



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Merging of lots 4628 Cactus Ave NW (existing house Lot-8) with 4632 Cactus Ave NW (vacate lot, Lot-9) and build over existing property line.		

APPLICATION INFORMATION		
Applicant: Justin DeDera		Phone: 575-571-1261
Address: 4628 Cactus Ave NW		Email: jldedera@gmail.com
City: Albuquerque	State: NM	Zip: 87114
Professional/Agent (if any): n/a		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:		List <u>all</u> owners:
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 9	Block: 48	Unit: one
Subdivision/Addition: Knolls of Paradise	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): B-12-Z	Existing Zoning: Separated lots	Proposed Zoning: Combine Lots 9 & 8
# of Existing Lots: 1	# of Proposed Lots: Combine lot 9 & 8 to one lot. 8 Primary	Total Area of Site (Acres): Combined 0.34 acres
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 4632 Cactus Ave NW	Between: Boulder St NW	and: Davenport St NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

Signature:		Date: 02/21/2021
Printed Name: Justin DeDera		<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
PS-2021-00041	SK	\$50.00
Meeting Date: March 31, 2021		Fee Total: \$50.00
Staff Signature: Vanessa A Segura	Date: 3/15/21	Project # PR-2021-005238

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- ☐ Interpreter Needed for Hearing? NO if yes, indicate language: _____
- ☐ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☒ SKETCH PLAT REVIEW AND COMMENT

- ☒ Letter describing, explaining, and justifying the request
- ☒ Scale drawing of the proposed subdivision plat (7 copies, folded)
- ☒ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)

☐ MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)

- ☐ Letter describing, explaining, and justifying the request
- ☐ Copy of recorded IIA
- ☐ Proposed Final Plat (7 copies, 24" x 36" folded)
- ☐ Design elevations & cross sections of perimeter walls (3 copies)
- ☐ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- ☐ DXF file and hard copy of final plat data for AGIS submitted and approved




☐ MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

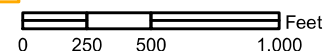
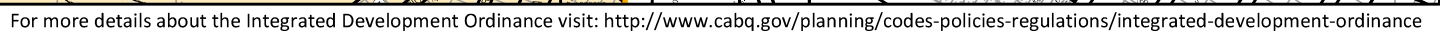
- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- ☐ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- ☐ Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- ☐ Required notice with content per IDO Section 14-16-6-4(K)(6)
 - ☐ Office of Neighborhood Coordination Public Notice Inquiry response
 - ☐ Proof of emailed notice to applicable Neighborhood Association representatives
- ☐ Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
- ☐ Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
- ☐ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- ☐ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- ☐ Proposed Infrastructure List, if applicable
- ☐ DXF file and hard copy of final plat data for AGIS submitted and approved

☐ MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST

- ☐ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- ☐ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- ☐ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.	
Signature: 	Date: 02/21/2021
Printed Name: Justin DeDera	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number
PS-2021-00041	PR-2021-005238
Staff Signature: 	
Date: 3/15/21	



Justin DeDera
4628 Cactus Ave. NW
Albuquerque, NM 87114
(575) 571-1261
jldedera@gmail.com

RE: Sketch Plat Application

Dear City of Albuquerque Development Review Board,

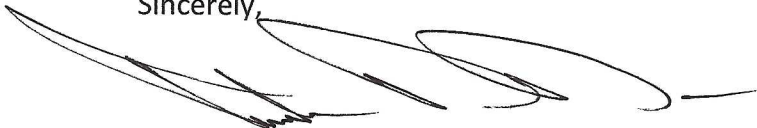
We are submitting this sketch plat application to learn of the allowability and limitations of merging our current lot, which includes our residence, with the adjoining vacant lot next door. By merging these lots, we would desire to eliminate the property line between the two lots enabling us to construct an addition (preliminary plans enclosed) off of our current residence that would cross over the current property line. Our addition plans would also include utilizing the existing utilities connected to our primary residence to the extent practical.

We are hoping that you can provide perspective on the below questions:

- 1) If we were granted approval to eliminate the property line between the two lots, would we be allowed to build over the property line?
- 2) Are there any issues that we should be aware of with utilizing the existing utilities for usage on both lots after elimination of the property line?
- 3) The sewer line access on the lot to be merged would need to be utilized given the distance from the new lot to the current lot sewer line access point. Would this be allowed?
- 4) We are planning that the new addition would be 5' off of the new lot sidewalk, which is similar to other homes in our neighborhood. Is this a proper assumption or would we be required to maintain a different setback from the sidewalk?
- 5) What are the next steps to obtain official approval for the merger of the two lots?

We appreciate your consideration and look forward to meeting with you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Justin DeDera', with a long horizontal line extending to the right.

Justin DeDera

Address Atlas

addressatlas

City Limits

Address Atlas Grid



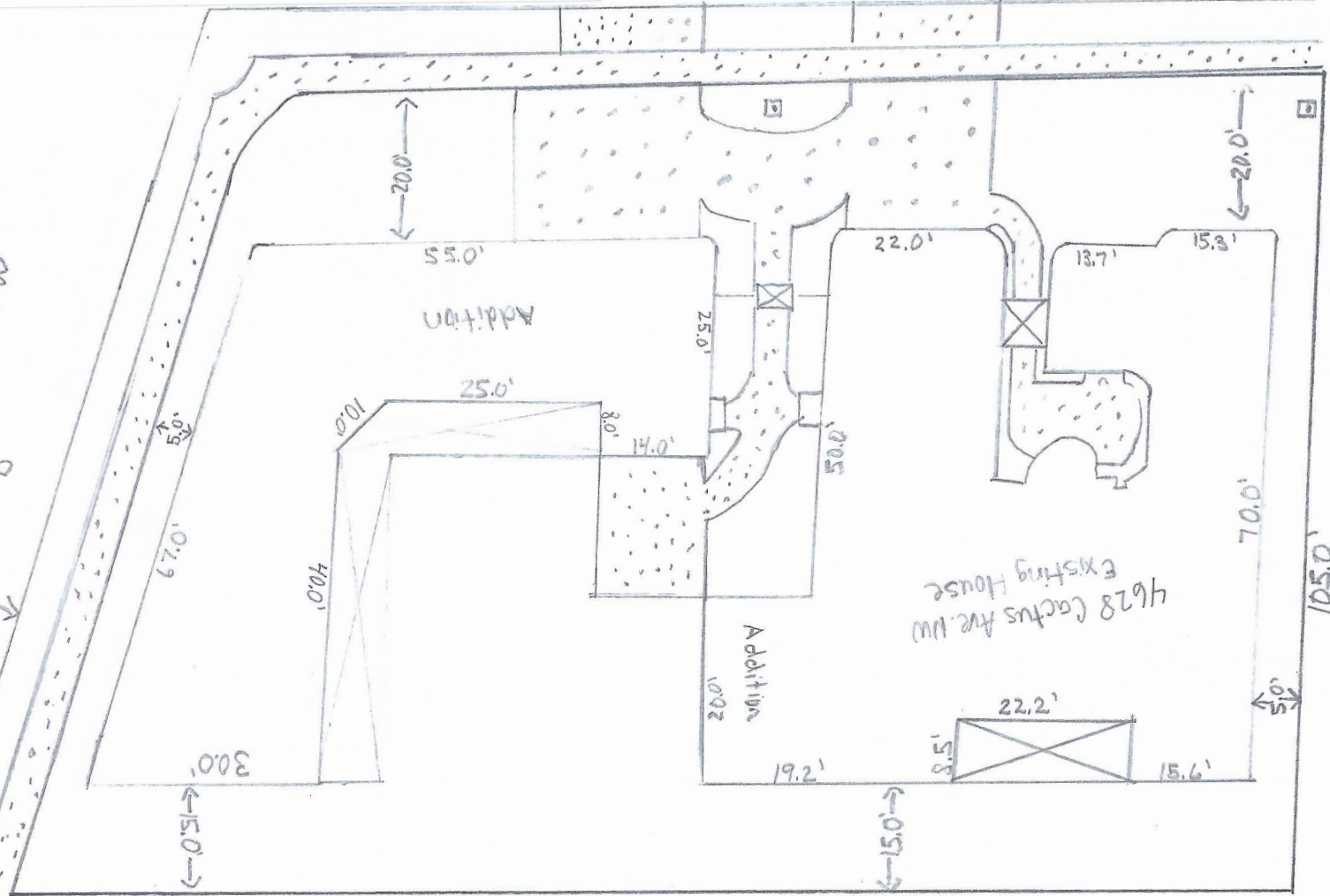
City Address Atlas Pages

40ft

Cactus Ave NW

Back of Curb
↓

Boulder St. NW
↓
Back of curb



Zone A Has = B12

1 inch = 20 ft.



Fidelity National Title

ADVANTAGE SURVEYING
P.O. BOX 11955
ALBUQUERQUE, NEW MEXICO 87192
PH. # (505) 243-1212 FAX (505) 248-0833

RETRACEMENT SURVEY
OF
LOT 9, BLOCK 48
KNOLLS OF PARADISE HILLS UNIT 1
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2006

"SEE ATTACHED DRAWING"

DISCLOSURE STATEMENTS:

THE PURPOSE OF THIS SURVEY IS TO DEFINE THE BOUNDARY OF THE REAL PROPERTY SHOWN HEREON. THIS SURVEY DOES NOT DIVIDE, PARTITION OR IN ANY WAY FURTHER SUBDIVIDE THE PARCEL HEREON.

LEGAL DESCRIPTION:

LOT NINE (9) IN BLOCK NUMBERED FORTY EIGHT (48), KNOLLS OF PARADISE HILLS UNIT 1, A SUBDIVISION WITHIN THE TOWN OF ALAMEDA GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 22, 2002, IN PLAT BOOK 28, FOLIO 33.

SURVEYOR'S CERTIFICATION:

I, MICHAEL T. SHOOK, A REGISTERED PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, THAT ALL BUILDINGS, STRUCTURES, AND IMPROVEMENTS ON THE PROPERTY ARE SHOWN HEREON, THAT ALL EASEMENTS OF RECORD OR MADE KNOWN TO ME BY THE OWNER OF RECORD OR BY THE TITLE COMPANY ARE SHOWN HEREON, AND THAT THIS SURVEY WAS PERFORMED TO THE MINIMUM STANDARDS FOR LAND SURVEY IN THE STATE OF NEW MEXICO AS ADOPTED OCTOBER 1, 2000, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS IS A RETRACEMENT SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Michael T. Shook 9-11-06
MICHAEL T. SHOOK N.M.P.S. No. 13240





DATE:
06/25/09
SCALE:
1"=30'
CREW:
IL
DRAWN:
JMP
JOB NO.
080715

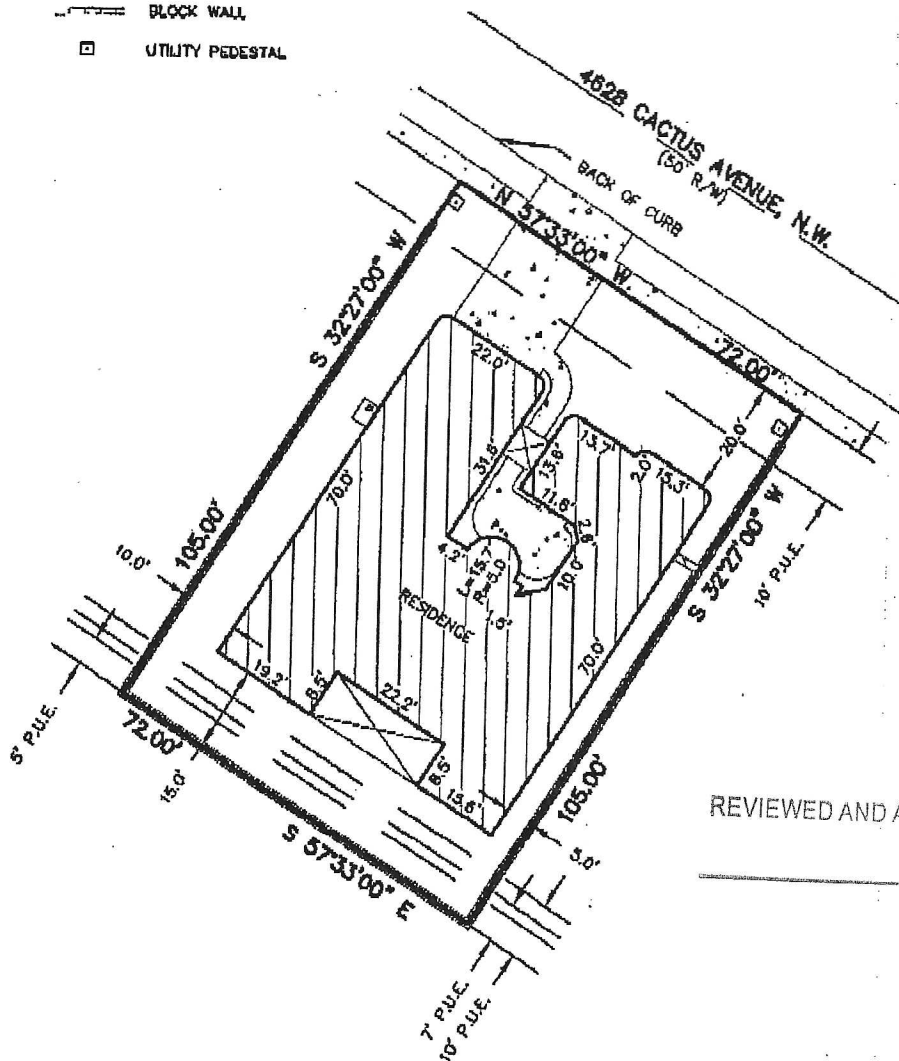
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

IMPROVEMENT LOCATION REPORT LOT 8, BLOCK 48 KNOLLS OF PARADISE HILLS, UNIT 1 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

LEGEND

-  COVERED AREA
-  CONCRETE
-  BLOCK WALL
-  UTILITY PEDESTAL



REVIEWED AND ACCEPTED

NOTE: 1. THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OUTSIDE OF THE 500-YEAR FLOODPLAIN, AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, MAP NO. 35001C0 108G.

2. THIS LOT IS SUBJECT TO THE CONDITIONS OF TITLE AFFECTING THE INSURED PREMISES AS CONTAINED ON THE NOTES ON THE RECORDED PLAT.

3. THIS REPORT IS NOT FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE. THIS IS NOT A BOUNDARY SURVEY AND MAY NOT BE SUFFICIENT FOR THE SURVEY EXCEPTION FROM AN OWNER'S TITLE POLICY. IT MAY OR MAY NOT REVEAL ENCROACHMENTS, OVERLAPS, CONFLICTS IN BOUNDARY LINES, SHORTAGES IN AREA, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE BOUNDARY SURVEY.

4. PROPERTY MAY BE SUBJECT TO AN EASEMENT AS STATED IN EXCEPTION 17. (NOT SHOWN HEREON)

LEGAL DESCRIPTION

LOT NUMBERED EIGHT (8) IN BLOCK NUMBERED FORTY-EIGHT (48) OF KNOLLS OF PARADISE HILLS, UNIT NUMBERED ONE (1), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 22, 1962, IN PLAT BOOK D3, PAGE 31.



THIS IS TO CERTIFY:

TO TITLE COMPANY: STEWART TITLE

TO UNDERWRITER: STEWART TITLE GUARANTY CO.

TO LENDER: BAXTER CREDIT UNION

N.M.P.S. No. 14271, made on inspection of the premises situated at LOT 8, BLOCK 48, KNOLLS OF PARADISE HILLS, UNIT ONE BERNALILLO, County, New Mexico briefly described as (Address if applicable) 4628 CACTUS AVENUE, N.W.

PLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat (Include filing information if plat is filed).

SEE LEGAL DESCRIPTION

NOTE: The error of closure is less than one foot of error for every 10,000 feet along the perimeter of the legal description provided. Easements shown hereon are as listed in the Title Commitment No. 9080473 provided by the Title Company. Improvement location is based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations of record which pertain. This report is not to be relied on for the establishment of fences, buildings or other future improvements.

THIS IS NOT A SURVEY FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE (THIS INCLUDES BUILDING PERMITS)

I FURTHER CERTIFY as to the existence of the following at the time of my last inspection:

1. Evidence of rights of way, old highways or abandoned roads, lanes, trails or driveways, sewer, drains, water, gas, or oil pipe lines on or crossing said premises (show location, if none visible, so indicate):
2. Springs, streams, rivers, ponds, or lakes located, bordering on or through said premises:
3. Evidence of cemeteries or family burial grounds located on said premises (show location):
4. Overhead utility poles, anchors, pedestals, wires or lines overhanging or crossing said premises and serving other properties (show location):
5. Joint driveways or walkways, joint garages, party walls or rights of support, steps or roofs in common or joint garages:
6. Apparent encroachments, if the building, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected premises, specify all such (show location):
7. Specific physical evidence of boundary lines on all sides: SEE ABOVE SKETCH
8. Is the property improved? (If structure appears to encroach on adjoiners show approximate distances): YES
9. Indications of recent building construction, alterations or repairs: SEE ABOVE SKETCH
10. Approximate distance of structure from at least two lot lines must be shown. SEE ABOVE SKETCH

* NOT APPLICABLE, UNLESS THE