

ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE

PLANT SCHEDULE - TREES									
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT/CANOPY	SPREAD	Kc	HPO USE	REMARKS
	1	DESERT WILLOW	CHILOPSIS LINEARIS	2" CAL	TO 30'/2946 SF	20'-30'	.14	L	
	2	SHADEMASTER HONEY LOCUST	GLEDTISIA TRIACANTHOS INERMIS "SHADEMASTER"	2-1/2" CAL	40'-70'-----	40'-70'			

SYMBOLS NOT SHOWN TO SCALE IN LEGEND

LEGEND	
	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING BUILDING TO REMAIN;
	AREA OF WORK
	NEW FIRE LANE PAINT AT CURBS
	SUBSURFACE UTILITY LINE

PARKING CALCULATIONS	
There are 84 existing parking spaces.	
- 2 spaces will be removed to provide minimum fire truck access to the existing fire hydrant.	
- 2 spaces will be removed to provide an updated parking lot planter that allows for 28'-0" turning radius for fire trucks.	
- 1 space will be removed to provide two motorcycle parking spaces.	
REQUIRED PARKING:	
Vehicles per IDO Table 5-5-1:	15,149 SF / 1,000 X 2 = 31 Spaces Required
Motorcycles per IDO Table 5-5-4:	2 Spaces Required
ADA Accessible per ADA Standards Table 208.2:	4 Spaces
Bicycles per IDO Table 5-5-5:	3 Spaces
PROVIDED PARKING:	
Vehicles:	75 Spaces + 4 ADA Spaces = 79 Spaces
Motorcycles:	2 Spaces
ADA Accessible:	4 Spaces
Bicycles:	3 Spaces

GENERAL SHEET NOTES

- REFER TO SHEET A-001 FOR GENERAL ARCHITECTURAL INFORMATION.
- COORDINATE WITH CIVIL DRAWINGS AND ARCHITECTURAL FLOOR PLANS. IF A DISCREPANCY IS FOUND, CONTACT THE ARCHITECT.
- GENERAL CONTRACTOR IS TO VISIT THE SITE PRIOR TO START OF WORK.
- ALL EXISTING TREES, SHRUBS AND GROUNDCOVERS WHICH DO NOT CONFLICT WITH NEW SITE IMPROVEMENTS SHALL REMAIN. CONTRACTOR SHALL PROTECT ALL EXISTING VEGETATION TO REMAIN, AND SHALL REPLACE DAMAGED VEGETATION AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH SHEET AS011.
- STRIP ALL RESURFACED PAVING AND PARKING PER PLAN.
- PROTECT FROM DAMAGE ALL EXISTING SIDEWALKS, CURBS, GUTTERS, PAVEMENT, BUILDINGS, LANDSCAPE, & IRRIGATION TO REMAIN DURING DEMOLITION & CONSTRUCTION.
- VERIFY ALL DIMENSIONS IN FIELD.
- SELF LEVELING SEALANT TYPICAL AT ALL EXPANSION JOINTS.
- NEW ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, LETTERS TO BE AT LEAST 1'-0" HIGH AND 2" WIDE, PAINTED AT THE REAR OF THE PARKING SPACE TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. SEE PLAN. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS & SHALL NOTIFY THE CITY'S PM OF ANY CONDITIONS THAT CONFLICT W/ THE PROPOSED WORK.
- PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS AND DETAILS UNLESS NOTED OTHERWISE. MINIMIZE ANY DISTURBANCE TO AREAS OUTSIDE IMMEDIATE GRADING OR LANDSCAPE CONSTRUCTION AREAS.
- ALL PLANTING AREAS TO HAVE ALL WEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO BEGINNING ANY PREPARATION FOR PLANTING.
- ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS.
- IN AREAS TO BE KEPT UNDISTURBED, LIMIT CONSTRUCTION TRAFFIC AND IRRIGATION OR UTILITY TRENCHING.
- IF PLANT MATERIAL IS NOT AVAILABLE, SUBSTITUTIONS OF EQUAL OR GREATER TO BE APPROVED BY COA PARKS.

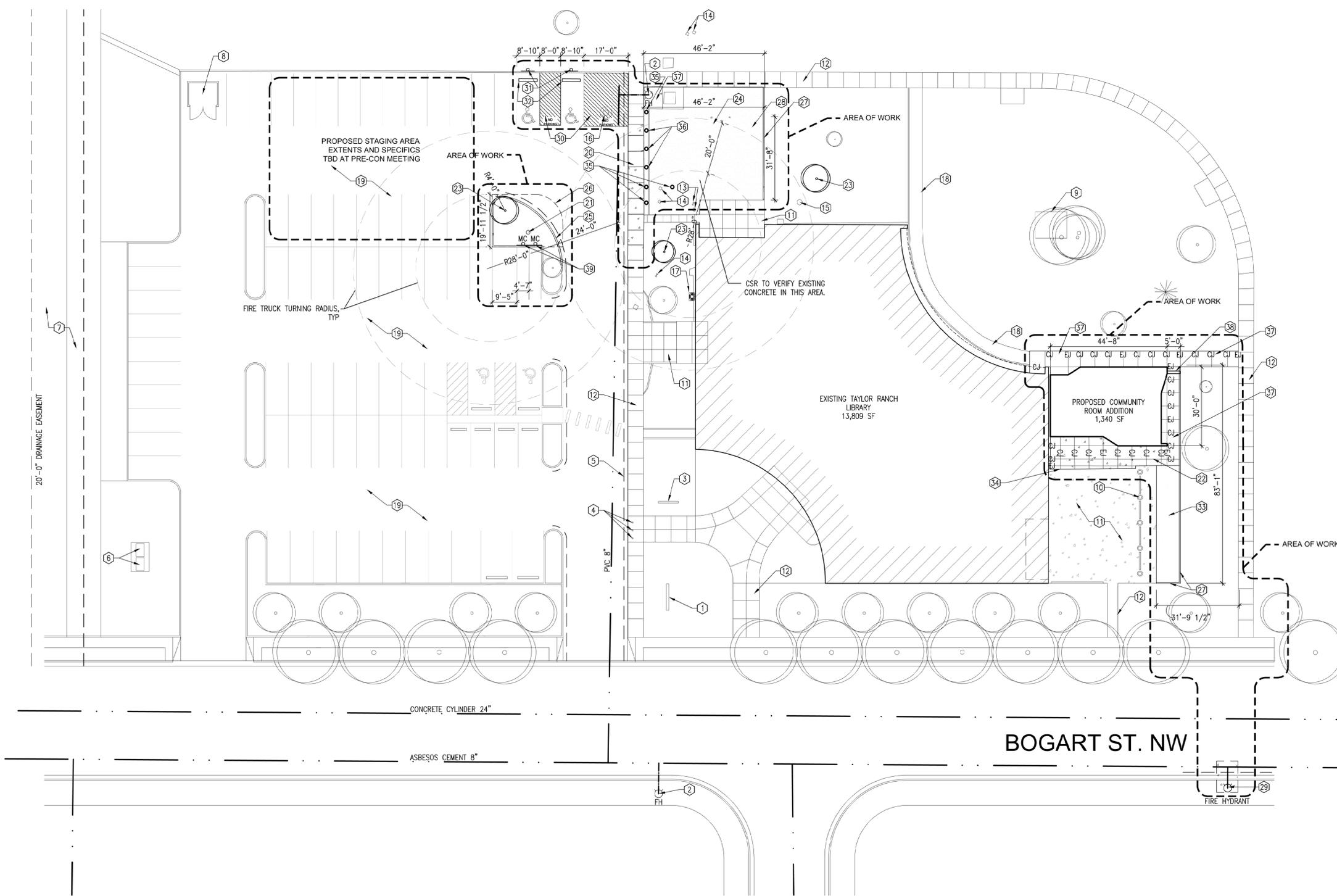
SHEET KEYNOTES

- EXISTING BUILDING SIGN TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING BICYCLE RACK TO REMAIN.
- EXISTING BOLLARDS TO REMAIN.
- EXISTING FIRE LANE TO REMAIN.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING DRAINAGE CHANNEL TO REMAIN.
- EXISTING DUMPSTER ENCLOSURE TO REMAIN.
- EXISTING SITE FURNITURE TO REMAIN.
- EXISTING SHADE STRUCTURE TO REMAIN.
- EXISTING CONCRETE TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING BACKFLOW PREVENTER AND IRRIGATION VALVE TO REMAIN.
- EXISTING IRRIGATION VALVE AND/OR IRRIGATION VALVE BOX TO REMAIN.
- EXISTING 2' DIAMETER RADIO TOWER TO REMAIN.
- EXISTING WATER METER COVER TO REMAIN.
- EXISTING GAS METER TO REMAIN.
- EXISTING GRAVEL PATH TO REMAIN.
- EXISTING ASPHALT TO REMAIN.
- NEW ADA ACCESSIBLE SIDEWALK WITH VEHICULAR ENTRY RAMP.
- RELOCATED EXISTING PARKING LOT LIGHT FIXTURE.
- NEW CONCRETE PAD. SEE A4-AS501.
- NEW TREE. SEE LANDSCAPE PLAN L-101.
- NEW FIRE ACCESS DRIVE AREA.
- NEW CONCRETE CURB. SEE CITY STANDARD DETAIL 2415B, HEADER CURB, FOR MORE INFORMATION.
- PATCH ASPHALT IN THIS AREA PER CITY STANDARD DETAILS.
- NEW 6" CONCRETE MOWSTRIP, SIMILAR TO COA STANDARD DETAIL 2721.
- 10" CRUSHED AGGREGATE BASE COURSE COMPACTED AT 95% ASTM D-1557 OVER 12" SUBGRADE COMPACTED AT 95% ASTM D-1557.
- PROVIDE NEW FIRE HYDRANT.
- REPAINT ADA PARKING SPACE STRIPING AND ACCESS AISLE, AND NEW NO PARKING AREA FOR FIRE TRUCK ACCESS.
- REINSTALL ADA PARKING SIGNS, INSTALL VAN ACCESSIBLE SIGN FOR EACH NEW PARKING SPACE, TO BE INSTALLED ON SAME SIGN POST.
- REINSTALL PARKING BUMPER SEE DETAIL A2-AS501.
- NEW STABILIZED CRUSHER FINES, SEE LANDSCAPE PLAN L-101.
- NEW TO EXISTING CONCRETE SLAB. SEE DETAIL D4-AS501.
- FIXED BOLLARDS, SEE DETAIL A3-AS501.
- RETRACTABLE BOLLARDS, SEE DETAIL A1-AS501.
- NEW CONCRETE SIDEWALK.
- NEW SIDEWALK CULVERT, ZURN TRENCH DRAIN 886 OR APPROVED EQUAL.
- MOTORCYCLE PARKING SIGN. SEE DETAILS C1 / AS-501 AND C2/AS-501.

ZONING INFORMATION

ZONING per Bernalillo County Atlas page E-10-Z
The site is zoned NR-PO-A.

14-16-4: Use Regulations
Table 4-2-1: Allowable Uses Library is (P) Permissive in an NR-PO-A Zone



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220 gold avenue sw albuquerque, nm 87102
505-842-5278 fax 505-766-9269
www.cherryseereames.com

AS-BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:
MICRO-FILM INFORMATION	DATE:
RECORDED BY	DATE:
NO.	NO.

BENCH MARK	
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	DATE



REVISIONS/REMARKS	
NO.	DATE
DATE	DATE
DATE	DATE
DATE	DATE

CITY OF ALBUQUERQUE / BERNALILLO COUNTY LIBRARY SYSTEMS TAYLOR RANCH LIBRARY COMMUNITY ROOM ADDITION			
TITLE: OVERALL SITE PLAN & LANDSCAPE PLAN			
Design Review Committee	City Engineer Approval	MO/DAY/YR	MO/DAY/YR
City Project No. 902290	Zone Map No. E-10-Z	Sheet AS102	Of

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 31, 2021

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: Taylor Ranch Library Addition
5700 Bogart St. NW
Grading and Drainage Plan
Engineer's Stamp Date: 05/27/20
Hydrology File: E10D002I**

Dear Mr. McGee:

Based upon the information provided in your submittal received 03/16/2021, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

