



<b>Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.</b>		
<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input checked="" type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
<b>BRIEF DESCRIPTION OF REQUEST</b>		
Site Plan - DRB for a 218-unit multi-family residential development with six 4-story buildings plus a clubhouse.		

<b>APPLICATION INFORMATION</b>		
Applicant/Owner: GTA San Pedro, LLC		Phone: (469) 458-0485
Address: 2600 Dallas Parkway, Suite 370		Email: Mark.Tekin@tekindevelopment.com
City: Frisco	State: TX	Zip: 75034
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: vos@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List <u>all</u> owners:	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: Lots 1-4 and 29-32	Block: 27	Unit: Tract A Unit B
Subdivision/Addition: North Albuquerque Acres	MRGCD Map No.:	UPC Code: See attached
Zone Atlas Page(s): C-18-Z	Existing Zoning: R-MH	Proposed Zoning: No Change
# of Existing Lots: 8	# of Proposed Lots: 1	Total Area of Site (Acres): 6.77 acres
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 9320 San Pedro Drive NE	Between: Oakland Avenue NE	and: Eagle Rock Avenue NE
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
PR-2021-004920		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 6/24/22
Printed Name: Michael Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

UPC Codes for 9320 San Pedro Drive NE

Lot 1: 101806427245811701

Lot 2: 101806428745811702

Lot 3: 101806430345811703

Lot 4: 101806432045811704

Lot 29: 101806432043611709

Lot 30: 101806430343611710

Lot 31: 101806428743611711

Lot 32: 101806427343611712

## FORM P2: SITE PLAN – DRB

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

**SKETCH PLAN – DRB**

**SITE PLAN – DRB**

**MAJOR AMENDMENT TO SITE PLAN – DRB**

**EXTENSION OF SITE PLAN – DRB**

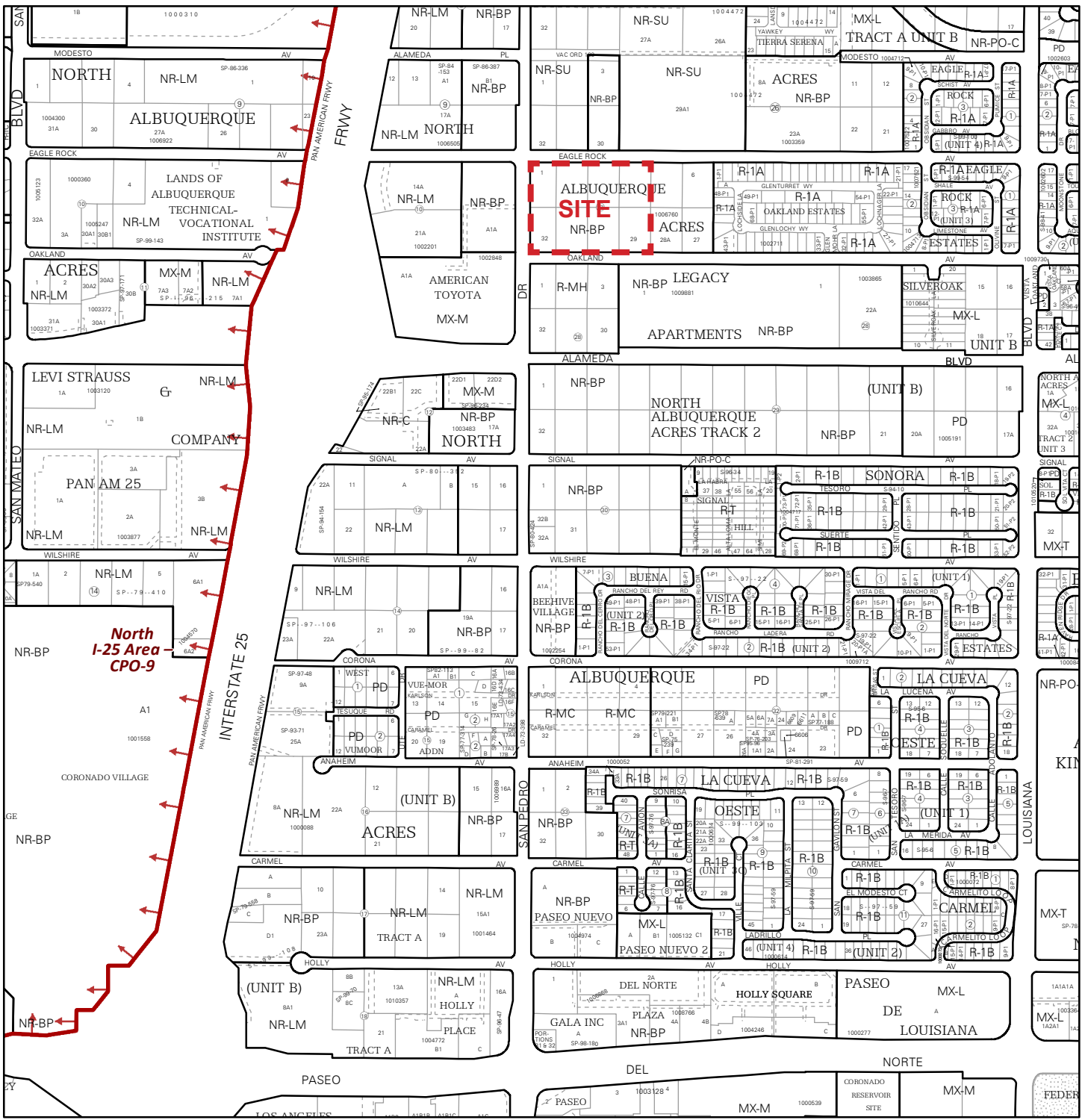
- Interpreter Needed for Hearing? NO if yes, indicate language: \_\_\_\_\_
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
  - Office of Neighborhood Coordination neighborhood meeting inquiry response
  - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
  - Completed neighborhood meeting request form(s)
  - N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(1) *(not required for extension)*
  - Office of Neighborhood Coordination notice inquiry response
    - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
    - Proof of emailed notice to affected Neighborhood Association representatives
    - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings
- N/A Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)*
- Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- N/A Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- Infrastructure List, if required

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC**

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

- \_\_\_ Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- \_\_\_ PDF of application as described above
- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Solid Waste Department signature on Site Plan
- \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ Approved Grading and Drainage Plan
- \_\_\_ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- \_\_\_ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ Site Plan and related drawings
- \_\_\_ Infrastructure List, if require



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**C-18-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading  
Represents Area Outside  
of the City Limits

0 250 500 1,000  
Feet

June 23, 2022

Jolene Wolfley, Chairperson  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: Request for Site Plan – DRB at 9320 San Pedro Drive NW

Dear Mr. Chairman:

The purpose of this letter is to authorize Consensus Planning and Isaacson & Arfman, Inc. as our agents for application and approval of a Site Plan – DRB and related actions for a proposed multi-family residential development on the properties located at 9320 San Pedro Drive NE.

The site is legally described as Lots 1 thru 4 and 29 thru 32, Block 27, Tract A Unit B North Albuquerque Acres.

GTA San Pedro, LLC is the owner of these properties. Thank you for your consideration.

Sincerely,  
GTA San Pedro, LLC, a Delaware limited liability company

By: Tekin & Associates, LLC, a Texas limited liability company, It's Manager

By:   
Mark A. Tekin, President

**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

**Legal Description & Location:** Lots 1 thru 4 and Lots 29 thru 32, Block 27 Tract A, Unit B, North Albuquerque Acres.  
East of San Pedro Blvd & Between Eagle Rock Ave and Oakland Ave

**Job Description:** 218 Unit Apartment Complex

**Hydrology:** COA Hydrology File# C18D108

- Grading and Drainage Plan       Approved      \_\_\_\_\_ NA
- AMAFCA      \_\_\_\_\_ Approved       NA
- Bernalillo County      \_\_\_\_\_ Approved       NA
- NMDOT      \_\_\_\_\_ Approved       NA
- MRGCD      \_\_\_\_\_ Approved       NA

Ernest Armijo  
Hydrology Department

6/21/2022  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Traffic Impact Study (TIS)      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Neighborhood Impact Analysis (NIA)      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Bernalillo County      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- MRCOG      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- NMDOT      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- MRGCD      \_\_\_\_\_ Approved      \_\_\_\_\_ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):** Availability Statement# 210431R

- Water/Sewer Availability Statement/Serviceability Letter      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- ABCWUA Development Agreement      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- ABCWUA Service Connection Agreement      \_\_\_\_\_ Approved      \_\_\_\_\_ NA

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Solid Waste Department Signature on the plan      \_\_\_\_\_ Approved      \_\_\_\_\_ NA
- Fire Marshall Signature on the plan      \_\_\_\_\_ Approved      \_\_\_\_\_ NA      Permit# FP 21-006042

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 8, 2022

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Sierra Vista Apartments  
Revised Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 05/25/22  
Hydrology File: C18D108**

Dear Mr. Arfman:

PO Box 1293  
Albuquerque  
NM 87103  
Based upon the information provided in your submittal received 05/12/2022, the Revised Conceptual Grading & Drainage Plan is preliminary approved for action by the DRB on Site Plan for Building Permit.

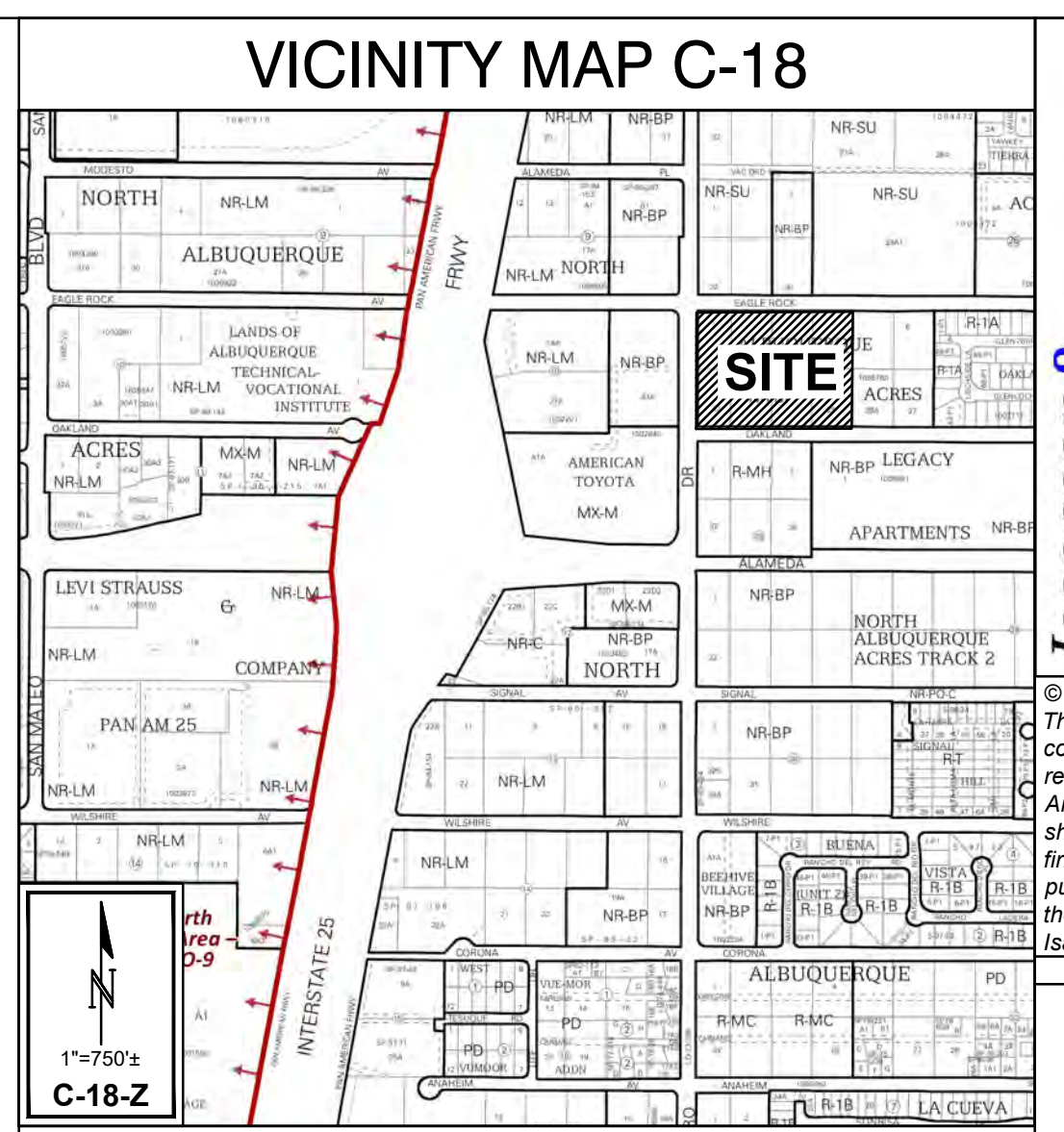
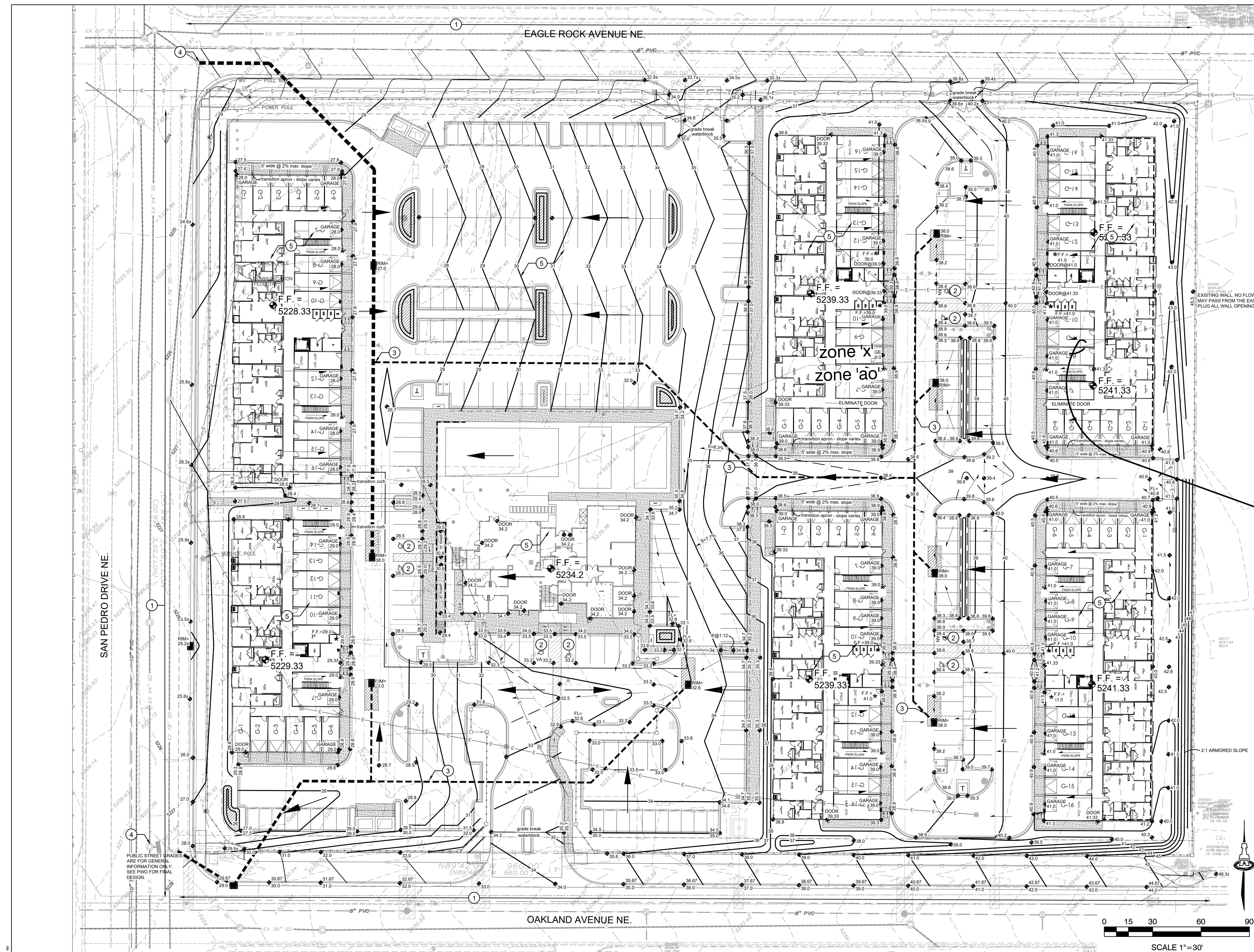
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



**PROJECT INFORMATION**

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP C-18. THE SITE IS BOUND TO THE WEST BY SAN PEDRO BLVD., TO THE NORTH BY EAGLE ROCK AVE., TO THE SOUTH BY OAKLAND AVE. AND TO THE EAST BY DEVELOPED COMMERCIAL PROPERTY. THE PROPERTY SLOPES FROM EAST TO WEST AT APPROXIMATELY 3%.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE MULTI-STORY APARTMENT BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, SITE AMENITIES, AND LANDSCAPING.

LEGAL: LOTS 1, 2, 3, 4, 29, 30, 31 AND 32, BLOCK 27, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO.

AREA: 6.580 AC

BENCHMARKS: ALBUQUERQUE CONTROL SURVEY MONUMENT 10C\_18, ELEVATION (FEET) = 5222.09 (NAVD88)

ALBUQUERQUE CONTROL SURVEY MONUMENT 9C\_18, ELEVATION (FEET) = 5232.47 (NAVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0137H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AND IN ZONE 'AO' - DEPTH 1 FOOT. A L.O.M.R. IS UNDERWAY ELIMINATE THE FLOOD ZONE IN THE AREA.

DRAINAGE PLAN CONCEPT:

BASED ON THE DESIGN ANALYSIS REPORT FOR SAN PEDRO STORM DRAIN (CITY PROJECT NO. 5304.91) DATED JANUARY 2010, PREPARED BY THOMPSON ENGINEERING CONSULTANTS, INC., THE PROPOSED LOTS FALL WITHIN DRAINAGE BASINS 116.2 (LOTS 1, 2, 3 AND 4 = 3.29 ACRE @ 4.02 CFS/ACRE = 13.23 ALLOWABLE DISCHARGE) AND 117.2 (LOTS 29, 30, 31 AND 32 = 3.29 ACRE @ 3.80 CFS/ACRE = 12.50 ALLOWABLE DISCHARGE) FOR A TOTAL OF 25.73 CFS.

THE PROPERTY WILL DISCHARGE, AT A RATE NOT TO EXCEED 25.73 CFS, TO THE SURROUNDING STREETS AND TO THE EXISTING STORM DRAIN INFRASTRUCTURE LOCATED WITHIN THE ADJACENT STREETS. SURFACE AND/OR SUB-SURFACE STORMWATER DETENTION WILL BE PROVIDED IF NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.

PER PRE-DESIGN CONSULTATION WITH RENÉE BRISSETTE, PE, THIS SITE MAY DISCHARGE THE ALLOWABLE RATE DIRECTLY TO THE EXISTING STORM DRAIN(S) LOCATED WITHIN SAN PEDRO.

**PRELIMINARY APPROVED**

City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION

DATE: 06/08/22  
BY: Renee Brissette  
HydroTeam # C18D108

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED ON THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**CALCULATIONS: San Pedro Apartments : 4/28/2021**

Based on Drainage Design Criteria for City of Albuquerque  
Article 6-2 Hydrology dated June 26, 2020

**100-YEAR, 6-HOUR STORM**

DEVELOPED FLOWS:		EXCESS PRECIP:	
Area	SF	%	Precip. Zone
Area A	0	0%	3
Area B	82555	28%	
Area C	0	0%	
Area D	212285	72%	
Total	294840	100%	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted } E = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Hist. E	= 0.87	in.	Dev. E	= 2.10	in.
On-Site Volume of Runoff: V <sub>360</sub>	= E <sup>2</sup> A / 12				
Hist. V <sub>360</sub>	= 21327	CF	Dev. V <sub>360</sub>	= 51558	CF
On-Site Peak Discharge Rate: Q <sub>p</sub>	= Q <sub>pA</sub> A <sub>A</sub> + Q <sub>pB</sub> A <sub>B</sub> + Q <sub>pC</sub> A <sub>C</sub> + Q <sub>pD</sub> A <sub>D</sub> / 43.56				
For Precipitation Zone 3					
Q <sub>pA</sub>	= 1.84		Q <sub>pC</sub>	= 3.17	
Q <sub>pB</sub>	= 2.49		Q <sub>pD</sub>	= 4.49	
Hist. Q <sub>p</sub>	= 16.9	CFS	Dev. Q <sub>p</sub>	= 26.6	CFS

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.iacivil.com

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May 25, 2022  
Conceptual  
Not for Construction

**San Pedro Apartments**  
Eagle Rock  
Albuquerque, New Mexico

DESIGN DEVELOPMENT	ISSUE: DESIGN DEVELOPMENT
PROJECT NUMBER: IA 2471	FILE: IA 2471
DRAWN BY: B. Blithor	CHECKED BY: FCA
DATE: 05-25-2022	

**ADA COMPLIANCE**

SIDEWALK(S) AND RAMP(S):

- LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1
- TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

ACCESSIBLE RAMP(S):

- TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)
- TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%

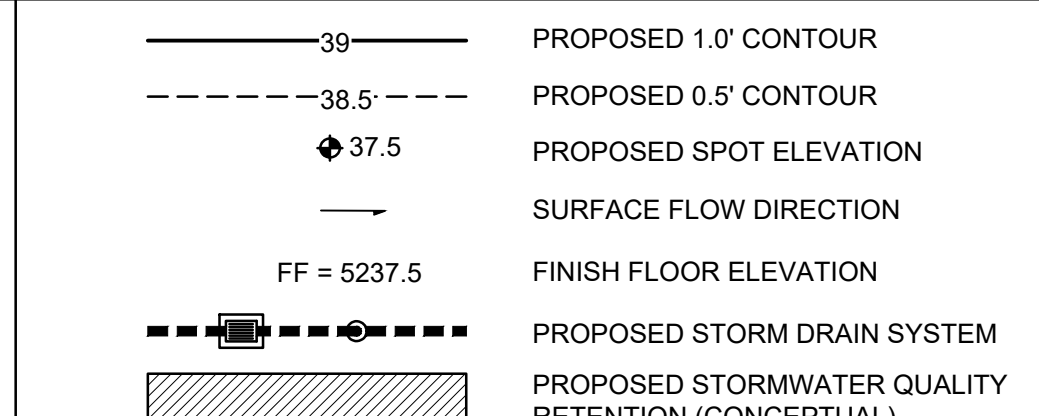
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

**STORMWATER QUALITY**

FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 72% OF TOTAL AREA: (0.72 \* 6.77 AC) = 212,285 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" \* TYPE 'D' AREA. 0.26(12" \* 212,285 SF) = 4,600 CF. THIS MAY CHANGE DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED.

THE MAJORITY OF SURFACE AND / OR SUBSURFACE SWQ RETENTION WILL BE PROVIDED THROUGHOUT THE PROPERTY. AS THE SITE DESIGN MOVES FORWARD, FINAL LOCATIONS WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.

**LEGEND**



**KEYED NOTES**

- ALL CONSTRUCTION WORK IN THE PUBLIC R.O.W. WILL BE DONE BY PUBLIC WORK ORDER PLANS (PWO) INCLUDING ACCESS DRIVES, CURB AND GUTTER, PAVING, PUBLIC RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN, ETC. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. SEE ADA COMPLIANCE NOTE THIS SHEET FOR ADDITIONAL ADA REQUIREMENTS.
- CONCEPTUAL PRIVATE STORM DRAIN SYSTEM TO BE FULLY DESIGNED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS SUBMITTAL.
- CONNECT TO EXISTING STORM DRAIN SYSTEM AT MANHOLE.
- PROPOSED CONTOUR LINES, SITE ELEVATIONS AND F.F. ELEVATIONS ARE PROVIDED TO SHOW THE INTENT OF THE OVERALL DRAINAGE CONCEPT. THESE WILL BE UPDATED AS NEEDED DURING THE PERMITTING PHASE WHILE REMAINING TRUE TO THE OVERALL DRAINAGE CONCEPT PROPOSED.



**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

**Legal Description & Location:** Lots 1 thru 4 and Lots 29 thru 32, Block 27 Tract A, Unit B, North Albuquerque Acres.  
East of San Pedro Blvd & Between Eagle Rock Ave and Oakland Ave

**Job Description:** 218 Unit Apartment Complex

**Hydrology:** COA Hydrology File# C18D108

- Grading and Drainage Plan  Approved  NA
- AMAFCA  Approved  NA
- Bernalillo County  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL)  Approved  NA
- Traffic Impact Study (TIS)  Approved  NA
- Neighborhood Impact Analysis (NIA)  Approved  NA
- Bernalillo County  Approved  NA
- MRCOG  Approved  NA
- NMDOT  Approved  NA
- MRGCD  Approved  NA

*Jeanne Wolfenbarger*

\_\_\_\_\_  
Transportation Department

06/22/2022  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):** Availability Statement# 210431R

- Water/Sewer Availability Statement/Serviceability Letter  Approved  NA
- ABCWUA Development Agreement  Approved  NA
- ABCWUA Service Connection Agreement  Approved  NA

\_\_\_\_\_  
ABCWUA

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*)  Approved  NA
- Solid Waste Department Signature on the plan  Approved  NA
- Fire Marshall Signature on the plan  Approved  NA Permit# FP 21-006042

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** Oakland and San Pedro Multi-family

Building Permit #: \_\_\_\_\_ Hydrology File #: C18D081 (part)

Zone Atlas Page: C-18 DRB#: 1006760 (part) EPC#: PR-2021-004920 Work Order#: \_\_\_\_\_

Legal Description: Lots 1 thru 4 and 29 thru 32, Block 27, Tract A Unit B North Albuquerque Acres

Development Street Address: 9320 San Pedro Drive NE

**Applicant:** Tekin & Associates, LLC (Agent: Consensus Planning, Inc.) Contact: Michael Vos, AICP

Address: 302 8th Street NW, Albuquerque, NM 87102

Phone#: (505) 764-9801 Fax#: \_\_\_\_\_

E-mail: vos@consensusplanning.com

### Development Information

Build out/Implementation Year: 2022-2023 Current/Proposed Zoning: R-MH

Project Type: New: ( ) Change of Use: (X) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: (X) Office: ( ) Retail: ( ) Mixed-Use: ( )

Describe development and Uses: 221-unit multi-family residential development

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): \_\_\_\_\_

Number of Residential Units: 221 dwelling units

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

ITE Trip Generation Land Use Code: Multi-family Residential (Mid-Rise) 4-story buildings, 221 total units

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* \_\_\_\_\_

ITE Land Use #221 Multifamily Housing (Mid-Rise) 221 DUs AM peak 74 trips PM peak 95 trips
--

Driveway(s) Located on: Street Name Main entry from Oakland Avenue and secondary/emergency access on Eagle Rock

Adjacent Roadway(s) Posted Speed: Street Name San Pedro Drive Posted Speed 35 mph  
Street Name Oakland Avenue and Eagle Rock Avenue Posted Speed 30 mph

\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

### **Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: San Pedro: Urban Major Collector; Oakland and Eagle Rock: Local Streets; nearest Corridor is Alameda Blvd to the south (Multi-modal)

Comprehensive Plan Center Designation: N/A  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City of Albuquerque

Adjacent Roadway(s) Traffic Volume: San Pedro: 5000 Volume-to-Capacity Ratio (v/c): Max. 0.44 PM SB  
(if applicable)

Adjacent Transit Service(s): Route 98 on Alameda Blvd Nearest Transit Stop(s): San Pedro and Alameda (one block south)

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Existing on Alameda (south) and Louisiana (east); Proposed bike lanes on San Pedro and Eagle Rock  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Only existing along a small part of the site boundary. Adjacent properties have constructed sidewalks with recent development and this site will construct sidewalks as required by the DPM.

### **Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

### **TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No [  ]

Thresholds Met? Yes [ ] No [  ]

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes:

*M.P. P.E.*

6/7/2022

TRAFFIC ENGINEER

DATE

---

### **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

# CITY OF ALBUQUERQUE



Planning Department  
Alan Varela, Director

Mayor Timothy M. Keller

June 22, 2022

Fred C. Arfman  
Isaacson & Arfman, Inc.  
128 Monroe St. NE  
Albuquerque NM 87108

**Re: San Pedro Apartments  
San Pedro and Eagle Rock  
Conceptual Traffic Circulation Layout for DRB Approval  
Engineer's/Architect's Stamp 06-21-22 (C18D108)**

Dear Mr. Arfman,

The conceptual TCL submittal received 06-21-2022 is approved for DRB submittal. When submitting this project through the building permit process, please provide a copy of the approved DRB Site plan along with a more detailed site plan for construction purposes through a second Traffic Circulation Layout submittal process. The detailed plan will be compared against the approved DRB site plan to ensure that all previously approved site infrastructure is shown with exact paving layout, dimensioning, and parking capacity. Ultimately, a copy of the approved DRB Site Plan and the more detailed stamped and signed plan will both be needed for each of the building permit plans. Please keep these originals to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

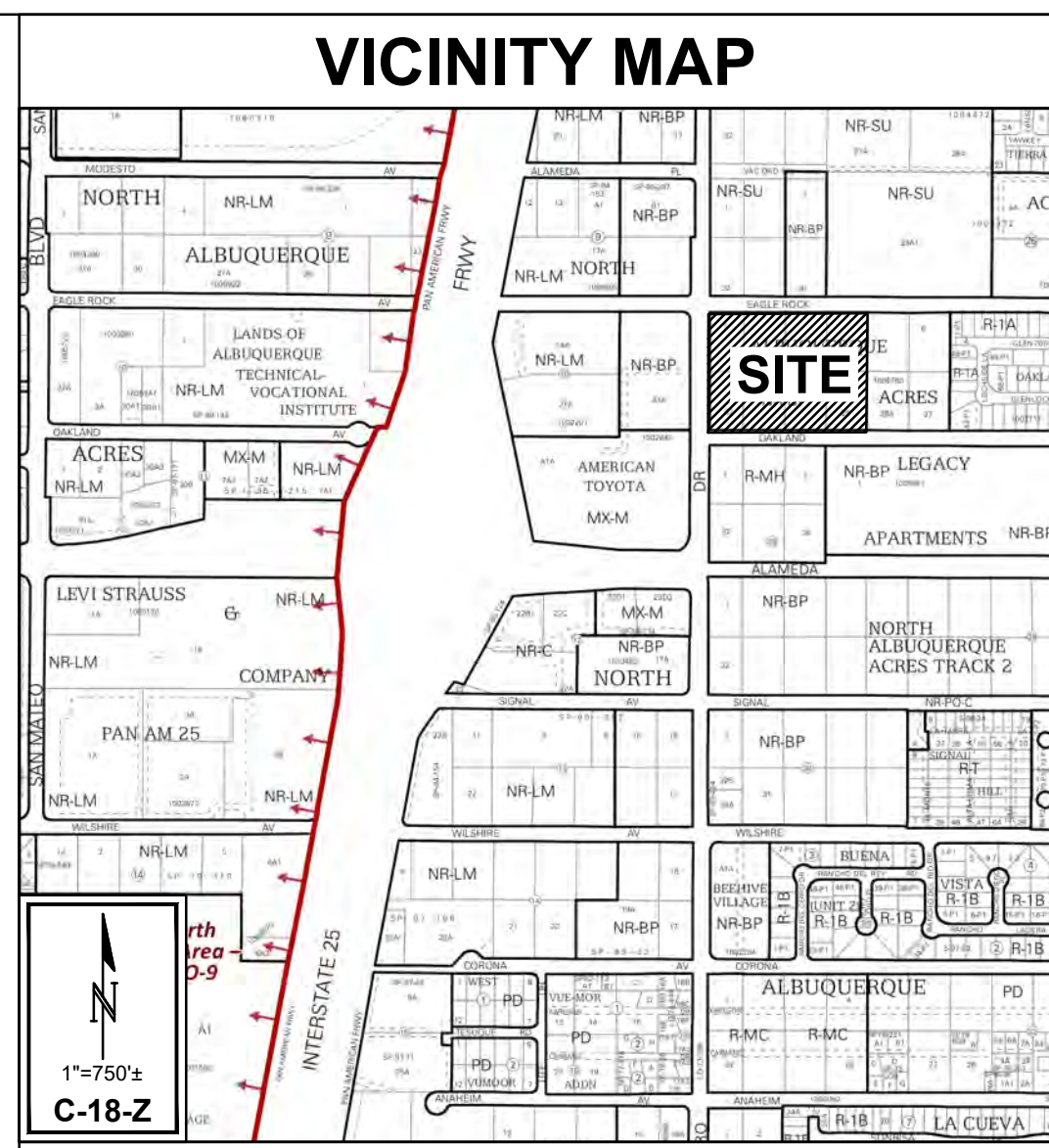
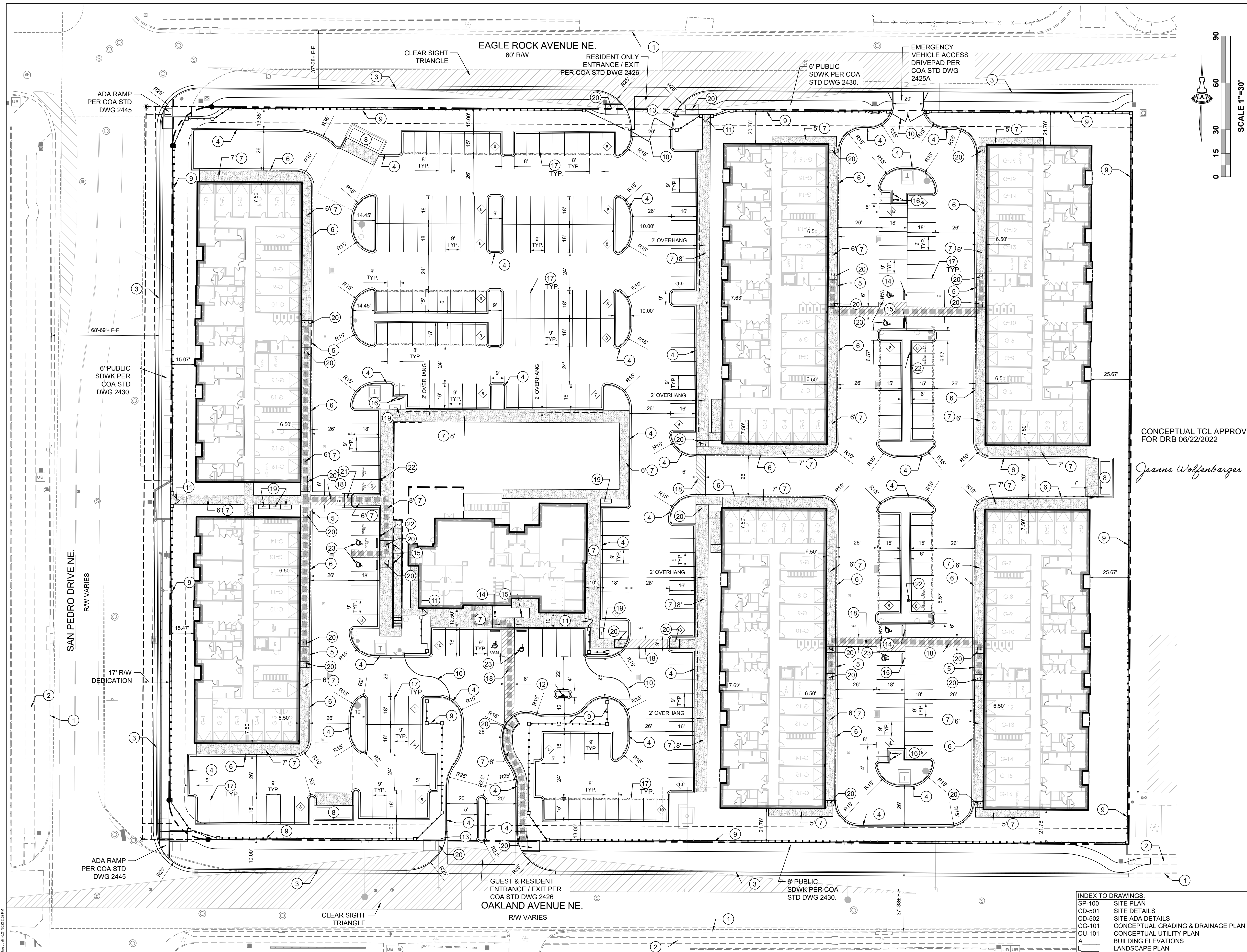
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



**PROJECT DATA**

**LEGAL DESCRIPTION:**  
Parcel 1:  
Lots numbered One (1), Two (2), Thirty-one (31) and Thirty-two (32), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

Parcel 2:  
Lots numbered Three (3), Four (4), Twenty-nine (29) and Thirty (30), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

**SITE AREA:** 6.7686 ACRES  
**ZONING:** R-MH  
**UNIT CALCULATIONS:**  
1 BR UNITS = 118 (54.1%)  
2 BR UNITS = 100 (45.9%)  
**TOTAL UNITS = 218**

**PARKING CALCULATIONS:**  
**REQUIRED:** 1.5 SPACES PER DU = 327 SPACES  
**ADA REQUIRED:** 8 SPACES (2 VAN SPACES)  
**PROVIDED:**  
GARAGE= 93 SPACES  
SURFACE= 182 SPACES  
SURFACE (COMPACT)= 76 SPACES  
8 SPACES (3 VAN SPACES)  
**TOTAL= 359 SPACES**

**ELECTRIC VEHICLE REQUIRED:** 2% TOTAL REQUIRED = 7 SPACES  
**ELECTRIC VEHICLE PROVIDED:** 8 SPACES

**MOTORCYCLE REQUIRED:** 6 SPACES  
**MOTORCYCLE PROVIDED:** 6 SPACES

**BICYCLE REQUIRED:** 34 SPACES  
**BICYCLE PROVIDED:**  
SURFACE= 12 SPACES  
INTERNAL TO BUILDINGS= 22 SPACES  
**TOTAL= 34 SPACES**

**OPEN SPACE CALCULATIONS:**  
**REQUIRED:**  
225 SQUARE FEET PER 1 BED: 26,550 sf  
285 SQUARE FEET PER 2 BED: 28,500 sf  
**TOTAL: 55,050 sf**  
**PROVIDED:**  
BALCONIES/PATIOS: ?? sf  
SURFACE: 69,392 sf  
**TOTAL= ?? sf**

**PROJECT NO.:**  
**APPLICATION NO.:**

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.iaacivil.com

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7322  
CONCEPTUAL  
NOT FOR CONSTRUCTION

06-21-2022

Engineer

**SAN PEDRO APARTMENTS**

**San Pedro & Eagle Rock**  
**Albuquerque, New Mexico**

DESIGN DEVELOPMENT	ISSUE:
PROJECT NUMBER: IA 2471	FILE:
BID/ITOR	DRAWN BY:
XXX-XX-XXXX	CHECKED BY:
	DATE:

**DRB SITE DEVELOPMENT PLAN APPROVAL**

No	Date	Description
		TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
		ABCWJA
		PARKS & RECREATION DEPARTMENT
		CITY ENGINEERING/HYDROLOGY
		ENVIRONMENTAL HEALTH (CONDITIONAL)
		SOLID WASTE MANAGEMENT
		DRB CHAIRPERSON, PLANNING DEPT.
		CODE ENFORCEMENT

<b>SHEET TITLE</b>	
SITE PLAN	
<b>SHEET NUMBER</b>	
SP-100	

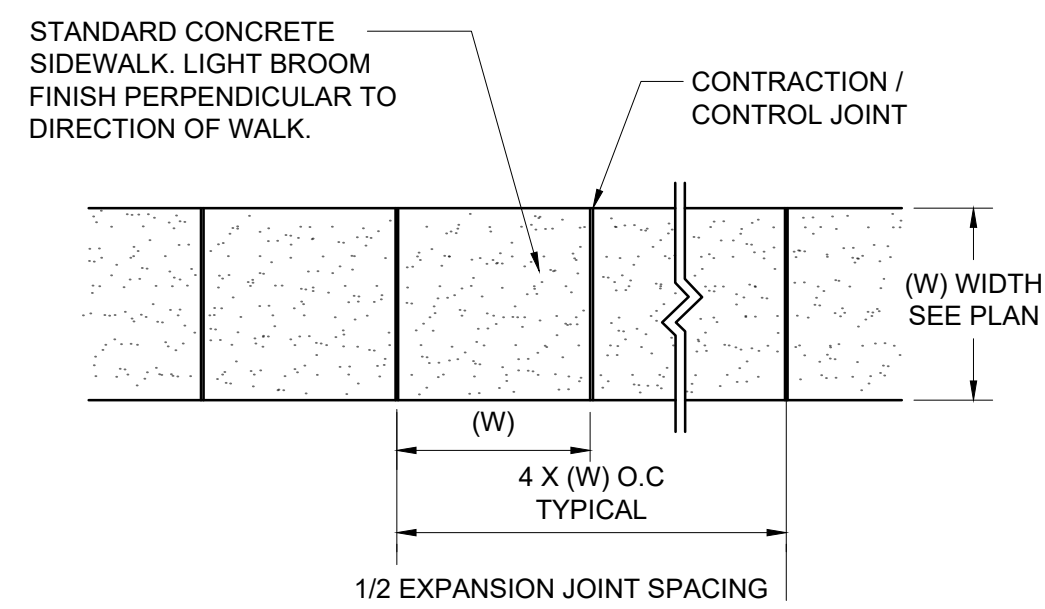
- GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
  - CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
  - STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
  - LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

- KEYED NOTES**
- EXISTING CURB & GUTTER.
  - EXISTING SIDEWALK.
  - STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
  - MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CD-501.
  - LOW PROFILE MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CD-501.
  - ESTATE CURB, PER DETAIL ON SHEET CD-501.
  - SIDEWALK, PER DETAIL ON SHEET CD-501.
  - REFUSE ENCLOSURE, PER DETAIL ON SHEET CD-501.
  - PERIMETER FENCE, SEE ARCHITECT/LANDSCAPE PLAN FOR DETAIL.
  - VEHICULAR ACCESS GATE, SEE ARCHITECT/LANDSCAPE PLAN FOR DETAIL.
  - PEDESTRIAN ACCESS GATE, SEE ARCHITECT/LANDSCAPE PLAN FOR DETAIL.
  - GUEST GATE CALL BUTTON
  - SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CD-501
  - SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CD-501.
  - SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CD-501.
  - SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CD-501.

**LEGEND**

	ADA SPACE		BIKE RACK
	PEDESTRIAN CROSS WALK		PARKING ROW COUNT
	DUAL PORT EV CHARGER		PROPERTY LINE
	ADA PATHWAY		

- INDEX TO DRAWINGS:**
- SP-100 SITE PLAN
  - CD-501 SITE DETAILS
  - CD-502 SITE ADA DETAILS
  - CG-101 CONCEPTUAL GRADING & DRAINAGE PLAN
  - CU-101 CONCEPTUAL UTILITY PLAN
  - A BUILDING ELEVATIONS
  - L LANDSCAPE PLAN

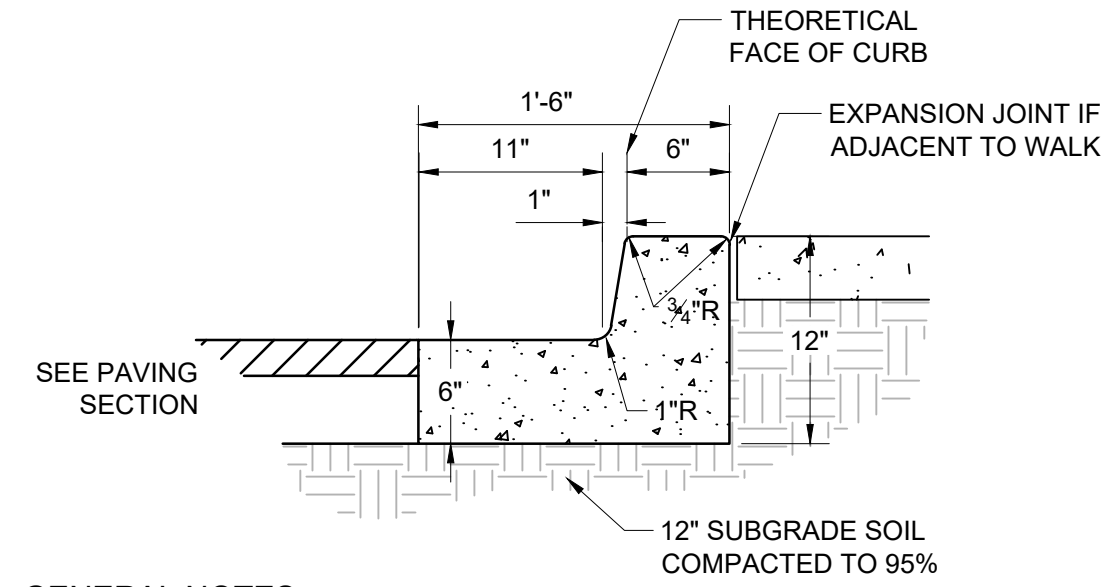


**GENERAL NOTES**

1. 4000 PSI COMPRESSIVE STRENGTH CONCRETE
2. SEE CONCRETE JOINTS DETAIL
3. FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
4. 3/8" RADII AT ALL EXPOSED EDGES.

**CONCRETE WALK**

BROOM FINISH SCALE: N.T.S.

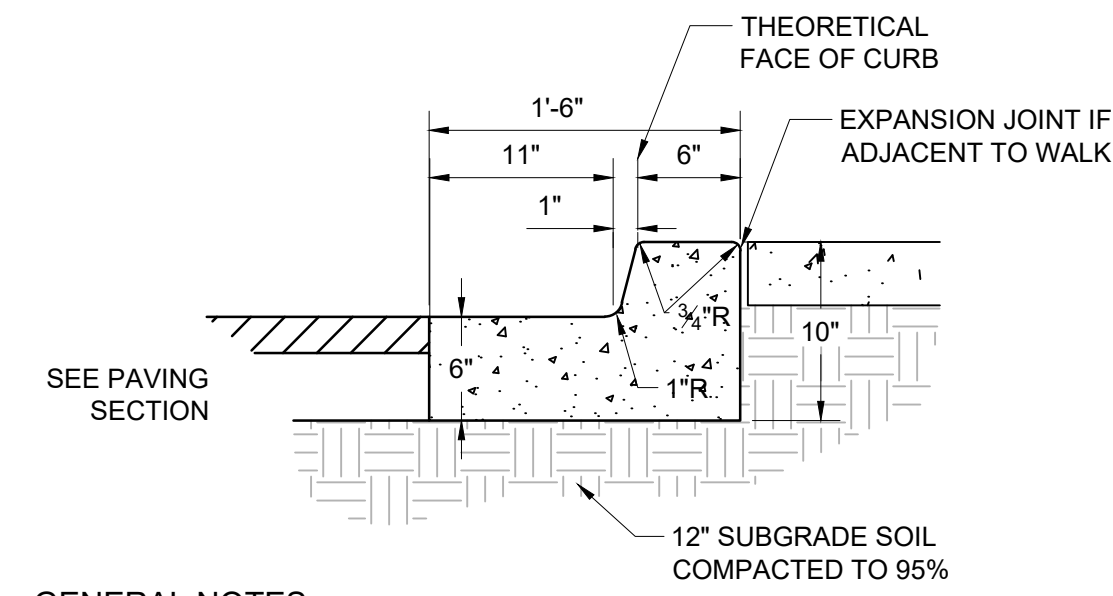


**GENERAL NOTES**

1. REQUIRES FULL FORM ON ALL FACES.
2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

**MEDIAN CURB AND GUTTER**

6" WIDE THEORETICAL FACE OF CURB SCALE: N.T.S.

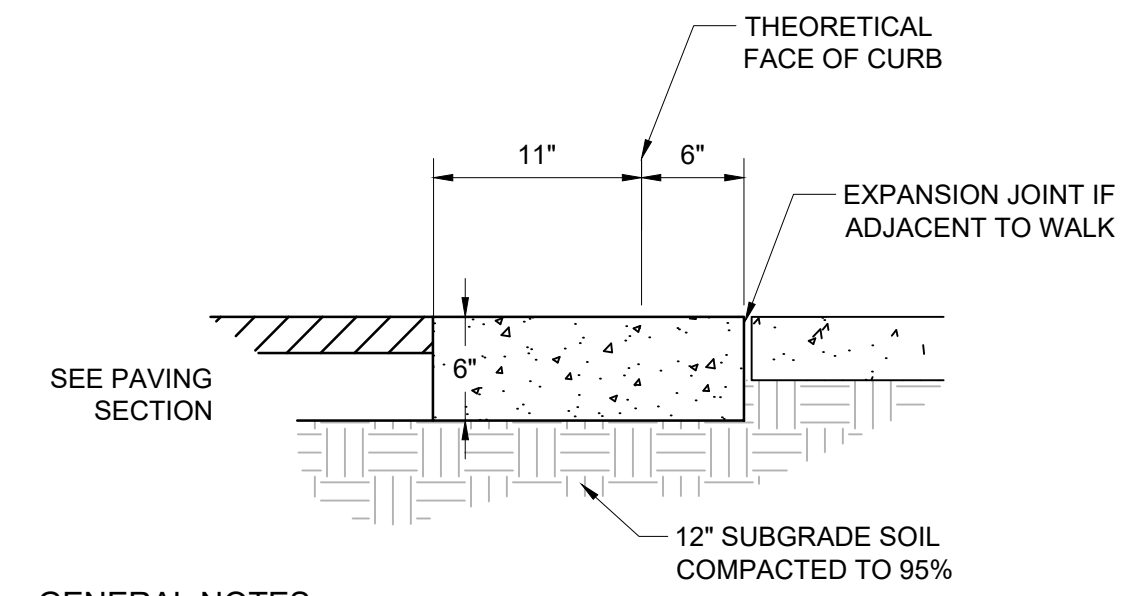


**GENERAL NOTES**

1. REQUIRES FULL FORM ON ALL FACES.
2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

**LOW PROFILE MEDIAN CURB AND GUTTER**

6" WIDE THEORETICAL FACE OF CURB SCALE: N.T.S.

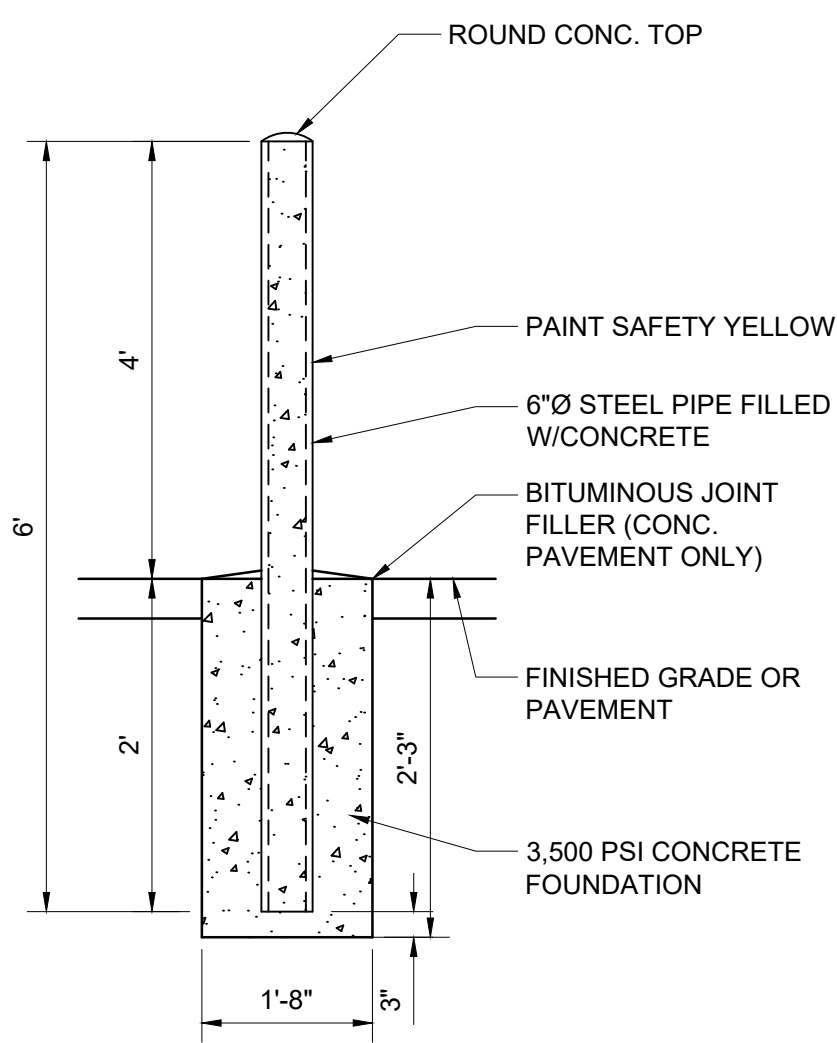


**GENERAL NOTES**

1. REQUIRES FULL FORM ON ALL FACES.
2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

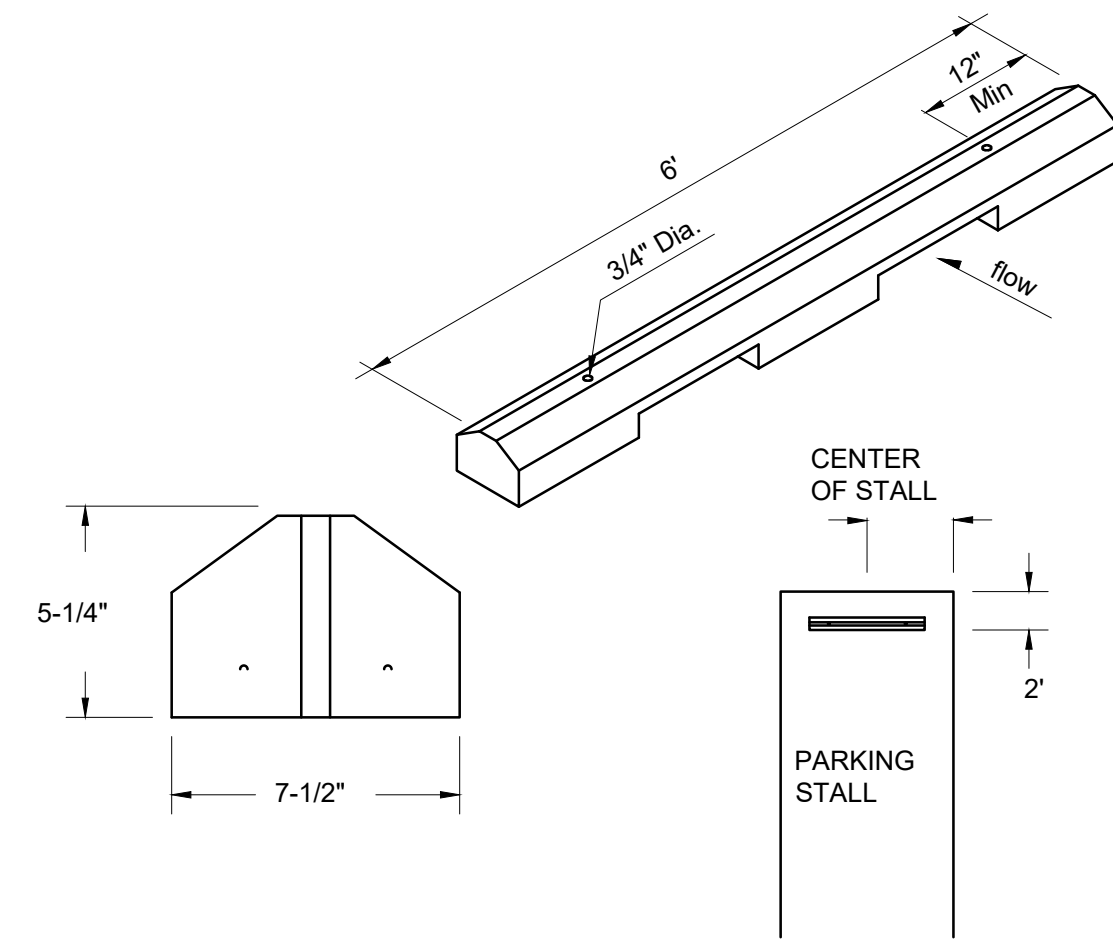
**ESTATE CURB**

6" WIDE THEORETICAL FACE OF CURB SCALE: N.T.S.



**CONCRETE FILLED BOLLARD**

SCALE: N.T.S.

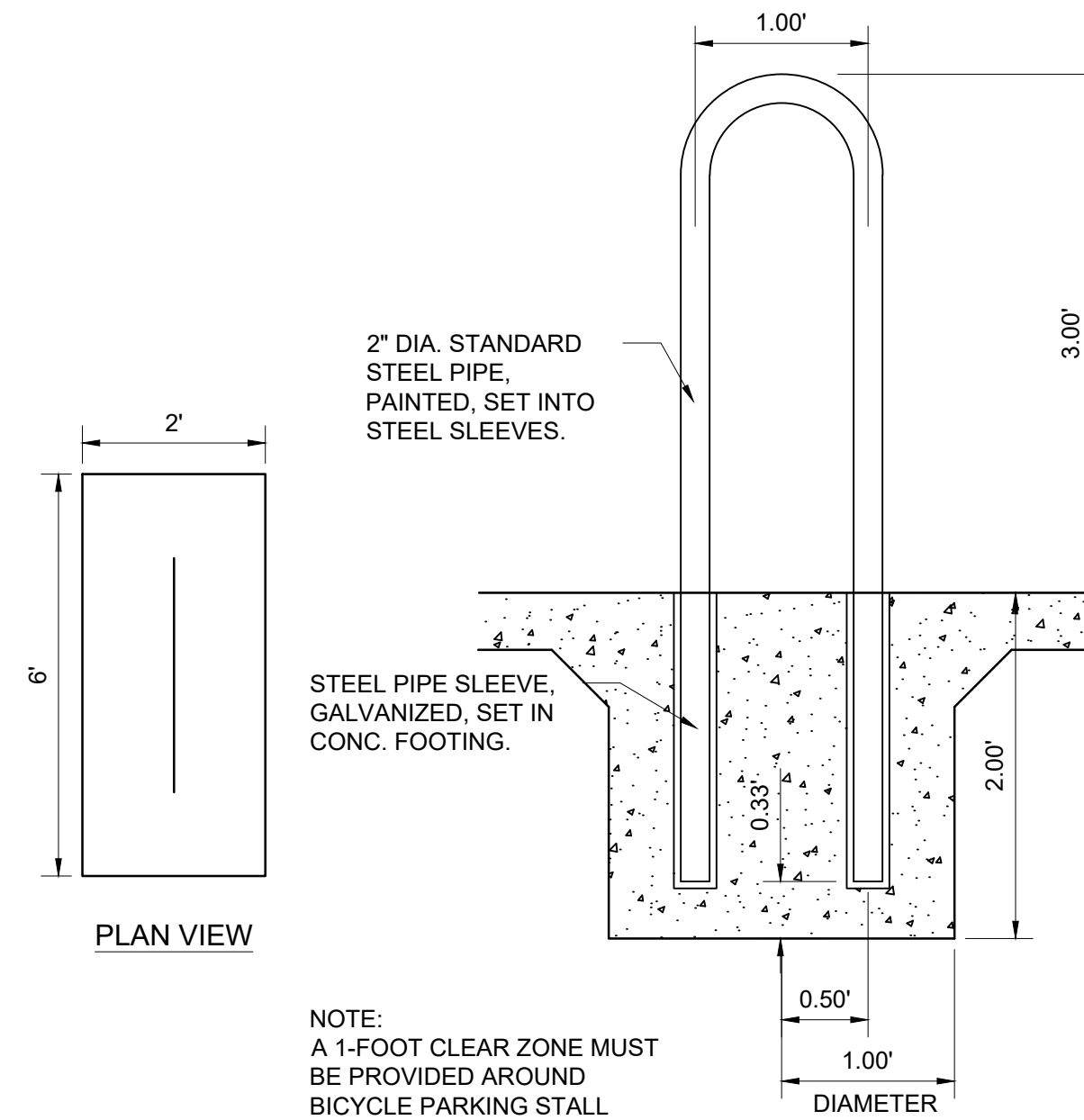


**GENERAL NOTES**

1. WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.
2. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.
3. INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS SPECIFICATIONS.

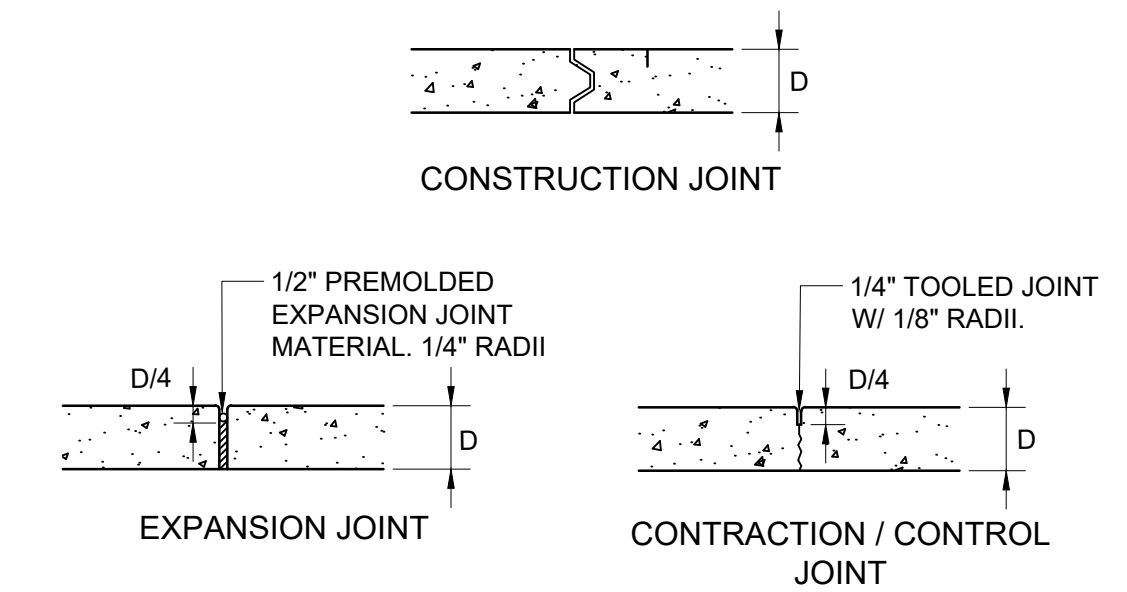
**CONCRETE WHEEL STOP**

SCALE: N.T.S.



**BICYCLE RACK**

SCALE: N.T.S.

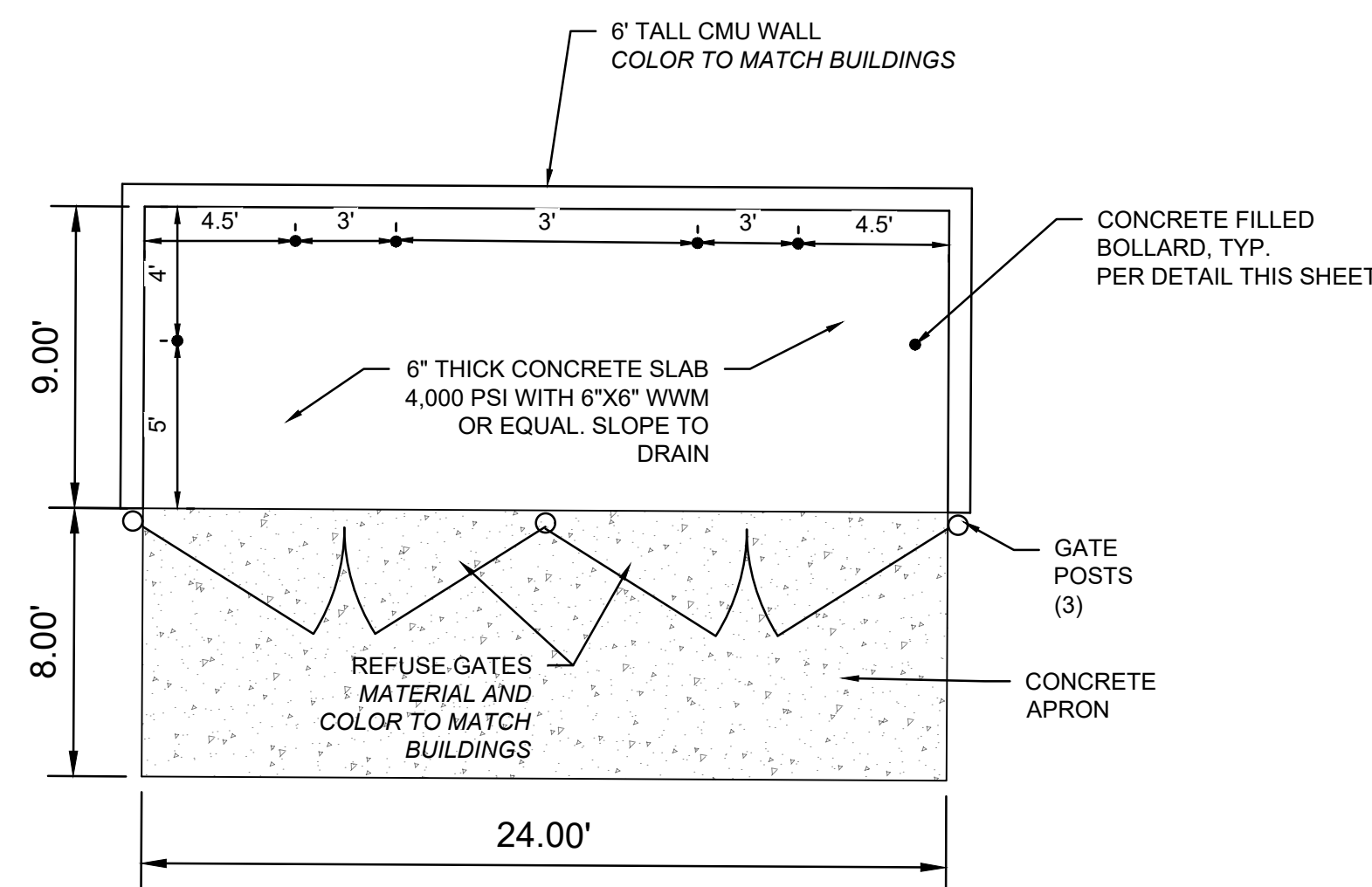


**GENERAL NOTES**

1. ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
2. LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
3. TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15' OR LESS
4. OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

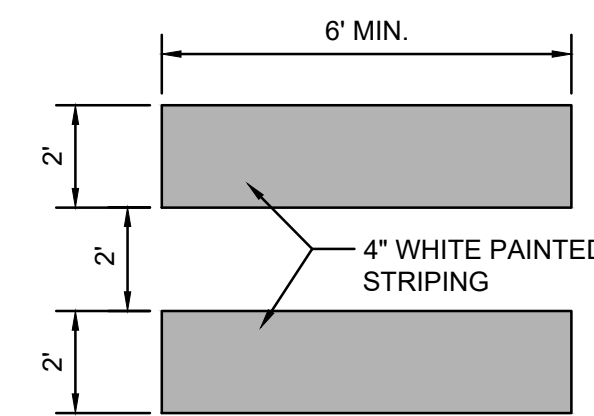
**CONCRETE JOINTS**

SCALE: N.T.S.



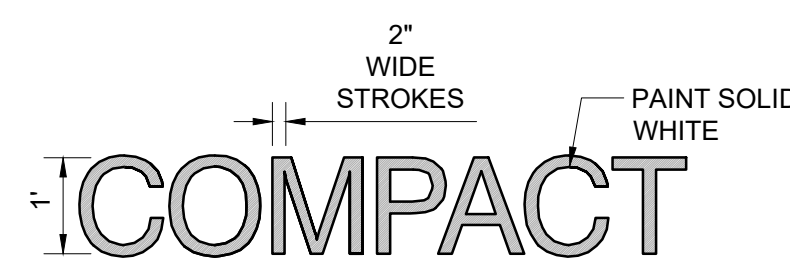
**REFUSE ENCLOSURE**

SCALE: N.T.S.



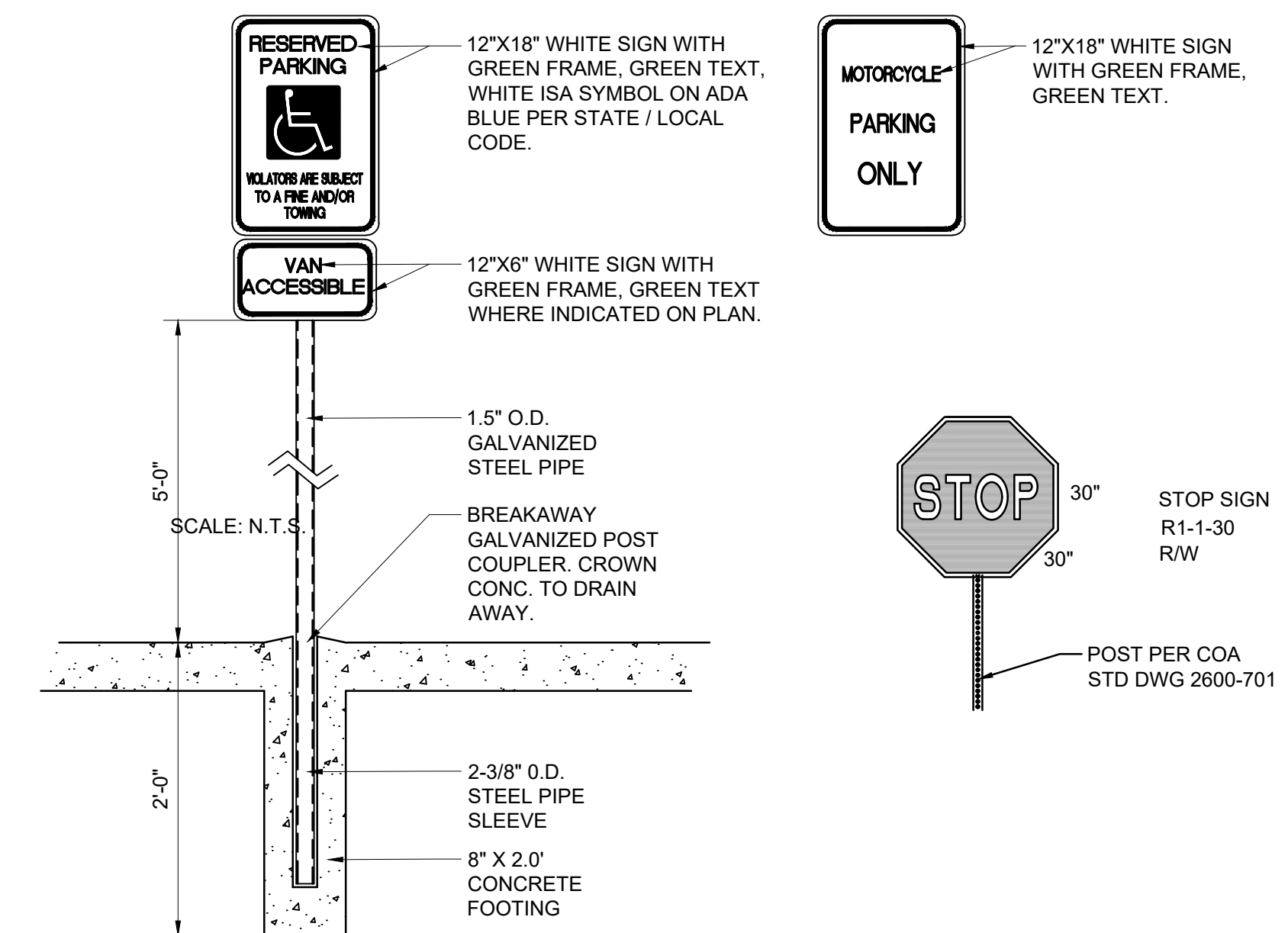
**PAINTED CROSSWALK MARKINGS**

SCALE: N.T.S.



**PAINTED 'COMPACT'**

SCALE: N.T.S.



**SIGNAGE**

SCALE: N.T.S.

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2471	FILE: -
DRAWN BY: BJB/hor	CHECKED BY: FCA
DATE: XXX-XX-XXXX	

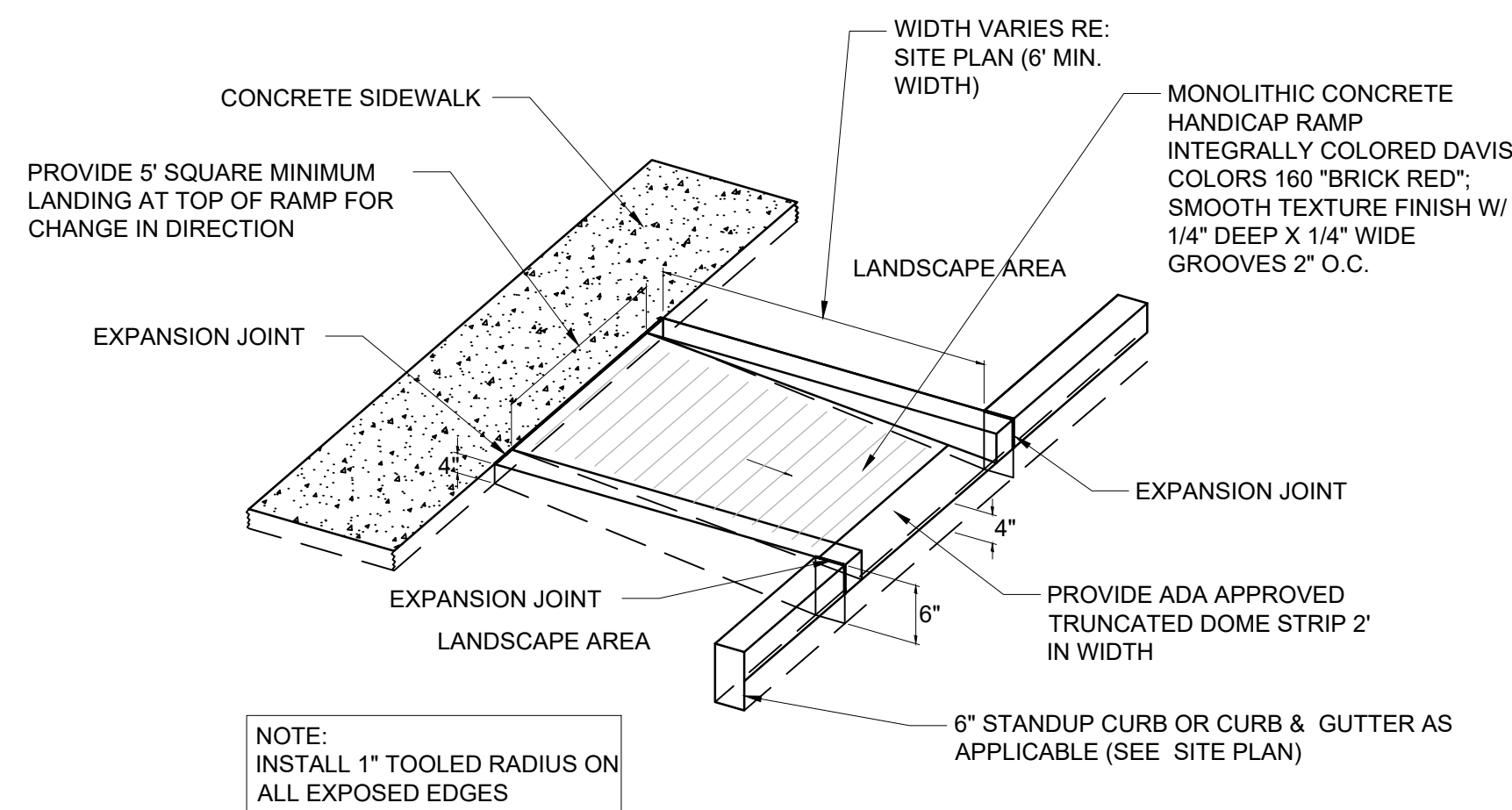
No	Date	Description

**SHEET TITLE**

**SITE DETAILS**

**SHEET NUMBER**

**CD-501**



NOTE:  
INSTALL 1\"/>

NOTE:  
H.C RAMP SHALL NOT EXCEED 6\"/>

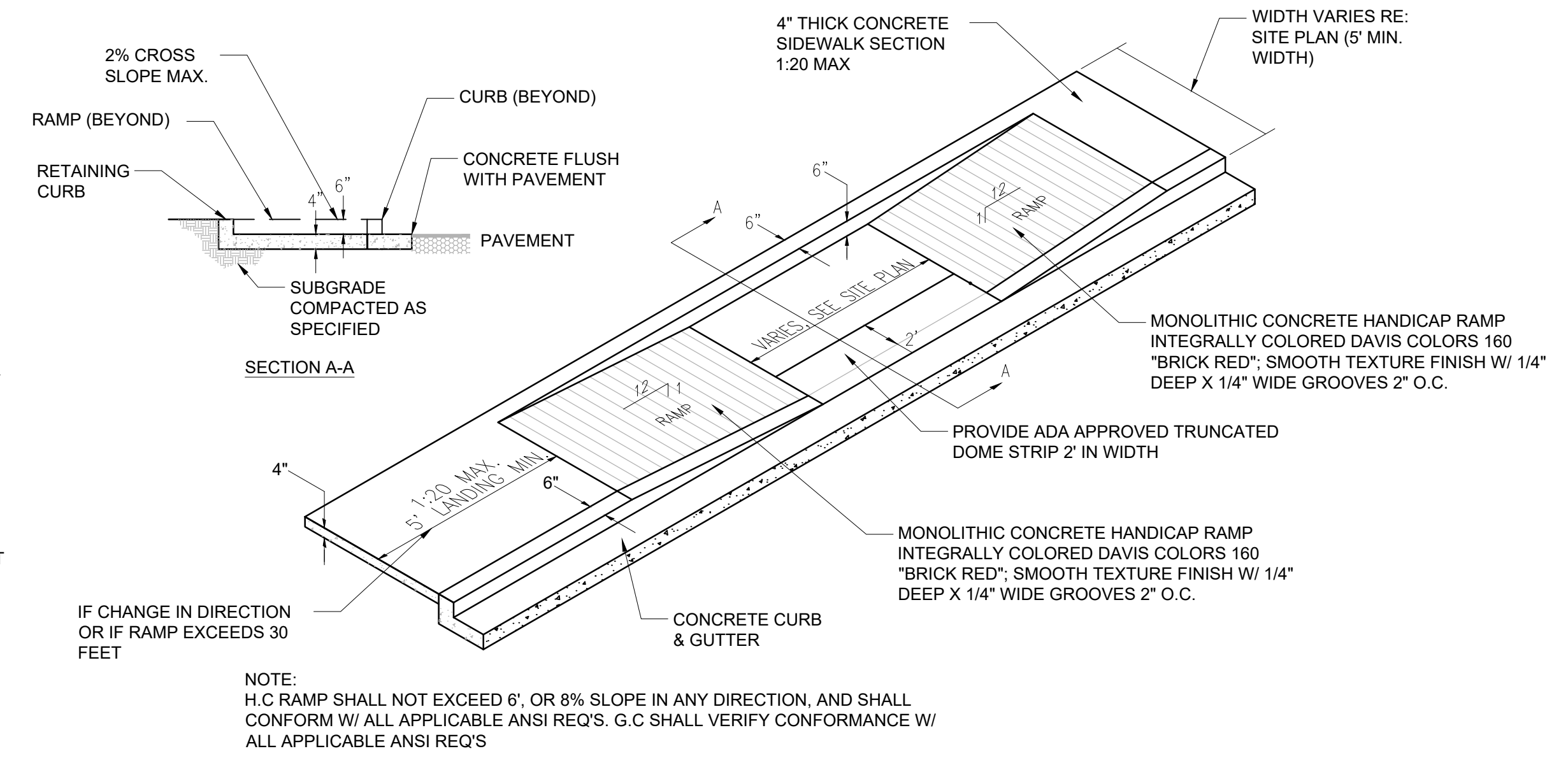
### ADA ACCESSIBLE RAMP NOTES

#### KEYED NOTES

- (A) PCC LANDING AREA AT 2% SLOPE (MAX.) IN ALL DIRECTIONS.
- (B) PCC RAMP AT 8.3% MAX. SLOPE OR 15' LONG (MAX.) AND 2% MAX CROSS SLOPE.
- (C) 2' DETECTABLE WARNING SURFACE (TRUNCATED DOMES), CAST IN PLACE, REPLACEABLE.
- (D) 6\"/>

#### DETECTABLE WARNING SURFACE NOTES

1. DESIGN PER ADA ACCESSIBILITY GUIDELINES (ADAAG).
2. PAYMENT FOR DETECTABLE WARNING SURFACE IS INCIDENTAL TO ADA ACCESSIBLE RAMP PAYMENT ITEM.
3. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
4. DETECTABLE WARNING SURFACE TO BE A PRODUCT THAT IS CAST-IN-PLACE AND REPLACEABLE.
5. SEGMENTED DETECTABLE WARNING SURFACE AT BACK OF CURB TO BE CUT AND FIT PER MANUFACTURER'S INSTRUCTIONS. THE DETECTABLE WARNING SURFACE SHALL BE NO MORE THAN 5\"/>



IF CHANGE IN DIRECTION OR IF RAMP EXCEEDS 30 FEET

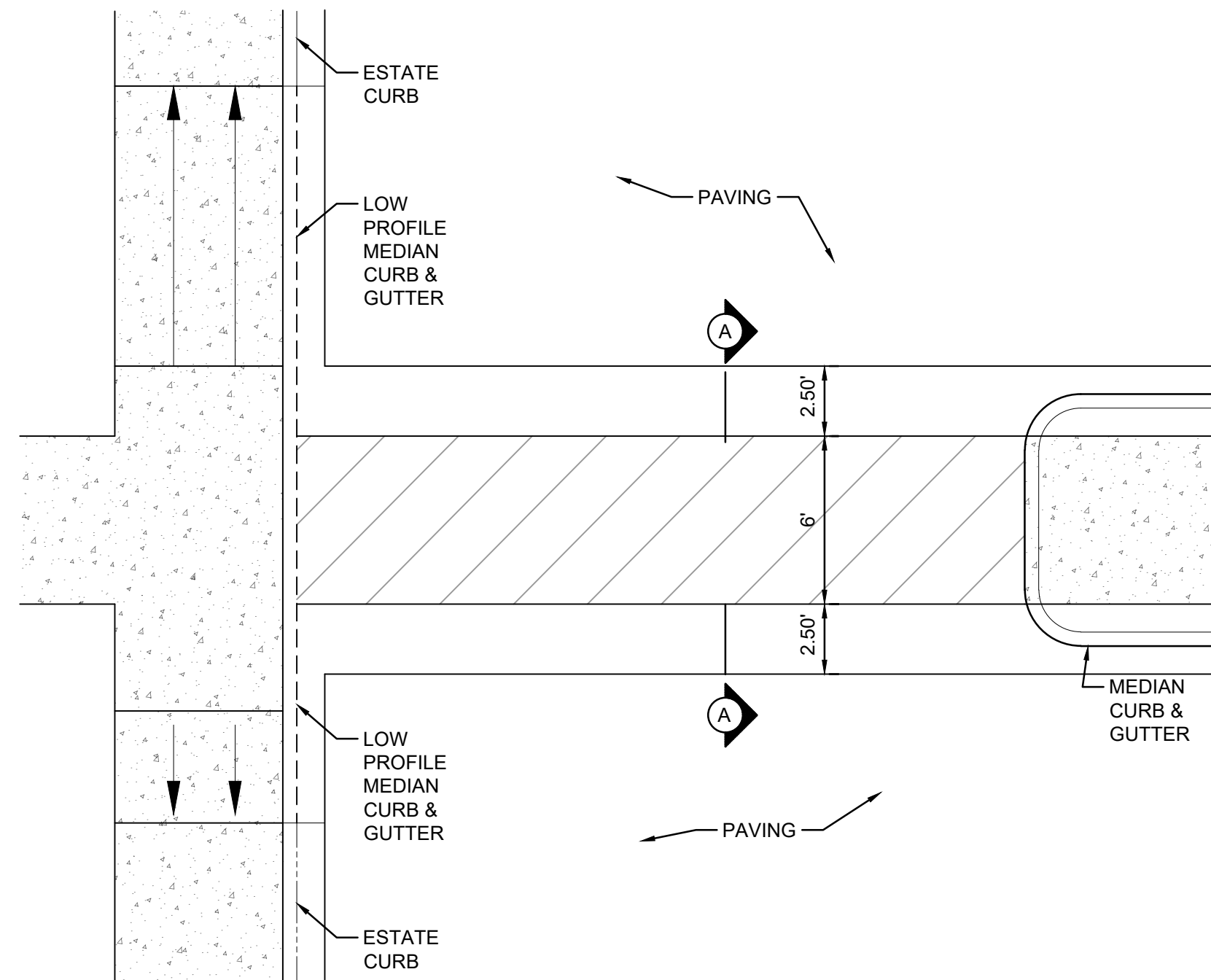
NOTE:  
H.C RAMP SHALL NOT EXCEED 6\"/>

### ADA CURBED RAMP DETAIL

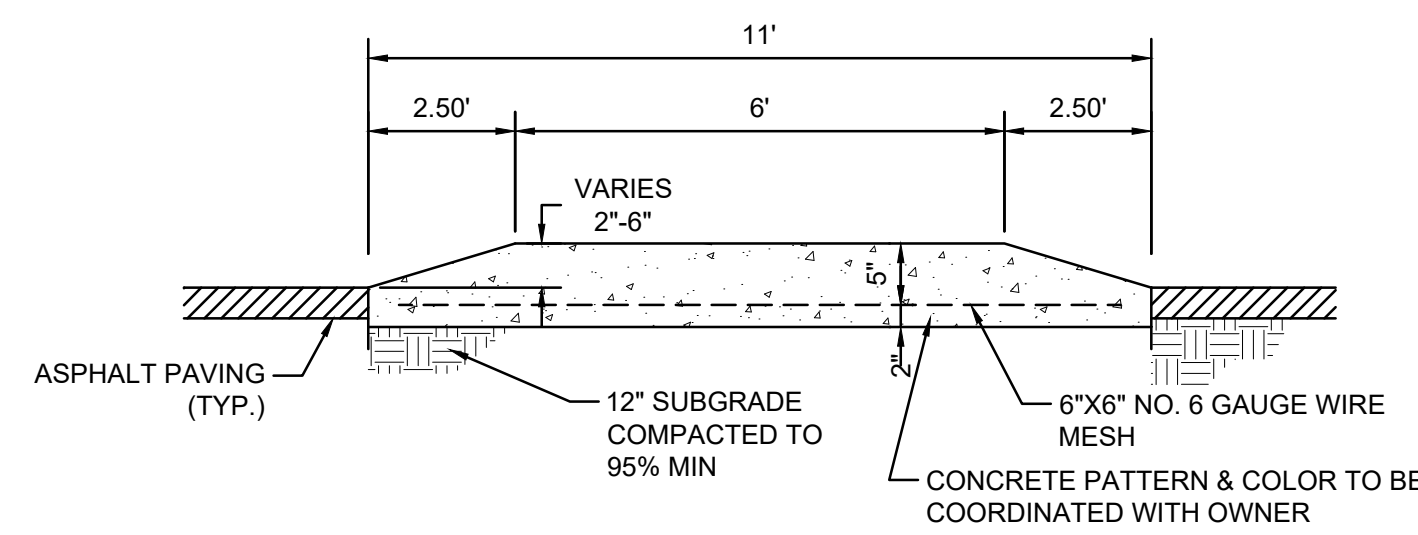
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### ADA TAPERED RAMP DETAIL

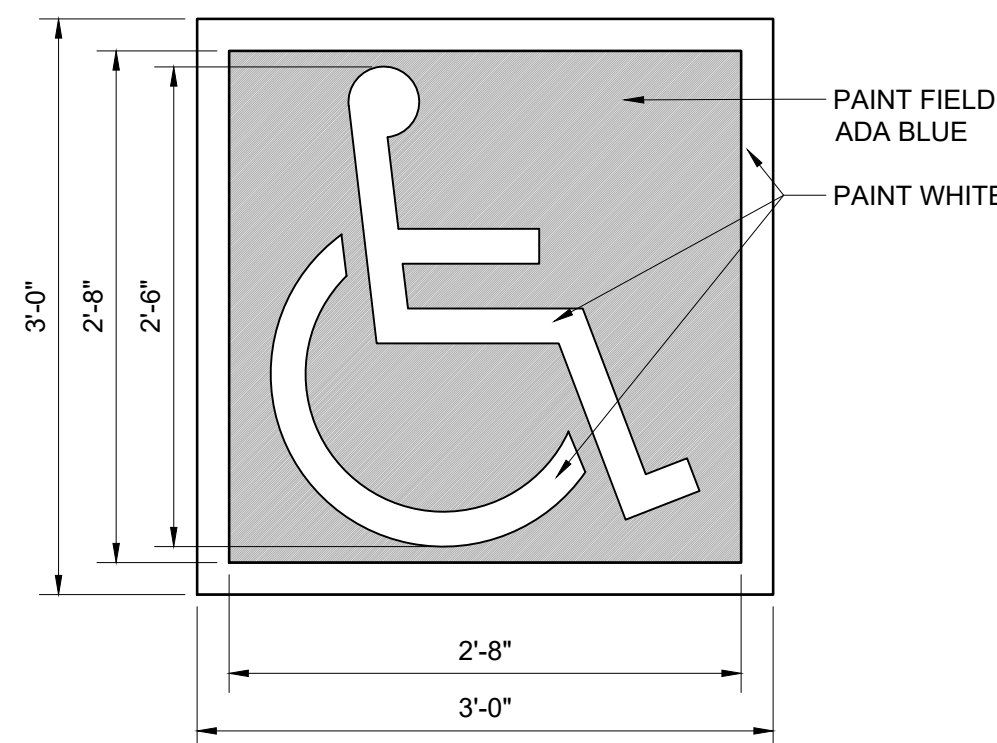
SCALE: N.T.S.



**PLAN VIEW**  
SCALE: 1"=5'

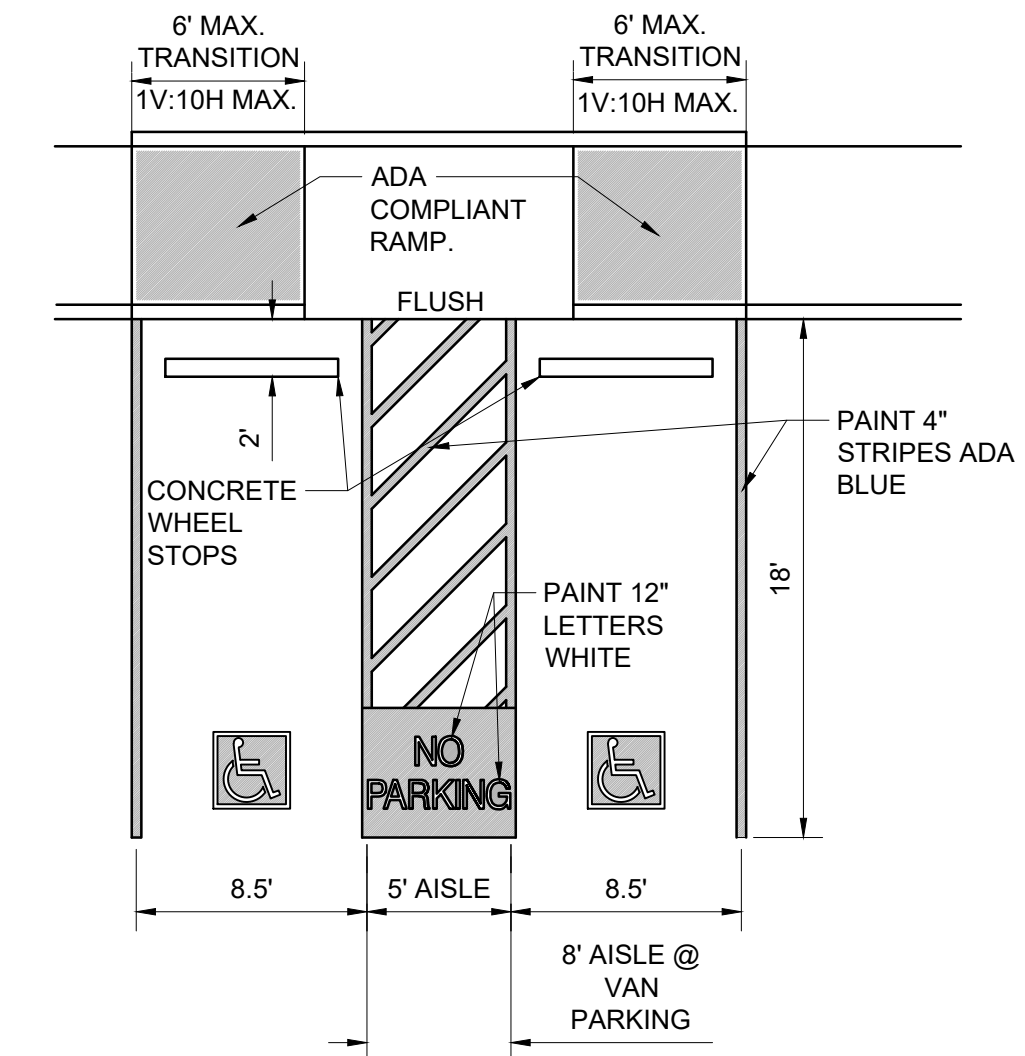


**SECTION A-A**  
SCALE: N.T.S.



**ACCESSIBILITY SYMBOL**

SCALE: N.T.S.



**ADA PARKING DETAIL**

SCALE: N.T.S.

### RAISED CROSSWALK

### ACCESSIBILITY SYMBOL

### ADA PARKING DETAIL

DESIGN	DEVELOPMENT
ISSUE:	7322
PROJECT NUMBER:	IA 2471
FILE:	
DRAWN BY:	BjB/lor
CHECKED BY:	FCA
DATE:	XX-XX-XXXX

No	Date	Description

SHEET TITLE

SITE ADA  
DETAILS

SHEET NUMBER

**CD-502**



**FORM P: PRE-APPROVALS/SIGNATURES**

Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

**Legal Description & Location:** Lots 1 thru 4 and Lots 29 thru 32, Block 27 Tract A, Unit B, North Albuquerque Acres.  
East of San Pedro Blvd & Between Eagle Rock Ave and Oakland Ave

**Job Description:** 218 Unit Apartment Complex

**Hydrology:** COA Hydrology File# C18D108

- Grading and Drainage Plan \_\_\_\_\_ Approved \_\_\_\_\_ NA
- AMAFCA \_\_\_\_\_ Approved \_\_\_\_\_ NA
- Bernalillo County \_\_\_\_\_ Approved \_\_\_\_\_ NA
- NMDOT \_\_\_\_\_ Approved \_\_\_\_\_ NA
- MRGCD \_\_\_\_\_ Approved \_\_\_\_\_ NA

\_\_\_\_\_  
Hydrology Department

\_\_\_\_\_  
Date

**Transportation:**

- Traffic Circulations Layout (TCL) \_\_\_\_\_ Approved \_\_\_\_\_ NA
- Traffic Impact Study (TIS) \_\_\_\_\_ Approved \_\_\_\_\_ NA
- Neighborhood Impact Analysis (NIA) \_\_\_\_\_ Approved \_\_\_\_\_ NA
- Bernalillo County \_\_\_\_\_ Approved \_\_\_\_\_ NA
- MRCOG \_\_\_\_\_ Approved \_\_\_\_\_ NA
- NMDOT \_\_\_\_\_ Approved \_\_\_\_\_ NA
- MRGCD \_\_\_\_\_ Approved \_\_\_\_\_ NA

\_\_\_\_\_  
Transportation Department

\_\_\_\_\_  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):** Availability Statement# 210431R

- Water/Sewer Availability Statement/Serviceability Letter  Approved  NA
- ABCWUA Development Agreement \_\_\_\_\_ Approved  NA
- ABCWUA Service Connection Agreement \_\_\_\_\_ Approved  NA



\_\_\_\_\_  
ABCWUA

6/22/22

\_\_\_\_\_  
Date

- Infrastructure Improvements Agreement (IIA\*) \_\_\_\_\_ Approved \_\_\_\_\_ NA
- Solid Waste Department Signature on the plan \_\_\_\_\_ Approved \_\_\_\_\_ NA
- Fire Marshall Signature on the plan \_\_\_\_\_ Approved \_\_\_\_\_ NA Permit# FP 21-006042

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

March 11, 2022

**Chair**  
Klarissa J. Peña  
City of Albuquerque  
Councilor, District 3

**Vice Chair**  
Debbie O'Malley  
County of Bernalillo  
Commissioner, District 1

Tammy Fiebelkorn  
City of Albuquerque  
Councilor, District 7

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Charlene Pyskoty  
County of Bernalillo  
Commissioner, District 5

Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
[www.abcwua.org](http://www.abcwua.org)

Fred Arfman  
Isaacson & Arfman  
128 Monroe St NE  
Albuquerque, NM 87108

**RE: Water and Sanitary Sewer Availability Statement #210431R**  
**Project Name: SIERRA VISTA APARTMENTS**  
**Project Address: 9320 SAN PEDRO DR NE ABQ NM 87113**  
**Legal Description: Lots 1-4 & 29-32, Block 27, Tract A, Unit B, North Albuquerque Acres**  
**UPC: 101806427245811701, 101806428745811702, 101806430345811703, 101806432045811704, 101806427343611712, 101806428743611711, 101806430343611710, 101806432043611709**  
**Zone Atlas Map: C-18**

Dear Mr. Arfman:

**Project Description:** The subject site is located on San Pedro Drive between Eagle Ranch Drive and Oakland Avenue, within City of Albuquerque limits. The proposed development consists of approximately 6.8 acres and the property is currently zoned NR-BP for non-residential, business park. The property lies within the Pressure Zone 3E in the Alameda trunk.

The request for availability indicates plans to develop the site as an apartment complex with 122 units. The development includes proposed private water and sewer lines within the site to serve the units.

**Revision Description:** This statement was originally issued on June 7, 2021 for a project of similar intensity on the same parcels. The applicant has submitted a revised site plan that has different connection points for the proposed water and sewer services. This statement will address the revised utility plan.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution main (projects #26-4293.90-10 & #26-5304.91-10) along Eagle Rock Avenue.
- Eight-inch PVC distribution main (projects #26-7427.62-15 & #26-7427.84-17) along Oakland Avenue.
- 14-inch DIP distribution main (project #26-5801.81-98) along San Pedro Drive.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC collector line (#26-7424.84-17) along Oakland Avenue.
- Eight-inch PVC collector line (projects #26-5801.98 & #26-5304.91-10) along Eagle Rock Avenue.
- Ten-inch PVC collector line (project #26-5801.81-98) along San Pedro Drive.

**Water Service:** New metered water service to the property can be provided via routine connection to the existing distribution mains along San Pedro Drive, Oakland Avenue, and/or Eagle Rock Avenue described in the Existing Conditions Section above. The

engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along Oakland Avenue. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 gallons-per-minute. One fire hydrant is required. There are two existing hydrants available and four new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at the proposed connection points on the applicant's utility plan.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows:

1. Customers shall permanently abandon the use of private wells by plugging the wells as accepted by the Water Authority prior to connecting to the public water system; or
2. Customers who choose to maintain their private wells shall completely sever the private well from the premises' potable plumbing system and shall install a reduced pressure principle backflow prevention assembly approved by the Water Authority at the terminal end of the water service from the public water system (e.g., service connection).

Any multi-family dwelling including a clubhouse and/or office is required to have a reduced pressure backflow prevention device for containment. If metered separately, the building that includes a clubhouse and/or office shall have a reduced pressure backflow prevention device.

Contact Cross Connection at (505) 289-3454, for James Baca, or (505) 289-5465, for Gilbert Paris, for more information.

**Easements:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

**Pro Rata:** Pro Rata has been assessed for this property in the amounts below. The grand total amount is **\$28,517.85**. The project(s) that assessed the subject property pro rata is project #742484. These charges are assessed to the property due to its ability to benefit from and/or take service from the previously installed infrastructure. Payment will be required as a condition of approvals from the Water Authority.

Table1. Pro Rata Assessed

UPC	Water (\$)	Sewer (\$)	Total (\$)
101806427343611712	2,766.40	3,344.57	6,110.97
101806428743611711	3,381.16	4,087.80	7,468.96
101806430343611710	3,381.16	4,087.80	7,468.96
101806432043611709	3,381.16	4,087.80	7,468.96

**Design and Construction:** Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. However, if the work will be done within the City of Albuquerque public right-of-way, coordination with the City of Albuquerque Design Review and Construction Section must take place if this mechanism will be acceptable. Construction must be performed by a licensed and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with

irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low income and market rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding account fees.

**Water Use:** All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps  
f/ Availability Statement #210431R

# 210431R - Water



## Legend

Project Location

Hydrant

## Pipe

### SUBTYPE

Distribution Line

Hydrant Leg

0 325 650 Feet



Fire Flow Analysis Points

1. --- Analysis Point

2. --- Analysis Point

3. --- Analysis Point



# 210431R - Sanitary Sewer



## Legend

 Project Location

 Sewer Manhole

## Sewer Pipe

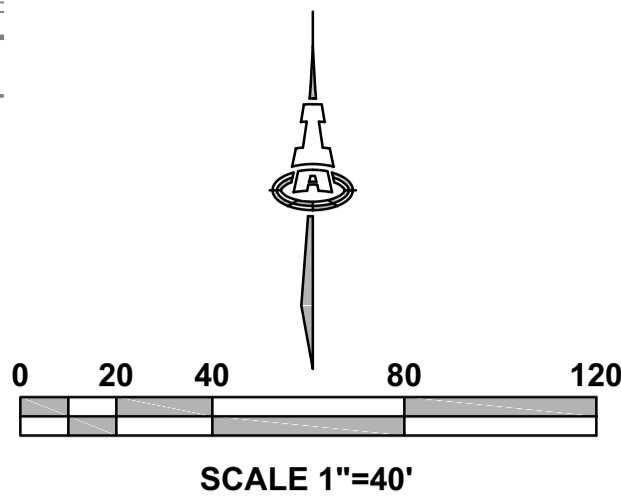
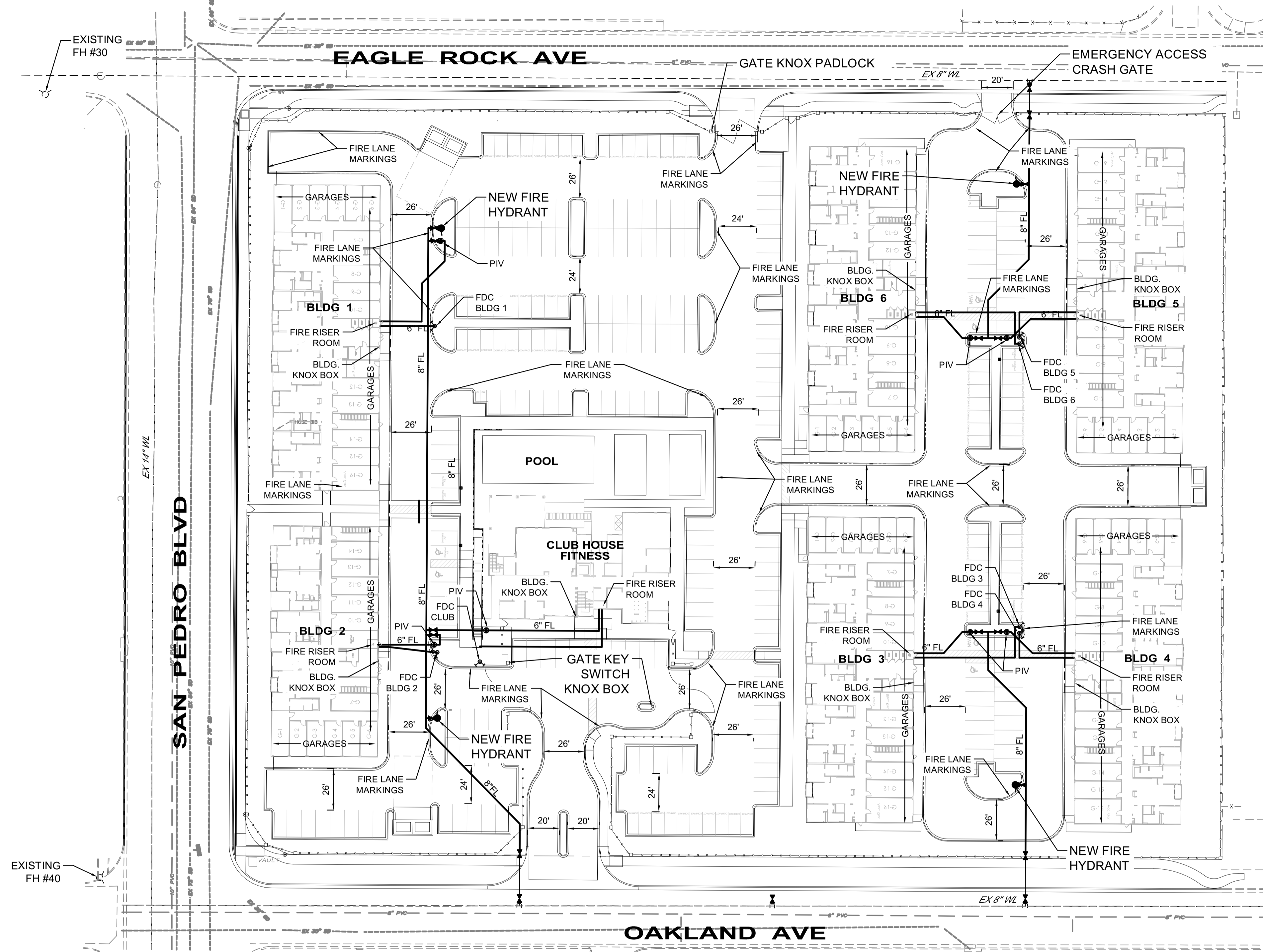
### SUBTYPE

 COLLECTOR

0 325 650 Feet



Water Utility  
Authority



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**  
**PERMIT**  
PERMIT NUMBER: FP 21-006042  
APPROVED DATE: 06/16/22  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants  
128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.isacfi.com

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9320 SAN PEDRO DR N.E.,  
ALBUQUERQUE, NM 87113

122 UNIT APARTMENT COMPLEX

OCCUPANCY GROUP R-2

ALL BUILDINGS ARE TYPE VA  
ALL BUILDINGS ARE SPRINKLED, NFPA-13-R

FIRE FLOW IS  $4250 / 2 = 2125$  GPM.

MAX. BUILDING HEIGHT IS  $41'-4\frac{1}{2}"$   
NO STAND PIPE IS REQUIRED.  
HIGHEST 3RD FLOOR LEVEL IS 23'-3"

2 EXISTING FIRE HYDRANTS NEAR SITE  
4 NEW FIRE HYDRANTS

ALL FIRE DEPARTMENT CONNECTIONS SHALL HAVE A MINIMUM DISTANCE OF 3' FROM ANY PERMANENT OBJECTS.

ALL BUILDINGS TO HAVE A PREMISS ID'S VISIBLE FROM ACCESS ROAD

ALL BUILDINGS HAVE KNOX BOXES AT ENTRANCES

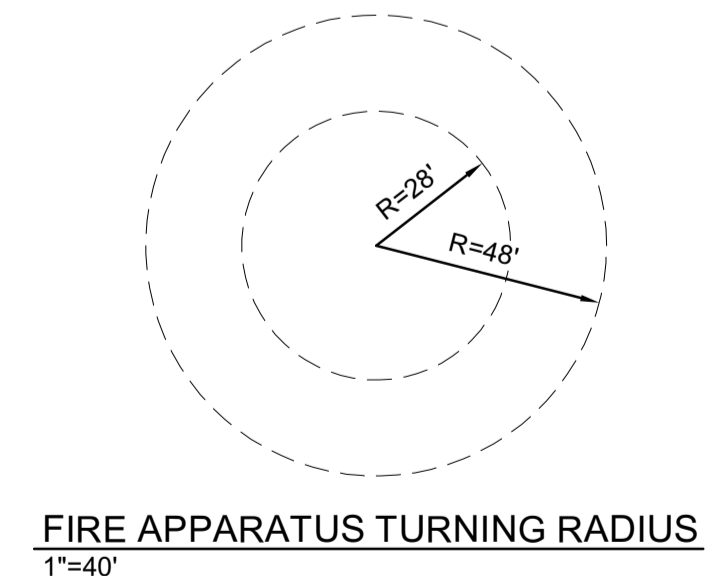
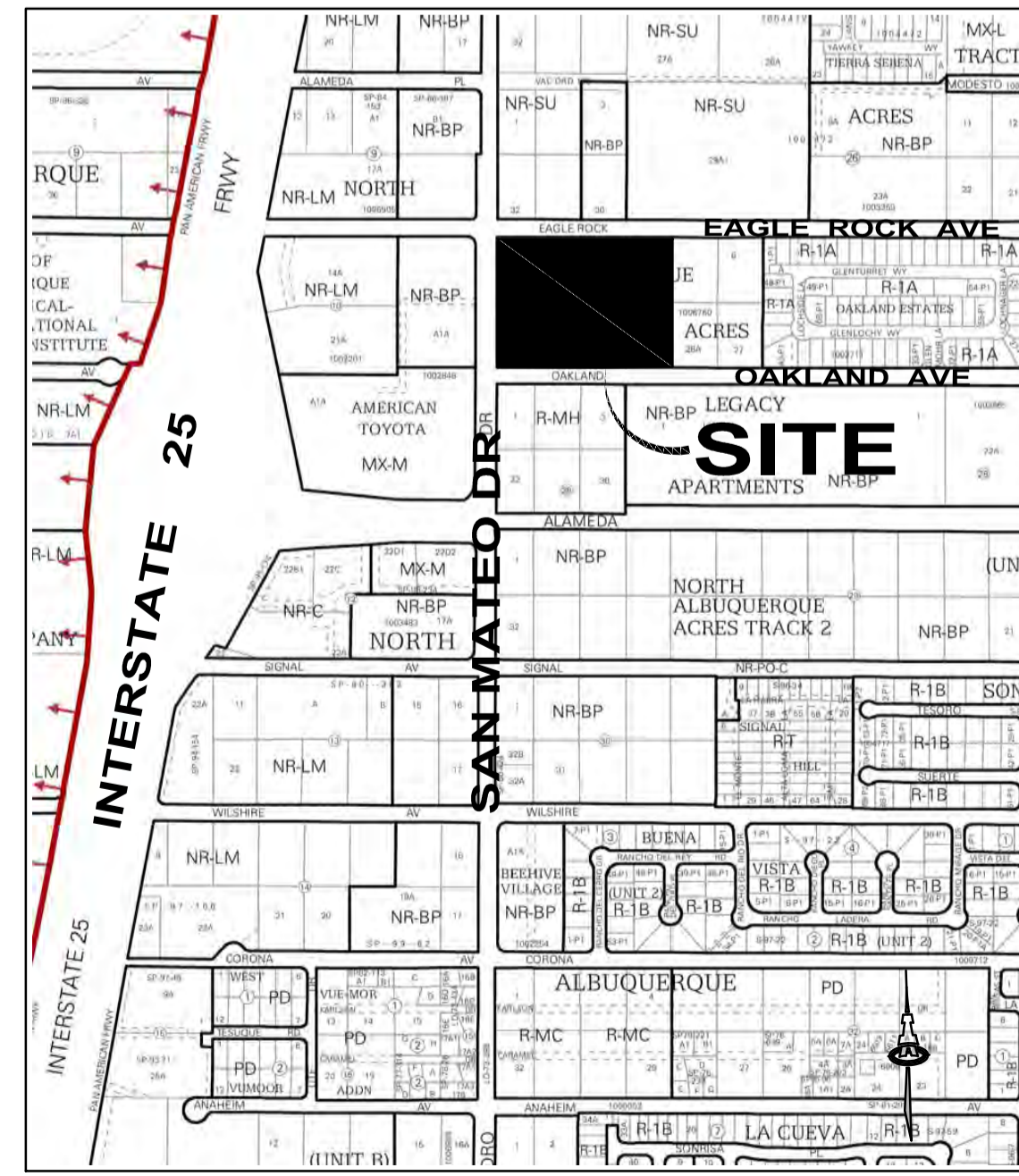
ADDRESS / DIRECTION BOARDS TO BE INSTALLED AT ALL ENTRANCES TO INDICATE LOCATION AND ADDRESS OF ALL BUILDINGS

ALL GATES ARE ELECTRICALLY OPERATED WITH A KNOX KEY SWITCH. EMERGENCY ACCESS CRASH GATE FROM OAKLAND AVE. WILL HAVE KNOX PADLOCK

ALL ACCESS ROADS AND FIRE LANES HAVE GRADES LESS THAN 10% AND A LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE PATHS WILL ACCOMMODATE A 28' MINIMUM TRUCK TURNING RADIUS

PREVIOUS FIRE 1 APPROVAL FP 21-006042



BUILDING	SQ. FOOTAGE
1, 3-6	13,460
2	10,187
CLUB HOUSE / FITNESS	6,500

C-18

Engineer

**SAN PEDRO APARTMENTS**

**San Pedro & Eagle Rock**  
Albuquerque, New Mexico

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2471	FILE:
DRAWN BY: BJH/for	CHECKED BY: FCA
DATE:	XXX-XX-XXXX

No	Date	Description

SHEET TITLE  
**FIRE HYDRANT LOCATION & ACCESS PLAN**

SHEET NUMBER  
**FIRE 1**





**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
David S. Campbell, Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** April 21, 2021

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2021-004920  
**Agent:** Consensus Planning, Inc.  
**Applicant:** Tekin & Associates, LLC  
**Legal Description:** Lots 1 thru 4 and 29 thru 32, Block 27, North Albuquerque Acres Tract A Unit B  
**Zoning:** R-MH  
**Acreage:** 6.77 acres  
**Zone Atlas Page(s):** C-18-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Historic Google Earth Images

**SITE VISIT:** N/A

**RECOMMENDATIONS:**

Aerial photographs show the property has been developed since 1991 (at least)  
Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

**SUBMITTED BY:**

 4-21-2021

Douglas H. M. Foggess, MA, RPA Date  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.

**SUBMITTED TO:**

Russell Brito, Planning Manager  
City of Albuquerque Planning Department



June 24, 2022

Development Review Board  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: San Pedro and Oakland Site Plan – DRB

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Chair Wolfley:

The purpose of this letter is to request approval of a Site Plan – DRB for a 6.77-acre site located on the east side of San Pedro Drive NE between Oakland Avenue NE and Eagle Rock Avenue NE. It is legally described as Lots 1 through 4 and 29 through 32, Block 27, Tract A, Unit B, North Albuquerque Acres (see Figure 1). A minor subdivision request will be submitted later for concurrent approval with this site plan to consolidate the existing eight lots into one tract for the development. This request is for approval of a multi-family residential development containing 105 dwelling units. Because the project contains more than 50 dwelling units, it meets the applicability thresholds for review by the Development Review Board (DRB).



Figure 1. Subject site (in blue with white outline) and surrounding context.

## PRINCIPALS

James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP

## AREA CONTEXT

The subject site is within the North Albuquerque Community Planning Area and is designated as an “Area of Consistency” in the 2017 Albuquerque/Bernalillo County Comprehensive Plan. Immediately south and west are designated “Areas of Change.” Approximately 550 feet (one block) south of the subject site, Alameda Boulevard is designated as a Multi-modal Corridor. I-25, to the west of

the subject site, and Alameda west of I-25 are Commuter Corridors. The site is less than one mile east of the North I-25 Employment Center.

**ZONING**

The site was subject to a Zoning Map Amendment – EPC in 2021, which changed the zoning from NR-BP to R-MH, which allows the proposed multi-family residential development permissively (Figure 2).



Figure 2. Zoning

**INTEGRATED DEVELOPMENT ORDINANCE (IDO) CRITERIA**

Because the proposed development meets the thresholds for review and approval by the DRB, it must meet the requirements in IDO Section 6-6(l)(3) Review and Decision Criteria. Responses to Section 6-6(l)(3) are outlined below.

**6-6(l)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

*Applicant Response:* The proposed use of the property is permissive in the R-MH zone district. There are no Overlay zones or Small Area regulations that add additional restrictions or procedural requirements to the proposed project beyond the Development Standards of the IDO. The proposed design meets



these development standards of the IDO, DPM standards, and other adopted City regulations. There do not appear to be any conditions specifically applied to this property through any prior permits or approvals affecting this request. Case history for the site suggests it was the subject of Bernalillo County zoning actions in the late 1960s and 1970s prior to annexation into the City of Albuquerque, which occurred in 1985 (Ordinance 64-1985) and was reflected in the 1986 Sector Plan, superseded by the 2010 Sector Plan, and now the IDO. Due to this history, there is no known prior site plan, so this request will create a new plan that will govern development of the site consistent with the IDO procedures. Compliance with key IDO provisions is highlighted below.

Building height and setbacks: The minimum setbacks of the R-MH zone are 15 feet in the front, 10 on the street side, 5 feet interior, and 15 feet in the rear. The plans demonstrate compliance with these with the smallest setback of 15 feet on the San Pedro Drive (west) side of the site. The maximum height of the R-MH zone is 48 feet, and the proposed maximum height of the building as shown on the elevations is just shy of this maximum with four stories.

Parking: The project contains a combination of surface parking and garages which are integrated into each of the proposed buildings. 327 parking spaces are required, and 359 spaces have been provided. Due to the amount of parking, seven electric vehicle charging stations are required and eight have been provided throughout the site. Bicycle and motorcycle spaces have also been provided as required by the code.

Landscaping and buffering: The proposed plan meets all minimum requirements of the IDO, including landscape area, vegetative coverage, and street tree requirements with a considerable number of trees along each of the three street frontages that will provide excellent visual relief and an attractive streetscape. The site is located abutting a property zoned NR-LM with an auto towing and salvage operation continuing to the east. Per IDO Section 5-6(E)(4), a 25-foot landscape buffer has been provided along this eastern edge with a combination of Afghan Pines and Desert Willows to screen the proposed residential from this adjacent industrial use.

Neighborhood edges: There is no low-density residential development adjacent to the subject site, so neighborhood edges do not apply.

Building design: As multi-family residential development within a multi-family zoning district, IDO Section 5-11(D) applies to this site plan. Consistent with these requirements, the architect has made the windows a prominent feature of all the buildings, including the clubhouse, and a significant amount of articulation is provided with stepbacks, multiple colors, use of balconies, and the like. This project will add another attractive multi-family community to this area of Albuquerque.

**6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.**



*Applicant Response:* The subject site is a redevelopment of a property with other existing surrounding development. As such, it has access to utilities, drainage systems, the existing roadway network, and sidewalks. The proposed development did not warrant a traffic study, as determined by the City Traffic Engineer in the submitted traffic scoping form. However, since the existing development was done prior to annexation by the city, some improvements are required, such as widening roadways, completion of curb and gutter, and extending sidewalks. The Applicant will construct these improvements in conjunction with this development and they will be financially guaranteed. These improvements help mitigate any burdens from the proposed development to the maximum extent practicable.

**6-6(I)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.**

*Applicant Response:* The subject property is not located within an approved Master Development Plan area, so this criterion does not apply.

#### **CONCLUSION**

Based upon the information provided above and supporting documents, we respectfully request the DRB's review and approval of the proposed Site Plan. Please do not hesitate to contact me if you have any questions or need any additional information.

Sincerely,

Michael J. Vos, AICP  
Senior Planner

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-260 Date: 1/4/21 Time: N/A (sent via email to [Vos@consensusplanning.com](mailto:Vos@consensusplanning.com))

Address: 9320 San Pedro & 6301 Oakland & 6515 Oakland Ave NE

### AGENCY REPRESENTATIVES

Planning: Linda Rumpf ([lrumpf@cabq.gov](mailto:lrumpf@cabq.gov))

Zoning/Code Enforcement: Carl Garcia ([cagarcia@cabq.gov](mailto:cagarcia@cabq.gov))

Fire Marshal: Bob Nevárez ([rnevarez@cabq.gov](mailto:rnevarez@cabq.gov)) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger ([jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov))

Hydrology: Ernest Armijo, P.E. ([earmijo@cabq.gov](mailto:earmijo@cabq.gov))

Solid Waste: Herman Gallegos ([hgallegos@cabq.gov](mailto:hgallegos@cabq.gov))

### PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.  
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** Zone Change and Site Plan to redevelop current outdoor vehicle storage and salvage uses with multi-family residential

### SITE INFORMATION:

Zone: NR-BP/NR-LM to R-MH

Size: +/- 10 acres

Use: Industrial

Overlay zone: x

Comp Plan Area of: Consistency

Comp Plan Corridor: x

Comp Plan Center: x

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-1: Residential Zone District Dimensional Standards

\*Neighborhood Organization/s: District 4 Coalition of NAs, Nor Este NA

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: 6-7(G) Zoning Map Amendment -EPC

Review and Approval Body: EPC Is this a PRT requirement? Yes

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-260 Date: 1/4/21 Time: N/A (sent via email)

Address: 9320 San Pedro & 6301 Oakland

### QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

Existing platted lots total +/- 10 acres and have multiple owners. If the Applicant gets authorization to proceed on the entire area at one time, as an Area of Consistency, this request may need to be via City Council as over 10 acres (we are reviewing available survey information to confirm the acreage). Please confirm.

If the Applicant only gets a part of the total acreage under contract now and the other portion later, can they proceed with two separate Zoning Map Amendment - EPC applications as each being under 10 acres?

Please confirm that if the zoning change is approved, the future Site Plan will be via DRB due to the acreage and number of dwelling units. No other factors appear to impact this request.

Revised 10/4/2018  
X:\PLAN\SHARES\PL-Share\PRT

### Answer to questions:

The applicant decides what area to include in an application. If the area is <10 acres in an Area of Consistency, it goes to EPC for review/decision per IDO Subsection 14-16-6-7(G)(1)(a).

If the zone change is approved, the development process will be either Site Plan – Admin or Site Plan – DRB based on acreage, number of units, and whether major public infrastructure or an Infrastructure Improvements Agreement (IIA) will be needed. See IDO Subsections 14-16-6-5(G)(1) and 14-16-6-6(I)(1).

### NOTES:

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

### New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- [Neighborhood Meeting](http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance) or <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- [Public Notice](http://www.cabq.gov/planning/urban-design-development/public-notice) or <http://www.cabq.gov/planning/urban-design-development/public-notice>

### Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-260 Date: 1/4/21 Time: N/A (sent via email)

Address: 9320 San Pedro & 6301 Oakland

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

### File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) and/or to Maggie Gould at [mgould@cabq.gov](mailto:mgould@cabq.gov).

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

### Current Planning Comments

Process

6-7(G) Zoning Map Amendment -EPC

### Zoning Comments

Zoning staff was unavailable for comment at this time.

As always, if the applicant has specific questions pertaining to zoning and/or the development standards they are encouraged to reach out to the zoning counter at 505-924-3850 option 8.

### Transportation Development comments

For additional information contact Jeanne Wolfenbarger (924-3991)

### Curb Cuts

- Follow DPM guidelines for residential and commercial curb cuts.
- Residential curb cut requirements – (12 feet to 22 feet wide for residential, 30 feet only if there is a 3-car garage or parking for RV)



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-260 Date: 1/4/21 Time: N/A (sent via email)

Address: 9320 San Pedro & 6301 Oakland

- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

### Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

### Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

### Traffic Studies and Traffic Signals

1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.
2. A proposed new traffic signal needs to A) follow guidelines for traffic signal spacing, B) meet the requirements for a traffic signal warrant study to be in operation and C) be approved by both Planning and by Traffic Operations.

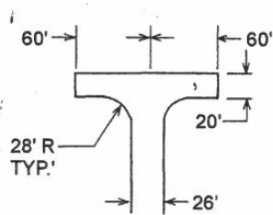
# PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-260 Date: 1/4/21 Time: N/A (sent via email)

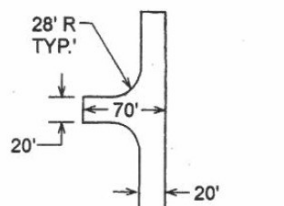
Address: 9320 San Pedro & 6301 Oakland

## Platting and Public Infrastructure Requirements for Roadways

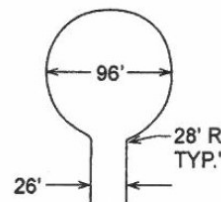
1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk is required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. There is a Bikeway Master Plan that is prepared MRCOG which lays out proposed bicycle facilities including bicycle trails, bike lanes, and bike routes. The site would be required to provide such facilities along the site frontage if they have not been constructed yet. Right-of-way dedication would likely be required.
5. Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
6. Follow DPM and MRCOG's Long Range Master Plan for roadway width requirements. Provide roadway cross-section. (New roadway requirements and roadway widening is also coordinated with Department of Municipal Development, depending on what plans or projects they may have on a specific roadway.)
7. If private road is over 150' long, the turnaround shall be per fire code dimensions. Fire Marshall Approval and Solid Waste Approval is required on all site layouts. For dead-ends, see options below for space dedicated to turn-arounds:



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE  
TO 120' HAMMERHEAD



96' DIAMETER  
CUL-DE-SAC

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-260 Date: 1/4/21 Time: N/A (sent via email)

Address: 9320 San Pedro & 6301 Oakland

8. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
9. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
10. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

*If you would have additional questions or would like to schedule a follow-up conference call meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)*



# Development Review Board

## Planning Dept. - Sketch Plat Comments

*Project #:PR-2021-005272      Application #PS: -2021-00043*

*Meeting Date/Item Number:*

---

### Standard comments:

- This PR# has been assigned to this subject site. Any applications (vacations, platting, site plans, etc..) for this subject site MUST reference this PR#. It must be noted on the application with the submittal for future actions.
  - Must submit any DRB signed off site plans, variances and/or NOD with submittal for building permit.
  - Note that the document titles listed in the submitted PDF must not include symbols (+, &, etc....) and title should be a short and abbreviated as possible.
- 

The Site is zoned NR-BP, townhomes are not an allowed use on the site. Please provide the notice of decision if a zone change has been approved.

Plat must have property owner, surveyor and city surveyor signatures. Utility signatures are recommended prior to submittal.

PR-2021-004920 should be the project number for this case. Staff will make that correction

# DEVELOPMENT REVIEW BOARD

## Code Enforcement Comments

*Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.*

Carl Garcia, Code Supervisor  
Planning Department  
505-924-3838 [cagarcia@cabq.gov](mailto:cagarcia@cabq.gov)

DATE: 4/7/2021

**AGENDA ITEM NO:** 11

**DRB PROJECT NUMBER:**

PR-2021-005272

PS-2021-00043 - SKETCH PLAT

**PROJECT NAME:**

ISAACSON & ARFMAN, INC. agent(s) for TEKIN & ASSOCIATES (MARK TEKIN) request(s) the aforementioned action(s) for all or a portion of: TRACT A LOTS 1 THRU 4 & 29 THRU 32, BLOCK 27, NORTH ALBUQUERQUE ACRES, zoned NR-BP, located at 9320 SAN PEDRO DR NE between EAGLE ROCK AVE NE and OAKLAND AV NE, containing approximately 6.5798 acre(s). ( C-18

**REQUEST:**

SKETCH PLAT REVIEW AND COMMENT

**COMMENTS:**

1. A Zone map amendment was approved from NR-BP to R-MH
2. Process will be Site Plan DRB 6-6(I)

DEVELOPMENT REVIEW BOARD  
TRANSPORTATION DEVELOPMENT

DRB Project Number: 2021-005272  
San Pedro and Oakland

AGENDA ITEM NO: 11

SUBJECT: Sketch Plat

ENGINEERING COMMENTS:

1. All roadway improvements shall be placed onto an infrastructure list.
2. Submit site plan for review and a Traffic Scoping Form for any potential traffic impact study requirements.
3. Provide exhibit showing roadway transitions on San Pedro and tie-ins to existing pavement on each end. Label existing pavement tie-in on cross-section for San Pedro Boulevard.
4. Provide restriping plan for San Pedro Boulevard to the south of Oakland. (This section will be placed onto an infrastructure list.)
5. To show how the proposed San Pedro road cross-section fits within an overall plan, also provide the ultimate proposed roadway section for San Pedro Boulevard.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Jeanne Wolfenbarger, P.E.  
Transportation Development  
505-924-3991 or [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)

DATE: April 7, 2021

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ACTION:

APPROVED \_\_; DENIED \_\_; DEFERRED \_\_; COMMENTS PROVIDED \_\_; WITHDRAWN \_\_

DELEGATED: \_\_\_\_\_ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)



**Development Review Board (DRB)  
Review Comments  
Utility Development Section  
Reviewer: Blaine Carter, P.E.  
Phone: 505.415.9188**

<b>DRB Project No:</b>  PR-2021-005272	<b>Date:</b>  4/07/2021	<b>Item No:</b>  #11
<b>Zone Atlas Page:</b>  C-18	<b>Legal Description:</b> Lot(s) TRACT A LOTS 1 THRU 4 & 29 THRU 32, BLOCK 27, NORTH ALBUQUERQUE ACRES  <b>Location:</b> 9320 SAN PEDRO DR NE between EAGLE ROCK AVE NE and OAKLAND AV NE,	
<b>Request For:</b> PS-2021-00043 – SKETCH PLAT		

**ABCWUA Comment:**

**Please provide written description of how the following comments were addressed with the next submittal.**

1. Request an availability/serviceability statement online at the following link: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx). Requests shall include fire marshal requirements. An executed statement must be obtained prior to approval.
2. The availability statement shall determine criteria for service. For reference, there is an 8” PVC main to the north and south for water, and a 14” DIP main to the west. Sanitary sewer mains of 8” are to the north and south, and 10” to the west. Please contact ABCWUA’s mapping section if as-built information is desired.

3. If the existing services are no longer used, they shall be property capped per ABCWUA specifications. Please include this as appropriate on the infrastructure list.
4. Pro rata is listed as owed for this parcel, in the amount of \$3,381.16 for water, \$4,087.80 for sewer, for a total assessment of \$7,468.96.





## DEVELOPMENT REVIEW BOARD

### Parks and Recreation Department

PR-2021-005272

PS-2021-00043 - SKETCH PLAT

ISAACSON & ARFMAN, INC. agent(s) for TEKIN & ASSOCIATES (MARK TEKIN) request(s) the aforementioned action(s) for all or a portion of: TRACT A LOTS 1 THRU 4 & 29 THRU 32, BLOCK 27, NORTH ALBUQUERQUE ACRES, zoned NR-BP, located at 9320 SAN PEDRO DR NE between EAGLE ROCK AVE NE and OAKLAND AV NE, containing approximately 6.5798 acre(s). (C-18)

PROPERTY OWNERS: BAUER & LOUCKS ENTERPRISES LLC, LOUCKS RICHARD A & PATRICIA A CO-TR  
LOUCKS TRUST

REQUEST: SKETCH PLAT REVIEW AND COMMENT

04-07-2021

San Pedro Dr NE is of a classification that requires street trees if new development is applicable pursuant to the IDO Section 5-6(B). Multi-family residential development is applicable, but single-family residential development is not applicable; so for townhomes, it depends on whether the lots will be subdivided and sold separately. The Parks and Recreation Department strongly prefers street landscaping for all developments.

**From:** [Carmona, Dalaina L.](#)  
**To:** [Michael Vos](#)  
**Subject:** 9320 San Pedro Drive NE Neighborhood Meeting Inquiry  
**Date:** Thursday, January 27, 2022 4:00:21 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image007.png](#)  
[IDOZoneAtlasPage\\_C-18-Z\\_Site.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE	Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	PO Box 90986	Albuquerque	NM	87199	5052800082	
Nor Este NA	Gina	Pioquinto	rpmartinez003@gmail.com	9015 Moonstone Drive NE	Albuquerque	NM	87113	5052385495	5058560926
Nor Este NA	Uri	Bassan	uri.bassan@noreste.org	9000 Modesto Avenue NE	Albuquerque	NM	87122	5054179990	
Oakland Estates HOA	Audra	Horschel	audgepauge@gmail.com	6701 Glenloch Way NE	Albuquerque	NM	87113		5057504129
Oakland Estates HOA	Lindsay	Torres		PO Box 1589	Belen	NM	87002		5059175456

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf). The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination

**From:** [Michael Vos](#)  
**To:** [dlreganabq@gmail.com](mailto:dlreganabq@gmail.com); [mgriffee@noreste.org](mailto:mgriffee@noreste.org); [rpmartinez003@gmail.com](mailto:rpmartinez003@gmail.com); [uri.bassan@noreste.org](mailto:uri.bassan@noreste.org); [audgepaudge@gmail.com](mailto:audgepaudge@gmail.com)  
**Subject:** Pre-Application Notification for Multi-family Site Plan at 9320 San Pedro Drive NE  
**Date:** Friday, February 11, 2022 8:47:00 PM  
**Attachments:** [Neighborhood Meeting Information Packet.pdf](#)

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Dear Neighbors,

This email is notification that Consensus Planning is preparing an application of a Site Plan for review by the Development Review Board (DRB) at the site located at 9320 San Pedro Drive NE. This property contains 6.77 acres and is currently zoned R-MH, Residential Multifamily High Density per a Zoning Map Amendment that was approved by the Environmental Planning Commission on February 18, 2021.

Please see the attached City forms and information for the property, including the preliminary site plan and building elevation. As part of the City process and in accordance with the City's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(c) Neighborhood Meeting, we are providing you an opportunity to discuss the application prior to our submittal to the DRB. Should you have any questions or if you would like to request a meeting regarding this proposed application, please do not hesitate to email me at [vos@consensusplanning.com](mailto:vos@consensusplanning.com) or contact us by phone at 505-764-9801. Per City requirements, you have 15 days or until February 27, 2022, to request a meeting.

Sincerely,

**Michael Vos, AICP**  
**CONSENSUS PLANNING, INC.**  
302 Eighth Street NW  
Albuquerque, NM 87102  
phone (505) 764-9801  
[vos@consensusplanning.com](mailto:vos@consensusplanning.com)

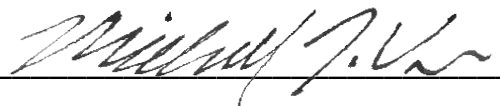


**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>	
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan - DRB	
Decision-making Body: Development Review Board (DRB)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>	
Address of property listed in application: 9320 San Pedro Drive NE	
Name of property owner: Coronado Auto Salvage Inc.; Bauer & Loucks Enterprises LLC; Loucks Trust	
Name of applicant: Tekin & Associates, LLC (Agent: Consensus Planning, Inc.)	
Date, time, and place of public meeting or hearing, if applicable:	
To be determined	
Address, phone number, or website for additional information:	
Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.	
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) February 11, 2022 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: February 11, 2022

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Nor Este NA, Oakland Estates NA, and District 4 Coalition

Name of NA Representative\*: See attached

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See attached

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: vos@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

\_\_\_\_\_

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 9320 San Pedro Drive NE  
Location Description Northeast corner of San Pedro Drive and Oakland Avenue NE
2. Property Owner\* Coronado Auto Salvage Inc.; Bauer & Loucks Enterprises LLC; Loucks Trust
3. Agent/Applicant\* [if applicable] Consensus Planning, Inc. / Tekin & Associates, LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision Minor \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Site Plan approval for a 221-unit multi-family residential development in six buildings

up to 4 stories in height with clubhouse and related amenities. Minor lot consolidation plat

to combine existing lots into single parcel for the proposed development.

5. This type of application will be decided by<sup>\*</sup>:  City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
- Landmarks Commission (LC)  Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found<sup>4\*</sup>:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> C-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

No variances or waivers are anticipated at this time.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 6.77 acres
  - b. IDO Zone District R-MH (Residential Multi-family High Density)
  - c. Overlay Zone(s) [if applicable] N/A
  - d. Center or Corridor Area [if applicable] N/A
2. Current Land Use(s) [vacant, if none] Formerly auto salvage and RV storage
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

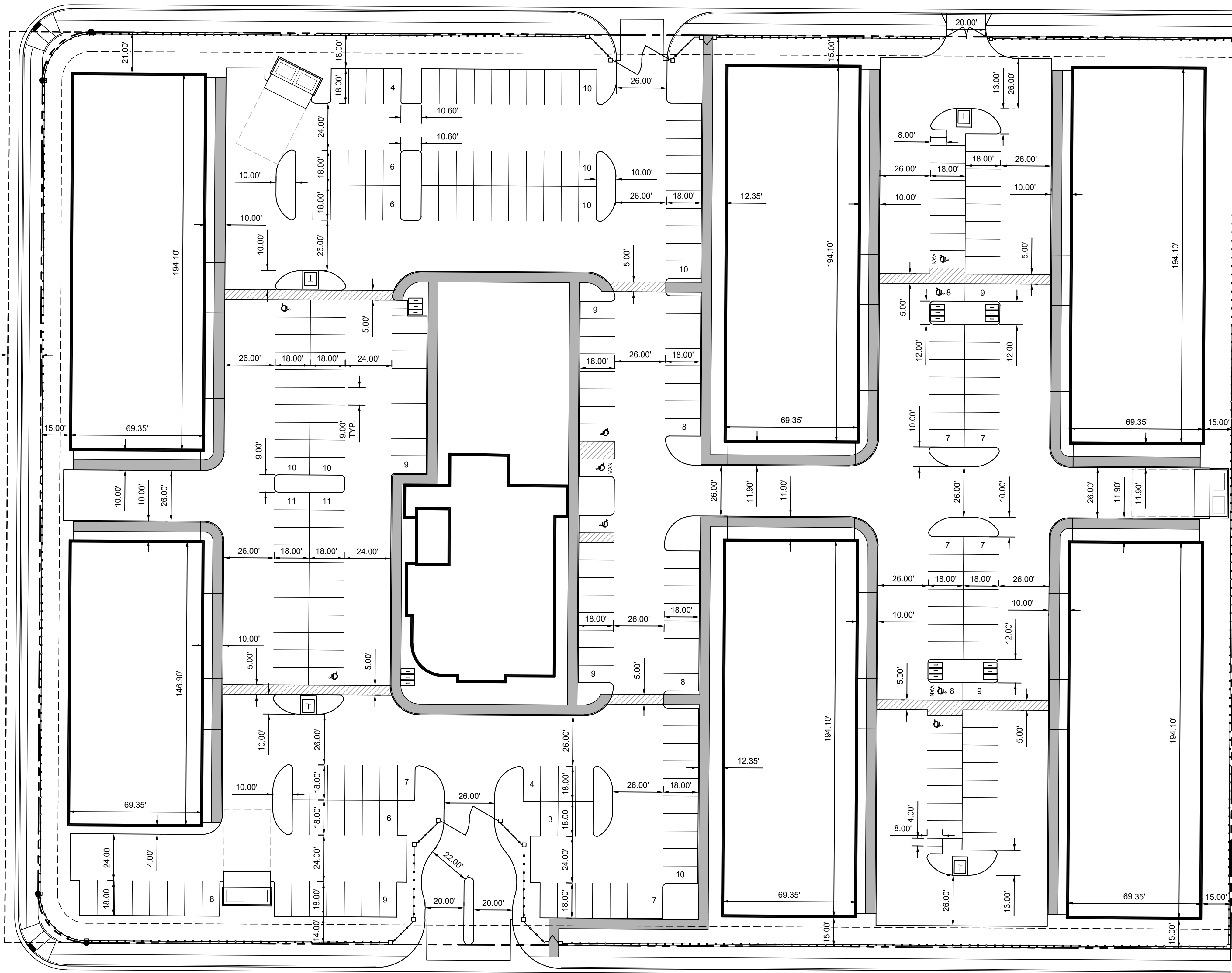


EAGLE ROCK AVENUE NE.

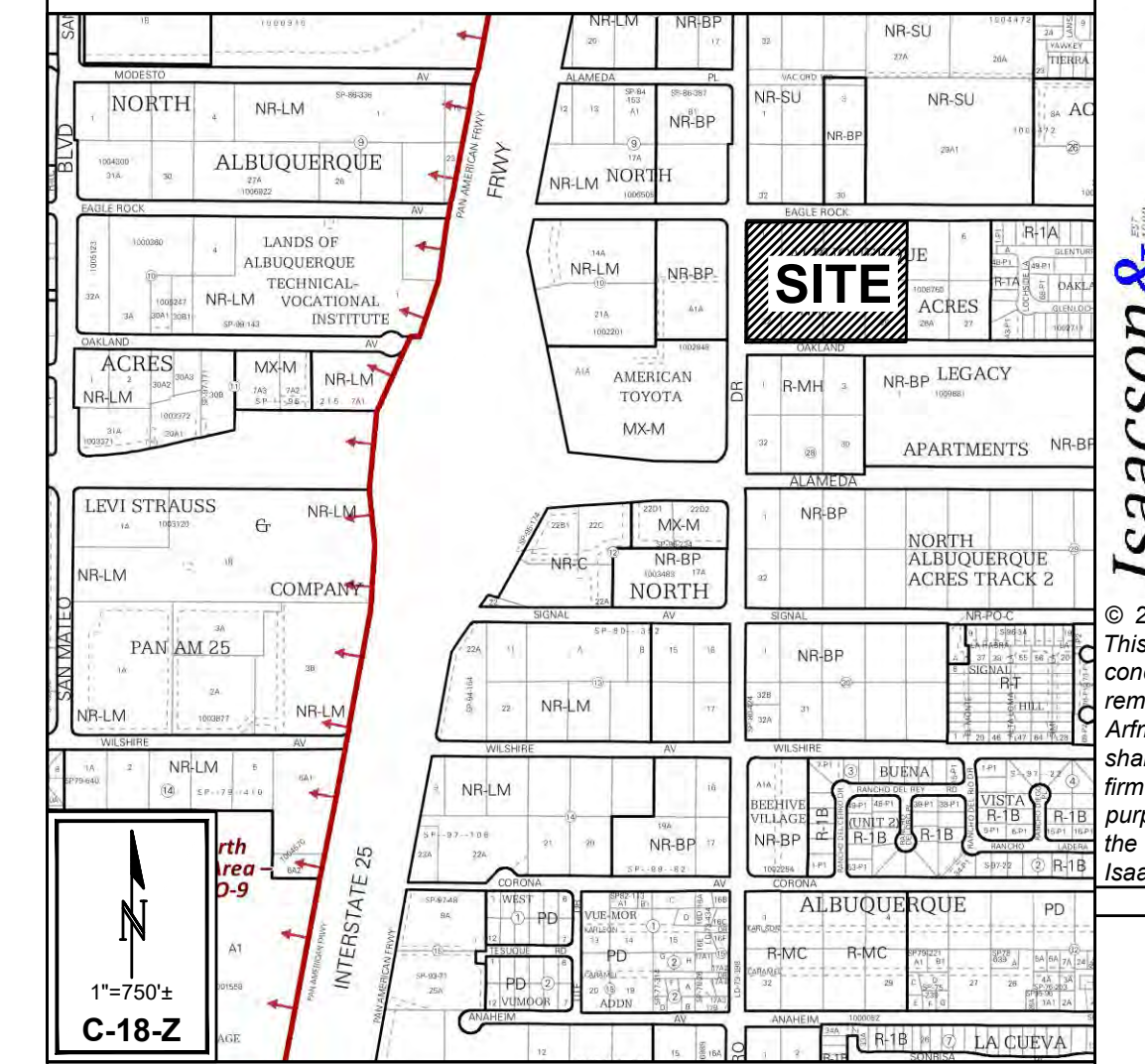
SAN PEDRO DRIVE NE.

OAKLAND AVENUE NE.

17.00' RW DEDICATION



VICINITY MAP



PROJECT DATA

**LEGAL DESCRIPTION:**  
 Parcel 1:  
 Lots numbered One (1), Two (2), Thirty-one (31) and Thirty-two (32), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.  
 Parcel 2:  
 Lots numbered Three (3), Four (4), Twenty-nine (29) and Thirty (30), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

**SITE AREA:** 6.7686 ACRES

**ZONING:** R-MH

**UNIT CALCULATIONS:**  
 1 BR UNITS = 124 (56.1%)  
 2 BR UNITS = 97 (43.9%)  
 TOTAL UNITS = 221

**PARKING CALCULATIONS:**  
 REQUIRED: 1.5 SPACES PER DU = 332 SPACES

PROVIDED: GARAGE = 93 SPACES  
 SURFACE = 255 SPACES  
 TOTAL = 348 SPACES

ADA REQUIRED: 8 SPACES (2 VAN SPACES)  
 ADA PROVIDED: 9 SPACES (3 VAN SPACES)

ELECTRIC VEHICLE REQUIRED: 2% TOTAL REQUIRED = 7 SPACES  
 ELECTRIC VEHICLE PROVIDED: ?????

MOTORCYCLE REQUIRED: 6 SPACES  
 MOTORCYCLE PROVIDED: 6 SPACES

BICYCLE REQUIRED: 34 SPACES  
 BICYCLE PROVIDED: 72 SPACES

LEGEND

**Isaacson & Arfman, Inc.**  
 Civil Engineering Consultants  
 128 Monroe Street NE  
 Albuquerque, NM 87108  
 505-266-8828 | www.iaacivil.com

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**NOT FOR CONSTRUCTION**

Engineer

**SIERRA VISTA APARTMENTS**

**San Pedro & Eagle Rock  
 Albuquerque, New Mexico**

DESIGN	DEVELOPMENT
ISSUE:	PROJECT NUMBER: IA 2471
FILE:	
DRAWN BY:	BjB/lor
CHECKED BY:	FCA
DATE:	XX-XX-XXXX

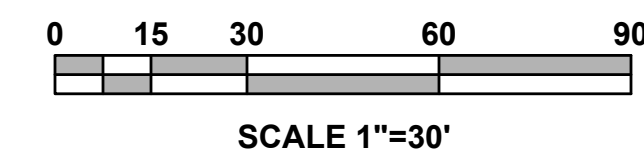
No	Date	Description

SHEET TITLE

CONCEPTUAL SITE PLAN

SHEET NUMBER

**C-100**





**BLDG 1 - WEST ELEVATION (FACING STREET)**



**BLDG 1 - SOUTH ELEVATION**



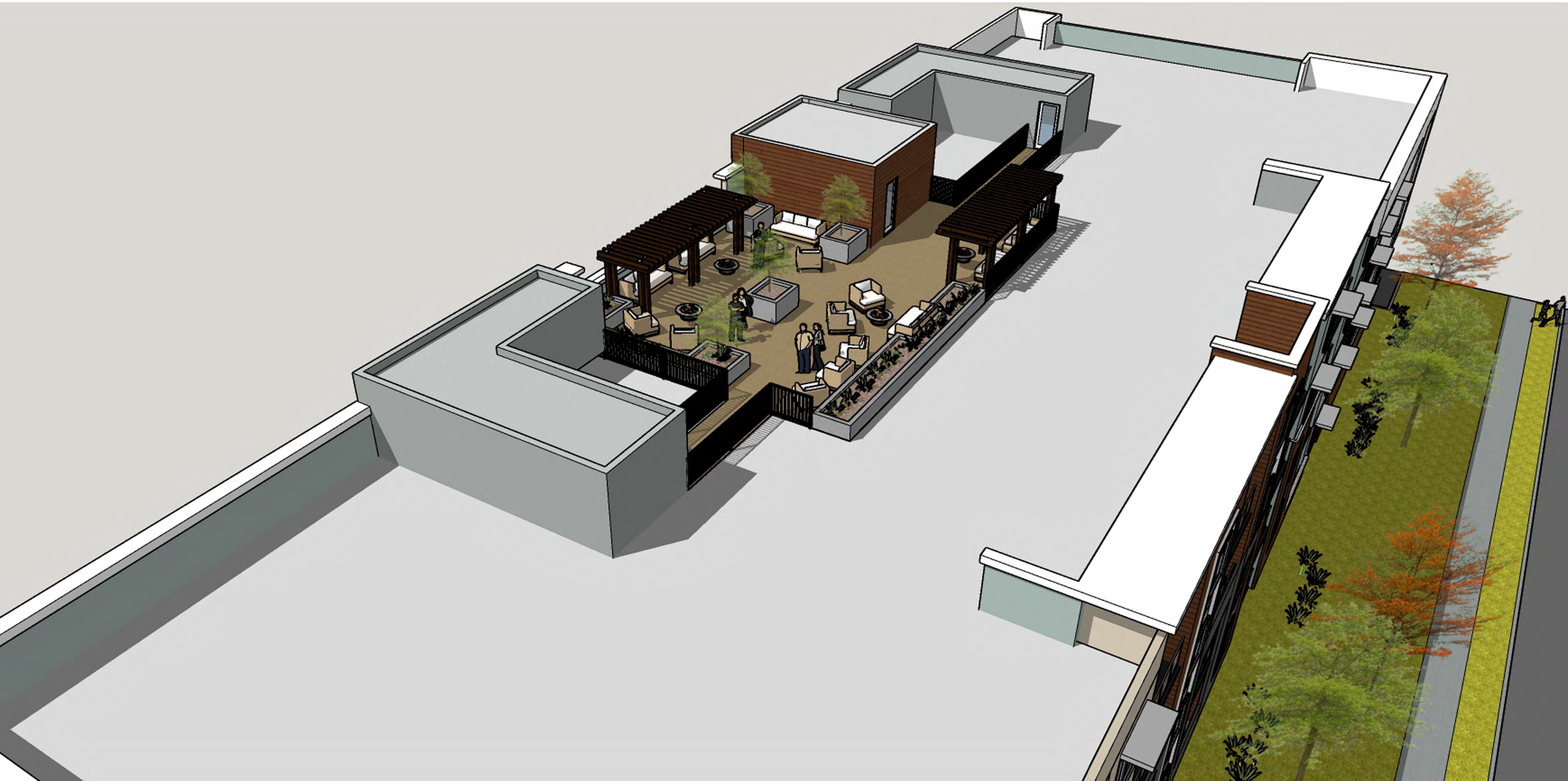
**BLDG. 1 - EAST ELEVATION**



**BLDG 1 - NORTH ELEVATION**









# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

\_\_\_\_\_  
(Applicant or Agent)

6/24/2022  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** PR-2021-004920

From: [Office of Neighborhood Coordination](#)  
To: [Michael Vos](#)  
Subject: 9320 San Pedro Drive NE\_Public Notice Inquiry\_DRB  
Date: Wednesday, June 22, 2022 4:14:00 PM  
Attachments: [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)

**PLEASE NOTE:**

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	<a href="mailto:mgriffiee@noreste.org">mgriffiee@noreste.org</a>	PO Box 90986	Albuquerque	NM	87199	5052800082	
District 4 Coalition of Neighborhood Associations	Mark	Reynolds	<a href="mailto:reynolds@unm.edu">reynolds@unm.edu</a>	6801 Barber Pl NE	Albuquerque	NM	87109		5053212968
Nor Este NA	Gina	Pioquinto	<a href="mailto:rpmartinez003@gmail.com">rpmartinez003@gmail.com</a>	9015 Moonstone Drive NE	Albuquerque	NM	87113	5052385495	5058560926
Nor Este NA	Uri	Bassan	<a href="mailto:uri.bassan@noreste.org">uri.bassan@noreste.org</a>	9000 Modesto Avenue NE	Albuquerque	NM	87122	5054179990	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



**Vanessa Baca**

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3331 Office

E-mail: [vanessabaca@cabq.gov](mailto:vanessabaca@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



From: [webmaster@cabq.gov](mailto:webmaster@cabq.gov) [mailto:webmaster@cabq.gov] On Behalf Of [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

Sent: Wednesday, June 22, 2022 2:37 PM

To: Office of Neighborhood Coordination <[vos@consensusplanning.com](mailto:vos@consensusplanning.com)>

Cc: Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Michael Vos

Telephone Number

5057649801



**From:** [Michael Vos](#)  
**To:** [mgriffee@noreste.org](mailto:mgriffee@noreste.org); [reynolds@unm.edu](mailto:reynolds@unm.edu); [rpmartinez003@gmail.com](mailto:rpmartinez003@gmail.com); [uri.bassan@noreste.org](mailto:uri.bassan@noreste.org)  
**Cc:** [audgepauage@gmail.com](mailto:audgepauage@gmail.com)  
**Subject:** Application Notification for Site Plan - DRB at 9320 San Pedro Drive NE  
**Date:** Friday, June 24, 2022 11:29:00 AM  
**Attachments:** [9320 San Pedro NE Emailed Notice Packet.pdf](#)

---

Dear Neighbors,

This email is notice that Consensus Planning has submitted a Site Plan – DRB application for a 218-unit multi-family residential development at the northeast corner of San Pedro Drive NE and Oakland Avenue NE on behalf of the owner GTA San Pedro, LLC (Tekin & Associates). The site is the former Coronado Auto Recyclers and RV Storage facility, which had its zoning changed to R-MH (Residential Multi-family High Density) last year.

Attached you will find the required notice forms and information for this project. The full site plan set, including the landscape plan, and building elevations, can be downloaded here:

<https://www.dropbox.com/t/UkxmeVPfGi2PMeKu>

The first DRB meeting for this project will be on Wednesday, July 20, 2022, at 9:00 AM via Zoom. The Zoom information is as follows:

Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>

Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or

Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

If you have any questions about this development, please do not hesitate to email me at [vos@consensusplanning.com](mailto:vos@consensusplanning.com) or contact us by phone at 505-764-9801.

Sincerely,

**Michael Vos, AICP**

**CONSENSUS PLANNING, INC.**

302 Eighth Street NW

Albuquerque, NM 87102

phone (505) 764-9801

[vos@consensusplanning.com](mailto:vos@consensusplanning.com)

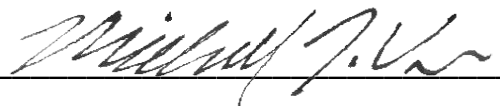


**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: Site Plan - DRB		
Decision-making Body: Development Review Board (DRB)		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: 9320 San Pedro Drive NE		
Name of property owner: GTA San Pedro, LLC		
Name of applicant: Tekin & Associates, LLC (Agent: Consensus Planning, Inc.)		
Date, time, and place of public meeting or hearing, if applicable: July 20, 2022 at 9:00 AM via Zoom		
Join Zoom Meeting: <a href="https://cabq.zoom.us/j/81711919604">https://cabq.zoom.us/j/81711919604</a> - See next page for full information including call in number.		
Address, phone number, or website for additional information:		
Please contact Michael Vos with Consensus Planning for more information at <a href="mailto:vos@consensusplanning.com">vos@consensusplanning.com</a> or by calling (505) 764-9801.		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A - A meeting was not requested.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) June 24, 2022 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
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**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

July 20, 2022 DRB Zoom Meeting Information

Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>

Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or

Find your local number: <https://cabq.zoom.us/j/81711919604>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: June 24, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Nor Este Neighborhood Association and District 4 Coalition

Name of NA Representative\*: See attached

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: See attached

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 9320 San Pedro Drive NE  
Location Description Northeast corner of San Pedro and Oakland Avenue NE
2. Property Owner\* GTA San Pedro, LLC
3. Agent/Applicant\* *[if applicable]* Consensus Planning, Inc. / Tekin & Associates (GTA San Pedro, LLC)
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

Site Plan - DRB for a 218-unit multi-family development with six 4-story buildings  
and a clubhouse/amenity building and associated parking and landscaping.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: July 20, 2022 at 9:00 AM via Zoom

Location\*<sup>3</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>      Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Please contact Michael Vos with Consensus Planning for more information at [vos@consensusplanning.com](mailto:vos@consensusplanning.com) or by calling (505) 764-9801.

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> C-18-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

None anticipated at this time.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A pre-submittal neighborhood meeting was not requested.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 6.77 acres
  - 2. IDO Zone District R-MH (Residential Multi-family High Density)
  - 3. Overlay Zone(s) [if applicable] N/A
  - 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Formerly auto salvage and RV storage
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

From: [Office of Neighborhood Coordination](#)  
To: [Michael Vos](#)  
Subject: 9320 San Pedro Drive NE\_Public Notice Inquiry\_DRB  
Date: Wednesday, June 22, 2022 4:14:00 PM  
Attachments: [image001.png](#)  
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Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	<a href="mailto:mgriffiee@noreste.org">mgriffiee@noreste.org</a>	PO Box 90986	Albuquerque	NM	87199	5052800082	
District 4 Coalition of Neighborhood Associations	Mark	Reynolds	<a href="mailto:reynolds@unm.edu">reynolds@unm.edu</a>	6801 Barber Pl NE	Albuquerque	NM	87109		5053212968
Nor Este NA	Gina	Pioquinto	<a href="mailto:rpmartinez003@gmail.com">rpmartinez003@gmail.com</a>	9015 Moonstone Drive NE	Albuquerque	NM	87113	5052385495	5058560926
Nor Este NA	Uri	Bassan	<a href="mailto:uri.bassan@noreste.org">uri.bassan@noreste.org</a>	9000 Modesto Avenue NE	Albuquerque	NM	87122	5054179990	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

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<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



**Vanessa Baca**

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3331 Office

E-mail: [vanessabaca@cabq.gov](mailto:vanessabaca@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



From: [webmaster@cabq.gov](mailto:webmaster@cabq.gov) [mailto:webmaster@cabq.gov] On Behalf Of [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

Sent: Wednesday, June 22, 2022 2:37 PM

To: Office of Neighborhood Coordination <[vos@consensusplanning.com](mailto:vos@consensusplanning.com)>

Cc: Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to [phishing@cabq.gov](mailto:phishing@cabq.gov) and delete if an email causes any concern.

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

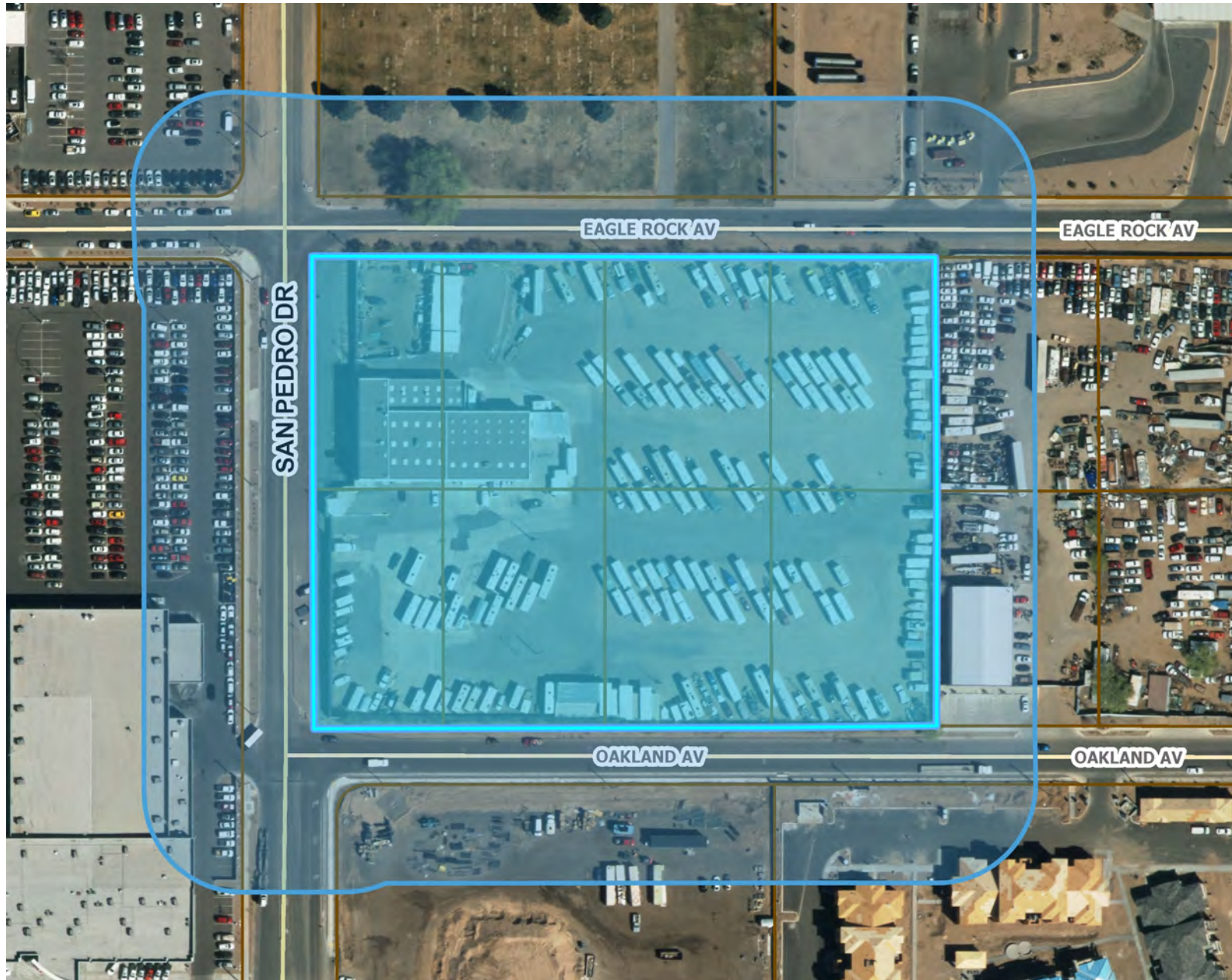
Michael Vos

Telephone Number

5057649801



# Property Owner Buffer Map

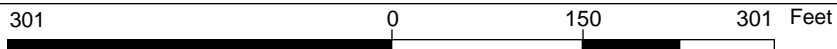


## Legend

- Bernalillo County Parcels
- Primary Streets**
  - Freeway
  - Principal Arterial
  - Minor Arterial
  - Local Streets
- BN and SF Railroad
- Other Streets
- Municipal Limits**
  - Corrales
  - Edgewood
  - Los Ranchos
  - Rio Rancho
  - Tijeras
  - UNINCORPORATED

## Notes

Prepared by Consensus Planning  
6/24/22



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
6/24/2022 © City of Albuquerque

1: 1,803

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



UPC	Owner	Owner Address	Owner Address 2	SITUS Address	SITUSADD2	Legal Description	Acres
101806434950010526	CITY OF ALBUQUERQUE	PO BOX 2248	ALBUQUERQUE NM 87103-2248	6301 EAGLE ROCK AVE	ALBUQUERQUE NM 87113	LT 29-A-1 BLK 26 BULK LAND PLAT OF LOTS 8-A, 26-A & 27-A, BLOCK 26 TRACT A UN	7.5469
101806428743611711	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	OAKLAND AVE NE	ALBUQUERQUE NM 87113	LT 31 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806427245811701	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	9320 SAN PEDRO DR NE	ALBUQUERQUE NM 87113	LOT 1 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT. 0.7553 AC.	0.7553
101806432043611709	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	OAKLAND AV NE	ALBUQUERQUE NM 87113	LT 29 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806427343611712	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	OAKLAND AVE NE	ALBUQUERQUE NM 87113	LT 32 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .7252 AC	0.7252
101806432045811704	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	EAGLE ROCK AV NE	ALBUQUERQUE NM 87113	LT 4 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806430343611710	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	OAKLAND AVE NE	ALBUQUERQUE NM 87113	LT 30 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806428745811702	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	EAGLE ROCK AVE NE	ALBUQUERQUE NM 87113	LT 2 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806430345811703	GTA SAN PEDRO LLC	2600 DALLAS PKWY SUITE 370	FRISCO TX 75034-9483	EAGLE ROCK AV NE	ALBUQUERQUE NM 87113	LT 3 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806422349221002	JR & SR LLC	9000 PAN AMERICAN FWY NE	ALBUQUERQUE NM 87113	9000 PAN AMERICAN FREEWAY	ALBUQUERQUE 87113	LT 17-A BLK 9 PLAT OF LOT 17-A BLOCK 9 TRACT A UNIT BNORTH ALBUQUERQUE A	4.7346
101806424541720605	LHM AMT LLC	5650 S STATE ST	SALT LAKE CITY UT 84107-6131	5995 ALAMEDA BLVD NE	ALBUQUERQUE NM 87113	TR A-1-A SUBDIVISION PLAT OF TRACTS A-1-A AMERICAN TOYOTA(BEING A RE-PLAT	10.1339
101806433745811705	RAIOLA MICHAEL & STAHNKE MARTHA	6301 OAKLAND AVE NE	ALBUQUERQUE NM 87113-2451	EAGLE ROCK AV NE	ALBUQUERQUE NM 87113	LT 5 BLK 27 TRACT A UNIT B NORTH ALBUQUERQUE ACRESCONT .8864 AC	0.8864
101806434043711708	RAIOLA MICHAEL & STAHNKE MARTHA	6301 OAKLAND AVE NE	ALBUQUERQUE NM 87113-2451	6301 OAKLAND AVE NE	ALBUQUERQUE NM 87113	LT 28-A BLK 27 PLAT OF LOT 28-A BLK 27 NORTH ALBUQUERQUEACRES TR A UNIT B	0.8989
101806529002040101	SMI ABQ ASSETS LLC DBA DANIELS FUNERAL SERVICES	1100 COAL AVE SE	ALBUQUERQUE NM 87106-5208	MODESTO AVE NE	ALBUQUERQUE NM 87113	LT 1 THRU 7 & 30 THRU 32 BLK 25 & LTS 2 THRU 3 & 30 THRU 32BLK 26 & PORT OF	14.1659
101806437339110304	WCW MARKANA ABQ LLC ATTN: OLYMPUS PROP - W CHANDLER WONDERLY	500 THROCKMORTON ST SUITE 300	FORT WORTH TX 76102-3745	6115 ALAMEDA BLVD NE	ALBUQUERQUE NM 87113	TR 1 PLAT OF TRACT 1 LEGACY APARTMENTS CONT 11.5685 AC	11.5685
101806429339110301	WCW RESERVE ABQ LLC C/O OLYMPUS PROPERTY - ATTN: C WONDERLY	500 THROCKMORTON ST SUITE 300	FORT WORTH TX 76102-3745	6201 ALAMEDA BLVD NE	ALBUQUERQUE NM 87113	LT 1-A BLK 28 PLAT FOR LOT 1-A, BLOCK 28 NORTH ALBUQUERQUEACRES TRACT A,	4.4413

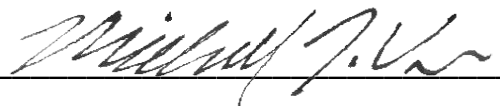


**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>	
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan - DRB	
Decision-making Body: Development Review Board (DRB)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>	
Address of property listed in application: 9320 San Pedro Drive NE	
Name of property owner: GTA San Pedro, LLC	
Name of applicant: Tekin & Associates, LLC (Agent: Consensus Planning, Inc.)	
Date, time, and place of public meeting or hearing, if applicable: July 20, 2022 at 9:00 AM via Zoom	
Join Zoom Meeting: <a href="https://cabq.zoom.us/j/81711919604">https://cabq.zoom.us/j/81711919604</a> - See next page for full information including call in number.	
Address, phone number, or website for additional information:	
Please contact Michael Vos with Consensus Planning for more information at <a href="mailto:vos@consensusplanning.com">vos@consensusplanning.com</a> or by calling (505) 764-9801.	
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A - A meeting was not requested.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) June 24, 2022 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

July 20, 2022 DRB Zoom Meeting Information

Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604>

Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or

Find your local number: <https://cabq.zoom.us/j/81711919604>

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: June 24, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: \_\_\_\_\_

Mailing Address\*: \_\_\_\_\_

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 9320 San Pedro Drive NE  
Location Description Northeast corner of San Pedro and Oakland Avenue NE
2. Property Owner\* GTA San Pedro, LLC
3. Agent/Applicant\* *[if applicable]* Consensus Planning, Inc. / Tekin & Associates (GTA San Pedro, LLC)
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Site Plan - DRB for a 218-unit multi-family residential development in six 4-story buildings with a clubhouse/amenity building and parking.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: July 20, 2022 at 9:00 AM via Zoom \_\_\_\_\_

Location\*<sup>2</sup>: Join Zoom Meeting: <https://cabq.zoom.us/j/81711919604> Meeting ID: 817 1191 9604

By phone: +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/kegTsk3nfp>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> C-18-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation\*:

None anticipated at this time.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A neighborhood meeting was not requested for this project.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 6.77 acres
  2. IDO Zone District R-MH
  3. Overlay Zone(s) [if applicable] N/A
  4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Formerly auto salvage and RV storage
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

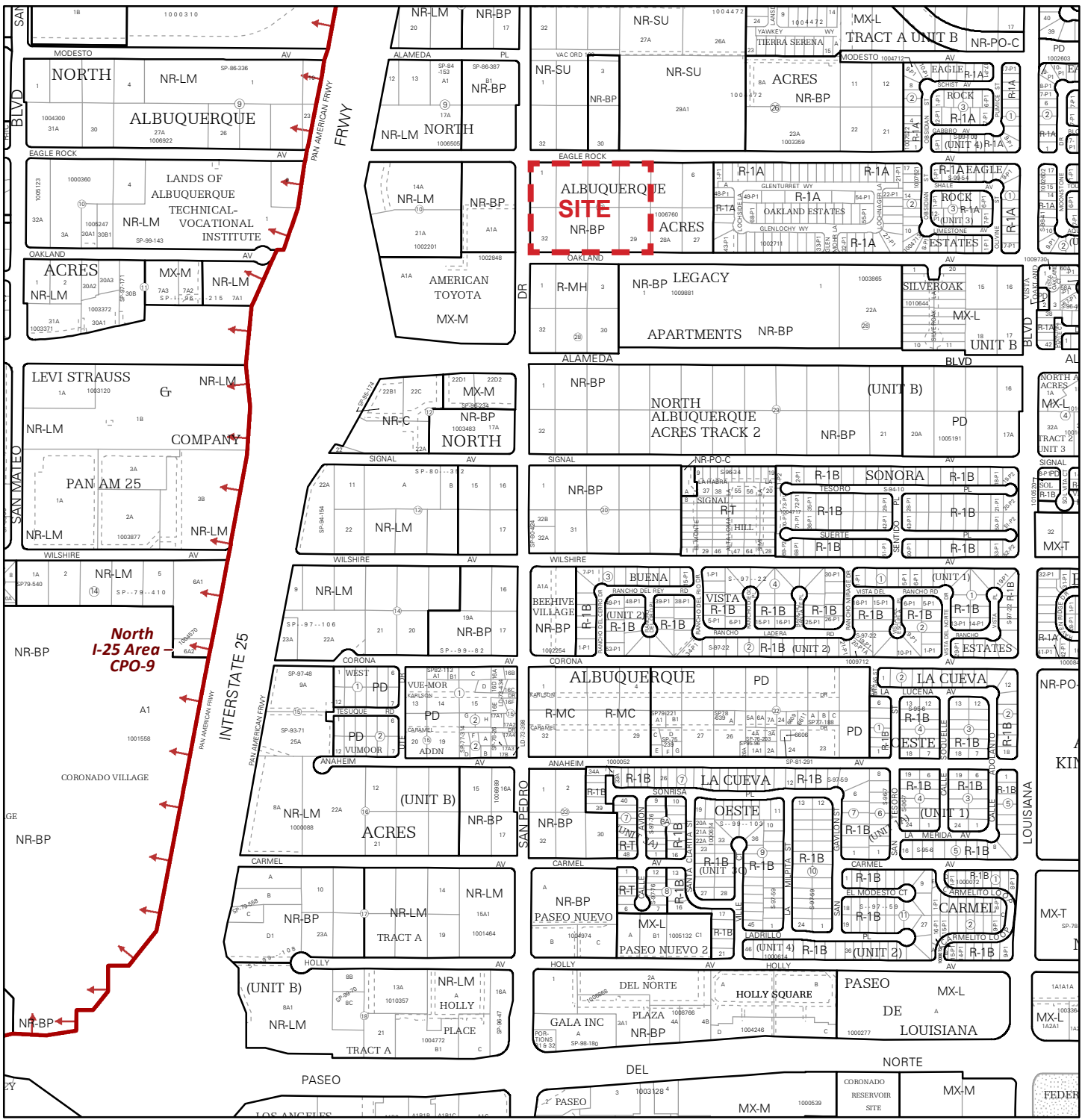
<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas

### May 2018

Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**C-18-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

N

0 250 500 1,000 Feet

NR-SU (CEMETERY)

NR-SU (SOLID WASTE CONVENIENCE CENTER)

EAGLE ROCK AVENUE NE.  
60' R/W

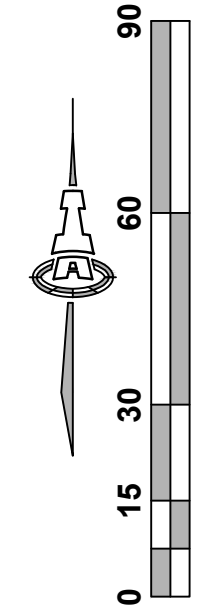
RESIDENT ONLY  
ENTRANCE / EXIT  
PER COA STD DWG 2426

EMERGENCY  
VEHICLE ACCESS  
DRIVEPAD PER  
COA STD DWG  
2425A

ADA RAMP  
PER COA STD  
DWG 2445

CLEAR SIGHT  
TRIANGLE

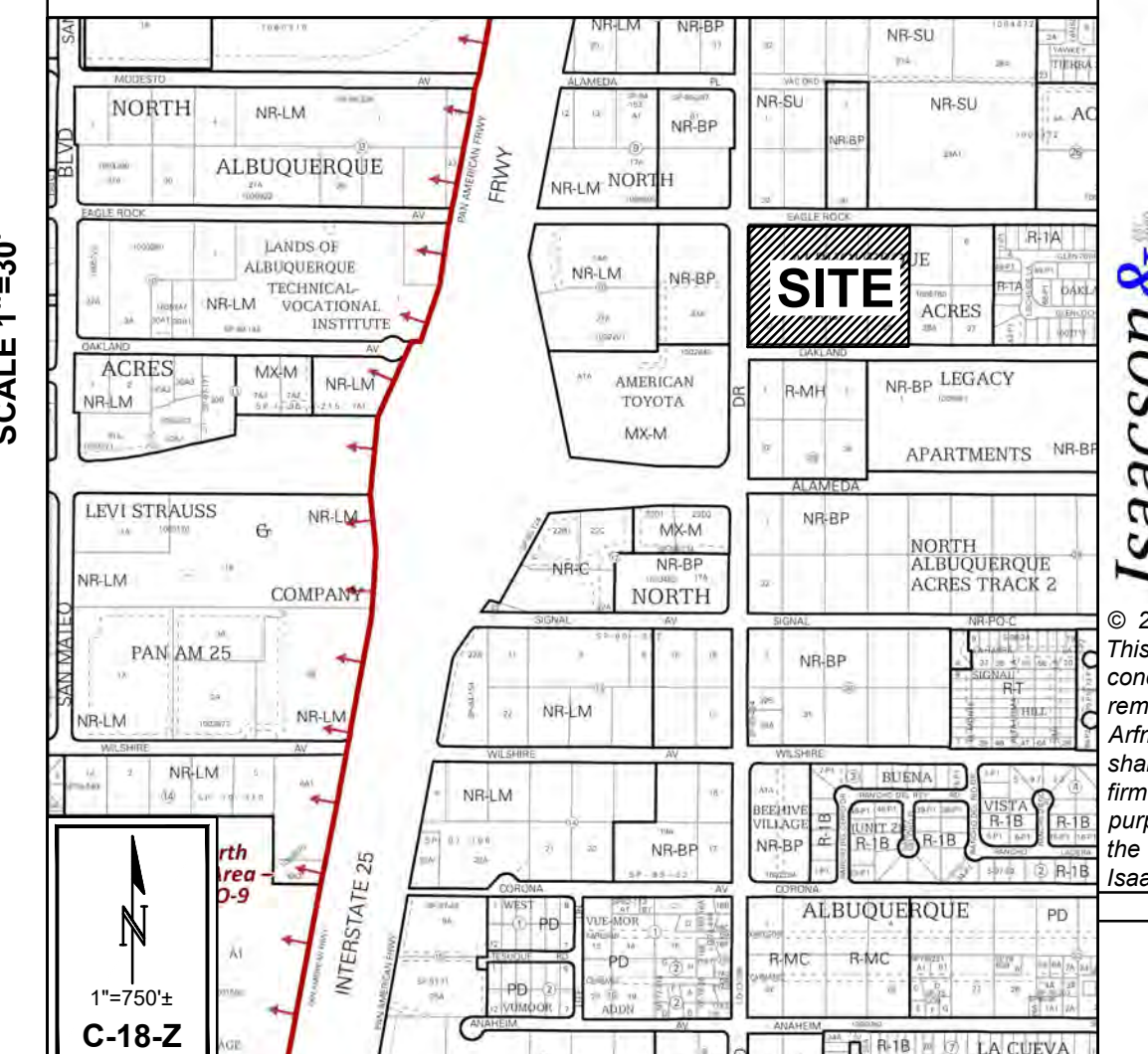
6' PUBLIC  
SDWK PER COA  
STD DWG 2430.



SCALE 1"=30'

1"=50'  
C-18-Z

### VICINITY MAP



### PROJECT DATA

**LEGAL DESCRIPTION:**  
Parcel 1:  
Lots numbered One (1), Two (2), Thirty-one (31) and Thirty-two (32), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

Parcel 2:  
Lots numbered Three (3), Four (4), Twenty-nine (29) and Thirty (30), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

**SITE AREA:** 6.7686 ACRES  
**ZONING:** R-MH

**UNIT CALCULATIONS:**  
1 BR UNITS = 118 (54.1%)  
2 BR UNITS = 100 (45.9%)  
TOTAL UNITS = 218

**PARKING CALCULATIONS:**  
REQUIRED: 1.5 SPACES PER DU = 327 SPACES  
ADA REQUIRED: 8 SPACES (2 VAN SPACES)  
PROVIDED:  
GARAGE= 93 SPACES  
SURFACE= 182 SPACES  
SURFACE (COMPACT)= 76 SPACES  
8 SPACES (3 VAN SPACES)  
TOTAL= 359 SPACES

**ELECTRIC VEHICLE REQUIRED:** 2% TOTAL REQUIRED = 7 SPACES  
**ELECTRIC VEHICLE PROVIDED:** 8 SPACES

**MOTORCYCLE REQUIRED:** 6 SPACES  
**MOTORCYCLE PROVIDED:** 6 SPACES

**BICYCLE REQUIRED:** 34 SPACES  
**BICYCLE PROVIDED:**  
SURFACE= 12 SPACES  
INTERNAL TO BUILDINGS= 22 SPACES  
TOTAL= 34 SPACES

**OPEN SPACE CALCULATIONS:**  
REQUIRED:  
225 SQUARE FEET PER 1 BED: 26,550 sf  
285 SQUARE FEET PER 2 BED: 28,500 sf  
TOTAL: 55,050 sf  
PROVIDED:  
BALCONIES/PATIOS: 7,964 sf  
SURFACE: 69,392 sf  
TOTAL= 77,356 sf

**PROJECT NO.:** \_\_\_\_\_  
**APPLICATION NO.:** \_\_\_\_\_  
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

### DRB SITE DEVELOPMENT PLAN APPROVAL

Description	Date
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEERING/HYDROLOGY	DATE
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPT.	DATE
CODE ENFORCEMENT	DATE



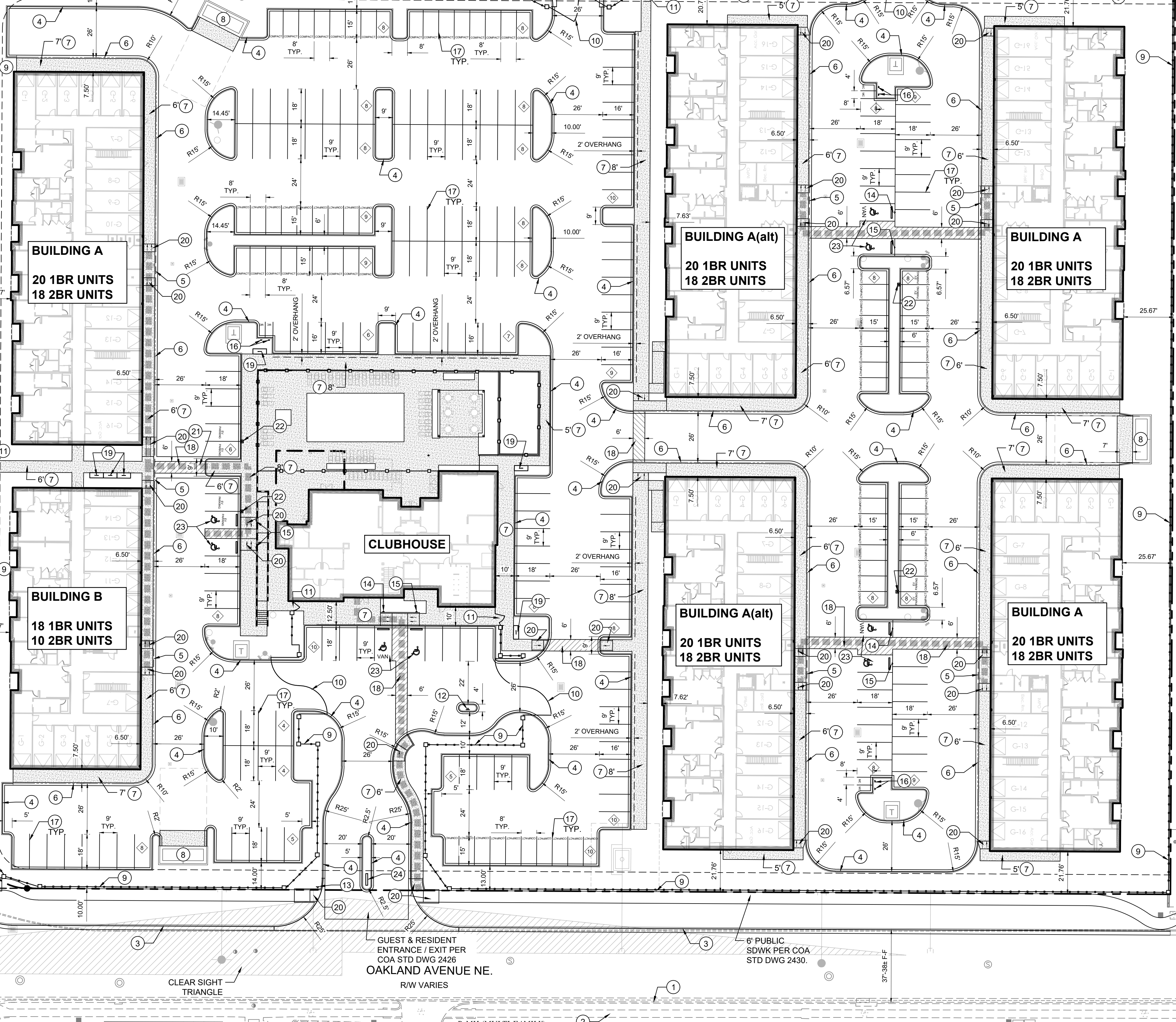
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Engineer  
06/23/2022

**SAN PEDRO APARTMENTS**  
**San Pedro & Eagle Rock**  
**Albuquerque, New Mexico**

DESIGN DEVELOPMENT	ISSUE:
PROJECT NUMBER: IA 2471	FILE:
BID/ITOR	DRAWN BY:
XXX-XX-XXXX	CHECKED BY:
	DATE:

**SHEET TITLE**  
SITE PLAN  
**SHEET NUMBER**  
SP-100



### GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADIUS ARE 2' UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPWAYS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

### KEYED NOTES

- EXISTING CURB & GUTTER.
- EXISTING SIDEWALK.
- STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
- MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CD-501.
- LOW PROFILE MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CD-501.
- ESTATE CURB, PER DETAIL ON SHEET CD-501.
- SIDEWALK, PER DETAIL ON SHEET CD-501.
- REFUSE ENCLOSURE, PER DETAIL ON SHEET CD-501.
- PERIMETER FENCE/WALL.
- VEHICULAR ACCESS GATE.
- PEDESTRIAN ACCESS GATE.
- GUEST GATE CALL BUTTON
- SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CD-501.
- SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CD-501.
- SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CD-501.
- SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CD-501.
- 4" WHITE STRIPE
- CROSSWALK STRIPING, PER DETAIL ON SHEET CD-501.
- BICYCLE RACK, PER DETAIL ON SHEET CD-501.
- ADA RAMP, PER DETAIL ON SHEET CD-502.
- RAISED CROSSWALK, PER DETAIL ON SHEET CD-502.
- EV CHARGING STATION
- ADA PARKING, PER DETAIL ON SHEET CD-502.
- MONUMENT SIGNAGE.

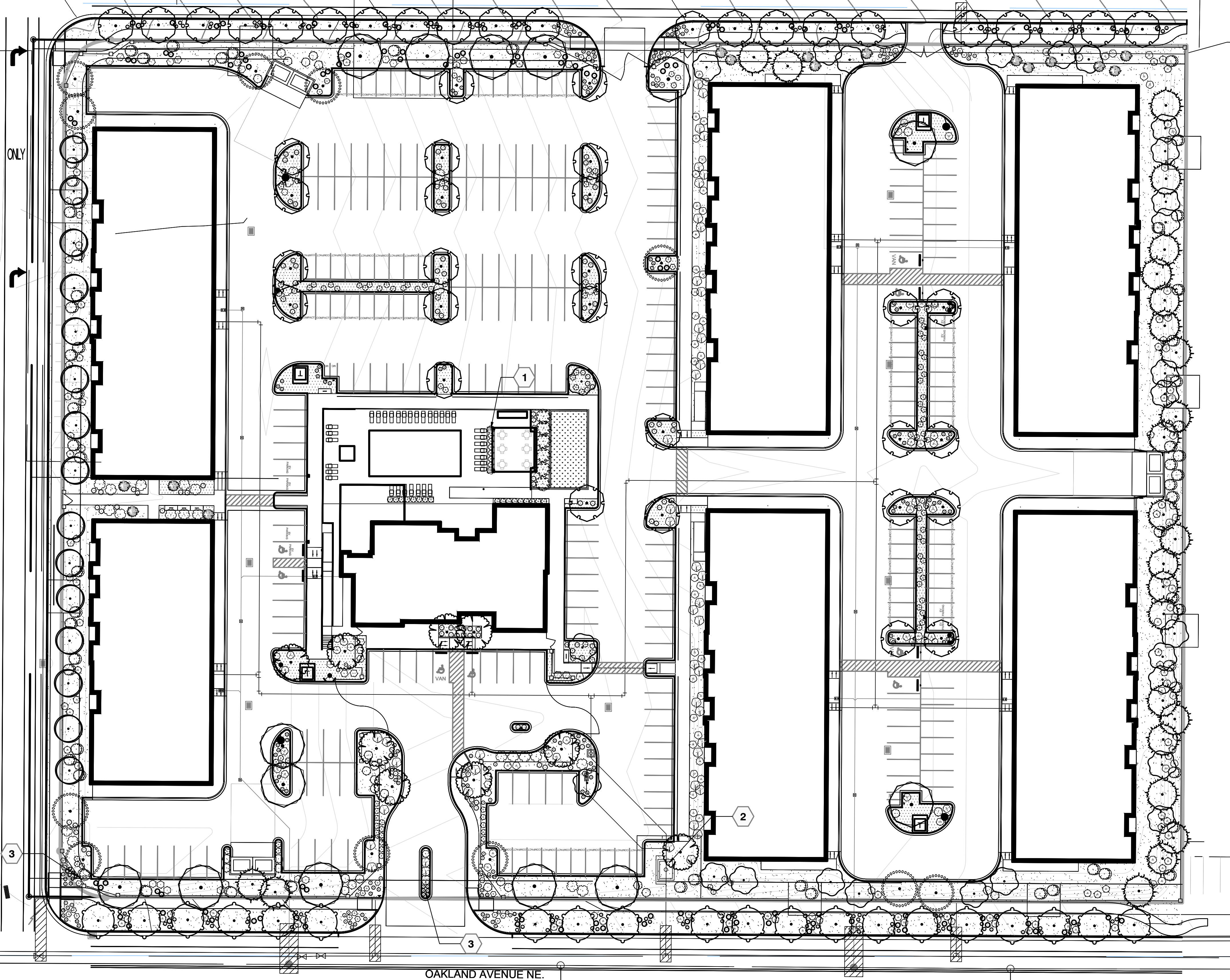
### LEGEND

- ADA SPACE
- PEDESTRIAN CROSS WALK
- DUAL PORT EV CHARGER
- ADA PATHWAY
- BIKE RACK
- PARKING ROW COUNT
- PROPERTY LINE

PROJECT NUMBER: IA 2471, SHEET NUMBER: SP-100, DATE: 06/23/2022



EAGLE ROCK AVENUE NE.



REFERENCE NOTES SCHEDULE

- | SYMBOL | DESCRIPTION                      |
|--------|----------------------------------|
| 1      | SHADE TRELLIS AND VINE PLANTINGS |
| 2      | WATER UTILITY VAULT              |
| 3      | SIGNAGE                          |

GENERAL LANDSCAPE NOTES

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.
- ALL EXISTING PLANT MATERIALS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. DAMAGED MATERIALS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. FOR IRRIGATION PLANS REFERENCE SHEETS LI-100, L-500.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING** WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED BARK MULCH AT TREES**  
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3" DIAMETER CIRCLE.

ALL SLOPES OVER 3:1 SHALL RECEIVE 8" DEPTH OF 4"-8" COBBLE FOR EROSION CONTROL.

LANDSCAPE CALCULATIONS

SITE AREA (6.7686 AC)	294,840 SF
BUILDING FOOTPRINT	83,987 SF
NET LOT	210,853 SF
REQUIRED / PROVIDED LANDSCAPE	44,226 SF (15%) / 59,484 SF (13%)

COVERED	33,170 SF (75%) / 114,954 SF (347%)
REQUIRED / PROVIDED VEGETATIVE COVER	11,057 SF (25%) / 25,019 SF (226%)

PARKING LOT SPACES PROVIDED	266
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	27 / 59

AT LEAST 10 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.	
PARKING LOT AREA	135,205 SF
REQUIRED / PROVIDED PARKING LOT LANDSCAPE	19,705 SF (15%) / 20,281 SF

ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH OF CONTINUOUS EVERGREEN SHRUBBERY 3 FEET IN HEIGHT.

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING LOT EDGE.

**STREET TREES**  
STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. OAKLAND AVE NE. IS 50'; REQUIRED / PROVIDED STREET TREES: 20 / 21  
SAN PEDRO DR NE. IS 45'; REQUIRED / PROVIDED STREET TREES: 20 / 21  
EAGLE ROCK AVE NE. IS 53'; REQUIRED / PROVIDED STREET TREES: 21 / 21

TREE PER UNIT REQUIREMENTS	
TOTAL UNITS: 218	
FIRST STORY UNITS: 109	
REQUIRED (1) TREE PER UNIT. REQUIRED / PROVIDED	109/154

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

GRAVEL MULCH AND GROUND SURFACE LEGEND

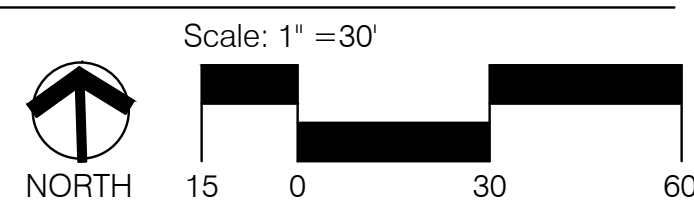
10,680 SF 1" CRUSHED ROSETONE JPR GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

5,315 SF 3/4" TAMPICO PINK JPR GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

XXXXSF FENCED SYNTHETIC TURF DOG PARK.

OPU SAN	73	Opuntia santa-rita 'Tuboc' TM / Santa Rita Pricklypear	1 gal.	Pot
PAN SHD	125	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	1 gal.	Pot
PRU PAW	107	Prunus besseyi 'P011S' TM / Pawnee Buttes Sand Cherry	1 gal.	Pot
RHU AUT	112	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac	1 gal.	Pot
SAL MOH	32	Salvia mohaverensis / Mojave Sage	5 gal.	Pot
TEU ARD	128	Teucrium arcanum / Creeping Germanier	1 gal.	Pot
WIS PUR	4	Wisteria sinensis 'Purple' / Purple Chinese Wisteria	5 gal.	Pot

A1 LANDSCAPE PLAN

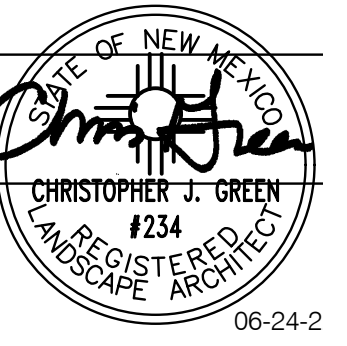


PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	ARC CHI	49	Arctostaphylos x cotinifera 'Chieftain' / Chieftain Mock Bearberry Marzetta	5 gal.	Pot
	CER INT	31	Cercocarpus intricata / Littleleaf Mountain Mahogany	15 gal.	Pot
	CYT SCO	25	Cytisus scoparius 'Moonlight' / Moonlight Broom	1 gal.	Pot
	ELE CMM	6	Elaeagnus commutata 'Quicksilver' / Quicksilver Silverberry	15 gal.	Pot
	ERI LAR	107	Ericameria laricina 'Againe' TM / Againe Turpentine Bush	1 gal.	Pot
	ELP MYR	30	Euphorbia myrsinites / Myrtle Spurge	1 gal.	Pot
	FOR NEM	26	Forestiera neomexicana / New Mexico Privet	15 gal.	Pot
	MAH COM	15	Mahonia aquifolium 'Compact' / Compact Oregon Grape	5 gal.	Pot
	MAH HAE	63	Mahonia haenkeana / Red Barberry	15 gal.	Pot
	NOL MIC	116	Nolina microcarpa / Sacahuista	1 gal.	Pot
	OPU BAB	25	Opuntia basilaris 'Baby Rio' / Beavertail Pricklypear	1 gal.	Pot
	CH LIN	26	Chilopsis linearis / Desert Willow	2.5" Cal.	B&B
	FRA URB	47	Fraxinus pennsylvanica 'Urbanite' / Urbanite Green Ash	2.5" Cal.	B&B
	KOE ELE	9	Koeleria elegans / Golden Rain Tree	2.5" Cal.	B&B
	PN ELD	25	Pinus eldaraica / Afghan Pine	0" Ht.	B&B
	PIS RE2	21	Pistacia chinensis 'Red Push' / Red Push Chinese Pistache	2.5" Cal.	B&B
	QUE FLS	11	Quercus fusiformis / Texas Live Oak	2.5" Cal.	B&B
	QUE ORI	15	Quercus robur x alba 'Crimchmidt' TM / Crimson Spire Oak	2.5" Cal.	B&B
	ULM LTO	14	Ulmus japonica x wilsoniana 'Morton' TM / Accolade Elm	2.5" Cal.	B&B
	AND NGB	45	Andropogon scoparius 'Standing Ovation' / Little Bluestem	1 gal.	Pot

NOT FOR CONSTRUCTION

CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com



Engineer

SIERRA VISTA APARTMENTS  
San Pedro & Eagle Rock  
Albuquerque, New Mexico

ISSUE: DRB SUBMITTAL	
PROJECT NUMBER: 1941	
FILE: KR	
DRAWN BY: KR	
CHECKED BY: KR	

SHEET TITLE  
LANDSCAPE PLAN  
SHEET NUMBER  
LP100



FRONT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



LEFT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



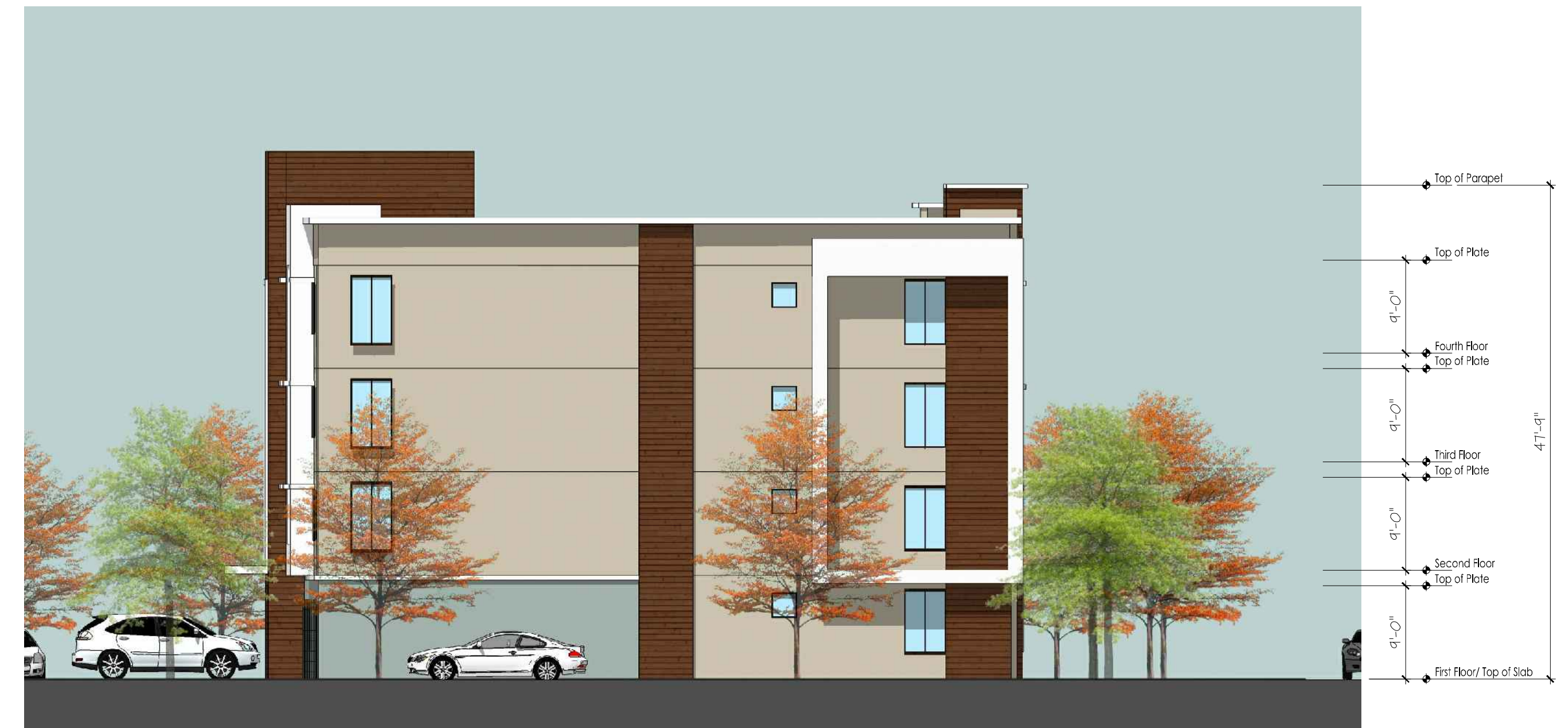
REAR ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



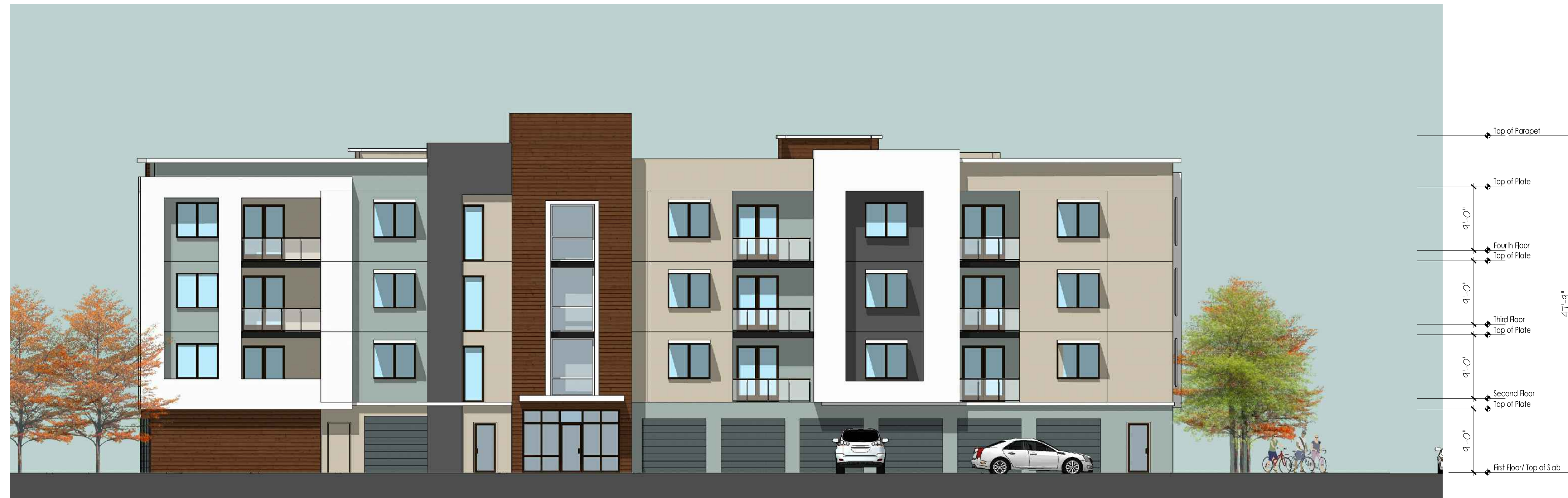
RIGHT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



**FRONT ELEVATION** SCALE=  $\frac{3}{32}$ " : 1'-0"



**LEFT ELEVATION** SCALE=  $\frac{3}{32}$ " : 1'-0"



REAR ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



RIGHT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

Planning, Inc.  
Street NW  
e, NM 87102

GTA SAN PEDRO LLC  
2600 DALLAS PKWY SUITE 370  
FRISCO TX 75034-9483

FIRST-CLASS



US POSTAGE<sup>IM</sup>PITNEY BOWES



ZIP 871 02 \$ 000.73<sup>0</sup>  
02 7H  
0006057985 JUN 24 2022

Planning, Inc.  
Street NW  
e, NM 87102

WCW RESERVE ABQ LLC C/O OLYMPUS  
PROPERTY - ATTN: C WONDERLY  
500 THROCKMORTON ST SUITE 300  
FORT WORTH TX 76102-3745

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Planning, Inc.  
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NM 87102

WCW MARKANA ABQ LLC ATTN:  
OLYMPUS PROP - W CHANDLER  
WONDERLY  
500 THROCKMORTON ST SUITE 300  
FORT WORTH TX 76102-3745

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LHM AMT LLC  
5650 S STATE ST  
SALT LAKE CITY UT 84107-6131

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NM 87102

JR & SR LLC  
9000 PAN AMERICAN FWY NE  
ALBUQUERQUE NM 87113

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anning, Inc.  
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NM 87102

RAIOLA MICHAEL & STAHNKE MARTHA  
6301 OAKLAND AVE NE  
ALBUQUERQUE NM 87113-2451

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Street NW  
e, NM 87102

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SMI ABQ ASSETS LLC DBA DANIELS  
FUNERAL SERVICES  
1100 COAL AVE SE  
ALBUQUERQUE NM 87106-5208

Planning, Inc.  
Street NW  
e, NM 87102

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ZIP 87102 \$ 000.73<sup>0</sup>  
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0006057985 JUN 24 2022

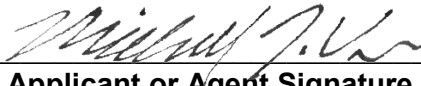
CITY OF ALBUQUERQUE  
PO BOX 2248  
ALBUQUERQUE NM 87103-2248

# SITE PLAN CHECKLIST

Project #: PR-2021-004920 Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

 6/24/22  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

- X 1. Date of drawing and/or last revision
- X 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
  
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
  
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
  
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### **SHEET #3 –GRADING AND DRAINAGE PLAN**

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### **A. General Information**

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### **B. Grading Information**

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

NR-SU (CEMETERY)

NR-SU (SOLID WASTE CONVENIENCE CENTER)

EAGLE ROCK AVENUE NE.  
60' R/W

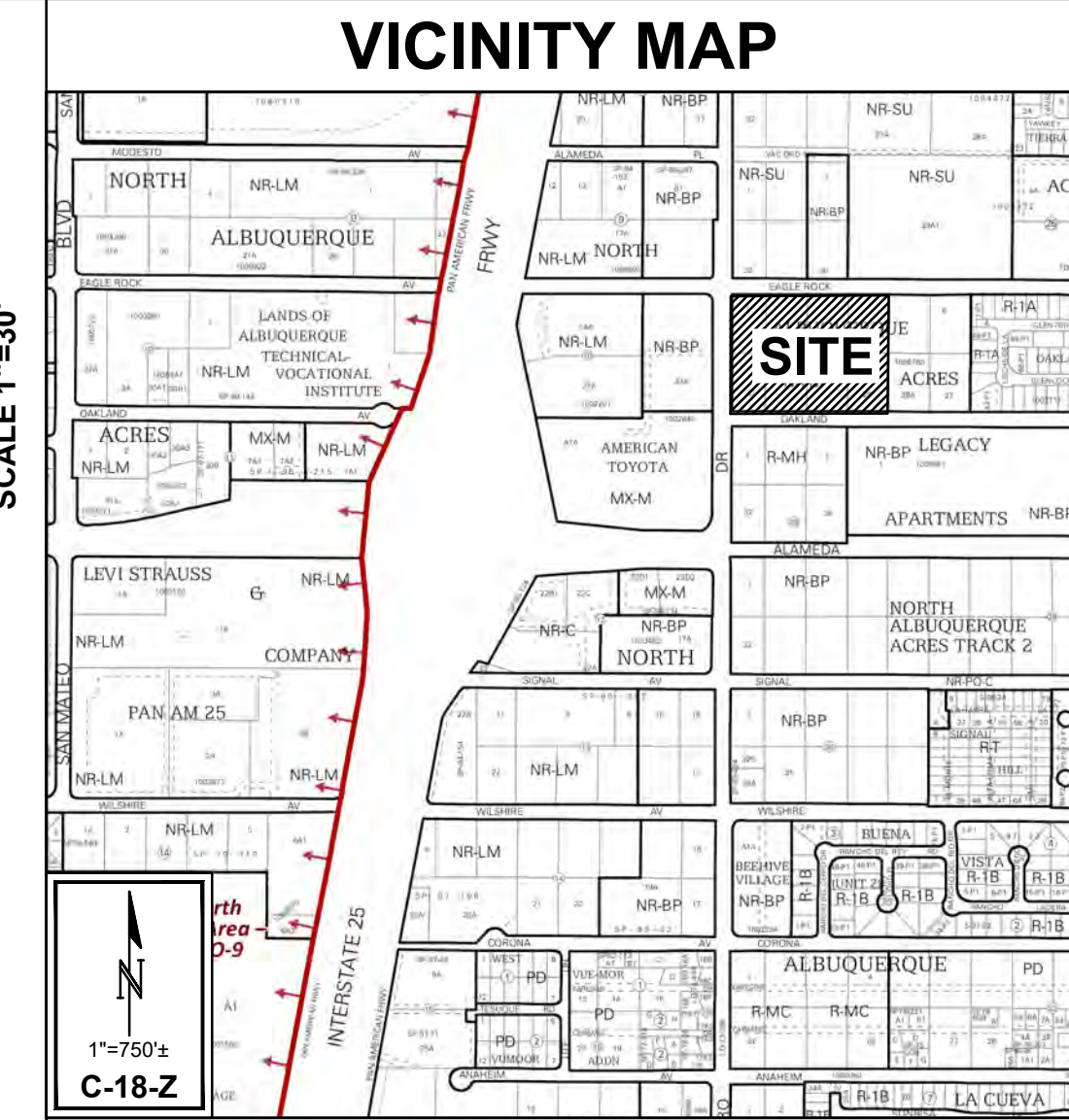
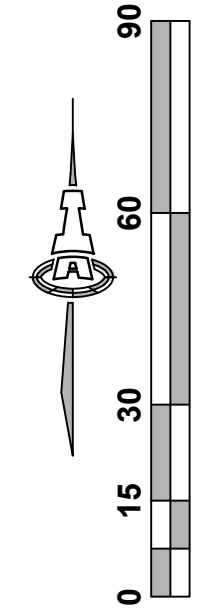
RESIDENT ONLY  
ENTRANCE / EXIT  
PER COA STD DWG 2426

EMERGENCY  
VEHICLE ACCESS  
DRIVEPAD PER  
COA STD DWG  
2425A

ADA RAMP  
PER COA STD  
DWG 2445

CLEAR SIGHT  
TRIANGLE

6' PUBLIC  
SDWK PER COA  
STD DWG 2430.



**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants  
128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.iacivil.com

**PROJECT DATA**

**LEGAL DESCRIPTION:**  
Parcel 1:  
Lots numbered One (1), Two (2), Thirty-one (31) and Thirty-two (32), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

Parcel 2:  
Lots numbered Three (3), Four (4), Twenty-nine (29) and Thirty (30), in Block numbered Twenty-seven (27), Tract A, Unit B, of North Albuquerque Acres, as the same is shown and designated on the Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130.

**SITE AREA:** 6.7686 ACRES

**ZONING:** R-MH

**UNIT CALCULATIONS:**  
1 BR UNITS = 118 (54.1%)  
2 BR UNITS = 100 (45.9%)  
TOTAL UNITS = 218

**PARKING CALCULATIONS:**  
REQUIRED: 1.5 SPACES PER DU = 327 SPACES  
ADA REQUIRED: 8 SPACES (2 VAN SPACES)  
PROVIDED:  
GARAGE= 93 SPACES  
SURFACE= 182 SPACES  
SURFACE (COMPACT)= 76 SPACES  
8 SPACES (3 VAN SPACES)  
TOTAL= 359 SPACES

**ELECTRIC VEHICLE REQUIRED:** 2% TOTAL REQUIRED = 7 SPACES  
**ELECTRIC VEHICLE PROVIDED:** 8 SPACES

**MOTORCYCLE REQUIRED:** 6 SPACES  
**MOTORCYCLE PROVIDED:** 6 SPACES

**BICYCLE REQUIRED:** 34 SPACES  
**BICYCLE PROVIDED**  
SURFACE: 12 SPACES  
INTERNAL TO BUILDINGS: 22 SPACES  
TOTAL= 34 SPACES

**OPEN SPACE CALCULATIONS:**  
REQUIRED:  
225 SQUARE FEET PER 1 BED: 26,550 sf  
285 SQUARE FEET PER 2 BED: 28,500 sf  
TOTAL: 55,050 sf  
PROVIDED:  
BALCONIES/PATIOS: 7,964 sf  
SURFACE: 69,392 sf  
TOTAL= 77,356 sf

**PROJECT NO.:**  
**APPLICATION NO.:**  
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO  
IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRB SITE DEVELOPMENT PLAN APPROVAL**

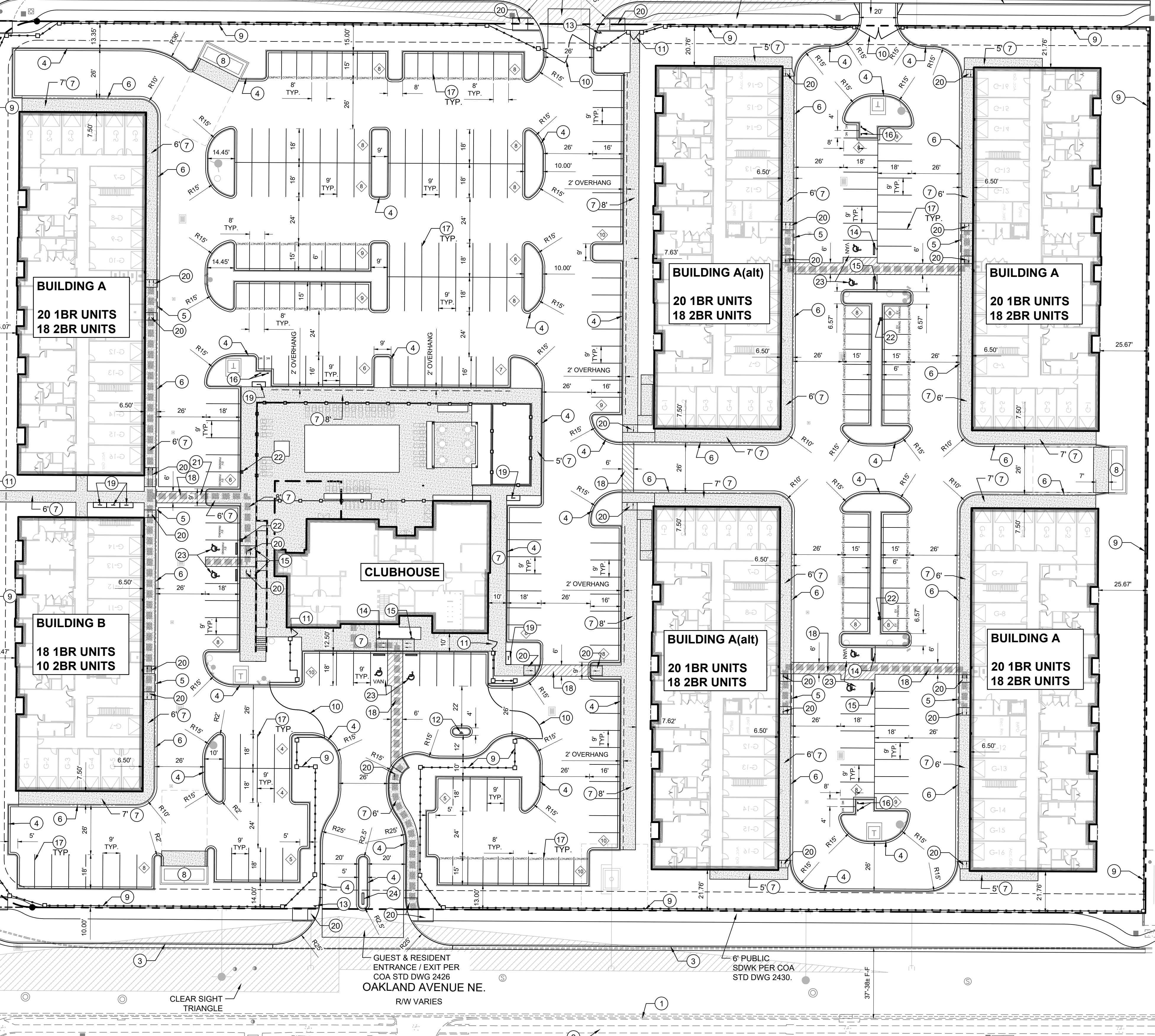
Description	Date
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEERING/HYDROLOGY	DATE
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPT.	DATE
CODE ENFORCEMENT	DATE

CONCEPTUAL  
NOT FOR CONSTRUCTION  
7322  
06/23/2022  
Engineer

**SAN PEDRO APARTMENTS**  
**San Pedro & Eagle Rock**  
**Albuquerque, New Mexico**

DESIGN DEVELOPMENT
ISSUE NUMBER: IA 2471
PROJECT NUMBER: IA 2471
FILE: Bldg/lor
DRAWN BY: FCA
CHECKED BY: XXX-XX-XXXX
DATE:

**SHEET TITLE**  
SITE PLAN  
**SHEET NUMBER**  
SP-100



**GENERAL NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURB RADIUS ARE 2' UNLESS OTHERWISE NOTED.
- C. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- E. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

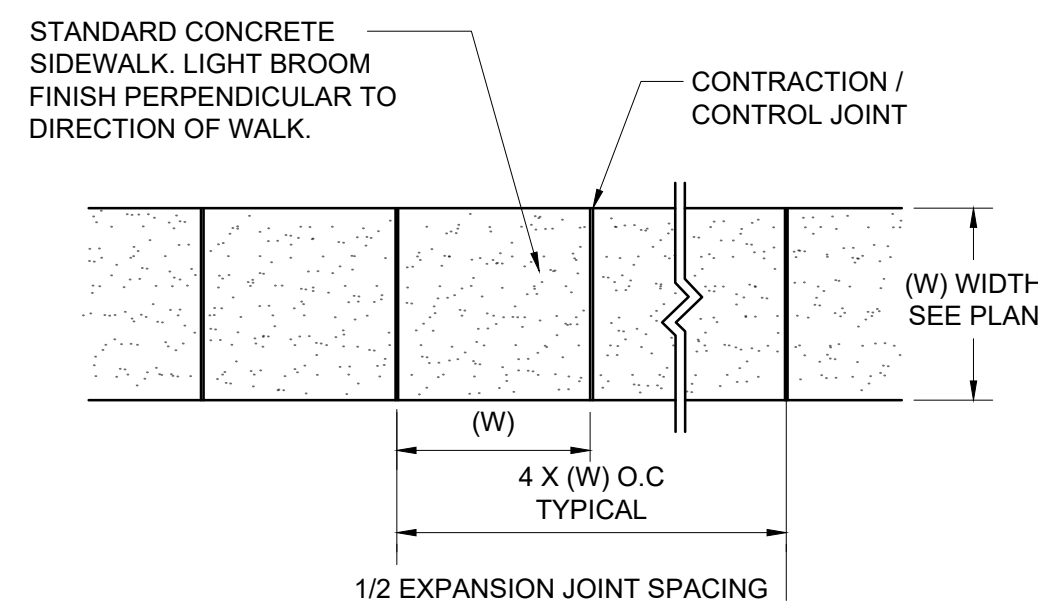
**KEYED NOTES**

- 1. EXISTING CURB & GUTTER.
- 2. EXISTING SIDEWALK.
- 3. STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
- 4. MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CD-501.
- 5. LOW PROFILE MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CD-501.
- 6. ESTATE CURB, PER DETAIL ON SHEET CD-501.
- 7. SIDEWALK, PER DETAIL ON SHEET CD-501.
- 8. REFUSE ENCLOSURE, PER DETAIL ON SHEET CD-501.
- 9. PERIMETER FENCE/WALL.
- 10. VEHICULAR ACCESS GATE.
- 11. PEDESTRIAN ACCESS GATE.
- 12. GUEST GATE CALL BUTTON
- 13. SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CD-501.
- 14. SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CD-501.
- 15. SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CD-501.
- 16. SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CD-501.
- 17. 4" WHITE STRIPE
- 18. CROSSWALK STRIPING, PER DETAIL ON SHEET CD-501.
- 19. BICYCLE RACK, PER DETAIL ON SHEET CD-501.
- 20. ADA RAMP, PER DETAIL ON SHEET CD-502.
- 21. RAISED CROSSWALK, PER DETAIL ON SHEET CD-502.
- 22. EV CHARGING STATION
- 23. ADA PARKING, PER DETAIL ON SHEET CD-502.
- 24. MONUMENT SIGNAGE.

**LEGEND**

- ADA SPACE
- PEDESTRIAN CROSS WALK
- DUAL PORT EV CHARGER
- ADA PATHWAY
- BIKE RACK
- PARKING ROW COUNT
- PROPERTY LINE

PROJECT NUMBER: IA 2471  
DATE: 06/23/2022  
DRAWN BY: FCA  
CHECKED BY: XXX-XX-XXXX

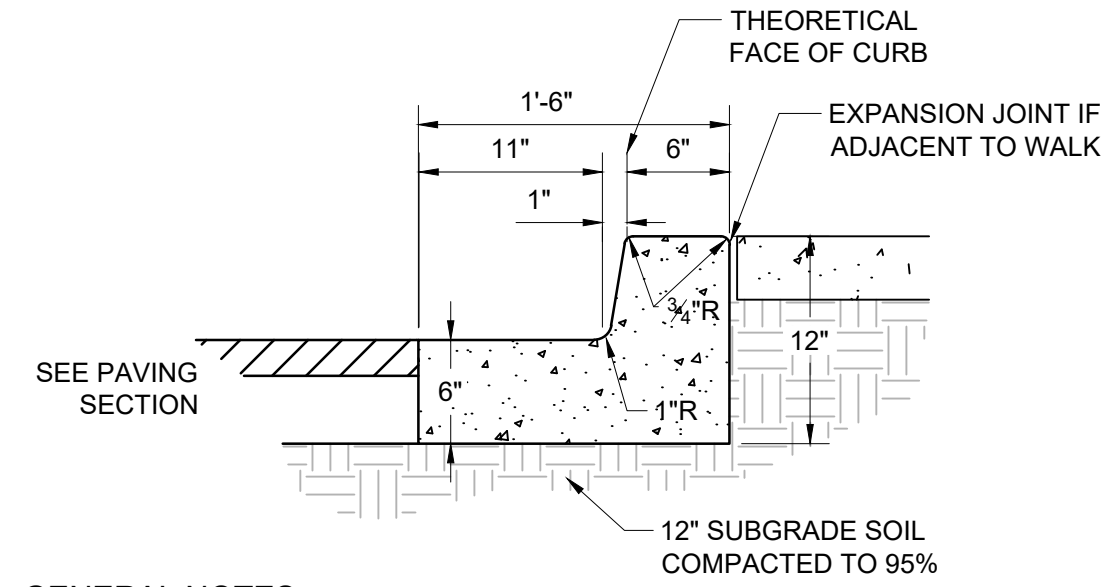


**GENERAL NOTES**

- 4000 PSI COMPRESSIVE STRENGTH CONCRETE
- SEE CONCRETE JOINTS DETAIL
- FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
- 3/8" RADII AT ALL EXPOSED EDGES.

**CONCRETE WALK**

BROOM FINISH SCALE: N.T.S.

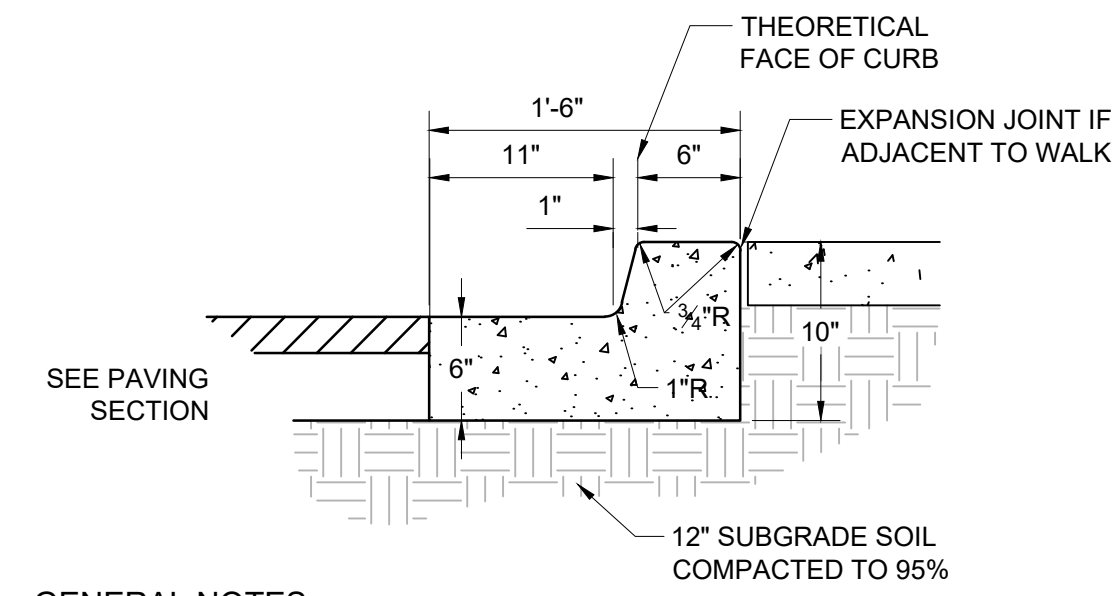


**GENERAL NOTES**

- REQUIRES FULL FORM ON ALL FACES.
- CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
- EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

**MEDIAN CURB AND GUTTER**

6" WIDE THEORETICAL FACE OF CURB SCALE: N.T.S.

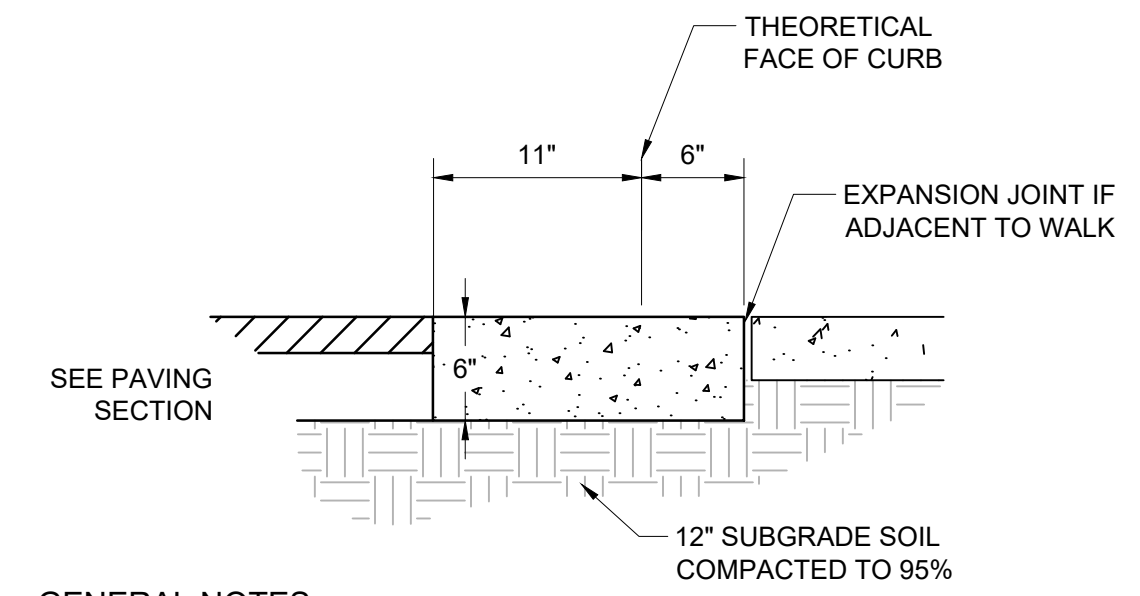


**GENERAL NOTES**

- REQUIRES FULL FORM ON ALL FACES.
- CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
- EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

**LOW PROFILE MEDIAN CURB AND GUTTER**

6" WIDE THEORETICAL FACE OF CURB SCALE: N.T.S.

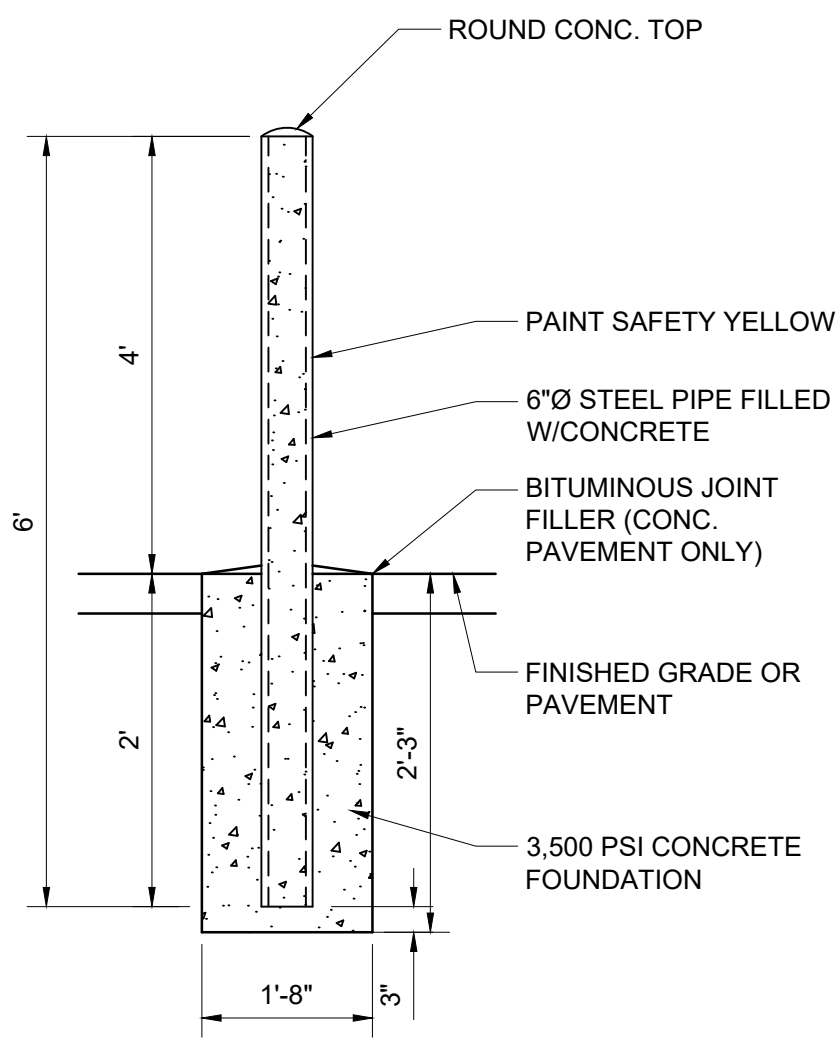


**GENERAL NOTES**

- REQUIRES FULL FORM ON ALL FACES.
- CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
- EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

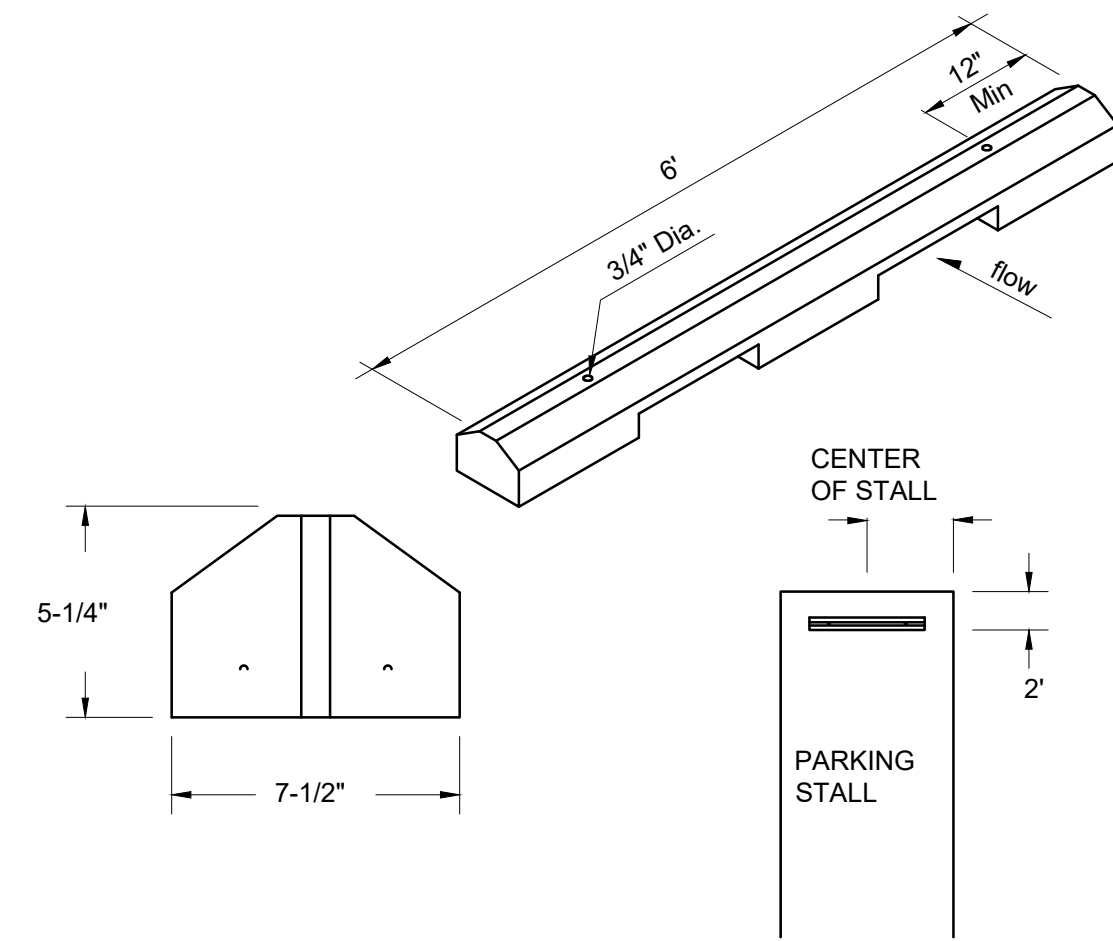
**ESTATE CURB**

6" WIDE THEORETICAL FACE OF CURB SCALE: N.T.S.



**CONCRETE FILLED BOLLARD**

SCALE: N.T.S.

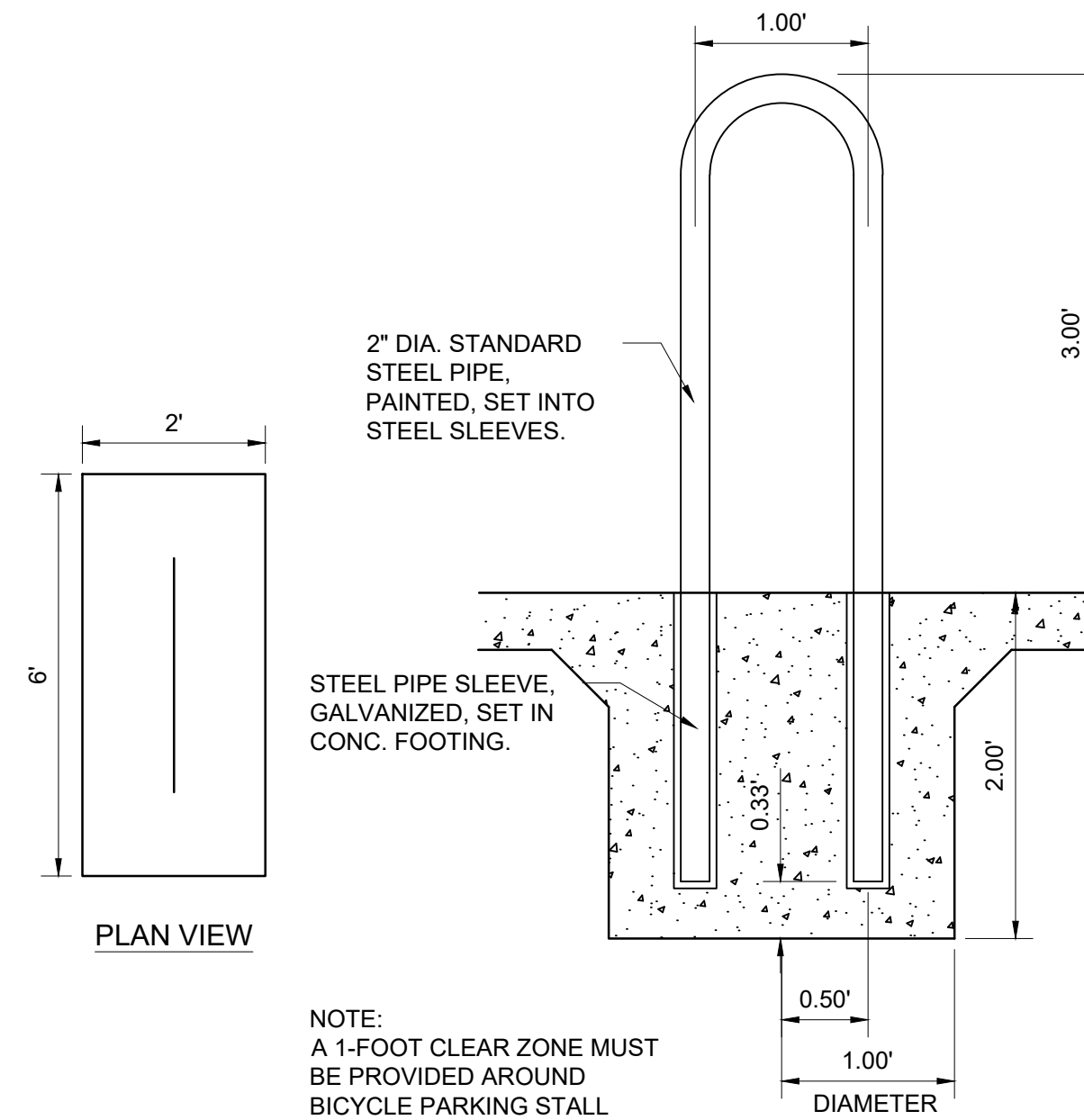


**GENERAL NOTES**

- WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL. WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.
- BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.
- INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS SPECIFICATIONS.

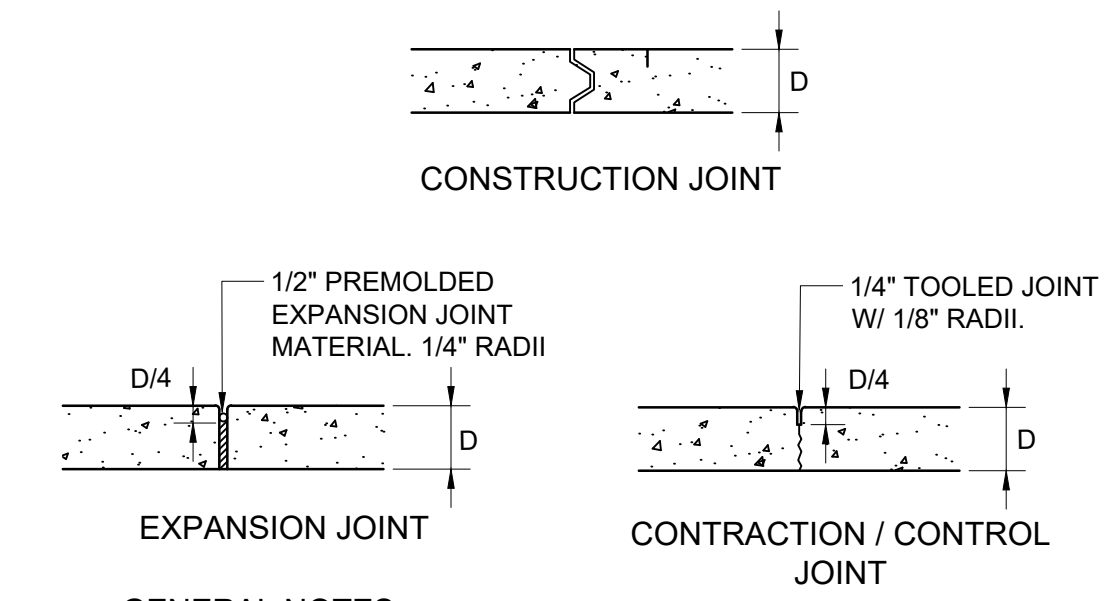
**CONCRETE WHEEL STOP**

SCALE: N.T.S.



**BICYCLE RACK**

SCALE: N.T.S.

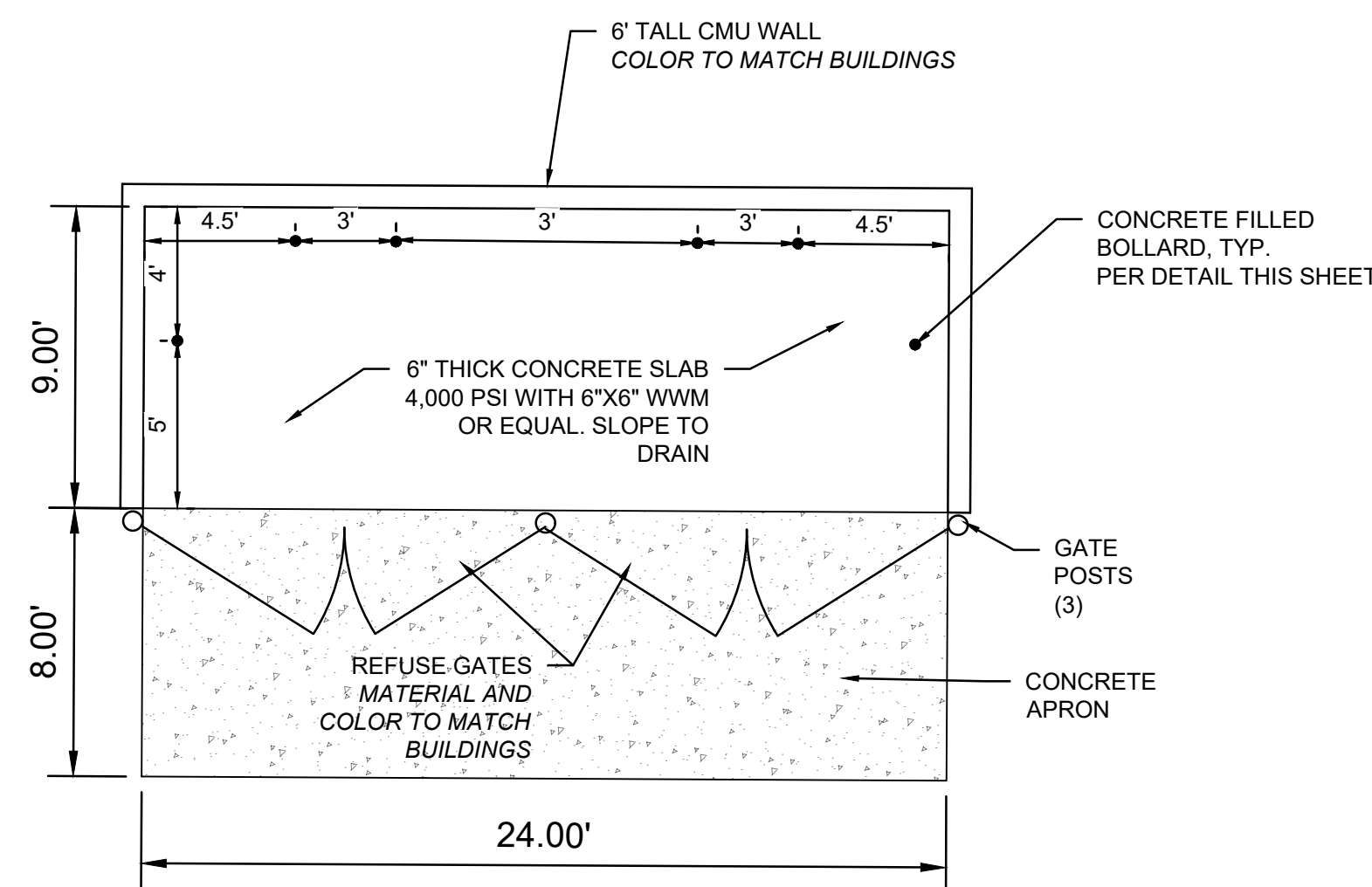


**GENERAL NOTES**

- ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
- LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
- TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15' OR LESS
- OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

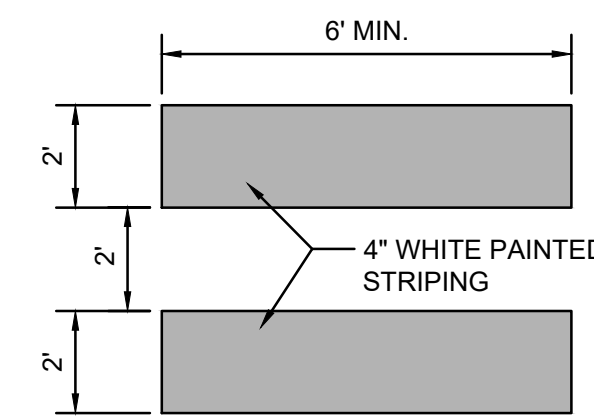
**CONCRETE JOINTS**

SCALE: N.T.S.



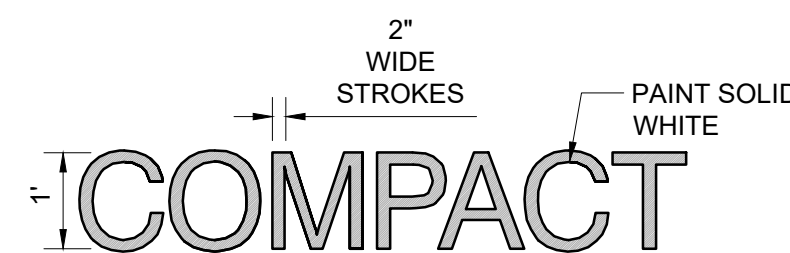
**REFUSE ENCLOSURE**

SCALE: N.T.S.



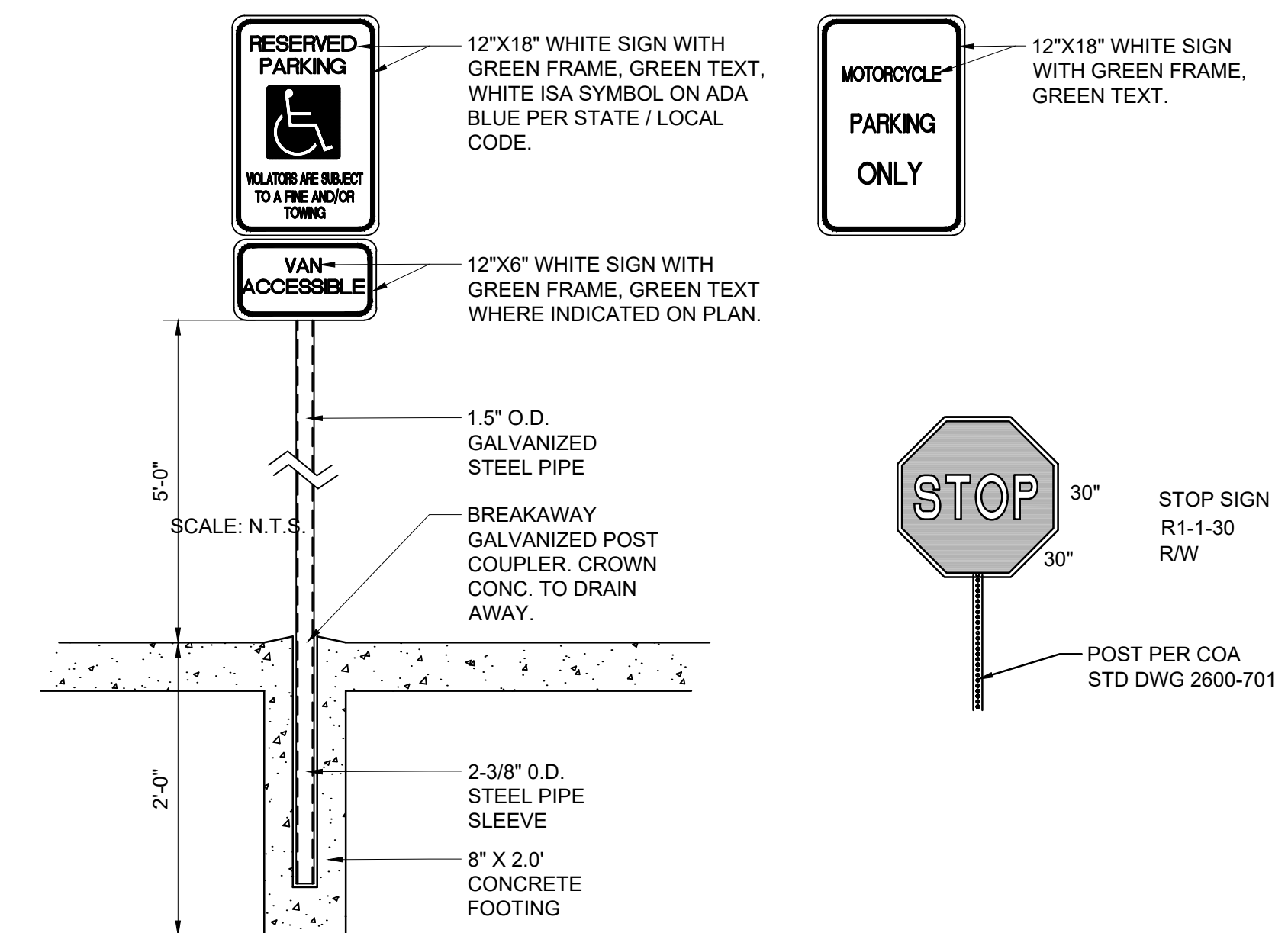
**PAINTED CROSSWALK MARKINGS**

SCALE: N.T.S.



**PAINTED 'COMPACT'**

SCALE: N.T.S.



**SIGNAGE**

SCALE: N.T.S.

DESIGN	ISSUE: DEVELOPMENT
PROJECT NUMBER: IA 2471	FILE: -
DRAWN BY: BJB/hor	CHECKED BY: FCA
DATE: XXX-XX-XXXX	

No	Date	Description

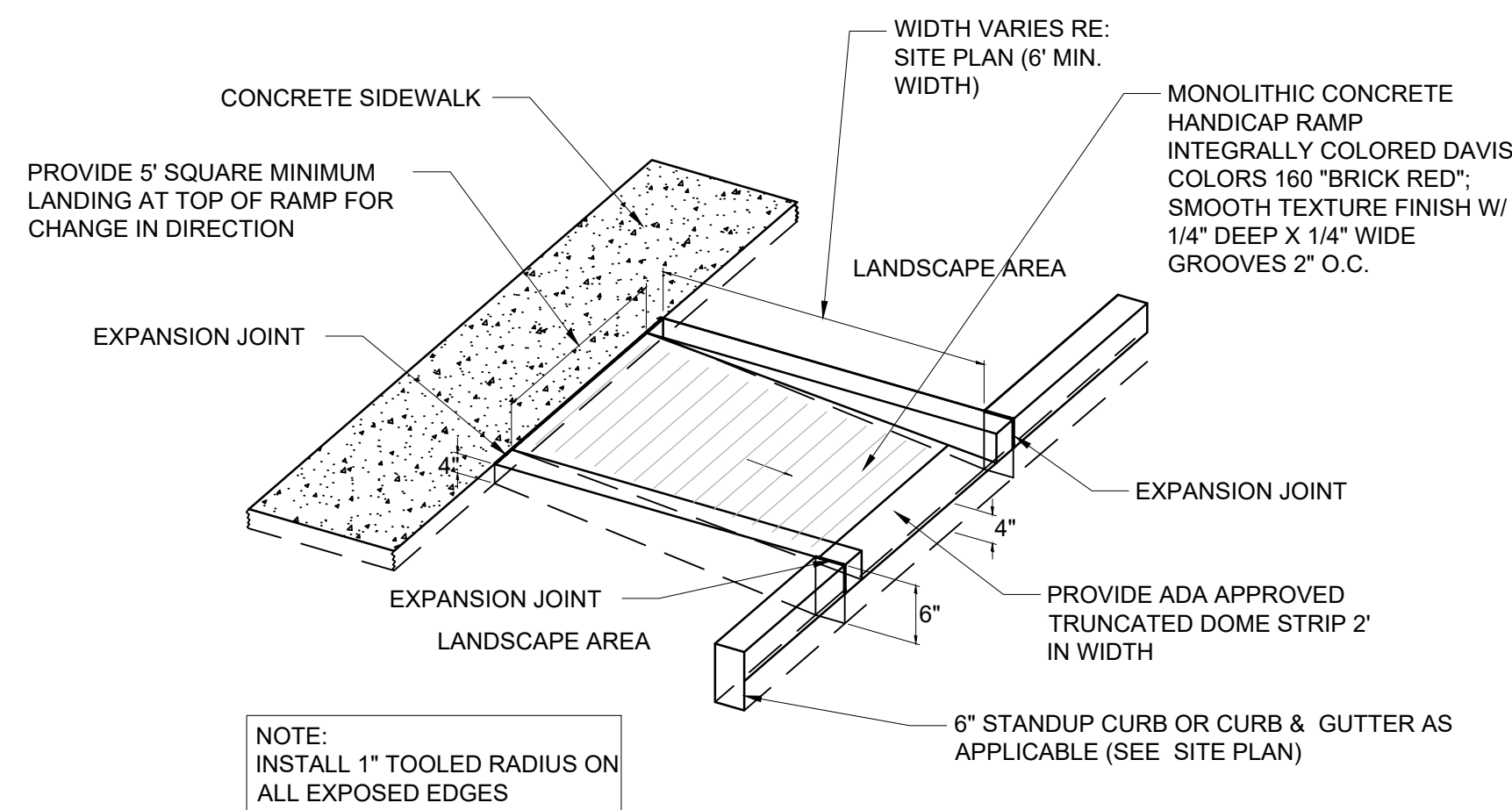
**SHEET TITLE**

**SITE DETAILS**

**SHEET NUMBER**

**CD-501**





NOTE:  
INSTALL 1\"/>

NOTE:  
H.C RAMP SHALL NOT EXCEED 6\"/>

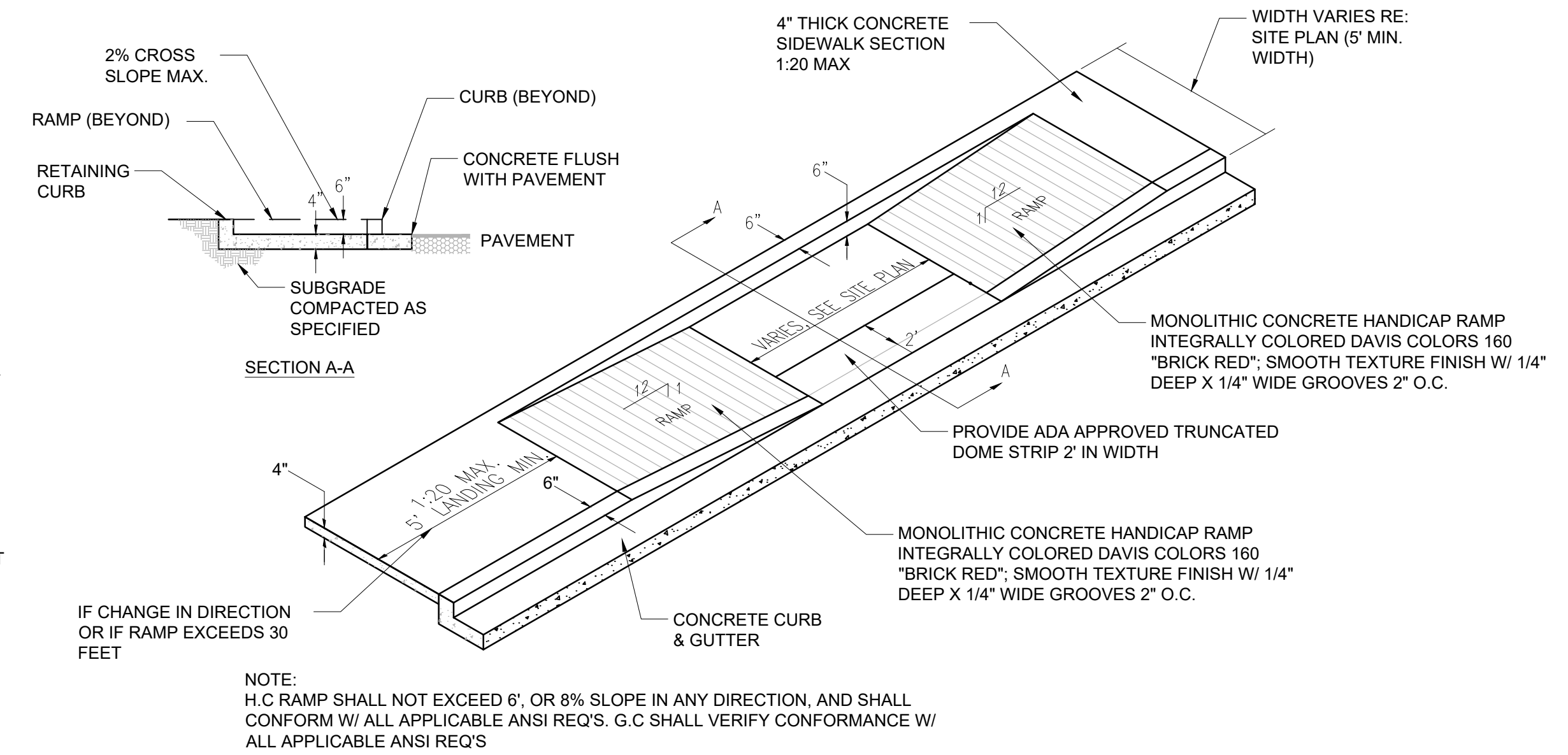
### ADA ACCESSIBLE RAMP NOTES

#### KEYED NOTES

- (A) PCC LANDING AREA AT 2% SLOPE (MAX.) IN ALL DIRECTIONS.
- (B) PCC RAMP AT 8.3% MAX. SLOPE OR 15' LONG (MAX.) AND 2% MAX CROSS SLOPE.
- (C) 2' DETECTABLE WARNING SURFACE (TRUNCATED DOMES), CAST IN PLACE, REPLACEABLE.
- (D) 6\"/>

#### DETECTABLE WARNING SURFACE NOTES

1. DESIGN PER ADA ACCESSIBILITY GUIDELINES (ADAAG).
2. PAYMENT FOR DETECTABLE WARNING SURFACE IS INCIDENTAL TO ADA ACCESSIBLE RAMP PAYMENT ITEM.
3. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
4. DETECTABLE WARNING SURFACE TO BE A PRODUCT THAT IS CAST-IN-PLACE AND REPLACEABLE.
5. SEGMENTED DETECTABLE WARNING SURFACE AT BACK OF CURB TO BE CUT AND FIT PER MANUFACTURER'S INSTRUCTIONS. THE DETECTABLE WARNING SURFACE SHALL BE NO MORE THAN 5\"/>



IF CHANGE IN DIRECTION OR IF RAMP EXCEEDS 30 FEET

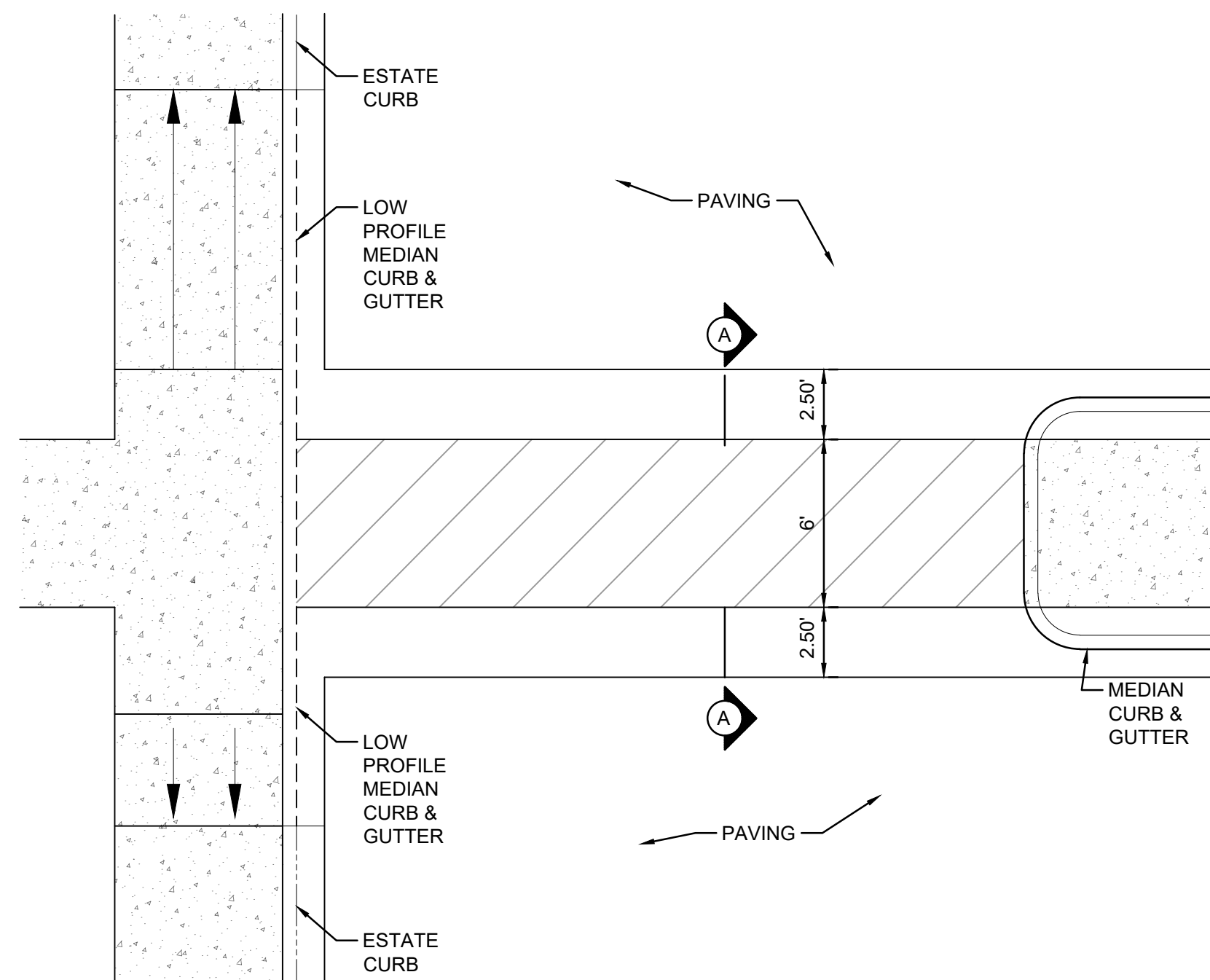
NOTE:  
H.C RAMP SHALL NOT EXCEED 6\"/>

### ADA CURBED RAMP DETAIL

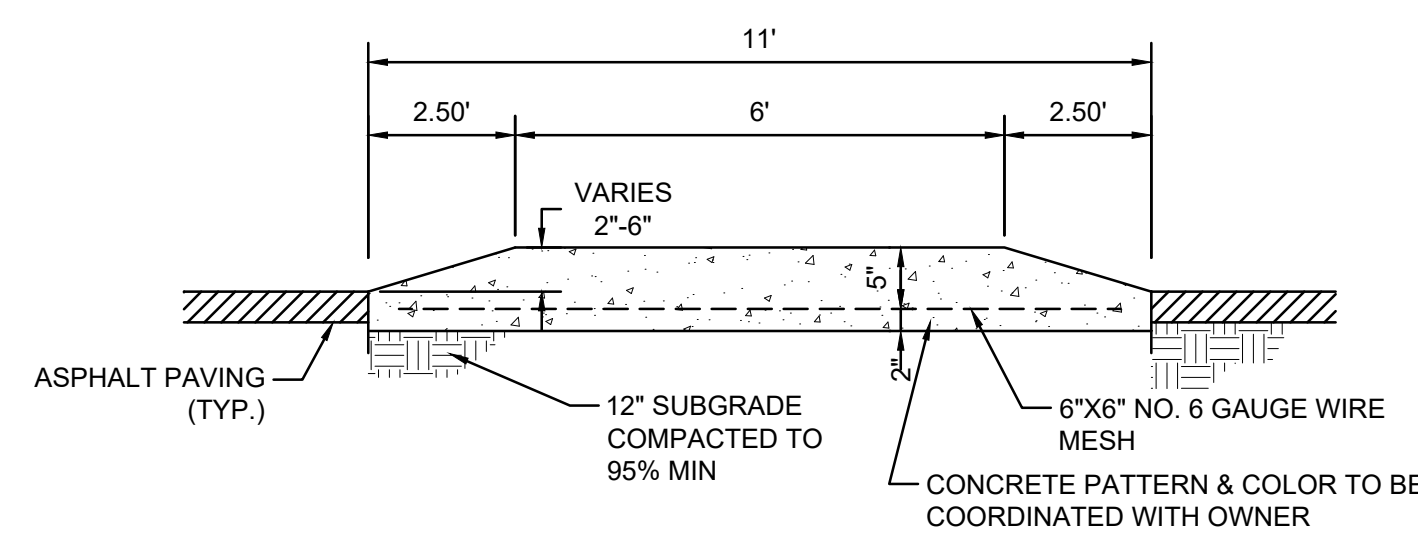
SCALE: N.T.S.

### ADA TAPERED RAMP DETAIL

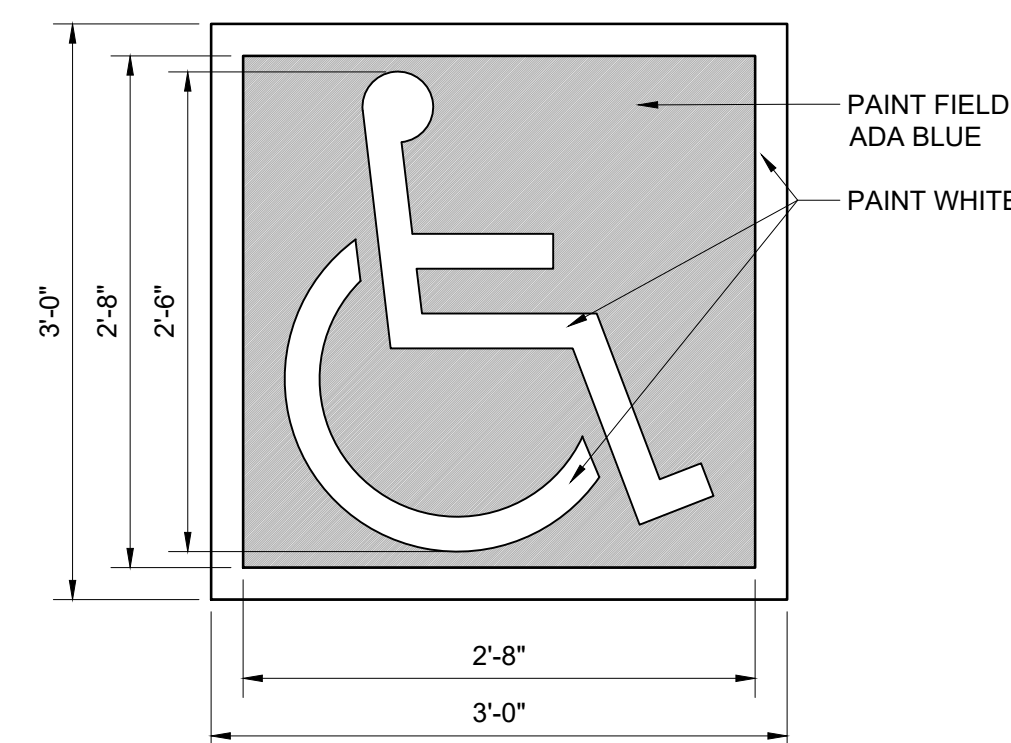
SCALE: N.T.S.



**PLAN VIEW**  
SCALE: 1"=5'

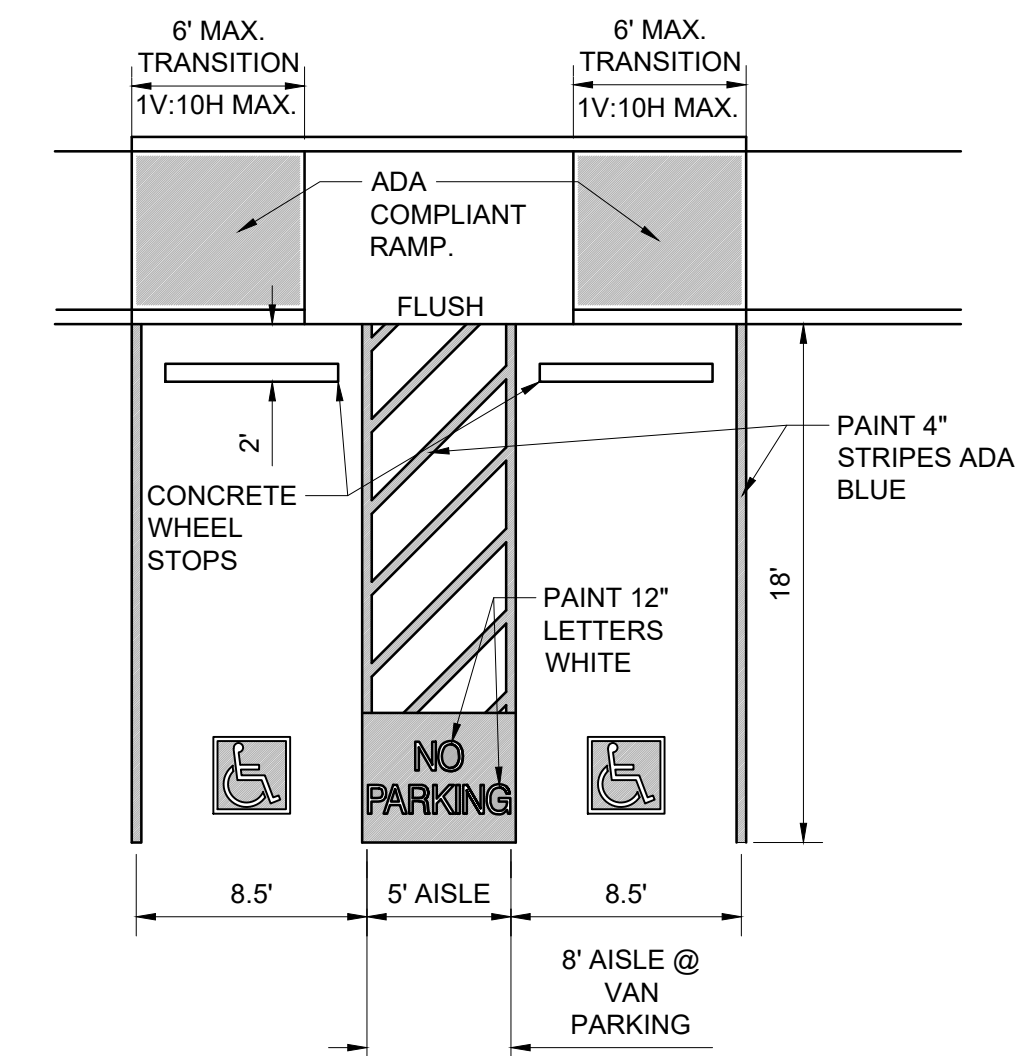


**SECTION A-A**  
SCALE: N.T.S.



**ACCESSIBILITY SYMBOL**

SCALE: N.T.S.



**ADA PARKING DETAIL**

SCALE: N.T.S.

### RAISED CROSSWALK

### ACCESSIBILITY SYMBOL

### ADA PARKING DETAIL

### SAN PEDRO APARTMENTS

### San Pedro & Eagle Rock Albuquerque, New Mexico

DESIGN	DEVELOPMENT
ISSUE:	IA 2471
PROJECT NUMBER:	IA 2471
FILE:	
DRAWN BY:	BjB/lor
CHECKED BY:	FCA
DATE:	XX-XX-XXXX

No	Date	Description

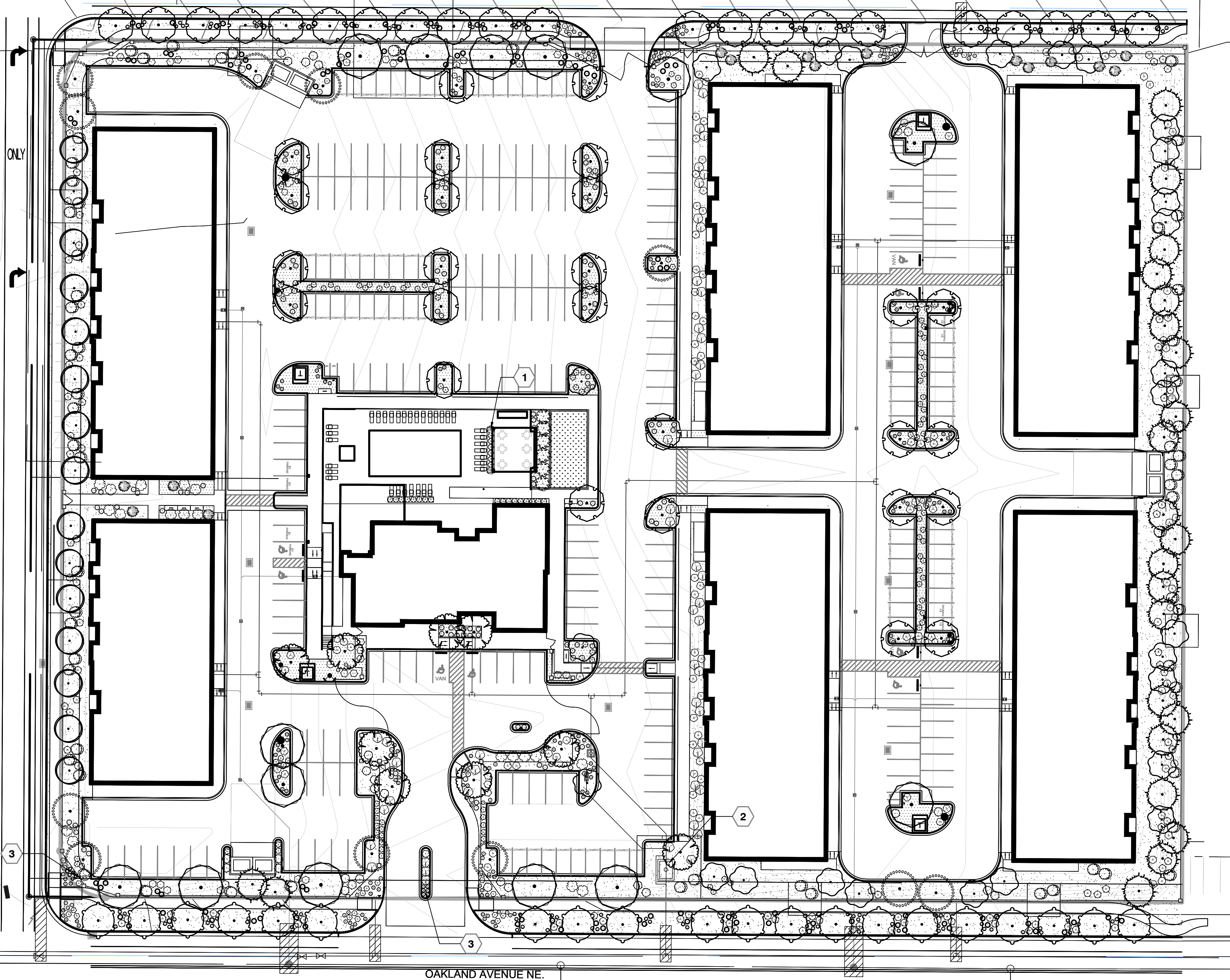
SHEET TITLE

SITE ADA  
DETAILS

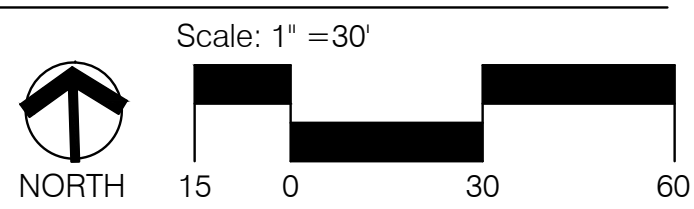
SHEET NUMBER

**CD-502**

EAGLE ROCK AVENUE NE.



**A1 LANDSCAPE PLAN**



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
CH LIN	26		Chilopsis linearis / Desert Willow	2.5' Cal.	B&B
FRA URB	47		Fraxinus pennsylvanica 'Urbanite' / Urbanite Green Ash	2.5' Cal.	B&B
KOE ELE	9		Koeleria elegans / Golden Rain Tree	2.5' Cal.	B&B
PN ELD	25		Pinus eldora / Afghan Pine	0' Ht.	B&B
PIS RE2	21		Pistacia chinensis 'Red Push' / Red Push Chinese Pistache	2.5' Cal.	B&B
QUE FUS	11		Quercus fusiformis / Texas Live Oak	2.5' Cal.	B&B
QUE ORI	15		Quercus robur x alba 'Crimchmidt' TM / Crimson Spire Oak	2.5' Cal.	B&B
ULM LTO	14		Ulmus japonica x wilsoniana 'Morton' TM / Accolade Elm	2.5' Cal.	B&B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
AND NGB	45		Andropogon scoparius 'Standing Ovation' / Little Bluestem	1 gal.	Pot

ARC CHI	49		Arctostaphylos x cotinifera 'Chieftain' / Chieftain Mock Bearberry Marzetta	5 gal.	Pot
CER INT	31		Cercocarpus intricata / Littleleaf Mountain Mahogany	15 gal.	Pot
CYT SCO	25		Cytisus scoparius 'Moonlight' / Moonlight Broom	1 gal.	Pot
ELE CMM	6		Elaeagnus commutata 'Quicksilver' / Quicksilver Silverberry	15 gal.	Pot
ERI LAR	107		Ericameria laricina 'Aguine' TM / Aguire Turpentine Bush	1 gal.	Pot
ELP MYR	30		Euphorbia myrsinites / Myrtle Spurge	1 gal.	Pot
FOR NEM	26		Forestiera neomexicana / New Mexico Privet	15 gal.	Pot
MAH COM	15		Mahonia aquifolium 'Compact' / Compact Oregon Grape	5 gal.	Pot
MAH HAE	63		Mahonia haematocha / Red Barberry	15 gal.	Pot
NOL MIC	116		Nolina microcarpa / Sacahuista	1 gal.	Pot
OPU BAB	25		Opuntia basilaris 'Baby Rio' / Beavertail Pricklypear	1 gal.	Pot

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION
1	SHADE TRELLIS AND VINE PLANTINGS
2	WATER UTILITY VAULT
3	SIGNAGE

**GENERAL LANDSCAPE NOTES**

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- ALL PLANTING AREAS ARE TO HAVE WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.
- ALL EXISTING PLANT MATERIALS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. DAMAGED MATERIALS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. FOR IRRIGATION PLANS REFERENCE SHEETS LI-100, L-500.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING** WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED BARK MULCH AT TREES**  
SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3" DIAMETER CIRCLE.

ALL SLOPES OVER 3:1 SHALL RECEIVE 8" DEPTH OF 4"-8" COBBLE FOR EROSION CONTROL.

**LANDSCAPE CALCULATIONS**

SITE AREA (6.7686 AC)	294,840 SF
BUILDING FOOTPRINT	83,987 SF
NET LOT	210,853 SF
REQUIRED / PROVIDED LANDSCAPE	44,226 SF (15%) / 59,484 SF (13%)

**COVERAGE**

REQUIRED / PROVIDED VEGETATIVE COVER	33,170 SF (75%) / 114,954 SF (347%)
REQUIRED / PROVIDED GROUND-LEVEL COVER	11,057 SF (25%) / 25,019 SF (226%)

**PARKING LOT TREES**

PARKING LOT SPACES PROVIDED	266
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	27 / 59

**PARKING LOT AREA**

AT LEAST 10 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR FEWER SPACES SHALL BE LANDSCAPED.	
PARKING LOT AREA	135,205 SF
REQUIRED / PROVIDED PARKING LOT LANDSCAPE	19,705 SF (15%) / 20,281 SF

ANY PARKING LOT LOCATED WITHIN 30 FEET OF THE FRONT LOT LINE SHALL BE SCREENED FROM THE STREET BY A LANDSCAPE BUFFER AT LEAST 10 FEET IN WIDTH OF CONTINUOUS EVERGREEN SHRUBBERY 3 FEET IN HEIGHT.

ANY PARKING LOT LOCATED WITHIN 20 FEET OF THE SIDE OR REAR LOT LINE SHALL BE SCREENED BY A LANDSCAPE STRIP AT LEAST 6 FEET WIDE CONTAINING AT LEAST 2 TREES AND 6 SHRUBS PER 25 FEET OF THE PARKING LOT EDGE.

**STREET TREES**  
STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. OAKLAND AVE NE. IS 50'; REQUIRED / PROVIDED STREET TREES: 20 / 21  
SAN PEDRO DR NE. IS 45'; REQUIRED / PROVIDED STREET TREES: 20 / 21  
EAGLE ROCK AVE NE. IS 53'; REQUIRED / PROVIDED STREET TREES: 21 / 21

**TREE PER UNIT REQUIREMENTS**

TOTAL UNITS: 218	
FIRST STORY UNITS: 109	
REQUIRED (1) TREE PER UNIT. REQUIRED / PROVIDED	109/154

**CLEAR SIGHT DISTANCE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

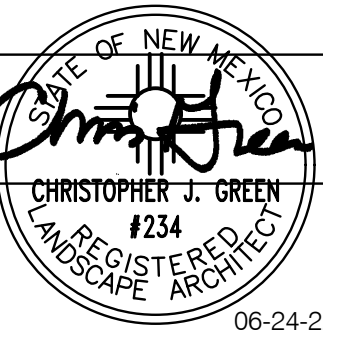
**GRAVEL MULCH AND GROUND SURFACE LEGEND**

- 10,680 SF 1" CRUSHED ROSETONE JPR GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
- 5,315 SF 3/4" TAMPICO PINK JPR GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
- XXXXSF FENCED SYNTHETIC TURF DOG PARK.

OPU SAN	73		Opuntia santa-rita 'Tuboc' TM / Santa Rita Pricklypear	1 gal.	Pot
PAN SHD	125		Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	1 gal.	Pot
PRU PAW	107		Prunus besseyi 'P011S' TM / Pawnee Buttes Sand Cherry	1 gal.	Pot
RHU AUT	112		Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac	1 gal.	Pot
SAL MOH	32		Salvia mohaverensis / Mojave Sage	5 gal.	Pot
TEU ARD	128		Teucrium arcanum / Creeping Germanier	1 gal.	Pot
WIS PUR	4		Wisteria sinensis 'Purple' / Purple Chinese Wisteria	5 gal.	Pot

NOT FOR CONSTRUCTION

CONSENSUS PLANNING, INC.  
Planning / Landscape Architecture  
302 Eighth Street NW  
Albuquerque, NM 87102  
(505) 764-9801 Fax 842-5495  
e-mail: cp@consensusplanning.com

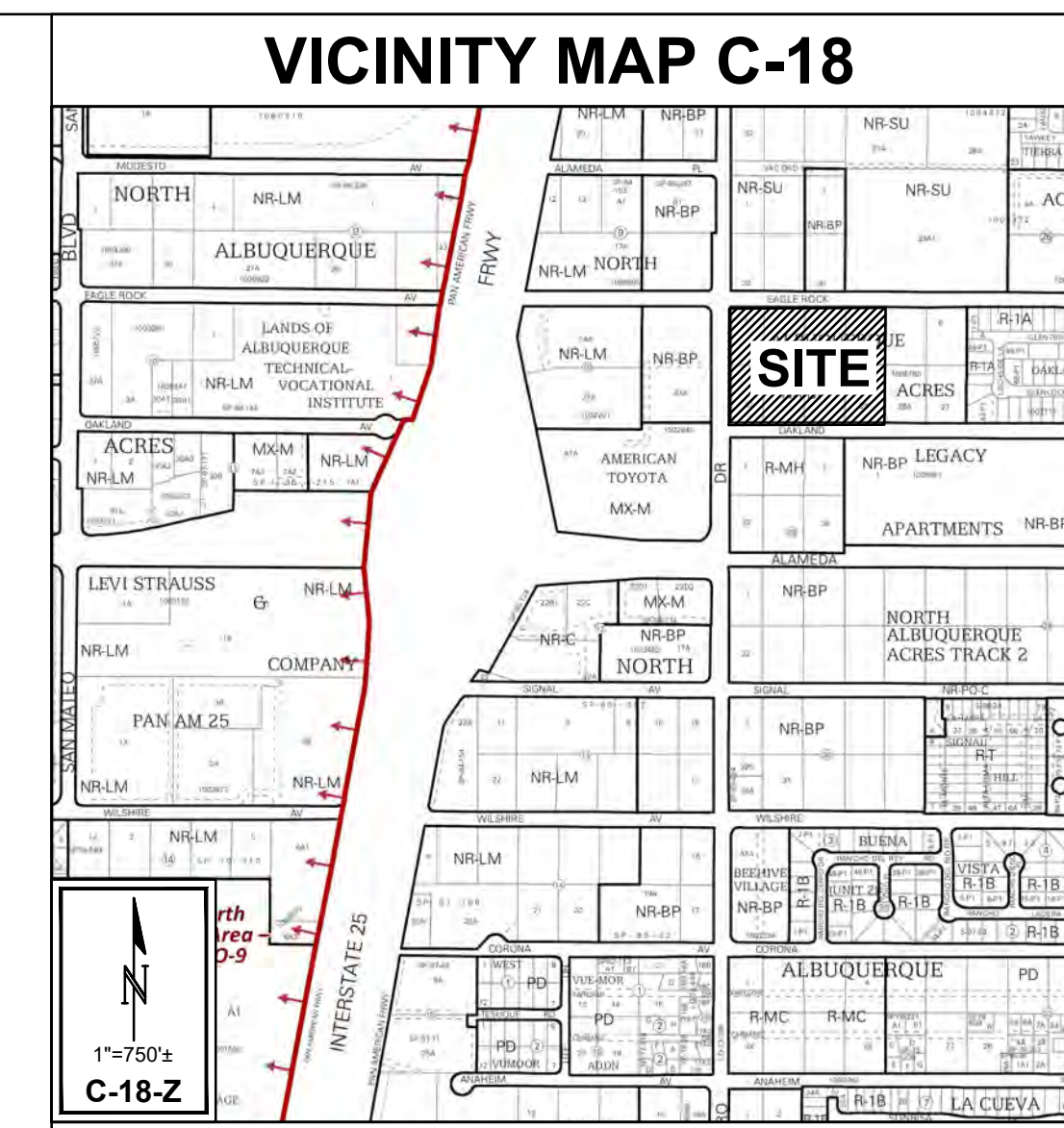
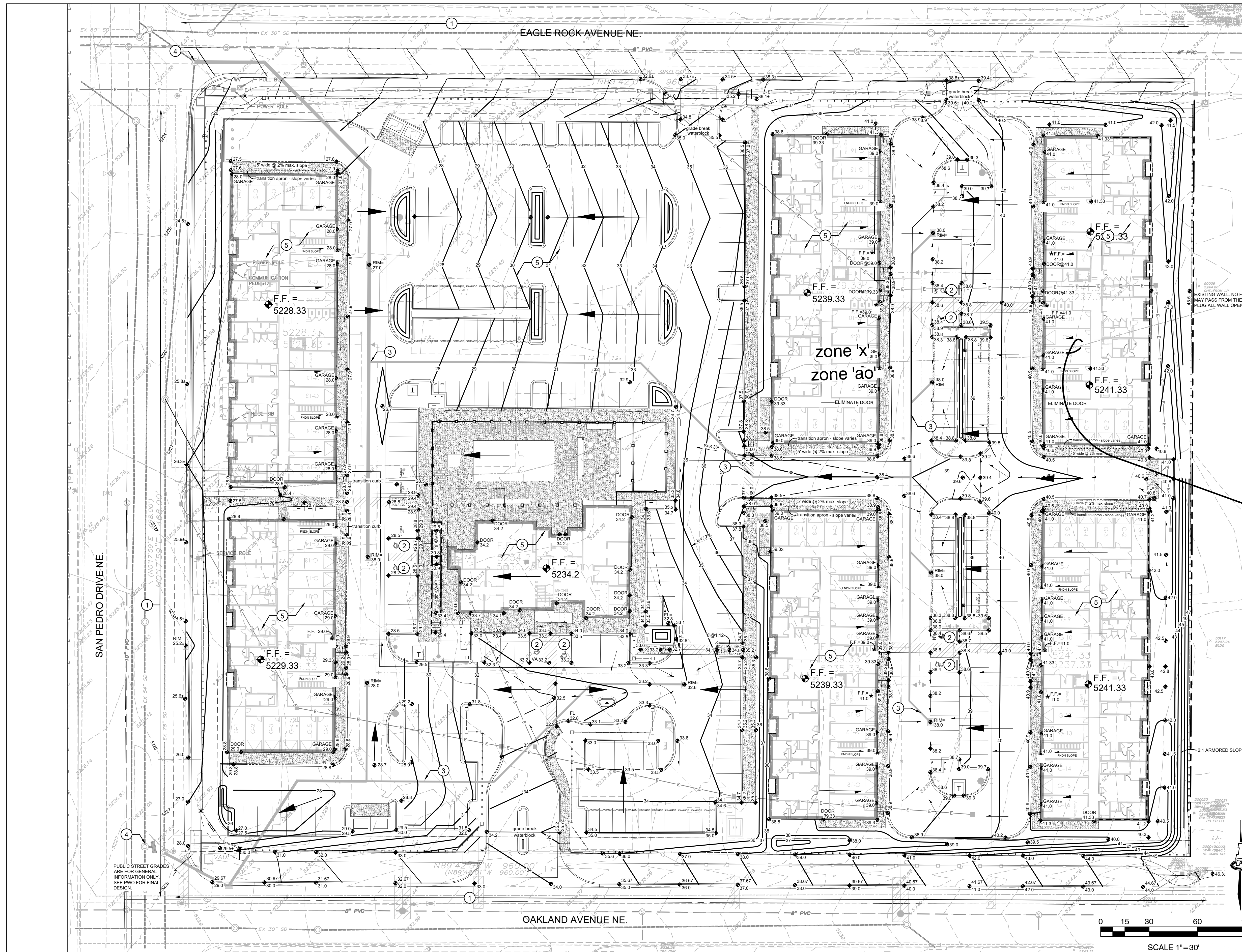


Engineer

**SIERRA VISTA APARTMENTS**  
**San Pedro & Eagle Rock**  
**Albuquerque, New Mexico**

ISSUE: DRB SUBMITTAL	
PROJECT NUMBER: 1941	
FILE: KR	
DRAWN BY: KR	
CHECKED BY: KR	

**LANDSCAPE PLAN**  
**LP100**



### PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP C-18. THE SITE IS BOUND TO THE WEST BY SAN PEDRO BLVD., TO THE NORTH BY EAGLE ROCK AVE., TO THE SOUTH BY OAKLAND AVE. AND TO THE EAST BY DEVELOPED COMMERCIAL PROPERTY. THE PROPERTY SLOPES FROM EAST TO WEST AT APPROXIMATELY 3%.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE MULTI-STORY APARTMENT BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, SITE AMENITIES, AND LANDSCAPING.

LEGAL: LOTS 1, 2, 3, 4, 29, 30, 31 AND 32, BLOCK 27, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO.

AREA: 6.580 AC

BENCHMARKS: ALBUQUERQUE CONTROL SURVEY MONUMENT 10C\_18, ELEVATION (FEET) = 5222.09 (NAVD88)

ALBUQUERQUE CONTROL SURVEY MONUMENT 9C\_18, ELEVATION (FEET) = 5232.47 (NAVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0137H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AND IN ZONE 'AO' - DEPTH 1 FOOT. A L.O.M.R. IS UNDERWAY ELIMINATE THE FLOOD ZONE IN THE AREA.

DRAINAGE PLAN CONCEPT:

BASED ON THE DESIGN ANALYSIS REPORT FOR SAN PEDRO STORM DRAIN (CITY PROJECT NO. 5304.91) DATED JANUARY 2010, PREPARED BY THOMPSON ENGINEERING CONSULTANTS, INC., THE PROPOSED LOTS FALL WITHIN DRAINAGE BASINS 116.2 (LOTS 1, 2, 3 AND 4 = 3.29 ACRE @ 4.02 CFS/ACRE = 13.23 ALLOWABLE DISCHARGE) AND 117.2 (LOTS 29, 30, 31 AND 32 = 3.29 ACRE @ 3.80 CFS/ACRE = 12.50 ALLOWABLE DISCHARGE) FOR A TOTAL OF 25.73 CFS.

THE PROPERTY WILL DISCHARGE, AT A RATE NOT TO EXCEED 25.73 CFS, TO THE SURROUNDING STREETS AND TO THE EXISTING STORM DRAIN INFRASTRUCTURE LOCATED WITHIN THE ADJACENT STREETS. SURFACE AND/OR SUB-SURFACE STORMWATER DETENTION WILL BE PROVIDED IF NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.

PER PRE-DESIGN CONSULTATION WITH RENÉE BRISSETTE, PE, THIS SITE MAY DISCHARGE THE ALLOWABLE RATE DIRECTLY TO THE EXISTING STORM DRAIN(S) LOCATED WITHIN SAN PEDRO.

### CALCULATIONS: San Pedro Apartments : 4/28/2021

Based on Drainage Design Criteria for City of Albuquerque Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR STORM

DEVELOPED FLOWS:		EXCESS PRECIP:	
Area	SF	%	Precip. Zone
Area A	0	0%	3
Area B	82555	28%	Ea = 0.67
Area C	0	0%	Eb = 0.86
Area D	212285	72%	Ec = 1.09
Total	294840	100%	Ed = 2.58

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted } E = \frac{EaA + EbB + EcC + EdD}{A + B + C + D} = 2.10 \text{ in.}$$

$$\text{On-Site Volume of Runoff: } V_{360} = E^*A / 12 = 21327 \text{ CF}$$

$$\text{On-Site Peak Discharge Rate: } Q_p = Q_pA + Q_pB + Q_pC + Q_pD / 43.56 = 16.9 \text{ CFS}$$

For Precipitation Zo 3

$Q_{pA}$	= 1.84	$Q_{pC}$	= 3.17
$Q_{pB}$	= 2.49	$Q_{pD}$	= 4.49
Hist. $Q_p$	= 16.9 CFS	Dev. $Q_p$	= 26.6 CFS

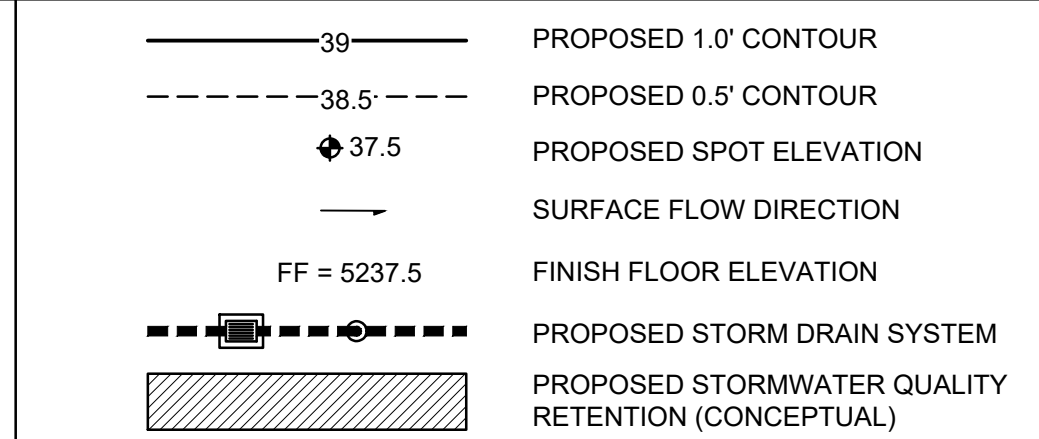
### ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S):  
 \* LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1  
 \* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%  
 ACCESSIBLE RAMP(S):  
 \* TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)  
 \* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%  
 ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

### STORMWATER QUALITY

FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 72% OF TOTAL AREA: (0.72 \* 6.77 AC) = 212,285 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" \* TYPE 'D' AREA. 0.26(12" \* 212,285 SF) = 4,600 CF. THIS MAY CHANGE DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED.  
 THE MAJORITY OF SURFACE AND / OR SUBSURFACE SWQ RETENTION WILL BE PROVIDED THROUGHOUT THE PROPERTY. AS THE SITE DESIGN MOVES FORWARD, FINAL LOCATIONS WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.

### LEGEND

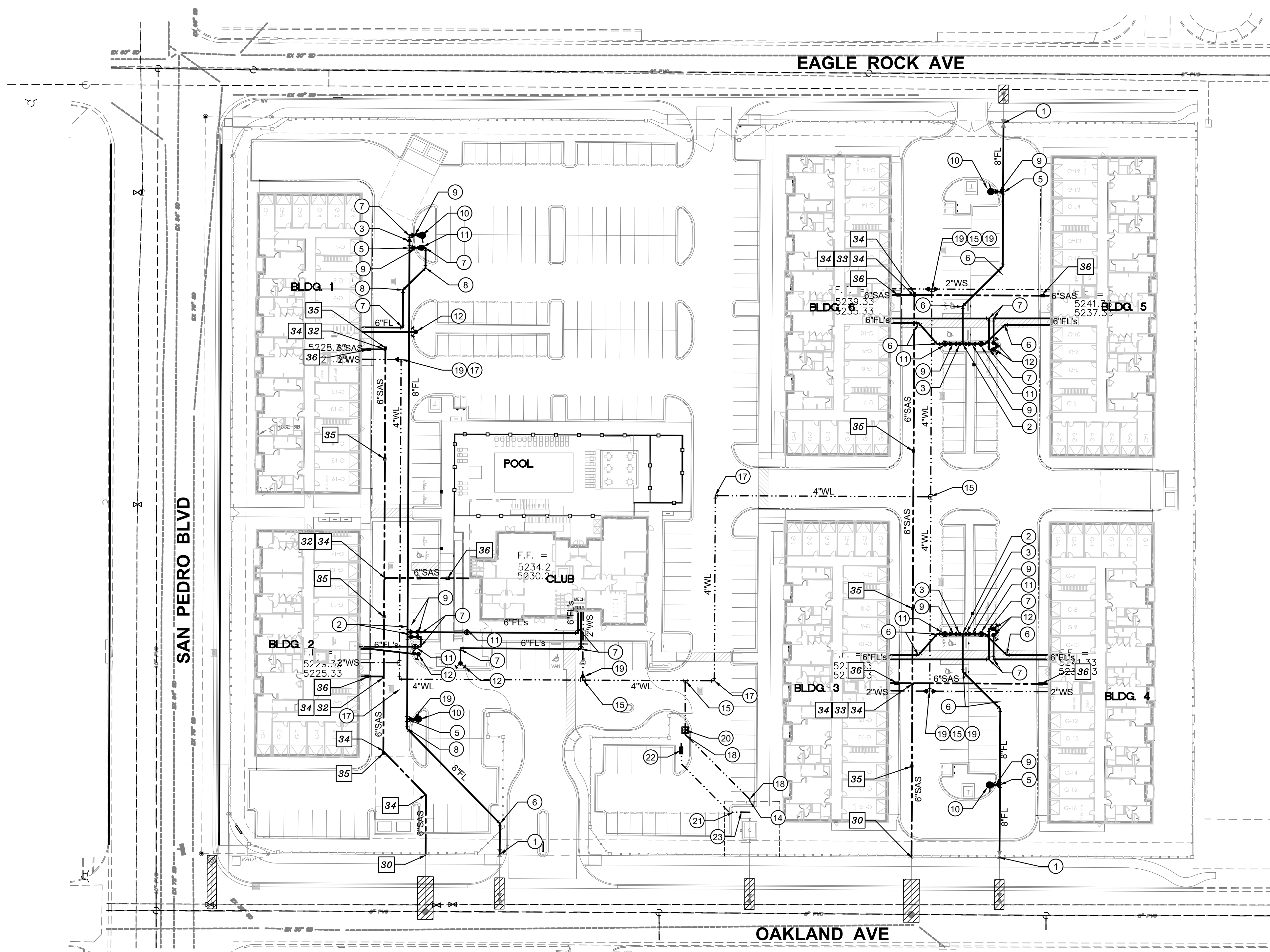


### KEYED NOTES

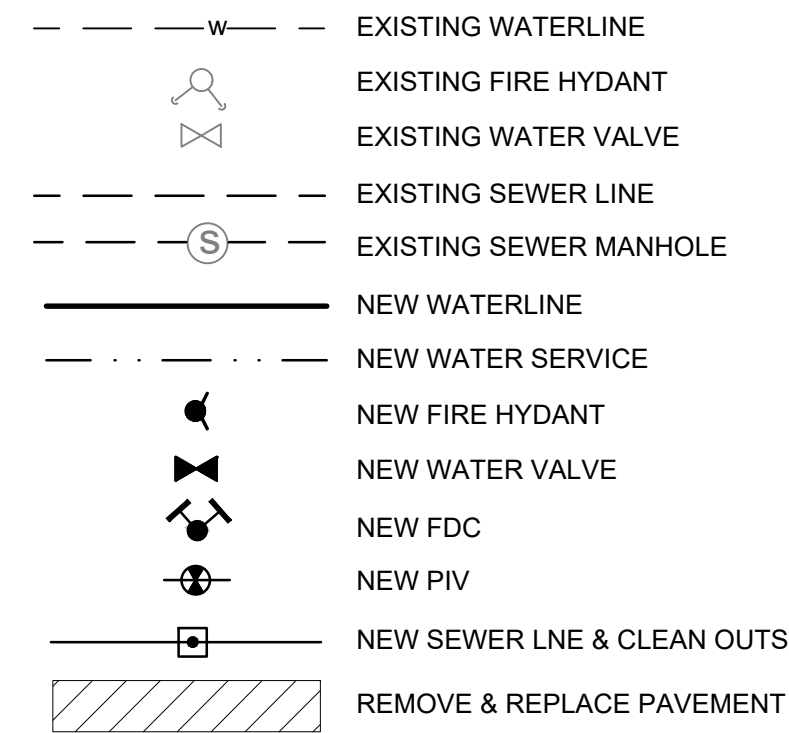
- ALL CONSTRUCTION WORK IN THE PUBLIC R.O.W. WILL BE DONE BY PUBLIC WORK ORDER PLANS (PWO) INCLUDING ACCESS DRIVES, CURB AND GUTTER, PAVING, PUBLIC RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN, ETC. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. SEE ADA COMPLIANCE NOTE THIS SHEET FOR ADDITIONAL ADA REQUIREMENTS.
- CONCEPTUAL PRIVATE STORM DRAIN SYSTEM TO BE FULLY DESIGNED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS SUBMITTAL.
- CONNECT TO EXISTING STORM DRAIN SYSTEM AT MANHOLE.
- PROPOSED CONTOUR LINES, SITE ELEVATIONS AND F.F. ELEVATIONS ARE PROVIDED TO SHOW THE INTENT OF THE OVERALL DRAINAGE CONCEPT. THESE WILL BE UPDATED AS NEEDED DURING THE PERMITTING PHASE WHILE REMAINING TRUE TO THE OVERALL DRAINAGE CONCEPT PROPOSED.

DESIGN DEVELOPMENT	ISSUE:	PROJECT NUMBER:	FILE:	DRAWN BY:	CHECKED BY:	DATE:
	DESIGN DEVELOPMENT	IA 2471		BIB/lor	FC	05-25-2022

Date	Description
No	



**LEGEND**



**RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS**

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.5  
 MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM, BACKFILL COMPACTED TO TOP OF PIPE.
- DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

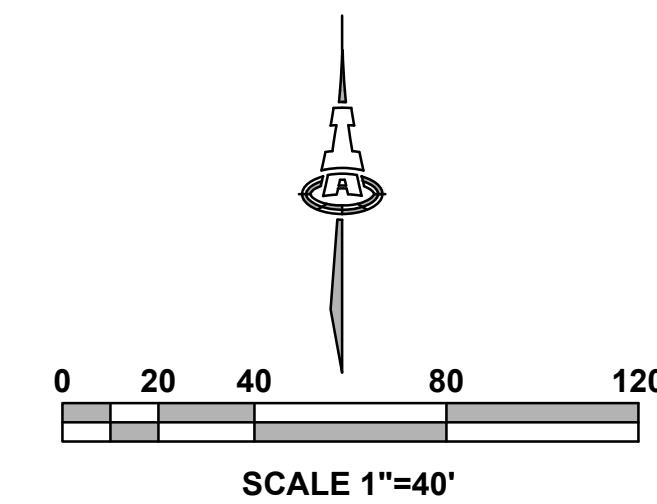
**GENERAL NOTES**

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.
- WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

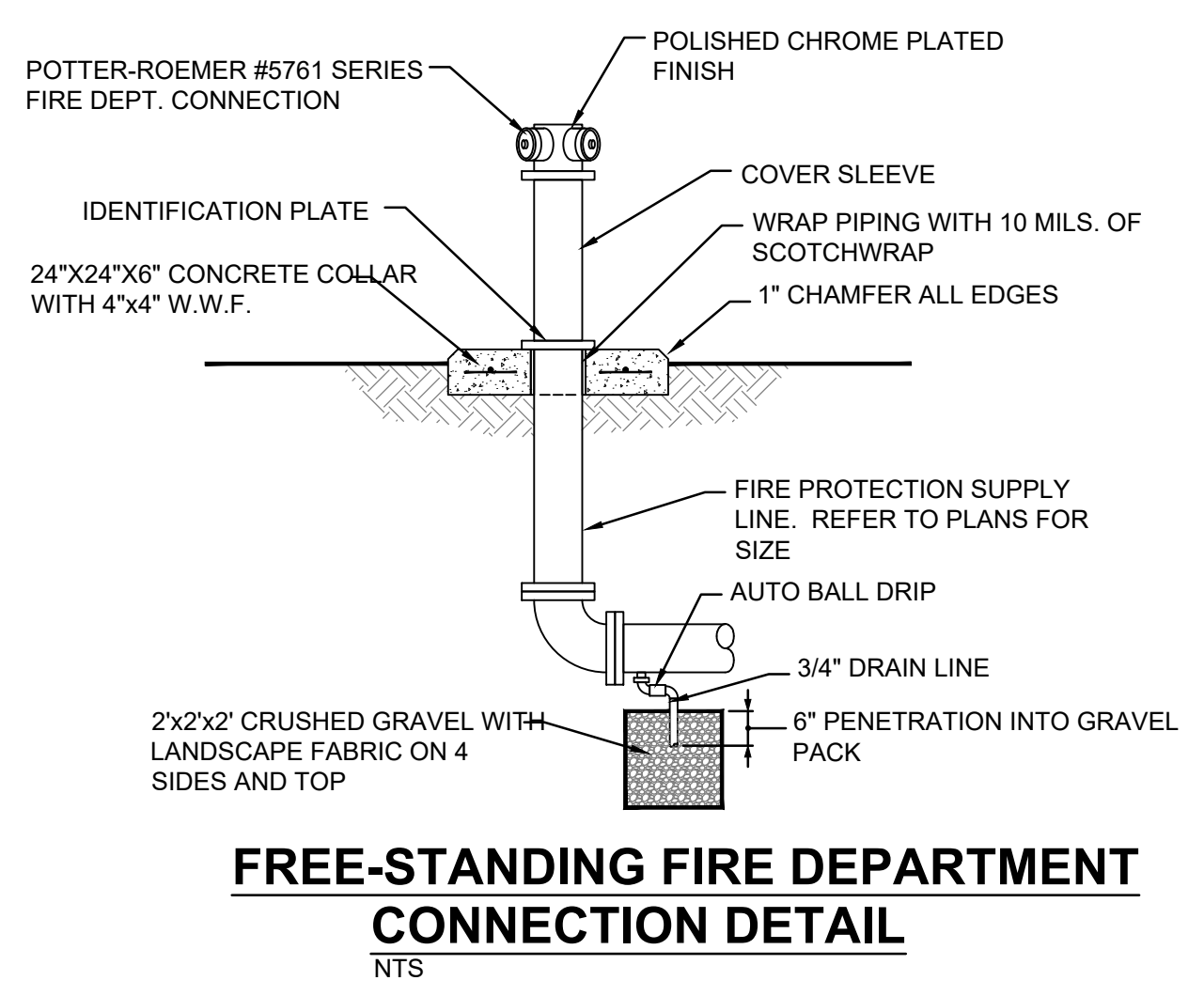
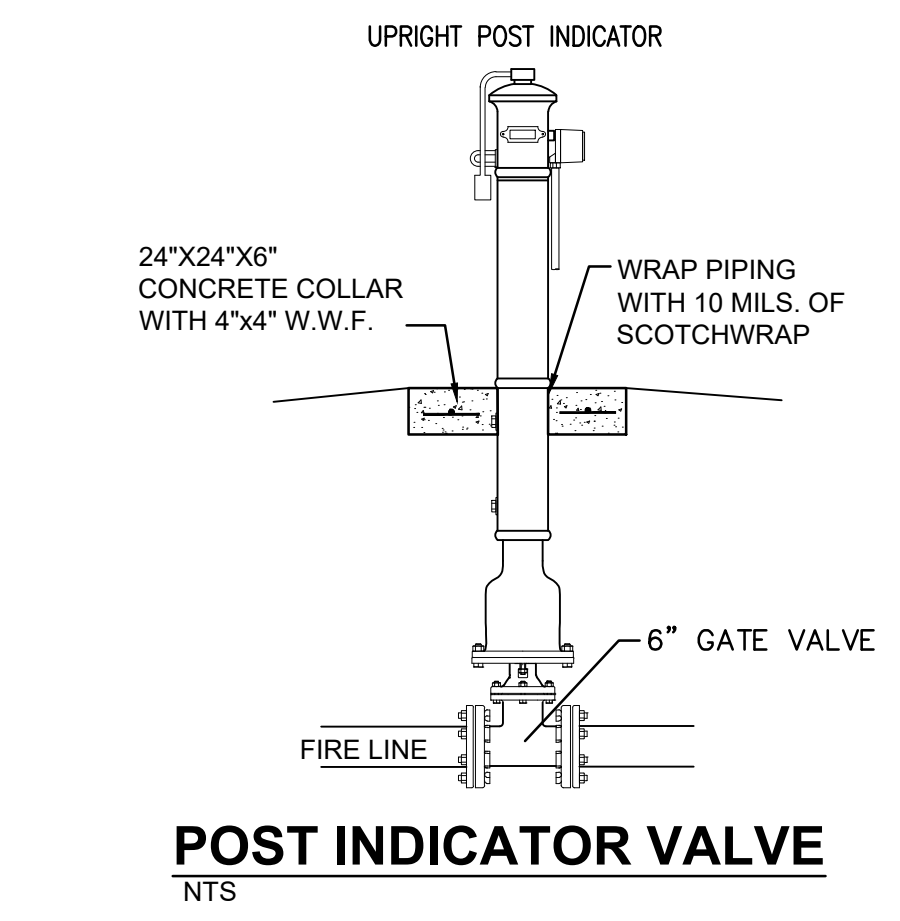
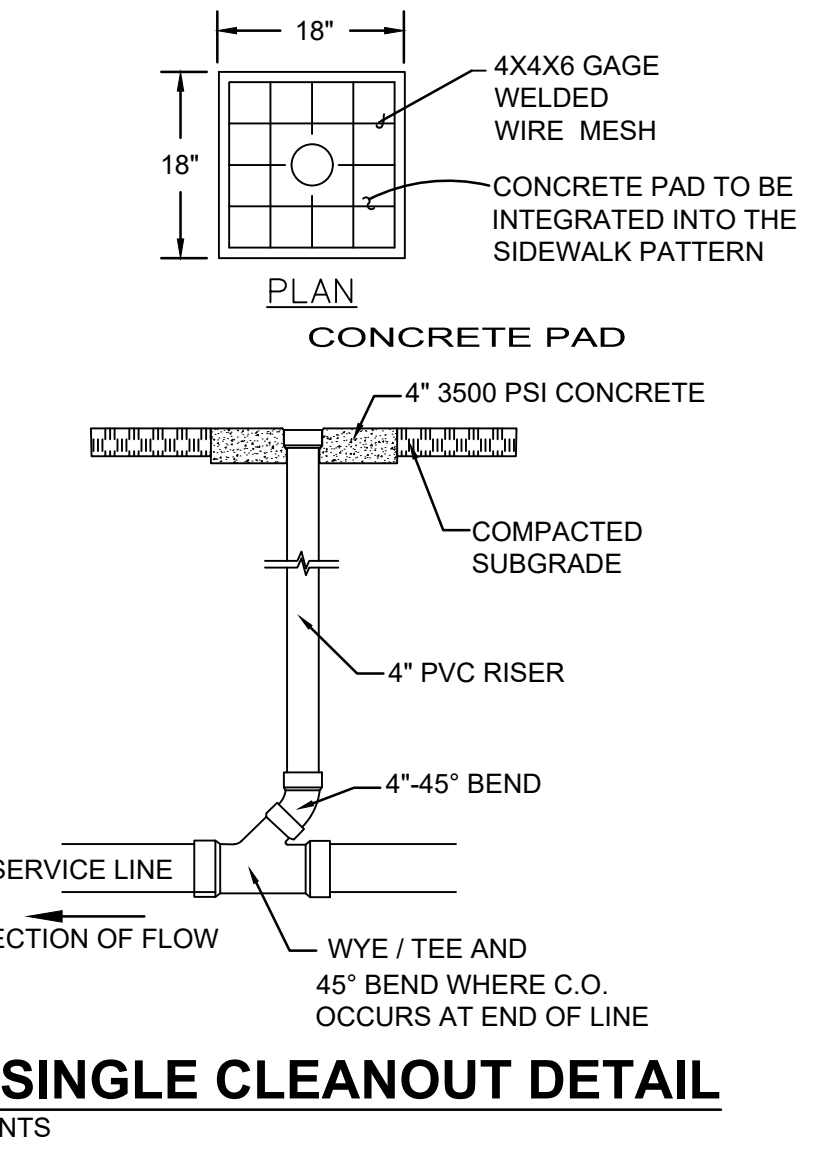
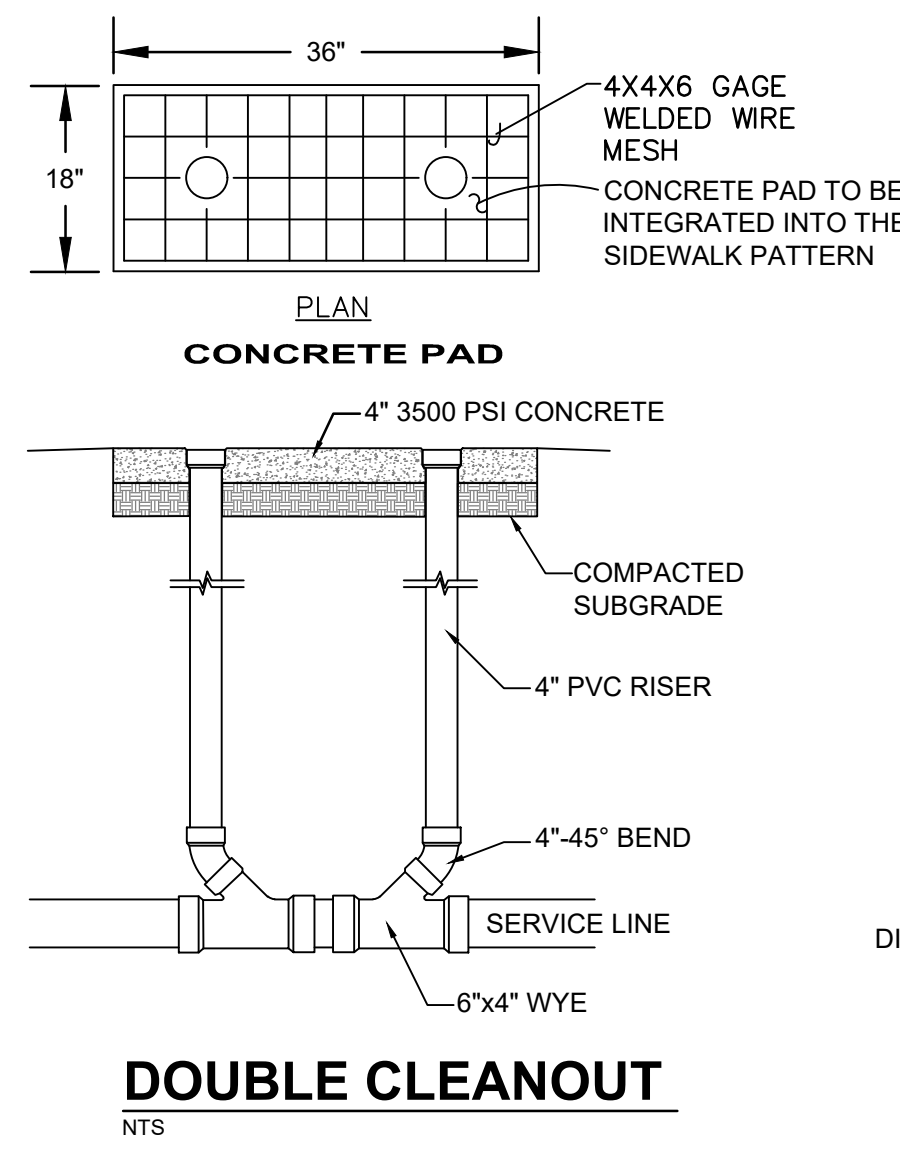
**KEYED NOTES**

- WATER KEYED NOTES**
- REMOVE 8" CAP AND TEMP. RESTRAINT. CONNECT NEW 8" FIRE PROTECTION WATERLINE.
  - 8"x8"x8" TEE.
  - 8"x6" REDUCER.
  - 8" GATE VALVE. (LT=60')
  - 8"x8"x6" TEE.
  - 8" 45° BEND. (LT=11')
  - 6" 90° BEND. (LT=20')
  - 6" 45° BEND. (LT=13')
  - 6" GATE VALVE. (LT=46')
  - FIRE HYDRANT. PAINTED SAFETY ORANGE.
  - 6" POST INDICATOR VALVE (PIV). (LT=46')
  - FIRE DEPARTMENT CONNECTION (FDC).
  - 3/4" CONDUIT WITH PULL CORD FROM PIV TO FIRE RISER ROOM.
  - REMOVE 4" CAP AND TEMP. RESTRAINT. CONNECT NEW 4" WATERLINE.
  - 4" TEE.
  - 4"x2" TEE
  - 4" - 90° BEND. (LT=15')
  - 4" - 45° BEND. (LT=6')
  - 4" x 2" REDUCER.
  - 4" RPBFP FEBCO MODEL LF880V IN SAFE-T-COVER MODEL 400TLU880-AL.
  - REMOVE 2" CAP AND CONNECT NEW 2" WATERLINE FOR LANDSCAPING.
  - 2" RPBFP FEBCO MODEL 825VA IN SAFE-T-COVER MODEL 200S-AL.
  - 2" IRRIGATION STUB.

- SEWER**
- REMOVE 6" PLUG AND CONNECT NEW SEWER LINE.
  - 6" SANITARY SEWER SERVICE LINE. 2% MIN. SLOPE.
  - 6" WYE/TEE.
  - 6" DOUBLE WYE/TEE.
  - 6" 45° BEND.
  - SINGLE SANITARY SEWER CLEAN OUT.
  - DOUBLE SANITARY SEWER CLEAN OUT.



INSTALLATION OF FIRE LINES, WATER SERVICES AND SEWER SERVICE WITHIN PUBLIC RIGHT OF WAY OR PUBLIC WATER AND SEWER EASEMENTS ARE TO BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE / ABCWUA WORK ORDER.



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Engineer 06/23/2022

**SAN PEDRO APARTMENTS**  
San Pedro & Eagle Rock  
Albuquerque, New Mexico

DESIGN	DEVELOPMENT
ISSUE:	PROJECT NUMBER: IA 2471
FILE:	DRAWN BY: BJA/ltor
CHECKED BY: FCA	DATE: XXX-XX-XXXX

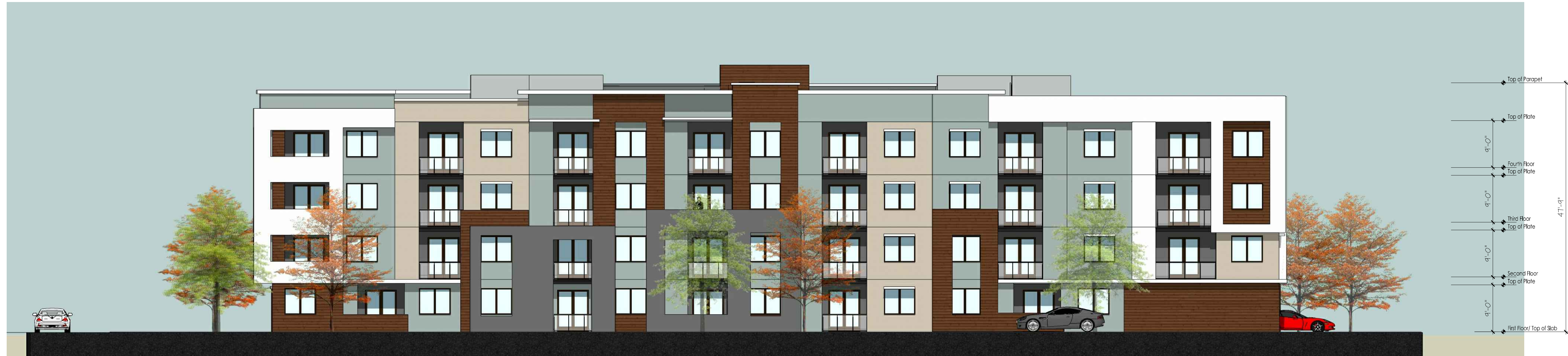
No	Date	Description

SHEET TITLE

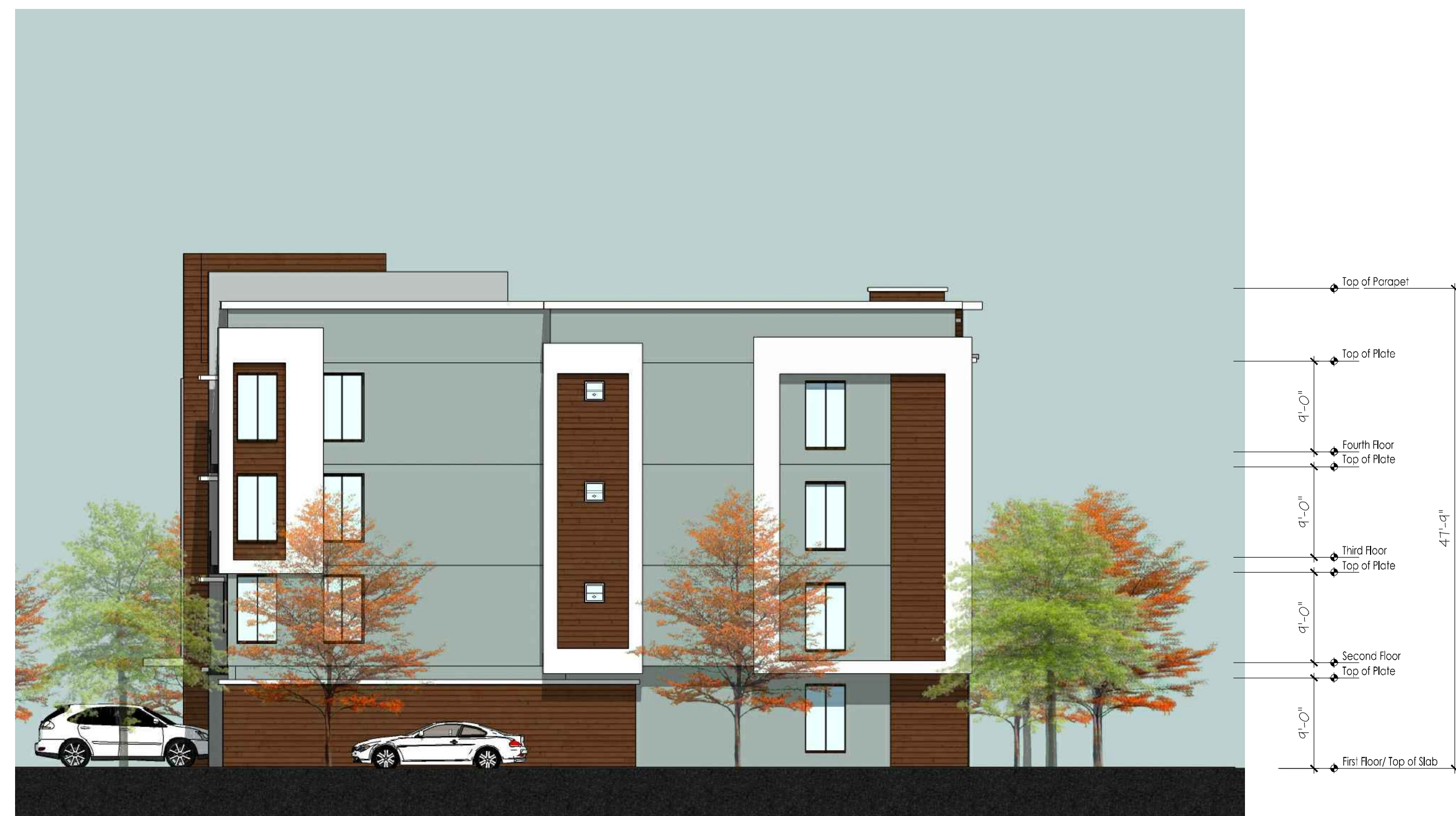
CONCEPTUAL UTILITY PLAN

SHEET NUMBER

**CU-101**



FRONT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



LEFT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



REAR ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



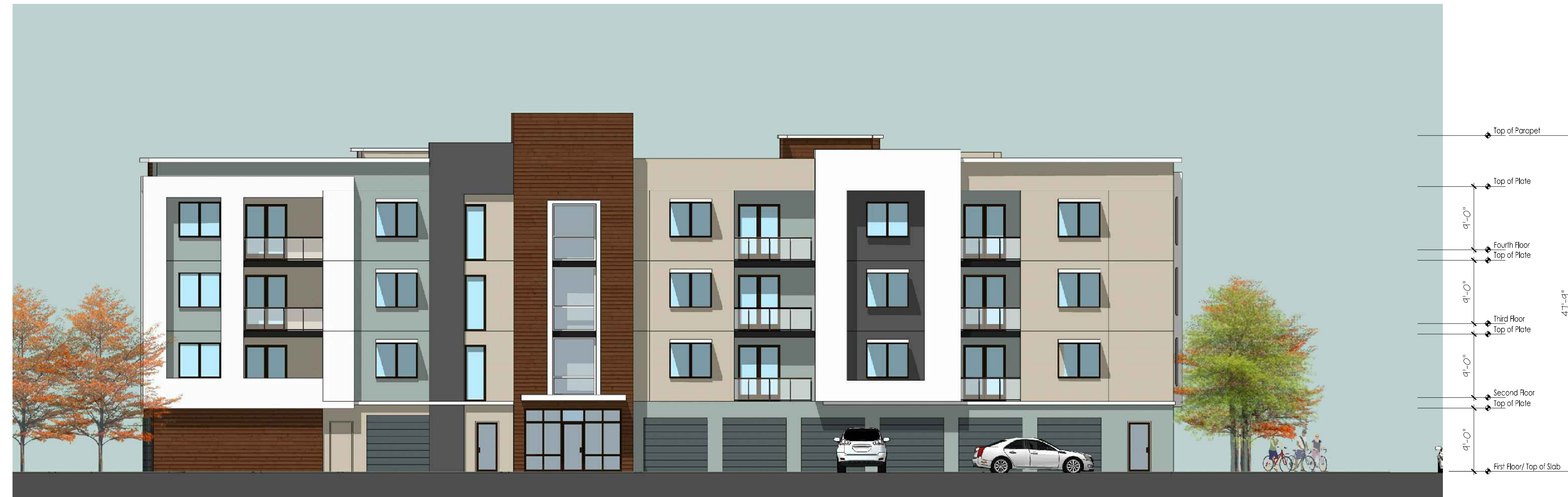
RIGHT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



**FRONT ELEVATION** SCALE=  $\frac{3}{32}$ " : 1'-0"



**LEFT ELEVATION** SCALE=  $\frac{3}{32}$ " : 1'-0"



REAR ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"



RIGHT ELEVATION SCALE=  $\frac{3}{32}$ " : 1'-0"





FRONT ELEVATION



LEFT ELEVATION




REAR ELEVATION



RIGHT ELEVATION

# Memorandum

**To:** Jolene Wolfley and DRB Members, City of Albuquerque

**From:** Michael Vos, AICP, Consensus Planning, Inc. 

**Date:** June 24, 2022

**Re:** Sensitive Lands Analysis for San Pedro Apartments (PR-2021-004920)

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. We have analyzed the project site for the presence of sensitive lands and the constraints related to such lands. As outlined below, with approval of a Letter of Map Revision none of these features are or will remain present on the subject property for the proposed multi-family development.

1. Arroyos: Utilizing the AMAFCA interactive online facilities map, the closest arroyos are identified as the La Cueva Channel to the northeast of the project site and the South La Cueva Channel northwest of the project site. Drainage from the subject site and surrounding developments are diverted to these arroyos where they drain to the North Diversion Channel and into the Rio Grande. The subject site has long been developed with other uses and is not crossed by these arroyos.
2. Floodplains and Special Flood Hazard Areas: The subject site and others surrounding it are partially encumbered with the AO flood zone designation, which predates most of the newer development in the area. A drainage management plan for the area has been completed and underground storm drains have been installed in San Pedro Drive, which manages this flood zone. A Letter of Map Revision was approved in 2016 for the development to the south, and the Applicant will complete the same for the subject site given the drainage infrastructure installed in this area.

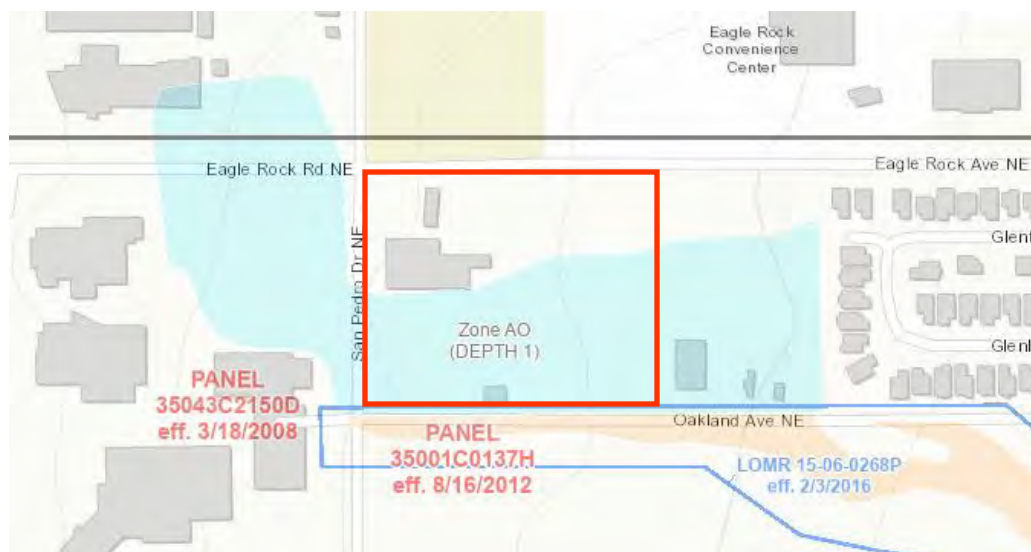


Figure 1: FEMA Flood Zones around the subject site (approximate area of site outlined in red).

3. Irrigation facilities (acequias): the site is not located in the valley and is not near any irrigation facilities.
4. Large stands of mature trees: There are no trees within the subject property that has been an RV storage facility for several years. Trees on the north and south perimeters may be partially located in the public right-of-way, are small, and do not appear to have been well cared for. These small trees will be removed to ensure adequate improvements are made within the right-of-way, including the addition of sidewalks, and new street trees will be installed and maintained with the proposed development.
5. Riparian areas: The site is not within or considered a riparian area.
6. Rock outcroppings: There are no rock outcroppings on the subject site, which have been developed previously for many years.
7. Significant archaeological sites: An Archaeological Certificate of No Effect is provided with the application for this project due to previous disturbance and development.
8. Steep slopes and escarpments: This property has a fairly significant grade change from east to west, but it is spread out evenly across the entire 7-acre site. In reviewing the available topographic information, including the 2-foot contours available in the Advanced Map Viewer, the site does not include any slopes that meet the IDO definition of a steep slope or escarpment, which is a minimum slope of 9 percent or more. This site is significantly below that threshold.

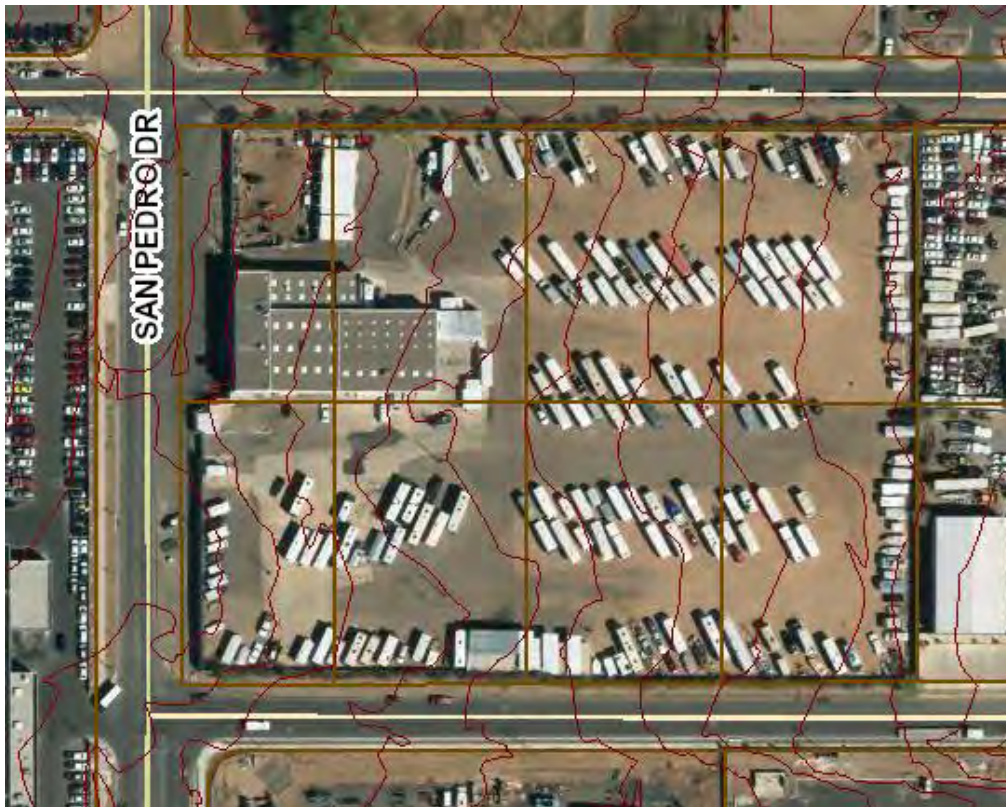


Figure 3: Two-Foot Contour Map of the Subject Site showing gradual slope.

9. Wetlands: Utilizing the U.S. Fish & Wildlife Service Wetlands Mapper, it was determined that no wetlands exist on this property.

Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

Date Submitted: 24-Jun-22

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: \_\_\_\_\_  
DRB Application No.: \_\_\_\_\_

**San Pedro Apartments**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 1, 2, 3, 4, 29, 30, 31, and 32, Block 27, Tract A, Unit B, North Albuquerque Acres**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		<b>PAVING</b>							
		Std.	Curb & Gutter	Eagle Rock Ave.	San Pedro Drive	NE Property Corner	/	/	/
				San Pedro Drive	Oakland Ave.	Eagle Rock Ave.			
				Oakland Ave.	San Pedro Dr.	SE Property Corner			
		7"	Arterial Pavement	San Pedro Drive	Oakland Ave.	Eagle Rock Ave.	/	/	/
		3"	Residential Pavement	Eagle Rock Ave.	San Pedro Dr.	NE Property Corner	/	/	/
				Oakland Ave.	San Pedro Dr.	SE Property Corner			
		20' wide	PCC Valley Gut. & Fillets w/ ADA Ramps	Eagle Rock Ave.	135' from NE Prop. Corner		/	/	/
		26' wide	"	Eagle Rock Ave.	295' from NE Prop. Corner				
		44' wide	"	Oakland Ave.	400' from SE Prop. Corner				
		6'	PCC Sidewalk	Eagle Rock Ave.	San Pedro Dr.	NE Property Corner	/	/	/
			"	San Pedro Dr	Oakland Ave	Eagle Rock Ave.			
			"	Oakland Ave.	San Pedro Dr.	SE Property Corner			
		25' - 35'	Rem. & Disp. Asphalt Paving	San Pedro Dr.	Oakland Ave.	Eagle Rock Ave.	/	/	/
		7 ea.	LED Street Lights *				/	/	/
							/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<b>UTILITIES</b>									
<input type="text"/>	<input type="text"/>	8"	Waterline (Fire Line Leg)	Eagle Rock Ave.	157' From NE Property Corner		/	/	/
			"	Oakland Ave.	113' from SE Property Corner		/	/	/
			"	"	428' from SE Property Corner		/	/	/
<input type="text"/>	<input type="text"/>	3"	Water Service & Vault	Oakland Ave.	274' from SE Propertyu Corner		/	/	/
<input type="text"/>	<input type="text"/>	4' dia.	SAS Manhole w/ 6" SAS Service Line	Oakland Ave.	173' from SE Property L Corner		/	/	/
			"		473' from SE Property Corner		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<b>STORM DRAINAGE</b>									
<input type="text"/>	<input type="text"/>	30" dia.	RCP Storm Drain Pipe	Oakland Ave.	205' south of the NW Prop Corner		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
							/	/	/	
							/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 Water infrastructure includes valves, fittings, fire hydrants and appurtenances
- 2 Grading and drainage certification required for release of IIA and financial guarantee
- 3 \* Street lights shall include light poles, foundations, transformers, pull boxes, conduits and wiring.  
Actual number of street lights shall be determined at DRC based on final design.
- 4 Public roadway improvements includes striping, directional arrows & lettering, signage and other related items found on the approved PWO plans.

<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
----------------------	--

**Fred C. Arfman, PE**

NAME (print)

**ISAACSON & ARFMAN, INC.**

FIRM

  
SIGNATURE - date

6/23/2022

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

- date

<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER