

I certify that this area is Zoned SU-2 and that this plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on July 21, 1994 and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN

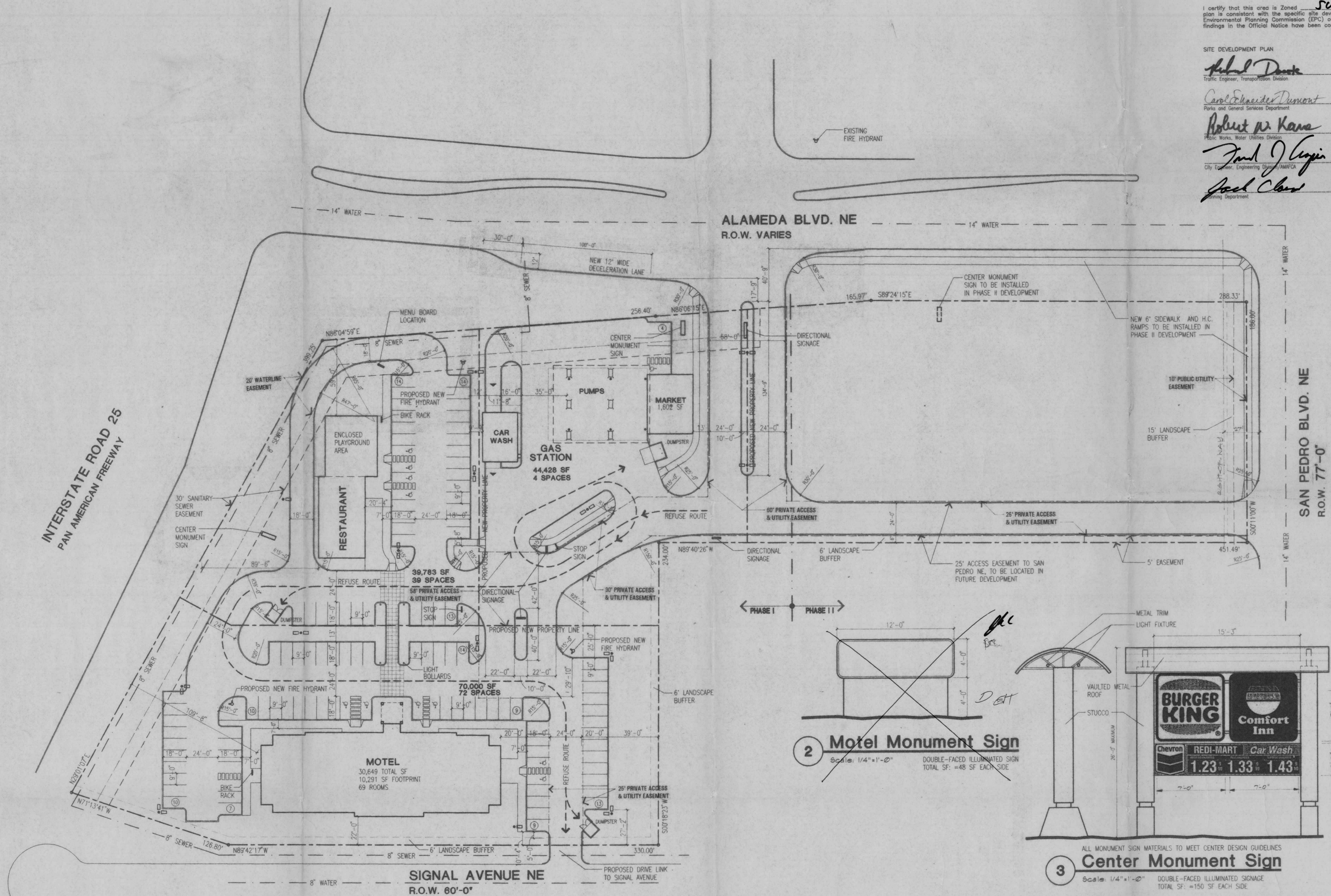
Richard Danks 9-14-94
Traffic Engineer, Transportation Division

Carol Schneider-Dumont 8-9-94
Parks and General Services Department

Robert W. Kane 8-9-94
Public Works, Water Utilities Division

Frank J. Virgin 10-6-94
City Engineer, Engineering Division/AMAFCA

Joel Clark 10-12-94
Planning Department



ALAMEDA CENTER NORTH DESIGN GUIDELINES

WALLS: STUCCO - LIGHT SALMON/TAN
METAL FASCIA PANELS - SILVER GREY
MECHANICAL AND ELECTRICAL PLANS FOR ROOFING, BLOCKOUTS, STAIRS, BLOCKING FOR EQUIPMENT, ETC.

ROOFING: ROOF FORMS AND MATERIALS - PITCHED STANDING SEAM METAL ROOF (SILVER GREY)
FLAT ROOF WITH METAL FASCIA PANELS
VAULTED METAL ROOF (SILVER GREY)

GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES

SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANNELED LOGO SIGNS WITH 25' MAXIMUM SIZE

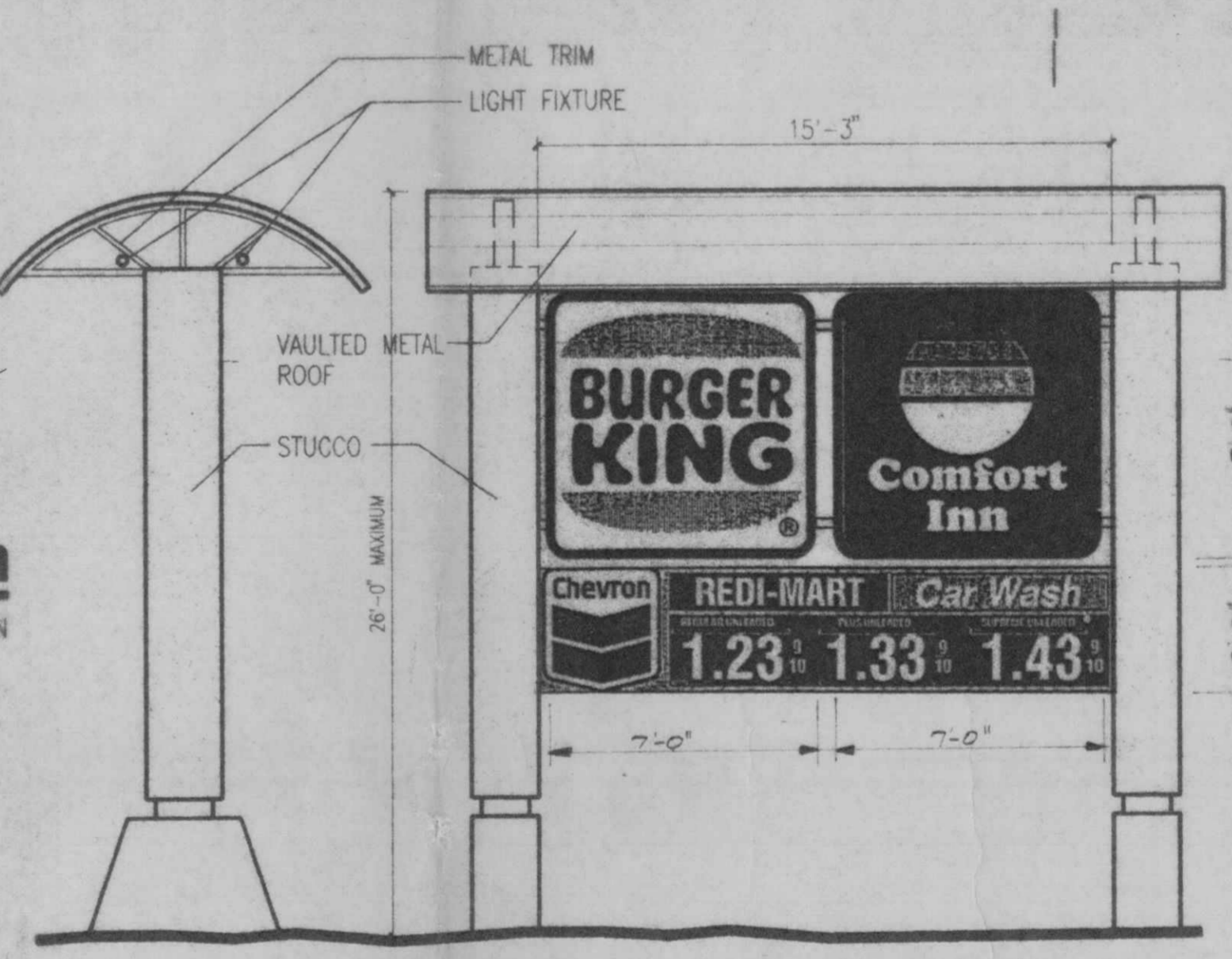
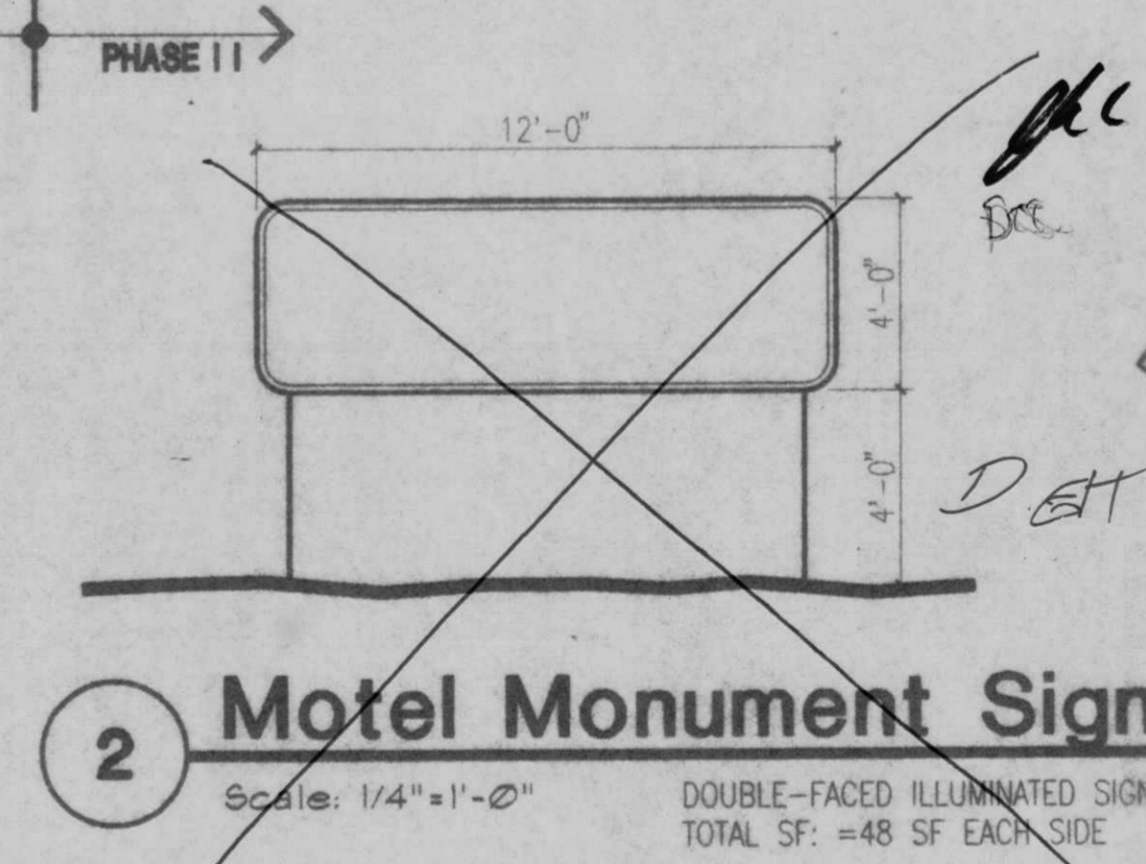
general notes
contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for roofing, blockouts, stairs, blocking for equipment, etc.

If any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings.

The contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents.

Contractor to verify all dimensions prior to construction.

Contractor to verify all existing site conditions prior to construct.



site plan

revisions:

design

architect

collaborative

southwest inc.

engineer

105 4th st. sw

albuquerque, nm

87102

job no: 9414

date: 8-2-94

sheet DRBA.1 of 3

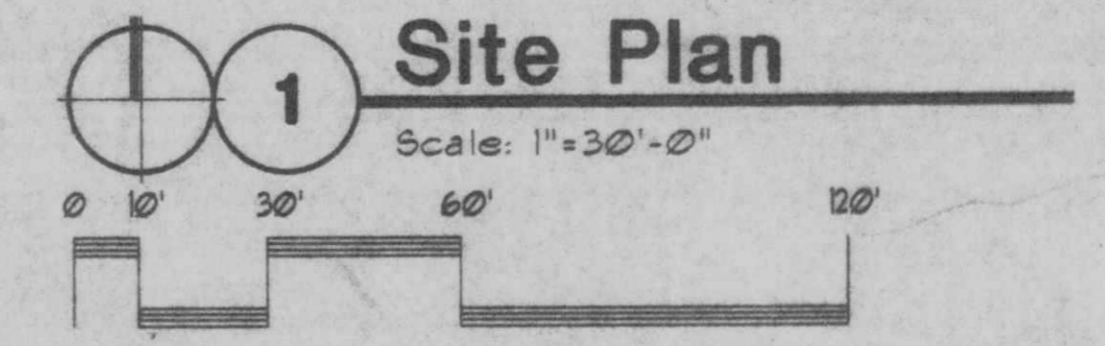
505-843-9639

LAND USE DATA

LEGAL DESCRIPTION:	LOTS 12,13,14,15,16,20,21,&22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION
PROPOSED USE:	RESTAURANT, MOTEL, AND GAS STATION
BUILDING SQ. FOOTAGE:	
RESTAURANT:	4,400 SF
MOTEL:	30,649 SF
GAS STATION:	1,602 SF + 6 PUMPS
TOTAL ALL BUILDINGS:	36,624 SF
PHASE I	
TOTAL LAND AREA:	154,211 SF (3.54 ACRES)
TOTAL PARKING LOT AREA:	72,698 SF
TOTAL LANDSCAPE AREA:	65,220 SF (INCL'G SIDEWALKS)
TOTAL LANDSCAPE PERCENTAGE:	42%
PHASE II	
TOTAL LAND AREA (FUTURE DEV'T):	71,376 SF (1.64 ACRES)

PARKING CALCULATIONS

RESTAURANT :	1 CAR/4 SEATS, 1 CAR/200 SF:	25+10=35
MOTEL :	1 CAR/1 RENTAL UNIT	: 69
GAS STATION :	1 CAR/200 SF	: 8
TOTAL PARKING REQUIRED :		112
TOTAL PARKING PROVIDED :		
STANDARD STALL (9'x20')		104
HANDICAP PARKING (13'x20')		10
H.C. VAN PARKING (16'x20')		11
ZONING :	SU-2 FOR AUTO SALES	
PROPOSED :	SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS	
LIGHTING (P):	PARKING LOT AREA = 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.	



Z-94-87

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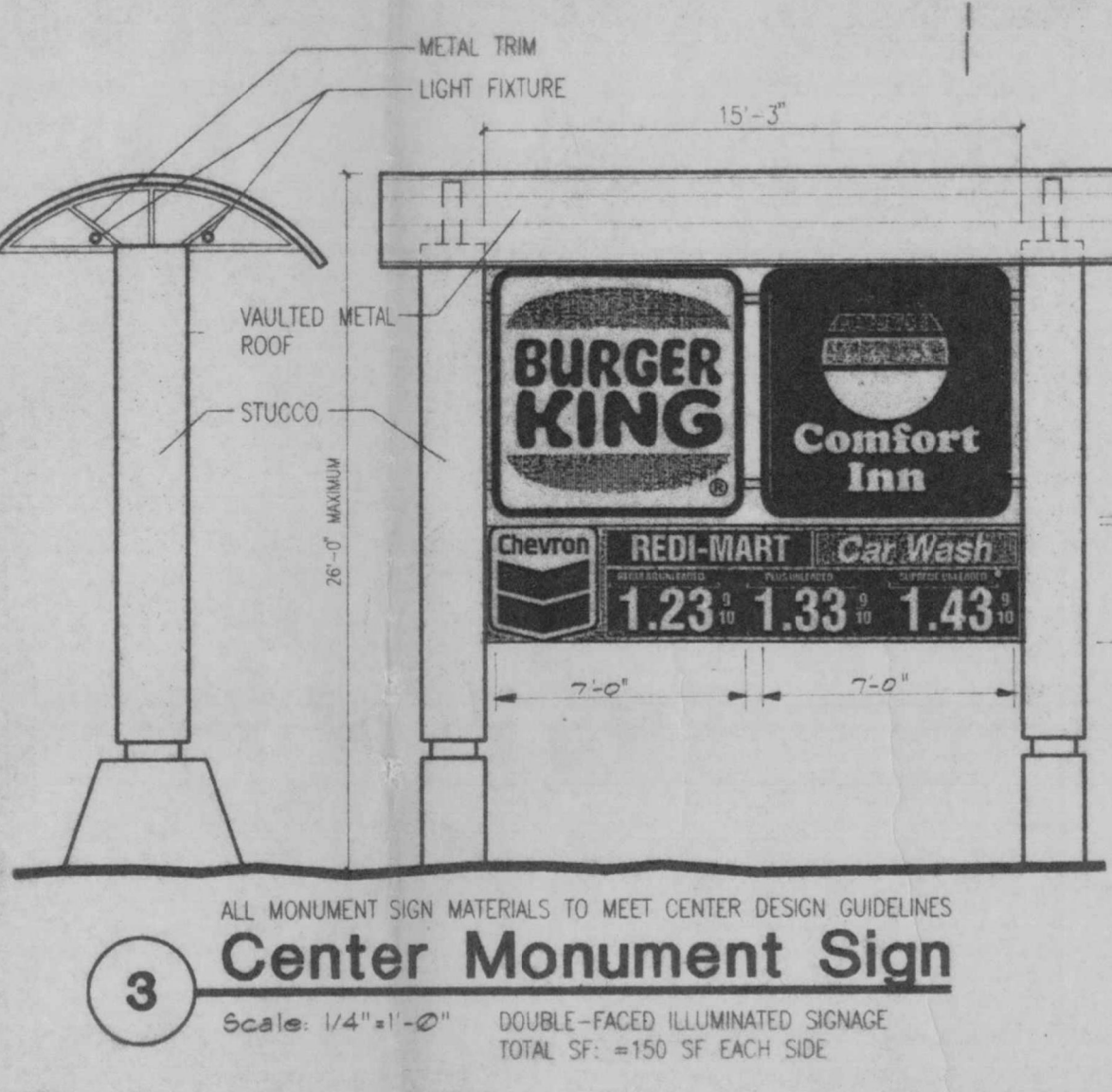
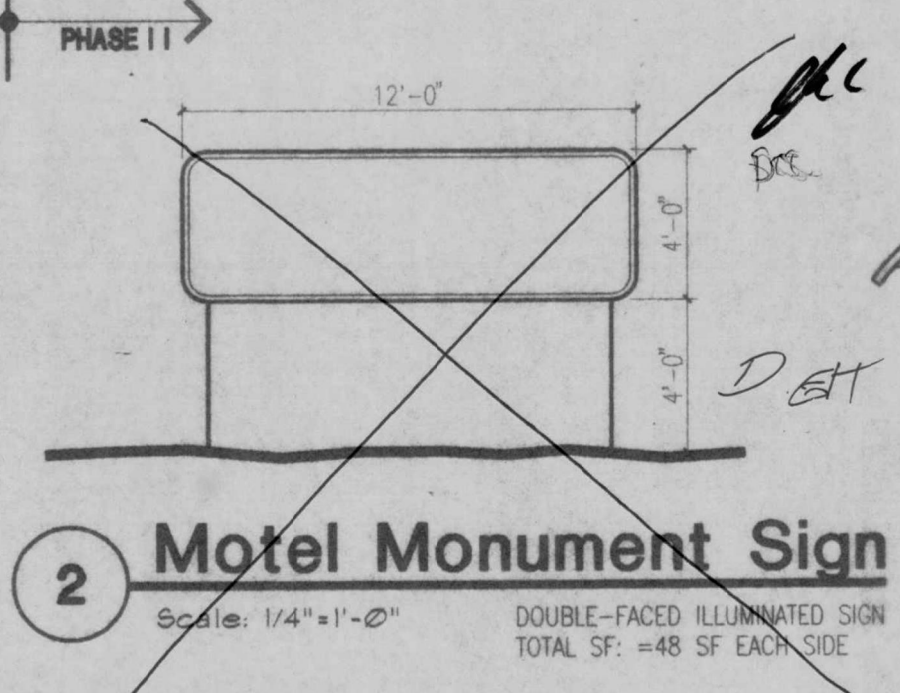
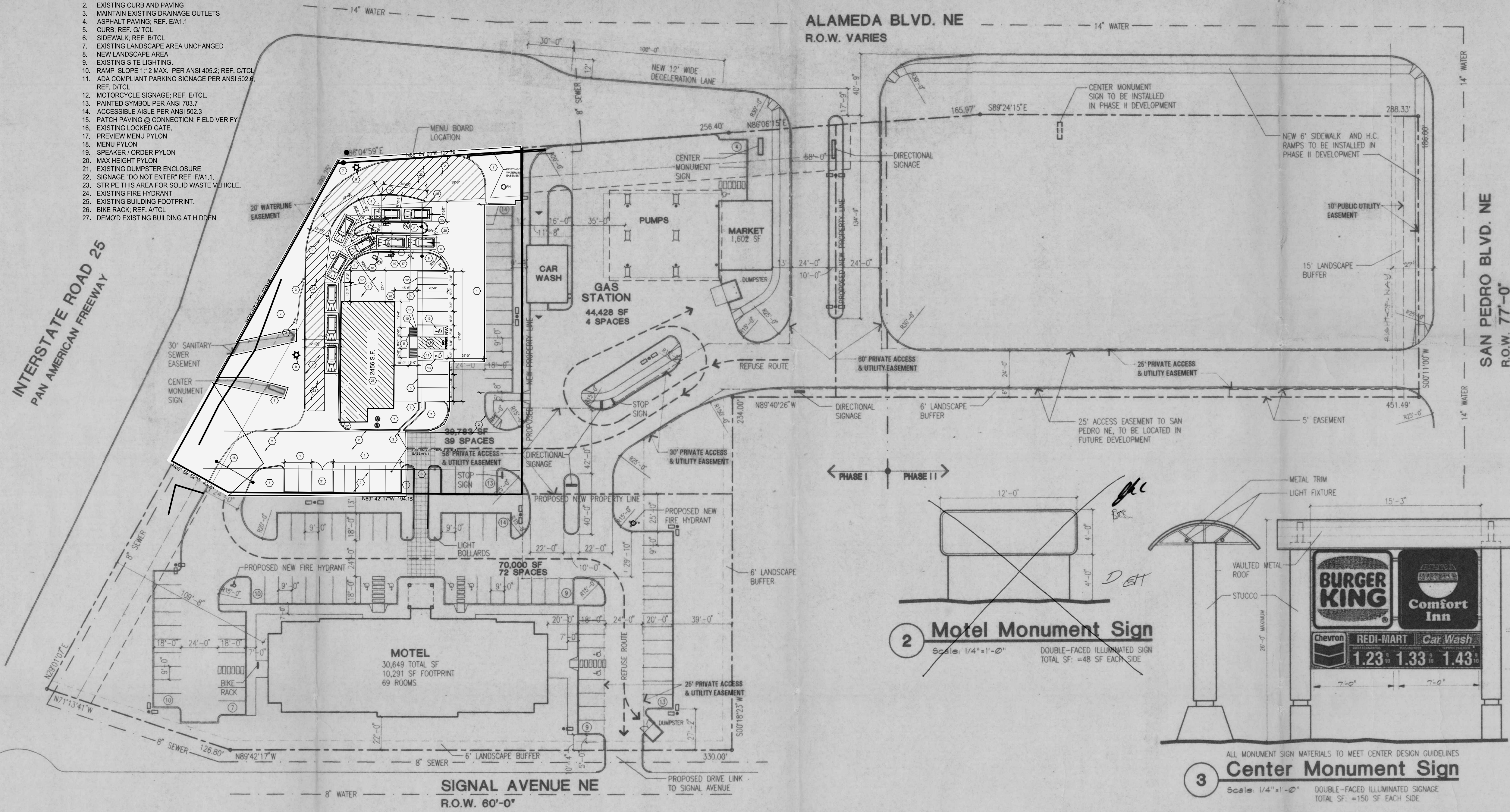
SITE DEVELOPMENT PLAN

Richard Drake 9-14-94
Traffic Engineer, Transportation Division
Carol Schneider-Dumont 8-9-94
Parks and General Services Department
Robert W. Kara 8-9-94
Public Works, Water Utilities Division
Frank J. Kujala 10-6-94
City Engineer, Engineering Division/HM/PA
Joel Clark 10-12-94
Planning Department

KEYED NOTES

- EXISTING PARKING SPACES
- EXISTING CURB AND PAVING
- MAINTAIN EXISTING DRAINAGE OUTLETS
- ASPHALT PAVING; REF. EA1.1
- CURB; REF. G/TCL
- SIDEWALK; REF. B/TCL
- EXISTING LANDSCAPE AREA UNCHANGED
- NEW LANDSCAPE AREA
- EXISTING SITE LIGHTING
- RAMP SLOPE 1:12 MAX. PER ANSI 405.2; REF. C/TCL
- ADA COMPLIANT PARKING SIGNAGE PER ANSI 502.6; REF. D/TCL
- MOTORCYCLE SIGNAGE; REF. E/TCL
- PAINTED SYMBOL PER ANSI 703.7
- ACCESSIBLE AISLE PER ANSI 502.3
- PATCH PAVING @ CONNECTION; FIELD VERIFY
- EXISTING LOCKED GATE
- PREVIEW MENU PYLON
- MENU PYLON
- SPEAKER / ORDER PYLON
- MAX HEIGHT PYLON
- EXISTING DUMPSTER ENCLOSURE
- SIGNAGE "DO NOT ENTER" REF. FA1.1
- STRIP THIS AREA FOR SOLID WASTE VEHICLE
- EXISTING FIRE HYDRANT
- EXISTING BUILDING FOOTPRINT
- BIKE RACK; REF. ATCL
- DEMOL EXISTING BUILDING AT HIDDEN

INTERSTATE ROAD 25
PAN AMERICAN FREEWAY



ALAMEDA CENTER NORTH DESIGN GUIDELINES

WALLS: STUCCO - LIGHT SALMON/TAN
METAL FLASH PANELS - SILVER GREY
METAL COLUMNS - SILVER GREY

ROOFING: ROOF FORMS AND MATERIALS - PITCHED STANDING SEAM METAL ROOF (SILVER GREY)
FLAT ROOF WITH METAL FLASH PANELS
VAULTED METAL ROOF (SILVER GREY)

GLAZING: BLUE/GREEN GLAZING IN SILVER GREY FRAMES
SIGNAGE: ILLUMINATED CHANNEL LETTERING AND CANNELED LOGO SIGNS WITH 25ft MAUBAIN SIZE

general notes
contractor to coordinate construction plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
if any conflicts in the construction documents arise, the larger scale shall take precedence, and the specifications govern over drawings
the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
contractor to verify all dimensions prior to construction
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site plan
DCSW architects

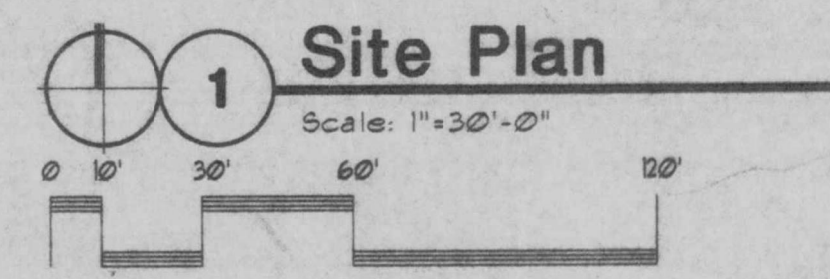
revisions:
design
collaborative
southwest inc.
engineer 105 4th st. sw albuquerque, nm 87102
job no: 9414
date: 8-2-94 505-845-9639
sheet DRBA.1 of 3

LAND USE DATA

LEGAL DESCRIPTION:	LOTS 12,13,14,15,16,20,21,&22, BLOCK 12, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES SUB-DIVISION
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TOTAL PARKING LOT AREA:	72,898 SF
TOTAL LANDSCAPE AREA:	65,220 SF (INCL'G SIDEWALKS)
TOTAL LANDSCAPE PERCENTAGE:	42%
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PARKING CALCULATIONS

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MOTEL	: 1 CAR/1 RENTAL UNIT	: 69
GAS STATION	: 1 CAR/200 SF	: 8
TOTAL PARKING REQUIRED	:	112
TOTAL PARKING PROVIDED	:	
STANDARD STALL (9'x20')	:	104
HANDICAP PARKING (13'x20')	:	10
H.C. VAN PARKING (16'x20')	:	1
TOTAL PROVIDED	:	115
ZONING	: SU-2 FOR AUTO SALES	
PROPOSED	: SU-2 FOR MOTEL, SERVICE STATION, AND RESTAURANT AS CONTROLLED BY THE SHOPPING CENTER REGULATIONS	
LIGHTING	: PARKING LOT AREA - 1.5 F.C. MIN. LIGHT POLE 25' HEIGHT MAX.	



9406site.dwg
5,17,94

Z-94-87



CASE NUMBER: Z-94-87

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Carol Schneider-Dumont 8-9-99
Public Works, Water Utilities Division
Robert W. Kava 8-9-99
Public Works, Water Utilities Division
Frank J. Unger 10-C-99
City Engineer, Engineering Division
Joel Clark 10-12-99
Planning Department

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- STRIPES THIS AREA FOR SOLID WASTE VEHICLE
- EXISTING FIRE HYDRANT
- EXISTING BUILDING FOOTPRINT
- BIKE RACK, REF. A/TCL
- DEMOL EXISTING BUILDING AT HIDDEN
- PAINTED LETTERS 18" HIGH READS "ONE WAY DO NOT ENTER"
- PAINTED DIRECTIONAL ARROWS; 10' LONG OR COMPARABLE PATTERN; BIKE RACK LOCATION
- SIDEWALK TO BE BUILT TO NMDOT STANDARDS AND PER NMDOT PERMIT
- EXISTING DRAINAGE WAY TO REMAIN; FIELD VERIFY LOCATION

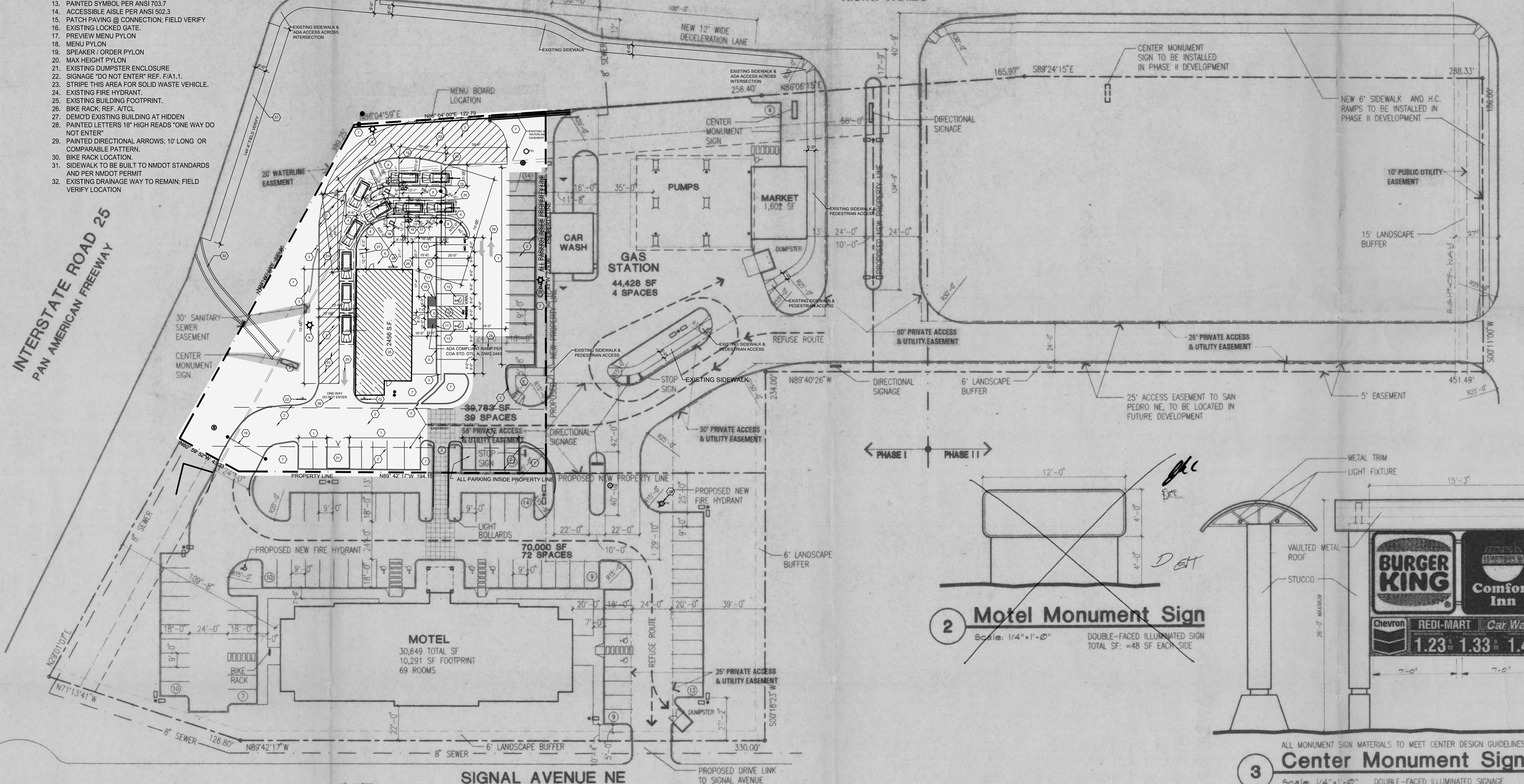
SIDEWALK JOINT



INTERSTATE ROAD 25
PAN AMERICAN FREEWAY

ALAMEDA BLVD. NE
R.O.W. VARIES

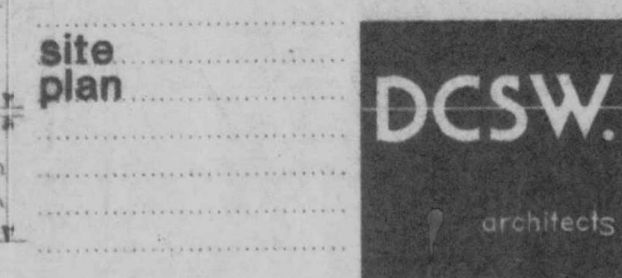
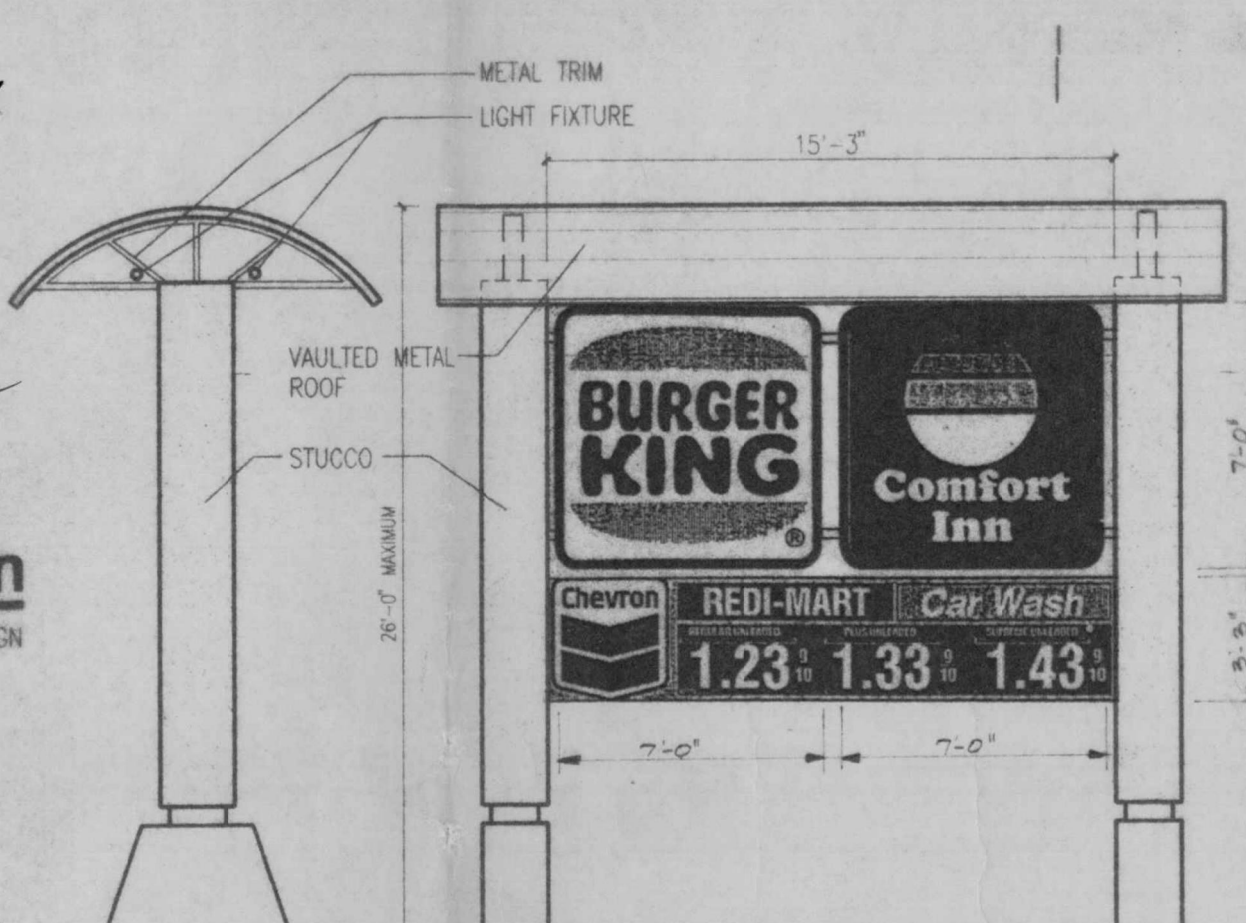
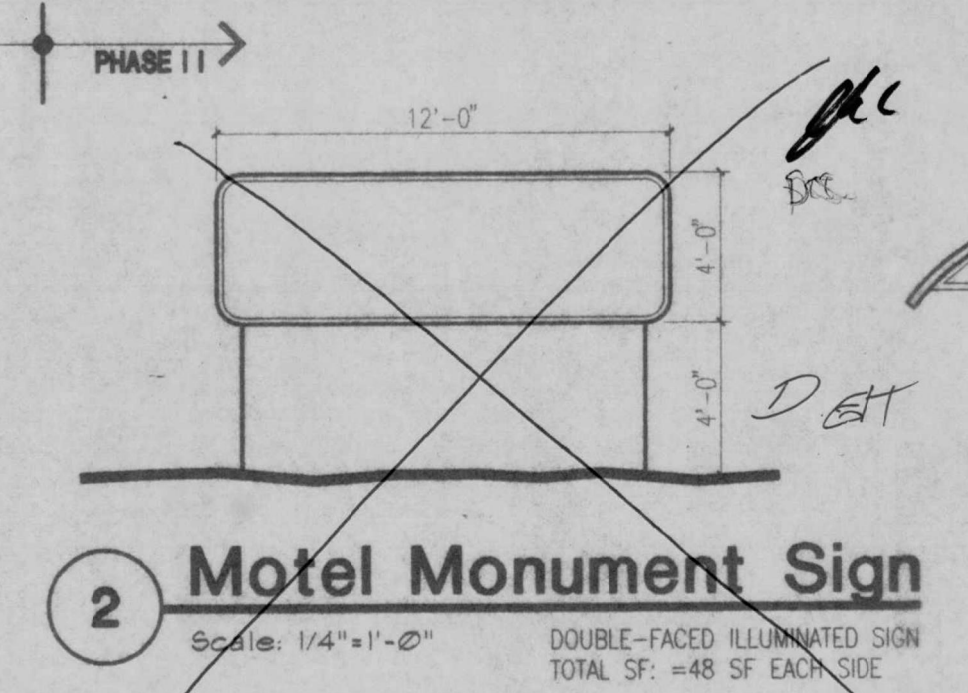
SAN PEDRO BLVD. NE
R.O.W. 77'-0"



ALAMEDA CENTER NORTH
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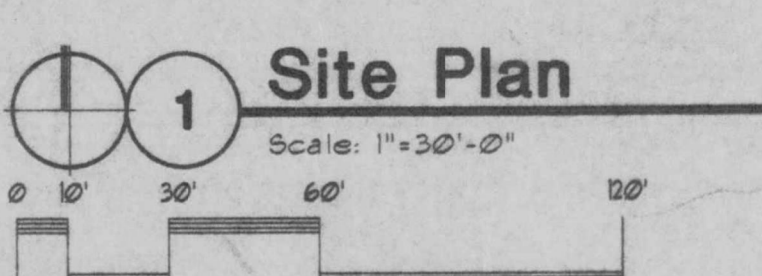
engineer 105 4th st. sw
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87102
job no: 9414
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sheet DRBA.1 of 3

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