



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2021-005222

Application No. SI-2021-01237

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 01-19-2021 HEARING DATE OF DEFERRAL: \_\_\_\_\_

SUBMITTAL

DESCRIPTION: Updated site development plan, infrastructure list, queuing exhibit, solid waste approval

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CONTACT NAME: Luis Noriega

TELEPHONE: 505-858-3100 EMAIL: lnoriega@tierrawestllc.com

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: PR-2021-005222  
DRB Application No.: SI-2021-01237

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**PLAT FOR TRACTS 1 AND 2 G ALAMEDA SHOPPES BEING COMPRISED OF TRACT C-4-A SEVEN BAR RANCH  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.9900 AC M/L OR 86,684 SQ FT M/L  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Righth turn lane 150' and 75' transition	Northwest driveway			/	/	/
			Remove and dispose existing water and sewer services per ABCWUA standards.				/	/	/
		8"	SAS sewer main extension	NM 528 Adjacent frontage	MH # A-14521 As noted on Availability statement #200927	West property line	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature      Date		City User Dept. Signature      Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 Pond Slopes: Native Grass Seed with Aggregate Mulch or Equal (Must Satisfy the "Final Stabilization Criteria" CGP 2.2.14.b)
- 2 Undeveloped disturbed areas shall be stabilized with native seed with aggregate mulch per COA Spec 1012
- 3 The property owner/developer must continue self-inspections and BMP maintenance until the EPA's Final Stabilization Criteria is satisfied and approved by the City Stormwater Quality Section [Code § 14-5-2-11©(1)]

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

*Ronald R. Bohannon*

NAME (print)

*Tierra West LLC*

FIRM

*[Signature]* 1/14/2022

SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

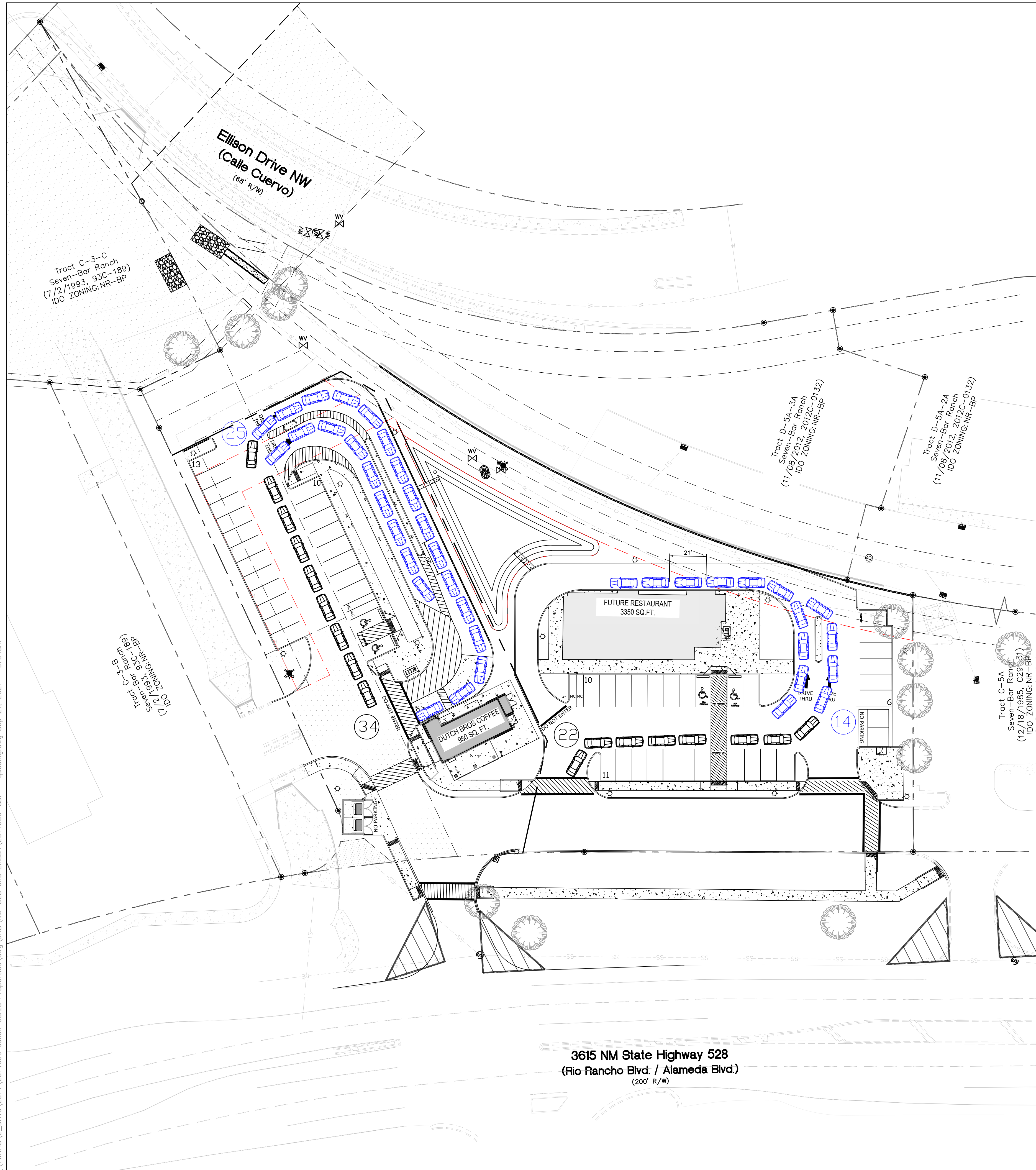
CODE ENFORCEMENT - date

CITY ENGINEER - date

\_\_\_\_\_ - date

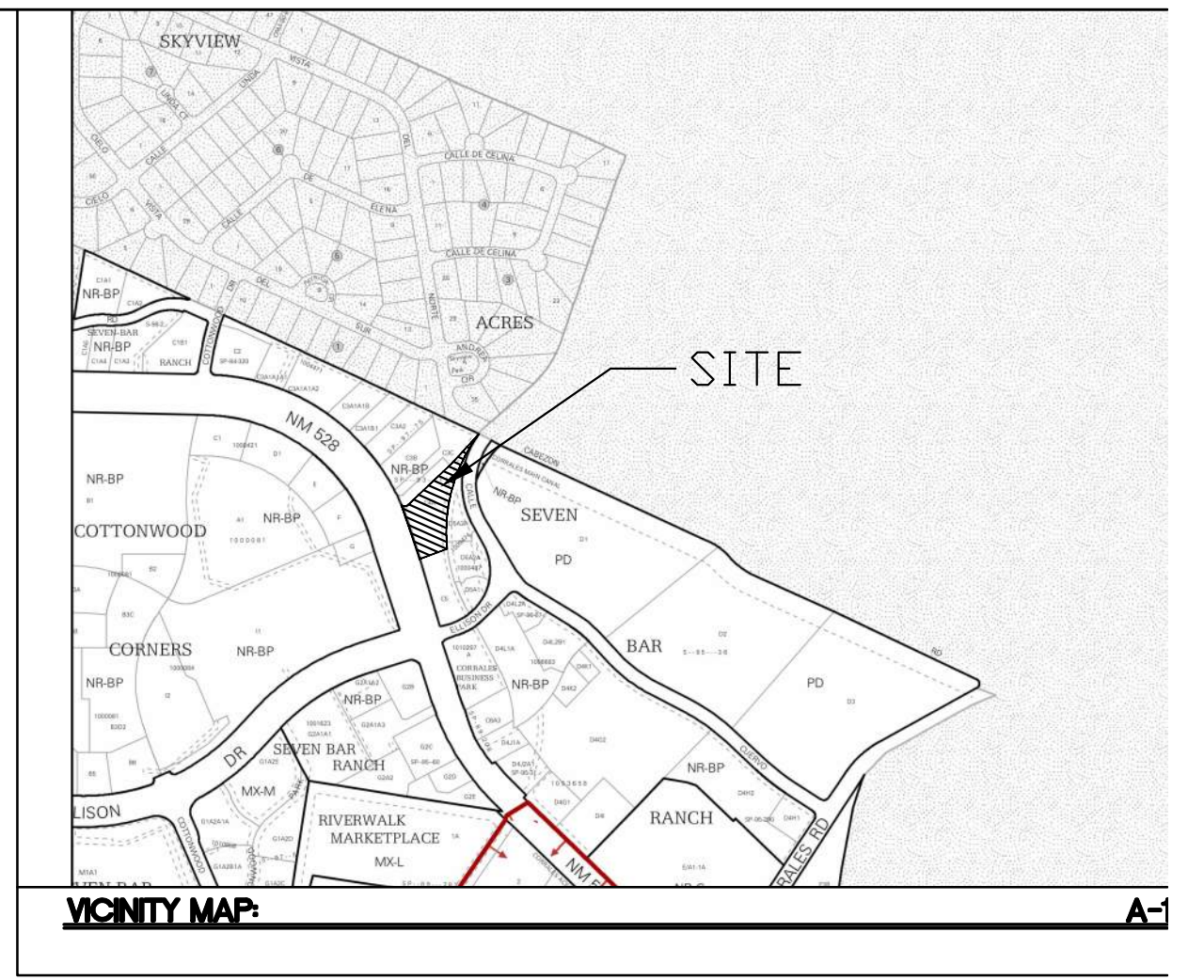
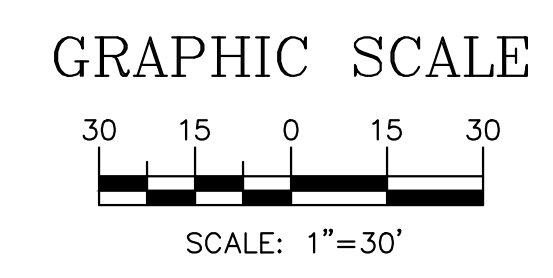
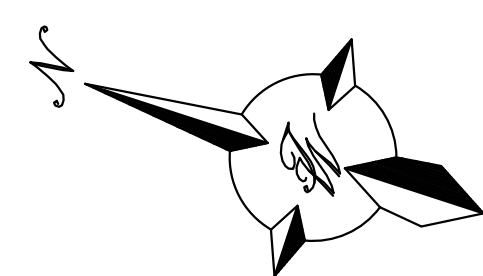
**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



**LEGEND**

- CURB & GUTTER
- - - PROPOSED BOUNDARY LINE
- - - EASEMENT
- ▨ SCREEN WALL
- ▭ PROPOSED BUILDING
- ▨ CONCRETE SIDEWALK
- STRIPING
- ⊙ LIGHT POLE
- - - EXISTING EASEMENT
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▨ EXISTING CONCRETE SIDEWALK
- ▭ EXISTING BUILDING
- - - EXISTING LANE STRIPING
- - - EXISTING STRIPING
- ▨ EXISTING RETAINING WALL
- - - ADA PATHWAY
- ⊙ FUTURE CELL TOWER AREA
- ⊙ EXISTING TREES TO REMAIN



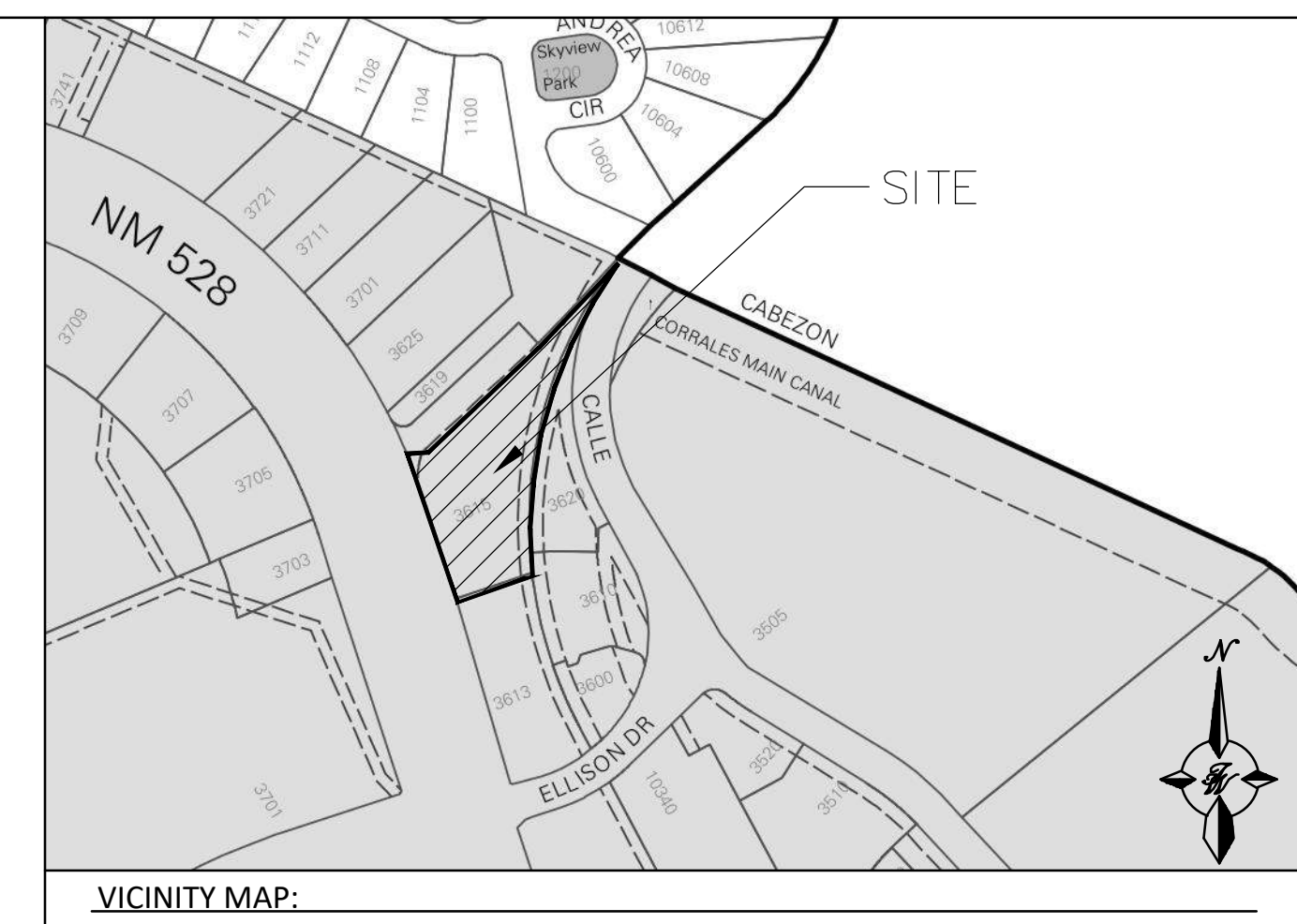
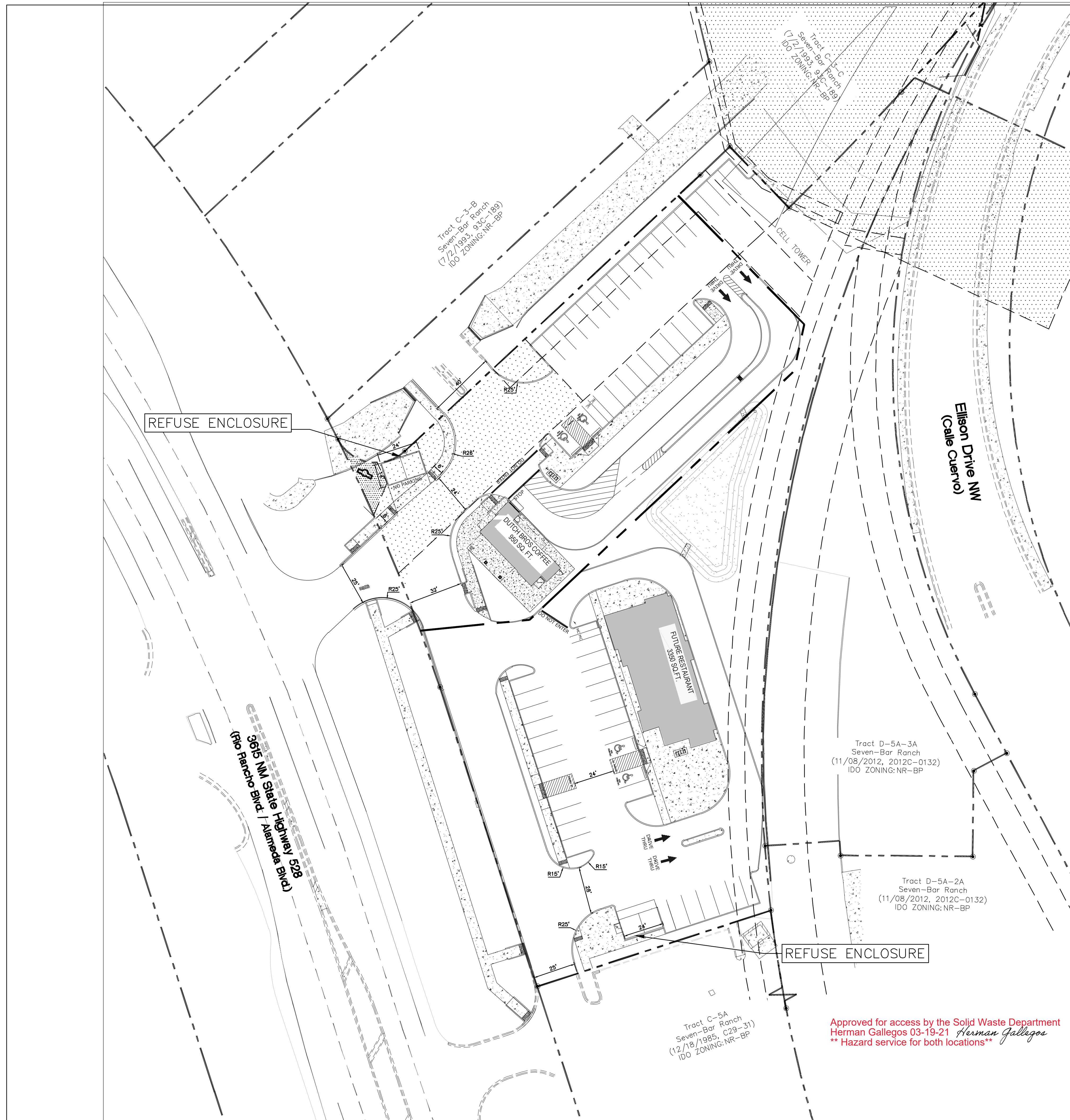
**LEGAL DESCRIPTION:**  
 TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CON 1.99 AC M/L OR 86,684 SQ FT M/L

**SITE DATA**

<b>DUTCH BROTHERS COFFEE</b>	
IDO ZONING:	NR-BP
PROPOSED USAGE:	DRIVE THRU RESTAURANT
LOT AREA:	32,670 SF (0.75 ACRE)
BUILDING AREA:	950 SF
PARKING: SPACES REQUIRED:	8
	(8 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED:	23
	(INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED:	2
HC PARKING: SPACES PROVIDED:	2
	(1 VAN ACCESSIBLE)
MC PARKING: SPACES REQUIRED:	1
	(1 PER 1-25 REQUIRED PARKING SPACES)
MC PARKING: SPACES PROVIDED:	2
BICYCLE PARKING: SPACES REQUIRED:	3
	(3 SPACES OR 10% OF REQUIRED PARKING)
BICYCLE PARKING: SPACES PROVIDED:	4
LANDSCAPE AREA REQUIRED:	4,758 SF
LANDSCAPE AREA PROVIDED:	5,071 SF
REQUIRED ADJACENT WALKWAY WIDTH:	8'
	FROM IDO TABLE 5-3-1
	(BUILDING SIZE < 10,000 SF = 8')
<b>FUTURE RESTAURANT</b>	
IDO ZONING:	NR-BP
PROPOSED USAGE:	FAST FOOD RESTAURANT
LOT AREA:	54,014 SF (1.24 ACRE)
BUILDING AREA:	3,350 SF
PARKING: SPACES REQUIRED:	27
	(8 SPACES/ 1,000 SF)
PARKING: SPACES PROVIDED:	27
	(INCLUDES HC PARKING)
HC PARKING: SPACES REQUIRED:	2
HC PARKING: SPACES PROVIDED:	2
	(1 VAN ACCESSIBLE)
MC PARKING: SPACES REQUIRED:	2
	(1 PER 1-25 REQUIRED PARKING SPACES)
MC PARKING: SPACES PROVIDED:	2
BICYCLE PARKING: SPACES REQUIRED:	3
	(3 SPACES OR 10% OF REQUIRED PARKING)
BICYCLE PARKING: SPACES PROVIDED:	4
LANDSCAPE AREA REQUIRED:	7,665 SF
LANDSCAPE AREA PROVIDED:	13,071 SF
REQUIRED ADJACENT WALKWAY WIDTH:	8'
	FROM IDO TABLE 5-3-1
	(BUILDING SIZE < 10,000 SF = 8')

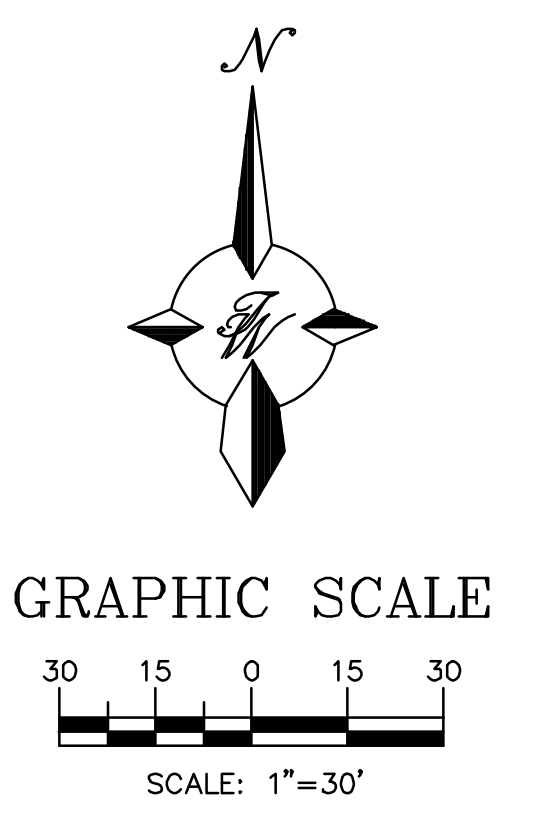
<b>NOT FOR CONSTRUCTION</b>		
<b>ENGINEER'S SEAL</b>	<b>NM 528 AND ELLISON</b>	<b>DRAWN</b>
	<b>3615 HWY 528</b>	<b>LA</b>
	<b>QUEUEING EXHIBIT</b>	<b>DATE:</b>
		<b>09/21/20</b>
		<b>DRAWN:</b>
		<b>2014069</b>
		<b>SHEET:</b>
		<b>E1</b>
		<b>JOB:</b>
		<b>2020C</b>
<p><b>TERRA WEST, LLC</b>          5571 MIDWAY PARK PL NE          ALBUQUERQUE, NEW MEXICO 87109          (505) 858-3100          www.tierrowestllc.com</p>		
RONALD R. BOHANNAN P.E. #7868		

\\TWNAS\Z\_Drive\2014\2014069-Julian Garza Properties\dwg\DRB\NM-528 and Ellison\2014069-SDP - queueing.dwg Sep 21, 2021 - 9:04am



**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	SIDEWALK
	RETAINING WALL



Approved for access by the Solid Waste Department  
 Herman Gallegos 03-19-21 *Herman Gallegos*  
 \*\* Hazard service for both locations\*\*

ENGINEER'S SEAL	NM 528 AND ELLISON DR	DRAWN BY LN
	SITE PLAN	DATE 9-18-2020
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING
	RONALD R. BOHANNAN P.E. #7868	

**Luis Noriega**

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**From:** Palma, Brian <bpalma@abcwua.org>  
**Sent:** Monday, April 5, 2021 11:11 AM  
**To:** Luis Noriega  
**Cc:** Sandoval, Monica B.; Ramirez, Martha  
**Subject:** 3615 NM HWY 528 ACCOUNTS

Below is the information you requested. It appears all the previous services are for a size 1 = 3/4" meter. Per the Availability Statement #200927, if you are going to utilize this service, will be a simple meter reset. If you are going to upgrade service, you will need to follow the New Service process and be subjected to UEC's.

Meter Reset

Person	JEMEZ PROFESSIONAL BLDG
Account ID	0446842264 9 JEMEZ PROFESSIONAL BLDG, Commercial Customer, \$0.00, 0446842264
Current Balance	\$0.00
Premise	3615 NM HWY 528 NW (203A), ALBUQUERQUE, NM, 87114
3615 NM HWY 528 NW (203A), ALBUQUERQUE, NM, 87114	
Albuquerque	
City Franchise Area	
SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (203A),ALBUQUERQUE,87114	

Meter Reset

Person	JEMEZ PROFESSIONAL BLDG.
Account ID	7104567393 7 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 7104567393
Current Balance	\$0.00
Premise	3615 NM HWY 528 NW (BLDG 100), ALBUQUERQUE, NM, 87114
3615 NM HWY 528 NW (BLDG 100), ALBUQUERQUE, NM, 87114	
Albuquerque	
City Franchise Area	
SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (BLDG 100),ALBUQUERQUE,87114	

Meter Reset

Person JEMEZ PROFESSIONAL BLDG.  
Account ID 9641724797 8 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 9641724797  
Current Balance \$0.00  
Premise 3615 NM HWY 528 NW (BLDG 104), ALBUQUERQUE, NM, 87114

3615 NM HWY 528 NW (BLDG 104), ALBUQUERQUE, NM, 87114

Albuquerque

City Franchise Area

SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (BLDG 104),ALBUQUERQUE,87114

Meter Reset

Person JEMEZ PROFESSIONAL BLDG.  
Account ID 7745789459 8 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 7745789459  
Current Balance \$0.00  
Premise 3615 NM HWY 528 NW (BLDG 106), ALBUQUERQUE, NM, 87114-8919

3615 NM HWY 528 NW (BLDG 106), ALBUQUERQUE, NM, 87114-8919

Albuquerque

City Franchise Area

SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (BLDG 106),ALBUQUERQUE,87114-8919

Meter Reset

Person JEMEZ PROFESSIONAL BLDG.  
Account ID 4116422901 9 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 4116422901  
Current Balance \$0.00  
Premise 3615 NM HWY 528 NW (BLDG 107), ALBUQUERQUE, NM, 87114

3615 NM HWY 528 NW (BLDG 107), ALBUQUERQUE, NM, 87114

Albuquerque

City Franchise Area

SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (BLDG 107),ALBUQUERQUE,87114

Meter Reset

Person JEMEZ PROFESSIONAL BLDG.  
Account ID 6101122168 8 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 6101122168  
Current Balance \$0.00  
Premise 3615 NM HWY 528 NW (BLDG 200A), ALBUQUERQUE, NM, 87114

3615 NM HWY 528 NW (BLDG 200A), ALBUQUERQUE, NM, 87114

Albuquerque

City Franchise Area

SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (BLDG 200A),ALBUQUERQUE,87114



Meter Reset

Person JEMEZ PROFESSIONAL BLDG.  
Account ID 5552717414 2 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 5552717414  
Current Balance \$0.00  
Premise 3615 NM HWY 528 NW (BLDG 202), ALBUQUERQUE, NM, 87114

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3615 NM HWY 528 NW (BLDG 202), ALBUQUERQUE, NM, 87114  
Albuquerque  
City Franchise Area  
SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (BLDG 202),ALBUQUERQUE,87114

Meter Reset – IRRIGATION ONLY

Person CURRENT RESIDENT  
Account ID 3302299755 6 CURRENT RESIDENT, Commercial Customer, \$164.34, 3302299755  
Current Balance \$164.34  
Premise 3615 NM HWY 528 NW (IRRIGATION), ALBUQUERQUE, NM, 87114

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3615 NM HWY 528 NW (IRRIGATION), ALBUQUERQUE, NM, 87114  
Albuquerque  
City Franchise Area

Meter Reset

JEMEZ PROFESSIONAL BLDG.  
0394712156 6 JEMEZ PROFESSIONAL BLDG., Commercial Customer, \$0.00, 0394712156  
\$0.00  
3615 NM HWY 528 NW (RESTROOMS), ALBUQUERQUE, NM, 87114

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3615 NM HWY 528 NW (RESTROOMS), ALBUQUERQUE, NM, 87114  
Albuquerque  
City Franchise Area  
SP - Commercial Water SM/1/Cycle NW04,AMI,0/In Service/3615 NM HWY 528 NW (RESTROOMS),ALBUQUERQUE,87114

Thank you



Brian Palma

CSD Lead Tech

ABCWUA Customer Service Division

1441 Mission Ave NE

Albuquerque, NM 87113

[Abcwua.org](http://Abcwua.org)

O: 505-289-3081

F: 505-289-3062

General: 505-842-WATR ( 9287 ) option 0 for Customer Service