



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major - Preliminary Plat (Form S1)	<input type="checkbox"/> Major Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor - Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S2)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input checked="" type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Change in building envelope boundaries to allow for architectural feature as part of new home construction

APPLICATION INFORMATION

Applicant: Robert and Nancy Key	Phone: 505-249-8244
Address: 7022 Moon Glow Ct. NE	Email: nkey@comcast.net
City: Albuquerque, N.M.	State: N.M.
Professional/Agent (if any):	Zip: 87111
Address:	Phone:
City:	Email:
State:	Zip:
Proprietary Interest in Site:	List all owners:

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lot 12-A	Block:	Unit:
Subdivision/Addition: Wilderness Estates at High Desert	MRGCD Map No.:	UPC Code: 102306147438510301
Zone Atlas Page(s): F-23-Z	Existing Zoning: Residential	Proposed Zoning: Residential
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 1.59

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 13500 Trail Vista Ct. NE Between: High Desert Pl. NE and: Trail Vista Ct. NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 3-25-2021
Printed Name: Robert Key, Nancy Key	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:		Project #		

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines unless noted differently below. Bring original Mylar of plat with property owner's and City Surveyor's signatures on it to the meeting. Your attendance is required.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

>> INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- Interpreter Needed for Hearing? NO if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- SKETCH PLAT REVIEW AND COMMENT**
 - Letter describing, explaining, and justifying the request
 - Scale drawing of the proposed subdivision plat (7 copies, folded)
 - Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)
- MAJOR SUBDIVISION FINAL PLAT APPROVAL (requires published notice, heard on the DRB Major Case Schedule)**
 - Letter describing, explaining, and justifying the request
 - Copy of recorded IIA
 - Proposed Final Plat (7 copies, 24" x 36" folded)
 - Design elevations & cross sections of perimeter walls (3 copies)
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - DXF file and hard copy of final plat data for AGIS submitted and approved
- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL**
 - Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
 - Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
 - Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
 - Required notice with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination Public Notice Inquiry response
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Proposed Preliminary / Final Plat with property owner's and City Surveyor's signatures on the plat prior to submittal (7 copies, folded)
 - Sidewalk Exhibit and/or cross sections of proposed streets (3 copies, 11" by 17" maximum)
 - Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
 - Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
 - Proposed Infrastructure List, if applicable
 - DXF file and hard copy of final plat data for AGIS submitted and approved
- MINOR AMENDMENT TO PRELIMINARY PLAT OR INFRASTRUCTURE LIST**
 - Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.		
Signature:	Date: 3-25-2021	
Printed Name: Robert Key	Nancy Key	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Case Numbers:	Project Number	
Staff Signature:		
Date:		

Bernalillo County
Planning & Development Services
111 Union Square SE, Suite 100
Albuquerque, NM 87102

This is a request for a change in the building envelope area for a vacant lot 12-A located in The Wilderness Estates in High Desert, 13500 Trail Vista Court, NE.

We are seeking a change in the building envelope for the extension of an architectural structure, or buttress, that would be built on the property.

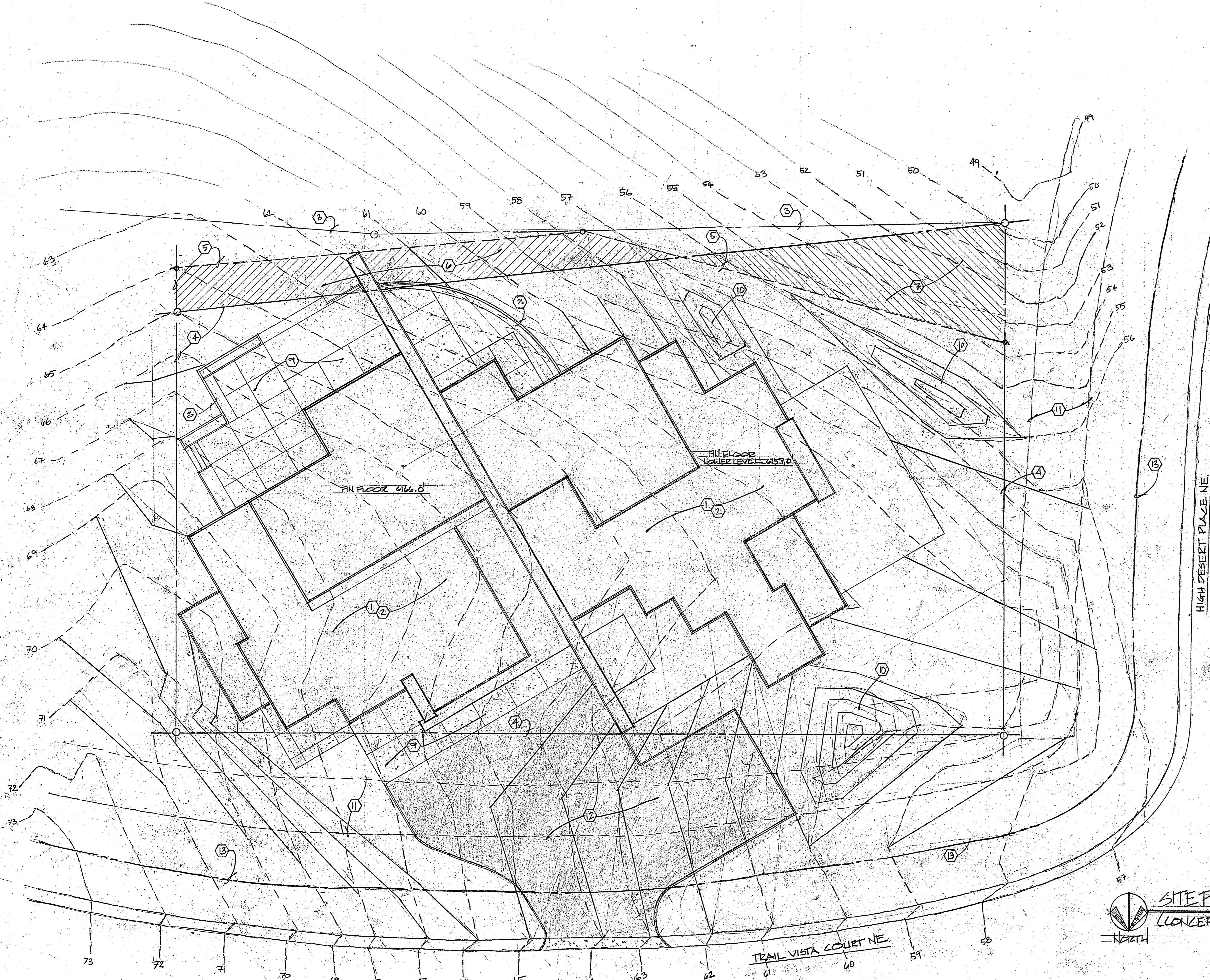
The building envelope as currently configured :

- Runs parallel to the street which focuses views at the subdivision south of Bear Canyon Arroyo and the neighbors to the north.
 - Is at its largest area is at the most undesirable locations close to the major thoroughfare, High Desert Place, and at the steepest part of the property sloping in the flood plane.
- **We propose extending the envelope as described in the drawing at the southeast corner by approximately 560 SF and decreasing the size of the envelope in the NW corner by the 580 SF.**
- In order to maximize the views the home needs to be rotated approximately 30 degrees from the north boundary of the envelope.
 - A "buttress" for lack of a better term is a prominent architectural feature of the home. It also acts as a screen to some of the less desirable views, the subdivision to the south.
 - As proposed, rotating the home and the buttress cause the NE end of the buttress to violate the building envelope. See enclosed drawing.
 - The minor exchange of area will accommodate both maximizing views and the construction of the buttress as described.

In our preliminary meeting with the High Desert New Construction Committee on January 12, the committee suggested we contact the city to facilitate a change.

Thank you,

Robert & Nancy Key
505-249-8244



INDEX TO DRAWINGS

- SHEET
- A-1 SITE PLAN
 - A-2 FOUNDATION PLAN
 - A-3 MAIN LEVEL FLOOR PLAN
 - A-4 LOWER-LEVEL FLOOR PLAN/FLOOR FRAMING PLAN/NORTH ELEVATION
 - A-5 BUILDING SECTIONS
 - A-6 ROOF FRAMING PLAN 8 FT BEARING HT
 - A-7 ROOF FRAMING PLAN 9 FT BEARING HT
 - A-8 ROOF FRAMING PLAN 10 FT BEARING HT
 - A-9 ROOF FRAMING PLAN 12 FT BEARING HT
 - A-10 ROOF PLAN
 - A-11 WALL SECTIONS
 - A-12 WALL SECTIONS
 - A-13 SHEAR WALL PLAN LOWER LEVEL
 - A-14 SHEAR WALL PLAN MAIN LEVEL
 - A-15 ELECTRICAL PLAN
 - A-16 LIGHTING PLAN/REFLECTED CEILING PLAN

KEYED NOTES SHEET A-1

- 1. PROPOSED STRUCTURE
- 2. TAN TPO SINGLE PLY ROOF, SEE ROOF PLAN SHEET A-10
- 3. LINE OF EXISTING FLOOD PLAIN EASEMENT
- 4. LINE OF EXISTING BUILDING ENVELOPE
- 5. LINE OF PROPOSED CHANGE TO BUILDING ENVELOPE
- 6. ADDITION TO EXISTING BUILDING ENVELOPE
- 7. CORRESPONDING REDUCTION OF BUILDING ENVELOPE
- 8. YARD WALL, CMU, STUCCO
- 9. 4" CONCRETE SLAB
- 10. PROPOSED PONDING AREA
- 11. 10' PUBLIC UTILITY EASEMENT
- 12. SANTA FE BROWN CRUSHER FINES OVER COMPACTED BASE COURSE
- 13. PROPERTY LINE

SITE PLAN
 (CONCEPTUAL DRAINAGE PATTERN) 1/8"=1'-0"
 NORTH

SHEET
 A-0

Existing SLR showing correct building envelope.

IMPROVEMENT LOCATION REPORT

THIS IS TO CERTIFY,

TO TITLE CO.: Landamerica Albuquerque Title
TO PROPOSED INSURED: Kirk Morin and Samantha Wexler-Morin, husband and wife
that on November 6, 2003 I made an inspection of the premises situated at
the Southeast Corner of High Desert Place NE and Trail Vista Court NE,
Albuquerque, Bernalillo County, N.M. briefly described as:

Lot numbered Twelve-A (12-A) of the Plat of Lots 1-A thru 27-A Wilderness Estates at High Desert, Albuquerque, New Mexico, as the same is shown and Designated on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 28, 2003 in Map Book 2003C, Page 229.

PLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed).

Plat of Lots 1-A thru 27-A
Wilderness Estates at High Desert
Filed: July 28, 2003
Map Book 2003C, Page 229

Note: The error of closure is one foot of error for every 10,000 feet along the perimeter of the legal description provided.

Easements shown hereon are listed in Title Commitment No. 227801CR dated June 30, 2003 provided by Landamerica Albuquerque Title.

Improvement location is based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations of record which pertain. This report is not to be relied on for the establishment of fences, buildings or other future improvements.

I FURTHER CERTIFY as to the existence of the following at the time of my last inspection:

1. Evidence of rights of way, old highways or abandoned roads, lanes, trails or driveways, sewer, drains, water, gas or oil pipe lines on or crossing said premises:

None Seen

2. Springs, streams, rivers, ponds, or lakes located, bordering on or through said premises:

None Seen

3. Evidence of cemeteries or family burial grounds located on said premises:

None Seen

4. Overhead utility poles, anchors, pedestals, wires or lines overhanging or crossing said premises and service other properties:

None Seen

5. Joint driveways or walkways, joint garages, party walls or rights of support, steps or roofs in common or joint garages:

None Seen

6. Apparent encroachments. Of the building, projections or cornices thereof, or signs affixed thereto, fences or other indications of occupancy appear to encroach upon or overhang adjoining property, or the like appear to encroach upon or overhang inspected premises, specify all such:

None Seen

IMPROVEMENT LOCATION REPORT

7. Specific physical evidence of boundary lines on all sides:

See Attached Site Map, Page 2 of 2

8. Is the property improved?

No, Property is Vacant Land

9. Indications of recent building construction, alterations or repairs:

No, Property is Vacant Land

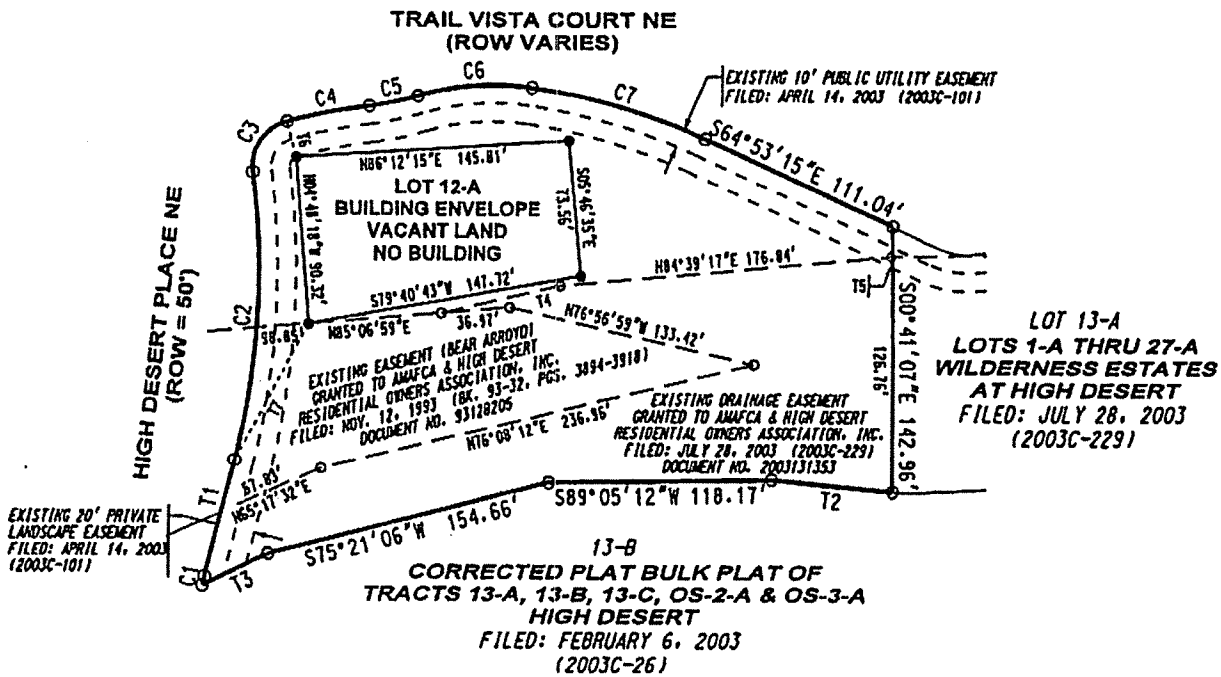
10. Approximate distance of structure from at least two lot lines must be shown.

No Structure, Property is Vacant Land



A. Dwain Weaver
A. Dwain Weaver NMPS No. 6544

THIS IS NOT A SURVEY FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE



SCALE: 1" = 100'

TANGENT DATA		
No.	BEARING	DISTANCE
T1	N13°19'06"E	64.79
T2	N84°34'41"W	65.07
T3	S63°07'47"W	38.57
T4	N76°40'59"E	65.30
T5	N88°54'35"E	0.72
T6	N14°32'06"W	20.01
T7	S27°25'33"W	82.93

CURVE DATA						
No.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	00°39'41"	2.45	4.91	425.00	4.91	N12°59'15"E
C2	21°06'27"	79.18	156.57	425.00	155.68	N02°45'53"E
C3	82°19'02"	21.85	35.92	25.00	32.91	N33°22'10"E
C4	08°03'04"	22.24	44.40	316.00	44.37	N78°33'14"E
C5	09°34'33"	13.32	26.57	159.00	26.54	N77°47'30"E
C6	25°08'21"	31.44	61.87	141.00	61.37	N85°34'24"E
C7	16°58'10"	48.78	96.85	327.00	96.50	S73°22'20"E

- ⊙ FOUND 5/8" REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "WEAVER LS 6544"
- FOUND 5/8" REBAR
- PROPERTY CORNER