



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SNW (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Sketch Plat Review and Comment			

APPLICATION INFORMATION			
Applicant: Western Hills Investments LLC		Phone: 505-269-1179	
Address: P.O. Box 45688		Email: rio7712@aol.com	
City: Rio Rancho	State: NM	Zip: 87174	
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100	
Address: 5571 Midway Park PI NE		Email:	
City: Albuquerque	State: NM	Zip: 87109	
Proprietary Interest in Site: Owner		List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: Tract C-4-A or TRS C3A, C3B, C3, & C4		Block:	Unit:
Subdivision/Addition: Seven Bar Ranch		MRGCD Map No.:	UPC Code: 101406615023620114
Zone Atlas Page(s): A-14-Z		Existing Zoning: NR-BP	
Proposed Zoning: NR-BP		Total Area of Site (Acres): 1.99	
# of Existing Lots: 1		# of Proposed Lots: 2	
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 3615 Hwy 528 Albuquerque NM 87114		Between: Alameda Blvd NW	and: Hwy 528
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
1010999			

Signature:	Date: 3/09/2021
Printed Name: Luis Noriega	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:			Date:	Project #	

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- A *Single* PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter describing, explaining, and justifying the request
- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use (7 copies, folded)

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A *Single* PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Proposed Final Plat (7 copies, 24" x 36" folded)
- ___ Design elevations & cross sections of perimeter walls (3 copies)
- ___ Copy of recorded IIA
- ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
- ___ DXF file and hard copy of final plat data for AGIS submitted and approved

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)



- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A *Single* PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ___ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal. (7 copies, folded)
- ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- ___ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- ___ Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
- ___ Proposed Infrastructure List, if applicable
- ___ Required notice with content per IDO Section 14-16-6-4(K)
- ___ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives
- ___ Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
- ___ DXF file and hard copy of final plat data for AGIS submitted and approved

Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A *Single* PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.*
- ___ Zone Atlas map with the entire site clearly outlined and labeled
- ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 3-9-21
Printed Name: Luis Noriega	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



TIERRA WEST, LLC

March 9, 2021

Ms. Jolene Wolfley, Chairwoman
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: MINOR SUBDIVISION SKETCH PLAT REVIEW AND COMMENT
3615 HWY 528 ALBUQUERQUE NM 87114
TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT
1.9900 AC M/L OR 86,684 SQ FT M/L**

Dear Ms. Wolfley:

On behalf of Western Hills Investment LLC C/O Julian Garza, Tierra West, LLC is submitting a minor subdivision sketch plat for review and comment.

The parcel is located at 3615 NM 528 Albuquerque, NM. The parcel is currently zoned Non Residential – Business Park (NR-BP). The intent is to subdivide the existing parcel into two new parcels. The first parcel consisting of roughly 0.75 acres will contain a new Dutch Brothers Coffee shop. The remaining area of tract C-4-A will be used to develop a cell tower and a future commercial development.

Primary access to the Dutch Brothers site will be off an existing driveway off of NM 528; to the north is an existing parcel which contains a car wash. Cross access to the parcel will be provided but the car wash lot is not part of this action. There will also be cross lot access dedicated between the future cell tower and the Dutch Brothers Site. The conceptual Drainage Plan for the area has been approved under hydro number (A14D019), as well as the traffic circulation layout.

In discussions with Jeanne Wolfenbarger and Matthew Grush from the city of Albuquerque's transportation, a TIS for the Dutch Brothers is not warranted, however with the development of the second lot a TIS will be required. Proposed offsite improvements in conjunction with the Dutch Brothers site development include sidewalk and driveway improvements along the NM 528 frontage.

If there are any questions concerning the initial application ahead of the DRB hearing please do not hesitate to contact either Luis Noriega or myself.

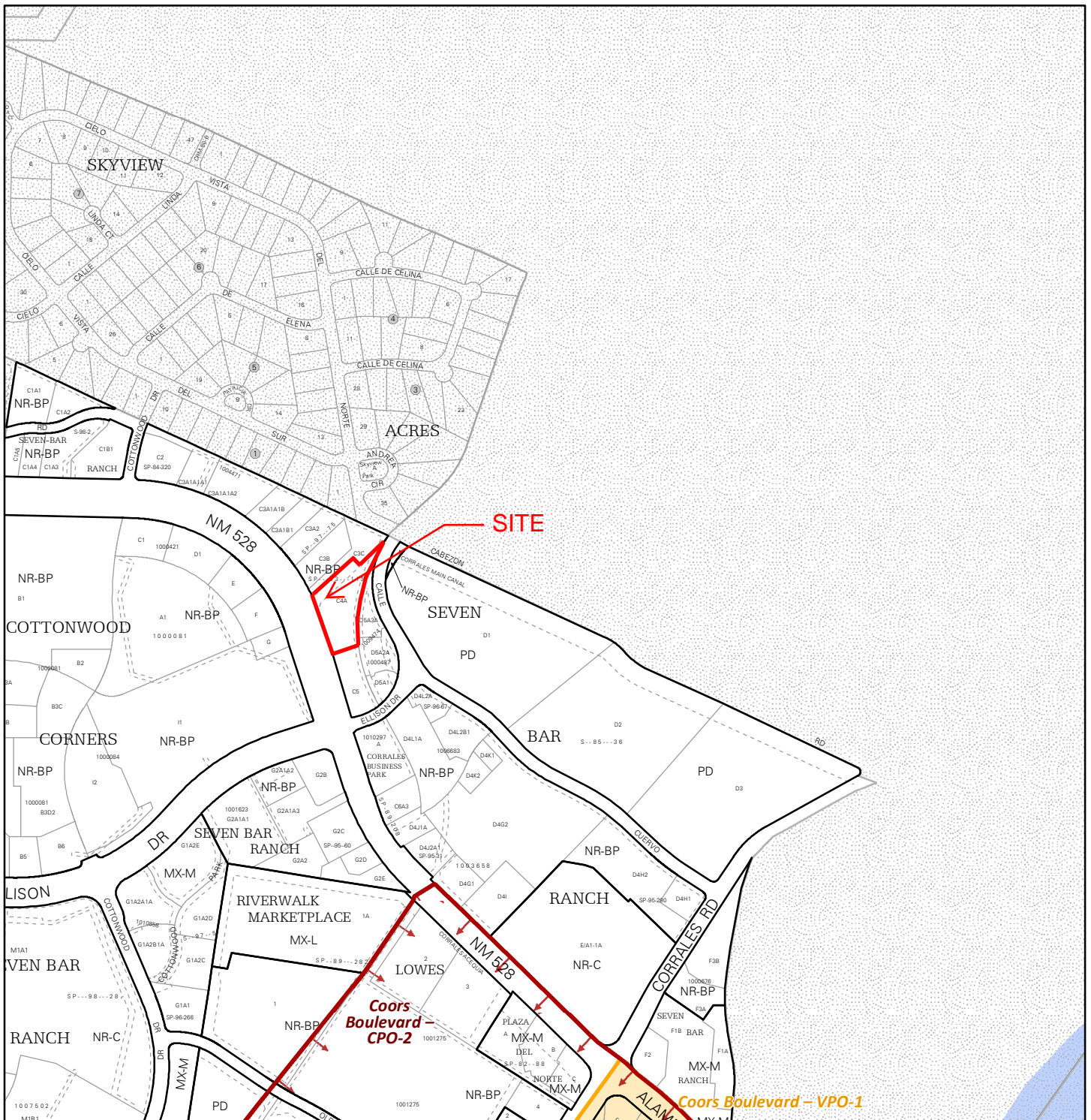
Sincerely,

Ronald R. Bohannon, P.E.

cc: Matt Spangler
Julian Garza

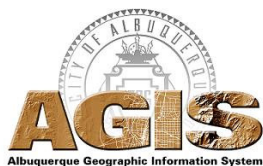
JN: 2014069
RRB/vc/kw

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

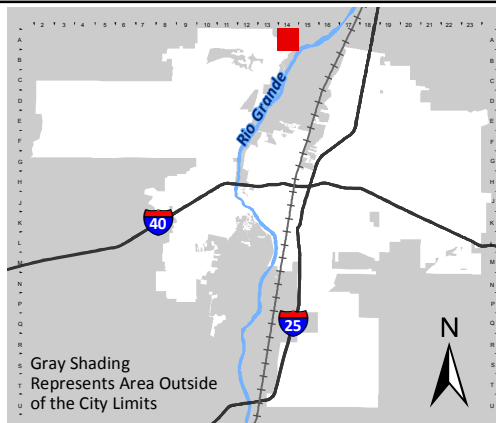


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

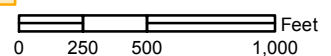


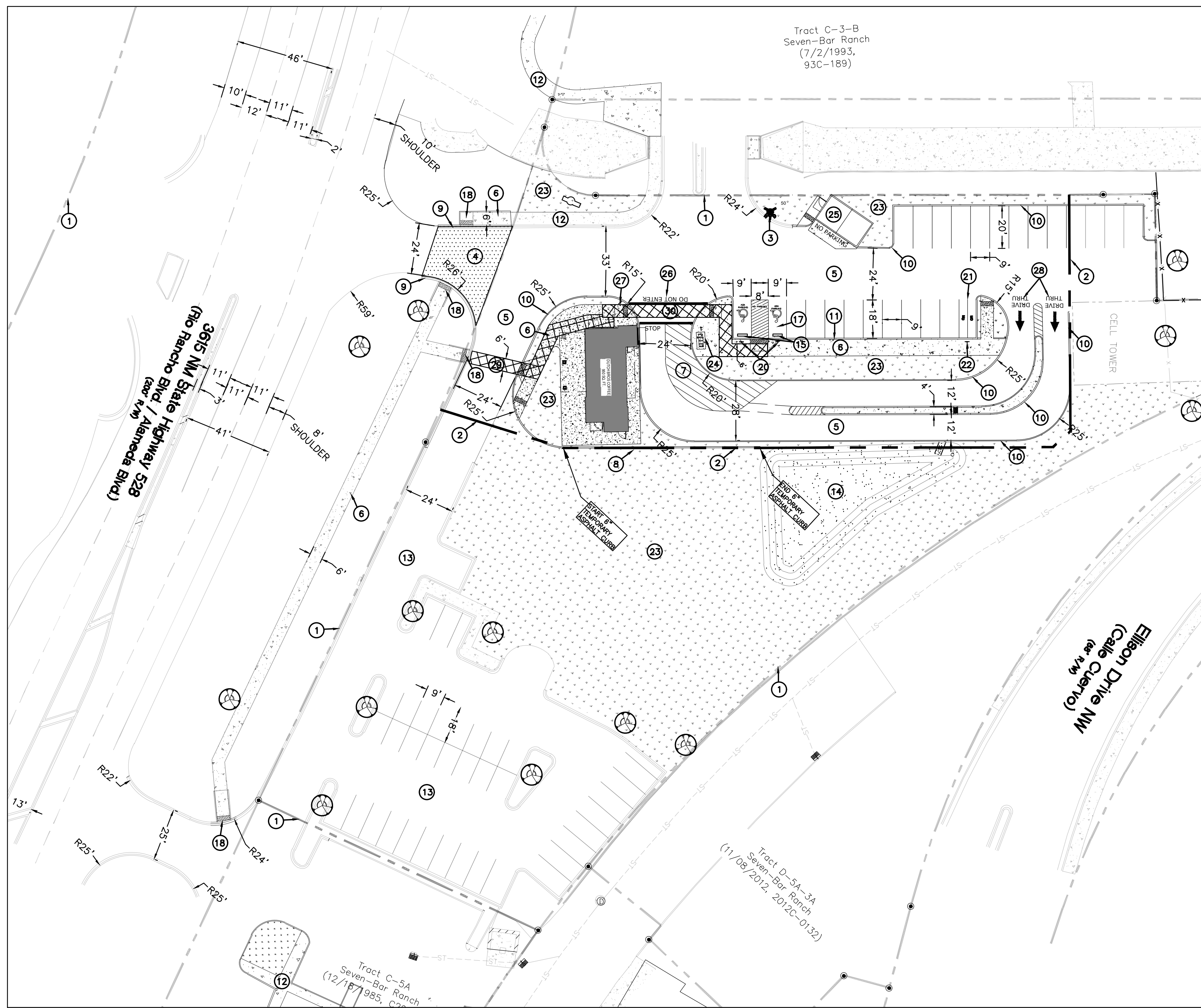
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-14-Z

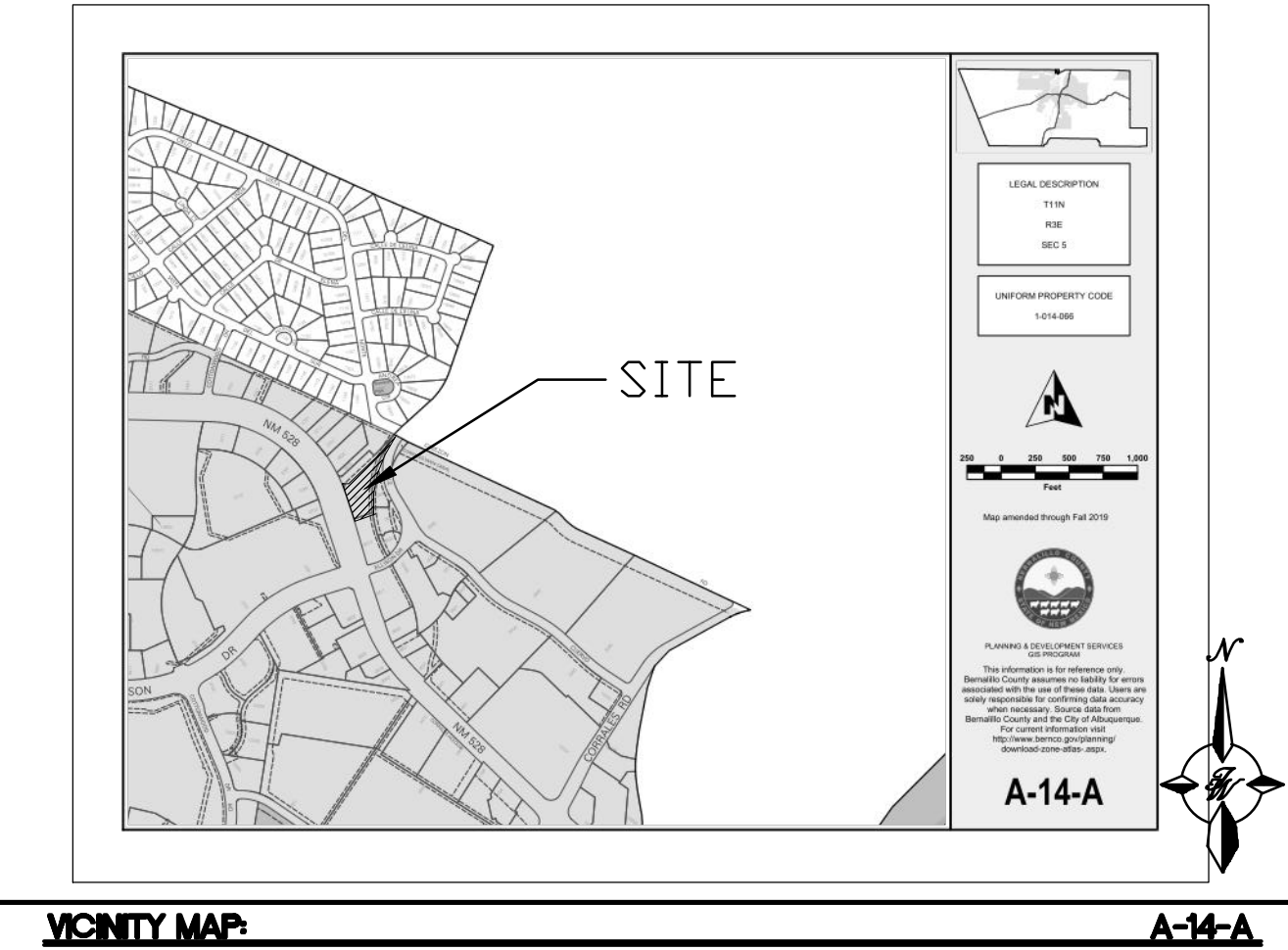
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone





- LEGEND**
- CURB & GUTTER
 - - - PROPOSED BOUNDARY LINE
 - ▬ PROPOSED BUILDING
 - ▨ SIDEWALK
 - ▨ LANDSCAPING
 - - - EXISTING PROPERTY LINE
 - ▬ EXISTING BUILDING
 - ▨ EXISTING SIDEWALK
 - - - EXISTING CURB & GUTTER
 - - - EXISTING LANE STRIPING
 - ▬ EXISTING RETAINING WALL
 - ⊙ EXISTING HYDRANT
 - ⊙ EXISTING TREES TO REMAIN (TYP)
 - ⊙ EXISTING SD INLET

- KEYED NOTES**
- 1 EXISTING PROPERTY LINE
 - 2 PROPOSED PROPERTY LINE
 - 3 EXISTING FIRE HYDRANT
 - 4 ASPHALT PAVEMENT PER COA REQUIREMENTS
 - 5 SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C2)
 - 6 SIDEWALK PER COA STD DWG #2430 (SEE DETAIL, SHEET C2)
 - 7 STRIPING
 - 8 TEMPORARY ASPHALT 6" C & G PER COA STD DWG #2415C
 - 9 STD 6" CURB AND GUTTER PER COA STD DWG #2415A
 - 10 6" PRIVATE CURB SEE DETAIL, SHEET C2)
 - 11 6" CONCRETE TURN DOWN CURB (SEE DETAIL, SHEET C2)
 - 12 EXISTING SIDEWALK
 - 13 EXISTING PAVEMENT TO REMAIN
 - 14 PROPOSED DRAINAGE POND
 - 15 WHEEL STOP (SEE DETAIL, SHEET C2)
 - 16 NOT USED
 - 17 ADA PARKING PER ADA REQUIREMENTS (SEE DETAIL, SHEET C2)
 - 18 ADA PARALLEL CURB RAMP PER COA CURRENT STANDARDS #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C3)
 - 19 NOT USED
 - 20 ADA NO PARKING SIGN (SEE DETAIL, SHEET C2)
 - 21 MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
 - 22 MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C3)
 - 23 LANDSCAPE AREA
 - 24 BIKE RACK (SEE DETAIL, SHEET C3)
 - 25 DUMPSTER (SEE DETAIL, SHEET C3)
 - 26 "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C4)
 - 27 "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C4)
 - 28 "DRIVE THRU" TRAFFIC ARROWS (SEE DETAIL, SHEET C4)
 - 29 PUBLIC ADA ACCESSIBLE PATHWAY
 - 30 PRIVATE ADA ACCESSIBLE PATHWAY

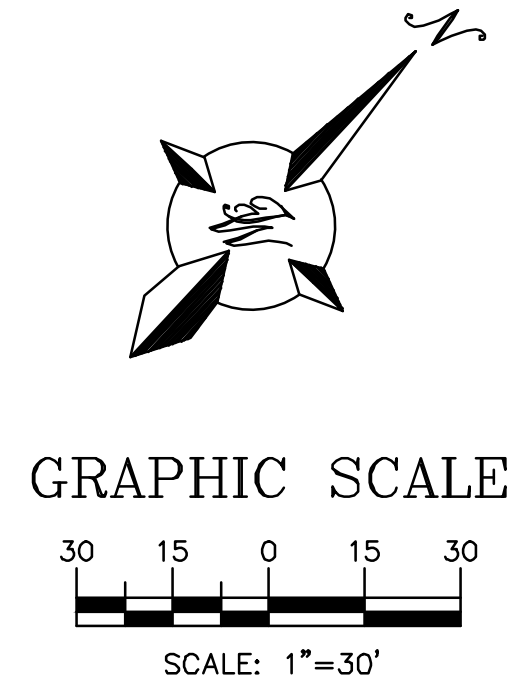


LEGAL DESCRIPTION:
TRACT C-4-A PLAT OF TRACTS C3A C3B C3C AND C4A SEVEN BAR RANCH CONT 1.9000 AC M/L OR 86,684 SQ FT M/L

- NOTES**
1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 2. ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
 3. ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
 4. ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
 5. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 6. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS.

SITE DATA

DUTCH BROTHERS COFFEE	
IDO ZONING:	NR-BP
PROPOSED USAGE:	DRIVE THRU RESTAURANT
LOT AREA:	32,670 SF (0.75 ACRE)
BUILDING AREA:	950 SF
PARKING: SPACES REQUIRED: 8	
(8 SPACES/ 1,000 SF)	
PARKING: SPACES PROVIDED: 20	
(INCLUDES HC PARKING)	
HC PARKING: SPACES REQUIRED: 2	
HC PARKING: SPACES PROVIDED: 2	
(1 VAN ACCESSIBLE)	
MC PARKING: SPACES REQUIRED: 1	
(1 PER 1-25 REQUIRED PARKING SPACES)	
MC PARKING: SPACES PROVIDED: 2	
BICYCLE PARKING: SPACES REQUIRED: 3	
(3 SPACES OR 10% OF REQUIRED PARKING)	
BICYCLE PARKING: SPACES PROVIDED: 4	
LANDSCAPE AREA PROVIDED: 5000 SF (15.2%)	



PRELIMINARY NOT FOR CONSTRUCTION		
ENGINEER'S SEAL	DUTCH BRO'S 3615 NM 528, ABO	DRAWN BY LN
	TRAFFIC CIRCULATION LAYOUT	DATE 2/24/2021
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com		DRAWING 2014089-SPE
		SHEET # C1
RONALD R. BOHANNAN P.E. #7868		JOB # 2020091

\\TERRA\Z_Drive\2014\2014089-Julian-Corzo-Propertius\dwg\DRB\NL-528 and Ellison\2014089-TCL.dwg Feb. 24, 2021 1:52pm

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: ADT (2018) - 27,900 Volume-to-Capacity Ratio: _____
(if applicable)

Adjacent Transit Service(s): Not Next to Site Nearest Transit Stop(s): _____

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Proposed Bike Lane
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: No Sidewalk in front of site

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No Borderline []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes: **A TIS is not required for this development. When the remaining pad site is developed a TIS will be required incorporating the traffic of this development.**

M.P. P.E.

2/1/2021

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer. Call 924-3991 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

Sketch Plat
for
Tracts 1 and 2
G Alameda Shoppes
City of Albuquerque
Bernalillo County, New Mexico
February 2021

Indexing Information

Section 5, Township 11 North, Range 3 East, N.M.P.M.
as Projected into the Town of Alameda Grant
Subdivision: Seven-Bar Ranch
UPC #: 101406615023620114

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	13.52'	1054.93'	0°44'04"	13.52'	N 26°59'47" W
C2	46.46'	25.00'	106°28'06"	40.05'	S 79°51'48" E
C3	158.26'	1054.93'	8°35'43"	158.11'	N 22°19'53" W
C4	603.85'	786.78'	43°58'27"	589.14'	S 151°7'50" W
C5	94.94'	1563.03'	3°28'49"	94.93'	N 44°11'05" E
C6	295.37'	786.78'	21°30'34"	293.63'	S 17°26'40" E
C7	24.14'	1513.03'	0°54'51"	24.14'	N 46°26'44" E
C10	141.54'	1054.93'	7°41'14"	141.43'	N 22°47'08" W
C11	16.72'	1054.93'	0°54'29"	16.72'	N 18°29'16" W

Line #	Direction	Length (ft)
L1	S 04°39'13" W	11.05'

ACS Monument "6-A14"
NAD 1983 CENTRAL ZONE
X=1524030.519 *
Y=1534611.07 *
Z=5002.022 * (NAVD 1988)
G-G=0.999680128
Mapping Angle=-0°13'28.98"
* U.S. SURVEY FOOT

PURPOSE OF PLAT
TO SUBDIVIDE EXISTING TRACT
INTO 2 SEPARATE TRACTS.

Legend

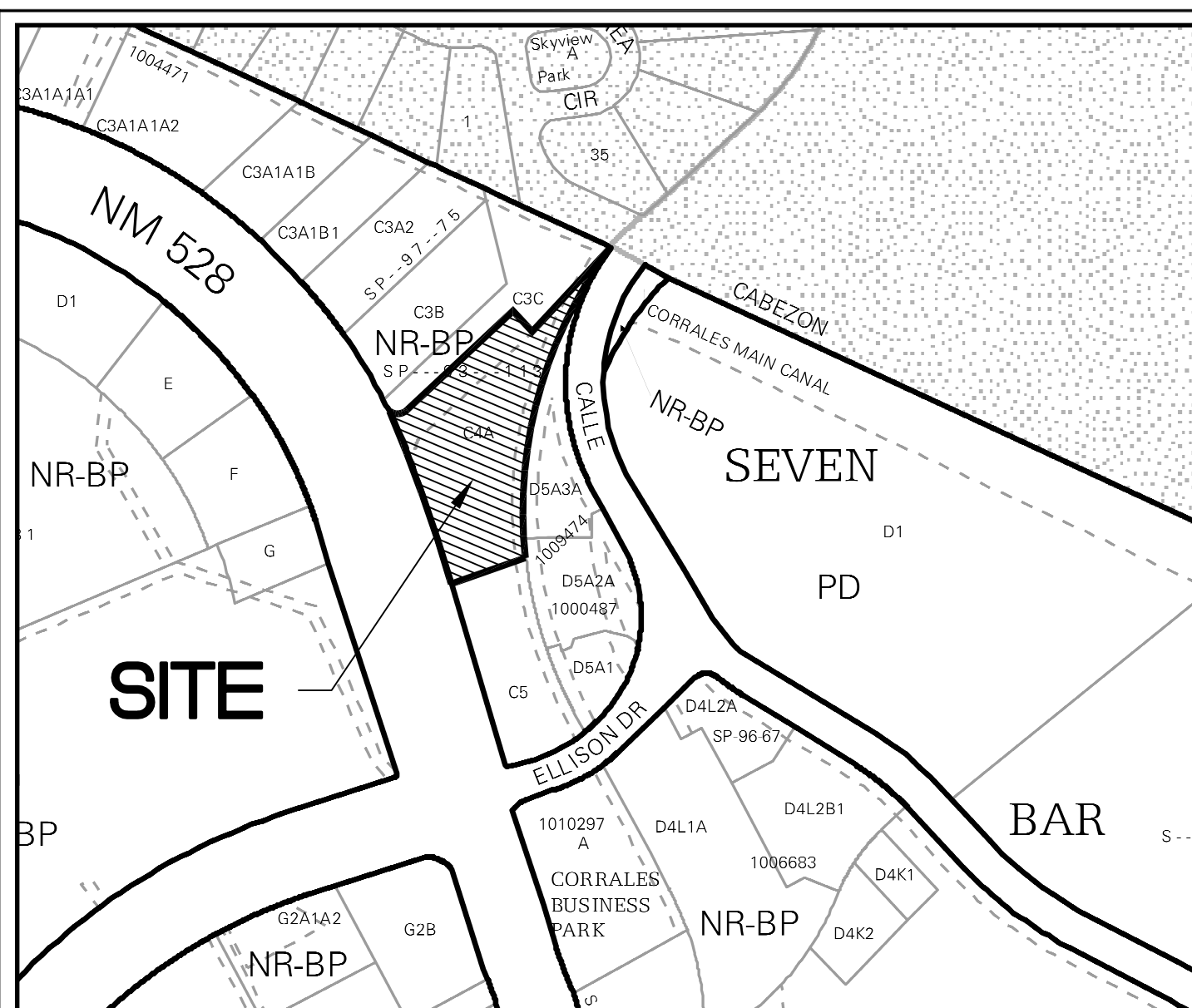
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (7/2/1993, 93C-189)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES (9/7/2000, 2000C-233)
●	FOUND MONUMENT AS INDICATED
⊙R	FOUND 1/2" REBAR WITH CAP "LS 9750"
⊙PK	FOUND PK NAIL WITH TAG "LS 9750"
○	SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
□	BOLLARD
⊕	WATER VALVE
⊕	WATER METER
⊕	FIRE HYDRANT
⊕	IRRIGATION BOX
⊕	STORM DRAIN MANHOLE
⊕	STORM DRAIN INLET
↑	CURB CUT/INDICATION OF ACCESS TO ROADWAY
⊕	SANITARY SEWER MANHOLE

Notes

- FIELD SURVEY PERFORMED IN MAY AND JUNE 2019.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES MODIFIED STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).

Documents

- TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 1902271 AND AN EFFECTIVE DATE OF MAY 30, 2019.
- PLAT OF RECORD FOR SEVEN-BAR RANCH FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 2, 1993, IN BOOK 93C, PAGE 189.
- WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 30, 1994, IN BOOK 94-35, PAGE 2626.



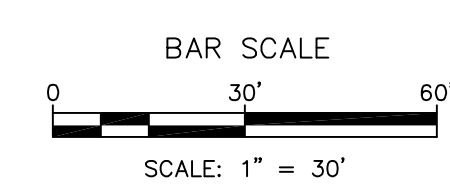
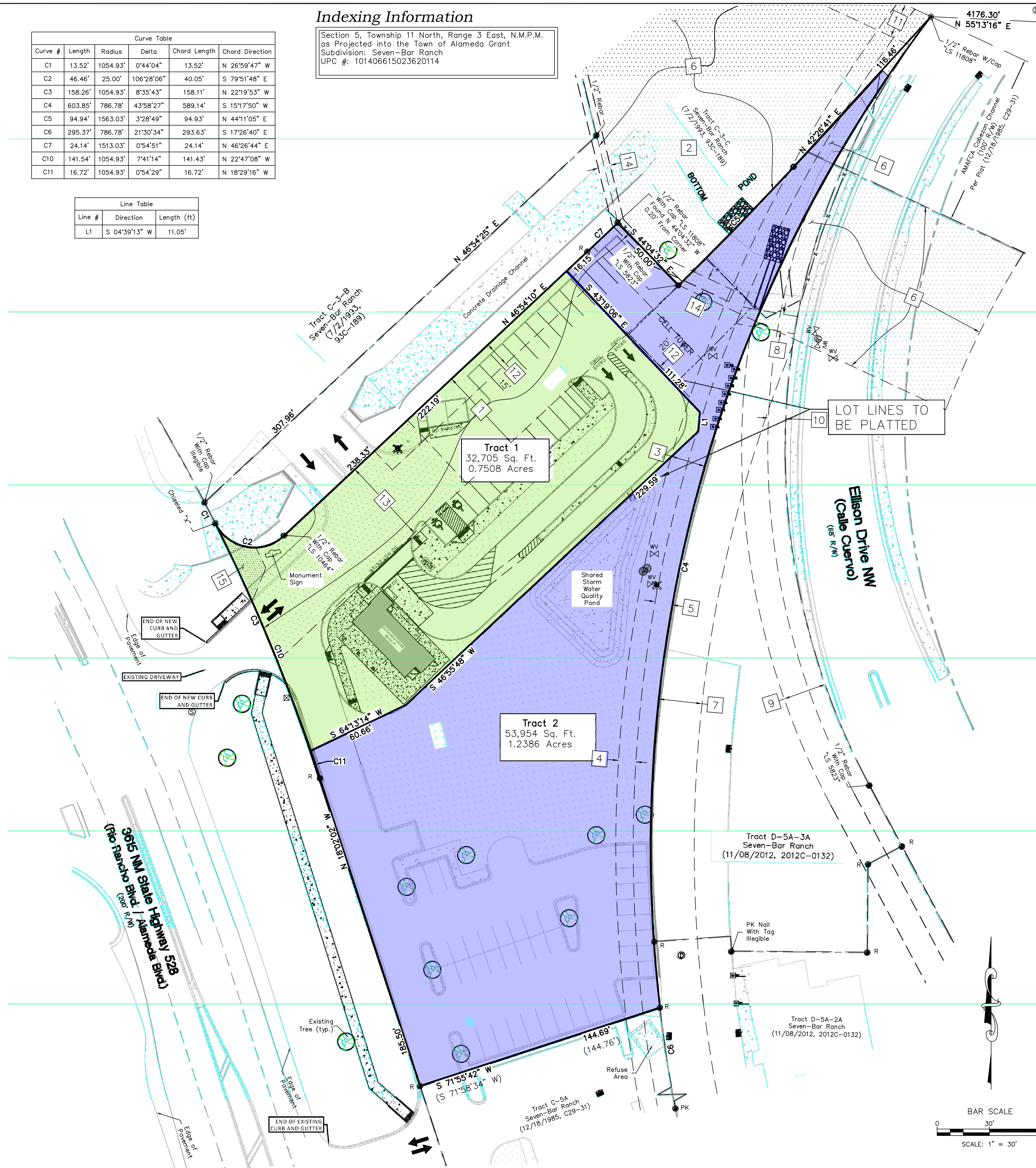
Vicinity Map - Zone Atlas A-14-Z

Legal Description

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 5, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO COMPRISING TRACT C-4-A, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS C-3-A, C-3-B, C-3-C AND C-4-A, SEVEN-BAR RANCH (BEING A REPLAT OF TRACTS C-3 AND C-4, SEVEN-BAR RANCH), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 2, 1993 IN VOLUME 93C, FOLIO 189, AS DOCUMENT NO. 93-071196.

Easement Notes

- EXISTING 50' ROADWAY & TEMPORARY DRAINAGE EASEMENT (4/20/1982, VOL. MISC. 924, PG. 741) AND (6/21/1993, VOL. 93-16, PG. 1505-1510)
- EXISTING DRAINAGE RIGHT-OF-WAY FOR AMAFCA ACROSS TRACT C-3-C PER AGREEMENT (7/2/1993, 93C-189)
- EXISTING 20' SOUTHERN UNION GAS CO. EASEMENT (12/23/1974, BK. 399, PG. 963-964)
- EXISTING 10' WATERLINE EASEMENT (12/27/1974, VOL. MISC. 400, PG. 381-82)
- EXISTING 10' UTILITY EASEMENT (8/6/1974, VOL. MISC. 380, PG. 510)
- EXISTING DESILTING POND FOR DRAINAGE (12/18/1985, BK. MISC. 303A, PG. 185-189) SHOWN HEREON AS [Symbol]
- EXISTING 25' DRAINAGE EASEMENT (3/22/1998, 98C-99)
- EXISTING 10' WATERLINE EASEMENT (12/18/1985, C29-31)
- EXISTING 25' SIDEWALK EASEMENT (12/18/1985, C29-31)
- EXISTING 10' UTILITY EASEMENT (12/18/1985, C29-31)
- EXISTING 20' WATERLINE EASEMENT (7/26/1984, C24-136)
- EXISTING NMUI EASEMENT FOR WATERLINE (12/15/1993, BK. 93-36, PG. 956-961, DOC. NO. 93141955)
- EXISTING NON-EXCLUSIVE, PERPETUAL INGRESS AND EGRESS EASEMENT (11/1/1994, BK. 94-30, PG. 6362-6367, DOC. NO. 94131022) SHOWN HEREON AS [Symbol]
- EXISTING 7' PNM AND MST&T EASEMENT (9/23/1986, BK. MISC. 3978, PG. 909)
- EXISTING PRIVATE SANITARY SEWER EASEMENT (12/8/1993, BK. 93-35, PG. 3040-3046, DOC. NO. 93139036) SHOWN HEREON AS [Symbol]



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