

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 24, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: Burger King - Alameda
5970 Alameda Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 05/10/21
Hydrology File: C18D022A**

Dear Mr. Soule:

PO Box 1293
Based upon the information provided in your submittal received 05/10/2021, the Grading and Drainage Plans are approved for Building Permit.

Albuquerque
Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103
www.cabq.gov
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Also, the Payment-in-Lieu of \$ **248.00** must be paid prior to Hydrology's Permanent Release of Occupancy approval. Please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero (sdcordova@cabq.gov). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



TREASURY DIVISION DAILY DEPOSIT

Transmittals for:
PROJECTS Only

Payment-in-Lieu for Storm Water Quality Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 248.00	461615	305	PCDMD	24_MS4	7547210	\$ 248.00
TOTAL AMOUNT						TOTAL DEPOSIT	\$ 248.00

Hydrology#: C18D022A Name: Burger King - Alameda
Payment In-Lieu For Storm Water Quality
Volume Requirement

Address/Legal Description: 5970 Alameda Ave. NE

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Renée C. Brissette, P.E. CFM PHONE 505-924-3995

BUSINESS DATE May 24, 2021

DUAL VERIFICATION OF DEPOSIT Renée C. Brissette
EMPLOYEE SIGNATURE

AND BY _____
EMPLOYEE SIGNATURE

REMITTER: _____

AMOUNT: _____

BANK: _____

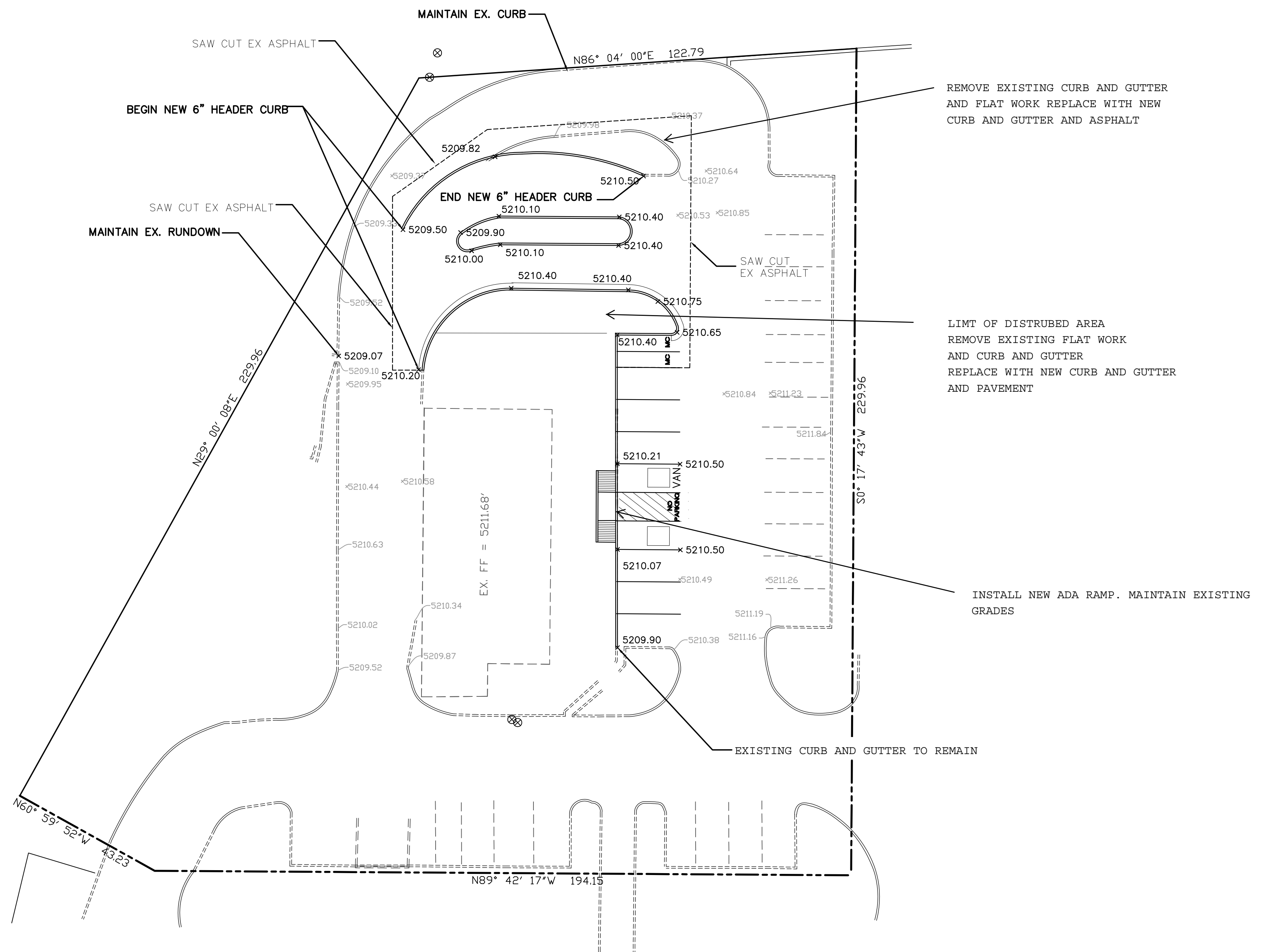
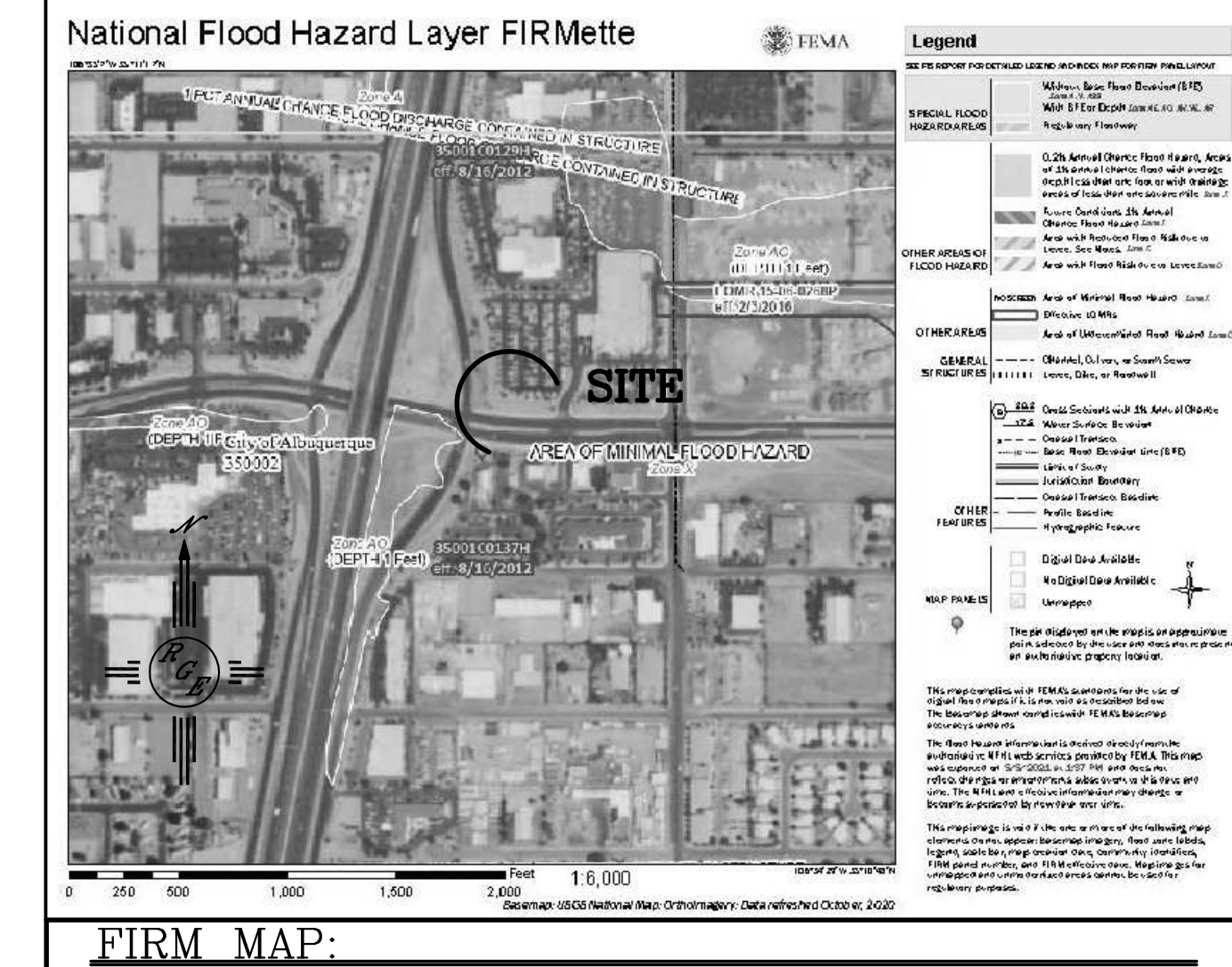
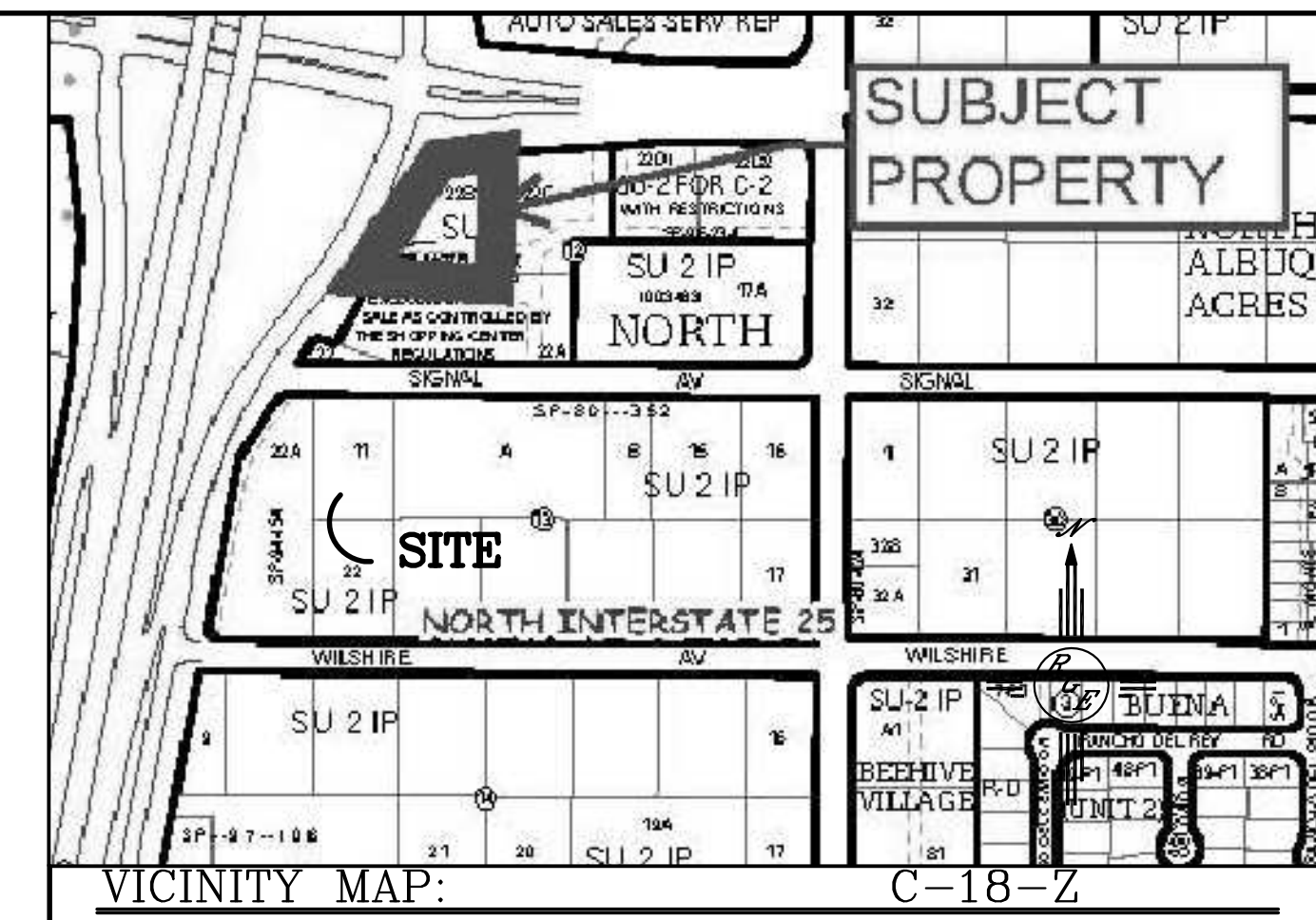
CHECK #: _____ DATE ON CHECK: _____

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.

DRAINAGE NARRATIVE
 THIS SITE IS A FULLY DEVELOPED SITE THAT FREE DISCHARGES TO AN EXISTING RUNDOWN. THE AREA OF IMPROVEMENTS IS 100% IMPERVIOUS, THE REMOVAL OF BUILDING CONTAINING PLAY STRUCTURE AND ADDITION OF CURBS FOR DUEL DRIVE THROUGH LANE DOES NOT INCREASE OR CHANGE HISTORICAL FLOW OR PATTERNS. NO HYDRAULIC IMPACT DUE TO MODIFICATIONS PROPOSED WITH THIS REDEVELOPMENT.
 FIRST FLUSH IMPACT- 1417 SQUARE FEET OF REPURPOSED IMPERVIOUS AREA GENERATES 1417*.26/12=31 CUBIC FEET WATER QUALITY VOLUME REQUIRE DEVELOPER ELECTS TO PAY A FEE IN LIEU OF 31*8=\$248

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



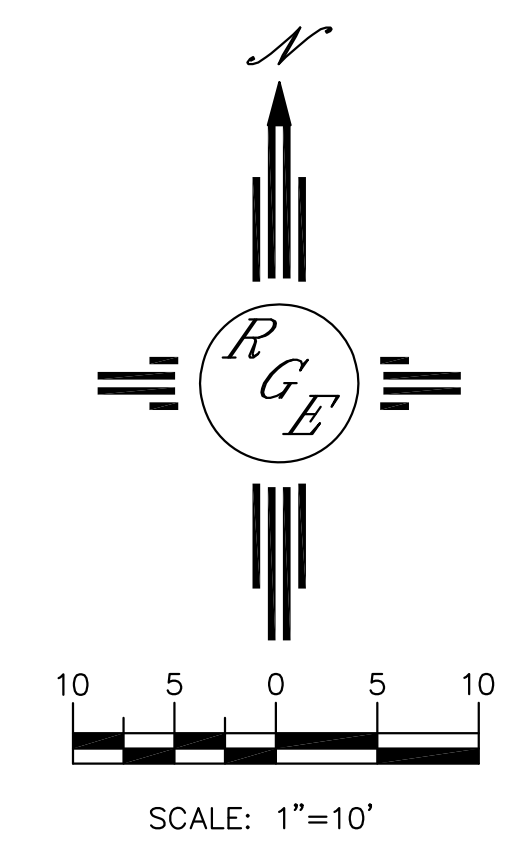
LEGAL DESCRIPTION:
 LOT 22B1- BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

---XXXX---	EXISTING CONTOUR
- - - - -	EXISTING INDEX CONTOUR
-----	PROPOSED CONTOUR
-----	PROPOSED INDEX CONTOUR
-----	SLOPE TIE
+ XXXX	EXISTING SPOT ELEVATION
+ XXXX	PROPOSED SPOT ELEVATION
-----	LOT LINE
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED 4" PVC SD
-----	GRAVEL LINED SWALE
-----	EXISTING CURB AND GUTTER
-----	BERM

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



 DAVID SOULE P.E. #14522	BURGER KING ALAMEDA 5970 ALAMEDA BLVD NE	DRAWN BY: WCVJ DATE: 5-04-21
	GRADING AND DRAINAGE PLAN	210210048-LAYOUT-5-05-21
5/10/21 DAVID SOULE P.E. #14522	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0998	SHEET # --- JOB # 21021048