

7. Landscaping – Clarification

- a. One curb notch shall be added to the northern landscaping strip and one to the southern landscaping strip for supplemental irrigation.

Response: Curb notch added to both the southern and northern landscaping strips. See site plan sheet C1.

- b. The location of the three existing trees in the southern landscape buffer shall be clarified.

Response: Acknowledged, see landscaping plan sheet LS-01 for updated location.

- c. The total coverage figure shall match the figure used in the landscaping calculations.

Response: Acknowledged, see landscaping plan sheet LS-01.

8. Lighting

- a. Note 15 shall be re-worded to indicate that all lighting shall comply with IDO 14-16-5-8, Outdoor and Site Lighting

Response: See note 15, sheet C1.

9. Signage

- a. The approximately 20 sf brand sign shall be removed from the northeast elevation

Response: 20 sf brand sign removed from northeast elevation. See elevations sheet A6.1.

- b. The logo sign on the northeast elevation shall not be illuminated.

Response: Logo sign is shown to be non-lit. See elevations sheet A6.1.

- c. The colors and materials of the signage shall be specified.

Response: See elevations sheet A6.1.

10. Walls / Fences

- a. The wall on the eastern side of the Phase I area shall be six feet tall

Response: Acknowledged, see site plan sheet C1.

- b. A three foot screen wall shall be added to the eastern side of the Phase II area

Response: Acknowledged, see site plan sheet C1.

- c. Pedestrian access through the wall shall be provided
Response: Acknowledged, see site plan sheet C1 (north-east corner).
 - d. The wall shall comply with IDO 14-15-5-7(E) regarding the wall design.
Response: Acknowledged.
11. Noise
- a. Amplified sound (ex. Music) shall not occur before 10am and after 5pm
Response: Acknowledged, see note 16 sheet C1.
 - b. Noise shall not exceed the sound level limits established by the City's Noise Ordinance (Chapter 9, Article 9).
Response: Acknowledged, see note 17 sheet C1.
 - c. The applicant shall hire an independent consultant to conduct a study of amplified sound on the subject site, to be completed within the first year of operation.
Response: Acknowledged, see note 18 sheet C1.
12. Grading and drainage plan: Curb notches shall be shown in the same location as on the landscaping plan.
Response: Acknowledged, see grading & drainage plan and landscaping plan sheets C4 and LS-01.
13. CONDITIONS FROM THE CITY ENGINEER / TRANSPORTATION:
- a. A combination of the two restaurants shall require a Traffic Impact Study. Any infrastructure that would be required as part of the study shall be placed onto an infrastructure list.
Response: Acknowledged.
 - b. A shared access agreement shall be established between the lots.
Response: Acknowledged, see attached agreement(s).
 - c. 6-foot public sidewalk on Alameda Boulevard is required along the frontage of the property.
Response: Acknowledged, see site plan sheet C1
 - d. Provide all sidewalk widths on plan. A 6-foot ADA pathway shall be established from the main building to the right-of-way and from the handicapped spots to the main building.
Response: Acknowledged, see site plan sheet C1
 - e. Use keyed notes to call out all curb ramps on the plans. Provide curb, curb ramp, and sidewalk details. The sidewalk detail shall indicate a 2% maximum cross-slope.
Response: Acknowledged, see site plan sheet C1 and detail sheets.
 - f. Call out curb on the plan, and call out all curb radii. A minimum 6" to 8" high curb is required for separation between parking and sidewalk or landscaped islands.
Response: Acknowledged, see site plan sheet C1
 - g. The bike rack for the Dutch Brothers shall not obstruct the ADA pathway. Provide dimensioning for the bicycle spaces and adjacent pathway to make sure this will work.
Response: Acknowledged, see site plan sheet C1

- h. Label "No Parking" at the back of the van accessible aisles, and dimension all van accessible aisles on the site plan.

Response: Acknowledged, see site plan sheet C1

14. CONDITIONS FROM THE WATER UTILITY AUTHORITY (ABCWUA)

- a. Development on proposed Tract 2 will require its own availability statement.

Response: Acknowledged.

- b. Each proposed lot shall have a separate private sanitary sewer services.

Response: Acknowledged.

- c. The site plan shall indicate if the existing water services are to be used.

Response: Acknowledged.

- d. The location of existing private water and/or private sanitary sewer services, to determine if private service easements are needed to preserve the existing service(s) for the newly created lots, shall be field-verified.

Response: Acknowledged.

- e. The width of the private service easement shall be determined by the engineer or surveyor.

Response: Acknowledged.

15. CONDITIONS FROM THE FLOOD CONTROL AUTHORITY (AMAFCA)

- a. Storm water drainage connection to the AMAFCA Facility (Octopus Pond) will require coordination with AMAFCA. A License Agreement or Turnkey Agreement may be required.

Response: Acknowledged.

- b. The existing AMAFCA drainage easement needs to be shown on the site plan. Any improvements within the Easement will require coordination with AMAFCA and License Agreement

Response: Acknowledged, see existing easement keyed note B, sheet C6.

16. CONDITION FROM PNM

- a. The applicant shall contact PNM's New Service Delivery Department to coordinate electric service regarding the project. Please submit a service application at www.pnm.com/erequest for PNM to review.

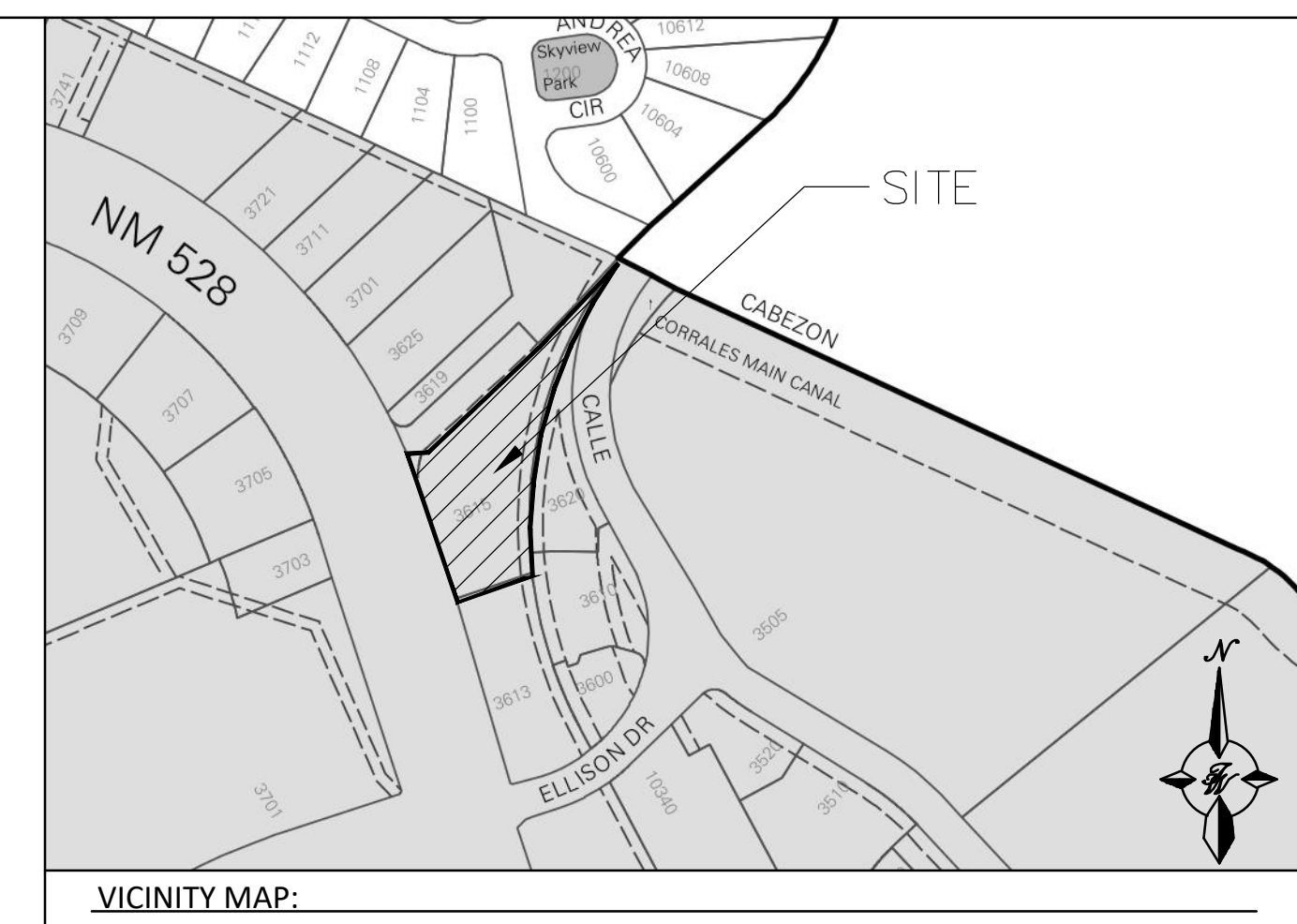
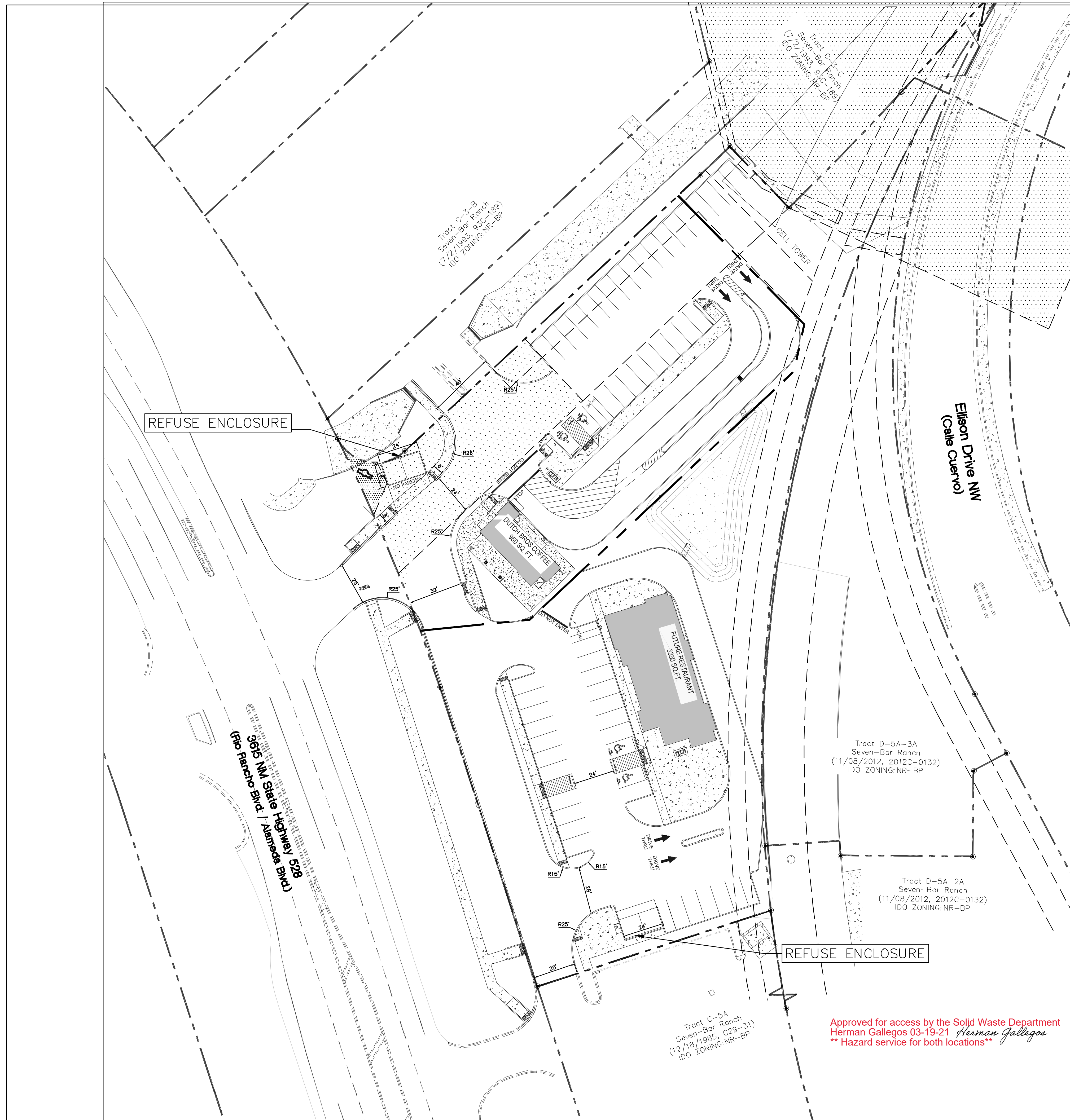
Response: Acknowledged.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

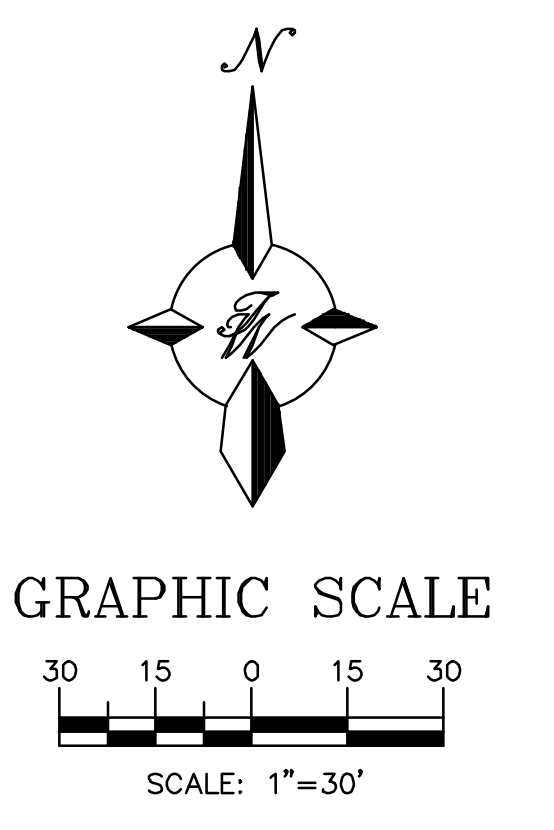


Ronald R. Bohannon, P.E



LEGEND

| | |
|--|----------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | SIDEWALK |
| | RETAINING WALL |



Approved for access by the Solid Waste Department
 Herman Gallegos 03-19-21 *Herman Gallegos*
 ** Hazard service for both locations**

| | | |
|---|--|-------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | NM 528 AND ELLISON DR | DRAWN BY LN |
| | SITE PLAN | DATE 9-18-2020 |
| | 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | DRAWING |
| | | SHEET # 1 |
| | | JOB # 2014069 |

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Dutch Bros 528 Hwy

AGIS MAP # A-14-Z

LEGAL DESCRIPTIONS: TRACT C-4-A PLAT OF TRACTS C3A, C3B, C3C AND C3A
SEVEN BAR RANCH

___ DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on _____ (date).

Applicant/Agent

Date

Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

___ WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on _____ (date).

Applicant/Agent

Date

ABCWUA Representative

Date

PROJECT # _____

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 10, 2020

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: HWY NM-528 & Ellison Dr Development
3615 Hwy 528 NW
Master Drainage Report and Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 11/23/20
Hydrology File: A14D019**

Dear Mr. Bohannon:

PO Box 1293

Based upon the information provided in your submittal received 11/30/2020, the Master Drainage Report and Conceptual Grading & Drainage Plan are preliminary approved for action by the DRB on Site Plan for Building Permit.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

MASTER DRAINAGE REPORT

HWY NM-528 AND ELLISON DR Commercial Development

3615 HWY 528 ALBUQUERQUE NM 87114

Prepared for:

JULIAN GARZA

Prepared by:

Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, New Mexico 87109

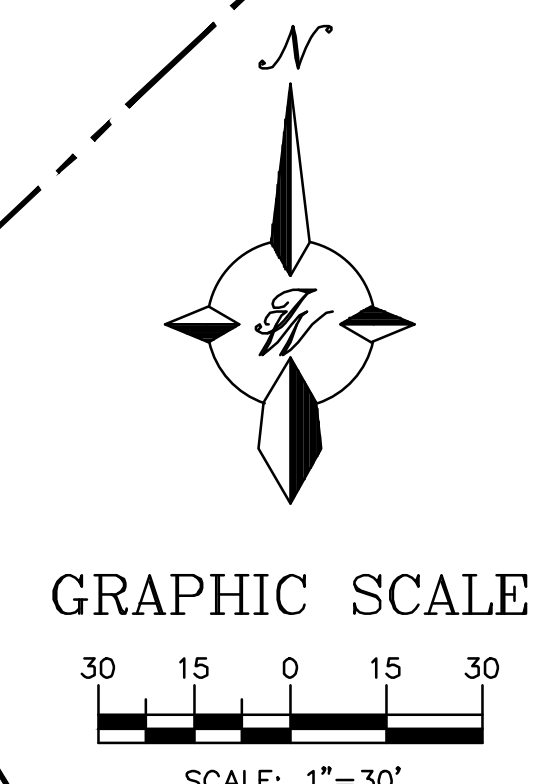
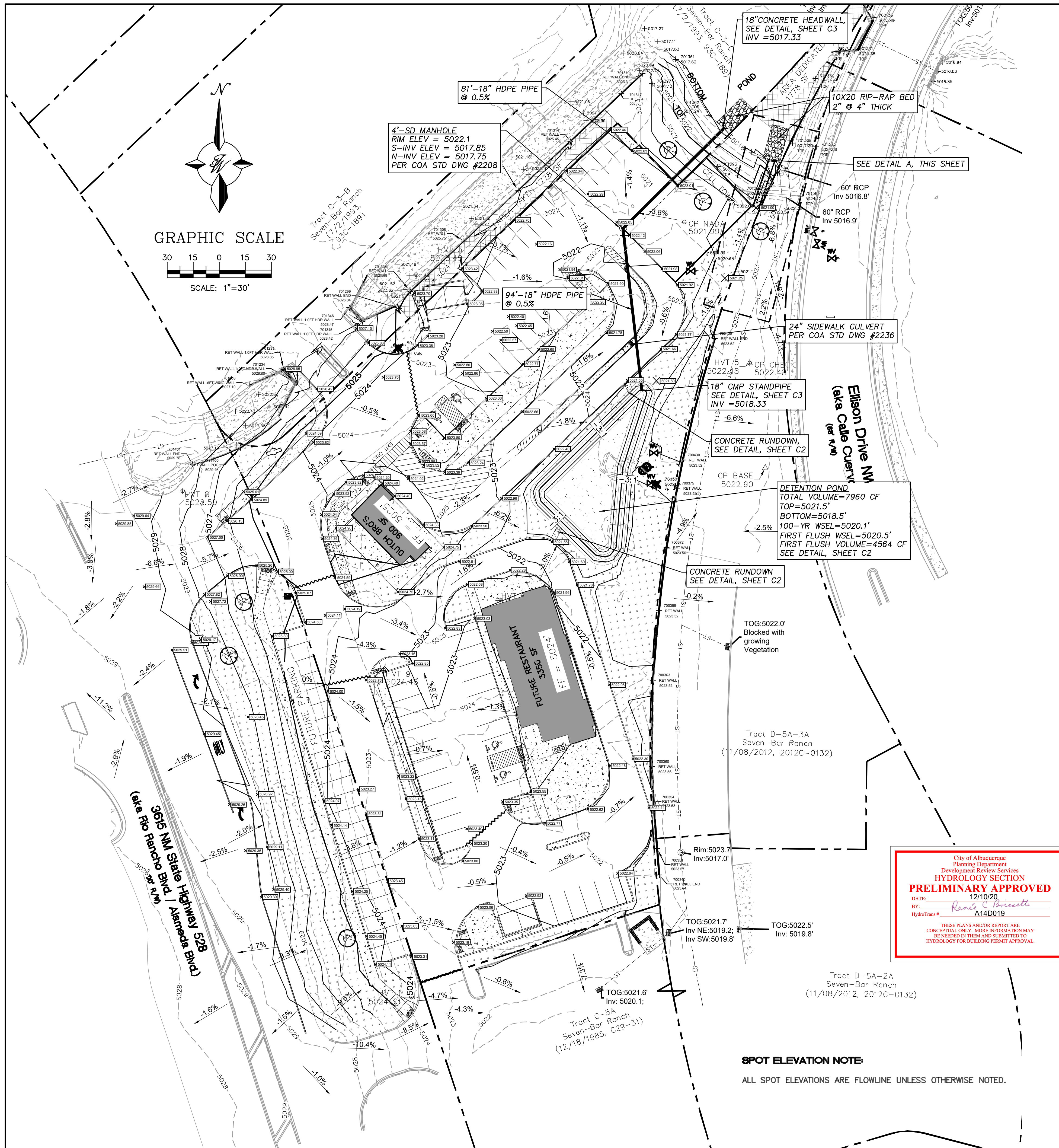
September, 2020

I certify that this report was prepared under my supervision, and I am a registered Professional Engineer in the State of New Mexico in good standing.



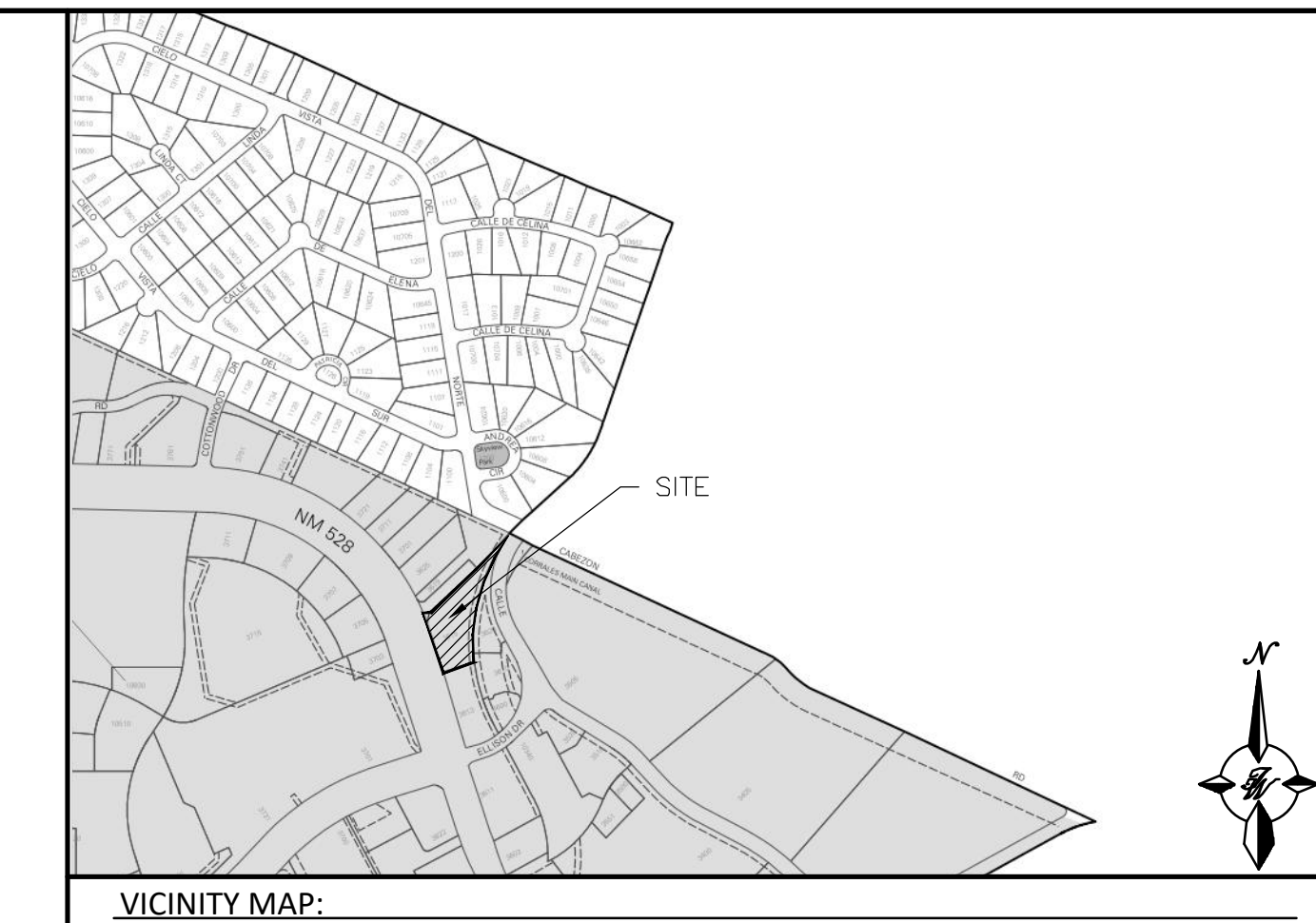
Ronald R. Bohannon
PE # 7868

| | |
|---|--------------------------|
| City of Albuquerque Planning Department Development Review Services HYDROLOGY SECTION | |
| PRELIMINARY APPROVED | |
| DATE: | 12/10/20 |
| BY: | <i>Renee C. Brisette</i> |
| HydroTrans # | A14D019 |
| THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL. | |

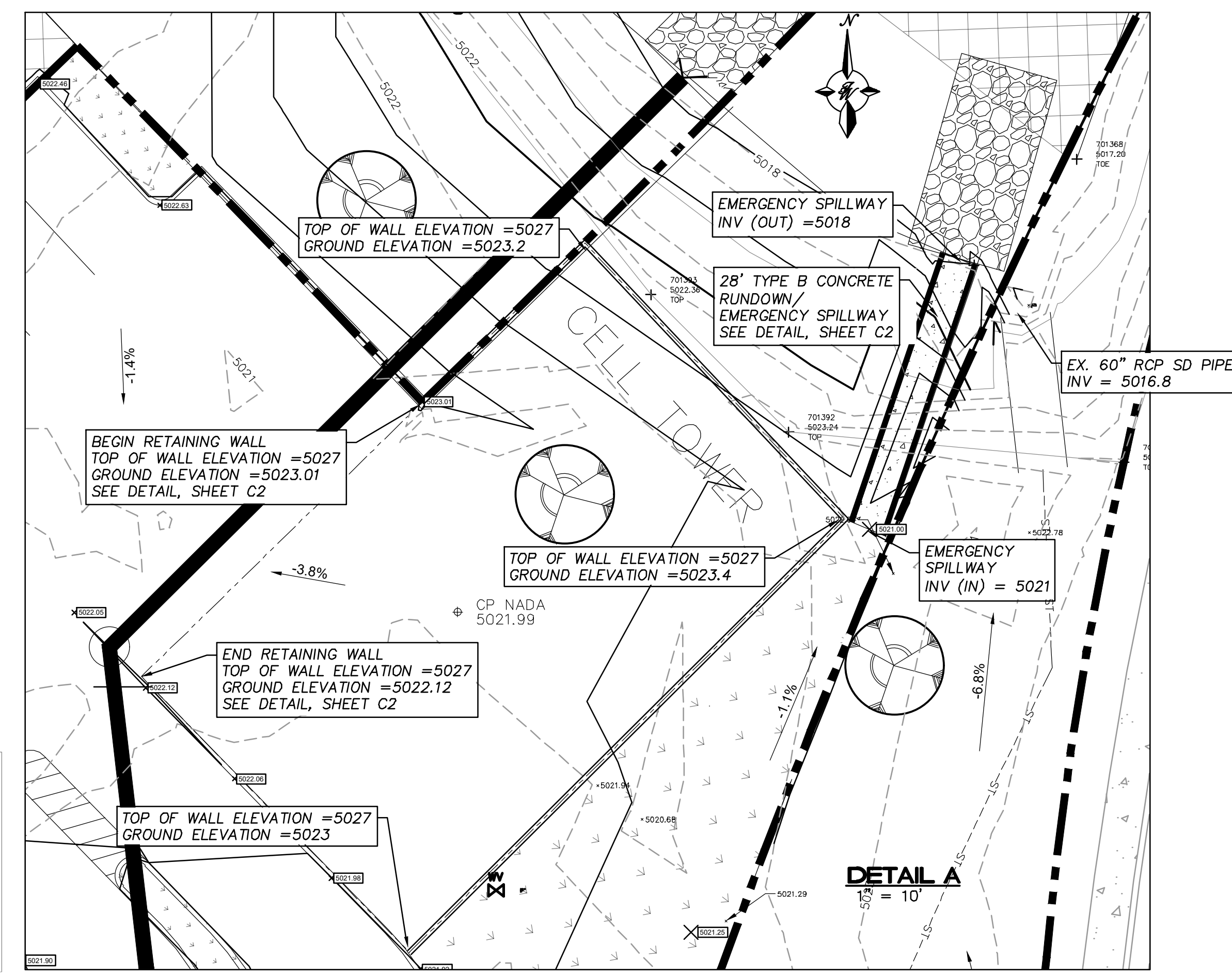


LEGEND

| | |
|--|----------------------------|
| | CURB & GUTTER |
| | BOUNDARY LINE |
| | SIDEWALK |
| | BUILDING |
| | LANDSCAPING |
| | RIP-RAP |
| | STRIPING |
| | CELL TOWER BOUNDARY |
| | WIRE FENCE |
| | CONTOUR MAJOR |
| | CONTOUR MINOR |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | GRADE BREAK |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING RETAINING WALL |
| | EXISTING CONCRETE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |
| | EXISTING STORM DRAIN LINE |
| | EXISTING STORM DRAIN MH |
| | EXISTING STORM DRAIN INLET |
| | SURVEY MONUMENT |
| | EXISTING TREE |



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 12/10/20
 BY: *Ronald R. Bohannan*
 HydroTeam # A14D019

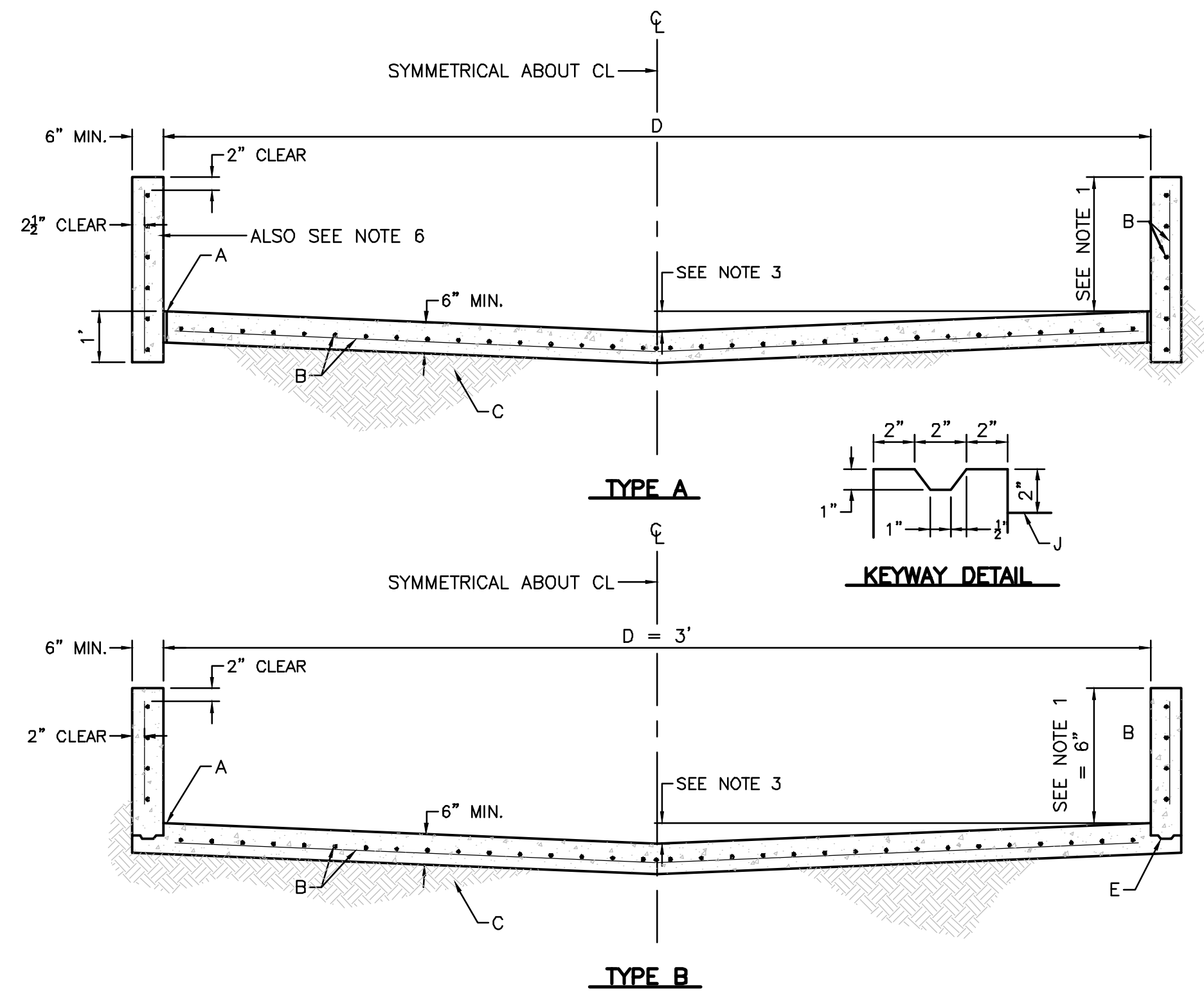
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED BY THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

SPOT ELEVATION NOTE:
 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

"PRELIMINARY - NOT FOR CONSTRUCTION"

| | | |
|-----------------|--|-----------------|
| ENGINEER'S SEAL | NM 528 AND ELLISON DR | DRAWN BY LN |
| | CONCEPTUAL GRADING PLAN TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | DATE 11-10-2020 |
| | | DRAWING |
| | | SHEET # C1 |
| | | JOB # 2014069 |

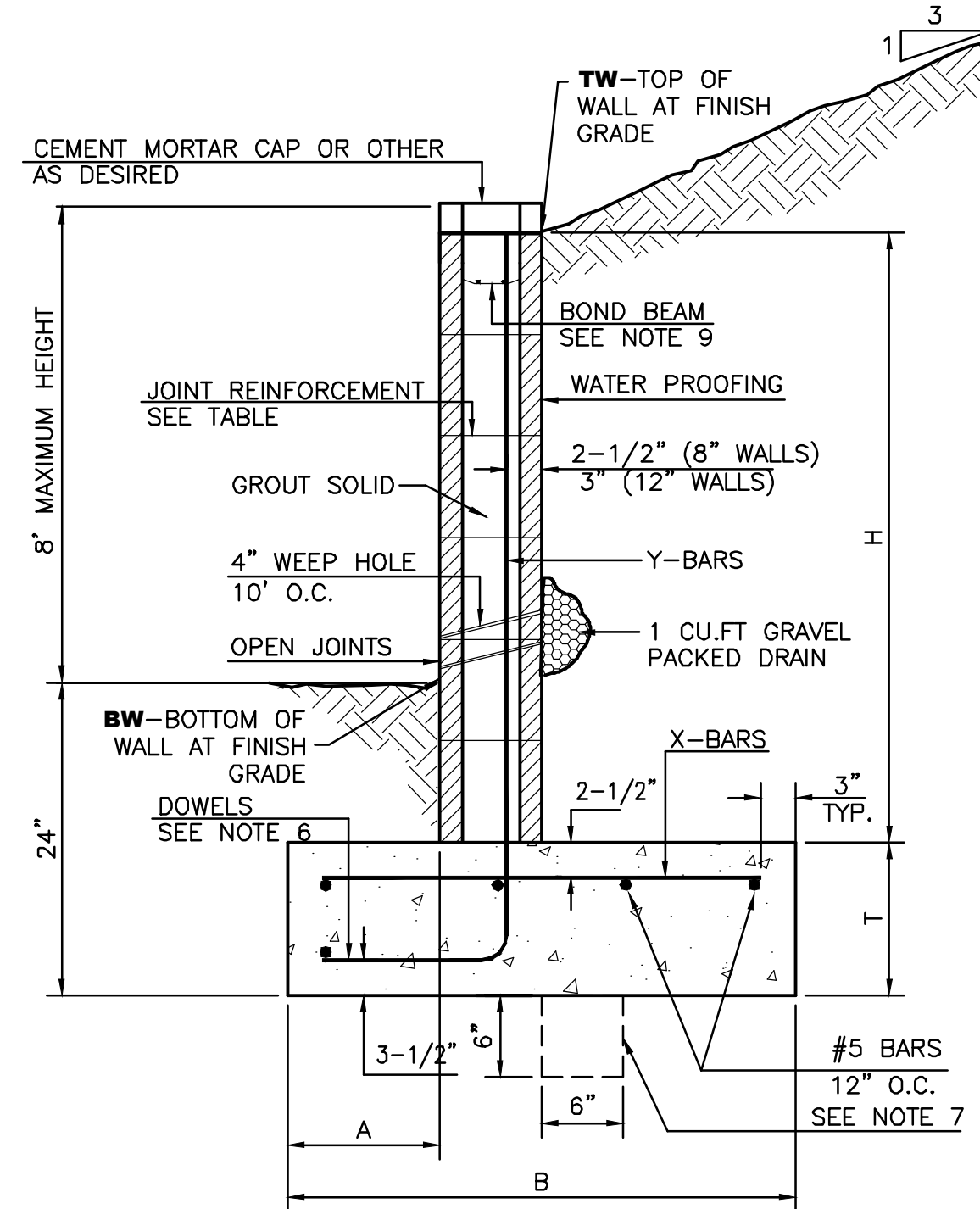


GENERAL NOTES:

1. CHANNEL DEPTHS EXCEEDING 2' WILL REQUIRE SEPARATE DESIGN FOR FLOOR AND WALLS.
2. TYPE B LINING WILL BE USED ONLY WHERE NO UTILITIES ARE LOCATED OR PROPOSED.
3. UP TO 16' WIDTH USE 4" INVERTED CROWN. 16' WIDTH AND OVER USE 6" INVERTED CROWN.
4. WARNING: THESE WALLS ARE NOT DESIGNED TO SUPPORT THE ADDITION OF GARDEN OR RETAINING TYPE WALLS.
5. THE OUTSIDE OF DRAINAGE WALLS SHALL NOT EXTEND BEYOND EASEMENT LINES OR ROW LINES.
6. 6" CONC. BLOCK WITH CORES FILLED WITH CONC. AND #4 BARS INSERTED INTO CORES AT 1'-6" O.C. MAY BE SUBSTITUTED FOR FORMED CONC. WALLS.

CONSTRUCTION NOTES:

- A. EXPANSION JOINT
- B. #4 REBARS @ 6" O.C. LONG AND 12" O.C. TRANSVERSE
- C. 6" COMPACTED SOIL 95% ASTM D 1557
- D. WIDTH OF CHANNEL = 3"
- E. KEYED CONSTRUCTION JOINT



8 INCH REINFORCED CONCRETE MASONRY WALL

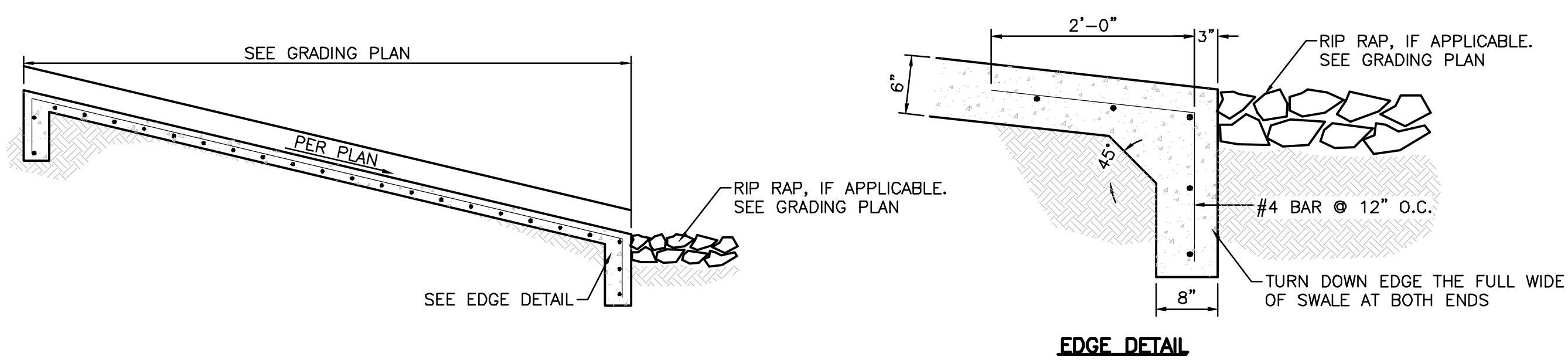
| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 2'-0" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 2'-8" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 3'-4" | 8" | 2'-4" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 4'-0" | 10" | 2'-8" | 9" | #4 @32" O.C. | #4 @24" O.C. |
| 4'-8" | 12" | 3'-4" | 10" | #5 @32" O.C. | #4 @18" O.C. |
| 5'-4" | 14" | 3'-10" | 10" | #6 @16" O.C. | #4 @18" O.C. |
| 6'-0" | 16" | 4'-8" | 12" | #6 @8" O.C. | #4 @12" O.C. |

12 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 5'-4" | 14" | 3'-8" | 10" | #6 @18" O.C. | #4 @24" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @18" O.C. |
| 6'-8" | 16" | 4'-6" | 12" | #6 @24" O.C. | #5 @18" O.C. |
| 7'-4" | 18" | 4'-10" | 12" | #6 @16" O.C. | #5 @18" O.C. |
| 8'-0" | 20" | 5'-4" | 12" | #7 @18" O.C. | #6 @12" O.C. |
| 8'-8" | 20" | 5'-8" | 12" | #7 @16" O.C. | #6 @12" O.C. |

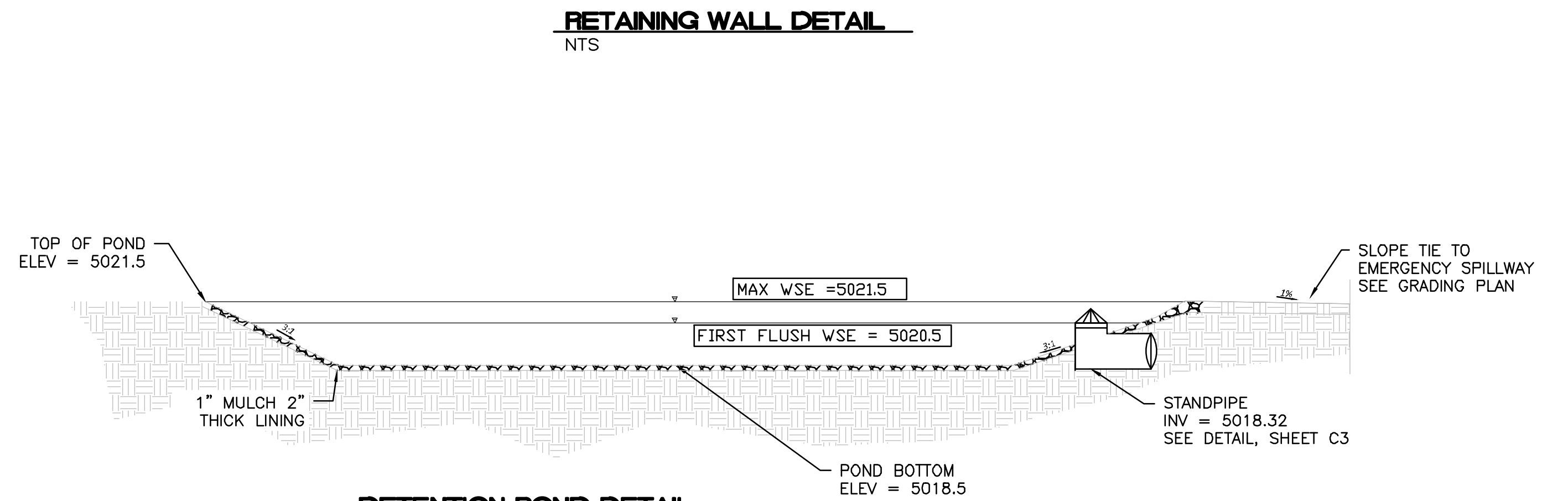
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



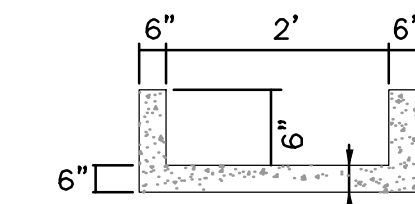
CONCRETE DRAINAGE RUNDOWN

NTS



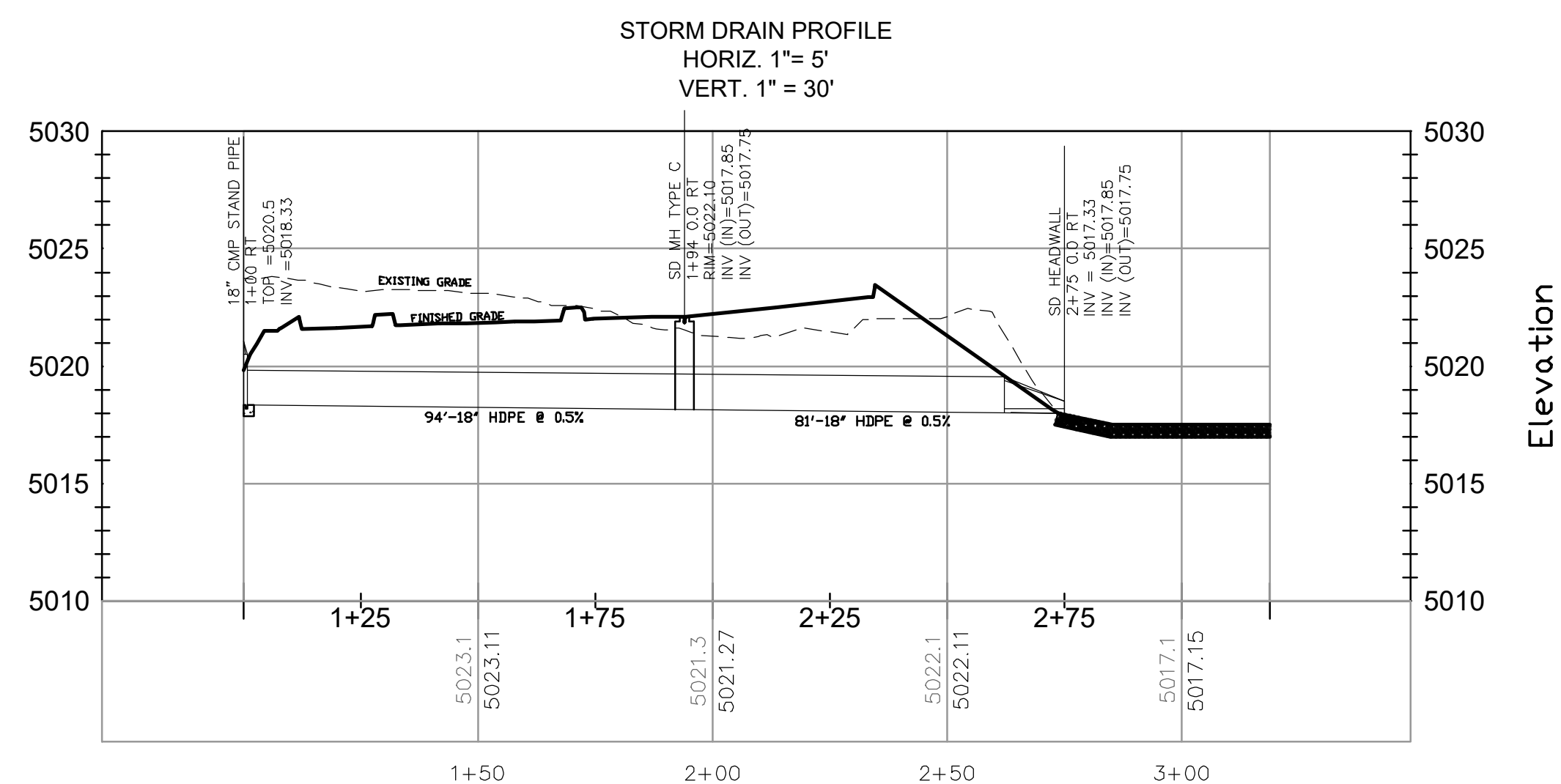
RETAINING WALL DETAIL

NTS



DETENTION POND DETAIL

NTS

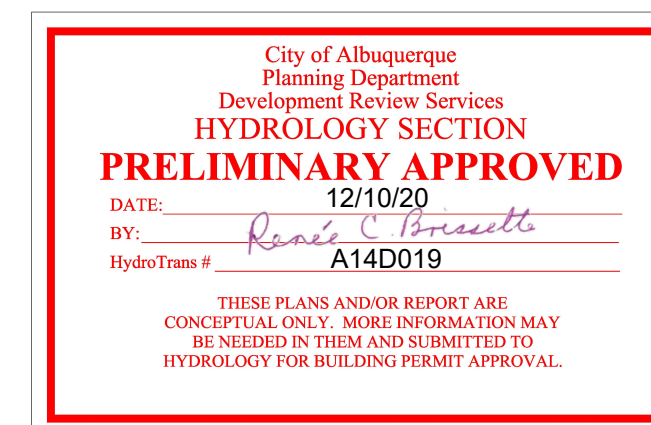


STORM DRAIN PROFILE
HORIZ. 1" = 5'
VERT. 1" = 30'

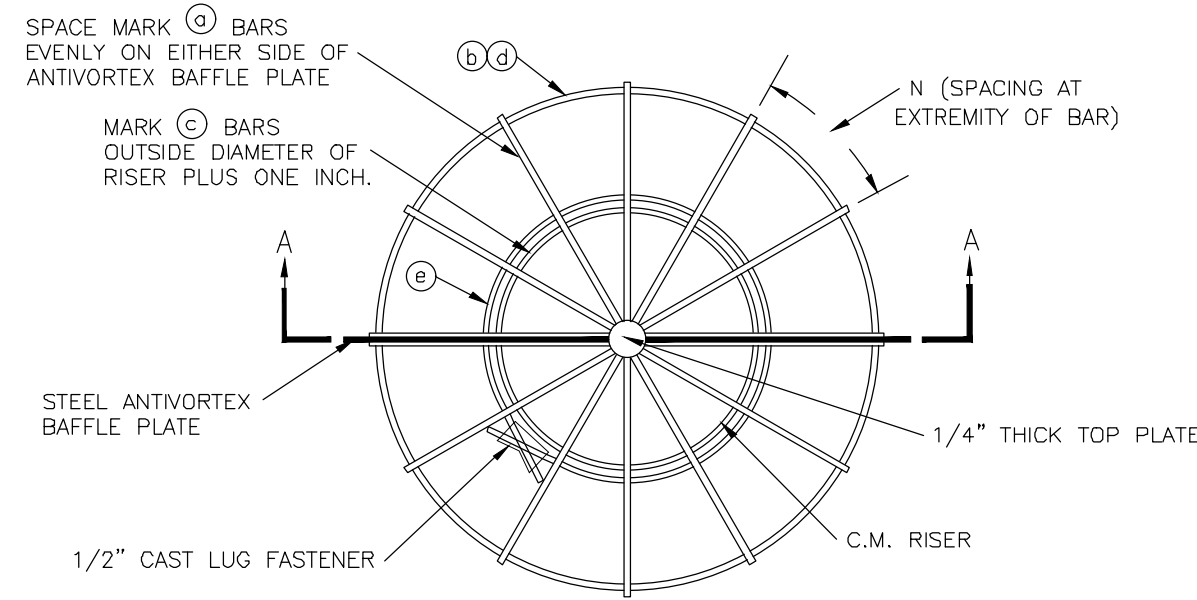
CONCRETE RUNDOWN

NTS

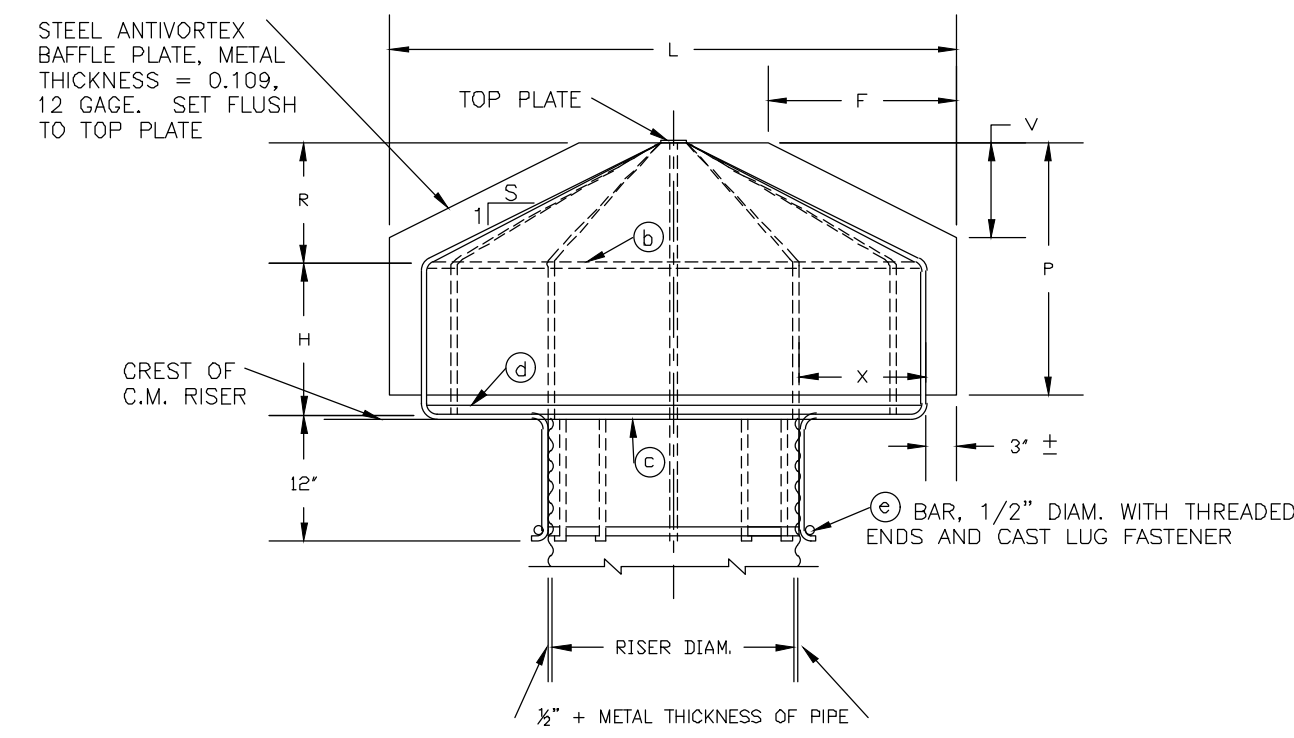
"PRELIMINARY - NOT FOR CONSTRUCTION"



| | | |
|-----------------|---|-----------------|
| ENGINEER'S SEAL | NM 528 AND ELLISON DR | DRAWN BY LN |
| | CONCEPTUAL DETAILS (A) TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | DATE 11-10-2020 |
| | | DRAWING |
| | | SHEET # C2 |
| | | JOB # 2014069 |



PLAN VIEW

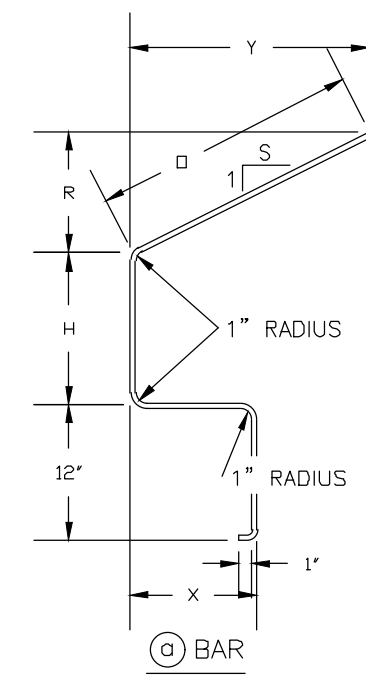


SECTION A-A

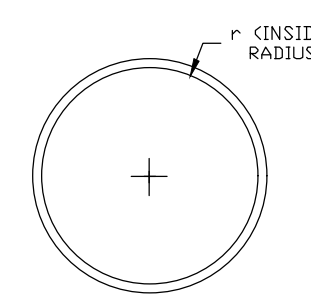
ALL BARS FORMING CONICAL TRASH RACK ARE MARK (a) BARS, UNLESS OTHERWISE NOTED.

NOTES:

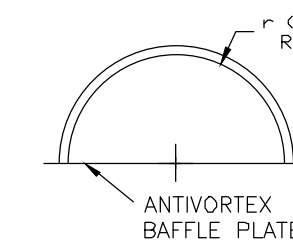
1. WELD 4 MARK (a) BARS TO BAFFLE PLATE AND TO TOP PLATE. WELD MARK (b) AND MARK (d) BARS TO 4 MARK (c) BARS. WELD MARK (e) BAR TO MARK (c) BARS. WELD REMAINING MARK (c) BARS TO MARK (c), MARK (c), AND MARK (d) BARS AND TOP PLATE.
2. THE TRASH RACK AND ANTIVORTEX BAFFLE PLATE, MAY BE FABRICATED AS A UNIT, OR TRASH RACK MAY BE FABRICATED IN IDENTICAL HALVES AND ATTACHED TO BAFFLE PLATE WITH 1/2" DIA. U BOLTS SPACED APPROXIMATELY 12 INCHES CENTER TO CENTER ALONG THE VERTICAL AND INCLINED SECTIONS OF THE MARK (a) BARS NEXT TO THE PLATE.
3. ALL BARS ARE SMOOTH ROUND BARS.
4. COAT WITH A RUST INHIBITIVE PAINT.



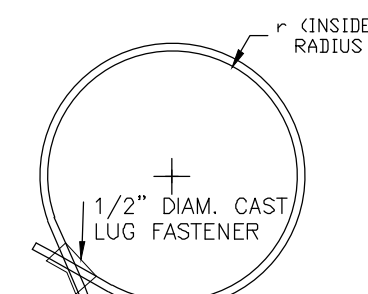
BENDING DIAGRAMS



(c) AND (d) BARS



(b) BAR



(e) BAR

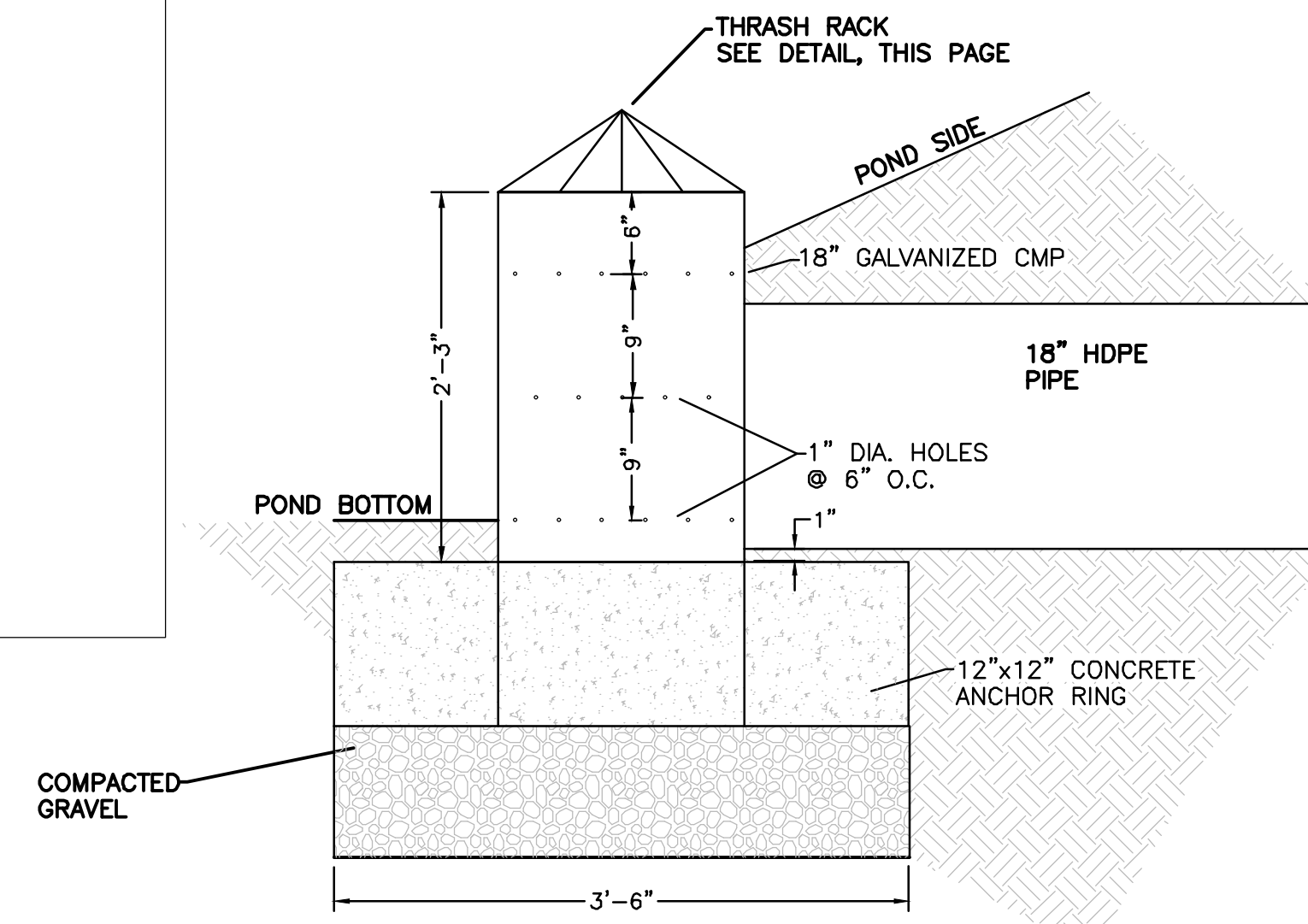
W-275 Page 4 of 3

| | | | | |
|---|--|--------------|--|---|
| United States Department of Agriculture Natural Resources Conservation Service | CONICAL TRASH RACK AND BAFFLE PLATE FOR 18" TO 36" DIAM. C.M. RISERS | | Designed: #### Drawn: #### Checked: #### Approved: #### | Date: W-275 Date: 07/14 Sheet XX of ### |
| | CLIENT: #### | COUNTY: #### | Date: W-275 | File Name: W-275 |
| | | | Date: 07/14 | File Name: W-275 |
| | | | Approved: #### | Sheet XX of ### |

| TABLE OF DIMENSIONS AND QUANTITIES | | | | | | | | | | | | |
|-------------------------------------|--------|--------|--------|--------|--------|-----------|-------------------------|----------|--------|--------|--------|--------|
| (a) BARS 5/8" DIAMETER | | | | | | | ANTIVORTEX BAFFLE PLATE | | | | | |
| H | R | X | Y | S | O | TOTAL | NO. | N | L | P | F | V |
| INCHES | INCHES | INCHES | INCHES | INCHES | INCHES | LENGTH | REQ'D | INCHES | INCHES | INCHES | INCHES | INCHES |
| 18" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 9 | 14-1/8 | 6 | 14-1/8 | 1 | 20 | 4' | 10 | 11-7/16 | 3' | 21 | 8 | 8 |
| 21" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 12 | 9-1/4 | 9 | 18-1/2 | 2 | 20-5/8 | 4' 6-5/8" | 12 | 12-3/8 | 4' | 18 | 12 | 6 |
| 24" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 15 | 11-3/8 | 12 | 22-3/4 | 2 | 25-3/8 | 5' 5-3/8" | 12 | 14-13/16 | 4'-6" | 24 | 18 | 9 |
| 30" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 18 | 9-1/2 | 15 | 28-1/2 | 3 | 30 | 6' 4" | 14 | 15-13/16 | 6' | 24 | 21 | 7 |
| 36" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 21 | 12-1/2 | 21 | 37-5/8 | 3 | 39-1/2 | 7'10-1/2" | 16 | 17-5/16 | 7'-6" | 30 | 30 | 10 |

| TABLE OF DIMENSIONS AND QUANTITIES | | | | | | | | | | | | |
|-------------------------------------|----------|---------|------------------------|--------|---------|------------------------|----------|--------|------------------------|--------|--------|-----------|
| (b) BARS 5/8" DIAMETER | | | (c) BARS 5/8" DIAMETER | | | (d) BARS 5/8" DIAMETER | | | (e) BARS 5/8" DIAMETER | | | TOP PLATE |
| NO. | r | LENGTH | NO. | r | LENGTH | NO. | r | LENGTH | NO. | r | LENGTH | DIAM. |
| REQ'D | INCHES | INCHES | REQ'D | INCHES | INCHES | REQ'D | INCHES | INCHES | REQ'D | INCHES | INCHES | INCHES |
| 18" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 2 | 14-5/16 | 46 | 1 | 10 | 62-10 | 1 | 14-5/16 | 92 | 1 | 10-1/4 | 73 | 3 |
| 21" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 2 | 18-13/16 | 60 | 1 | 11-1/2 | 72-1/4 | 1 | 18-13/16 | 120 | 1 | 11-3/4 | 82-1/2 | 3-1/2 |
| 24" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 2 | 23-5/16 | 74 | 1 | 13 | 81-8 | 1 | 23-5/16 | 148 | 1 | 13-1/4 | 91-1/2 | 3-1/2 |
| 30" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 2 | 29-5/16 | 93 | 1 | 16 | 100-1/2 | 1 | 29-5/16 | 186 | 1 | 16-1/4 | 111 | 4 |
| 36" DIAMETER CORRUGATED METAL RISER | | | | | | | | | | | | |
| 2 | 38-3/8 | 121-1/2 | 1 | 19 | 119-5 | 1 | 38-3/8 | 243 | 1 | 19-1/4 | 129 | 4 |

THRASH RACK DETAIL
NTS

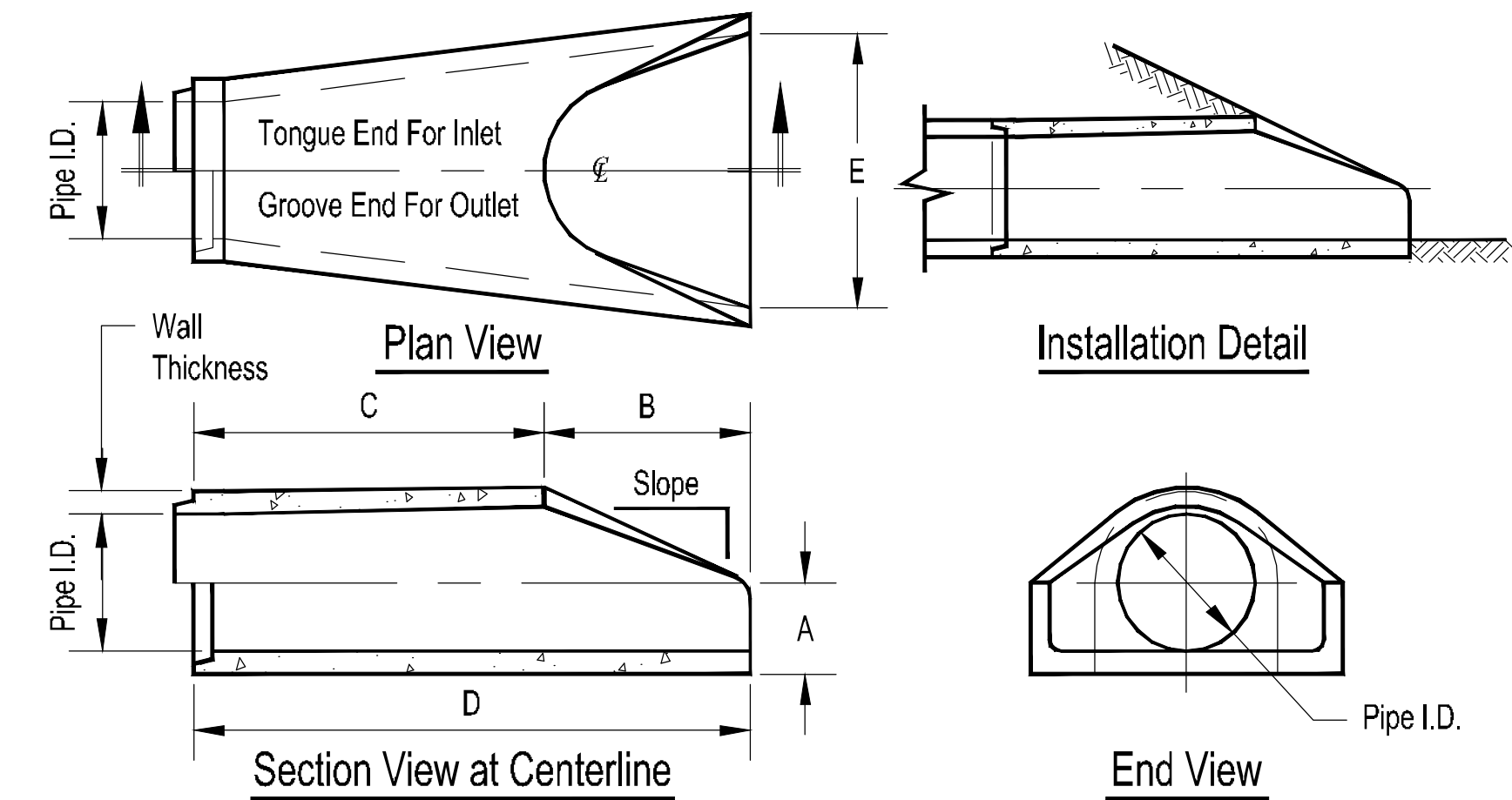


STAND PIPE DETAIL
NTS



Concrete Pipe Division

Flared End Section
12" - 72" Diameter Pipe



| Pipe Inner Diameter (inches) | Wall Thickness (inches) | A (inches) | B (inches) | C (inches) | D (inches) | E (inches) | Slope |
|------------------------------|-------------------------|------------|------------|------------|------------|------------|-------|
| 12 | 2 | 4 | 24 | 48 7/8 | 72 7/8 | 30 | 3:1 |
| 15 | 2 1/4 | 6 | 27 | 46 | 73 | 30 | 3:1 |
| 18 | 2 1/2 | 9 | 27 | 46 | 73 | 36 | 3:1 |
| 24 | 3 | 9 1/2 | 43 1/2 | 30 | 73 1/2 | 48 | 3:1 |
| 30 | 3 1/2 | 12 | 54 | 19 3/4 | 73 3/4 | 60 | 3:1 |
| 36 | 4 | 15 | 63 | 34 3/4 | 97 3/4 | 72 | 3:1 |
| 42 | 4 1/2 | 21 | 63 | 35 | 98 | 78 | 3:1 |
| 48 | 5 | 24 | 72 | 26 | 98 | 84 | 3:1 |
| 54 | 5 1/2 | 27 | 65 | 35 | 100 | 90 | 2.4:1 |
| 60 | 6 | 30 | 60 | 39 | 99 | 96 | 2:1 |
| 66 | 6 1/2 | 32 | 78 | 21 | 99 | 102 | 2:1 |
| 72 | 7 | 34 | 78 | 21 | 99 | 108 | 2:1 |

Dimensions may vary depending upon equipment availability.

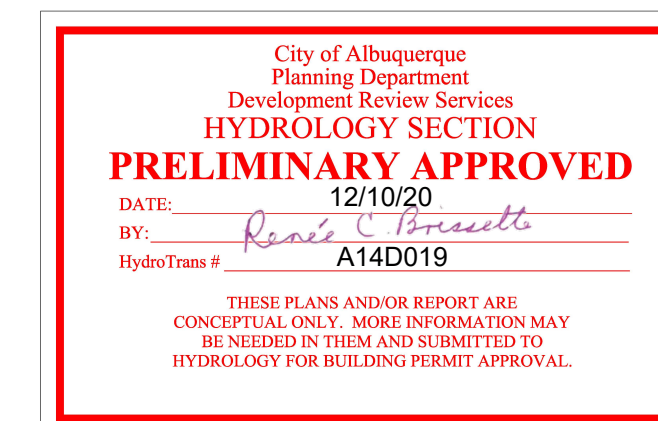
Notes:

1. Produced to meet ASTM specifications.
2. Contact a Concrete Pipe Division representative for details not listed on this sheet.

Rinker 024

CONCRETE FLARED END SECTION DETAIL
NTS

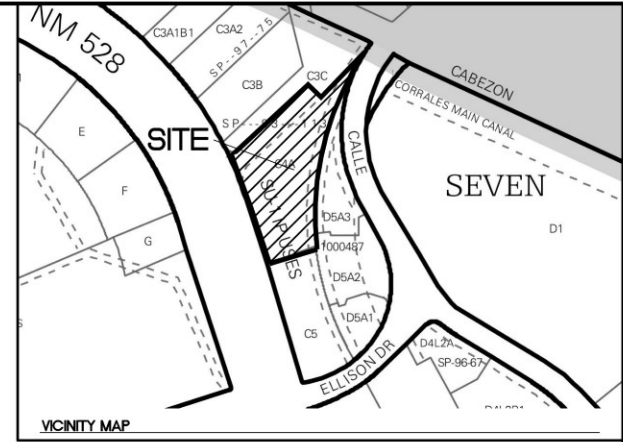
PRELIMINARY - NOT FOR CONSTRUCTION



| | | |
|--|---|--|
| ENGINEER'S SEAL | NM 528 AND ELLISON DR CONCEPTUAL DETAILS (B) | DRAWN BY LN DATE 11-10-2020 DRAWING SHEET # C3 JOB # 2014069 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | | |



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - ▭ BUILDING
 - ▬ EXISTING CURB & GUTTER
 - ▬ FIRE ACCESS
 - EXISTING HYDRANT
 - ⊥ EXISTING GATE VALVE



- LEGAL DESCRIPTION**
- NOTES:**
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
 - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
 - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

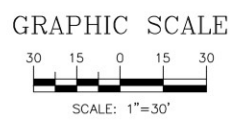
DUTCH BROTHERS COFFEE
 ALAMEDA BLVD AND ELLISON DRIVE NW
 ALBUQUERQUE, NM 87114

DRIVE THRU COFFEE SHOP
 OCCUPANCY TYPE: ASSEMBLY (GROUP A-2)
 LOT AREA: 32,600 SF (0.75 ACRES)
 BUILDING AREA: 900 SF

CONSTRUCTION TYPE: V-B

NOT SPRINKLED
 MAX BUILDING HEIGHT: 28'

- KEYED NOTES**
- ① KNOX BOX
 - ② EXISTING FIRE HYDRANT
 - ③ EXISTING 8" GATE VALVE

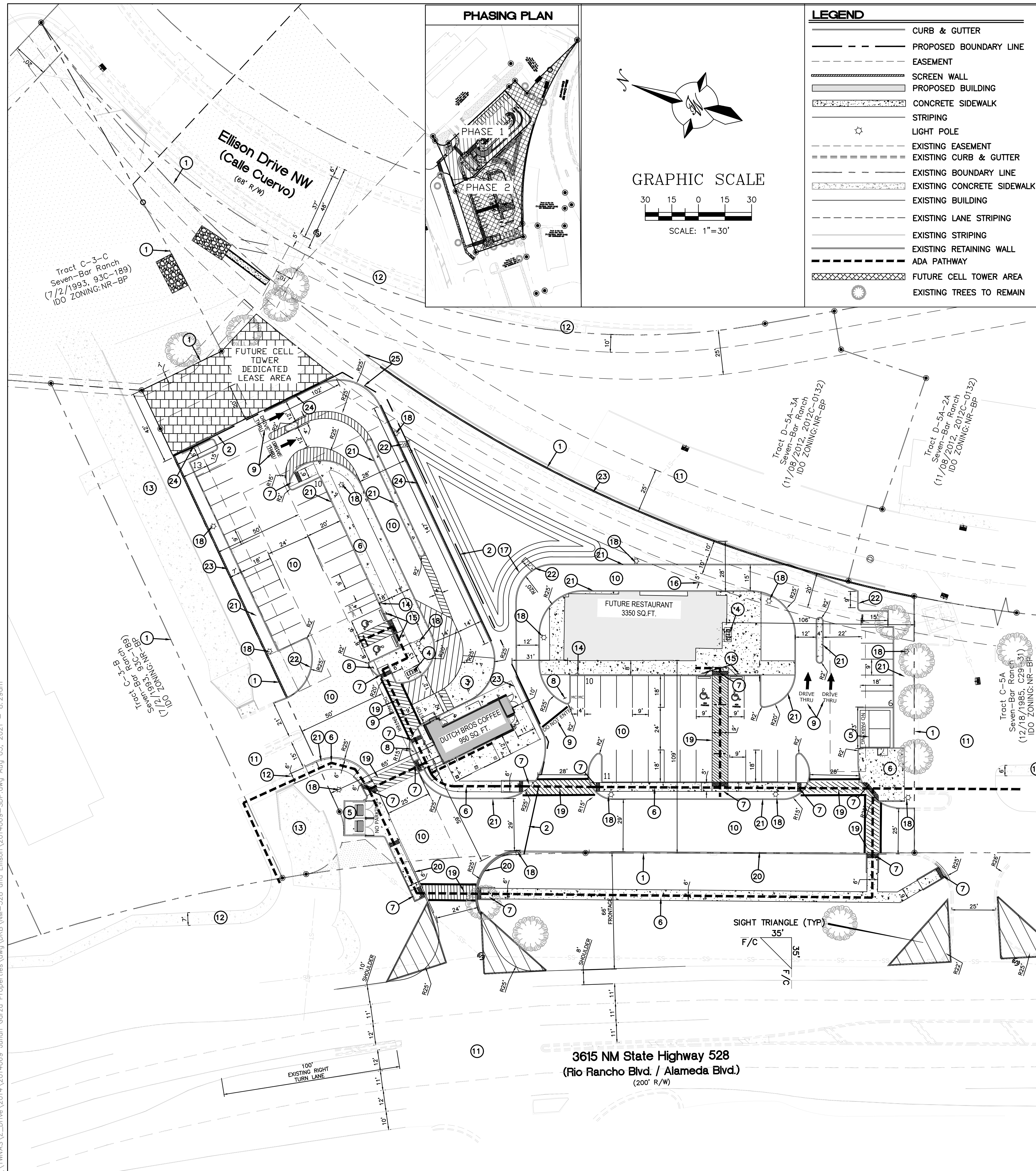


CAUTION

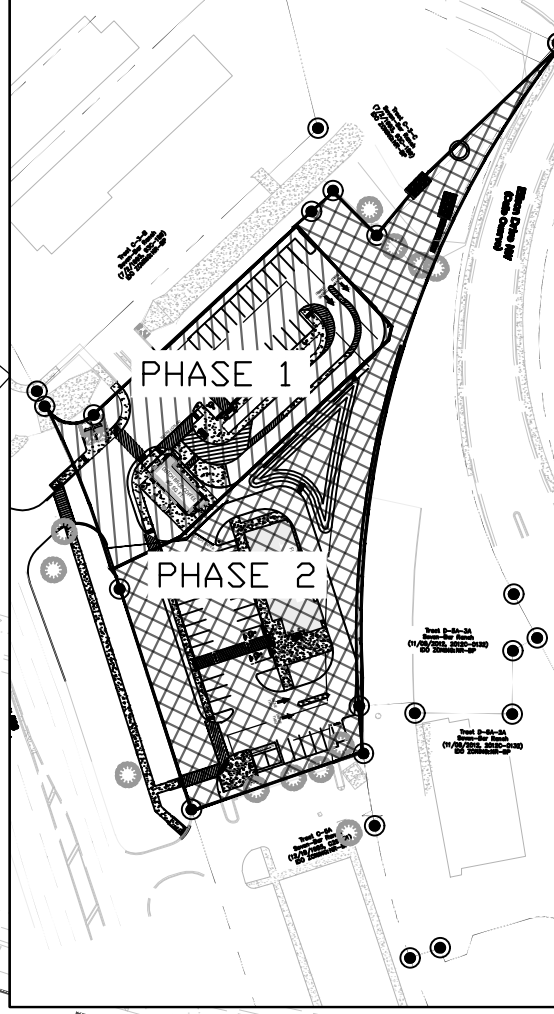
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

| | | |
|--|--|-----------------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | NM 528 AND ELLISON DR DUTCH BROTHERS | DRAWN BY LN |
| | FIRE 1 PLAN | DATE 9-18-2020 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | | DRAWING 2014069-FIRE ONE |
| | | SHEET # F1 |
| | | JOB # 2014069 |

\\TMSASZ_Drive\2014_2014069-Julian_Gorza_Properties\dwg\DRB\2014069-FIRE ONE.dwg Sep 22, 2020 - 9:34am

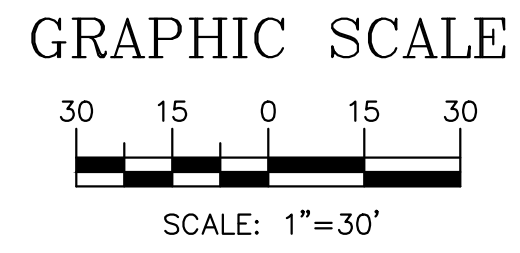


PHASING PLAN



LEGEND

| | |
|---------|----------------------------|
| --- | CURB & GUTTER |
| - - - - | PROPOSED BOUNDARY LINE |
| - - - - | EASEMENT |
| ▬▬▬▬ | SCREEN WALL |
| ▬▬▬▬ | PROPOSED BUILDING |
| ▬▬▬▬ | CONCRETE SIDEWALK STRIPING |
| ☆ | LIGHT POLE |
| - - - - | EXISTING EASEMENT |
| - - - - | EXISTING CURB & GUTTER |
| - - - - | EXISTING BOUNDARY LINE |
| - - - - | EXISTING CONCRETE SIDEWALK |
| - - - - | EXISTING BUILDING |
| - - - - | EXISTING LANE STRIPING |
| - - - - | EXISTING STRIPING |
| - - - - | EXISTING RETAINING WALL |
| - - - - | ADA PATHWAY |
| ▬▬▬▬ | FUTURE CELL TOWER AREA |
| ▬▬▬▬ | EXISTING TREES TO REMAIN |



KEYED NOTES

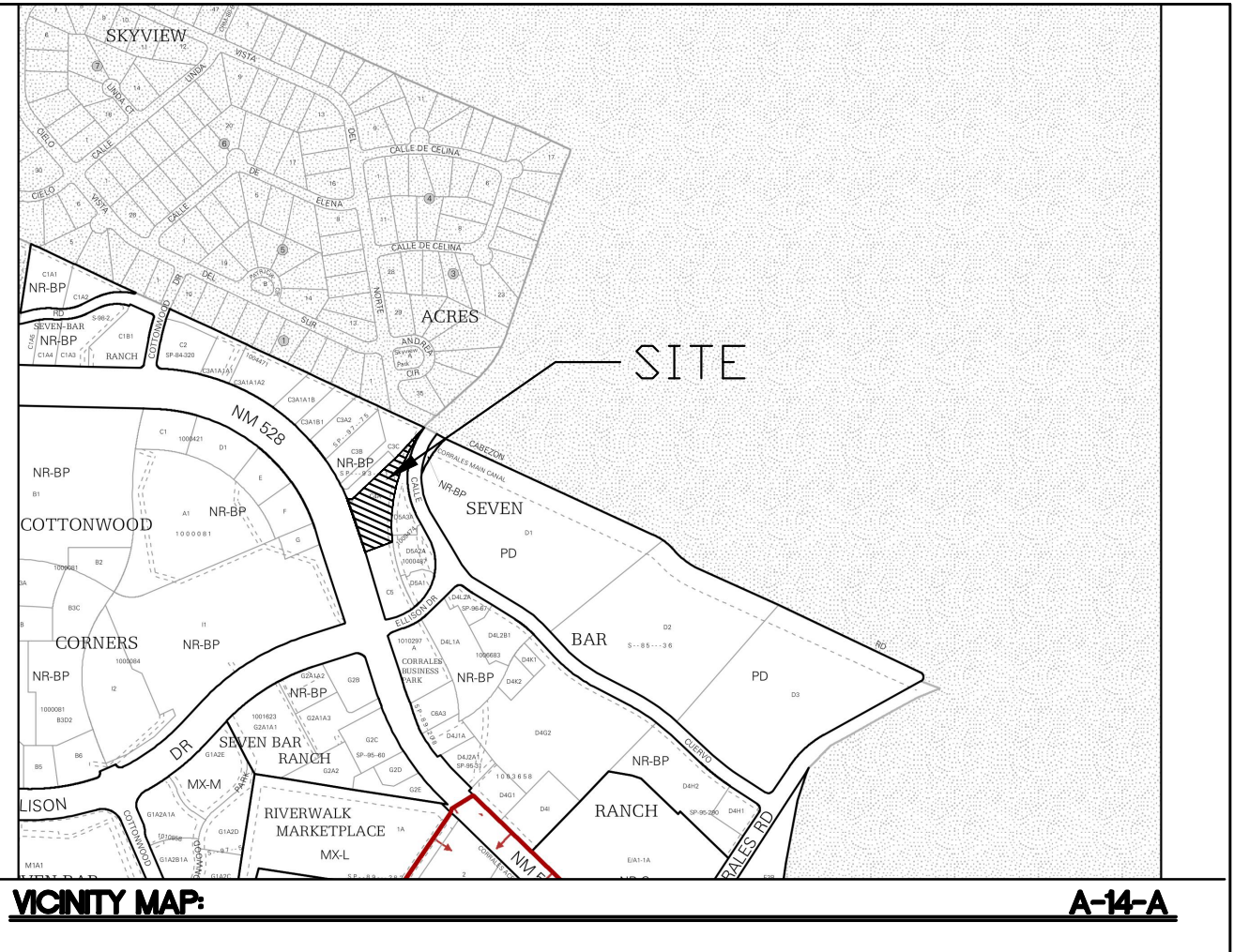
- 1 EXISTING PROPERTY LINE
- 2 PROPOSED PROPERTY LINE
- 3 PORTLAND CEMENT CONCRETE PAVING (SEE DETAIL SHEET C2.1)
- 4 BIKE RACK (SEE DETAIL SHEET C2.1)
- 5 REFUSE ENCLOSURE W/MEDIUM SAND FINISH (SEE DETAIL SHEET C2.1)
- 6 SIDEWALK PER COA STD #2430
- 7 ADA RAMP WITH TRUNCATED DOMES PER COA STD #2443
- 8 "DO NOT ENTER" SIGN (SEE DETAIL SHEET C2.2)
- 9 STRIPING (SEE DETAILS SHEET C2.2)
- 10 NEW ROADWAY PAVING (SEE DETAIL SHEET C2.1)
- 11 EXISTING PAVING
- 12 EXISTING SIDEWALK
- 13 EXISTING DRAINAGE CHANNEL
- 14 MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C2.2)
- 15 ADA PARKING ONLY SIGN (SEE DETAIL, SHEET C2.2)
- 16 5' ADDITIONAL WATERLINE EASEMENT TO BE GRANTED
- 17 DRAINAGE POND EASEMENT TO BE GRANTED
- 18 NEW LIGHT POLE (SEE DETAIL, SHEET C2.2)
- 19 9' WIDE PEDESTRIAN CROSSWALK (SEE DETAIL, SHEET C2.2)
- 20 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415A
- 21 6" PRIVATE CURB AND GUTTER (SEE DETAIL, SHEET C2.3)
- 22 CURB NOTCH (SEE DETAIL, SHEET C5)
- 23 3' HIGH SCREEN WALL PAINTED TAN (SEE DETAIL, SHEET C2.3)
- 24 6' HIGH SCREEN WALL PAINTED TAN (SEE DETAIL, SHEET C2.3)
- 25 PEDESTRIAN PASS THROUGH

INDEX TO DRAWINGS

- C1. SITE PLAN-EPC
- C2.1 SITE PLAN DETAILS
- C2.2 SITE PLAN DETAILS
- C2.3 SITE PLAN DETAILS
- LS-01 LANDSCAPE PLAN
- C4. GRADING AND DRAINAGE PLAN
- C5. GRADING AND DRAINAGE DETAILS
- C6. MASTER UTILITY PLAN
- A6.1 STRUCTURE ELEVATIONS
- A-1 2017 GOVERNING SITE PLAN

NOTES

1. SITE PLAN SHALL SUPERSEDE SITE PLAN DATED 2017 FOR THE SAME GEOGRAPHICAL BOUNDARIES.
2. PHASE 2 BUILDING SHALL GO THROUGH THE DEVELOPMENT REVIEW BOARD (DRB) PROCESS, AT WHICH A TRAFFIC IMPACT STUDY (TIS) SHALL BE REQUIRED.
3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
4. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
5. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
6. ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
8. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS.
9. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE (COA) REQUIREMENTS INCLUDING THE DEVELOPMENT PROCESS MANUAL AND ADA CRITERIA.
10. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING SANITARY DRAINS.
11. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6" OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER PNM ELECTRICAL SERVICE GUIDE AT WWW.PNM.COM FOR SPECIFICATIONS.
12. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD.
13. A CROSS ACCESS AND PARKING AGREEMENT SHALL BE RECORDED PRIOR TO THE RECORDING OF THE PLAN.
14. ALL FUTURE WIRELESS TELECOMMUNICATION FACILITIES SHALL FOLLOW ALL COA WIRELESS TELECOMMUNICATION FACILITY REGULATIONS AND APPLICABLE COA STANDARD REGULATION AND CODES.
15. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8, OUTDOOR AND SITE LIGHTING.
16. AMPLIFIED SOUND (EX. MUSIC) SHALL NOT OCCUR BEFORE 10 AM AND AFTER 5 PM.
17. NOISE SHALL NOT EXCEED THE SOUND LEVEL LIMITS ESTABLISHED BY THE CITY'S NOISE ORDINANCE (CHAPTER 9, ARTICLE 9).
18. THE APPLICANT SHALL HIRE AN INDEPENDENT CONSULTANT TO CONDUCT A STUDY OF AMPLIFIED SOUND ON THE SUBJECT SITE, TO BE COMPLETED WITHIN THE FIRST YEAR OF OPERATIONS.



LEGAL DESCRIPTION:
TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.99 AC M/L OR 86,684 SQ FT M/L

SITE DATA

| DUTCH BROTHERS COFFEE | FUTURE RESTAURANT |
|---|---|
| IDO ZONING: NR-BP | IDO ZONING: NR-BP |
| PROPOSED USAGE: DRIVE THRU RESTAURANT | PROPOSED USAGE: FAST FOOD RESTAURANT |
| LOT AREA: 32,670 SF (0.75 ACRE) | LOT AREA: 54,014 SF (1.24 ACRE) |
| BUILDING AREA: 950 SF | BUILDING AREA: 3,350 SF |
| PARKING: SPACES REQUIRED: 8 (8 SPACES/ 1,000 SF) | PARKING: SPACES REQUIRED: 27 (8 SPACES/ 1,000 SF) |
| PARKING: SPACES PROVIDED: 23 (INCLUDES HC PARKING) | PARKING: SPACES PROVIDED: 27 (INCLUDES HC PARKING) |
| HC PARKING: SPACES REQUIRED: 2 HC PARKING: SPACES PROVIDED: 2 (1 VAN ACCESSIBLE) | HC PARKING: SPACES REQUIRED: 2 HC PARKING: SPACES PROVIDED: 2 (1 VAN ACCESSIBLE) |
| MC PARKING: SPACES REQUIRED: 1 (1 PER 1-25 REQUIRED PARKING SPACES) | MC PARKING: SPACES REQUIRED: 2 MC PARKING: SPACES PROVIDED: 2 |
| BICYCLE PARKING: SPACES REQUIRED: 3 (3 SPACES OR 10% OF REQUIRED PARKING) | BICYCLE PARKING: SPACES REQUIRED: 3 (3 SPACES OR 10% OF REQUIRED PARKING) |
| BICYCLE PARKING: SPACES PROVIDED: 4 | BICYCLE PARKING: SPACES PROVIDED: 4 |
| LANDSCAPE AREA REQUIRED: 4,758 SF | LANDSCAPE AREA REQUIRED: 7,665 SF |
| LANDSCAPE AREA PROVIDED: 5,071 SF | LANDSCAPE AREA PROVIDED: 13,071 SF |
| REQUIRED ADJACENT WALKWAY WIDTH: 8' FROM IDO TABLE 5-3-1 (BUILDING SIZE < 10,000 SF = 8') | REQUIRED ADJACENT WALKWAY WIDTH: 8' FROM IDO TABLE 5-3-1 (BUILDING SIZE < 10,000 SF = 8') |

PROJECT NUMBER: PR-2021-005222
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

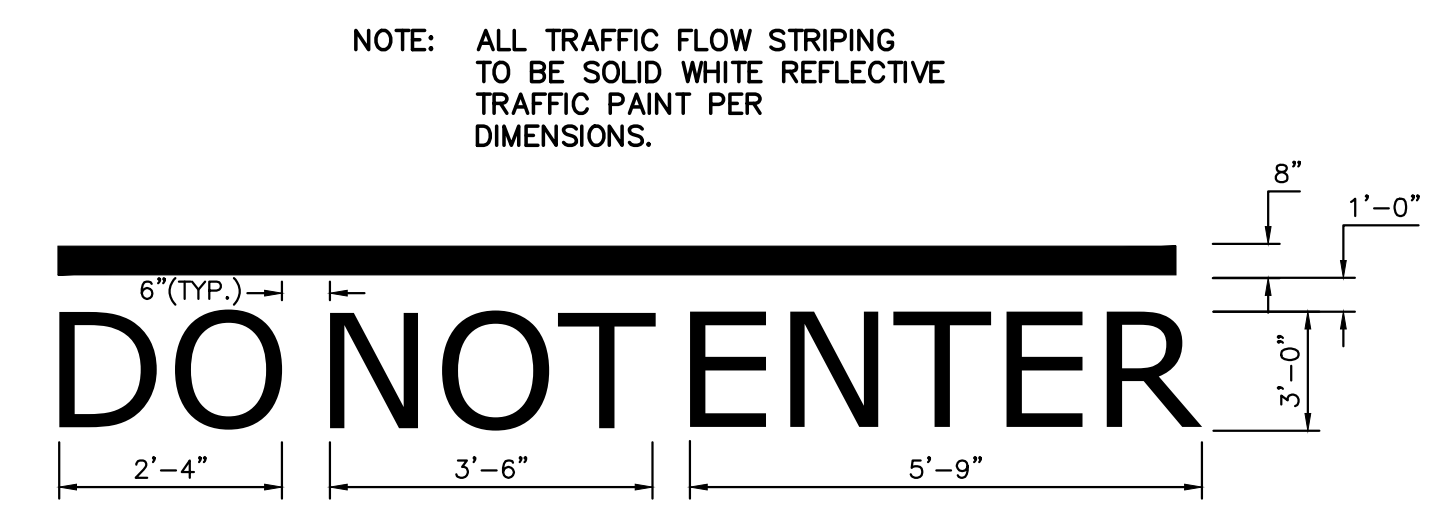
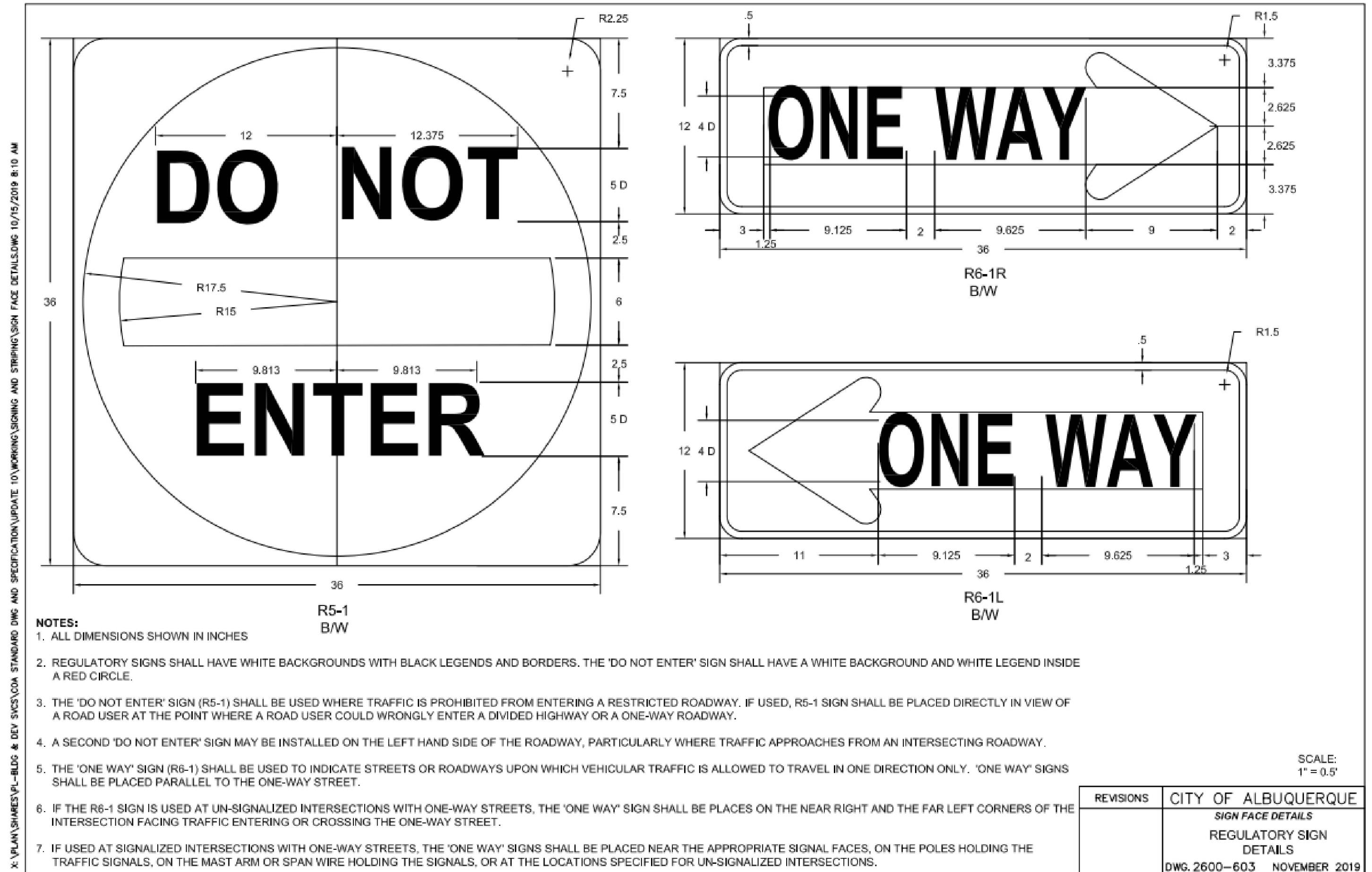
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

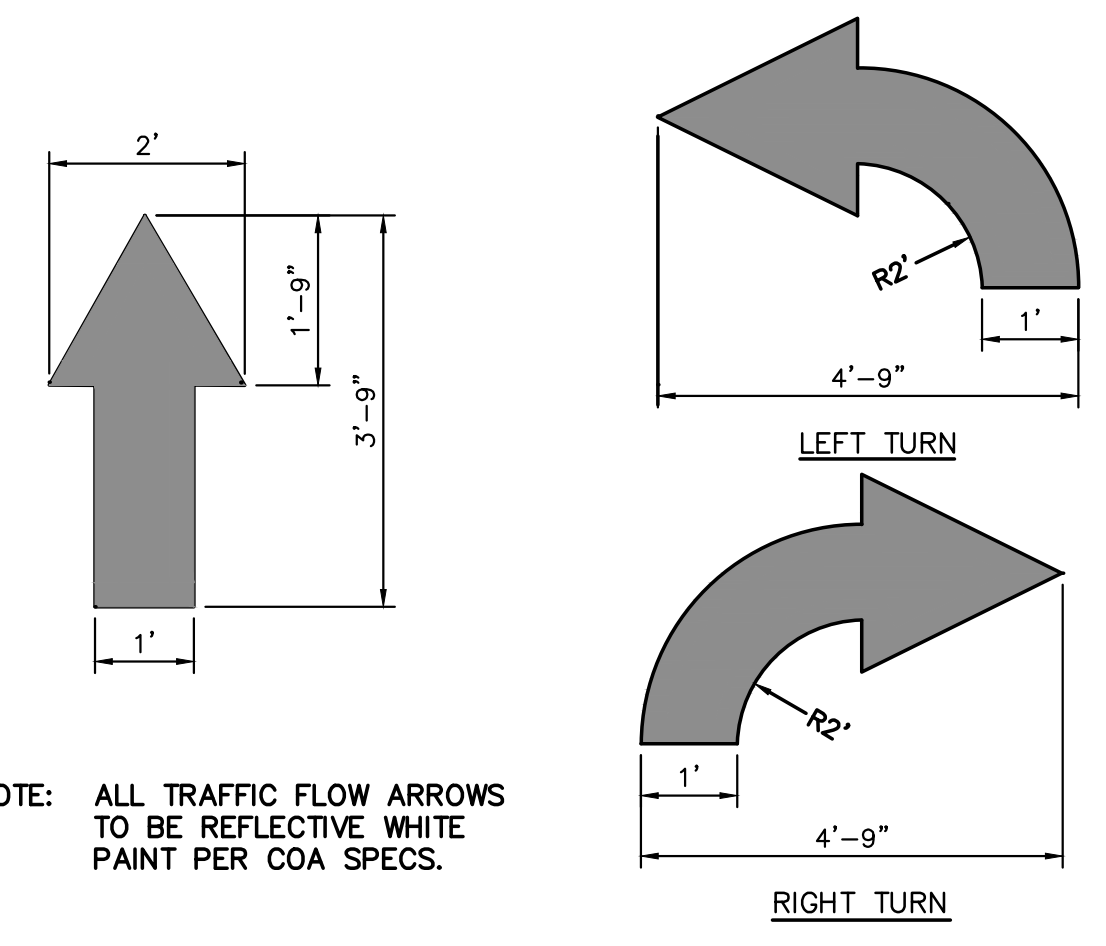
| | |
|--|------|
| Traffic Engineer, Transportation Division | Date |
| ABCWUA | Date |
| Parks & Recreation Department | Date |
| City Engineer/Hydrology | Date |
| Code Enforcement | Date |
| *Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

NOT FOR CONSTRUCTION

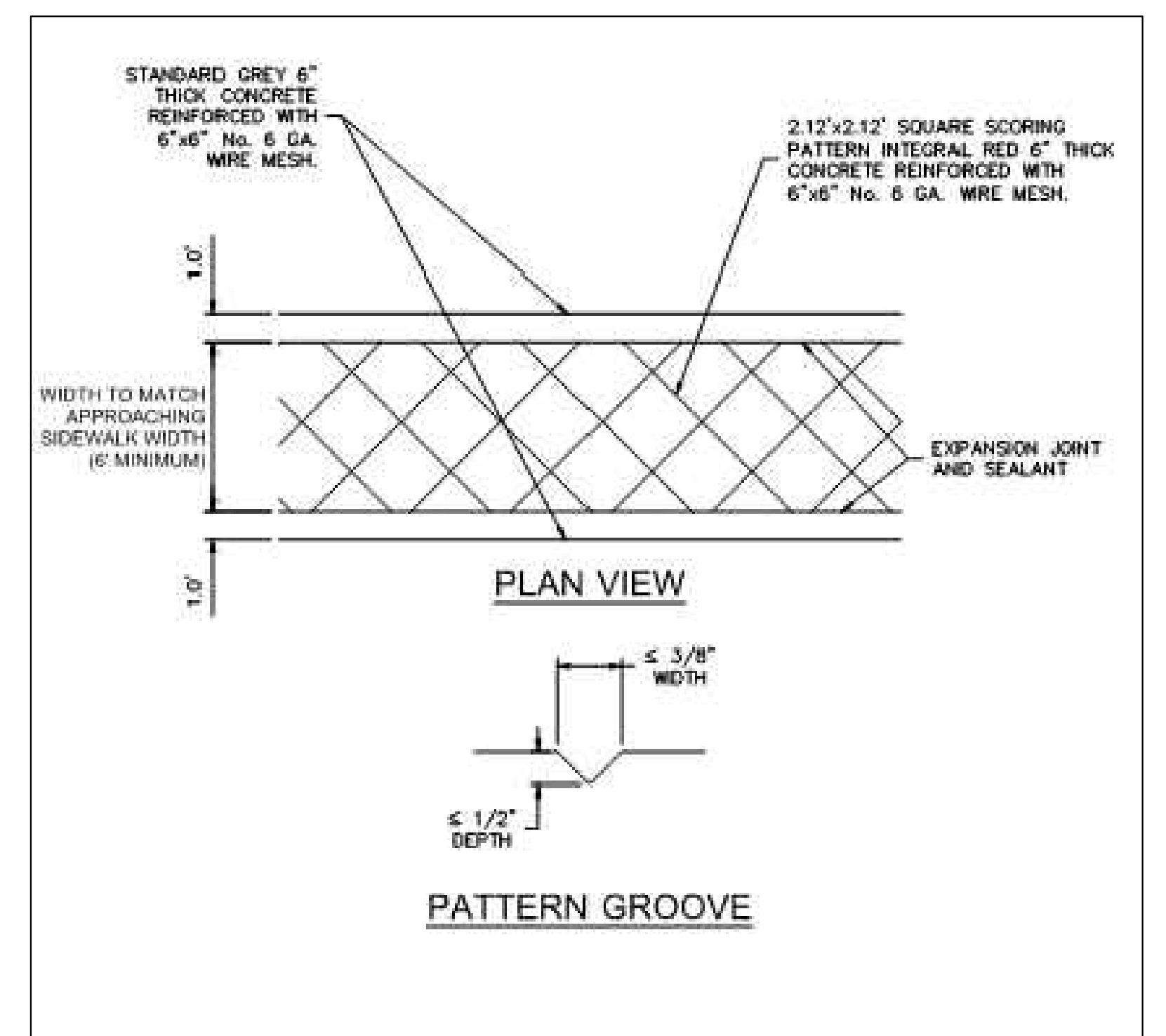
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|--|--|--|
| | NM 528 AND ELLISON 3615 HWY 528 SITE PLAN - EPC | DRAWN BY LN DATE 08/02/2021 DRAWING 2014069-SPE |
| | | SHEET # C1 JOB # 2020091 |



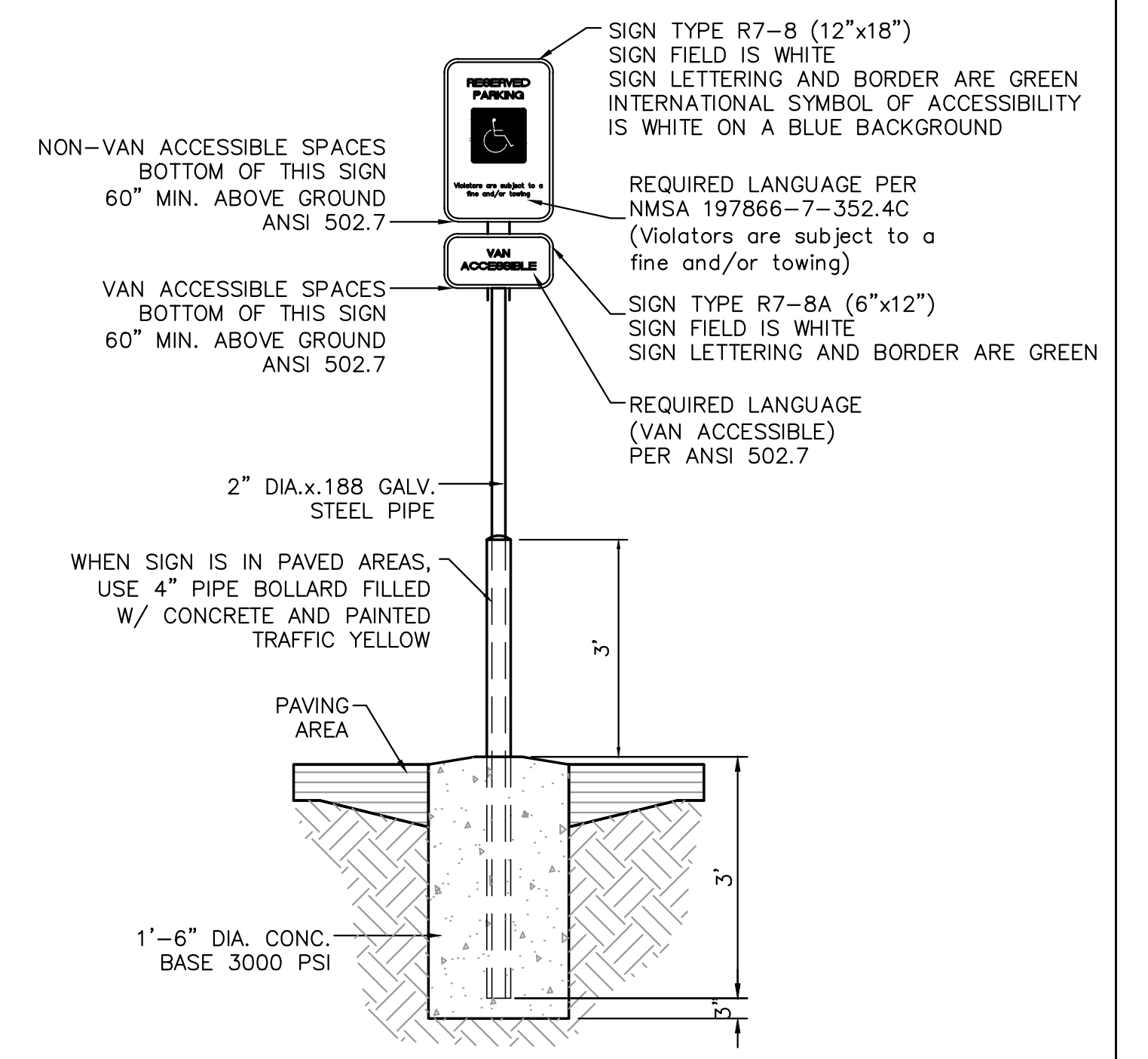
DO NOT ENTER PAVEMENT MARKER W/ARROW
NTS



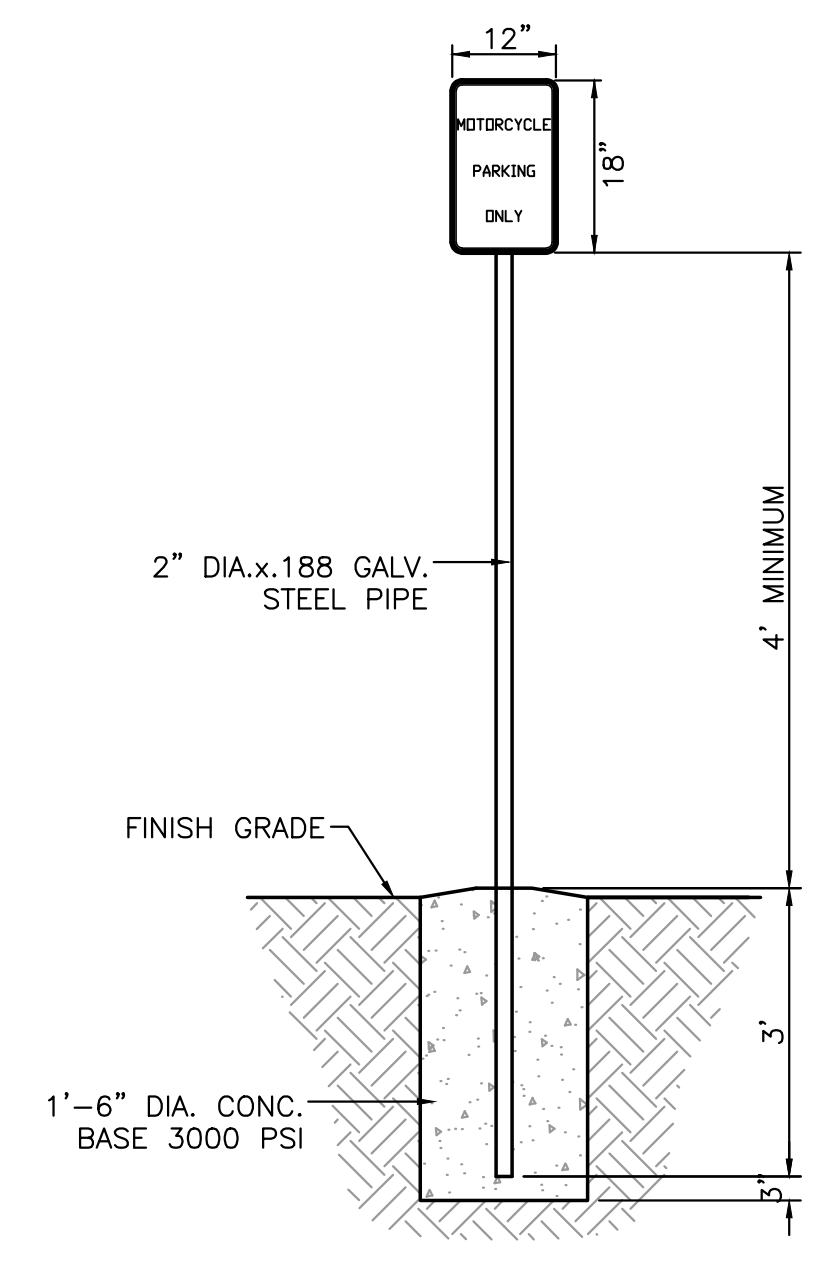
TRAFFIC FLOW ARROW
NTS



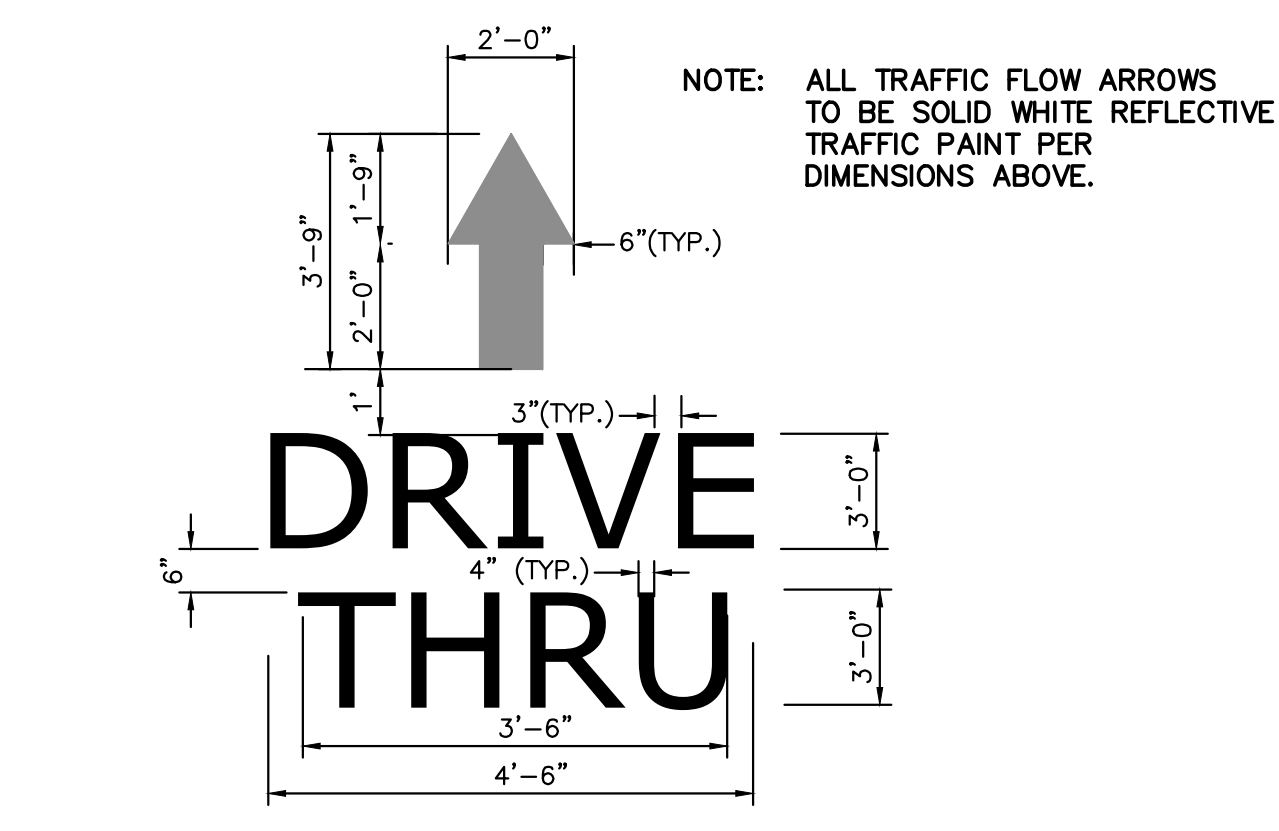
CROSSWALK/PED. CROSSING
NTS



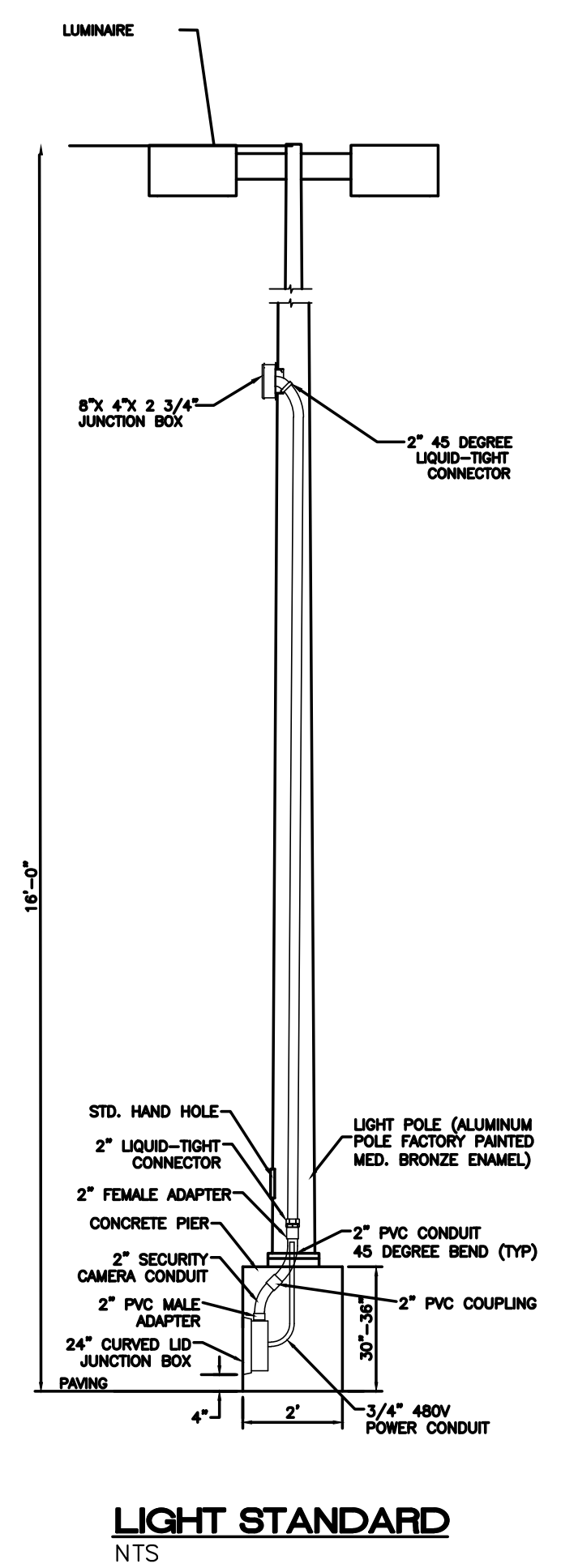
ACCESSIBLE PARKING SIGN
NTS



MOTORCYCLE PARKING SIGN
NTS



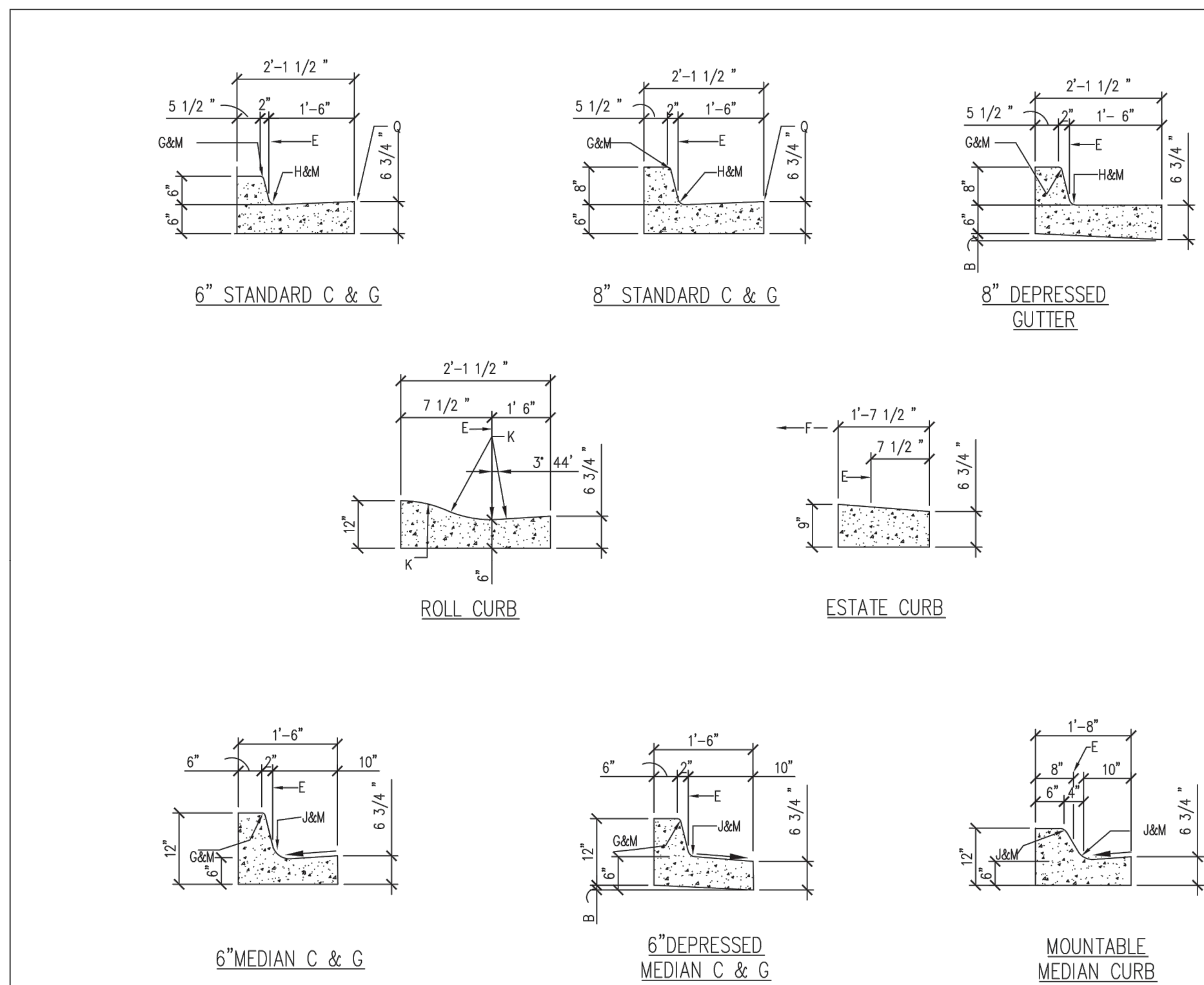
'ONE WAY' PAVEMENT MARKER W/ARROW
NTS



LIGHT STANDARD
NTS

| NOT FOR CONSTRUCTION | | |
|----------------------|---|------------------------|
| ENGINEER'S SEAL | NM 528 AND ELLISON 3615 HWY 528 | DRAWN BY LN |
| | SITE PLAN DETAILS | DATE 08/02/2021 |
| | | DRAWING 2014069-SPE |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # C2.2 |
| | | JOB # 2020091 |

\\TMSASV_Drive\2014\2014069 Julian Garza Properties\dwg\DRB\NM-528 and Ellison\2014069-SDP.dwg Aug 03, 2021 - 8:09am

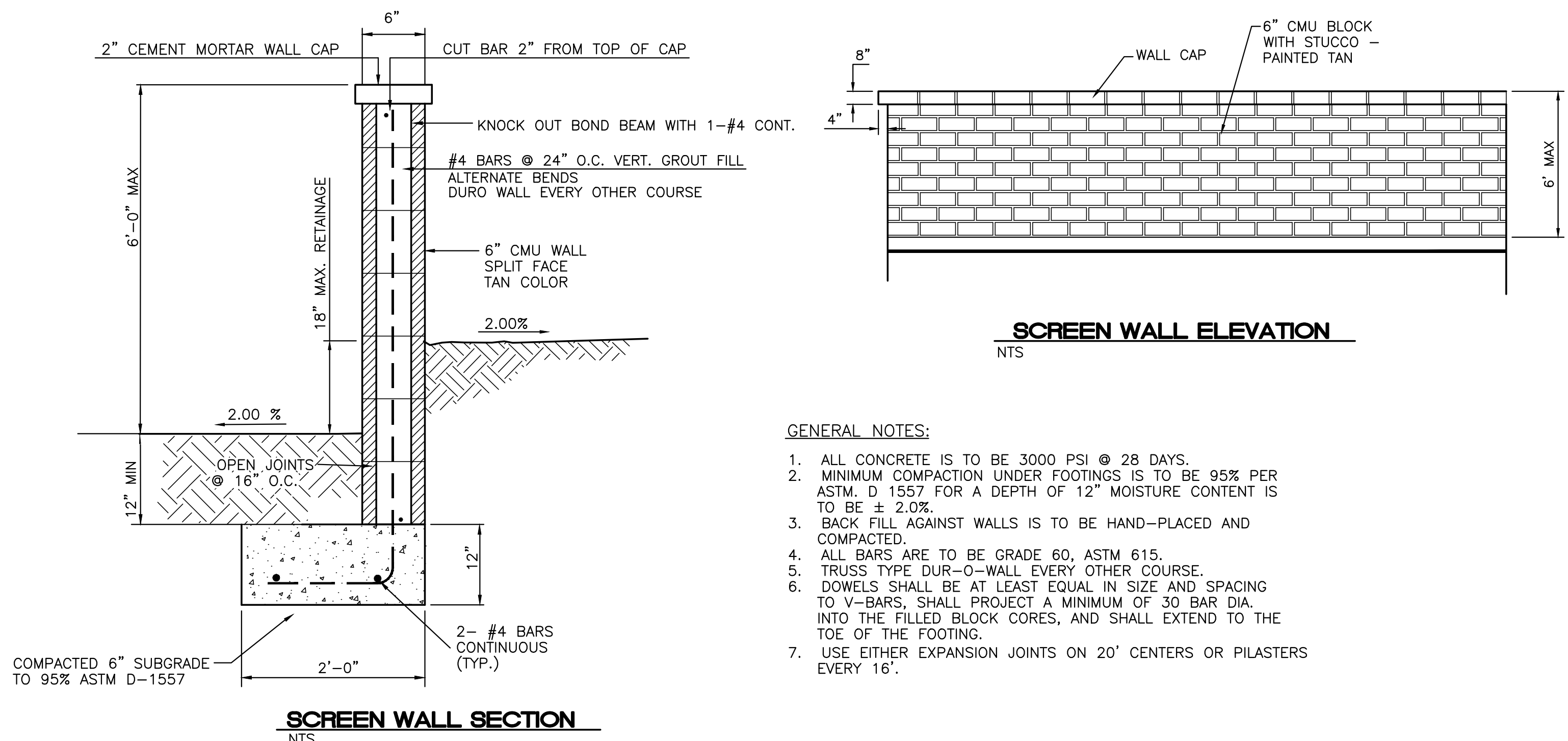


GENERAL NOTES:

- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA = AMERICANS WITH DISABILITY ACT.

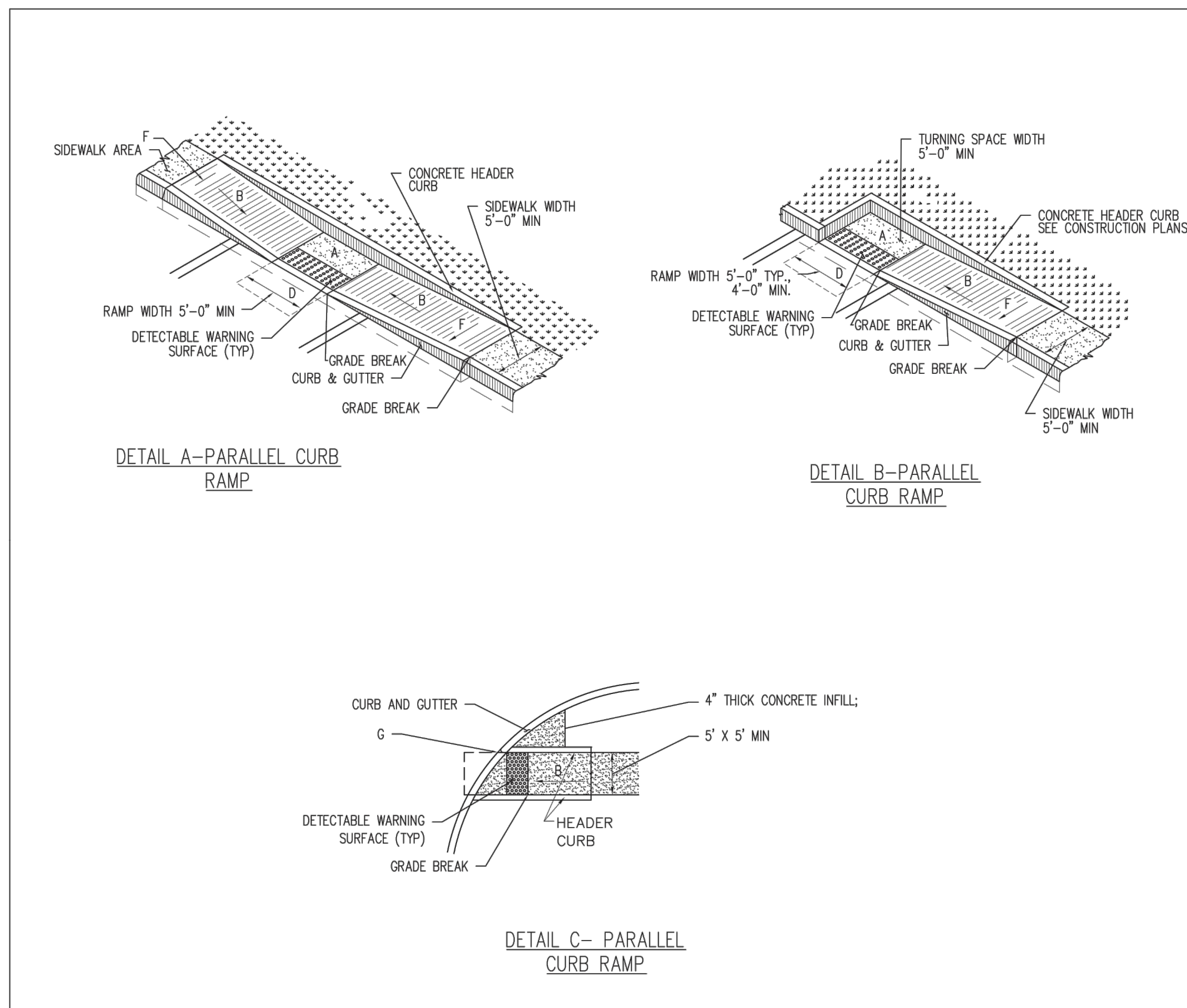
CONSTRUCTION NOTES:
SEE CDA DRAWING 2415B

| REVISIONS | CITY OF ALBUQUERQUE |
|-----------|-------------------------|
| | PAVING |
| | CURB AND GUTTER DETAILS |
| | DWG. 2415A JUNE 2019 |



GENERAL NOTES:

- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



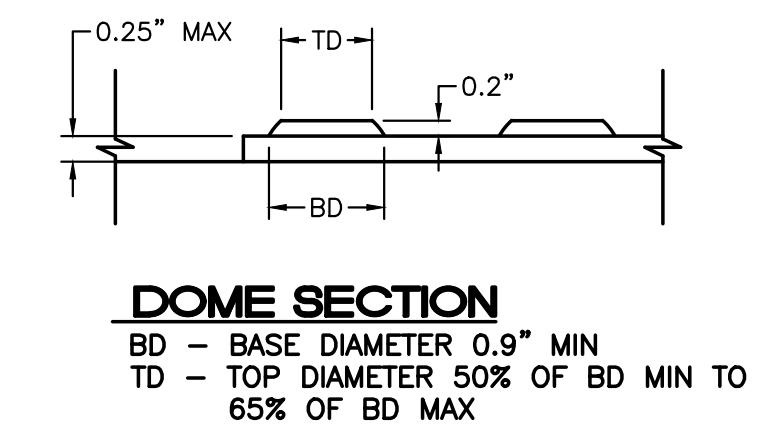
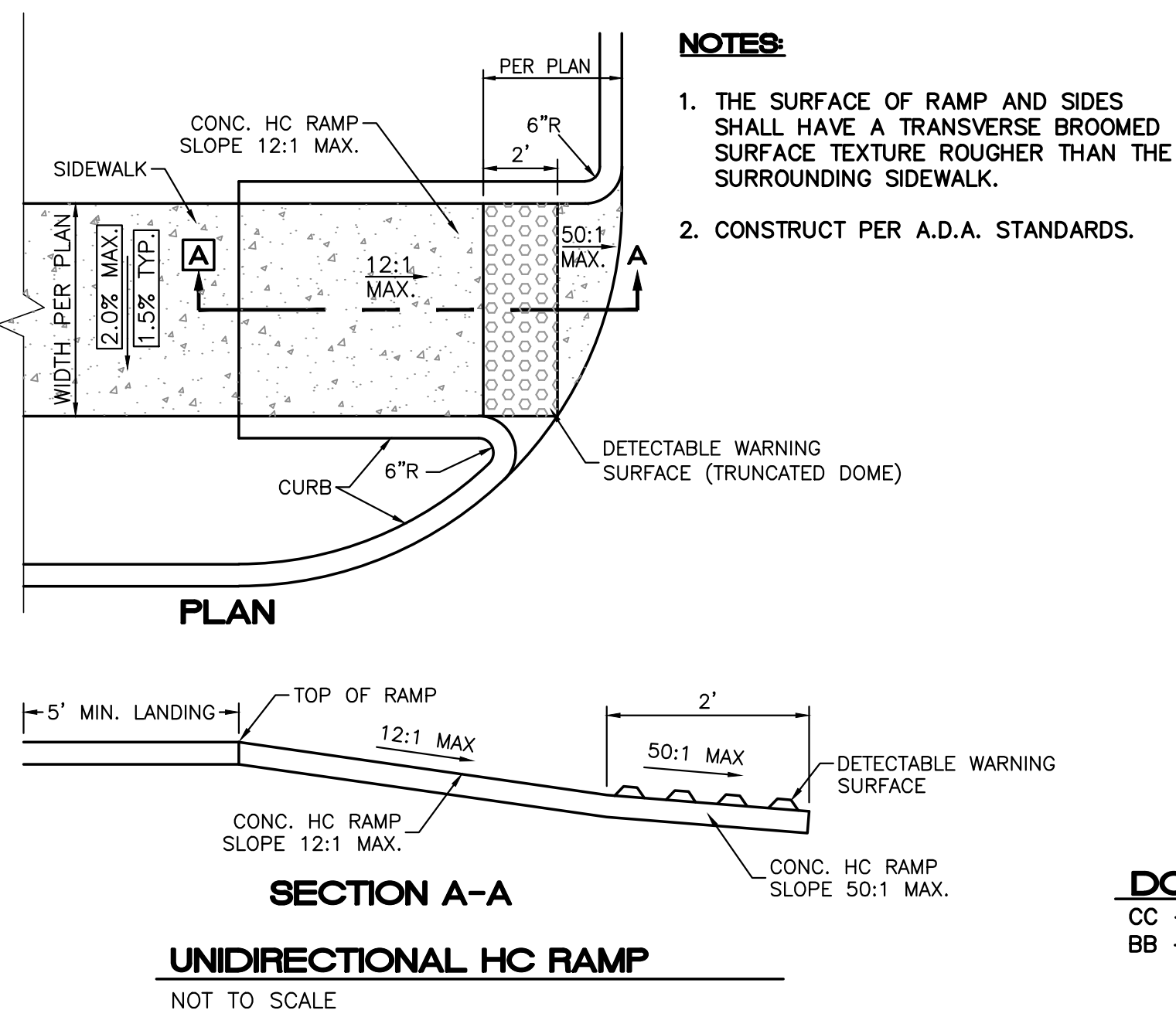
GENERAL NOTES:

- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
- SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

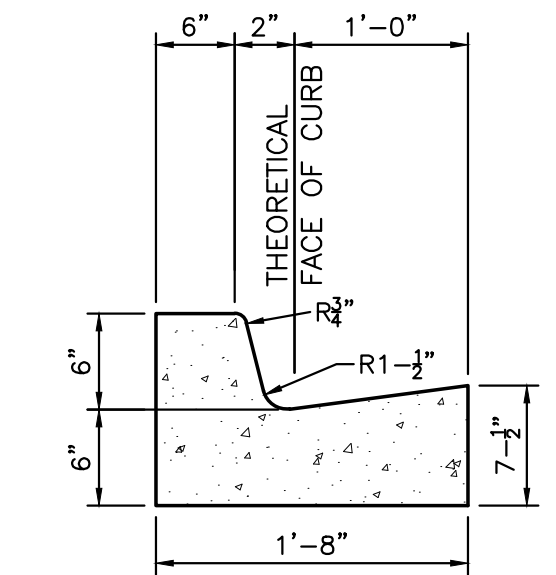
CONSTRUCTION NOTES:

- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

| REVISIONS | CITY OF ALBUQUERQUE |
|-----------|---------------------------------|
| | PAVING |
| | PARALLEL AND DIAGONAL CURB RAMP |
| | DWG. 2443 JUNE 2019 |



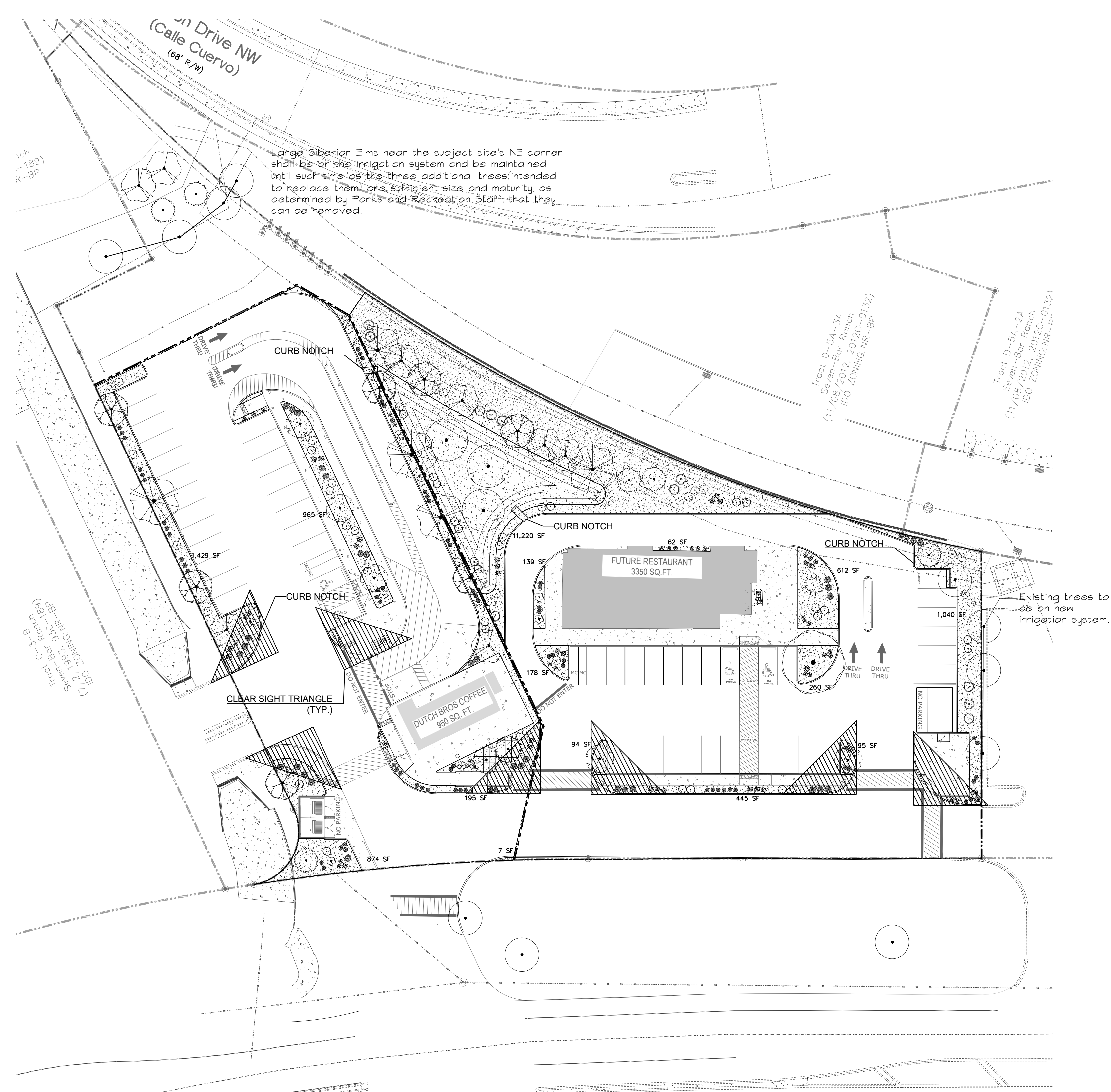
DOMES SPACING:
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



CURB GENERAL NOTES:

- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
- PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

| | | |
|----------------------------------|---|------------------------|
| NOT FOR CONSTRUCTION | | |
| ENGINEER'S SEAL | NM 528 AND ELLISON 3615 HWY 528 | DRAWN BY LN |
| | SITE PLAN DETAILS | DATE 08/02/2021 |
| | | DRAWING 2014069-SPE |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | SHEET # C2.3 |
| RONALD R. BOHANNAN P.E. #7868 | | JOB # 2020091 |



LANDSCAPE PLAN

LANDSCAPE DATA

| | |
|---------------------------------------|-----------|
| GROSS LOT AREA | 86,040 SF |
| LESS BUILDING(S) | 4,300 SF |
| NET LOT AREA | 81,740 SF |
| REQUIRED LANDSCAPE | 12,261 SF |
| 15% OF NET LOT AREA | 12,261 SF |
| PROPOSED LANDSCAPE | 18,142 SF |
| REQUIRED PARKING LOT TREES | 6 |
| 1 TREE PER 10 PARKING SPACES | 6 |
| PROPOSED PARKING LOT TREES | 13 |
| REQUIRED VEGETATION COVERAGE | 9,196 SF |
| 75% OF LANDSCAPE AREA | 9,196 SF |
| PROPOSED VEGETATION COVERAGE | 51,168 SF |
| REQUIRED GROUND-LEVEL PLANTS COVERAGE | 2,299 SF |
| 25% OF VEGETATION COVERAGE | 2,299 SF |
| PROPOSED GROUND-LEVEL COVERAGE | 2,353 SF |

CLEAR SIGHT TRIANGLE NOTE
 LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH THE CITY OF ALBUQUERQUE LANDSCAPING ORDINANCE
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

GENERAL NOTES

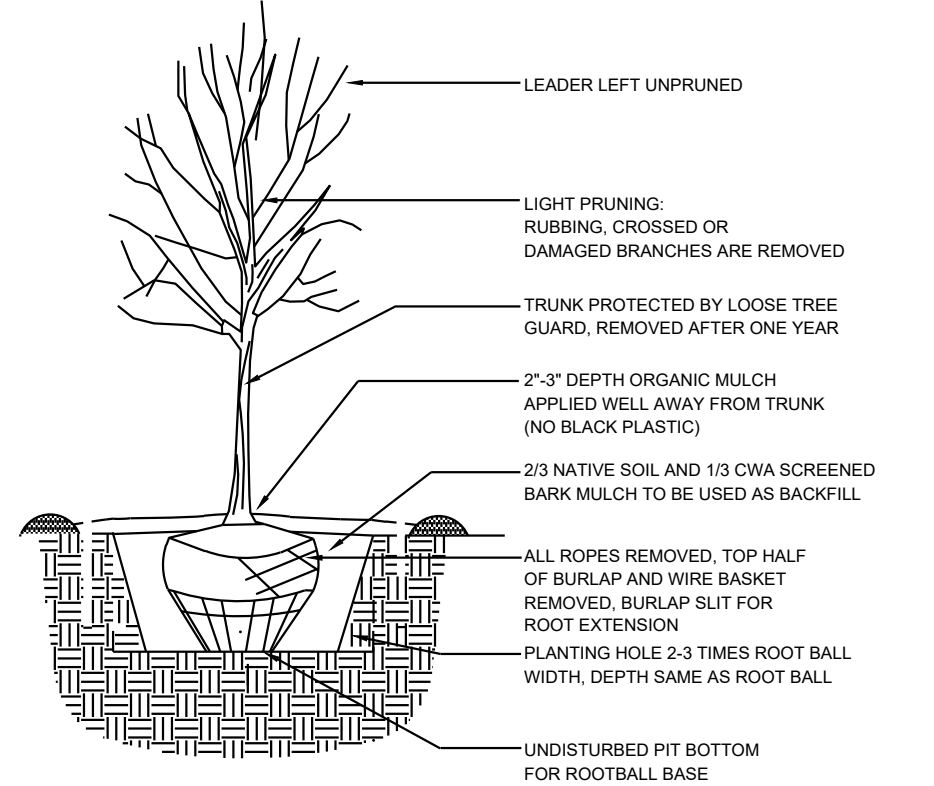
- IN CASE OF DISCREPANCIES IN PLANT QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL PREVAIL. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION.
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.
- ALL MAINTENANCE FOR LANDSCAPE AND IRRIGATION SYSTEMS SHALL BE PROVIDED BY OWNER. MAINTENANCE OF STREET TREES AND SHRUBS SHALL FIND THEM IN HEALTHY, LIVING, AND ATTRACTIVE CONDITION.
- ALL ON-SITE PLANT MATERIAL, NOW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. EMITTERS SHALL BE PLACED AT EVEN SPACING AT DRIP LINE OF TREES AND SHRUBS AT THE MULCH'S SURFACE AT A RATE OF SIX (6) 2.0 GPH EMITTERS PER TREE AND TWO (2) 2.0 GPH EMITTERS PER SHRUB.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. APPROPRIATE MEASURES HAVE BEEN TAKEN TO DESIGN AND INSTALL A WATER-CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE.
- LANDSCAPING BEDS MUST BE DEPRESSED BELOW GRADE PURSUANT TO 5-6(C)(13)(B).

PLANT SCHEDULE

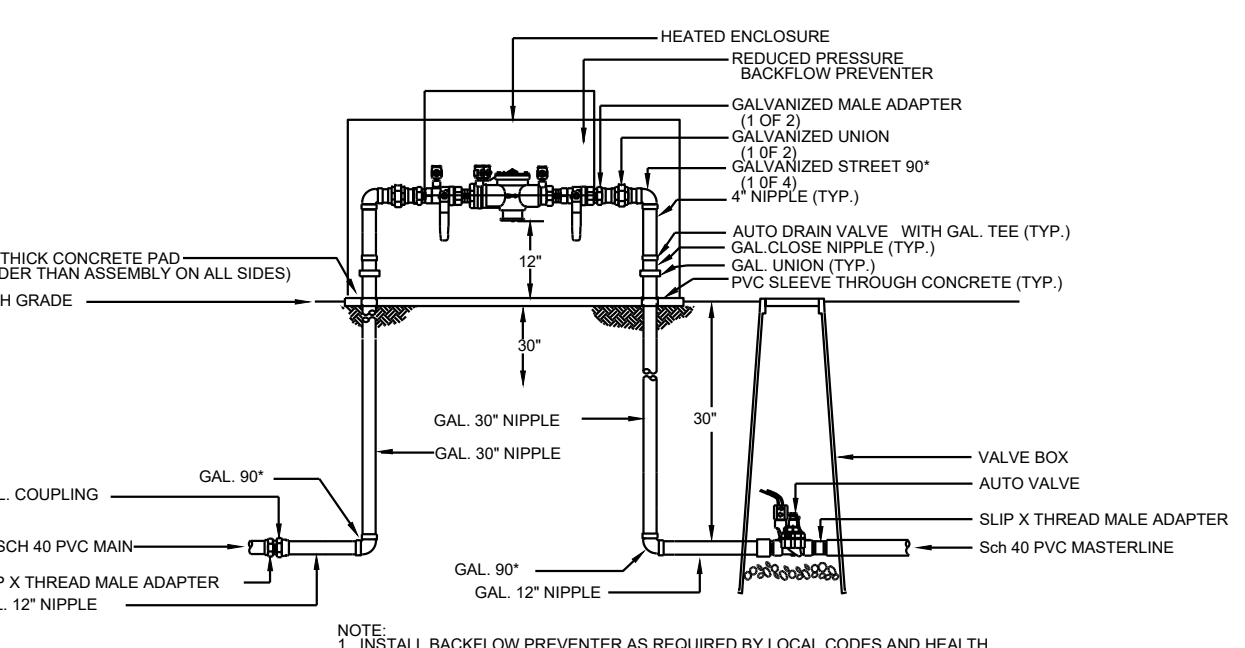
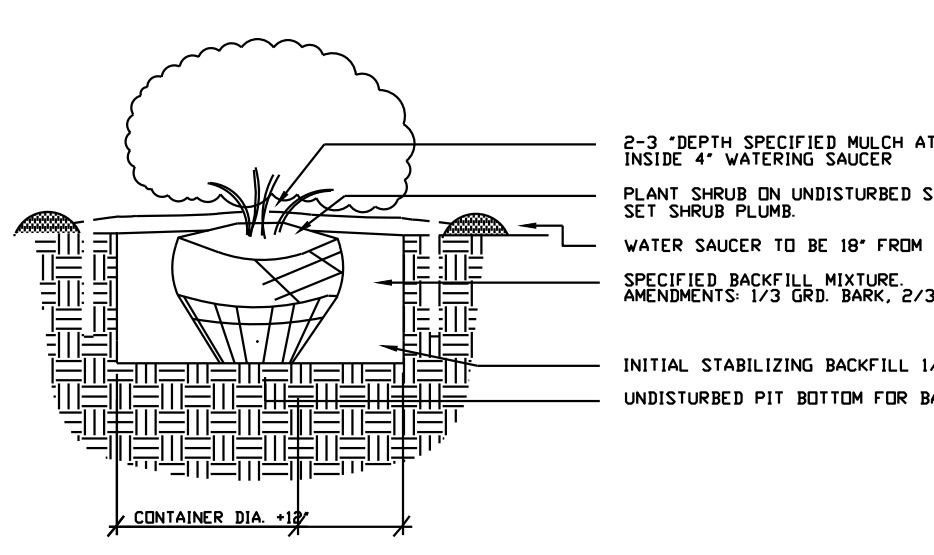
| TREES | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
|---|-----|-------------------------|-----------|-----------|------------------|
| EXISTING TREE TO REMAIN | 7 | | VARIABLES | | |
| DECIDUOUS TREES | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
| CHILOPSIS LINEARIS / DESERT WILLOW | 8 | | 2" B&B | 20' X 25' | 491X8=3928 |
| FRAXINUS OXYCARPA 'RAYWOOD' TM / RAYWOOD ASH | 7 | | 2" B&B | 60' X 60' | 2826X7=19782 |
| PISTACIA CHINENSIS / CHINESE PISTACHE | 5 | | 2" B&B | 60' X 60' | 2826X5=14130 |
| POPULUS DELTOIDES WISLIZENII / RIO GRANDE COTTONWOOD | 3 | | 2" B&B | 50' X 50' | 1963X3=5889 |
| PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR | 5 | | 2" B&B | 25' X 15' | 177X5=885 |
| QUERCUS BUCKLEYI / BUCKLEY OAK | 1 | | 2" B&B | 50' X 50' | 1963X1=1963 |
| EVERGREEN TREES | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
| PINUS CEMBROIDES EDULIS / PINYON PINE | 6 | | 6" | 30' X 20' | 314X6=1884 |
| PINUS EDULIS / PINYON PINE | 2 | | 6" | 12' X 15' | 177X2=354 |
| SUBTOTAL COVERAGE | | | | | 48,815 sf |
| DESERT ACCENTS | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
| HESPERALOE PARVIFLORA / RED YUCCA | 7 | | 5 GAL | 3' X 4' | 13X7=91 |
| GRASSES | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
| CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS | 35 | | 1 GAL | 30" X 2' | 3X35=105 |
| MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY | 31 | | 1 GAL | 3' X 3' | 7X31=217 |
| NASELLA TENUISSIMA / MEXICAN FEATHERGRASS | 40 | | 1 GAL | 2' X 2' | 3X40=120 |
| SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM GRASS | 5 | | 1 GAL | 2' X 2' | 3X5=15 |
| SORGHASTRUM NUTANS / INDIAN GRASS | 27 | | 1 GAL | 4' X 2' | 3X27=81 |
| DECIDUOUS SHRUBS | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
| RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC | 31 | | 5 GAL | 4' X 4' | 13X31=403 |
| EVERGREEN SHRUBS | QTY | BOTANICAL / COMMON NAME | SIZE | H X W | COVERAGE |
| ARTEMISIA FILIFOLIA / SAND SAGEBRUSH | 34 | | 5 GAL | 4' X 4' | 13X34=442 |
| CERCOCARPUS INTRICATUS / LITTLE LEAF MOUNTAIN MAHOGONY | 11 | | 5 GAL | 6' X 6' | 28X11=308 |
| COTONEASTER PARNEYI / COTONEASTER | 2 | | 5 GAL | 10' X 15' | 177X2=354 |
| EUPHORBIA RIGIDA / YELLOW SPURGE | 31 | | 1 GAL | 2' X 3' | 7X31=217 |
| SUBTOTAL COVERAGE | | | | | 2,353 sf |
| TOTAL COVERAGE | | | | | 51,168 sf |

MATERIAL SCHEDULE

| SYMBOL | DESCRIPTION | QTY |
|-----------|--|-----------|
| [Pattern] | MOUNTAINAIR BROWN 7/8" GRAVEL OVER FILTER FABRIC | 14,281 SF |
| [Pattern] | 2-4" BLUE SAIS OVER FILTER FABRIC | 3,861 SF |
| [Symbol] | CLEAR SIGHT TRIANGLE SEE NOTES | |

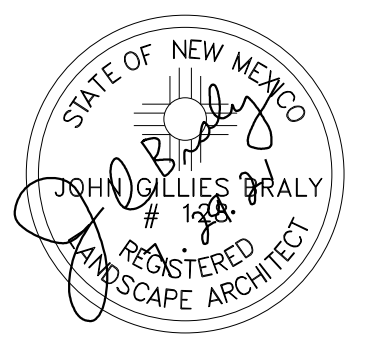


1 TREE PLANTING DETAIL



3 RP BACKFLOW/MASTER VALVE DETAIL

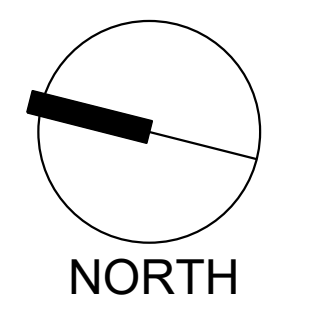
YELLOWSTONE LANDSCAPE
 www.yellowstonelandscape.com
 P O Box 10597
 Albuquerque, NM 87184
 505.898.9615
 design@yellowstonelandscape.com



Date: 5/3/21
 Revisions:
 ▲ 5/26/2021
 ▲ 6/30/2021
 ▲ 7/2/2021
 ▲ 7/29/2021

Drawn by: PL
 Reviewed by: CM

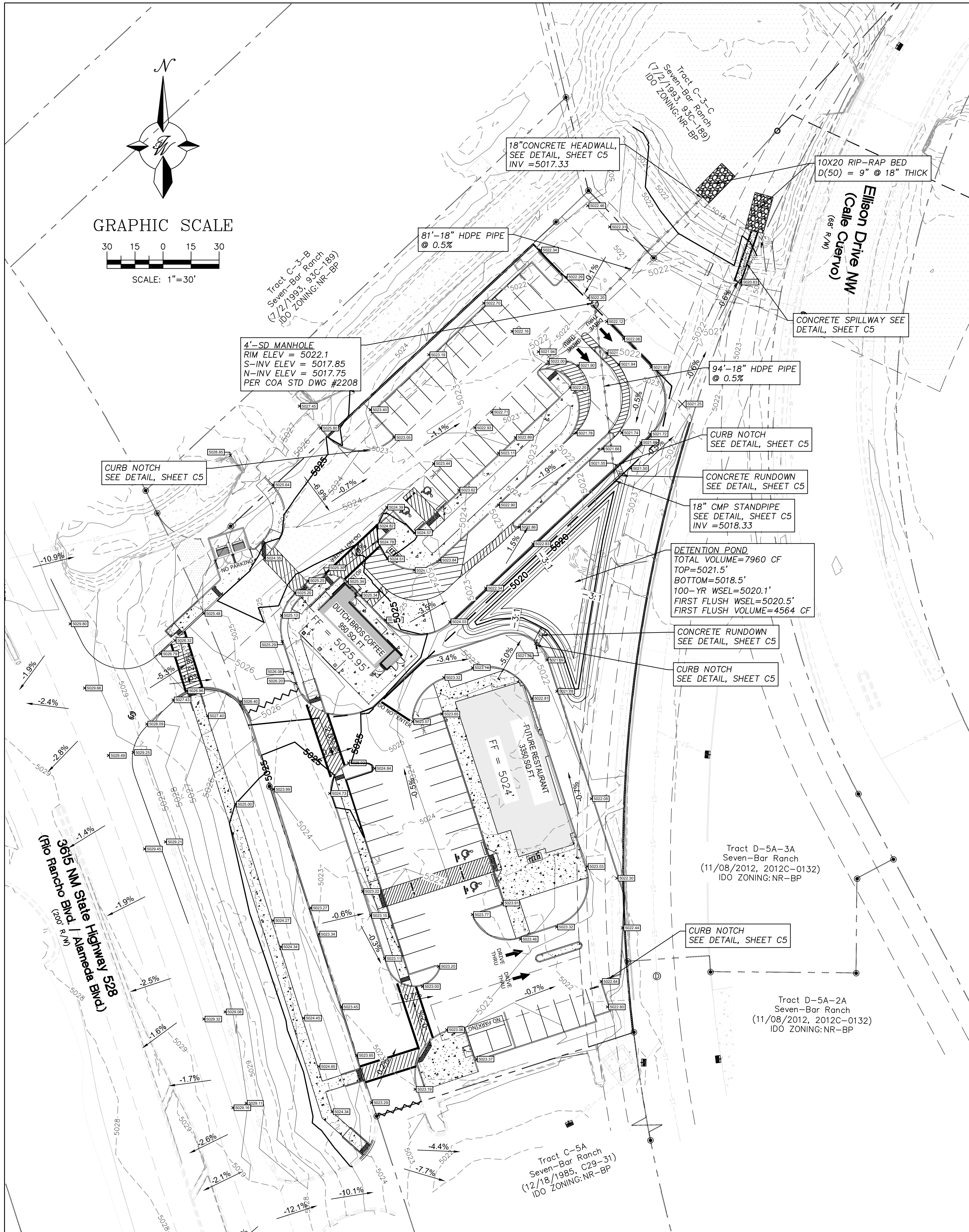
Dutch Brothers Coffee
Cottonwood
 3615 NM HWY 528
 Albuquerque, New Mexico



Scale: 1" = 30'
 15 0 30 60

Sheet Title:
Landscape Plan

Sheet Number:
LS-01



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- ▨ SIDEWALK
- ▩ BUILDING
- ▨ RIP-RAP
- 5010— CONTOUR MAJOR
- 5011— CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- ~ GRADE BREAK
- EXISTING CURB & GUTTER
- - - EXISTING EASEMENT
- - - EXISTING BOUNDARY LINE
- ▨ EXISTING RETAINING WALL
- ▨ EXISTING CONCRETE
- 5010--- EXISTING CONTOUR MAJOR
- 5011--- EXISTING CONTOUR MINOR
- - -ST- - -ST- EXISTING STORM DRAIN LINE
- ⊙ EXISTING STORM DRAIN MH
- EXISTING STORM DRAIN INLET
- SURVEY MONUMENT

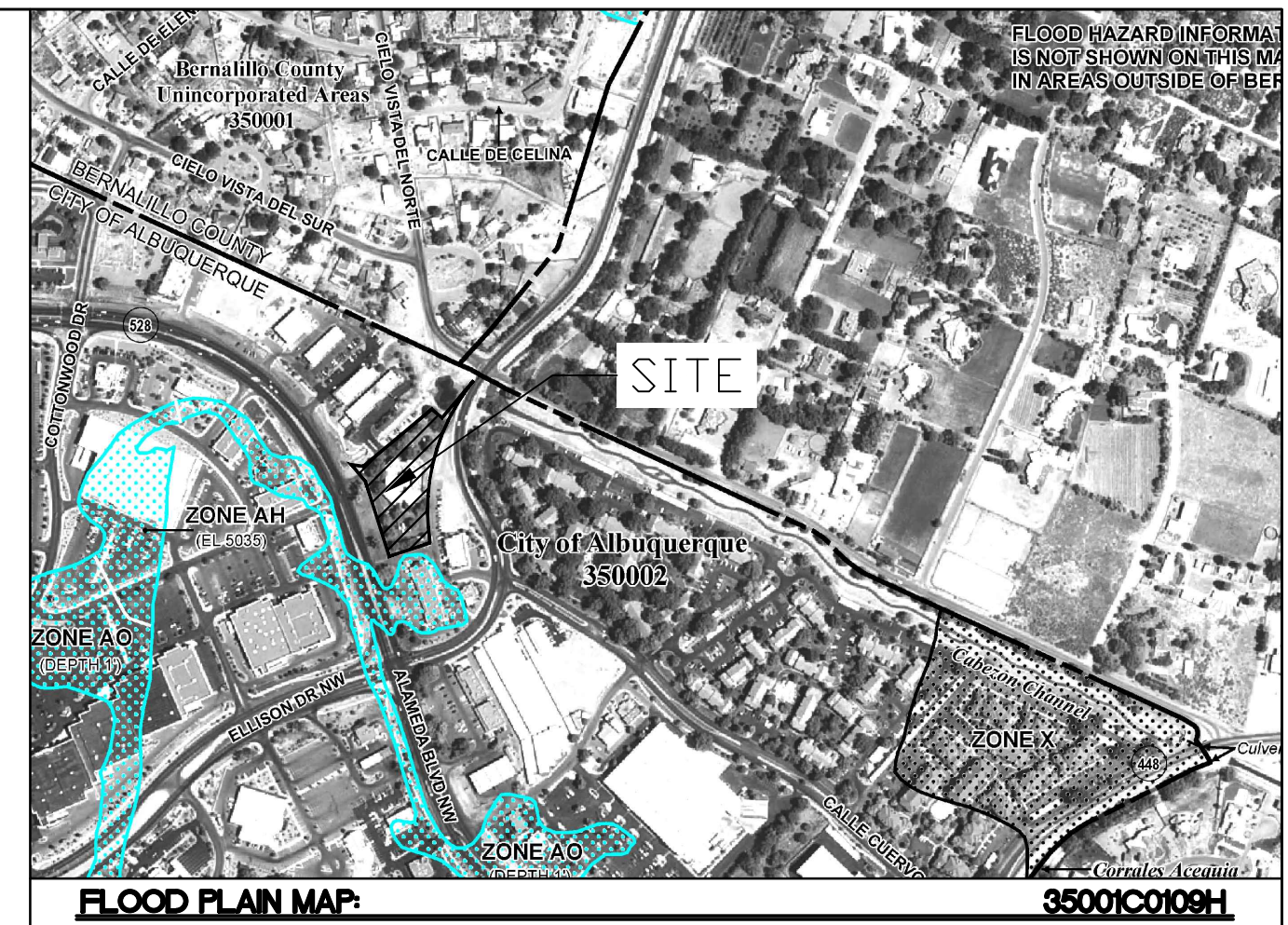
SPOT ELEVATION NOTE:

ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



SITE INFORMATION

THE PROPOSED DEVELOPMENT IS A 1.99 ACRE MULTI-PAD COMMERCIAL DEVELOPMENT PROJECT, LOCATED AT 3615 HWY 528 ALBUQUERQUE, NM 87114. THE PROPOSED DEVELOPMENT IS LOCATED IN PRECIPITATION ZONE 1, WEST OF THE RIO GRANDE RIVER AS SPECIFIED IN THE DEVELOPMENT PROCESS MANUAL CH. 6. THE PROJECT SITE IS LOCATED WITHIN SAD 223, WHERE DRAINAGE IS COLLECTED FROM A LARGE AREA AROUND THE COTTONWOOD MALL. THE PROJECT SITE PREVIOUSLY CONTAINED A TWO STORY OFFICE BUILDING WHICH HAS SINCE BEEN DEMOLISHED AND REMOVED. THE PROJECT SITE HAS BEEN PREVIOUSLY GRADED AND IS PARTLY PAVED. THE SITE IS BORDERED BY A VARIETY OF COMMERCIAL AND RESIDENTIAL ZONE DISTRICTS. TO THE SOUTH LAYS THE INTERSECTION OF NM-528 AND ELLISON DR. TO THE NORTH THE SITE IS BORDERED BY AN AMAFCA DRAINAGE CHANNEL AND A DE-SILTING POND. THE PROPOSED SITE LIES WITHIN HYDROLOGY NUMBER A14D019 AND DOES NOT CONTAIN A FLOOD PLAN.

EXISTING CONDITIONS

THE SITE IS CURRENTLY PARTLY PAVED WHICH INCLUDES ACCESS AISLES AND PARKING ON THE SOUTH SIDE OF THE PROPERTY. THE REMAINDER OF THE LOT REMAINS VACANT WITH GROWING VEGETATION. BASED ON THE TOPOGRAPHY, RUNOFF SURFACE FLOWS NORTH-EAST AND DISCHARGES INTO THE AMAFCA DE-SILTING POND VIA AN EXISTING ROCK SWALE, LOCATED ON THE SOUTH-EAST SIDE OF THE DE-SILTING POND. CROSS LOT DRAINAGE FROM THE NEIGHBORING LOTS IS REDUCED DUE TO EXISTING RETAINING WALLS AND CURBING ALONG THE SOUTH, EASTERN AND NORTHERN PROPERTY LINE. OFFSITE DRAINAGE FROM A PORTION OF HWY NM-528'S RIGHT OF WAY FLOWS EAST INTO THE SUBJECT PROPERTY AND IS TAKEN INTO CONSIDERATION.

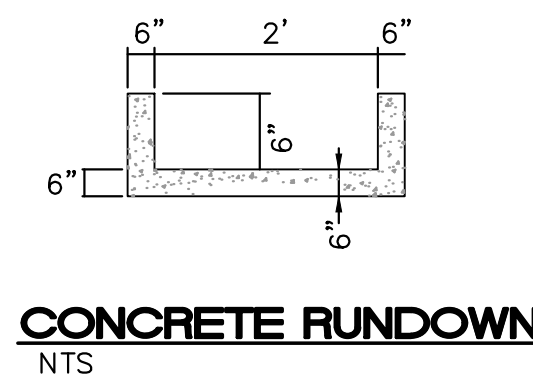
PROPOSED CONDITIONS

THE CONCEPTUAL GRADING AND DRAINAGE REPORT AND PLAN FOR THIS SITE HAS BEEN PREVIOUSLY APPROVED BY HYDROLOGY UNDER HYDRO NUMBER A14D019. THE DEVELOPED FLOWS WILL SURFACE FLOW INTO A DETENTION POND LOCATED ON THE EASTERN SIDE OF THE PROJECT SITE. THE DETENTION POND IS DESIGNED TO RETAIN THE FIRST 0.62 INCHES OF RUNOFF. ANY FLOWS BEYOND THAT WILL BE CONVEYED INTO AN UNDERGROUND STORM DRAIN PIPE, WHICH OUTFALLS INTO THE AMAFCA DE-SILTING POND NORTH OF THE SITE. IN AN EMERGENCY SITUATION, AS THE POND REACHES MAXIMUM CAPACITY THE STORM WATER RUNOFF WILL BE ROUTED INTO AN EMERGENCY SPILLWAY WHICH DRAINS INTO THE AMAFCA DE-SILTING POND. THE EMERGENCY SPILLWAY IS A CONCRETE RUNDOWN LOCATED SOUTH-EAST OF THE DE-SILTING POND.

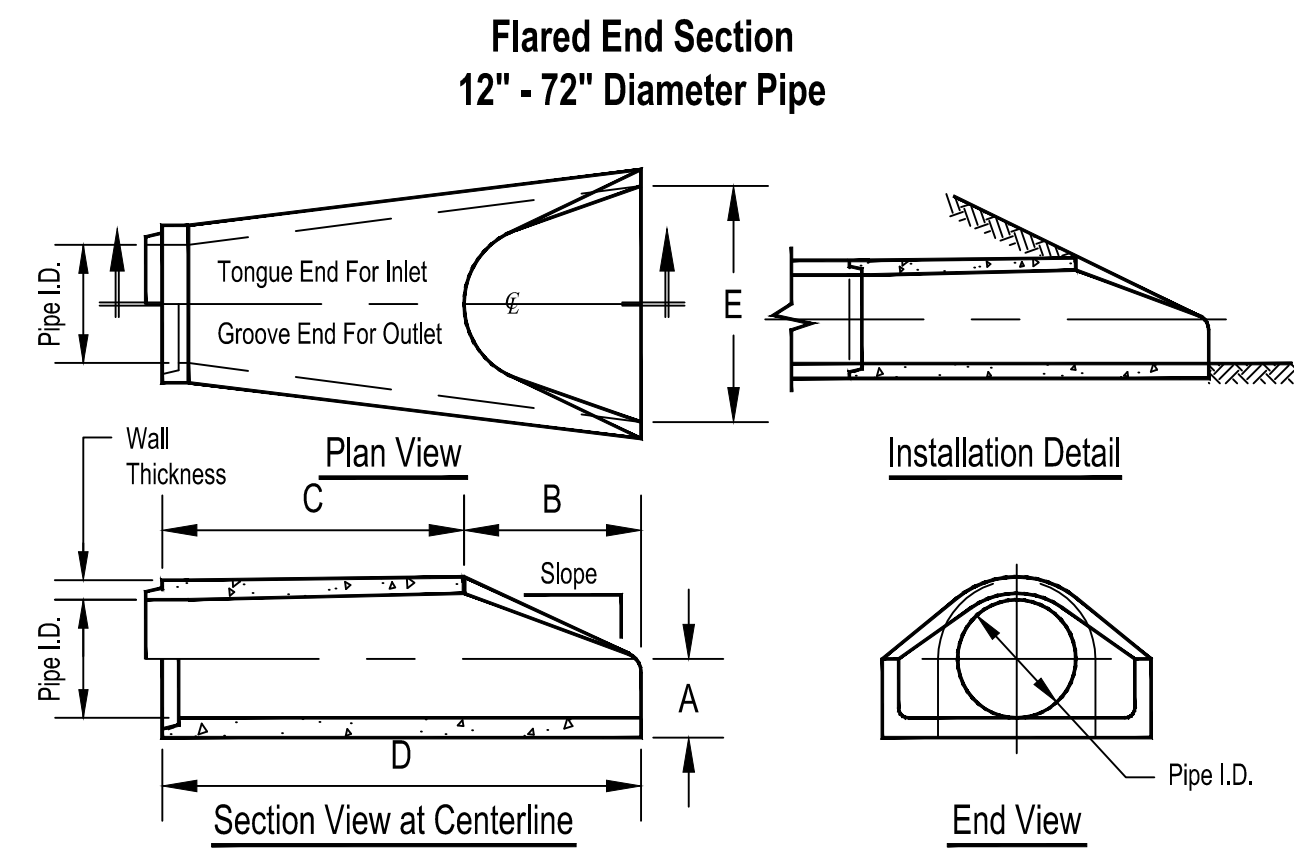
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" OR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
5. NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

| | | |
|--|--|----------------------|
| NOT FOR CONSTRUCTION | | |
| ENGINEER'S SEAL | NM 528 AND ELLISON 3615 HWY 528 | DRAWN BY LN |
| | | DATE 08/02/2021 |
| | GRADING AND DRAINAGE PLAN | |
| | | SHEET # C4 |
| 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com | | JOB # 2020091 |
| RONALD R. BOHANNAN P.E. #7868 08/03/2021 | | |



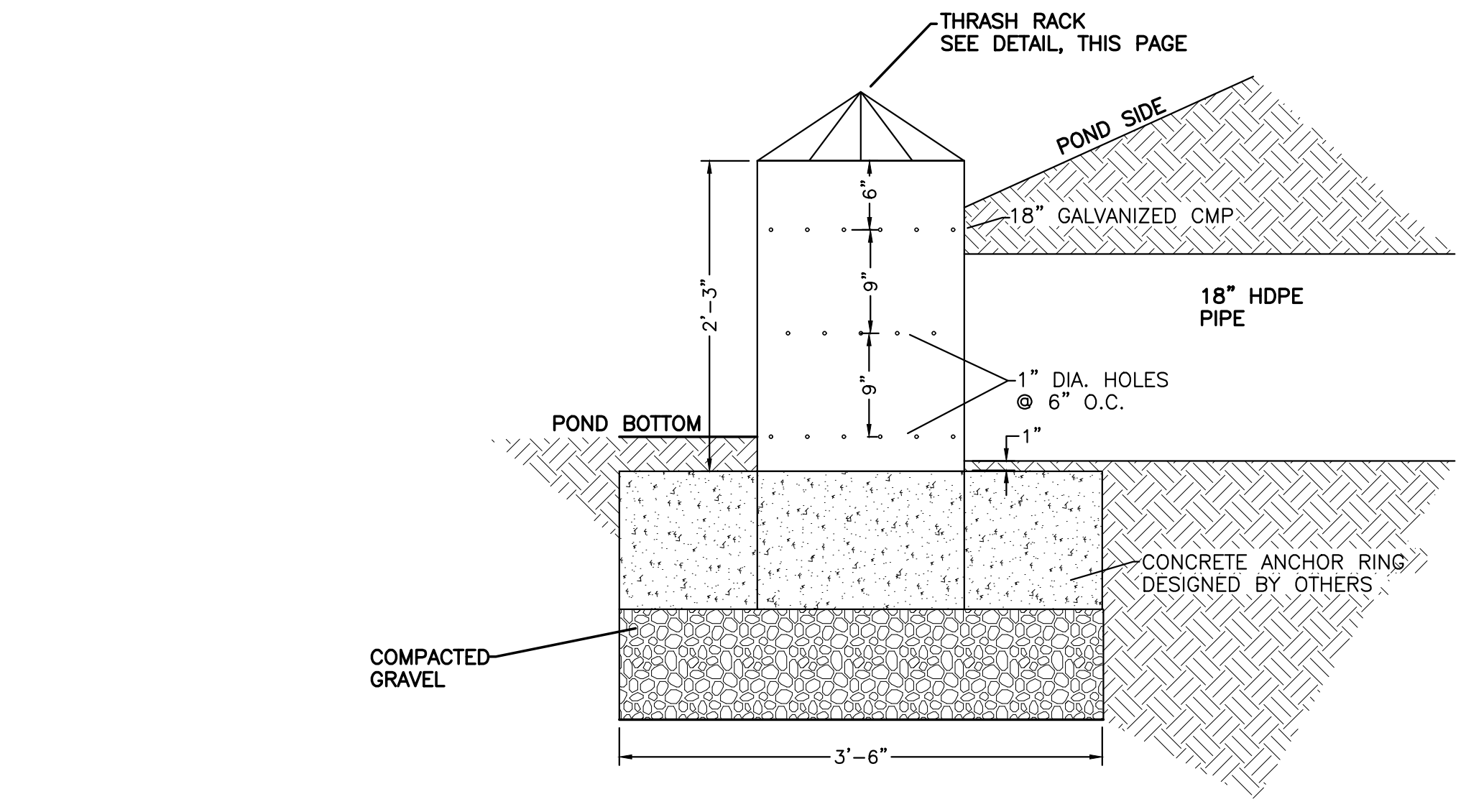
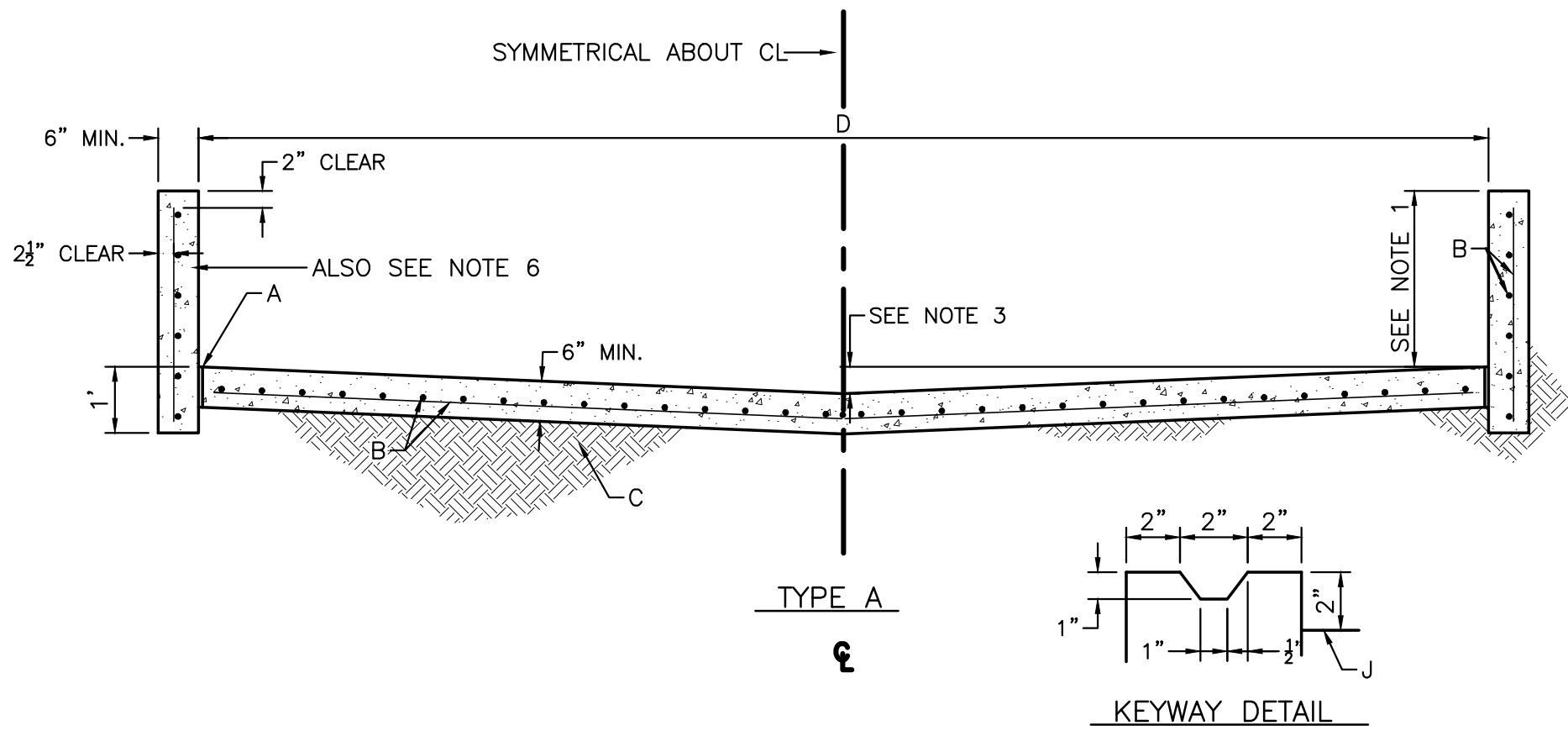
Rinker Concrete Pipe Division
MATERIALS



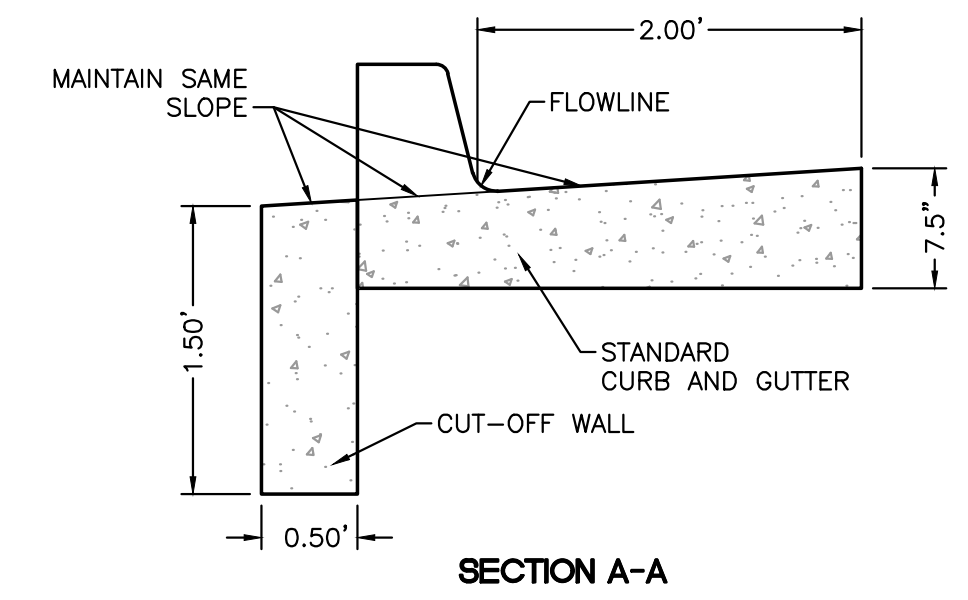
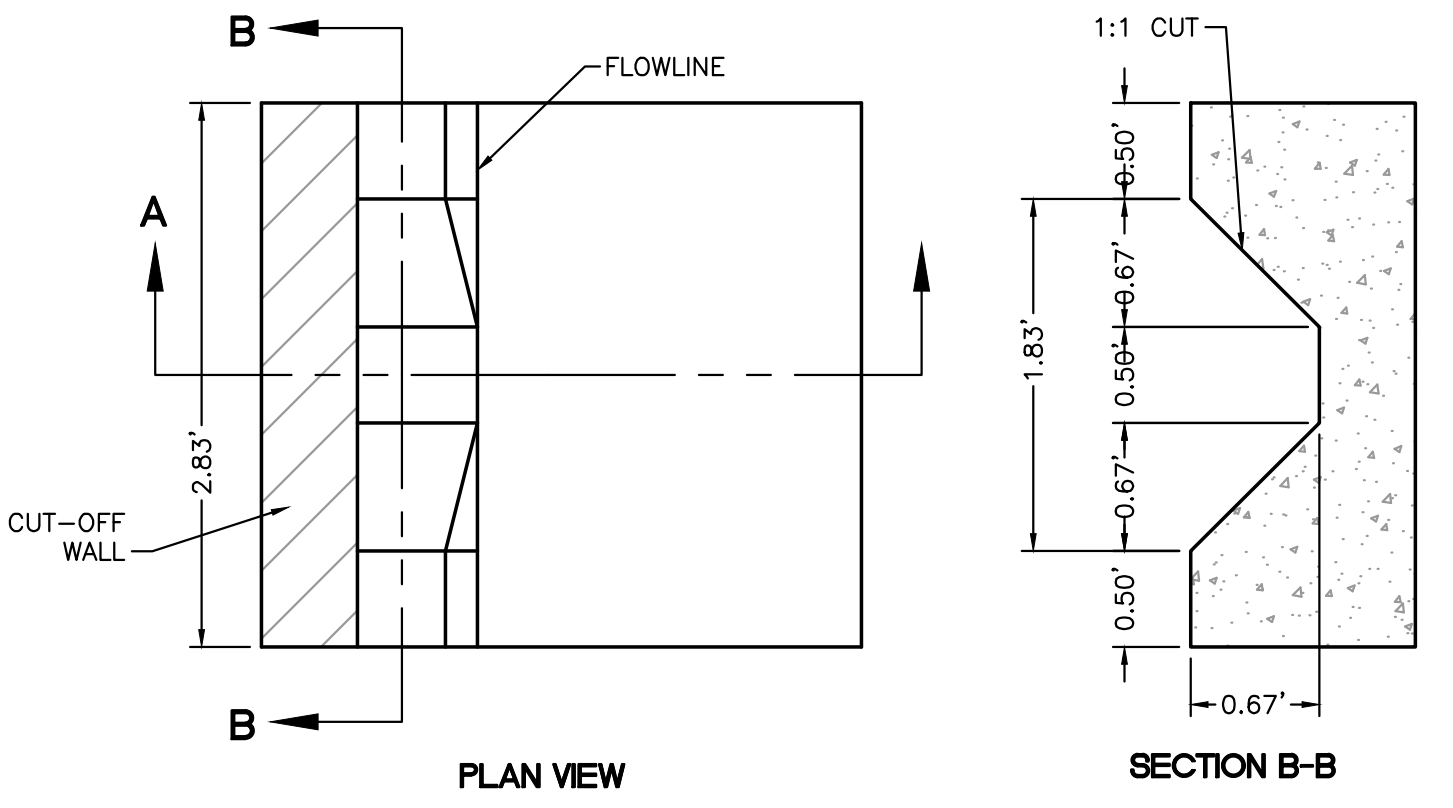
| Pipe Inner Diameter (inches) | Wall Thickness (inches) | A (inches) | B (inches) | C (inches) | D (inches) | E (inches) | Slope |
|------------------------------|-------------------------|------------|------------|------------|------------|------------|-------|
| 12 | 2 | 4 | 24 | 48 7/8 | 72 7/8 | 30 | 3:1 |
| 15 | 2 1/4 | 6 | 27 | 46 | 73 | 30 | 3:1 |
| 18 | 2 1/2 | 9 | 27 | 46 | 73 | 36 | 3:1 |
| 24 | 3 | 9 1/2 | 43 1/2 | 30 | 73 1/2 | 48 | 3:1 |
| 30 | 3 1/2 | 12 | 54 | 19 3/4 | 73 3/4 | 60 | 3:1 |
| 36 | 4 | 15 | 63 | 34 3/4 | 97 3/4 | 72 | 3:1 |
| 42 | 4 1/2 | 21 | 63 | 35 | 98 | 78 | 3:1 |
| 48 | 5 | 24 | 72 | 26 | 98 | 84 | 3:1 |
| 54 | 5 1/2 | 27 | 65 | 35 | 100 | 90 | 2.4:1 |
| 60 | 6 | 30 | 60 | 39 | 99 | 96 | 2:1 |
| 66 | 6 1/2 | 32 | 78 | 21 | 99 | 102 | 2:1 |
| 72 | 7 | 34 | 78 | 21 | 99 | 108 | 2:1 |

Notes:
1. Produced to meet ASTM specifications.
2. Contact a Concrete Pipe Division representative for details not listed on this sheet.

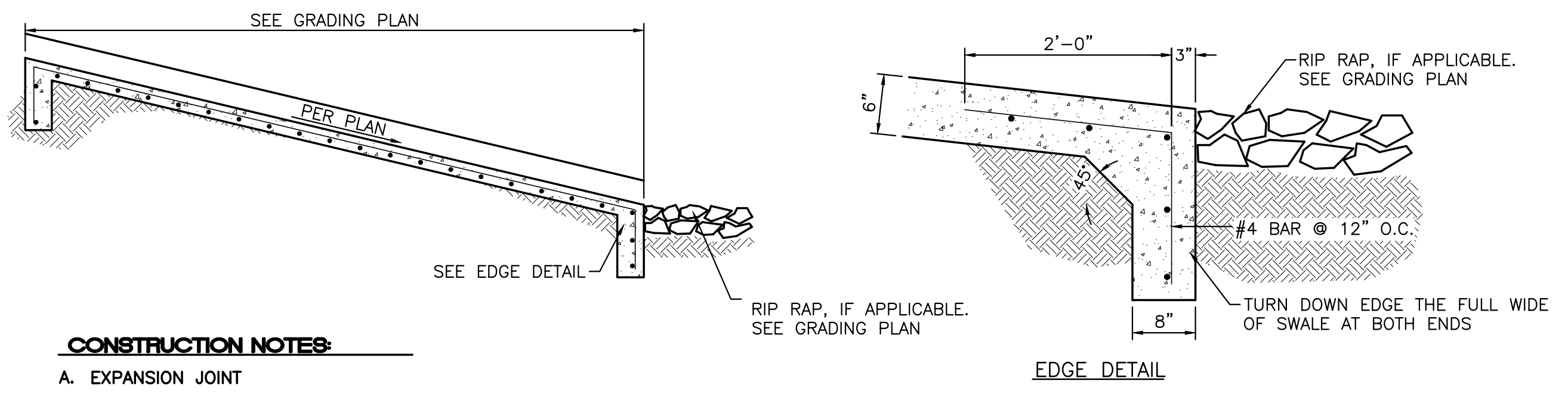
CONCRETE FLARED END SECTION DETAIL
NTS



STAND PIPE DETAIL
NTS

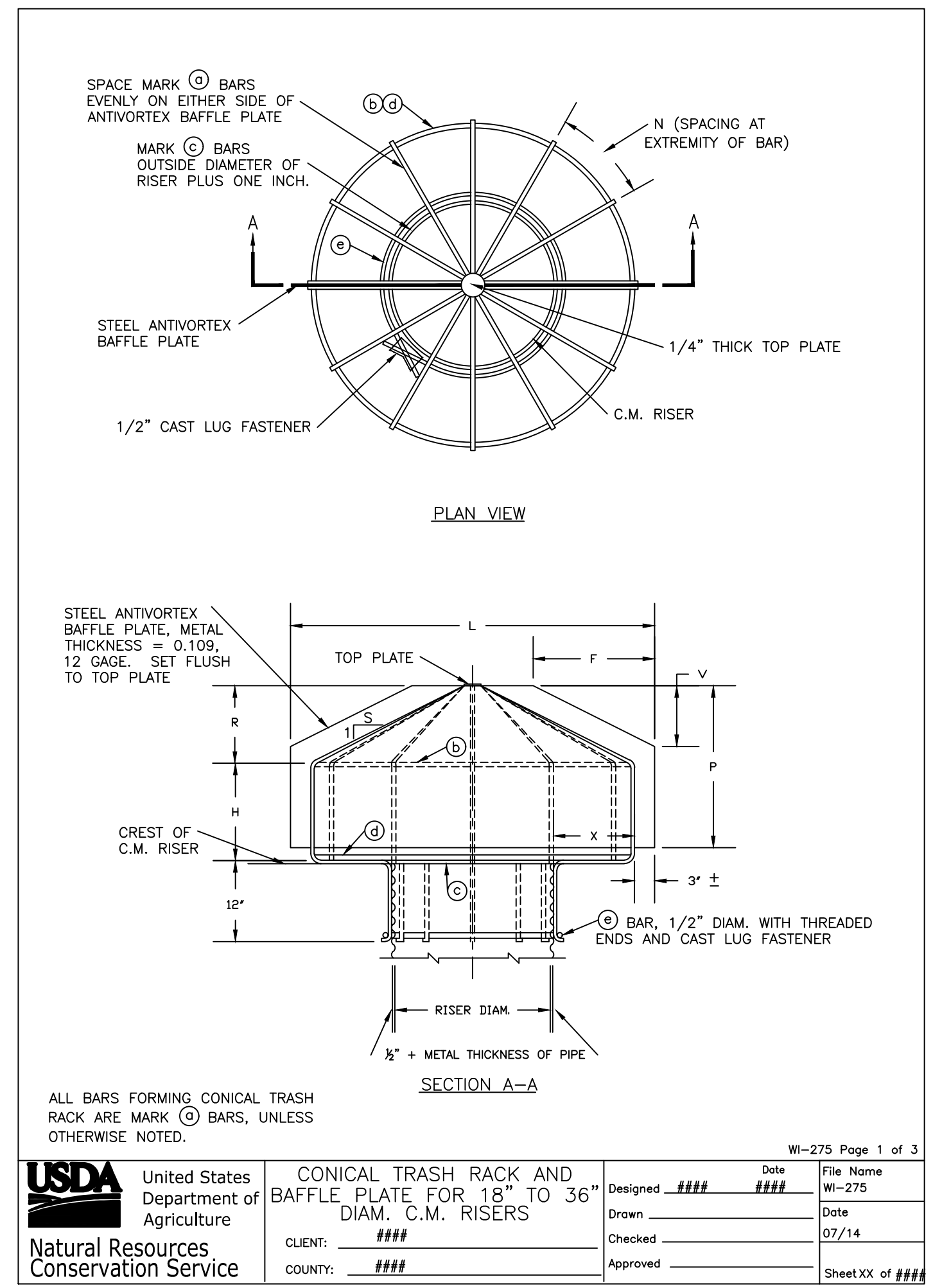


CURB NOTCH DETAIL
NTS



- CONSTRUCTION NOTES:**
- EXPANSION JOINT
 - #4 REBARS @ 6" O.C. LONG AND 12" O.C. TRANSVERSE
 - 6" COMPACTED SOIL 95% ASTM D 1557
 - WIDTH OF CHANNEL = 3"
 - KEYED CONSTRUCTION JOINT

CONCRETE SPILLWAY
NTS

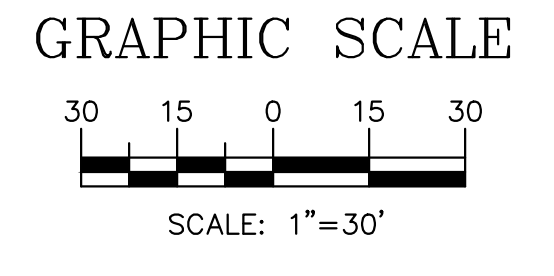
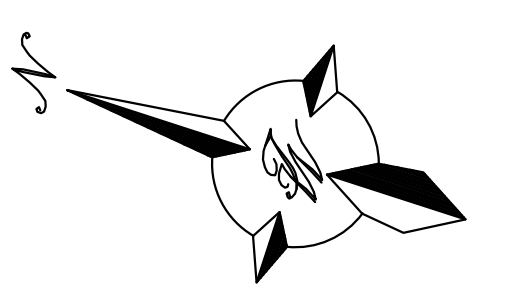
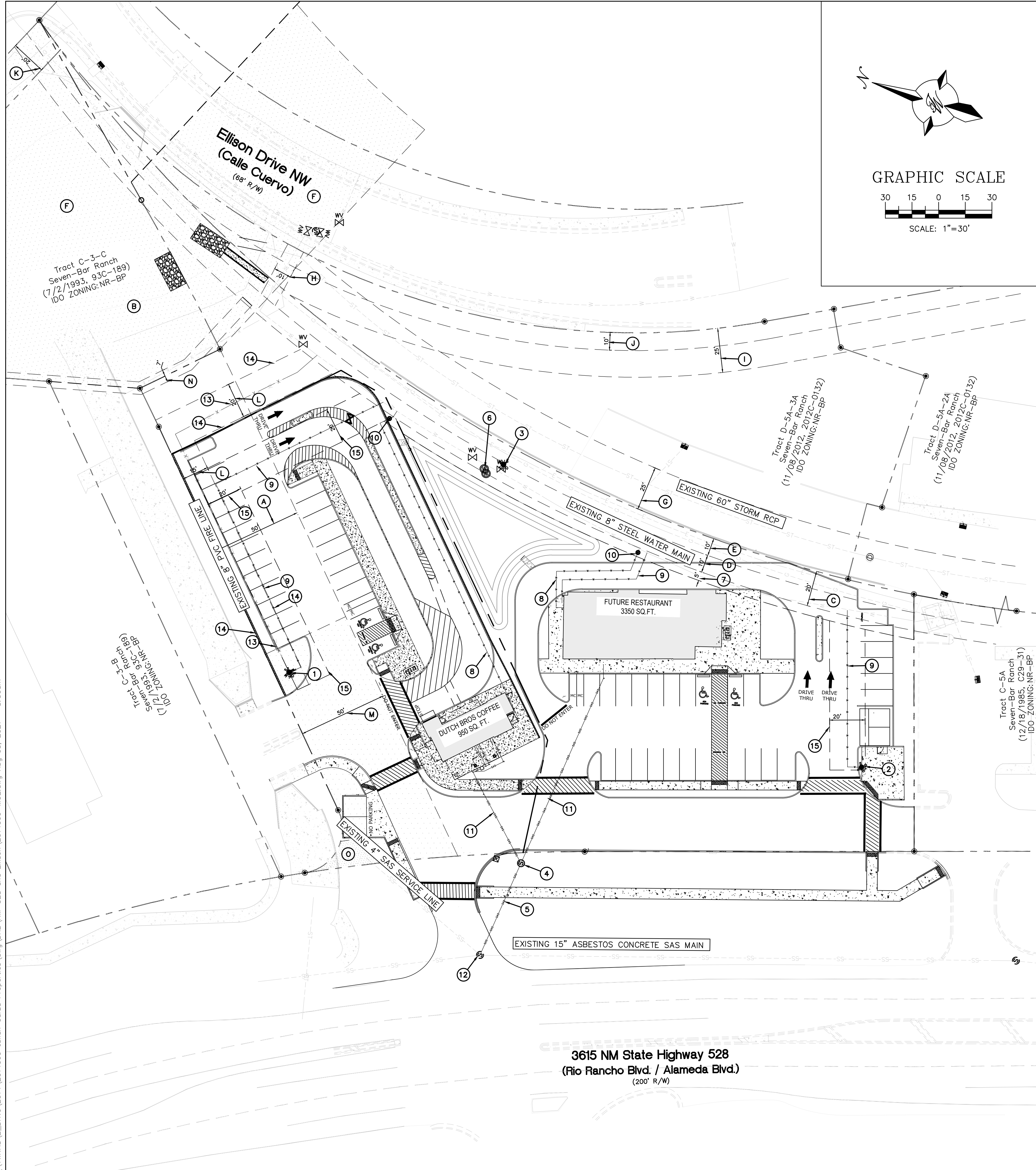


THRASH RACK
NTS

GENERAL NOTES:

- CHANNEL DEPTHS EXCEEDING 2' WILL REQUIRE SEPARATE DESIGN FOR FLOOR AND WALLS.
- TYPE B LINING WILL BE USED ONLY WHERE NO UTILITIES ARE LOCATED OR PROPOSED.
- UP TO 16' WIDTH USE 4" INVERTED CROWN. 16' WIDTH AND OVER USE 6" INVERTED CROWN.
- WARNING: THESE WALLS ARE NOT DESIGNED TO SUPPORT THE ADDITION OF GARDEN OR RETAINING TYPE WALLS.
- THE OUTSIDE OF DRAINAGE WALLS SHALL NOT EXTEND BEYOND EASEMENT LINES OR ROW LINES.
- 6" CONC. BLOCK WITH CORES FILLED WITH CONC. AND #4 BARS INSERTED INTO CORES AT 1'-6" O.C. MAY BE SUBSTITUTED FOR FORMED CONC. WALLS.

| | | | | |
|--|--|--------------------|-------------|-------------------|
| USDA United States Department of Agriculture Natural Resources Conservation Service | CONICAL TRASH RACK AND BAFFLE PLATE FOR 18" TO 36" DIAM. C.M. RISERS | Designed: ### | Date: ### | File Name: WI-275 |
| | CLIENT: ### | Drawn: ### | Date: 07/14 | Sheet XX of ### |
| COUNTY: ### | Approved: ### | WI-275 Page 1 of 3 | | |



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - PROPOSED EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- ▨ SIDEWALK
- ▨ SCREEN WALL
- ▨ RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- ⊗ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EXISTING EASEMENT
- EXISTING OVERHEAD UTILITIES
- EX. UGE --- EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS --- EXISTING GAS
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 10" WL --- EXISTING WATER LINE
- EX. 18" RCP --- EXISTING STORM SEWER LINE

ABCWUA NOTES:

1. DEVELOPMENT ON PROPOSED TRACT 2 WILL REQUIRE ITS OWN AVAILABILITY STATEMENT.
2. EACH PROPOSED LOT SHALL HAVE A SEPARATE PRIVATE SANITARY SEWER SERVICES.
3. THE LOCATION OF EXISTING PRIVATE WATER AND/OR PRIVATE SANITARY SEWER SERVICES, TO DETERMINE IF PRIVATE SERVICE EASEMENTS ARE NEEDED TO PRESERVE THE EXISTING SERVICE(S) FOR THE NEWLY CREATED LOTS, SHALL BE FIELD-VERIFIED. THE WIDTH OF TO PRIVATE SERVICE EASEMENT SHALL BE DETERMINED BY THE ENGINEER OR SURVEYOR.
4. CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
5. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS – ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
6. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
7. ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
8. ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
9. CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
10. RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
11. ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
12. CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
13. CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
14. CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
15. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

GENERAL UTILITY NOTES:

1. CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
2. PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES, UNLESS OTHERWISE NOTED.
3. AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
4. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
5. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
6. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
7. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
8. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

KEYED NOTES

- 1 EXISTING FIRE HYDRANT TO REMAIN
- 2 PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- 3 REMOVE AND DISPOSE EXISTING FIRE HYDRANT, PER APPROVED WORK ORDER
- 4 NEW 4' MANHOLE PER COA STD DWG #2101
- 5 NEW 8" SAS MAIN
- 6 EXISTING WATER METER TO BE REMOVED PER APPROVED WORK ORDER
- 7 PROPOSED 5' OF ADDITIONAL WATERLINE EASEMENT WIDTH
- 8 DOMESTIC WATER SERVICE LINE
- 9 FIRE LINE
- 10 PROPOSED WATER METER PER COA STD DWG #2367
- 11 SAS SERVICE LINE
- 12 MANHOLE CONNECTION PER COA STD DWG #2101
- 13 WATER LINE TO BE REMOVED PER APPROVED WORK ORDER
- 14 WATER LINE EASEMENT TO BE VACATED PER APPROVED PLAT
- 15 20' WATER LINE EASEMENT TO BE GRANTED PER APPROVED PLAT

EXISTING EASEMENTS

- A EXISTING 50' ROADWAY & TEMPORARY DRAINAGE EASEMENT (4/20/1982, VOL. MISC. 924, PG. 741) AND (6/21/1993, VOL. 93-16, PG. 1505-1510)
- B EXISTING DRAINAGE RIGHT-OF-WAY FOR AMAFCA ACROSS TRACT C-3-C PER AGREEMENT (7/2/1993, 93C-189)
- C EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (12/23/1974, BK. 399, PG. 963-964)
- D EXISTING 10' WATERLINE EASEMENT (12/27/1974, VOL. MISC. 400, PG. 381-82)
- E EXISTING 10' UTILITY EASEMENT (8/6/1974, VOL. MISC. 380, PG. 510)
- F EXISTING DESILTING POND FOR DRAINAGE (12/18/1985, BK. MISC. 303A, PG. 185-189)
- G EXISTING 25' DRAINAGE EASEMENT (3/22/1998, 98C-99)
- H EXISTING 10' WATERLINE EASEMENT (12/18/1985, C29-31)
- I EXISTING 25' SIDEWALK EASEMENT (12/18/1985, C29-31)
- J EXISTING 10' UTILITY EASEMENT (12/18/1985, C29-31)
- K EXISTING 20' WATERLINE EASEMENT (7/26/1984, C24-136)
- L EXISTING NMUI EASEMENT FOR WATERLINE (12/15/1993, BK. 93-36, PG. 956-961, DOC. NO. 93141955)
- M EXISTING NON-EXCLUSIVE, PERPETUAL INGRESS AND EGRESS EASEMENT (11/1/1994, BK. 94-30, PG. 6362-6367, DOC. NO. 94131022)
- N EXISTING 7' PNM AND MST&T EASEMENT (9/23/1986, BK. MISC. 397B, PG. 909)
- O EXISTING PRIVATE SANITARY SEWER EASEMENT (12/8/1993, BK. 93-35, PG. 3040-3046, DOC. NO. 93139036)

ABCWUA NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/728/](http://abcwua.org/content/view/full/463/728/)

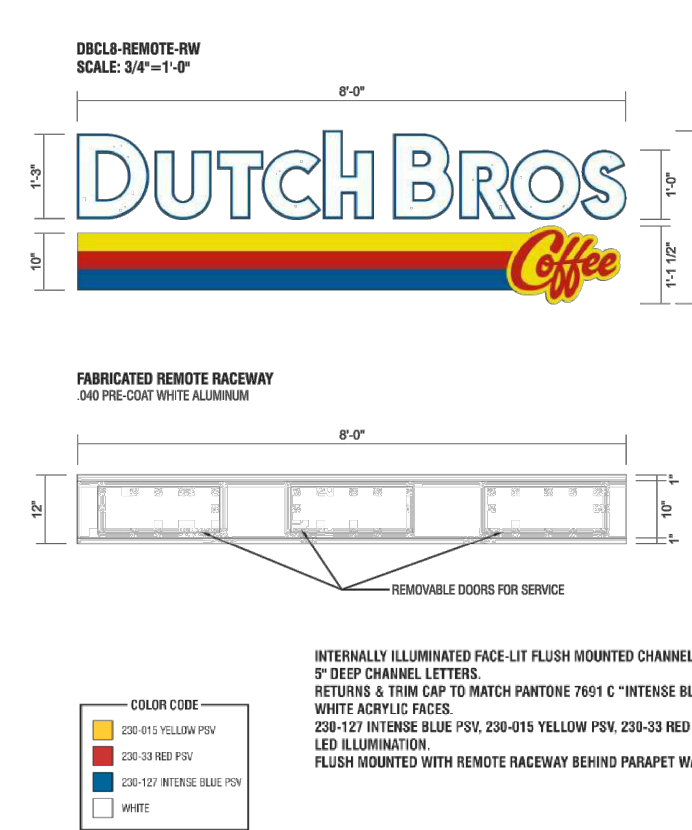
CAUTION:

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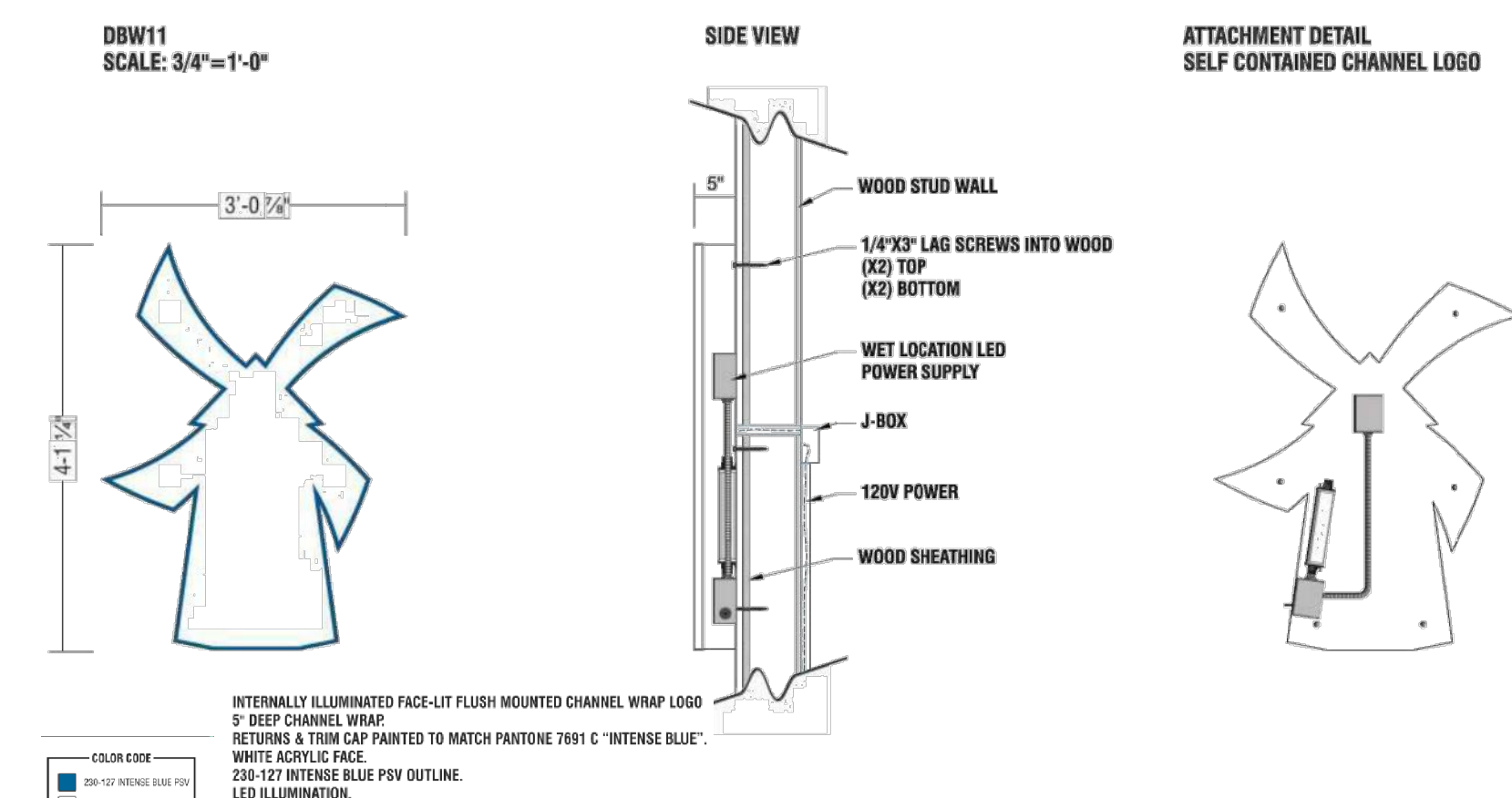
| | | |
|----------------------------------|--|------------------------|
| NOT FOR CONSTRUCTION | | |
| ENGINEER'S SEAL | NM 528 AND ELLISON 3615 NM 528 | DRAWN BY LN |
| | MASTER UTILITY PLAN | DATE 08/02/2021 |
| | | DRAWING 2014069-SPE |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com | SHEET # C6 |
| RONALD R. BOHANNAN P.E. #7868 | | JOB # 2020091 |

\\TWNAS7_V_Drive\2014\2014069-Julian Garza Properties\dwg\DRB\NM-528 and Ellison\2014069-MUE.dwg Aug 03, 2021 - 8:30am

The name DUTCH BROS. and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "lock and leaf" of the establishments and products, all text, images, colors, configurations, and other materials, are trademarks, service marks, and/or other intellectual property rights of Dutch Bros. Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property laws under the United States and foreign laws.



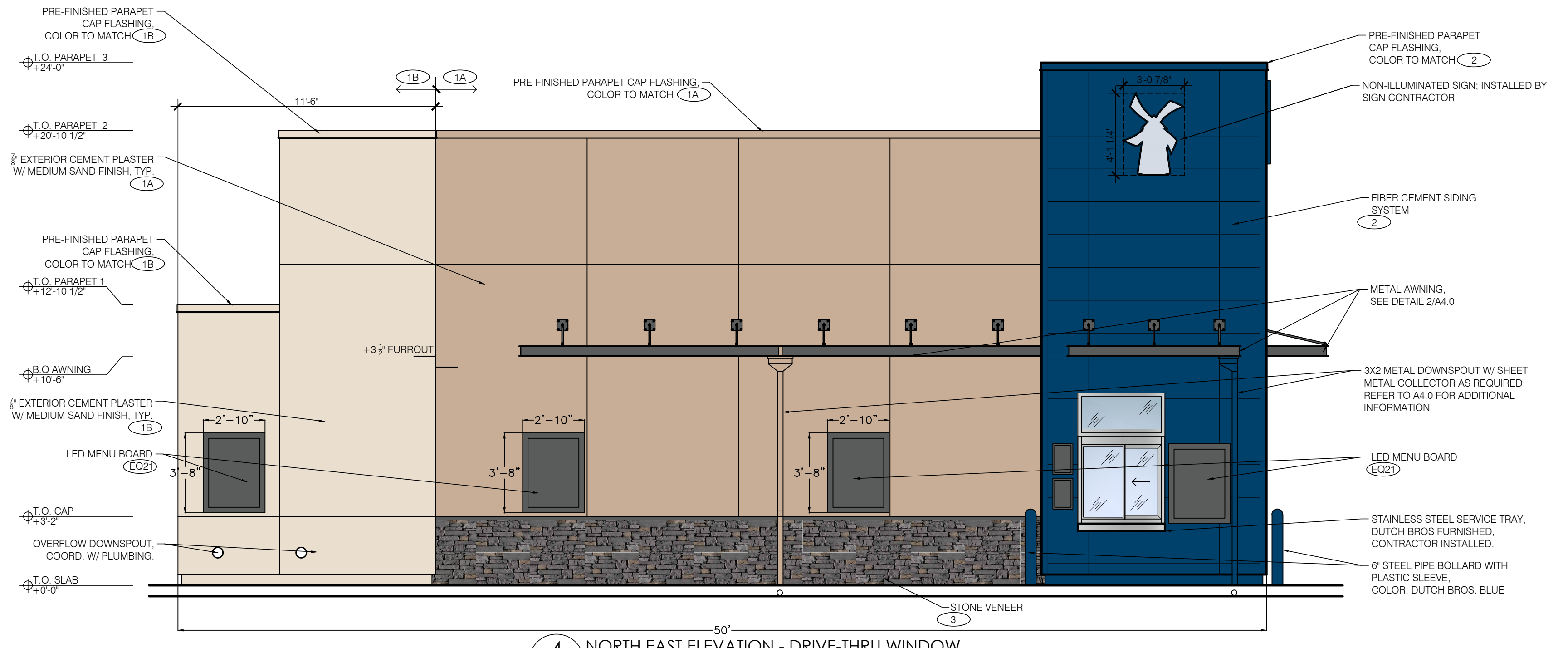
6 BUILDING SIGN BY OTHERS- REFERENCE ONLY
SCALE: NOT TO SCALE



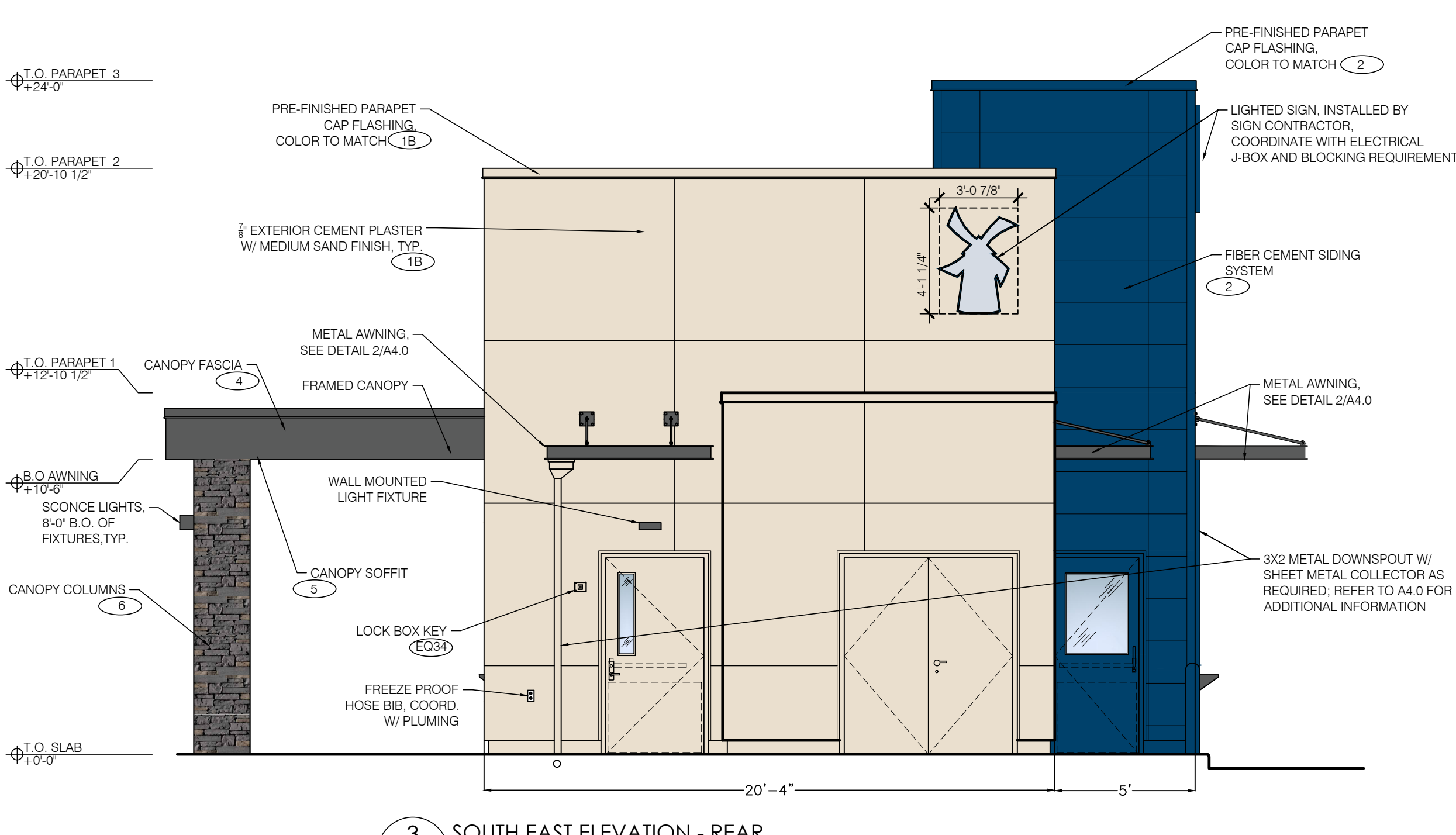
5 BUILDING SIGN BY OTHERS- REFERENCE ONLY
SCALE: NOT TO SCALE

| EXTERIOR FINISH SCHEDULE | | | | |
|--------------------------|-------------------------|----------------|--|--|
| ID TAG | MATERIAL | MANUFACTURER | MODEL | REMARKS |
| ZONE 1 (BODY) | | | | |
| 1A | EXTERIOR CEMENT PLASTER | DUNN EDWARDS | DEC715 SANDAL | MEDIUM SAND/CEMENT PLASTER |
| 1B | EXTERIOR CEMENT PLASTER | DUNN EDWARDS | DEC765 BONE | MEDIUM SAND/CEMENT PLASTER |
| ZONE 2 (TOWER) (Z2) | | | | |
| 2 | FIBER CEMENT SIDING | NICHIHA | ILLUMINATION, AWP 1818 W/ OPEN OUTSIDE CORNERS | FACTORY PAINTED BLDG DB BLUE; CAP FLASHING TO MATCH BLDG DB BLUE |
| ZONE 3 (3'-2" BASE) | | | | |
| 3 | STONE VENEER | ELDORADO STONE | CLIFFSTONE, BANFF SPRINGS | |
| | STONE VENEER SILL | ELDORADO STONE | SNAPPED EDGE WAINSCOT SILL; PEWTER | |
| ZONE 4 (FRAMED CANOPY) | | | | |
| 4 | FASCIA | | METAL FASCIA | COLOR TO MATCH DB DARK GRAY |
| 5 | SOFFIT | HEWN ELEMENTS | NATURAL NORTHWESTERN SPRUCE | 1X6, T&G, 3/4" REVEAL |
| 6 | COLUMNS | ELDORADO STONE | CLIFFSTONE, BANFF SPRINGS | |

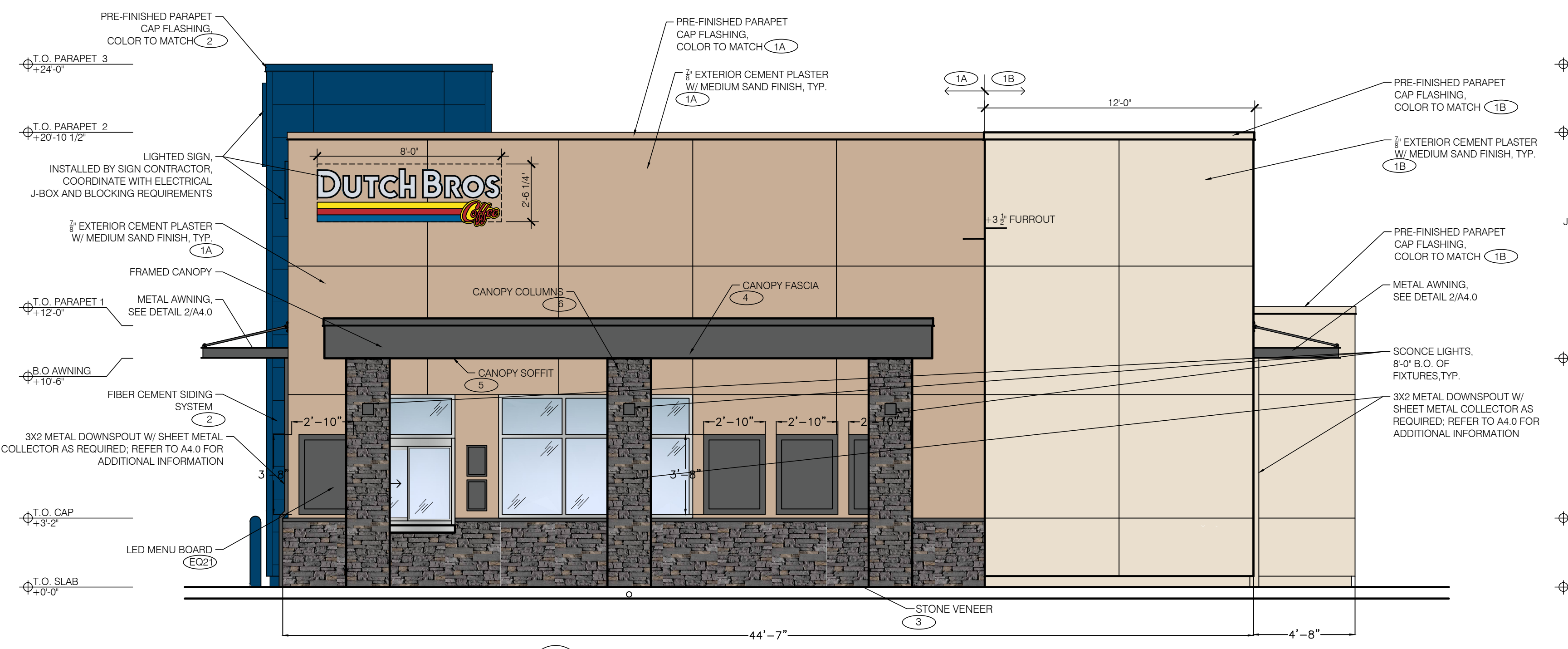
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS AND ALL NECESSARY ADAPTORS AT AWNING AND CANOPY LOCATIONS; DOWNSPOUT COLOR TO MATCH BODY MATERIAL PER ELEVATION



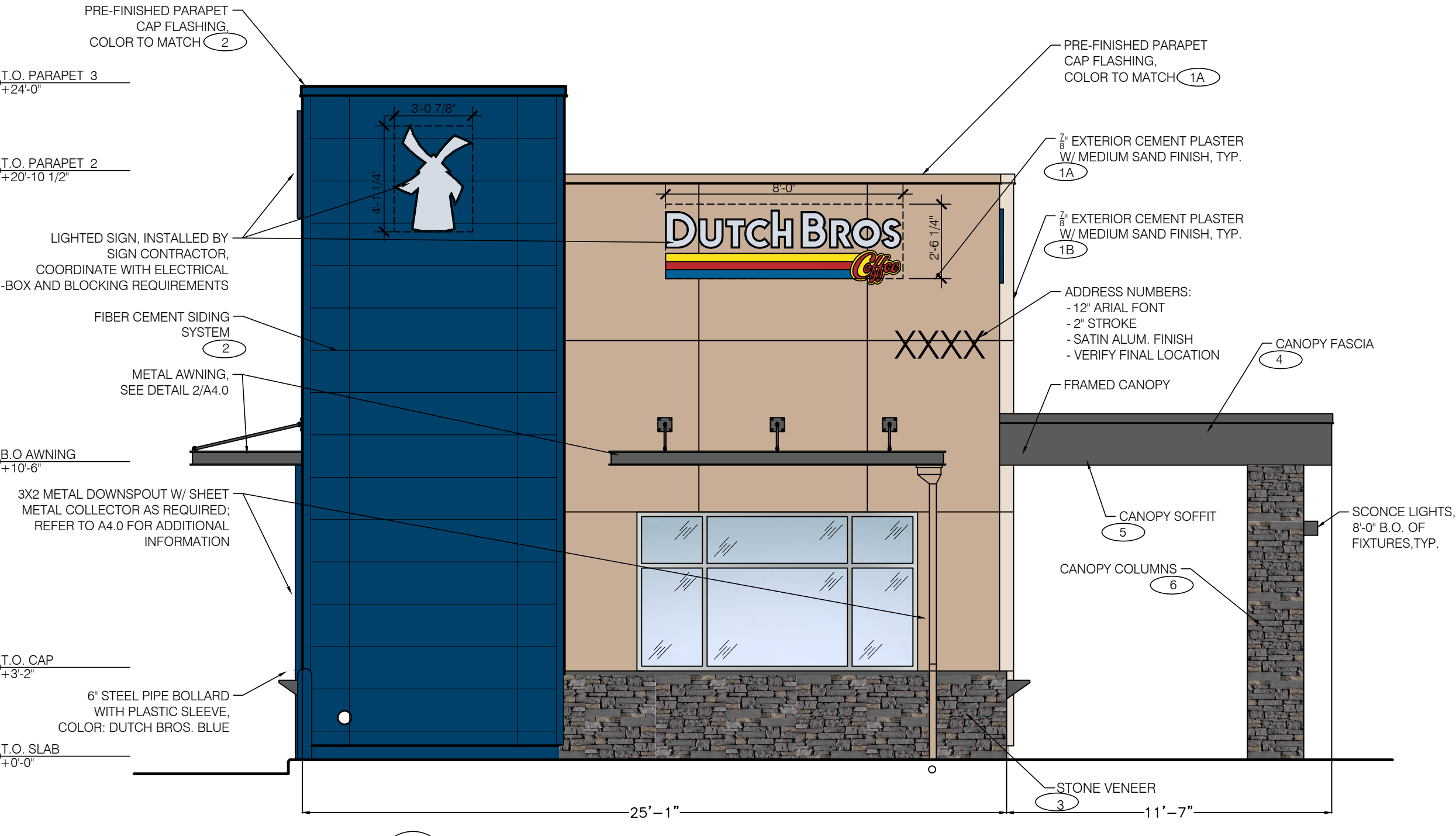
4 NORTH EAST ELEVATION - DRIVE-THRU WINDOW
SCALE: 1/4" = 1'-0"



3 SOUTH EAST ELEVATION - REAR
SCALE: 1/4" = 1'-0"



2 SOUTH WEST ELEVATION - WALK-UP WINDOW
SCALE: 1/4" = 1'-0"



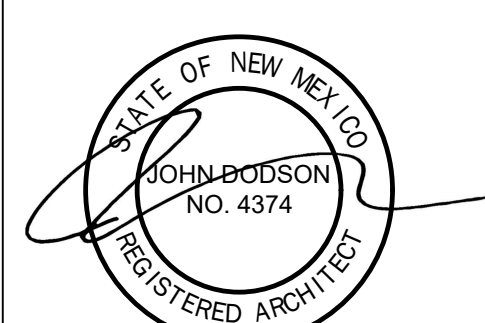
1 NORTH WEST ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



adn
ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE FRAUD. EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

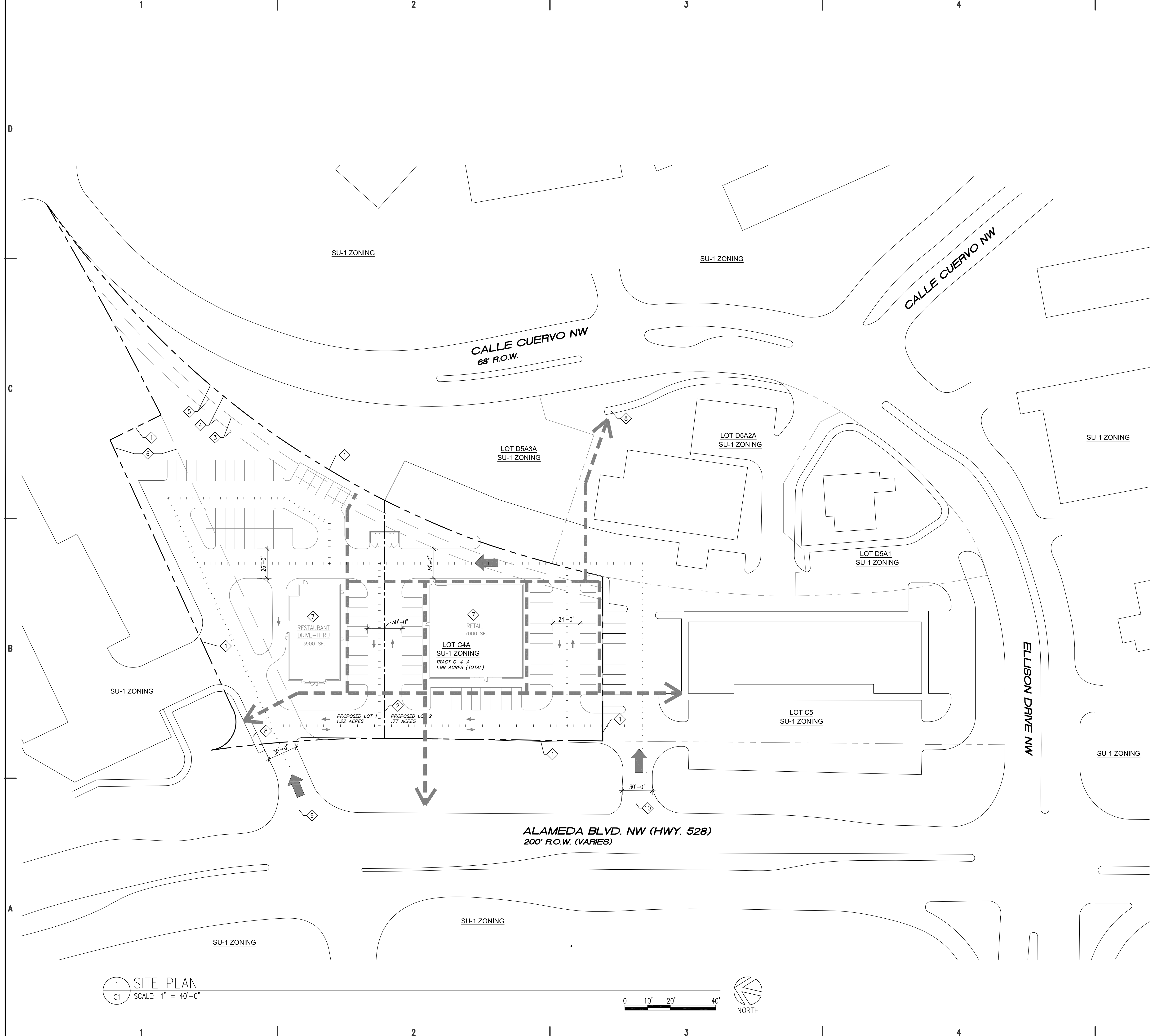


Project No: NM0105
Dutch Bros Coffee - New Freestanding Store
2550 - A1 PROTOTYPE
3615 NM-528
ALBUQUERQUE, NM 87114

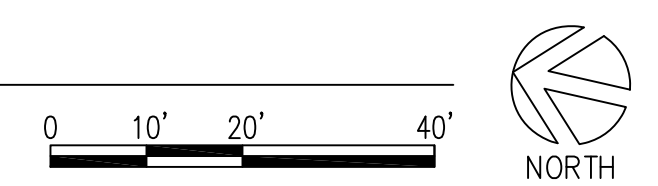
DATE: 06/01/2021
REV: DATE: DESCRIPTION:

SHEET NAME:
BUILDING ELEVATIONS
COLOR

SHEET NUMBER:
A6.1



1 SITE PLAN
C1 SCALE: 1" = 40'-0"



PROJECT NUMBER: _____
Application Number: _____

The plan is consistent with the approved Site Development Plan approved by the Environmental Planning Commission (EPC), and the Planning and Ordinance in the Official Code of the City of Albuquerque. If an Infrastructure List required? () Yes () No. If yes, then a set of approved SDP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SUBMIT DEVELOPMENT PLAN, SIGNATURE APPROVAL:

| | |
|--|------------|
| Traffic Engineering, Transportation Division | Date _____ |
| ABO/WUA | Date _____ |
| Parks and Recreation Department | Date _____ |
| City Engineer | Date _____ |
| Environmental Health Department (optional) | Date _____ |
| Solid Waste Management | Date _____ |
| GIS/Information Systems Department | Date _____ |

Underwritten Not A Warranty

- SITE PLAN KEYED NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 PROPOSED NEW PROPERTY LINE
 - 3 EXISTING 10' WATERLINE EASEMENT, FILED DEC. 27, 1974 VOL. 400 PGS. 318-82
 - 4 EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT, FILED DEC. 23, 1974, BOOK 300 PGS. 963-84
 - 5 EXISTING 10' UTILITY EASEMENT, FILE AUG. 8, 1974, VOL. 300 PG. 510
 - 6 EXISTING 50' ROADWAY AND TEMPORARY DRAINAGE EASEMENT FILE APRIL 30, 1982, VOL. 264 PG. 147
 - 7 PROPOSED FUTURE DEVELOPMENT
 - 8 EXISTING PEDESTRIAN CONNECTION / PUBLIC WALKWAY
 - 9 EXISTING SHARED ACCESS DRIVE. (RIGHT-IN, RIGHT-OUT, LEFT IN)
 - 10 EXISTING SHARED ACCESS DRIVE (RIGHT-IN, RIGHT-OUT)

SITE DATA

LEGAL DESCRIPTION:
TRACT C-4-A OF TRACTS C3A, C3B, C3C & C4A SEVEN BAR RANCH CONT

ZONING:
SU-1 for IP Uses

SECTOR PLAN:
SEVEN BAR RANCH SECTOR DEVELOPMENT PLAN

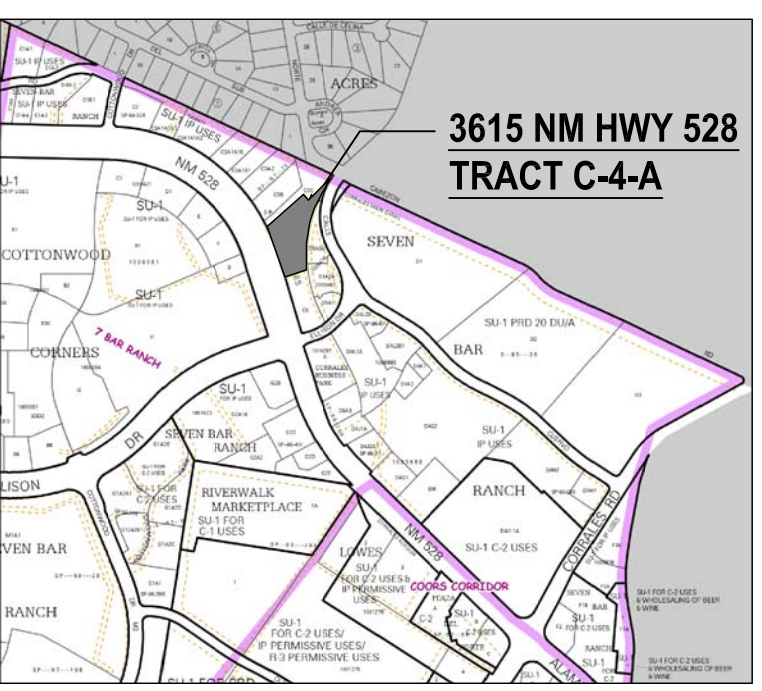
SITE AREA
TOTAL (EXISTING) LOT SQ. FT. = 86,684 SF.
TOTAL (EXISTING) LOT ACRES = 1.99 ACRES
PROPOSED LOT 1 SQ. FT. = 53,566 SF. (1.22 AC.)
PROPOSED LOT 2 SQ. FT. = 33,118 SF. (.77 AC.)

BUILDING SETBACKS

| | |
|-------|----------|
| FRONT | 15' MIN. |
| REAR | 15' MIN. |
| SIDE | 5' MIN. |
| SIDE | 5' MIN. |

MAXIMUM BUILDING HEIGHT
26 FT.

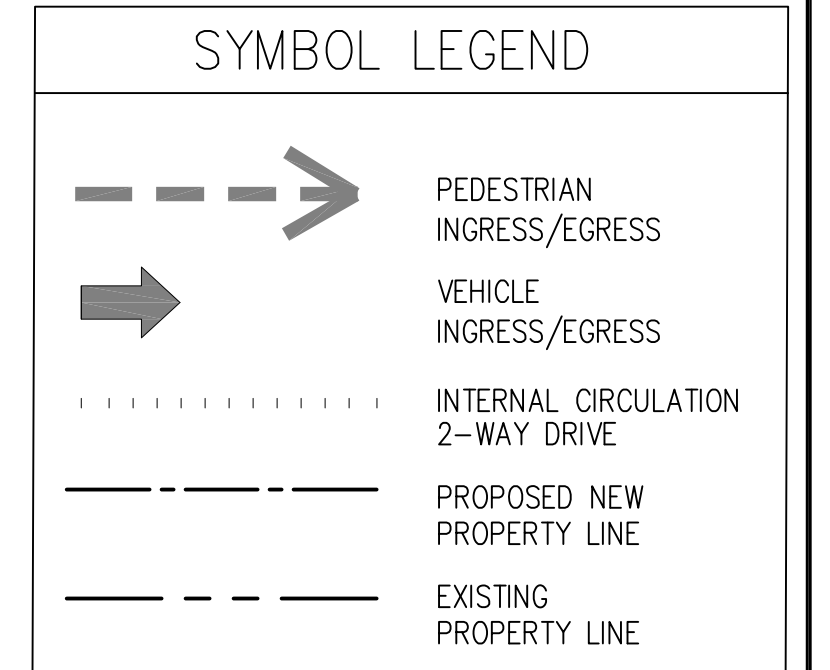
FLOOR AREA RATIO:
.5 MAX. - .27 MIN.



VICINITY MAP:
ZONE ATLAS PAGE A-14-Z

SITE PLAN GENERAL NOTES

1. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB)
2. SITE PLAN SHALL COMPLY AND BE IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALBUQUERQUE REQUIREMENTS, INCLUDING THE DEVELOPMENT PROCESS MANUAL AND CURRENT ADA CRITERIA.
3. ALL NEW REFUSE ENCLOSURES MUST BE BUILT TO COA MINIMUM SPEC. REQUIREMENTS INCLUDING A SANITARY DRAIN.
4. GROUND MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-6' OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES. REFER TO PNUM SPECIFICATION SERVICE GUIDE AT WWW.PNUM.COM FOR SPECIFICATIONS
5. DEVELOPER IS RESPONSIBLE FOR PERMANENT IMPROVEMENTS TO THE TRANSPORTATION FACILITIES ADJACENT TO THE PROPOSED DEVELOPMENT SITE PLAN, AS REQUIRED BY THE DEVELOPMENT REVIEW BOARD (DRB)
6. THE SUBDIVISION OF THE SITE SHALL COMPLY WITH THE PURPOSE, INTENT AND REGULATIONS OF THE SUBDIVISION ORDINANCE (14-14-1-3)
7. THE SITE DEVELOPMENT PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE, THE SUBDIVISION ORDINANCE, AND ALL OTHER APPLICABLE DESIGN REGULATIONS, EXCEPT AS SPECIFICALLY APPROVED BY EPC
8. A CROSS-ACCESS AND PARKING AGREEMENT SHALL BE RECORDED PRIOR TO THE RECORDING OF THE PLAT.
9. IT IS NECESSARY FOR THE DEVELOPER TO CONTACT PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE REGARDING THIS PROJECT
10. IT IS THE APPLICANTS OBLIGATION TO DETERMINE IF EXISTING UTILITY EASEMENTS OR RIGHTS-OF-WAY ARE LOCATED ON OR ADJACENT TO THE PROPERTY AND TO ABIDE BY ANY CONDITIONS OR TERMS OF THOSE EASEMENTS



ARCHITECT:

Architect:
Clint Wilsey
clint.wilsey@gmail.com
505 280-0043

DRAWN BY: CJW

ISSUE: -

COMMERCIAL REDEVELOPMENT
3615 NM HWY 528
Albuquerque, NM

DATE: 12/5/16

SHEET TITLE:
DRB -FINAL SIGN-OFF
FOR EPC APPROVED SDP
FOR SUBDIVISION

A-1 SITE PLAN

I. PURPOSE & INTENT

The following design standards were prepared with the intent of informing, guiding and preparing design professionals and developers to achieve the goals and standards set forth in this document.

The goals of the design standards are to bring thoughtful, safe, harmonious design to new development, buildings and sites along the 3600 block of HWY 528. The proposed future uses are commercial retail and restaurants, so the standards emphasize safe and functional pedestrian use, with convenient vehicular ingress/egress and parking. The architecture standards establish criteria for aesthetically pleasing buildings, with materials and features consistent and complimentary to the local built and natural environment.

- a. All new development shall meet or exceed the requirements of City of Albuquerque Comprehensive Zoning Code, and the Seven Bar Ranch Sector Development Plan for SU-1 zoning.

II. SETBACKS AND BUILDING HEIGHT

Building height shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code. For SU-1 Zoning the code refers to R-2 Zoning limitations (Sect. 14-16-2-11(C)). Structure height up to 26' is permitted. Structures over 26' shall fall within 45' angle plan requirements described in the above section.

- a. Setbacks shall meet the requirements of the City of Albuquerque Comprehensive Zoning Code (Sect. 14-16-2-11(E)). For SU-1 Zoning the code refers to R-2 Zoning requirements. Setbacks shall be as follows:

Front yard setback: 15' min.
Side yard setback: 5' min.
Rear yard setback: 15' min.

- b. Landscape setbacks shall meet the requirements of the CABQ Comp. Zoning Code section 14-16-3-10(E)(3)..

III. VEHICULAR ACCESS, CIRCULATION & PARKING

Proper parking and vehicle circulation is key to a safe, efficient and convenient commercial development. Visually, parking areas shall not dominate the frontage along Hwy 528. Parking shall be dispersed into smaller lots, and primarily situated between and behind buildings. Cross access and shared parking is encouraged. Careful consideration should be given to screening parking, while maintaining clear sight at intersections and pedestrian connections.

- a. Off-street parking areas, including parking spaces size, drive aisle widths, pedestrian walkways, and screening shall comply with Section 14-16-3-1 of the CABQ Comp. Zoning Code.
1. Parking areas shall be designed to include a min. 6 foot wide pedestrian connections to buildings

- 1. Parking shall be placed beside, behind buildings or screened from surrounding neighborhoods by a 3 foot wall or landscaping. Walls shall compliment the material and style of surrounding buildings.
b. Bicycle parking shall comply with Section 14-16-3-1(B) of the CABQ Comp. Zoning Code.
1. Secure bicycle parking shall be provided in convenient locations to help promote cycle commuting.
c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the CABQ Comp. Zoning Code.
d. Building entries shall be clearly visible from parking areas or by site access and circulation.
e. Grading and drainage design of parking areas shall comply with Chapt 22 of the Development Process Manual and shall incorporate low impact development principles.

- 1. Parking islands shall allow for proper drainage or used for water harvesting.

V. WALLS, FENCES & SCREENING

To enhance the attractiveness of site and parking lots, screening of areas such as parking and utility items, as well as retaining walls shall meet the following design standards. Walls, fences and screening shall meet the requirements of Section 14-16-3-19 of the Abq. Comprehensive Zoning Code.

- a. Parking shall be screened from the public rights-of-way by means of a 3 foot high wall and/or landscaping. These walls shall be complimentary to the building designs on site, and should reflect local materials and colors.
b. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage. (loading zones located in parking areas and drives, that are not depressed or do not contain a raised dock are not subject to screening)
1. Trash enclosures shall be consistent with the architectural styles and materials of buildings on site.
2. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash stored between collections.
3. Trash enclosures shall have solid, or opaque gates as tall as the enclosure.
c. Walls and fences shall be at least as tall as the objects they are intended to screen but shall not exceed 8 feet high.

- d. All screening devices shall be in compliance with the City of Albuquerque DPM's Clear Sight Triangle regulations.
e. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18(C)(6) of the CABQ Comp. Zoning Code.
1. All mechanical equipment shall be screened from public view by materials that compliment the style and colors of the buildings on site and the surrounding areas.

- f. Walls and fences shall comply with Section 14-16-3-19 of the CABQ Comp. Zoning Code.
g. Perimeter walls shall include openings at all pedestrian connections to insure convenient access to adjacent tracts.
h. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slots, cyclone fencing or unfinished, smooth, grey CMU is prohibited.

- i. Some examples of acceptable wall & fence materials include:
1. stucco over CMU
2. split faced block
3. brick
4. stone
5. curved interlock blocks
6. solid, perforated or patterned sheet metal. (no corrugated roofing sheet metal)

- j. The finish of walls & fences shall be attractive and complimentary to the building materials on site.
k. Retaining walls are permitted and shall be attractive and complimentary to the building materials and colors on site.

- 1. Retaining walls, seat walls, or elements intended to compensate for the slope in the site, shall avoid long, unarticulated expanses of wall. Walls shall have varied setbacks of at least one foot in planes not running in on continuous direction for more than fifty feet without a change in height or setback.
2. Pedestrian sidewalks and landscape shall be integrated into these locations where applicable to allow for pedestrian access through elevation changes with the site.

- l. Grading and drainage plans must comply with the City of Albuquerque's Drainage Ordinance.
1. All measures shall be taken to provide public safety at ponding locations

VI. LIGHTING AND SECURITY

To improve safety, security and site aesthetics, lighting design shall be carefully considered. The primary design goal of site lighting shall be to maximize public safety without impacting the adjacent properties, buildings or roadways with extraneous glare or reflection.

- a. All lighting shall comply with Section 14-16-3-9, Area Lighting Regulations of the CABQ Comp. Zoning Code.
b. Lighting fixtures shall conform to the requirements of the State of New Mexico Night Sky Protection Act. (74-12-1 to 74-12-10 NMSA 1978)
c. All free-standing lights shall be of consistent design throughout the site.
d. High pressure sodium & cobra-head type lighting fixtures are not permitted.
e. Light fixtures shall be located on Site Development Plans for Building Permit
f. The height of street lights and off-street parking area lights shall not exceed 26 feet.
g. All lights shall be shielded to prevent light spillage onto adjacent properties or the public right-of-way.
h. Pedestrian lighting shall not exceed 12 feet in height
i. Tree canopy lighting may be used to accent and enhance pedestrian connections.
j. Exterior elevations of buildings fronting the public right-of-way may use accent lighting to enhance the building

VII. LANDSCAPING

The site development landscape shall strive to improve and enhance the aesthetics of the site and its presence from the street, as well as define and enhance pedestrian and vehicular connections. The goal is to create a natural setting, indicative of the New Mexico landscape, and that provides year around coverage, color and interest for the development. A clear theme and style for the development shall be planned and reflected in the hardscape, paving, plantings, signage, and site amenities. Landscaping shall conform to the regulations applicable to Apartment and Non-residential Development required in Section 14-16-3-10 of the Abq. Comprehensive Zoning Code.

- a. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance) of the CABQ Comp. Zoning Code.
b. A minimum of 15% of the net site area shall be devoted to landscape materials.
c. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas
d. Gravel shall be a 1-1/2" maximum, and color shall be consistent or specific to a design pattern throughout the site.

- e. All plant material shall be maintained by the building owner in a living, attractive condition, and free of weeds and trash.
f. Minimum plant material sizes at the time of installation shall be:
1. Canopy Trees - 2" caliper
2. Evergreen Trees - 10" min. height
3. Accent Trees - 2" caliper
4. Shrubs and groundcovers - 1 gallon minimum

- g. Landscape plans shall comply with the City's Water Conservation Ordinance and Pollen Ordinance.
h. Drought tolerant species shall be used in landscape areas, and zericape planting is encouraged. Live plant materials shall cover a min. 75% of landscape areas at maturity.
i. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying on walls, buildings, fences, sidewalks, parking areas, etc. Irrigation components shall be maintained properly in full working condition at all times.

- j. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
k. Landscape beds shall be at grade to promote water harvesting.

VIII. ARCHITECTURE / DESIGN

The architectural design of buildings and site amenities shall be thoughtful and reflect a high quality of aesthetics, character, and appropriate scale and massing. The design shall reflect the built and natural surrounding of the southwest, and shall respond to climate, views, solar access and street visibility.

- a. All development shall comply with the General Building & Site Design Regulations for Non-residential uses of the CABQ Comp. Zoning Code.
b. Architectural Style:
1. The development shall provide a cohesive material and color palette among all buildings.
2. Building features like shade canopies, storefronts, and building accents should be consistent or complimentary to the overall style of the development.
3. All buildings shall be "contemporary" in design and reflect characteristics and architectural styling of the present time. Contemporary design is based in modern architecture styling and can include clean lines, explicit geometry, variation in massing, minimal or no ornamentation, careful and honest use of materials, emphasis on shadow/light, and creative use of openings and glazing.
4. Historical references to traditional New Mexico styles shall be in a contemporary interpretation of those styles.

c. Articulation

- 1. Buildings shall have a variety of structural forms to create visual interest and character.
2. Long unarticulated facades shall be prohibited. Facades shall have varied front setbacks, bump-outs, or wall planes that do not run in one continuous direction of more than 100 feet without a change in color, material or architectural treatment.
3. Massing elements shall be reinforced with accent color or material variation.

d. Materials:

- 1. The architectural expression of all buildings shall reflect contemporary style with materials that compliment New Mexico and southwest vernacular.
2. Individual building elements and materials shall be of excellent design, construction, and quality. Examples of appropriate materials include:
- Metal wall panels
- Porcelain tile
- Natural or cast stone
- Concrete (colored or patterned)
- Rammed earth
- Glass
- Stucco or EIFS
- Brick or decorative CMU
3. The following exterior building materials shall be prohibited:
- Engineered wood paneling
- Vinyl or plastic siding
- plain grey, or unfinished smooth CMU
4. All glazing shall be clear and neutral in color. Reflective, deeply colored, and patternized glazing is prohibited
5. Canopies, trellises and awnings shall be durable and weather resistant, such as metal, corrugated metal, or steel.
6. Colors shall include earth tones with accent colors in limited areas.
i. No more than 2 accent colors shall be used per building
ii. The use of contrasting colors for shade elements and metal accents are encouraged.

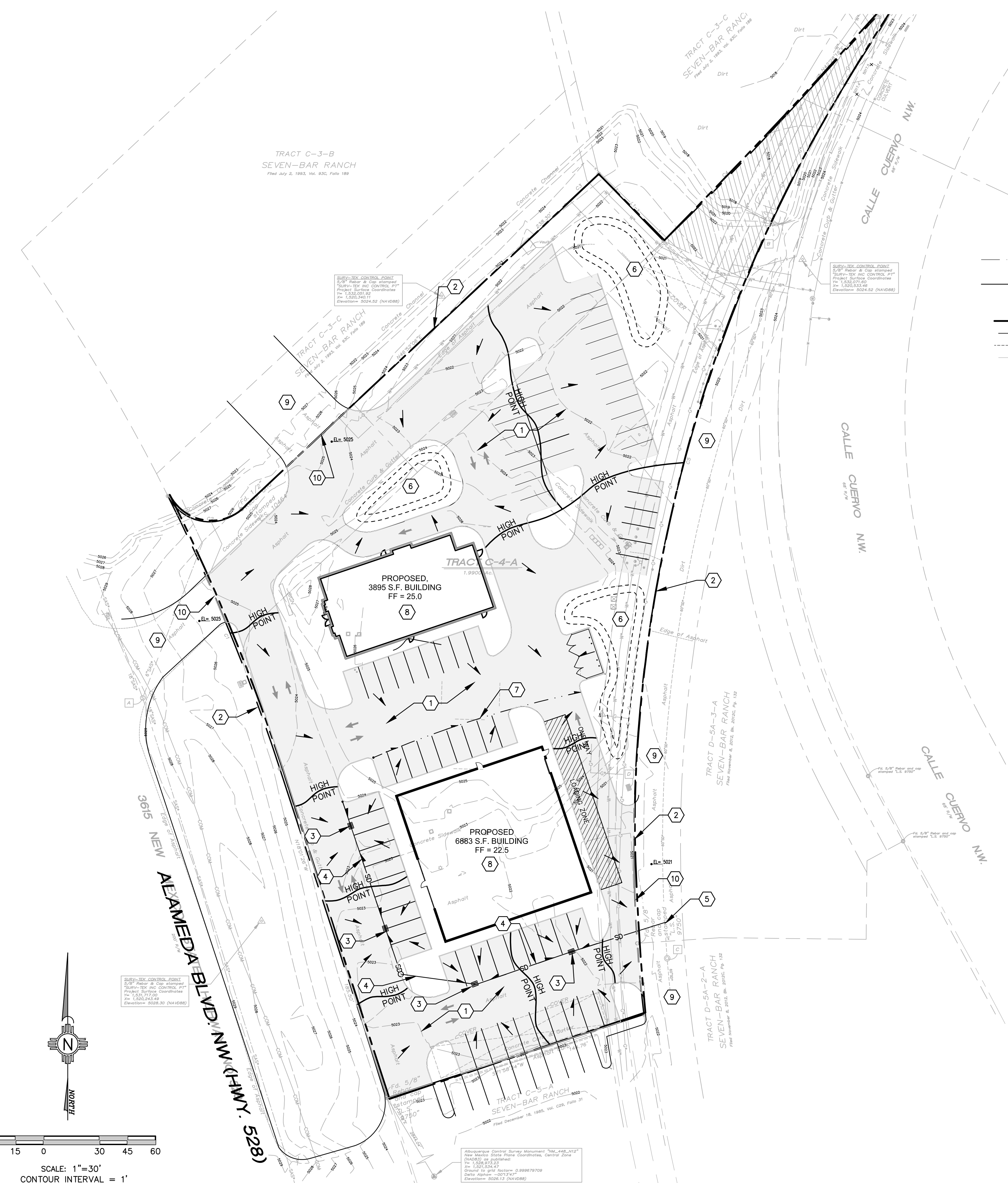
IX. SIGNAGE

Signage and graphics should create a sense of arrival to the development and provide visual continuity between the various lots and their users.

- a. All signage on subject site must comply with Sections 14-16-3-5 (General Sign Regulations) and 14-16-2-19(A)(25)(Industrial Park Zone).
* Per these requirements, one free standing sign is permitted for each street frontage, or joint sign premises, which as at least 200 feet of street frontage. This would allow a single, 26-foot high, 100sf. sign on the subject site along NM Highway 528. A maximum of twenty percent of building facades facing NM Hwy 528 may be used as building mounted signage area.
b. Free standing signs shall be designed so as to not require and external bracing, angle supports, guy wires or similar devices
c. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights
d. Signs shall not overhang into the public right-of-way or extend above the buildings parapet or roof line.
e. Off-premise signs and portable signs are prohibited
f. Building mounted signs shall have contrasting colors from the background and text height and font to ensure readability

X. PROCESSING building mounted sign shall intrude upon architectural features like windows, columns, or parapets. Application for Building Permit shall be delegated to the Development Review Board and shall be consistent with the design standards established by the Site Development Plan for Subdivision.

ARCHITECT:
Architect:
Clint Wilsey
clint.wilsey@gmail.com
505 280-0043
DRAWN BY: CJW
ISSUE: -
COMMERCIAL REDEVELOPMENT
3615 NM HWY 528
Albuquerque, NM
DATE: 12/5/16
SHEET TITLE:
DRB -FINAL SIGN-OFF
FOR EPC APPROVED SDP
FOR SUBDIVISION
A-2 DESIGN STANDARDS



LEGEND:

- 38.00 FG PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (85.19) MATCH EXISTING ELEVATIONS
- TCON TOP OF CONCRETE FLOW LINE, CURB
- FL FLOW LINE, CURB
- INV INVERT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- FLOW ARROW
- === GRADE BREAK—HIGH POINT
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- 5895 EXISTING MINOR CONTOUR
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- SAS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- STORM DRAIN INLET
- POWER POLE
- GUY WIRE
- OHW OVERHEAD WIRES
- SEWER SEWER
- E UNDERGROUND ELECTRIC LINE
- COM UNDERGROUND COMMUNICATIONS LINE
- G UNDERGROUND GAS LINE
- W UNDERGROUND WATER LINE
- SANITARY SEWER CLEAN-OUT
- WATER METER
- WATER VALVE
- HYDRANT
- X—X— FENCE

GRADING AND DRAINAGE NARRATIVE

THE EXISTING PROPERTY FOR COMMERCIAL DEVELOPMENT IS LOCATED AT 3615 ALAMEDA BLVD. NW (HWY. 528). THE SITE IS ACCESSED FROM THE NORTH SIDE (EXISTING DEVELOPMENT) FROM NORTH BAR RANCH NW AND THE WEST SIDE FROM ALAMEDA BLVD. NW. AND FROM THE EAST SIDE COMMERCIAL DEVELOPMENT. THE SITE CONSISTS OF AN EXISTING PARKING LOT, BUILDING AND CONCRETE FLATWORK. THERE IS AN EXISTING DEVELOPMENT (SEVEN BAR RANCH) ON THE NORTH AND SOUTH SIDE. THE PROPERTY IS BOUNDED BY ALAMEDA BLVD (NM-528) ON THE WESTSIDE. TO THE EAST IS A VACANT COMMERCIAL LOT. THE LAND IS GENERALLY FLAT AND SLOPES FROM THE SOUTHWEST TO THE NORTHEAST. THE POSSIBLE IMPROVEMENTS WILL BE NEW BUILDINGS AND ASSOCIATED CONCRETE FLATWORK, ASPHALT PARKING LOT, CURB AND GUTTERS AND ASSOCIATED SITE WORK.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE STANDARD CURB AND GUTTER, WITH CURB CUTS AND RUNDOWNS ALLOWING STORMWATER INTO PROPOSED WATER HARVESTING AREAS. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQD VOL = (0.33 IN. * 65900 SF)/12 = 1850 CF. PROPOSED WATER HARVEST AREA VOL 4500 CF > 1850 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS IN THE NORTH AND NORTHEAST CORNER OF THE SITE AND THE EASTERN PORTION OF THE SITE.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEMA DESIGNATED FLOOD ZONE AS PER FEMA MAPS.

KEYED NOTES:

- 1) NEW HOT MIX ASPHALT.
- 2) APPROXIMATE LOCATION OF PROPERTY LINE.
- 3) NEW WATER QUALITY INLET (4 TYPICAL).
- 4) NEW 12" STORM DRAIN PIPE.
- 5) CONNECT TO EXISTING STORM DRAIN MAIN.
- 6) NEW WATER HARVEST AREA.
- 7) SWALE.
- 8) NEW BUILDING.
- 9) EXISTING ASPHALT.
- 10) SAW CUT EXISTING ASPHALT, MATCH EXISTING ELEVATION. SEE PLAN FOR ELEVATION.

CONSULTANT:

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 Engineers • Planners
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ARCHITECT:

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DRAWN BY: **RA**

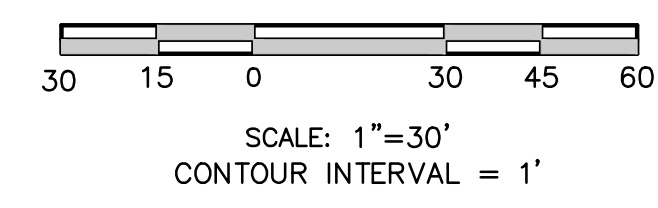
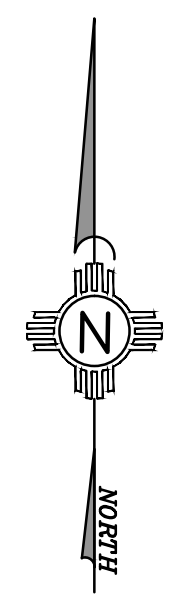
ISSUE: **PERMIT SET**

COMMERCIAL REDEVELOPMENT
 3615 NM HWY 528
 Albuquerque, NM

DATE: **8/31/16**

SHEET TITLE:
EPC CONCEPTUAL GRADING AND DRAINAGE PLAN FOR SUBDIVISION

C-101



A1 GRADING AND DRAINAGE PLAN
 SCALE: 1" = 30'

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

July 15, 2021

Western Hills Investments LLC
PO Box 45688
Rio Rancho, NM 87114

Project #2021-005301
SI-2021-00452—Major Amendment Site Plan-EPC

LEGAL DESCRIPTION:

Tierra West, agent for Western Hills Investments LLC, requests the above action for Tract C-4-A, plat of Tracts C-3-A, C-3-B, C-3-C, and C-4-A, Seven Bar Ranch Addition, zoned NR-BP, located north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW, at 3615 NM 528 NW, approximately 2.0 acres (A-14)
Staff Planner: Catalina Lehner

On July 15, 2021, the Environmental Planning Commission (EPC) voted to APPROVE Project # 2021-005301/SI-2021-00452, a Major Amendment to a Site Plan-EPC, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

1. The request is for a Major Amendment to an existing site development plan for an approximately 2-acre site, legally described as Tract C-4-A, plat of Tracts C-3-A, C-3-B, C-3-C, and C-4-A, Seven Bar Ranch Addition and addressed as 3615 NM528 (the “subject site”).
2. The applicant proposes to re-develop the subject site with two restaurants with drive-thru facilities. Phase I includes a 950 sf coffee drive-thru and Phase II includes a 3,350 sf restaurant with a drive-thru. The office building that occupied the subject site was recently demolished.
3. The subject site is located north of Ellison Dr. NW and east of Coors Bypass NW/Coors Blvd. NW, and across the street from the Cottonwood Employment Center, in an Area of Consistency. NM State Hwy 528/Alameda Rd., a Regional Principal Arterial and designated Commuter Corridor, abuts the subject site to the west.
4. The subject site is zoned NR-BP [Non-Residential Business Park Zone District, IDO 14-16-2-5(B)]. Restaurant is a permissive use; applicable use-specific standards are found in IDO 14-16-4-3(D)(8). A drive-through or drive-up facility is an accessory use; applicable use-specific

standards are found in IDO 14-16-4-3(F)(4). Prior to the IDO, the subject site was zoned SU-1 for IP Uses (Special Use Zone for Industrial Park uses) and was part of the larger Seven Bar Sector Development Plan area.

5. The request exceeds the thresholds for a Minor Amendment and is being considered pursuant to IDO Section 14-16-6-4(Y)(1)(b)1, which states that Major Amendments shall be reviewed by the original decision-making body. The EPC approved the controlling site development plan in 2017, prior to effective date of the IDO. Pursuant to IDO Section 14-6-4(P)(2), the decision-making body may impose conditions necessary to bring the application into compliance with IDO requirements.
6. The request covers the same geographic boundaries as the controlling site development plan and would replace and supersede it with a new Site Plan-EPC. The request would subsequently go to the Development Review Board (DRB) for a minor subdivision action to create the two lots and to address infrastructure issues.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(H)(3) as follows:

- A. 6-6(H)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

As demonstrated by the policy analysis, overall the request is generally consistent with applicable Comprehensive Plan Goals and policies despite some instances of conflict. Conditions of approval can be applied to address the inconsistencies to the greatest extent possible.

- B. 6-6(H)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the property and any related development agreements and/or regulations.

The subject site is not zoned NR-SU or PD. The controlling site plan (2017) contains design standards (special regulations). As part of the request the applicant is asking to be allowed to develop the subject site pursuant to the IDO and not according to the design standards- which would be vacated if the request is approved.

- C. 6-6(H)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

With implementation of conditions of approval, the site plan will comply with applicable provisions of the IDO. The request will need to be reviewed by the Development Review Board (DRB) to ensure compliance with applicable provisions of the Development

Process Manual (DPM), particularly those pertaining to transportation and grading and drainage.

- D. 6-6(H)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The request will be reviewed by the Development Review Board (DRB), which is charged with addressing infrastructure and ensuring that infrastructure such as streets, trails, sidewalks, and drainage systems have sufficient capacity to serve a proposed development.

- E. 6-6(H)(3)(e) The application mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The future, proposed development will be required to comply with the decisions of two bodies- the EPC and the DRB. The EPCs' conditions of approval will improve compliance with the IDO, which contains regulations to mitigate site plan impacts to surrounding areas. The DRB's conditions will ensure infrastructure is adequately addressed so that a proposed development will not adversely impact the surrounding area.

- F. 6-6(J)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Not applicable. The subject site is not a part of a Master Development Plan.

- G. 6-6(J)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Area pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Not applicable. The subject site is not in a designated Railroad and Spur Area.

9. The request is generally consistent with the following, applicable Comprehensive Plan Goals and policies from Chapter 5- Land Use:

- A. Goal 5.6-City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is in an Area of Consistency, where growth is intended to reinforce the character and intensity of the surrounding area. The area is developed with mostly

commercial uses, but also has some office, multi-family, and a large-lot County subdivision nearby. The request would facilitate development generally compatible with the intensity of other development along the Commuter Corridor, which includes fast-food, restaurants, and retail of various sizes (including big-box). However, the future development would be less intense than the uses to the west, which is consistent with the subject site's location north of a small-scale office building and west of the large-lot subdivision.

- B. Policy 5.1.12-Commuter Corridors: Allow auto-oriented development along Commuter Corridors that are higher-speed and higher-traffic volume routes for people going across town, often as limited-access roadways.

Subpolicy c: Support traffic flow by limiting new curb cuts, encouraging shared access of driveways and business access roads, or providing access from perpendicular local roads.

The request would facilitate auto-oriented development along a designated commuter corridor- NM 528/Alameda Blvd., a high-volume traffic route for going to and from Rio Rancho. Development of auto-oriented uses, such as the future restaurants with drive-thru facilities, is generally intended along such corridors. Access to the subject site is via two, existing driveways; new curb cuts are not proposed.

- C. Goal 5.3-Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would facilitate re-development of a site already served by existing infrastructure and public facilities, thereby maximizing the utility of both. Using infrastructure and land this way generally supports the public good because it is more efficient than adding infrastructure and/or developing land on the urban fringe.

- D. Policy 5.3.1- Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an already-developed area that has existing infrastructure and public facilities and the request would support additional growth.

- E. Policy 5.4.2- West Side Jobs: Foster employment opportunities on the West Side.

The future development of two small, restaurant uses would help foster some employment opportunities on the Westside.

10. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 5- Land Use:

- A. Goal 5.4- Jobs-Housing Balance: Balance jobs and housing by encouraging residential growth near employment across the region and prioritizing job growth west of the Rio Grande.

The subject site is in a commercial area and across the street from a designated Employment Center. The future development of two small, restaurant uses would bring some service jobs to the Westside, in though it would not create balance by encouraging residential growth near employment that is already there.

- B. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The subject site is outside of the designated Employment Center to the west, but is along a designated Commuter Corridor (NM 528). Development in Areas of Consistency is intended to be compatible with surrounding uses in terms of scale, location, and character. Surrounding uses include a wide variety of sizes and scales of commercial retail, a small office building, a multi-family use, and a large-lot County subdivision. The request would be generally consistent with the character of the uses around it, although it would create a concentration of drive-thru uses in a relatively small area and could adversely affect the established neighborhood. Conditions of approval could address many of the effects.

11. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 6- Transportation:

- A. Policy 6.2.3- Pedestrian & Bicycle Connectivity: Provide direct pedestrian and bicycle access to and circulation within Centers, commercial properties, community facilities, and residential neighborhoods.

The subject site is a commercial property. Direct pedestrian and bicycle access is provided via connection to the established sidewalk, and pathways help facilitate non-vehicular circulation and safety. However, this is only available from the NM 528 side of the subject site. Bicycle and pedestrian access from the west is complicated by the lack of safe crossings of NM 528/Alameda, and there is no connection to facilitate non-vehicular travel from the residential uses to the east.

- B. Policy 6.2.8 Auto Network: Prioritize automobile travel on Commuter Corridors and balance it with other travel modes on other streets.

The request would result in development of two drive-thru uses, which are auto-oriented by definition and would prioritize automobile travel along this designated Commuter Corridor. However, balancing of the request with other travel modes on other streets would be limited in scope.

- C. Subpolicy a: Provide continuous, safe, and convenient vehicular circulation to achieve and maintain smooth traffic flow at steady, moderate speeds.

The request would generally provide continuous and convenient vehicular circulation, though it is possible that traffic flow and speeds could be impacted by the introduction of two, new auto-oriented uses in an area that already has many.

- D. Subpolicy b: On Commuter Corridors and other auto-oriented arterials, provide convenient access to auto-oriented uses, minimize conflicts with pedestrians and cyclists, and provide safe and convenient pedestrian crossings.

The request would provide convenient access to the future auto-oriented uses from the west, but not from the east. The proposed pathways and pedestrian crossings of contrasting material would be generally safe and convenient from the west, but not the east.

- 12. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 7- Urban Design:

- A. Goal 7.3- Sense of Place: Reinforce sense of place through context-sensitive design of development and streetscapes.

The request is generally designed to be similar to the context to the west, which is a wide variety of chain commercial uses, but is different than the context to the south (Territorial style office building) and to the east (residential uses).

- B. Subpolicy 5.2.1h: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The request would result in infill development that would add another drive-thru use to an area that already has many, so therefore it would not be complementary. The form and scale would be generally compatible with surrounding development.

- 13. The request is partially consistent with the following, applicable Comprehensive Plan policies from Chapter 8- Economic Development:

- A. Policy 8.1.2- Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy.

In a limited way, the request would encourage economic development efforts and generally contribute to a more robust and diverse economy. A new service in the area could have a positive impact, but the resulting potential for increased traffic and noise in an already busy area could adversely affect existing residents.

- B. Subpolicy 8.1.2c: Prioritize local job creation, employer recruitment, and support for development projects that hire local residents.

The request would result in some job creation and would constitute general support for a development project that would hire local residents. Again, it would be on a limited scale due to the subject site's small size.

14. The request is generally inconsistent with the following, applicable Comprehensive Plan Goals and policies:

A. Policy 5.2.1-Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The request would provide additional restaurant options in the area, though their drive-thru nature would generally not facilitate creation of healthy and sustainable communities because such uses promote automobiles- not walking or bicycling. The area is characterized by various chain retail uses and is not distinct in that regard; however, the neighborhood to the east has existed since the 1960s and is distinct. The future uses would be conveniently accessible from NM 528, but not from the residential uses to the east due to the lack of vehicular and pedestrian access.

B. Subpolicy 5.2.1a: Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would result in redevelopment of the subject site. For the reasons in Finding 14.A, the request is generally inconsistent with Subpolicy a.

C. Goal 6.2- Multi-Modal System: Encourage walking, biking, and transit, especially at peak-hour commuting times, to enhance access and mobility for people of all ages and abilities.

The addition of more drive-thru uses, which are auto-oriented by nature, along a Commuter Corridor would generally discourage walking, biking, and transit usage. Though the on-site pedestrian connections are compliant and would hopefully facilitate walking to and within this destination, peak-hour commuting times already have high traffic volume that complicates the use of alternative transportation and generally complicates mobility.

D. Goal 7.4- Context Sensitive Parking: Design parking facilities to match the development context and complement the surrounding built environment.

The parking facility (lot) is designed to provide three times the amount of required parking (24 spaces provided, 8 required) for a use that does not have sit-down service. The excess parking is shown in the location of a stand of mature trees, which would be removed. This generally does not match the development context to the east or to the south and is not context-sensitive to most of the area.

15. Parks and Recreation Department Staff visited the subject site on June 30, 2021 to determine the condition of the mature trees. They evaluated several existing large trees and noted their condition. A couple of the trees are in good condition, most are in fair condition, and some (specifically the Siberian elms near the northeastern corner) are recommended for removal and replacement.

16. The application of Conditions of Approval to provide clarification, ensure compliance, and address mitigation of adverse impacts would also improve the extent to which the request is consistent with applicable Comprehensive Plan Goals and policies.
17. The registered neighborhood organization is the Westside Coalition of Neighborhoods, which the applicant notified as required. The applicant also notified property owners within 100-feet of the subject site's boundaries as required. The Skyview Neighborhood Association, which is in unincorporated Bernalillo County, was not on the list from the Office of Neighborhood Coordination (ONC) and was not required to be notified. Yellow signs were posted as required more than 15 days prior to the June 17 hearing date, which was when this case was first heard.
18. Prior to the June 17, 2021 hearing, Staff received a phone call and written comments from four residents of the subdivision northeast of the subject site. Neighbors expressed concern about traffic generation, cars queuing into the street, cumulative impacts, cut-through traffic in the neighborhood, noise from outdoor speakers, light spillage, impacts to wildlife, and trash collecting in the detention area and blowing into the neighborhood. The request was continued for a month to allow time for the applicant to meet with neighbors, for neighbors to obtain details about the project, and for mitigation possibilities to be discussed.
19. During the continuance period, Staff received additional comments from concerned neighbors. A couple of neighbors indicated opposition to the request. Some requested mitigation measures, such as additional landscaping, walls to capture trash, and limitations on hours of amplified sound and lighting. The applicant revised the site plan to address many of the concerns. Other concerns are captured through Staff's recommended conditions.

CONDITIONS OF APPROVAL:

1. The Environmental Planning Commission (EPC) delegates final sign-off authority of this site plan to the Development Review Board (DRB) to ensure that all technical issues are resolved. The DRB is also responsible for ensuring that the EPC's Conditions of Approval are satisfied and that other applicable City requirements are met.
2. A letter shall accompany the submittal, specifying all revisions that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
3. The applicant shall meet with the Staff planner prior to applying to the DRB to ensure that all conditions of approval are addressed and met. Upon receiving sign-off from the DRB, the applicant shall submit a finalized version of the site plan for filing at the Planning Department.
4. Dimensional Standards:

The side setback of the Phase I building shall be a minimum of 10 feet pursuant to Section 14-16-5-1 Dimensional Standards for the NR-BP zone.

5. Pedestrian, Bicycle, and Transit Access:

A pedestrian-pass through shall be provided, where the 3 foot wall bends on the eastern side of the Phase I area, to facilitate pedestrian traffic coming from the west.

6. Landscaping- Trees:

- A. Two Pinon Pine trees shall be added to the triangular shaped area of the subject site that extends to the northeast.
- B. The three elms in the southern landscaping buffer shall be on the irrigation system and receive adequate irrigation.
- C. The large Siberian elms near the subject site's NE corner shall be on the irrigation system and be maintained until such time as the three additional trees (intended to replace them) are of sufficient size and maturity, as determined by Parks and Recreation Staff, that they can be removed.

7. Landscaping- Clarification:

- A. One curb notch shall be added to the northern landscaping strip and one to the southern landscaping strip for supplemental irrigation.
- B. The location of the three existing trees in the southern landscape buffer shall be clarified.
- C. The total coverage figure shall match the figure used in the landscaping calculations.

8. Lighting

Note 15 shall be re-worded to indicate that all lighting shall comply with IDO 14-16-5-8, Outdoor and Site Lighting.

9. Signage:

- A. The approximately 20 sf brand sign shall be removed from the northeast elevation.
- B. The logo sign on the northeast elevation shall not be illuminated.
- C. The colors and materials of the signage shall be specified.

10. Walls/Fences:

- A. The wall on the eastern side of the Phase I area shall be six feet tall.
- B. A three foot screen wall shall be added to the eastern side of Phase II area.
- C. Pedestrian access through the wall shall be provided.

D. The wall shall comply with IDO 14-15-5-7(E) regarding wall design.

11. Noise:

A. Amplified sound (ex. music) shall not occur before 10 AM and after 5 PM.

B. Noise shall not exceed the sound level limits established by the City's Noise Ordinance (Chapter 9, Article 9).

C. The applicant shall hire an independent consultant to conduct a study of amplified sound on the subject site, to be completed within the first year of operation.

12. Grading and Drainage Plan: Curb notches shall be shown in the same locations as on the landscaping plan.

13. CONDITIONS FROM THE CITY ENGINEER/TRANSPORTATION:

A. A combination of the two restaurants shall require a Traffic Impact Study. Any infrastructure that would be required as part of the study shall be placed onto an infrastructure list.

B. A shared access agreement shall be established between the lots.

C. 6-foot public sidewalk on Alameda Boulevard is required along the frontage of the property.

D. Provide all sidewalk widths on plan. A 6-foot ADA pathway shall be established from the main building to the right-of-way and from the handicapped spots to the main building.

E. Use keyed notes to call out all curb ramps on the plans. Provide curb, curb ramp, and sidewalk details. The sidewalk detail shall indicate a 2% maximum cross-slope.

F. Call out curb on the plan, and call out all curb radii. A minimum 6" to 8" high curb is required for separation between parking and sidewalk or landscaped islands.

G. The bike rack for the Dutch Brothers shall not obstruct the ADA pathway. Provide dimensioning for the bicycle spaces and adjacent pathway to make sure this will work.

H. Label "No Parking" at the back of the van accessible aisles, and dimension all van accessible aisles on the site plan.

14. CONDITIONS FROM THE WATER UTILITY AUTHORITY (ABCWUA):

A. Development on proposed Tract 2 will require its own availability statement.

B. Each proposed lot shall have separate private sanitary sewer services.

C. The site plan shall indicate if the existing water services are to be used.

- D. The location of existing private water and/or private sanitary sewer services, to determine if private service easements are needed to preserve the existing service(s) for the newly created lots, shall be field-verified.
- E. The width of the private service easement shall be determined by the engineer or surveyor.

15. CONDITIONS FROM THE FLOOD CONTROL AUTHORITY (AMAFCA):

- A. Storm water drainage connection to the AMAFCA Facility (Octopus Pond) will require coordination with AMAFCA. A License Agreement or Turnkey Agreement may be required.
- B. The existing AMAFCA drainage easement needs to be shown on the site plan. Any improvements within that Easement will require coordination with AMAFCA and License Agreement.

16. CONDITION FROM PNM:

The applicant shall contact PNM's New Service Delivery Department to coordinate electric service regarding the project. Please submit a service application at www.pnm.com/erequest for PNM to review.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **July 30, 2021**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

for Brennon Williams
Planning Director

OFFICIAL NOTICE OF DECISION

Project #2021-005301

July 15, 2021

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BW/CL

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