



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Dean Smith, ABQ/Bern Co. Library System		Phone: (505) 768-5170
Address: 501 Copper Avenue NW		Email: dpsmith@cabq.gov
City: Albuquerque	State: NM	Zip: 87102
Professional/Agent (if any): Cherry See Reames Architects		Phone: (505) 842-1278
Address: 220 Gold Avenue SW		Email: smora@cherryseereames.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Architect		List all owners: City of Albuquerque

BRIEF DESCRIPTION OF REQUEST

Administrative Amendment to the existing Site Development Plan to include new community room addition at southeast portion of existing building, and minor site improvements to accomodate fire safety regulations.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 9/ SANTA FE VILLAGE PARK	Block: 0000	Unit: #2
Subdivision/Addition: Santa Fe Village Unit 2	MRGCD Map No.:	UPC Code: 101006232612741905
Zone Atlas Page(s): E-10-Z	Existing Zoning: NR-PO-A	Proposed Zoning: NR-PO-A
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 5.17 Ac.

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5700 Bogart St. NW	Between: Montano Rd.	and: Foxford Ave. NW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Original Case # Z-87-53; Amin Amendment from 4/2008: File # 08-10050; Project # 1007195

Signature: <u>Stephen Mora</u>	Date: 03/26/2021
Printed Name: Stephen Mora	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00490	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2021-005346

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
 - ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
 - ☐ Copy of the Official Notice of Decision associated with the prior approval
 - ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- ☐ Sign Posting Agreement

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Stephen Mora

Date: 03/26/2021

Printed Name: Stephen Mora

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:

Case Numbers

PR-2021-005346

SI-2021-00490

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Staff Signature:

Date:





abqlibrary.org

October 31, 2019

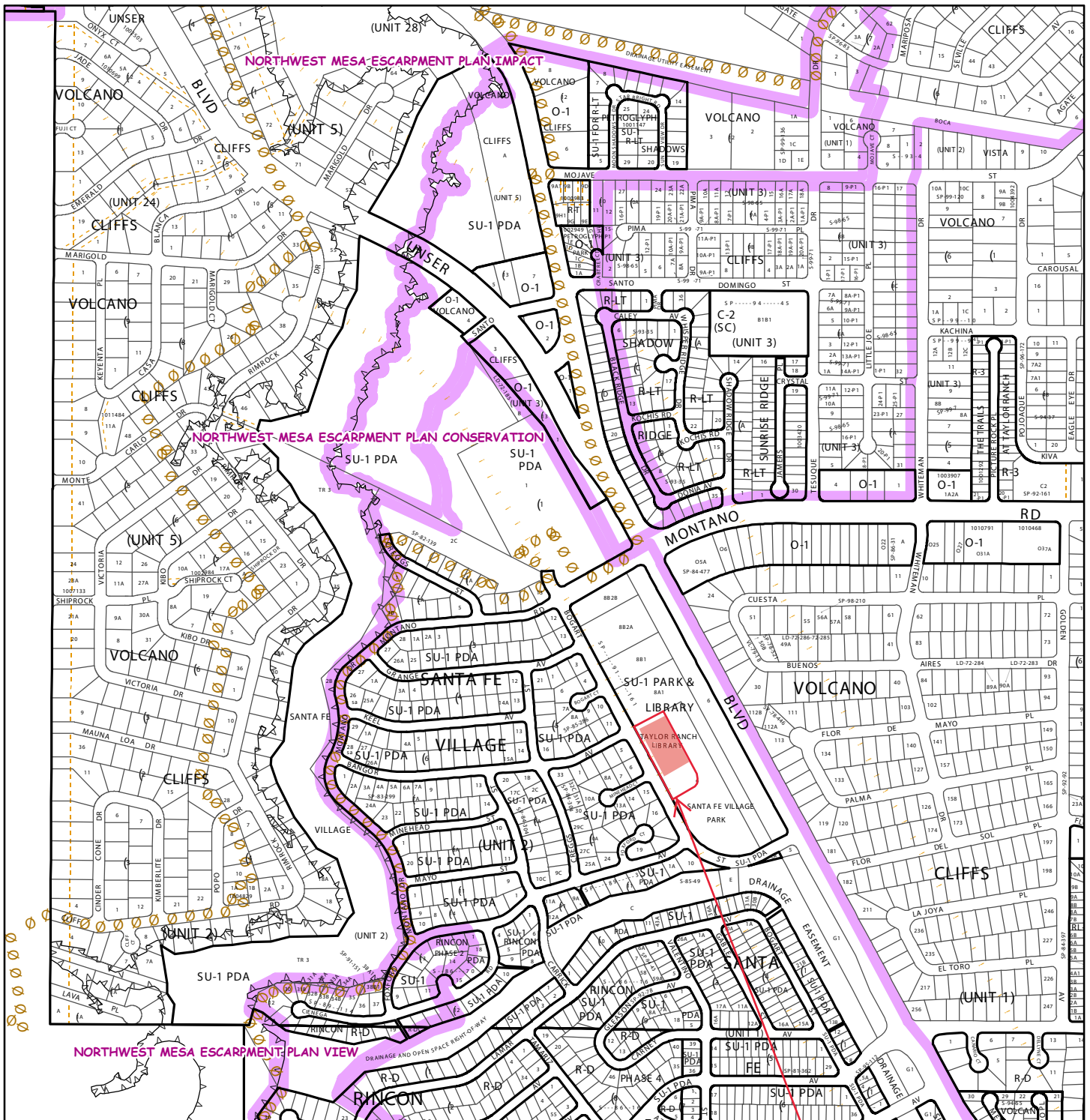
Russell Brito, Division Manager
Urban Design & Development
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Dear Mr. Brito:

This letter provides authorization to Cherry/See/Reames Architects PC to represent the City of Albuquerque Department of Municipal Development and Albuquerque / Bernalillo County Library System in all matters regarding the Administrative Amendment to the Site Development Plan approved prior to the effective date of the IDO for the Taylor Ranch Library, located at 5700 Bogart Street NW, Albuquerque, NM 87120. (Case # Z-87-53; File # 08-10050; Project # 1007194).

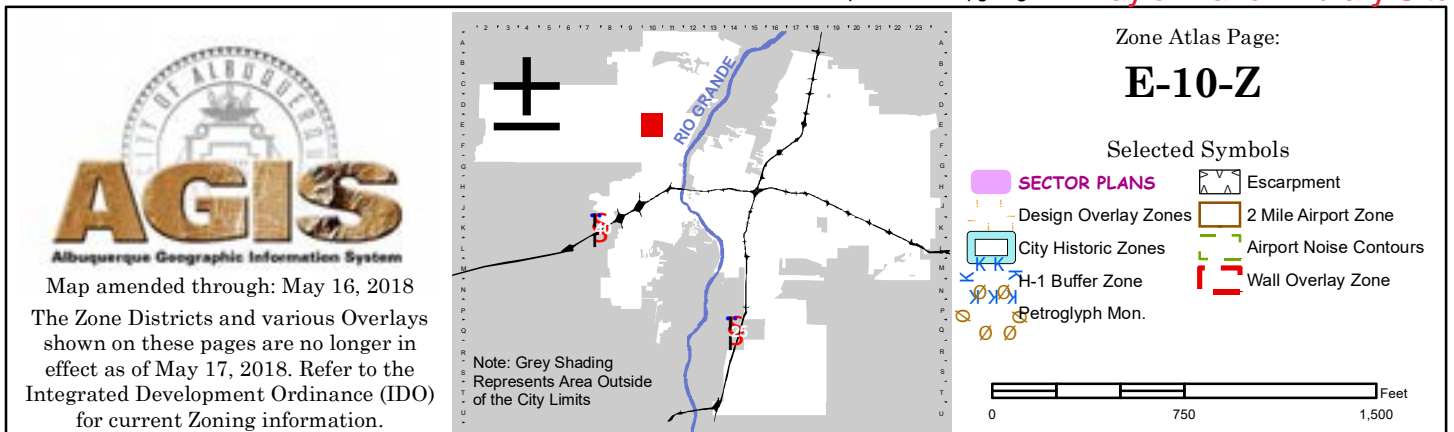
Sincerely,

Dean Smith, Library Director
The Public Library, Albuquerque & Bernalillo County
501 Copper Avenue NW, Albuquerque, New Mexico, 87102



For more current information and details visit: <http://www.cabq.gov/gis>

Taylor Ranch Library Site



March 26, 2021

Maggie Gould, Planning Manager
Land Development Coordination
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Dear Mrs. Gould:

The purpose of this letter is to provide justification for the minor changes that the City of Albuquerque (COA) is proposing to make to the existing Site Development Plan for the Taylor Ranch Library located at 5700 Bogart Street NW, in the Santa Fe Village Park. The original Site Development Plan was approved by the Environmental Planning Commission in 1989 under **Case # Z-87-53**. Slight revisions were made on November 17, 1989, and were approved on November 27, 1989. An Administrative Amendment, to add a shade structure near the southwest corner of the building, was approved on April 3, 2008 under **File # 08-10050; Project # 1007194**.

Below, I provide descriptions, explanations, and justifications for the proposed minor changes to the Site Development Plan. These minor changes are in response to the COA Albuquerque/Bernalillo County Libraries' functional and programmatic needs for their facilities to include a community room. As a result of adding a community room, slight changes to the site are required to meet the Fire Marshal's requirements for fire safety.

Community Room Addition:

- A 1,340 sf Community Room Addition is proposed to be added to the building, located to the west side of the existing building. See AS101 and A-201.
- According to the approved Site Development Plan, the existing building is 13,809 sf. The new addition is less than 10% of the total square footage of the existing building.
- To provide access to and around the new addition, the existing concrete pad under the shade structure will be extended by approximately 10'-0" to the east to connect to the new building addition. See AS101, sheet keynote #22.

New Fire Hydrant:

- Two existing fire hydrants are located close enough to serve the site. According to the Fire Flow Requirements, shown on the FIRE1 plan, three hydrants are required for the site. A new hydrant is proposed at the southwest corner of the site, in the planting area adjacent to the sidewalk. See approved FIRE1 sheet.
- The curb adjacent to the new fire hydrant will be marked with FIRE LANE, NO PARKING per fire safety requirements.

New Fire Truck Access Drive:

- One of the fire safety requirements is that "fire apparatus access roads shall extend to within 150 feet of all portions of the first floor of the facility and all portions of the exterior walls.
- To accommodate this requirement, a new gravel fire truck access lane is proposed to run along the northeast side of the building. (See FIRE1 plan). All fire safety requirements are met, including 20'-0" minimum width of road, heavy duty driving surface to support 75,000 lbs, and turning radius of 28'-0".

- An existing concrete curb will be removed to provide a level grade surface for the new access drive.

Changes to Parking Lot:

- In order to provide the minimum turn-around requirements for fire truck access, the existing concrete planter in the southeast quadrant of the parking lot needs to be changed in shape, and two parking spaces need to be removed. The new shape of the planter area will incorporate a 28'-0" radius curve as required per the Fire Marshal's FIRE 1 Site Plan Checklist.
 - o The existing site light fixture will be removed and relocated to be centered in the new planter area.
- The existing fire hydrant at the southeast corner of the parking lot currently faces the parking lot, directly abutting an existing ADA accessible parking space. To meet the minimum fire safety requirements for access to the fire hydrant, a clear space extending a minimum of 15'-0" radius from the hydrant must be provided.
 - o To provide the required clear space, the two ADA parking spaces are proposed to be shifted to the north by approximately 16'-6".
 - o Current ADA accessibility requirements call for an access aisle to be provided for each ADA accessible space. A van accessible access aisle, 8'-0" wide, is proposed to be provided between the two ADA accessible parking spaces in the southeast corner of the parking lot.

Changes to Landscaping:

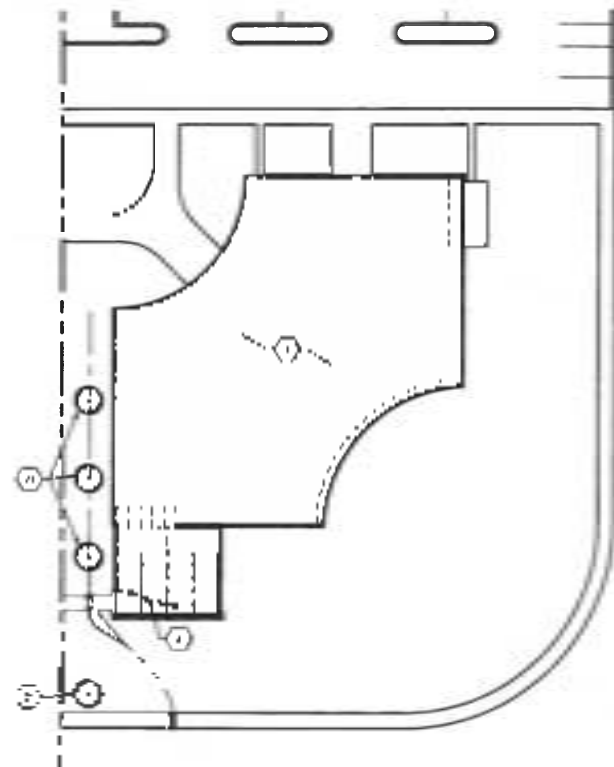
- Due to the Community Room Addition, detailed above:
 - o A portion of grass to the south of the building, approximately 2,344 sf in size, will be removed and replaced with a 1,340 sf building addition, a 346 sf concrete pad to connect the building addition to the existing shade structure area, and approximately 658 sf of stabilized crusher fines near the building.
 - o The grass is proposed to be removed in the areas immediately surrounding the new building addition to promote proper drainage away from the building, and reduce the amount of irrigation needed directly adjacent to the building.
- Due to the New Fire Truck Access Drive, detailed above:
 - o One existing honey locust tree and one existing desert willow tree will be removed and replaced. The honey locust will be replanted to the west of its current location, and the desert willow will be replanted to the south of its current location.
 - o A portion of the existing grass area to the east of the building will be replaced with a new engineered gravel drive. The gravel drive area proposed to be added to the site is 1,100 sf.
- Due to the Changes to Parking Lot, detailed above:
 - o One existing honey locust tree will be removed and replaced in the new part of the planter area.

Thank you for your consideration of this administrative amendment application.

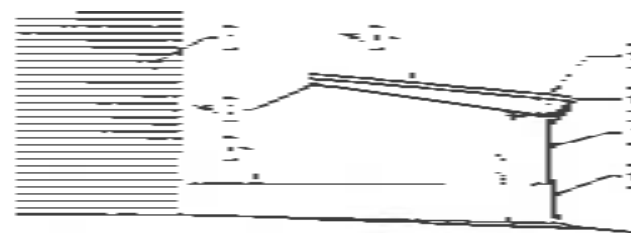
Sincerely,



Steve Mora



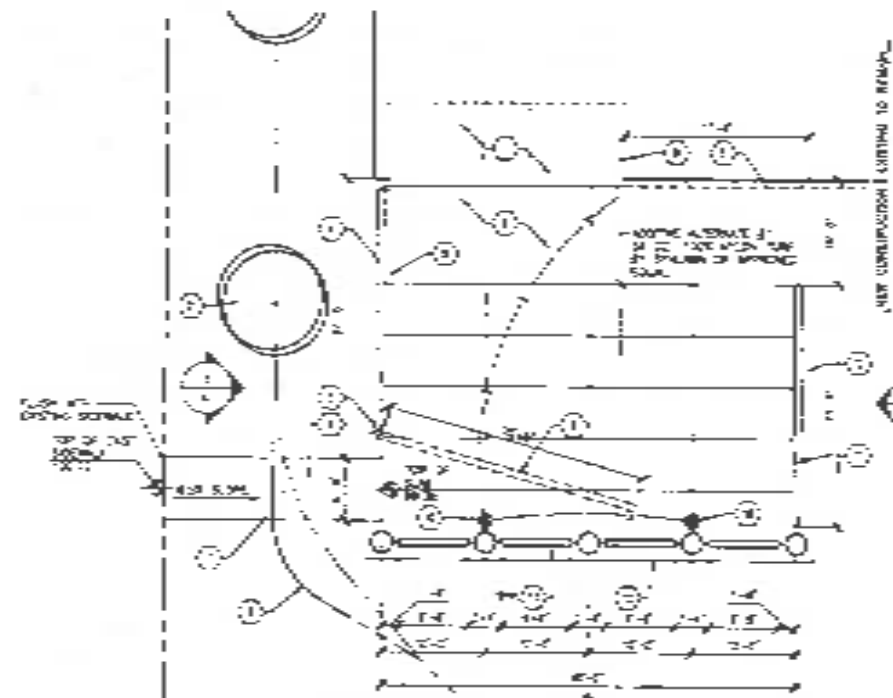
1 SITE PLAN



3 WEST ELEVATION



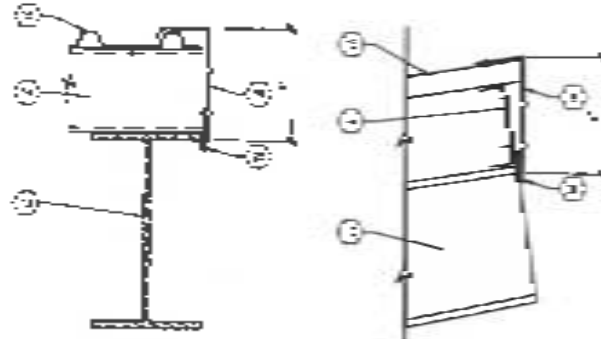
4 SOUTH ELEVATION



2 FLOOR PLAN



5 EAST ELEVATION



6 FLASHING DETAILS

NOTED NOTES

1. EXISTING BUILDING TO BE DEMOLISHED WITH CONDITIONS

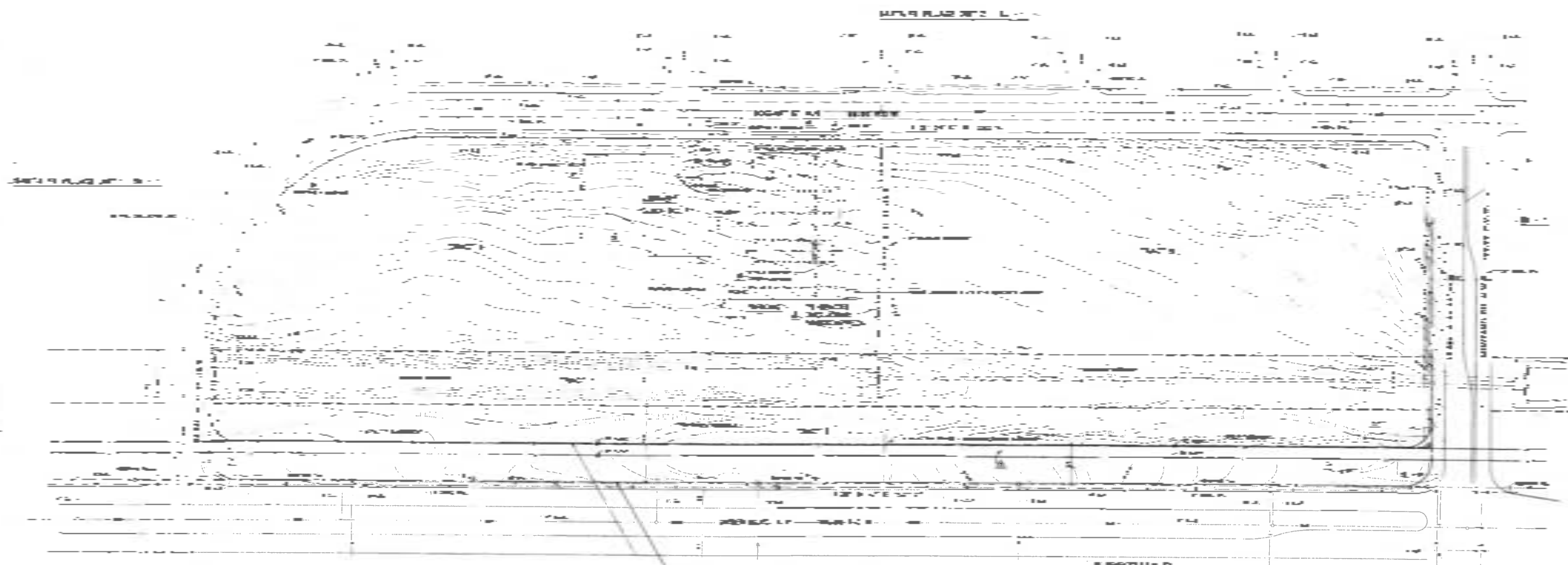
NOTED NOTES

1. EXISTING BUILDING TO BE DEMOLISHED WITH CONDITIONS
2. EXISTING FOUNDATION TO REMAIN EXCEPT WHERE SHOWN OTHERWISE
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4. EXISTING EXTERIOR WALLS TO REMAIN EXCEPT WHERE SHOWN OTHERWISE
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20. EXISTING ACCESSIBILITY EQUIPMENT TO REMAIN EXCEPT WHERE SHOWN OTHERWISE
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ADMINISTRATIVE AND OTHER
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
 2. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE AUTHORITY.
 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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UNIONIAN ARCHITECT 1000 1st Avenue, Suite 100 Seattle, WA 98101 Phone: (206) 467-1234 Fax: (206) 467-5678 Email: info@unionianarchitect.com Website: www.unionianarchitect.com		PROJECT NO. 12345 CLIENT: ABC COMPANY DATE: 10/1/2023 SCALE: AS SHOWN DRAWN BY: J. SMITH CHECKED BY: M. JONES APPROVED BY: K. BROWN
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5700 Bogart St NW



- 1. EXISTING
- 2. PROPOSED
- 3. EXISTING
- 4. PROPOSED
- 5. EXISTING
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- 10. PROPOSED

SEE SHEET 1 FOR TOWN MAP

NOTES:

1. THE SITE IS LOCATED IN THE TOWN OF TAYLOR, TEXAS.
2. THE SITE IS ZONED R-1 (RESIDENTIAL SINGLE-FAMILY).
3. THE SITE IS ADJACENT TO THE TAYLOR RANCH BRANCH LIBRARY.
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LIBRARY PARKING	
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SITE DEVELOPMENT PLAN



APPROVED:

[Signature] **DATE:** 10/1/11

DESIGNED BY: *[Signature]* **DATE:** 10/1/11

CHECKED BY: *[Signature]* **DATE:** 10/1/11

DATE: 10/1/11

TAYLOR RANCH BRANCH LIBRARY

HOS-ONE & PEARSON ARCHITECTS

1000 N. 10TH

IRVING, TEXAS 76038

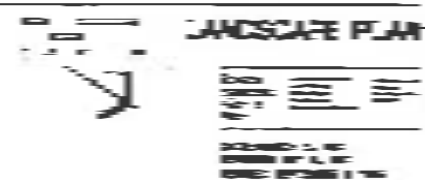
PHONE: 972.261.1111

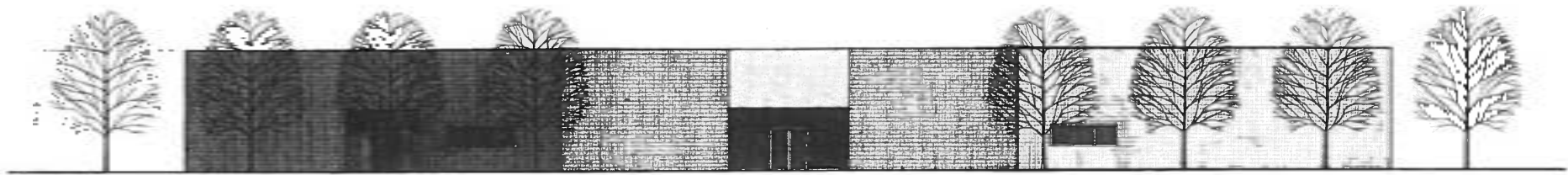
FAX: 972.261.1112

[illegible]

- a) Mg^{2+} [Ne] 3s² 3p⁶ 3d⁰ 4s⁰ 4p⁰
Ca²⁺ [Ar] 3d⁰ 4s⁰ 4p⁰
Zn²⁺ [Ar] 3d¹⁰ 4s⁰ 4p⁰
Ga³⁺ [Ar] 3d¹⁰ 4s⁰ 4p⁰
- b) Fe^{3+} [Ar] 3d⁵ 4s⁰ 4p⁰
Li⁺ [He] 2s⁰ 2p⁰
- c) Mg^{2+}
[Ne] 3s² 3p⁶ 3d⁰ 4s⁰ 4p⁰
- d) Li^{+}
[He] 2s⁰ 2p⁰
- e) Fe^{3+}
[Ar] 3d⁵ 4s⁰ 4p⁰
- f) Zn^{2+} [Ar] 3d¹⁰ 4s⁰ 4p⁰

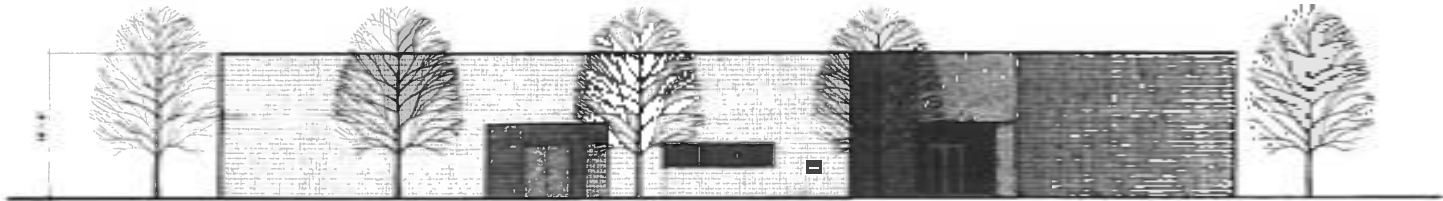
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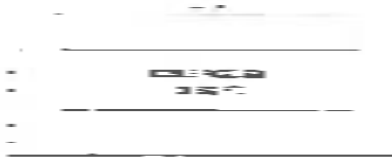
NORTHWEST ELEVATION

1/8" = 1' - 0"



NORTH ELEVATION

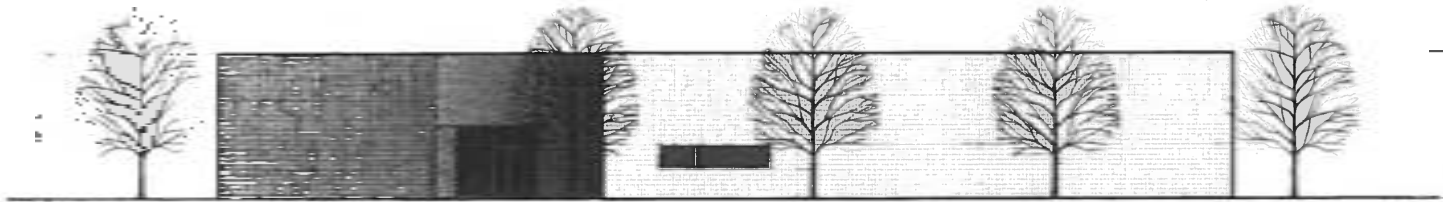
1/8" = 1' - 0"



SIGN

1/2" = 1' - 0"

INTERNALLY ILLUMINATED

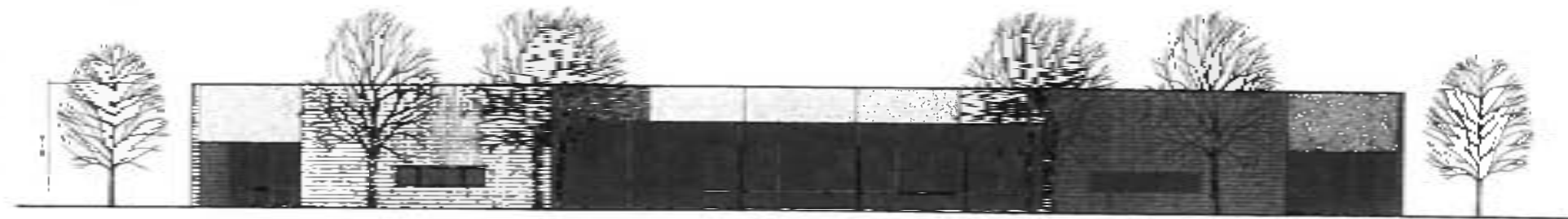


WEST ELEVATION

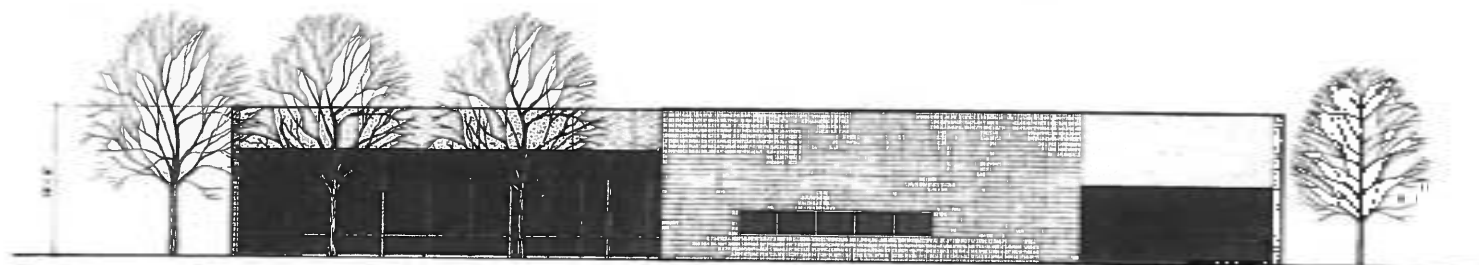
1/8" = 1' - 0"

TAYLOR RANCH BRANCH LIBRARY

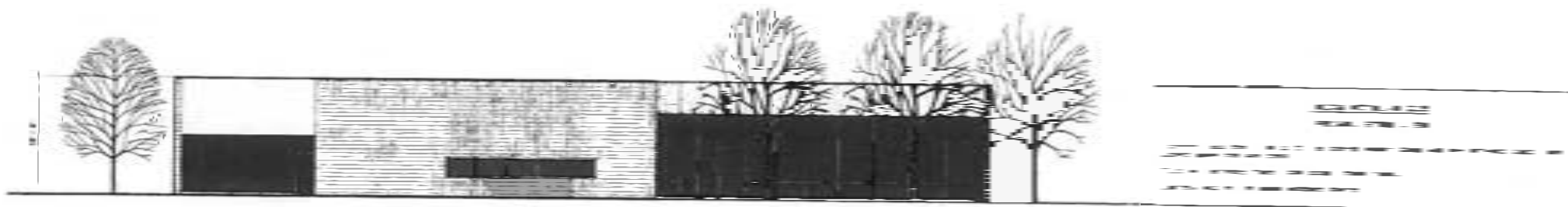
REVISED SEPTEMBER 6, 1988



SOUTHEAST ELEVATION
1/8" = 1' - 0"



EAST ELEVATION
1/8" = 1' - 0"



SOUTH ELEVATION
1/8" = 1' - 0"

TAYLOR RANCH BRANCH LIBRARY
REVISED SEPTEMBER 6, 1988

5700 BOGART N.W.

2-67-53.

TAYLOR RANCH
LIBRARY.

1. 1/2" = 1' SCALE
 2. 1/4" = 1' SCALE
 3. 1/8" = 1' SCALE
 4. 1/16" = 1' SCALE
 5. 1/32" = 1' SCALE
 6. 1/64" = 1' SCALE
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PLANT SCHEDULE - TREES									
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT/CANOPY	SPREAD	Kc	HPO USE	REMARKS
	1	DESERT WILLOW	CHILOPSIS LINEARIS	2" CAL	TO 30'/2946 SF	20'-30'	.14	L	
	2	SHADEMASTER HONEY LOCUST	GLEDTISIA TRIACANTHOS INERMIS "SHADEMASTER"	2-1/2" CAL	40'-70'/-----	40'-70'			

SYMBOLS NOT SHOWN TO SCALE IN LEGEND

LEGEND	
	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING BUILDING TO REMAIN;
	AREA OF WORK
	NEW FIRE LANE PAINT AT CURBS
	SUBSURFACE UTILITY LINE

PARKING CALCULATIONS	
There are 84 existing parking spaces.	
- 2 spaces will be removed to provide minimum fire truck access to the existing fire hydrant.	
- 2 spaces will be removed to provide an updated parking lot planter that allows for 28'-0" turning radius for fire trucks.	
- 1 space will be removed to provide two motorcycle parking spaces.	
PROVIDED PARKING:	
Vehicles per IDO Table 5-5-1:	15,149 SF / 1,000 X 2 = 31 Spaces Required
Motorcycles per IDO Table 5-5-4:	2 Spaces Required
ADA Accessible per ADA Standards Table 208.2:	4 Spaces
Bicycles per IDO Table 5-5-5:	3 Spaces
PROVIDED PARKING:	
Vehicles:	75 Spaces + 4 ADA Spaces = 79 Spaces
Motorcycles:	2 Spaces
ADA Accessible:	4 Spaces
Bicycles:	3 Spaces

GENERAL SHEET NOTES

- REFER TO SHEET A-001 FOR GENERAL ARCHITECTURAL INFORMATION.
- COORDINATE WITH CIVIL DRAWINGS AND ARCHITECTURAL FLOOR PLANS. IF A DISCREPANCY IS FOUND, CONTACT THE ARCHITECT.
- GENERAL CONTRACTOR IS TO VISIT THE SITE PRIOR TO START OF WORK.
- ALL EXISTING TREES, SHRUBS AND GROUNDCOVERS WHICH DO NOT CONFLICT WITH NEW SITE IMPROVEMENTS SHALL REMAIN. CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION TO REMAIN, AND SHALL REPLACE DAMAGED VEGETATION AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH SHEET AS011.
- STRIP ALL RESURFACED PAVING AND PARKING PER PLAN.
- PROTECT FROM DAMAGE ALL EXISTING SIDEWALKS, CURBS, GUTTERS, PAVEMENT, BUILDINGS, LANDSCAPE, & IRRIGATION TO REMAIN DURING DEMOLITION & CONSTRUCTION.
- VERIFY ALL DIMENSIONS IN FIELD.
- SELF LEVELING SEALANT TYPICAL AT ALL EXPANSION JOINTS.
- NEW ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS; LETTERS TO BE AT LEAST 1'-0" HIGH AND 2" WIDE, PAINTED AT THE REAR OF THE PARKING SPACE TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED; SEE PLAN.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS & SHALL NOTIFY THE CITY'S PM OF ANY CONDITIONS THAT CONFLICT W/ THE PROPOSED WORK.
- PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS AND DETAILS UNLESS NOTED OTHERWISE. MINIMIZE ANY DISTURBANCE TO AREAS OUTSIDE IMMEDIATE GRADING OR LANDSCAPE CONSTRUCTION AREAS.
- ALL PLANTING AREAS TO HAVE ALL WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO BEGINNING ANY PREPARATION FOR PLANTING.
- ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERMEN'S ASSOCIATION STANDARDS.
- IN AREAS TO BE KEPT UNDISTURBED, LIMIT CONSTRUCTION TRAFFIC AND IRRIGATION OR UTILITY TRENCHING.
- IF PLANT MATERIAL IS NOT AVAILABLE, SUBSTITUTIONS OF EQUAL OR GREATER TO BE APPROVED BY COA PARKS.

SHEET KEYNOTES

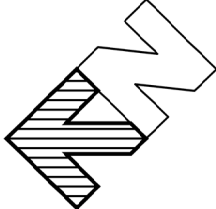
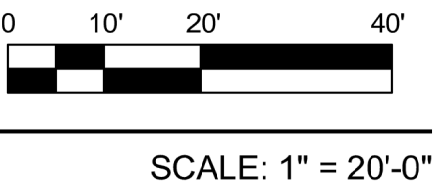
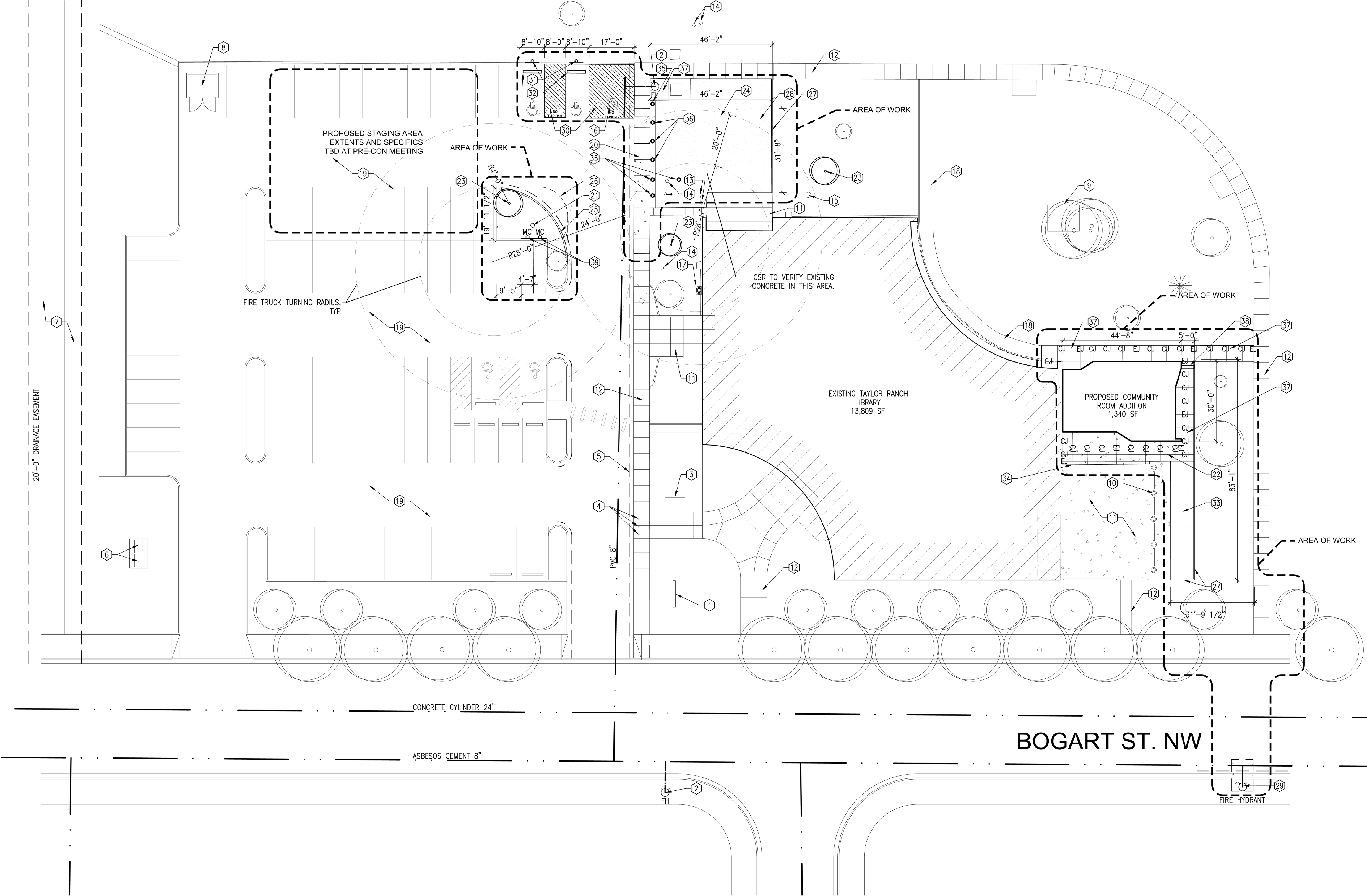
- EXISTING BUILDING SIGN TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING BICYCLE RACK TO REMAIN.
- EXISTING BOLLARDS TO REMAIN.
- EXISTING FIRE LANE TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING DRAINAGE CHANNEL TO REMAIN.
- EXISTING DUMPSTER ENCLOSURE TO REMAIN.
- EXISTING SITE FURNITURE TO REMAIN.
- EXISTING SHADE STRUCTURE TO REMAIN.
- EXISTING CONCRETE TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING BACKFLOW PREVENTER AND IRRIGATION VALVE TO REMAIN.
- EXISTING IRRIGATION VALVE AND/OR IRRIGATION VALVE BOX TO REMAIN.
- EXISTING 2' DIAMETER RADIO TOWER TO REMAIN.
- EXISTING WATER METER COVER TO REMAIN.
- EXISTING GAS METER TO REMAIN.
- EXISTING GRAVEL PATH TO REMAIN.
- EXISTING ASPHALT TO REMAIN.
- NEW ADA ACCESSIBLE SIDEWALK WITH VEHICULAR ENTRY RAMP.
- RELOCATED EXISTING PARKING LOT LIGHT FIXTURE.
- NEW CONCRETE PAD. SEE A4-AS501.
- NEW TREE. SEE LANDSCAPE PLAN L-101.
- NEW FIRE ACCESS DRIVE AREA.
- NEW CONCRETE CURB. SEE CITY STANDARD DETAIL 2415B, HEADER CURB, FOR MORE INFORMATION.
- PATCH ASPHALT IN THIS AREA PER CITY STANDARD DETAILS.
- NEW 6" CONCRETE MOWSTRIP, SIMILAR TO COA STANDARD DETAIL 2721.
- 10" CRUSHED AGGREGATE BASE COURSE COMPACTED AT 95% ASTM D-1557 OVER 12" SUBGRADE COMPACTED AT 95% ASTM D-1557.
- PROVIDE NEW FIRE HYDRANT.
- REPAINT ADA PARKING SPACE STRIPING AND ACCESS AISLE, AND NEW NO PARKING AREA FOR FIRE TRUCK ACCESS.
- REINSTALL ADA PARKING SIGNS. INSTALL VAN ACCESSIBLE SIGN FOR EACH NEW PARKING SPACE. TO BE INSTALLED ON SAME SIGN POST.
- REINSTALL PARKING BUMPER SEE DETAIL A2-AS501.
- NEW STABILIZED CRUSHER FINES. SEE LANDSCAPE PLAN L-101.
- NEW TO EXISTING CONCRETE SLAB. SEE DETAIL D4-AS501.
- FIXED BOLLARDS, SEE DETAIL A3-AS501.
- RETRACTABLE BOLLARDS, SEE DETAIL A1-AS501.
- NEW CONCRETE SIDEWALK
- NEW SIDEWALK CULVERT. ZURN TRENCH DRAIN 886 OR APPROVED EQUAL.
- MOTORCYCLE PARKING SIGN. SEE DETAILS C1 / AS-501 AND C2/AS-501.

ZONING INFORMATION

ZONING per Bernalillo County Atlas page E-10-Z
The site is zoned NR-PO-A.

14-16-4: Use Regulations
Table 4-2-1: Allowable Uses Library is (P) Permissive in an NR-PO-A Zone

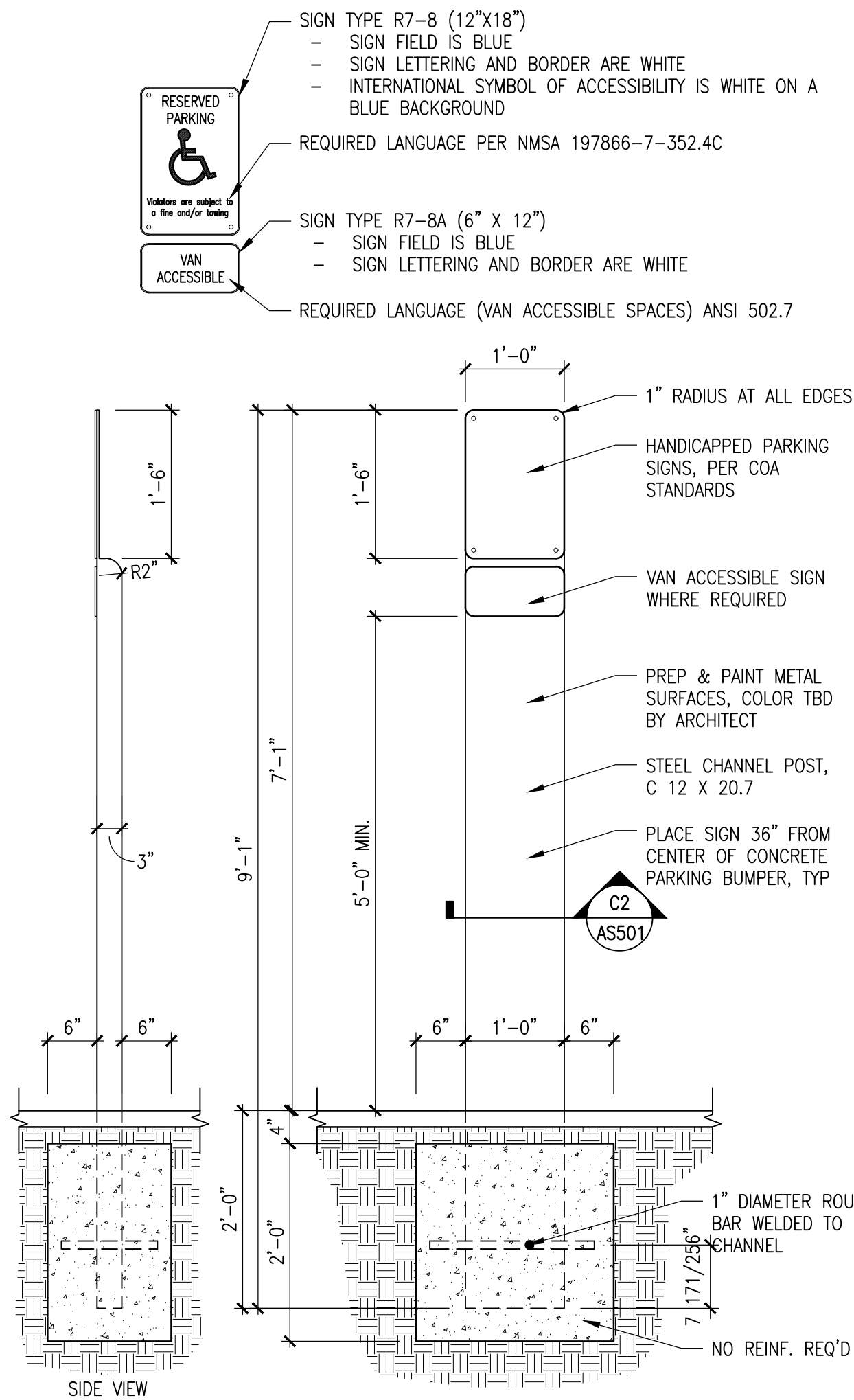
CITY OF ALBUQUERQUE / BERNALILLO COUNTY LIBRARY SYSTEMS TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION			
TITLE: OVERALL SITE PLAN & LANDSCAPE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	NO./DAY/YR.
			NO./DAY/YR.
City Project No. 902290	Zone Map No. E-10-Z	Sheet AS102	Of



AS-BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		REVISIONS/REMARKS	
CONTRACTOR	DATE:	WORK STAKED BY	DATE:	FIELD NOTES	DATE	NO.	BY
INSPECTOR'S APPROVAL	DATE:	INSPECTOR'S APPROVAL	DATE:	NO.	DATE		
FIELD VERIFICATION BY	DATE:	FIELD VERIFICATION BY	DATE:				
DRAWING CORRECTED BY	DATE:	DRAWING CORRECTED BY	DATE:				
MICRO-FILM INFORMATION	DATE:	MICRO-FILM INFORMATION	DATE:				
RECORDED BY	NO.	RECORDED BY	NO.				

STATE OF NEW MEXICO
TINA M REAMES
REGISTERED ARCHITECT
3772
05-28-2020

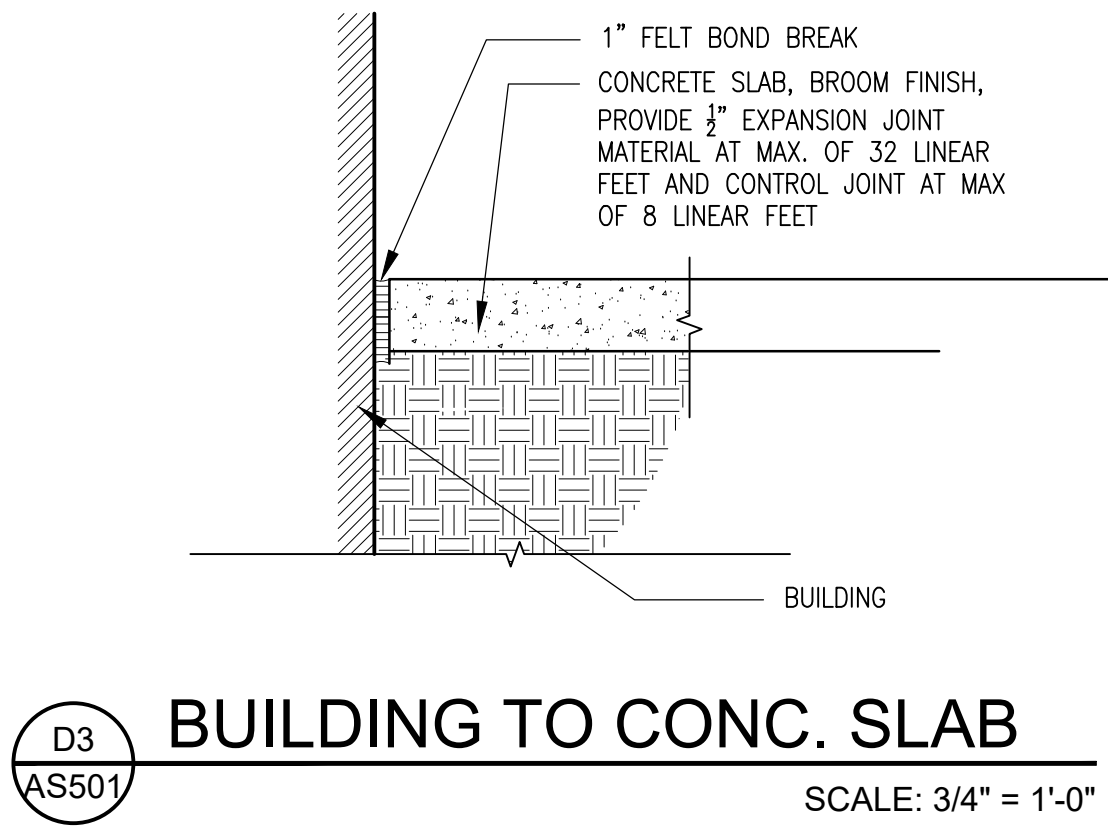
DESIGNED BY: -- DATE: --
DRAWN BY: -- DATE: --
CHECKED BY: -- DATE: --



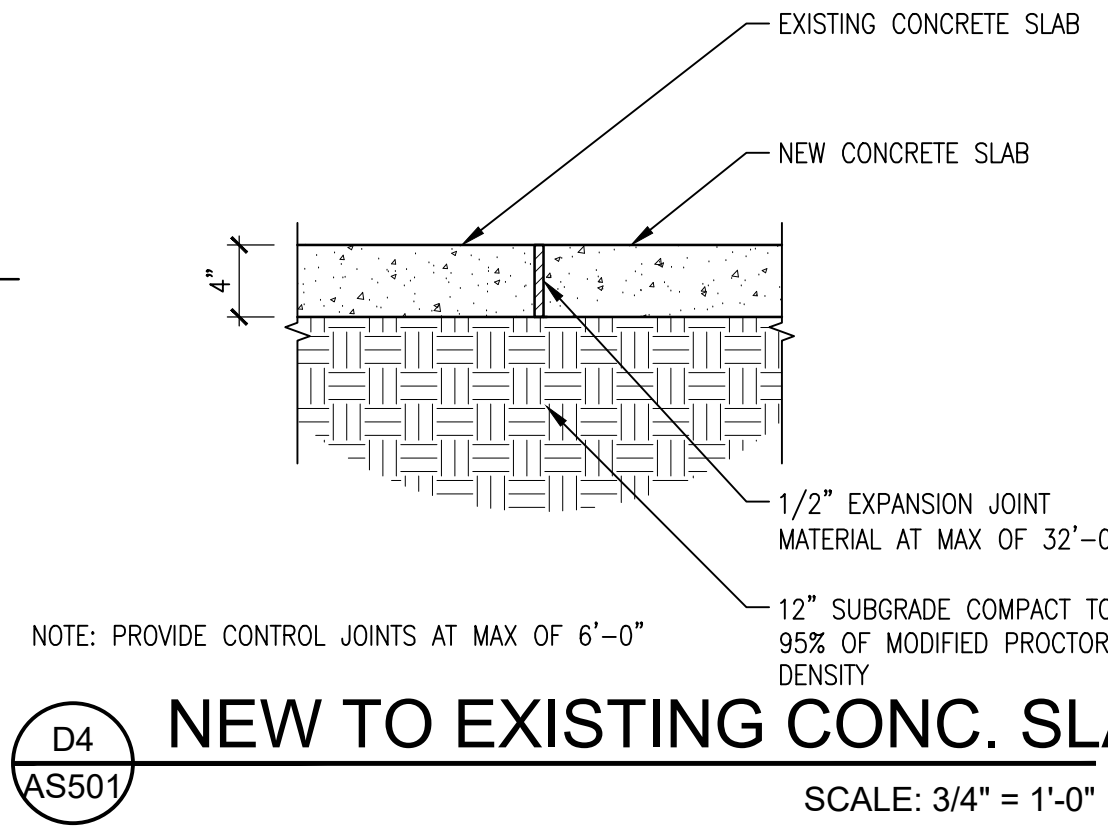
C1
AS501
PARKING SIGNS
SCALE: 3/4" = 1'-0"



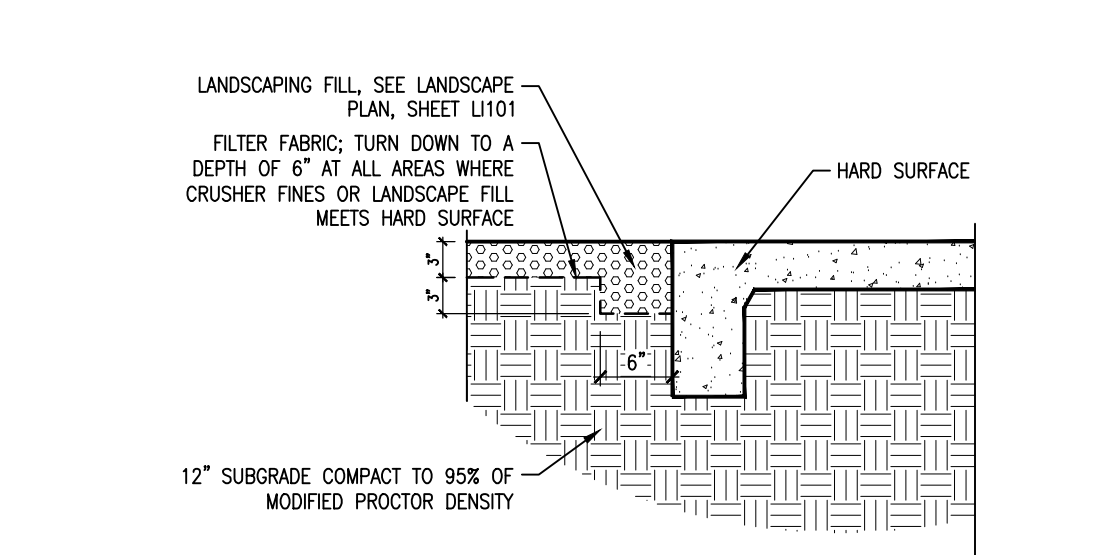
C2
AS501
PARKING SIGN DETAILS
SCALE: 3/4" = 1'-0"



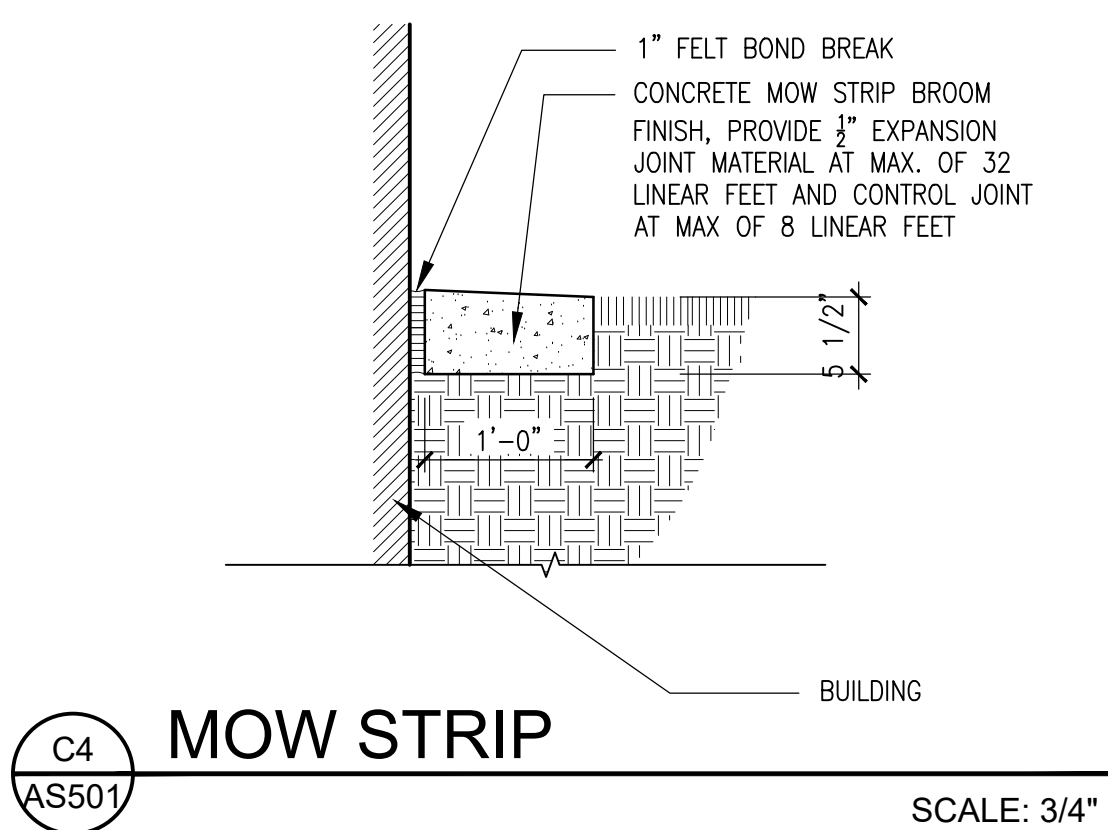
D3
AS501
BUILDING TO CONC. SLAB
SCALE: 3/4" = 1'-0"



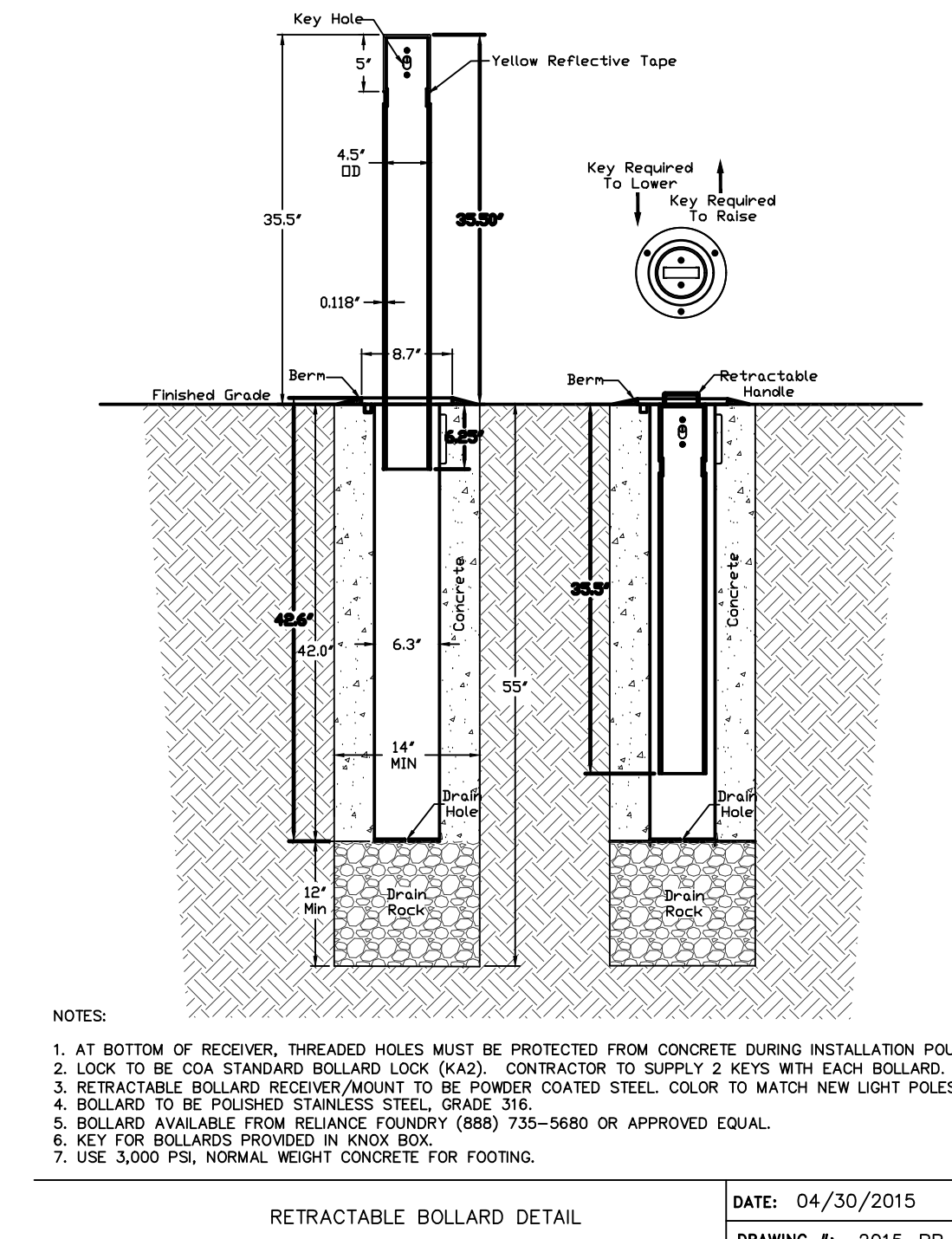
D4
AS501
NEW TO EXISTING CONC. SLAB
SCALE: 3/4" = 1'-0"



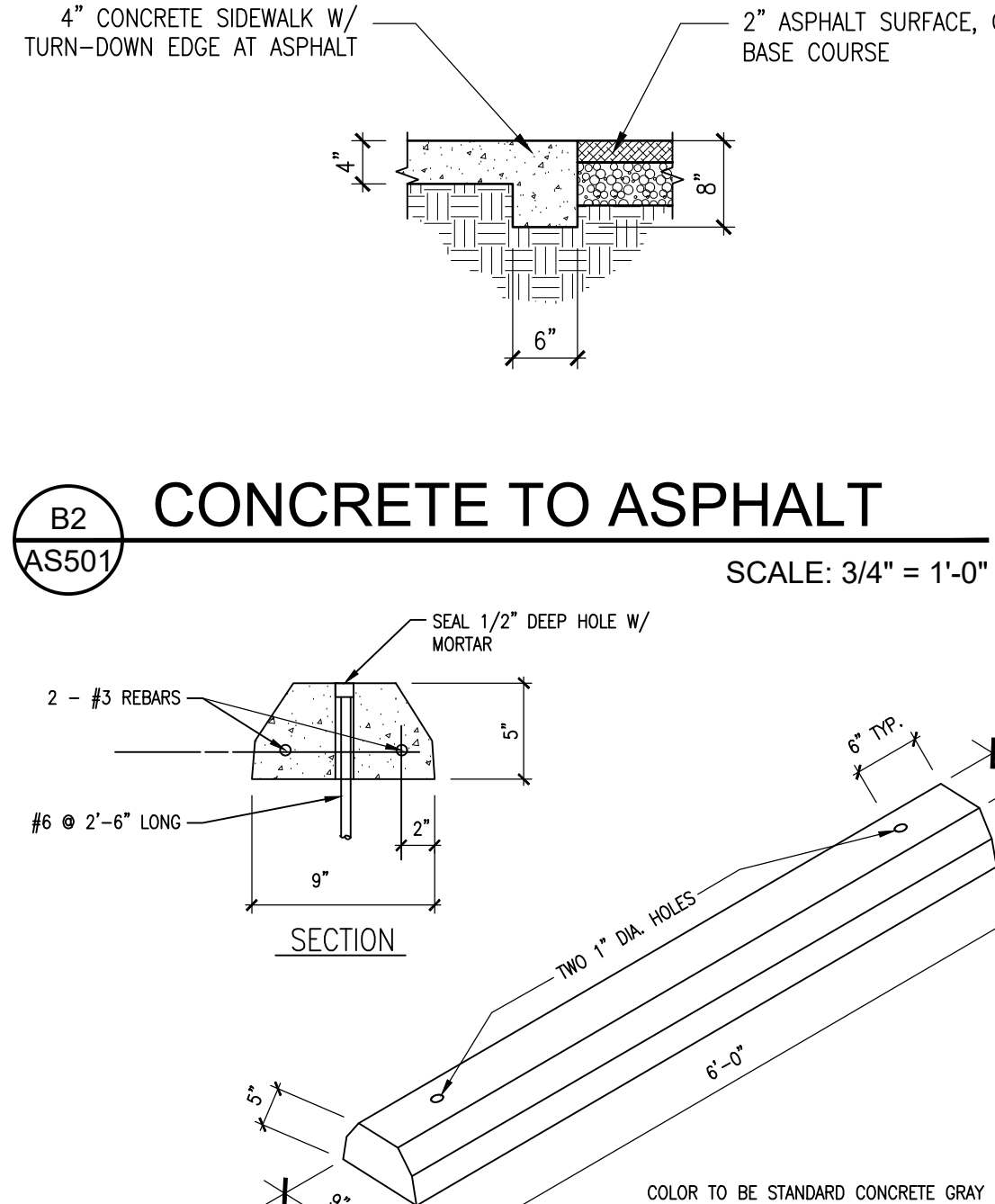
C3
AS501
FILTER FABRIC DETAIL
SCALE: 3/4" = 1'-0"



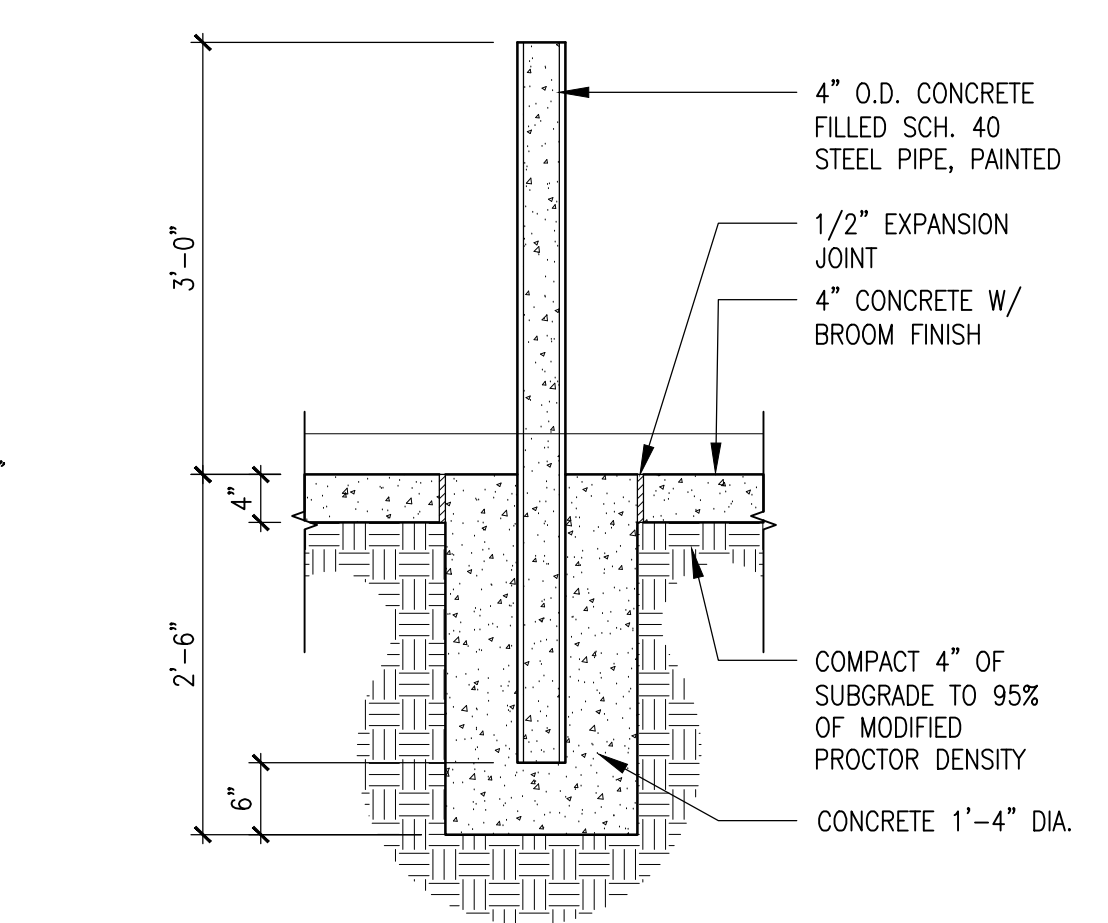
C4
AS501
MOW STRIP
SCALE: 3/4" = 1'-0"



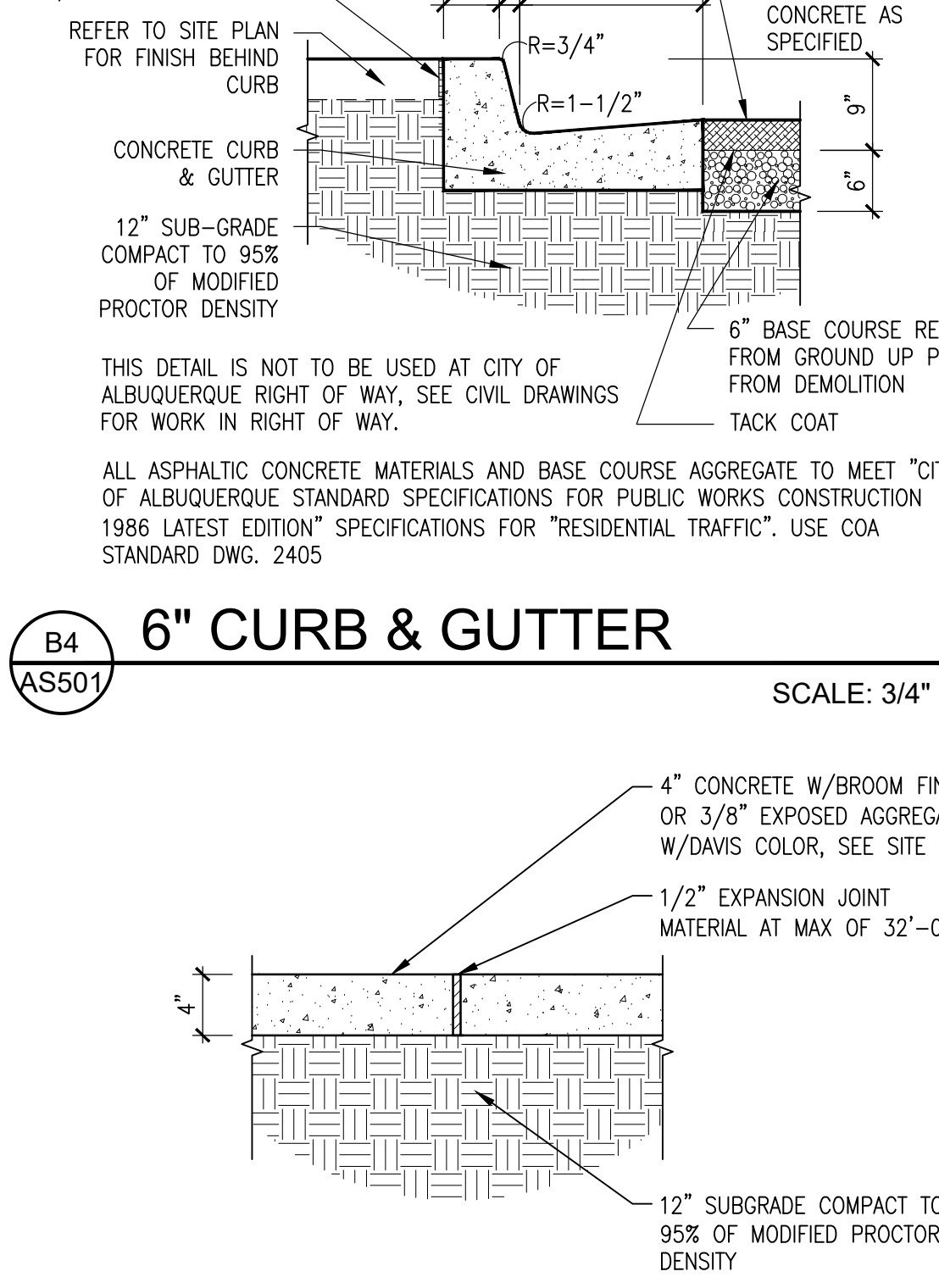
A1
AS501
RETRACTABLE BOLLARD
SCALE: 3/4" = 1'-0"



A2
AS501
WHEEL BUMPER DETAIL
SCALE: 3/4" = 1'-0"



A3
AS501
FIXED BOLLARD
SCALE: 3/4" = 1'-0"



B4
AS501
6" CURB & GUTTER
SCALE: 3/4" = 1'-0"

GENERAL SHEET NOTES

A. REFER TO SHEET A001 FOR GENERAL ARCHITECTURAL INFORMATION.

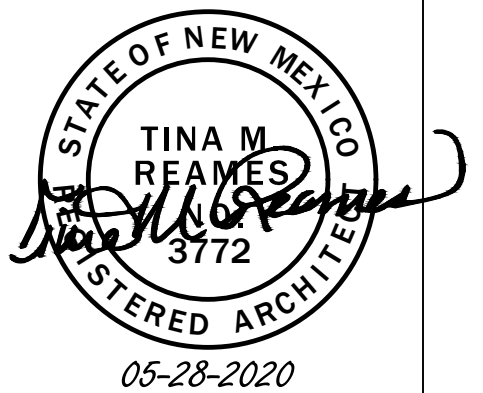
B. ALL PORTLAND CEMENT CONCRETE EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL. PROVIDE CONTROL JTS. AT 10' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS & AT A MAX. SPACING OF 40'. CONTROL JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.

C. ALL ASPHALTIC CONCRETE MATERIALS AND BASE COURSE AGGREGATE TO MEET "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 LATEST EDITION" SPECIFICATIONS FOR "RESIDENTIAL TRAFFIC". USE COA STANDARD DWG. 2405.

D. ALL EXPOSED CONCRETE LIGHT POLE BASES TO BE RUBBED.

E. AT ALL CONCRETE CONTINUOUS CURBS AND BENCHES TO WALLS, PROVIDE 1/2" EXPANSION JOINTS AT 40'-0" MAX.

AS-BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		FIELD NOTES		NO.		BY		REVISIONS/REMARKS		NO.		DATE		DESIGNED BY:		DRAWN BY:		CHECKED BY:	
CONTRACTOR	DATE:	WORK STAKED BY	DATE:	INSPECTOR'S APPROVAL	DATE:	FIELD VERIFICATION BY	DATE:	DRAWING CORRECTED BY	DATE:	MICRO-FILM INFORMATION	RECORDED BY	DATE:	NO.										



CITY OF ALBUQUERQUE / BERNALILLO COUNTY LIBRARY SYSTEMS TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION	
TITLE: SITE DETAILS	
Design Review Committee	City Engineer Approval
City Project No. 902290	Zone Map No. E-10-Z
Sheet AS501	Of 40



SCALE 1/4" = 1'-0"

 SOUTH ELEVATION

SCALE 1/4" = 1'-0'



SCALE 1/4" = 1'-0'

FIRE1	